



VID DESIGN STUDIO

DESIGN STUDIO

VISIONING CENTER

80

PROJECT: PROPO!

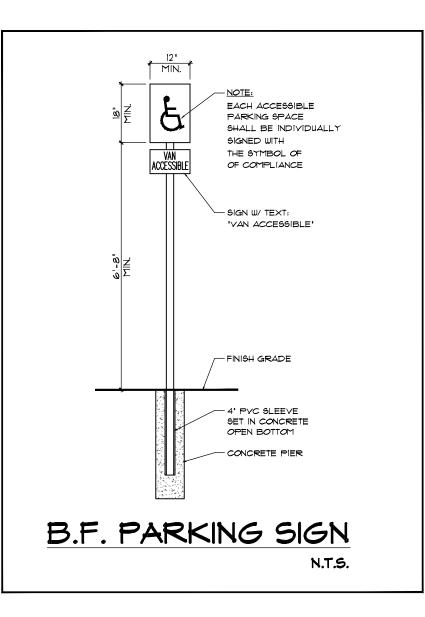
DRESS: 5 W CHISHOLM ST. ALPENA, MI ENT'S NAME: Fadi Yousif & Mar

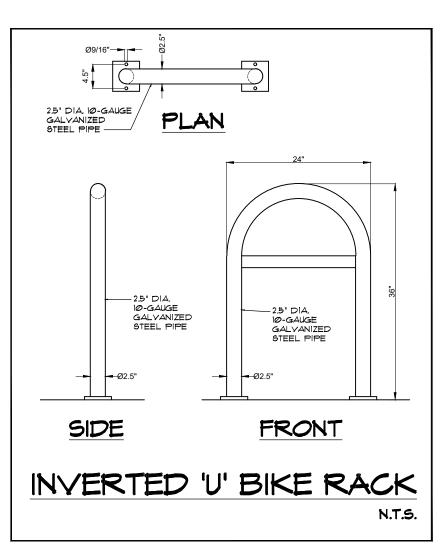
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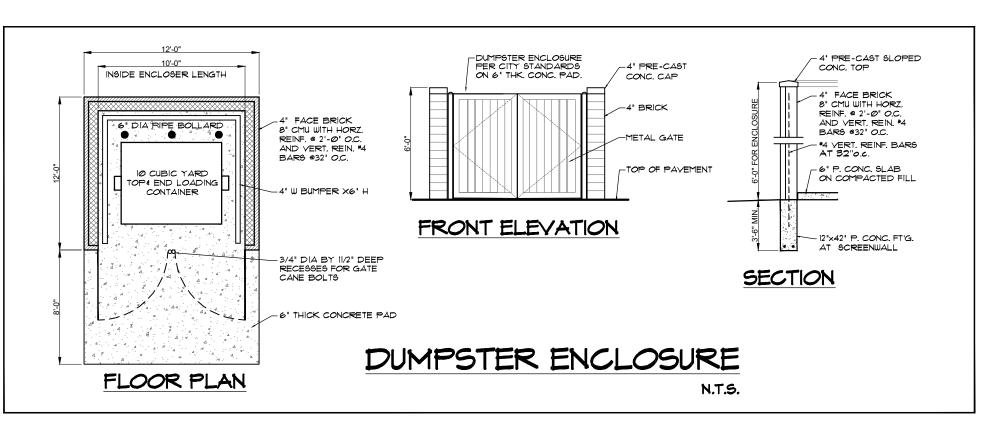
SP-1

APPROVED BY:

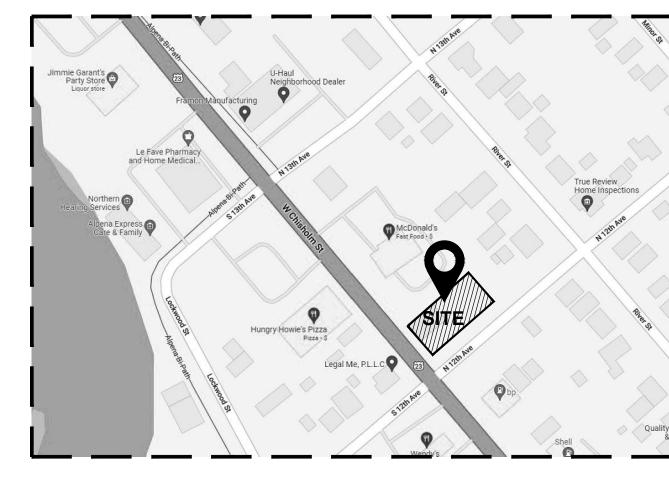












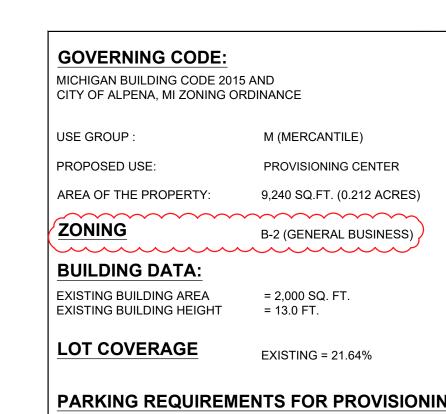


PARCEL ID: 093-637-000-865-00

LEGAL DESCRIPTION:

1105 W. CHISHOLM ST. LOT 12 BLK 46 OF THE VILLAGE NOW CITY

ALL SIGNAGE WILL REQUIRE SEPARATE SUBMITTALS AND PERMITS (SEE PROPOSED SIGN ON BUILDING)



