

May 22, 2023

VIA ELECTRONIC AND HAND DELIVERY

Ms. Sarah Carey
Assistant Planner
Town of New Canaan
77 Main Street
New Canaan, CT 06840
Sarah.Carey@NewCanaanCT.gov

**Re: Application for Text Amendment and Special Permit Approval
13 Oenoke Ridge, New Canaan, Connecticut**

Dear Ms. Carey,

On behalf of the New Canaan Historical Society (the “Applicant”), please find the attached application materials submitted in connection with 13 Oenoke Ridge (the “Property”). The Property is 1.99± acres and located in the One-Half Acre Residence Zone. The Applicant proposes to construct a special collections museum on the Property, which will replace the existing tool museum and print shop. The Applicant also proposes to repave and reconfigure the existing parking lot, driveway, and walkways. Appropriate landscaping will accompany the proposed improvements. To facilitate this proposal, the Applicant requests from the Planning and Zoning Commission:

- (1) Approval to amend § 3.7.E.2 of the Zoning Regulations to add subsection (e), which would allow, by Special Permit, increases to the permitted building coverage for historical societies in the One-Half Acre Residence Zone permitted under § 3.2.C.17 of the Zoning Regulations; and
- (2) Special Permit approval pursuant to proposed § 3.7.E.2(e) to increase the permitted building coverage for the Property from 5,202 square feet to 9,498 square feet.

In connection with the attached application, enclosed please find:

- Letter of Authority from the Applicant;
- Checks for the following application fees:
 - \$400 for Text Amendment Fee;
 - \$400 for Special Permit Application Fee;
 - \$60 for Recording Fee; and

- \$60 for Land Use Application Fee.
- Two (2) original, signed copies of the Special Permit Application form;
- Two (2) copies of the proposed amendment to § 3.7.E.2 of the Zoning Regulations;
- Two (2) copies of the following:
 - 2014 Site Plan Approval recorded at Volume 928, Page 1051 of the land records, which is the only prior zoning approval for the Property recorded on the land records;
 - Schedule A: Property Description and List of Abutting Properties;
 - Schedule B: List of Plans and Reports;
 - Schedule C: Project Narrative and Description of Special Permit Application.
- One (1) full size and one (1) half size copy of the following plans:
 - Architectural and Landscape Plans prepared by MJM Architecture, dated May 22, 2022, with the plan titles listed in Schedule B;
 - Property & Topographic Survey prepared by Redniss & Mead, dated September 26, 2022; and
 - Zoning Location Survey prepared by Redniss & Mead, dated January 12, 2023, revised to April 3, 2023.
- Two (2) copies of a letter prepared by Redniss & Mead to Maria A. Coplit, P.E., Town Engineer, dated May 12, 2023, describing the impact of the proposed project on drainage; and
- Two (2) copies of the following mailing materials:
 - List of property owners within 100' of the Property;
 - Mailing labels for property owners within 100' of the Property; and
 - Map of property owners within 100' of the Property.

The Applicant respectfully requests that the Application is heard by the Planning and Zoning Commission at its meeting on June 27, 2023. Please note that my office will send notices to all property owners within 100' of the Property at least ten (10) days prior to the meeting and submit proof of mailing to your office. Thank you for your time and attention regarding this matter. Please contact me should you have any questions.

Sincerely,



Michael P. Sweeney

Enclosures.

cc: Development Team



NEW CANAAN

MUSEUM & HISTORICAL SOCIETY
13 OENOKE RIDGE, NEW CANAAN, CT 06840

May 10, 2023

Ms. Sarah Carey
Assistant Planner
Town of New Canaan
77 Main Street
New Canaan, CT 06840

Re: New Canaan Historical Society
Planning & Zoning Applications
13 Oenoke Ridge (the "Property")

Dear Ms. Carey:

The New Canaan Historical Society is the owner of the above-captioned Property. Please consider this letter as written confirmation that the undersigned has authorized the attorneys of Carmody Torrance Sandak & Hennessey, LLP, with offices located at 1055 Washington Boulevard, Stamford, Connecticut 06901, to file the enclosed applications with the Town of New Canaan on its behalf in connection with the Property. Thank you for your acknowledgement of said authority.