PARKING REQUIREMENTS FOR PROVISIONING CENTER **REQUIRED PARKING SPACES:**

FOR RETAIL SALES: 1 SPACE PER 400 SQUARE FEET 2,000/400 = 5 PARKING SPACES REQUIRED

PROVIDED PARKING SPACES:

5 PARKING SPACES INCL. 1 H.C. PARKING SPACE

BICYCLE PARKING SPACES: 4 BICYCLE SPACES ARE PROVIDED

OPERATING HOURS MON - SUN

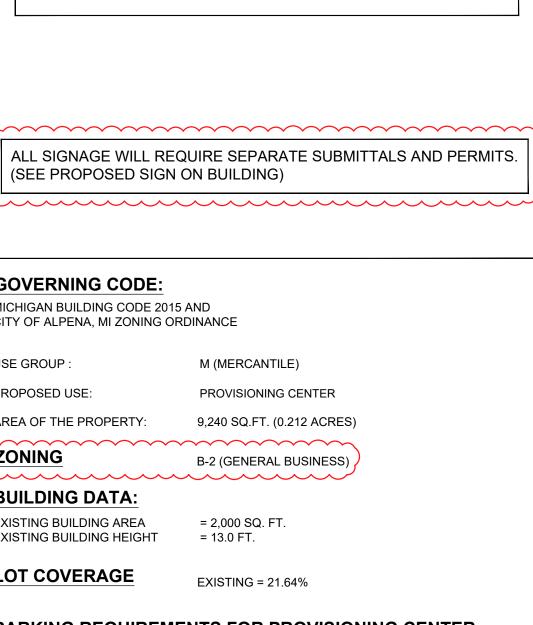
9:00 AM - 8:00 PM

CODES CURRENTLY IN EFFECT

- 2015 MICHIGAN BUILDING CODE, MBC 2015 - 2015 MICHIGAN MECHANICAL CODE MMC 2015 - 2015 MICHIGAN PLUMBING CODE, MPC 2015 - 2017 NATIONAL ELECTRICAL CODE, 2017 CONSTRUCTION CODE -PART 8. ELECTRICAL CODE RULES

- ACCESSIBILITY: MICHIGAN BARRIER FREE DESIGN LAW, P.A. 1966 AS AMENDED AND THE 2009 ICC/ANSI A117.1 STANDARD AS REFERENCED FROM CHAPTER 11 OF THE 2015 MICHIGAN BUILDING CODE.





05/11/202 DRAWN BY: MONEER ALAHWA SCALE: AS NOTE SHEET TITLE:

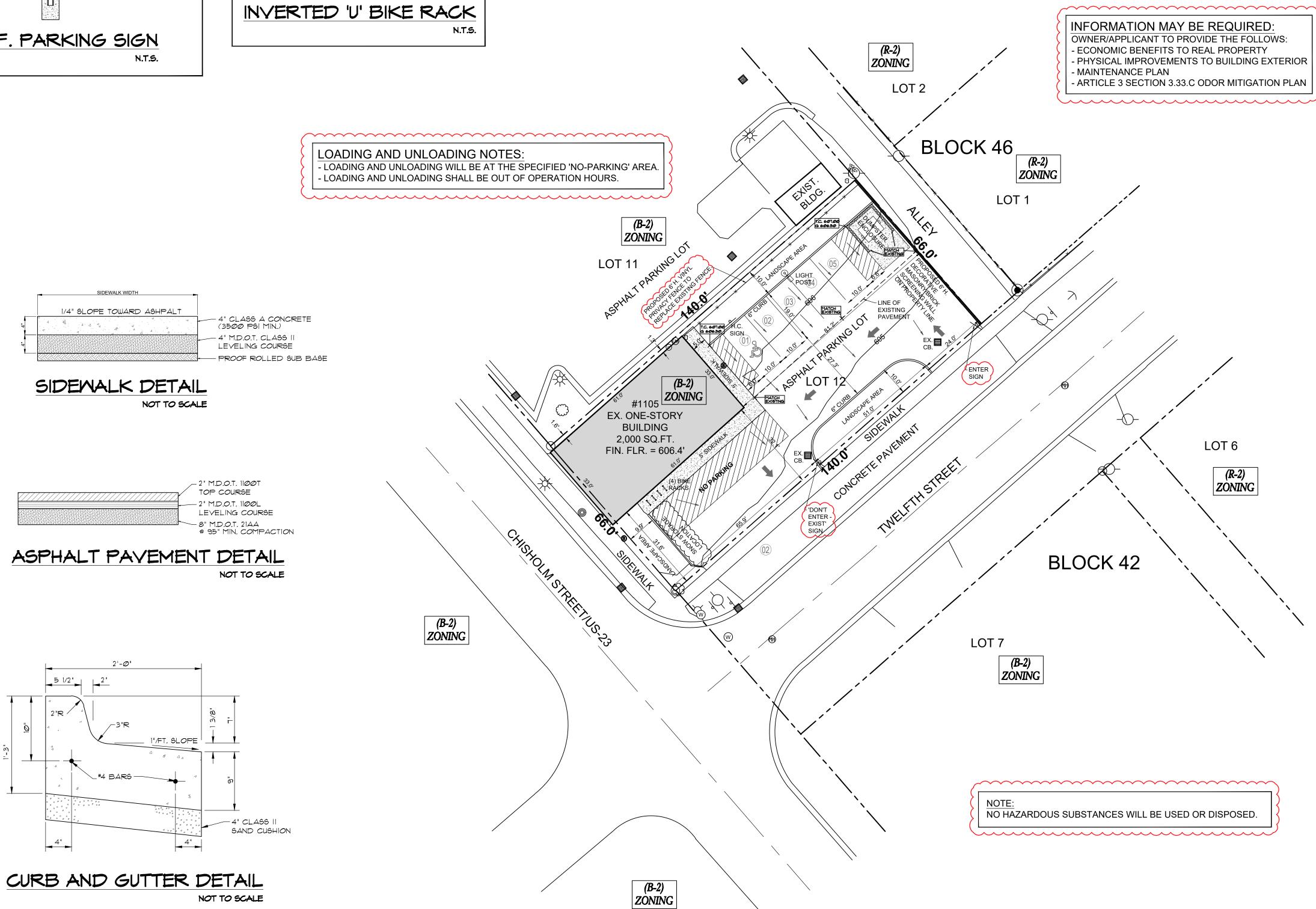
PROPOSED SITE PLAN

SHEET #:

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SP-2



PROPOSED SITE PLAN

SCALE: 1" = 20'-0"



DESIGN STUDIO

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PROJECT: PROPOSE

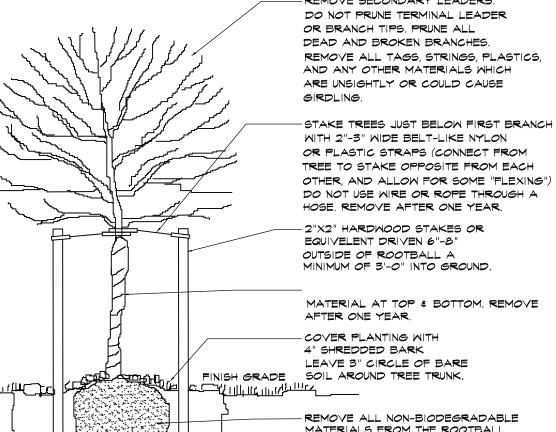
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QUAN MIN. SIZE BOTANICAL NAME COMMON NAME SYMBOL 8 2 FT. SPREAD TAXUS X MEDIA WARDII WARD'S YEW 8 2 FT. SPREAD | BUDDLEJA DAVIDII BUTTERFLY BUSH 8 2 FT. SPREAD JUNIPERUS SCOPULORUM GREY GLEAM JUNIPER NYSSA SYLVATICA RED RAGE TUPELO 2.5" DBH ACER RUBRUM ARMSTRONG MAPLE HEIGHT

LANDSCAPE MATERIAL

FROM REFUSE AND DEBRIS. PLANT MATERIALS, INCLUDING LAWNS, SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE. IF ANY PLANT DIES OR BECOMES DISEASED, IT SHALL BE REMOVED WITHIN 5 DAYS OF WRITTEN NOTICE FROM THE CITY AND REPLACED WITHIN 30