Sincerely,
New Canaan Historical Society

By: Nancy Geary
Executive Director
Duly Authorized

NCHISTORY.ORG
(203) 966-1776

A MUSEUM • A LEARNING CENTER • A LIBRARY
FOUNDED IN 1889



SPECIAL PERMIT APPLICATION

The undersigned owner(s) of record hereby apply for a SPECIAL PERMIT APPROVAL as to certain Real Estate located at:

ADDRESS: 13 Oenoke Ridge

Owner's Name: New Canaan Historical Society Address: 13 Oenoke Ridge

Applicant's Name: New Canaan Historical Society Phone #: c/o Agent: (203) 425-4200

Address: c/o Agent: Michael P. Sweeney, 1055 Washington Blvd., 4th Floor, Stamford, CT 06901

Applicant's Email Address: msweeney@carmodylaw.com

ZONING DISTRICT 1/2 Acre Residence as shown in the New Canaan Land Records: **VOLUME** 163, **PAGE** 362

And more particularly described by bounding owners as follows:

Northerly by: See Schedule A

Southerly by: See Schedule A

Easterly by: See Schedule A

Westerly by: See Schedule A

Within 500 Feet of another municipality? Yes No Name Town(s) _____

MAP # T **BLOCK #** 42 **LOT #** 88

I am requesting a SPECIAL PERMIT APPROVAL of Section(s) 3.2.C.17; 3.7.E.2

described as follows: (1) to permit the construction of a special collections museum to replace existing tool museum and print shop; and (2) to allow the maximum building coverage on a residential lot to be increased above the building coverage limitation in Subsection 3.5.D.

- **You must attach a detailed statement describing:**

1) the existing and proposed use or uses; and 2) how the Special Permit Criteria are addressed.

- If any Special Permits or Variances previously granted for this property attach Certif. of Decision(s) YES NO

- I hereby acknowledge that unless I comply with provisions of Article 8. Section 8.1.G. of the Zoning Regulations, which require specific notification of certain neighbors, my application will not be complete and cannot be heard.

PRINT: MICHAEL P. SWEENEY
Owner of Record/Authorized Agent

SIGNED: [Signature]
Owner of Record/Authorized Agent

Official Use Only
Date of Receipt: _____ **Hearing Date(s):** _____ **Decision Date:** _____

I, Krista Neilson, Secretary of the Planning & Zoning Commission of the Town of New Canaan, hereby certify that at a meeting of said Commission duly held on _____, said Commission by resolution voted:

- ___ 1. That said SPECIAL PERMIT Application is DENIED.
- ___ 2. That said SPECIAL PERMIT Application is GRANTED in accordance with the approved plans or as modified herein.
- ___ 3. That notice of such Action is published as required.
- ___ 4. Conditions, modifications, or restrictions:

Krista Neilson, Secretary

Publication Date



SPECIAL PERMIT APPLICATION

The undersigned owner(s) of record hereby apply for a SPECIAL PERMIT APPROVAL as to certain Real Estate located at:
ADDRESS: 13 Oenoke Ridge

Owner's Name: New Canaan Historical Society Address: 13 Oenoke Ridge

Applicant's Name: New Canaan Historical Society Phone #: c/o Agent: (203) 425-4200

Address: c/o Agent: Michael P. Sweeney, 1055 Washington Blvd., 4th Floor, Stamford, CT 06901

Applicant's Email Address: msweeney@carmodylaw.com

ZONING DISTRICT 1/2 Acre Residence as shown in the New Canaan Land Records: **VOLUME** 163, **PAGE** 362
And more particularly described by bounding owners as follows:

Northerly by: See Schedule A Southerly by: See Schedule A

Easterly by: See Schedule A Westerly by: See Schedule A

Within 500 Feet of another municipality? Yes No Name Town(s) _____

MAP # T **BLOCK #** 42 **LOT #** 88

I am requesting a SPECIAL PERMIT APPROVAL of Section(s) 3.2.C.17; 3.7.E.2
described as follows: (1) to permit the construction of a special collections museum to replace existing tool museum and print shop; and (2) to allow the maximum building coverage on a residential lot to be increased above the building coverage limitation in Subsection 3.5.D.

- **You must attach a detailed statement describing:**
1) the existing and proposed use or uses; and 2) how the Special Permit Criteria are addressed.
- If any Special Permits or Variances previously granted for this property attach Certif. of Decision(s) YES NO
- I hereby acknowledge that unless I comply with provisions of Article 8. Section 8.1.G. of the Zoning Regulations, which require *specific notification of certain neighbors*, my application will not be complete and *cannot* be heard.