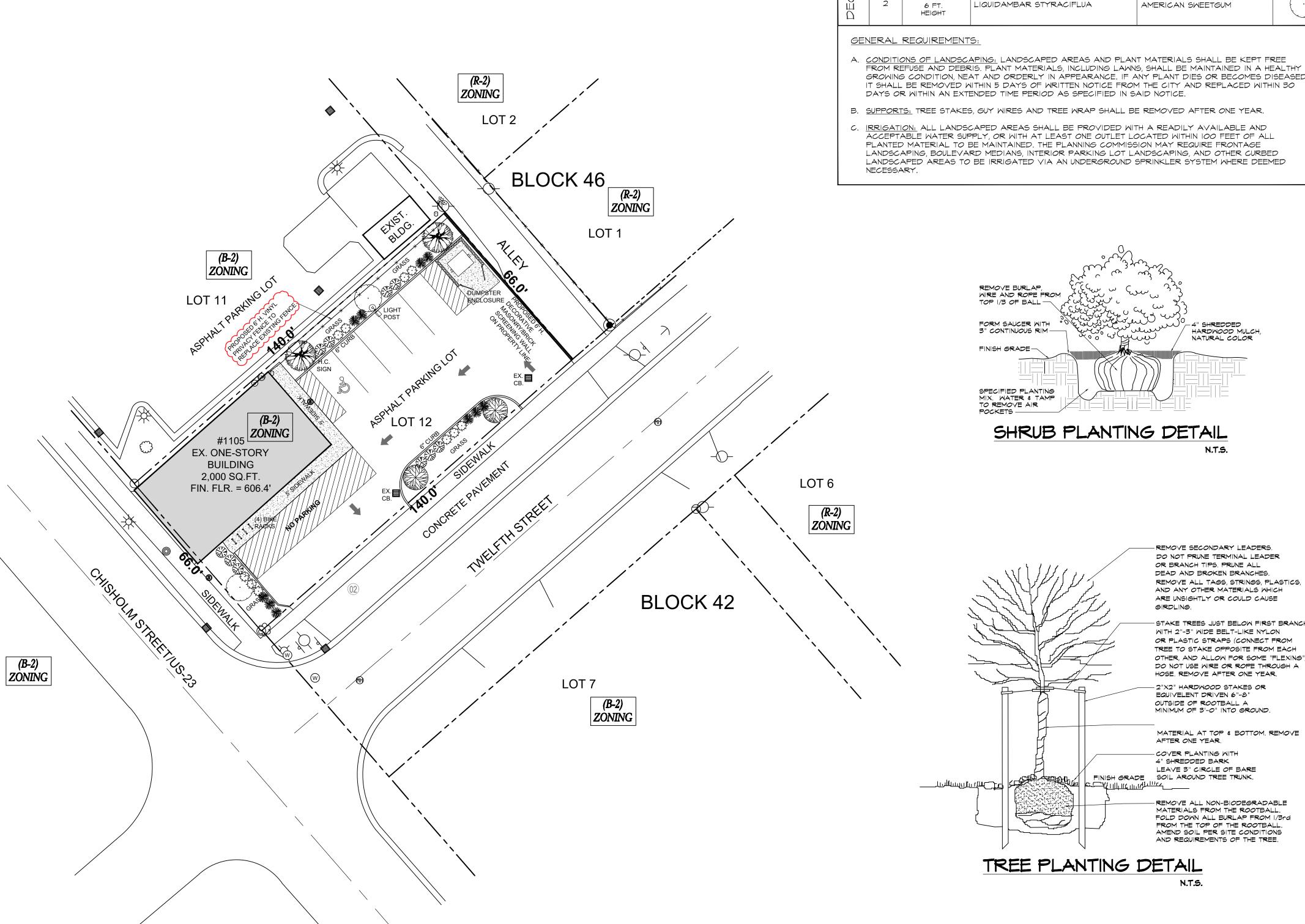


GENERAL STANDARDS:

- I. ALL AREAS NOT COVERED BY BUILDINGS, PARKING AREAS, DRIVEWAYS, WALKWAYS, PEDESTRIAN PLAZAS OR OTHER PEDESTRIAN-ORIENTED IMPERVIOUS SURFACES OR WATER SURFACES SHALL BE PLANTED WITH LIVING VEGETATION, INCLUDING CANOPY TREES, SHRUBBERY AND GROUND COVERS. THE COMBINATION OF PLANT MATERIALS SELECTED SHALL BE PLACED IN HARMONIOUS AND NATURAL ASSOCIATIONS AND REPRESENT THE APPROVED INDIGENOUS LANDSCAPE MATERIALS LISTED IN SUBSECTION H.
- 2. NOT LESS THAN TWENTY (20) PERCENT OF ANY LANDSCAPE AREA SHALL BE COVERED BY TREES, SHRUBS AND GROUND COVER IN COMBINATION. A COMBINATION OF STONE AND OTHER MULCHES, GRASS AND OTHER GROUND COVERS, PEDESTRIAN WALKS, OTHER IMPERVIOUS SURFACES OR WATER SURFACES MAY COVER THE REMAINING EIGHTY (80) PERCENT OF THE LANDSCAPE AREA. AREAS USED FOR STORM DRAINAGE PURPOSES, SUCH AS UNFENCED DRAINAGE COURSES OR RETENTION AREAS IN FRONT OR SIDE YARDS, MAY BE PART OF THIS EIGHT (80) PERCENT. WITHIN A FRONT AND CORNER SIDE YARD, THE FOLLOWING SHALL APPLY TO THE TWENTY (20) PERCENT TREE, SHRUB, AND GROUND COVER COMBINATION AREA:
- a. AT LEAST ONE (1) CANOPY OR ORNAMENTAL TREE PER FOUR THOUSAND (4,000) SQUARE FEET OF YARD AREA FOR THE FIRST TWENTY-FOUR THOUSAND (24,000) SQUARE FEET;
- b. ONE ADDITIONAL CANOPY OR ORNAMENTAL TREE PER SIX THOUSAND (6,000) SQUARE FEET OF YARD AREA ABOVE TWENTY-FOUR THOUSAND (24,000) SQUARE FEET.
- 3. THE GENERAL SITE TOPOGRAPHY AND ANY NATURAL LANDFORMS UNIQUE TO THE PROPERTY SHALL BE MAINTAINED AND MADE PART OF THE DEVELOPMENT WHENEVER POSSIBLE TO REINFORCE THE LOCAL AND REGIONAL CHARACTER.
- 4. THE SUBSTITUTION OF NATURAL VEGETATION IN LIEU OF LANDSCAPING MAY BE APPROVED ON A CASE BY CASE BASIS.
- 5. ALL TREES SHALL BE LOCATED TO ALLOW SUFFICIENT ROOM FOR GROWTH.
- 6. THE REQUIRED LANDSCAPING SHALL BE PLANTED WITH PERMANENT LIVING PLANT MATERIALS WITHIN THIRTY (30) DAYS FROM THE DATE OF OCCUPANCY AND SHALL THEREAFTER BE MAINTAINED IN PRESENTABLE CONDITION, AND SHALL BE KEPT FREE FROM REFUSE AND DEBRIS; PROVIDED FURTHER THAT ALL PLANT MATERIALS SHALL BE CONTINUOUSLY MAINTAINED IN A SOUND, HEALTHY AND VIGOROUS GROWING CONDITION, AND SHALL BE KEPT FREE OF PLANT DISEASES AND INSECT PESTS. ALL UNHEALTHY AND DEAD MATERIAL SHALL BE REPLACED WITHIN ONE (1) YEAR OF DAMAGE OR DEATH OR THE NEXT APPROPRIATE PLANTING PERIOD, WHICHEVER COMES FIRST. ALL LANDSCAPED AREAS SHALL BE PROVIDED WITH A READILY AVAILABLE AND ACCEPTABLE WATER SUPPLY. THE ZONING ADMINISTRATOR MAY EXTEND THE TIME PERIOD FOR PLANTING WHEN SEASONAL CONDITIONS ARE SUCH THAT PLANTING CANNOT BE UNDERTAKEN.

MINIMUM LANDSCAPE MATERIAL STANDARDS:

- a. ALL PLANT MATERIAL SHALL BE HEALTHY, FREE OF DISEASE AND INSECTS, COMPATIBLE WITH LOCAL CLIMATE, SITE SOILS, DRAINAGE, HAVE AVAILABLE WATER SUPPLY, AND MEET THE CURRENT AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS
- b. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED IN SUCH A MANNER SO AS NOT TO ALTER DRAINAGE PATTERNS ON SITE OR ADJACENT PROPERTIES OR OBSTRUCT VISION FOR REASONS OF SAFETY, INGRESS OR EGRESS
- c. ALL PLANT MATERIAL SHALL BE PLANTED IN A MANNER SO AS NOT TO OBSTRUCT ACCESS TO OR VIEW OF FIRE HYDRANTS OR OTHER FIRE CONNECTIONS, NOT INTERFERE WITH UTILITY LINES (ABOVE AND BELOW GROUND) AND PUBLIC ROADWAYS. LANDSCAPE MATERIALS SHALL NOT CONSTITUTE A NUISANCE TO NEIGHBORING PROPERTIES.
- e. EXISTING PLANT MATERIAL, WHICH COMPLIES WITH THE STANDARDS AND INTENT OF THE ORDINANCE, AS DETERMINED BY THE PLANNING DIRECTOR OR ZONING ADMINISTRATOR, SHALL BE CREDITED TOWARD MEETING THE LANDSCAPE REQUIREMENTS.
- F. THE PLANT MATERIAL SHALL ACHIEVE ITS HORIZONTAL AND VERTICAL SCREENING EFFECT WITHIN FOUR (4) YEARS OF INITIAL INSTALLATION.
- g. THE OVERALL LANDSCAPE PLAN SHALL NOT CONTAIN MORE THAN THIRTY-THREE (33%) PERCENT OF ANY ONE PLANT SPECIES.



(B-2)

ZONING

MA ARCHMASTER Residential & Commercial Designs Cell Phone: (313) 505-7744

DESIGN STUDIO

Email: alahwalmoneer@gmail.com

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PROJECT: PROPO! יבי/וכוטאוכי

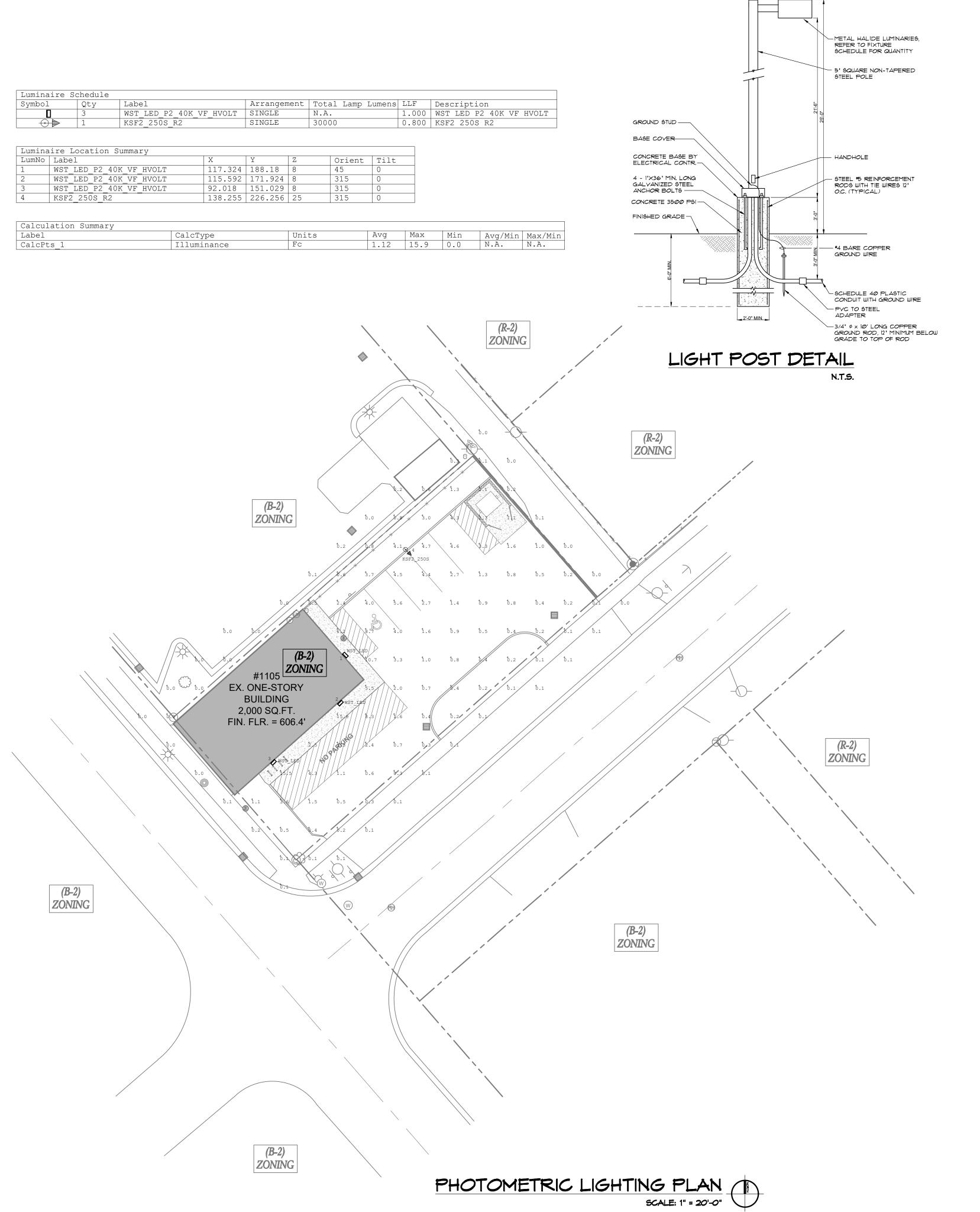
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APPROVED BY:



SP-3





FEATURES & SPECIFICATIONS

INTENDED USE — Ideal for car lots, street lighting or parking areas.

CONSTRUCTION — Rugged, .063" thick, aluminum rectilinear housing. Formed for weather-tight seal and integrity. Naturally anodized, extruded aluminum door frame with mitered corners, is retained with two .188" diameter hinge pins and secured with one quarter-turn, quick-release fastener. Weatherproof seal between housing and door frame is accomplished with an integrally designed, extruded silicone gasket that snaps into the door frame, and another gasket applied to the housing.

Finish: Standard finish is dark bronze (DDB), polyester powder finish with other architectural colors available. **OPTICS** — Reflectors are anodized and segmented for superior uniformity and control. Reflectors attach with tool-less fasteners and are rotatable and interchangeable. Five cutoff distributions available: Type II (roadway), Type III (asymmetric), Type IV (forward throw, sharp cutoff), Type IV (wide, forward throw), Type V (square). Lens is .125" thick impact-resistant tempered glass with thermally applied silk-screened shield. **ELECTRICAL** — Ballast: Constant wattage autotransformer for 250-400W. Super CWA (pulse start ballast), DOE 2017 compliant, is required for 250-400W (SCWA option) for U.S. shipments only. CSA or INTL required for probe-start shipments outside the U.S.

Ballasts are 100% factory-tested.

Socket is porcelain, horizontally mounted mogul base socket with copper alloy, nickel-plated screw shell and center contact. UL listed 1500W-600V. **INSTALLATION** — Extruded aluminum arm for pole or wall mounting is shipped in fixture carton. Optional

mountings available. **LISTING** — UL listed (standard). CSA Certified (see Options). NOM Certified (see Options). UL listed for 25°C ambient temperature and wet locations. IP65 rated.

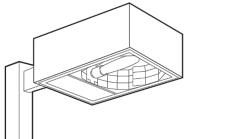
RDERINGINFORMATION For shortest lead times, configure product using **bolded options**.

WARRANTY — 1-year limited warranty. Complete warranty terms located at: www.acuitybrands.com/CustomerResources/Terms and conditions.aspx

Note: Actual performance may differ as a result of end-user environment and application. Specifications subject to change without notice.

B	Catalog Number
	Notes
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Area Lighting



KSF2

METAL HALIDE: 250-400W HIGH PRESSURE SODIUM: 200-400W 15' to 25' Mounting

EPA: 2.0 ft² (.28 m²) (includes arm) Length: 24-19/32 (62.5) Width: 17-25/32 (62.5) Depth: 8-5/16 (21.1) Arm: 4 (10.2)

Specifications

*Weight: 52 lbs (23.6 kg) *Weight as configured in example below.

<u>Drilling template</u> Mounting option SPxx, RPxx, DA12P WBxx, DA12WB All dimensions are inches (centimeters) unless

WWxx

Example: KSF2 400M R3 TB SCWA SP04 LPI

KSF2					
Series	Wattage	Distribution	Voltage	Ballast	Mounting
KSF2	Metal halide 250M¹ 350M².³,4 320M².³ 400M¹.² High pressure sodium³ 200S 400S 250S	R2 Type II roadway R3 Type III asymmetric R4SC Type IV forward throw, sharp cutoff R4W Type IV wide, forward throw R5S Type V square	120 347 208 ⁴ 480 ⁴ 240 ⁴ TB ⁵ 277 23050HZ ⁶	(blank) Magnetic CWI Contant wattage isolated ⁶ Pulse Stort SCWA Super CWA pulse-start ballast NOTE: For shipments to U.S. territories, SCWA must be specified to comply with EISA.	Type SP Square pole RP Round pole WB_ Wall bracket WW_ Wood pole or wall bracket Type O4 4" arm O6 6" arm O9 9" arm 12 12" arm Shipped separately DA12P Degree arm, pole DA12WB Degree arm, wall KMA Mast arm adapter KTMB Twin mounting bar

otherwise specified.