PRINT: Michael P. Sweeney
Owner of Record/Authorized Agent

SIGNED: [Signature]
Owner of Record/Authorized Agent

Official Use Only		
Date of Receipt:	Hearing Date(s):	Decision Date:

I, Krista Neilson, Secretary of the Planning & Zoning Commission of the Town of New Canaan, hereby certify that at a meeting of said Commission duly held on _____, said Commission by resolution voted:

- ___ 1. That said SPECIAL PERMIT Application is DENIED.
- ___ 2. That said SPECIAL PERMIT Application is GRANTED in accordance with the approved plans or as modified herein.
- ___ 3. That notice of such Action is published as required.
- ___ 4. Conditions, modifications, or restrictions:

Krista Neilson, Secretary

Publication Date

Draft Amendment to § 3.7.E.2 of the Zoning Regulations

SECTION 3.7. DIMENSIONAL EXCEPTIONS

...

E. Exceptions for Building Coverage

...

2. The Commission may, by Special Permit, increase the permitted building coverage in a residential zone for the following uses:

...

- e. Historical society in the One-Half Acre Residence Zone permitted under Subsection 3.2.C.17 of these Regulations, provided that:
 - i. The historical society is a not-for-profit cultural institution that is open to the public, owns and operates historic house museums, and provides exhibits, programs, library services, and events;
 - ii. The historical society focuses on collections, research, programs, and events that celebrate the history of New Canaan;
 - iii. The increase in coverage will enable the institution to provide or improve a facility or use that will serve a community need; and
 - iv. The historical society is located on a parcel that:
 - i. Is at least 1.5 acres;
 - ii. Has access to public water and sewer;
 - iii. Is located in a historic district; and
 - iv. Has frontage on Oenoke Ridge.

VOL 928 PG 1051

RECEIVED

DEC 02 2014



SIGN SITE PLAN APPLICATION

NEW CANAAN
PLANNING & ZONNING

The undersigned owner(s) of record hereby apply for a SIGN SITE PLAN APPROVAL as to certain Real Estate located at: # 13 OENOKE RIDGE Street/Road.
Owner's Name: NEW CANAAN HISTORICAL Soc. Address: 13 OENOKE RIDGE
Applicant's Name: R. JAMES BACH Address: _____
Applicant's Telephone Number: 203-966-1776
Applicant's Email Address: his soc NEWCANAN.HISTORICAL@gmail.com

In the _____ Zone, as shown in the New Canaan Land Records: VOLUME _____, PAGE _____
And more particularly described by bounding owners as follows:

Northerly by: ST. MARK'S Southerly by: COGREGATIONAL PARSONAGE
Easterly by: ST. MICHAELS Westerly by: N/A

MAP # T BLOCK # 42 LOT # 88

I am requesting a SIGN SITE PLAN APPROVAL of Section(s) 6.3.C.3 described as follows:

**requesting approval to install a
Pylon sign at 13 Oenoke Ridge**

PRINT: A. JAMES BACH SIGNED: [Signature]
Owner of record/Authorized Agent Owner of record/Authorized Agent

Official date of receipt: 12/02/14 Hearing scheduled: 12/16/14

I, [Signature] Jean Grzelecki, Secretary of the Planning & Zoning Commission of the Town of New Canaan, hereby certify that at a meeting of said Commission duly held on 12/16/14, said Commission by resolution voted:

- 1. Was a Public Hearing required for this application?
- 2. That said Sign Site Plan Application be DENIED.
- 3. That said Sign Site Plan Application be GRANTED.
- 4. That notice of such Action be published as required.
- 5. Conditions, modifications, or restrictions:

Jean N. Grzelecki 12/24/14 NC Adm. I.
Jean N. Grzelecki, Secretary Published

received for record on 12-23-14 at 1:41 pm
and recorded by Claudia A. Weber
TOWN CLERK

Doc. ID: 00249630001 Type: LAN
Book 928 Page 1051
File# 1860

Schedule A
Property Description and List of Abutting Properties

13 Oenoke Ridge: N.C.L.R. Vol. 163, Page 362
Map #T, Block #42, Lot #88

13 Oenoke Ridge is bounded by the following property owners:

Northerly:

- Waveny Care Center Health Services, Inc., Unnumbered Parcel on Oenoke Ridge (T/42/893)
(Mailing Address: 3 Farm Road, New Canaan, CT 06840)

Southerly:

- Laura C. Saverin, 24 Oenoke Ridge (L/204/859) (Mailing Address: 24 Oenoke Ridge, New Canaan, CT 06840)
- Congregational Church, 1 Park Street (L/204/884) (Mailing Address: 1 Park Street, New Canaan, CT 06840)

Easterly:

- St. Michael's Lutheran Church, 5 Oenoke Ridge (T/42/81) (Mailing Address: 5 Oenoke Ridge, New Canaan, CT 06840)

Westerly:

- Joseph L. Bucciarelli and Beth A. Bucciarelli, 7 Oenoke Lane (L/20/865) (Mailing Address: P.O. Box 756, New Canaan, CT 06840)
- William P. Frank and Lauren B. Frank, 20 Oenoke Lane (L/204/890) (Mailing Address: 20 Oenoke Lane, New Canaan, CT 06840)
- Michael Canoro and Alfred Canoro, 40 Oenoke Ridge (L/204/860) (Mailing Address: 40 Oenoke Ridge, New Canaan, CT 06840)

Schedule B
List of Plans and Reports

- Architectural and Landscape Plans Prepared by MJM Architecture, dated May 22, 2023, entitled:
 - “A-001.00 – Title Sheet;”
 - “A-002.00 – Survey of Existing;”
 - “A-003.00 – Survey of Proposed;”
 - “A-004.00 – Site Plan;”
 - “A-005.00 – Parking Improvements;”
 - “A-006.00 – Landscape Plan;”
 - “A-007.00 – Sketch from Street;”
 - “A-008.00 – Sketch from Parking;”
 - “A-009.00 – Elevations;”
 - “A-010.00 – Context;”
 - “A-011.00 – Floor Plan, Ref. Clg. Plan;”
 - “A-012.00 – Wall, Building, Sections.”

- Property & Topographic Survey prepared by Redniss & Mead, dated September 26, 2022;

- Zoning Location Survey Prepared by Redniss & Mead, dated January 12, 2023, revised to April 3, 2023; and

- Drainage Letter prepared by Redniss & Mead to Maria A. Coplit, P.E., Town Engineer, dated May 12, 2023.

Schedule C
Project Narrative and Description of Special Permit Application

I. Project Overview

The New Canaan Historical Society (the “Applicant”) proposes to construct a special collections museum that will replace the existing tool museum and print shop at 13 Oenoke Ridge (the “Property”). The Applicant also proposes to repave and reconfigure the existing parking lot, driveway, and walkways. Appropriate landscaping will accompany the proposed improvements. To facilitate this proposal, the Application requests approval to amend § 3.7.E.2 of the Zoning Regulations and Special Permit approval to increase the coverage permitted on the Property.

a. The Applicant

The Applicant is the owner of the Property, which is home to the New Canaan Museum (the “Museum”). The Museum tells the story of the Town of New Canaan and its greater community. Through collections and research, programs and events, the Museum celebrates history and explores its impact on the future. The member-supported Museum welcomes visitors from the community and beyond, runs school tours highlighting life in Colonial Connecticut, and orchestrates October4design, a town-wide effort to promote architecture, art, and design in New Canaan, which includes a biennial Modern House Day Tour. It is committed to maintaining historic house museums on its property, including the 1764 Hanford-Silliman House, the 1799 Rock School, the Rogers Studio, a National Landmark building, and the Cody Pharmacy, New Canaan’s first drug store, as well as the Little Red Schoolhouse on Carter Street. Additionally, it holds the second largest collection of clothing and textiles in Connecticut. The campus, including the outdoor terrace and brick patio, are open to all.

b. The Property & Existing Uses

The Property is 1.99± acres (86,492± square feet) and located within the One-Half Acre Residence Zone. The Property is generally bounded by property owned by Waveny Care Center to the north, St. Michael’s Lutheran Church to the east, and Oenoke Ridge to the west and south. The Property is improved with five structures, which include the 1764 Hanford-Silliman House, the 1825 Town House, the 1845 Cody Pharmacy, the 1878 Rogers Studio, and the tool museum and print shop. As detailed above, the Property is home to the New Canaan Historical Society. The Applicant offers programs, lectures, tours, exhibitions, and events throughout the year at the historic buildings on the Property.

c. Description of Proposed Development

The Applicant proposes to replace the existing 900± square foot tool museum on the Property with a 1,100± square foot structure that will act as the Museum’s “special collections” exhibition space. The tool museum was constructed in 1970 and is in need of replacement. Although there is some electric heat, the building has no insulation and is built on a cracked cement slab. Squirrels and other small animals frequently find their way inside. Moisture enters and the Applicant continually cleans the structure for mold in the print shop area. Because of the moisture, copies of photographs, as well as didactic signage, has bubbled and warped. The building cannot function as a proper museum, does not provide an ideal experience for visitors, and cannot house documents and other objects that require climate control for their preservation.