Options				Finish ¹⁴				Lamp	16
PER NEMA twist-lock receptacle only (no photocontrol) SF Single fuse (120, 277, 347V) n/a TB ⁸ DF Double fuse (208, 240, 480V) n/a TB ⁸ QRS Quartz restrike system ⁹ QRSTD QRS time delay ^{6,9} CSA CSA NOM NOM INTL Ava ship KW1 Kilo rela	nergency circuit ⁹ 5A Certified DM Certified ⁶ vailable for MH probe-start ipping outside the U.S. loWatch® 120V control lay ¹⁰ loWatch® 277V control lay ¹⁰ vailifornia Title 20 effective '1/2010	Shipped PE1 PE3 PE4 PE7 SC HS VG	d separately ¹¹ NEMA twist-lock PE (120, 208, 240V) NEMA twist-lock PE (347V) NEMA twist-lock PE (480V) NEMA twist-lock PE (277V) Shorting cap for PER option House side shield (R2, R3) ^{12,13} Vandal guard ¹²	DWH DBL DMB DNA CRT	Dark bronze White Black Medium bronze Natural aluminum Non-stick protective coating ¹⁵ rable Finishes Dark bronze Black	DNAXD DWHXD DDBTXD DBLBXD DNATXD DWHGXD	Natural aluminum White Textured dark bronze Textured black Textured natu- ral aluminum Textured white	NICE:	Lamp included Less lamp

Accessories: Tenon Mounting Slipfitter Number of fixtures.						
Tenon O.D.	One	Two@180°	Two@90°17	Three@120°	Three@90° 17	Four@90° 17
2-3/8" (6)	T20-190	T20-280	T20-290	T20-320	T20-390	T20-490
2-7/8" (7.3)	T25-190	T25-280	T25-290	T25-320	T25-390	T25-490
4" (10.2)	T35-190	T35-280	T35-290	T35-320	T35-390	T35-490

1 These wattages require the REGC1 option to be chosen 10 KiloWatch® controls are available only with 250S or for shipments into California for Title 20 compliance. 250M REGC1 is not available in 347V or 480V. 11 May be ordered as an accessory.

2 Use reduced jacketed lamp. 3 Not available with SCWA. 4 Must specify CWI for use in Canada. 5 Optional multi-tap ballast (120, 208, 240, 277V); (120,

277, 347V in Canada).

6 Consult factory for available wattages. 7 Use 9" arm when two or more luminaires are oriented on a 90° drilling pattern.

8 Must specify voltage. Not available with TB. 9 Maximum allowable wattage lamp included.

3 Available with R2 and R3 distributions only. 14 See www.lithonia.com/archcolors for additional color 15 Black finish only. 16 Must be specified. 17 Must use RP09 or RP12.

2 Prefix with KSF2 when ordering as an accessory.

KSF2-M-S



OUTDOOR

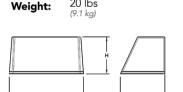
WST LED Architectural Wall Sconce



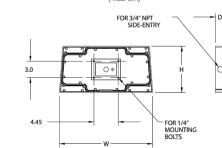
Luminaire

(43.18 cm)

Specifications



Optional Back Box (PBBW) 8.49" (21.56 cm)



4 Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

• All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency

 This luminaire is A+ Certified when ordered with DTL® controls marked by a shaded background. DTL DLL equipped luminaires meet the A+ specification for luminaire to photocontrol interoperability1

 This luminaire is part of an A+ Certified solution for ROAM® or XPoint™ Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background¹

To learn more about A+, visit <u>www.acuitybrands.com/aplus</u>.

See ordering tree for details.

A+ Certified Solutions for ROAM require the order of one ROAM node per luminaire. Sold Separately: <u>Link</u> to Roam; Link to DTL DLL



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DESIGN STUDIO

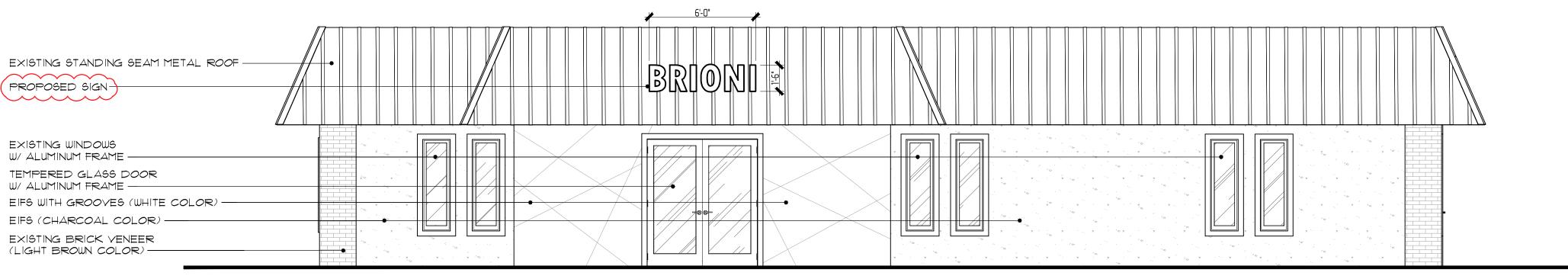
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REVISIONS:	
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DATE:	05/11/2022
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	MONEEN ACAITVA
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- SITE PHOTOME	ETRIC LIGHTING PLAN
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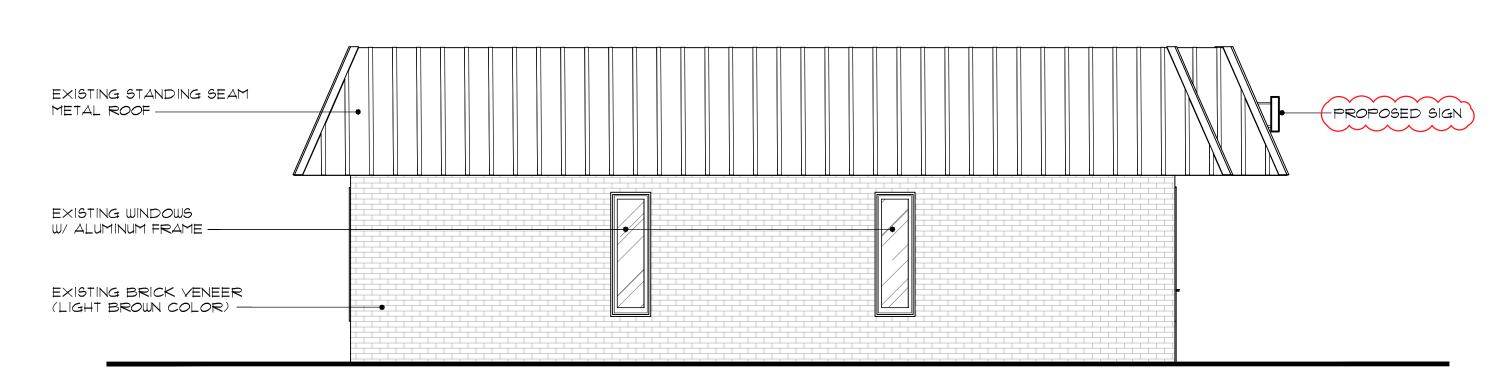