The proposed special collections museum is a climate-controlled, barn-like structure that will allow for better preservation of the Museum's historic inventory. It will have wood board and batten siding, Marvin windows, and Timberline asphalt shingles in Mission Brown for the roof. As detailed below, it will preserve a portion of the original studio of the painter Addison T. Millar.

The proposed special collections museum will be divided into three sections. The first section will house the Silvermine Gallery, which will tell the story of the Silvermine Art Colony (the "Colony"). The Colony began when well-established sculptor Solon Borglum journeyed to lower Connecticut in 1905, and became enchanted by its countryside, treeless vistas, and the Silvermine River. He encouraged friends to join him in the area, and thus began the Colony. In operation from 1908-1922, it was one of the most important colonies in New England. Following Borglum's death in 1922, it became an art guild, which continues to this day. Many of the original artists continued to work and exhibit into the 1950s.

Art forms of all sorts were created there. Painting, sculpting, ceramics, illustrations, metal casts, prints, and murals were done by men and women. Even Raggedy Ann and Raggedy Andy were created by a Silvermine artist (Johnny Gruelle) for children. Gotzon Borglum, Solon's brother, left Connecticut to pursue his creation of Mount Rushmore.

Millar (1860-1913) was one of the original Colony members. Born in Warren, Ohio, he moved to New York City in 1893 and studied at the Art Students League. He trained with William Merritt Chase in 1892, and then went to Paris to continue his studies. At the encouragement of the Borglum, he settled in Silvermine. When he and his wife were tragically killed in 1913 in a railcar accident, the Borglum family moved into his property to care for his only child. The Millar studio – a rustic structure made of bark from local lumber mills – was generously donated to the Museum by the Borglum family. It is one of the last (if not the last) studios still in existence. It is a national treasure, and the Museum wants to relocate it from its current location on Mill Road to the campus here before it deteriorates further. Linda Fry, the 92-year-old granddaughter of Borglum, also gave an oral history to the Museum to share her stories of the period and her memories of the studio.

Although the studio tells the story of a more primitive type of early 20th century architecture that existed in New Canaan for artisans who used available cheap materials and created spaces within which to work, the inside will open into an exhibition space to allow the Museum to feature the work of the 22 members of the Colony. The Museum's own collection includes paintings, drawings, ceramics, documents, ephemera, and even articles of clothing worn by these talented men and women. These items could be on display in rotation. Descendants of the Colony are dying or moving away. Memories and stories are lost. This studio – and the research center it will be a part of – is a way to maintain this rich artistic history for decades to come.

The middle section will hold the Acorn Press, a patented machine built between 1822 and 1830 by the Smith-Hoe Company of New York City and given to the Applicant by the New Canaan Advertiser (the "Advertiser"). The Acorn Press is currently in the "print shop" section of the tool museum. This section will also house a beautiful safe that the Advertiser recently gifted to the Museum, along with a sign for the Advertiser created by Edwin Meek, a member of the Silvermine Art Colony. This section is designed to tell the story of early community newspapers, including the impact the Advertiser had on New Canaan's history, and to serve as a workshop for students and others who want to learn how to use the printing press. The interior will be developed in conjunction with Metcalfe, a company that specializes in exhibition design, so that it will provide an enhanced educational experience for students and other visitors.

The third section, which will face Oenoke Ridge, will hold an 1855 Demarest Carriage that was gifted to the Museum by the Stamford History Center. It was hand built in New York City by A. T. Demarest & Co., a company that successfully transitioned from making early horse drawn carriages to early custom automobile bodies. The carriage was a retirement present for James Hoyt, Superintendent of the New York and New Haven Railroad from 1854-1870. James Hoyt had also been President of the Stamford Savings Bank. He had married Sarah Grey of Darien in 1838 and they had five children. The coach was used for travel to church, and its last known use was for a 1903 wedding of one of the Hoyt granddaughters at St. John's Episcopal Church in Stamford.

The carriage is now being carefully restored by Draggone Classic Motor Cars of Orange, CT. The original curved glass of the chassis and ivory accessories are intact. Draggone has found period appropriate cut-glass lamps (the originals were stolen while the carriage was in storage at the Stamford dump), and the exquisite upholstery has been done in a red English wool. When finished, it will be a dramatic display of early transportation that will be visible regardless of whether the Museum is open because it will sit behind a glass wall facing Oenoke Ridge Road.