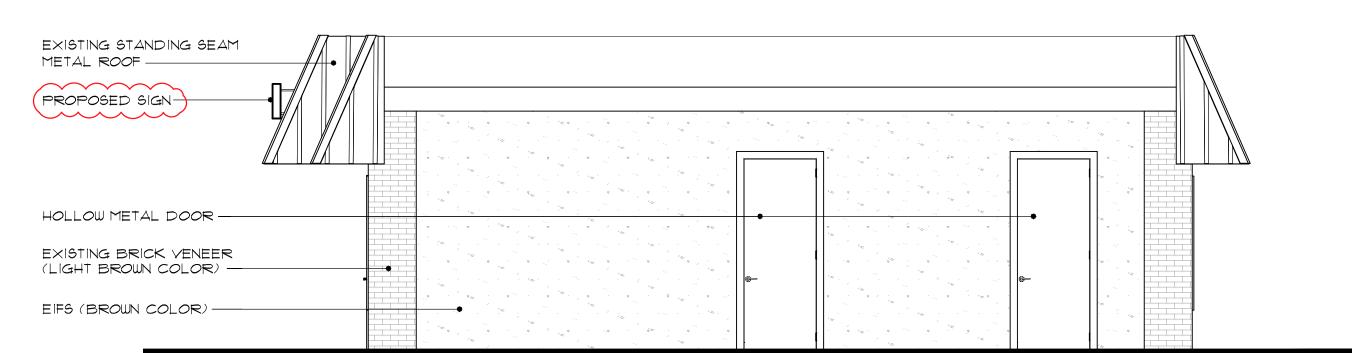
SP-4

NOTE:
THE ENTIRE EXTERIOR OF THE BUILDING WILL BE REPAINTED NEW. ANY DAMAGED AREA IN THE EXTERIOR OF THE BUILDING WILL BE REPAIRED. REFER TO THE BUILDING 'S ELEVATIONS.



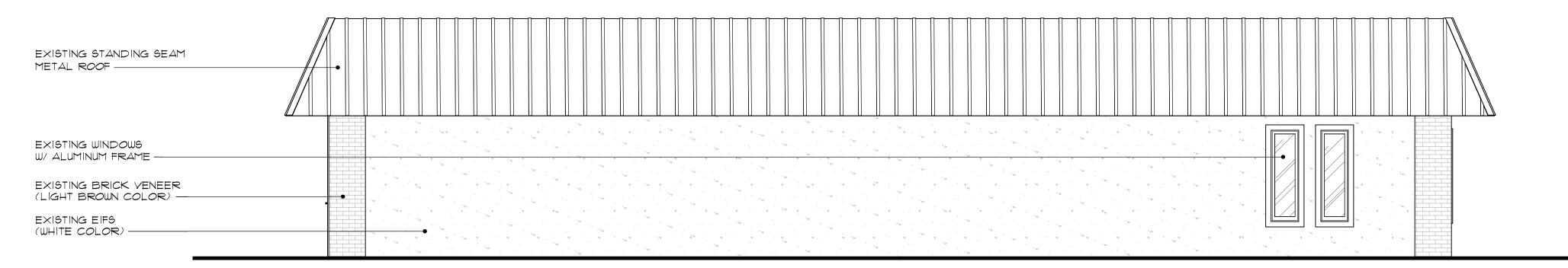
FRONT ELEVATION SCALE: 1/4" = 1'-0"





LEFT ELEVATION SCALE: 1/4" = 1'-0"

RIGHT ELEVATION SCALE: 1/4" = 1'-0"



REAR ELEVATION







DESIGN STUDIO Lights reserved.

PROJECT:
PROPOSED PROVISIONING CENTER
ADDRESS:
1105 W CHISHOLM ST. ALPENA, MI 49707
CLIENT'S NAME: Fadi Yousif & Mark Yousif

 REVISIONS:
 05/25/2022

 06/06/2022
 06/06/2022

 05/25/2022
 06/06/2022

 05/11/2022
 05/11/2022

 DATE:
 05/11/2022

 DRAWN BY:
 MONEER ALAHWAI

 SCALE:
 AS NOTED

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- BUILDING'S ELEVATIONS

SHEET #:

APPROVED BY:



A-3

3D PERSPECTIVE MODEL

N.T.S