Lastly, the Applicant proposes to repave and reconfigure the existing parking lot, driveway, and walkways. Doing so will improve existing pavement conditions and yield an increase of 2,695± square feet of pervious area.

d. Requested Approvals

To facilitate this proposal, the Applicant requests the following:

- (1) Approval to amend § 3.7.E.2 of the Zoning Regulations to add subsection (e), which will permit the Planning and Zoning Commission to increase the permitted building coverage for historical societies in the One-Half Acre Residence Zone.
- (2) Special Permit approval pursuant to proposed § 3.7.E.2(e) to increase the permitted building coverage for the Property from 5,202 square feet to 9,498 square feet.

e. Request to Amend Zoning Regulations

Pursuant to § 3.5.D.1 of the Zoning Regulations, the maximum building coverage permitted on the Property is 5,202 square feet (3,485 square feet plus 4.0 percent of the lot area in excess of 43,560 square feet). The Applicant seeks approval to amend § 3.7.E.2 of the Zoning Regulations to add subsection (e), which will allow the Planning and Zoning Commission to increase the permitted building coverage for the Applicant's use of the Property to allow for the construction of the proposed special collections museum. Specifically, proposed subsection (e) would permit the Planning and Zoning Commission to, by Special Permit, after notice and public hearing, increase the permitted building coverage for historical societies in the One-Half Acre Residence Zone permitted under § 3.2.C.17 of the Zoning Regulations, provided that:

- i. The historical society is a not-for-profit cultural institution that is open to the public, owns and operates historic house museums, and provides exhibits, programs, library services, and events;

- ii. The historical society focuses on collections, research, programs, and events that celebrate the history of New Canaan;
- iii. The increase in coverage will enable the institution to provide or improve a facility or use that will serve a community need; and
- iv. The historical society is located on a parcel that:
 - i. Is at least 1.5 acres;
 - ii. Has access to public water and sewer;
 - iii. Is located in a historic district; and
 - iv. Has frontage on Oenoke Ridge.

The strict criteria set forth in proposed subsection (e) will ensure that coverage exceptions can only be granted for a specific subset of philanthropic and eleemosynary uses on parcels that can accommodate increases in coverage. Namely, the parcels must be at least triple the minimum lot size permitted in the One-Half Acre Residence Zone and have frontage on Oenoke Ridge, which an arterial road. Importantly, because of the enumerated criteria, the Planning and Zoning Commission will retain full discretion when reviewing Special Permit requests under this regulation for coverage only.

The proposed text amendment is consistent with the Town Plan of Conservation and Development, as it will support historic preservation efforts by others and facilitate the construction of structures that will promote community involvement among residents.¹ The Plan notes that historic buildings, architectural diversity, and community facilities contribute to the Town's character.² Historical societies provide such community facilities and teach others about Town's unique architectural history. The proposed text amendment will only allow coverage exceptions to be granted when it is show than any increase in coverage will be used by historical societies to provide community facilities that preserve and promote the Town's history. Furthermore, the proposed text amendment is consistent with the existing Zoning Regulations, which permit coverage exceptions in certain circumstances for other institutional uses in residential districts, including those with frontage on Oenoke Ridge.

f. Conclusion

The Applicant seeks approvals to construct a special collections museum in an area that is already well-suited for such a structure and use. The proposed museum will provide additional space for the Applicant's collections and activities. Furthermore, its attractive design and modest scale will compliment the historic structures on the Property.

II. Statement of Findings for Special Permit Application

a. Article 8, § 8.2.B.4

The Applicant respectfully submits that the proposal is consistent with the Special Permit Criteria contained in Article 8, § 8.2.B.4 of the Zoning Regulations as follows:

- a. *Suitable Location for Use: The location and size of the site, the nature and intensity of the operations involved in or conducted in connection with the use, and the location of the site with respect to streets giving access to it are such that the use shall be in harmony with the*

¹See 2014 Plan of Conservation & Development at pages 12 and 25.

²See 2014 Plan of Conservation & Development at page 16.

appropriate and orderly development in the district in which it is located and shall promote the welfare of the Town.

The Property is suitable for the addition of the proposed special collections museum. The Property already is being used as a historical society and has existed in harmony with the surrounding neighborhood, which includes properties in the same zone with a variety of other Special Permit uses. The Property is significantly larger than the minimum lot size permitted in the zone and currently contains 9,098 square feet of building coverage. The Applicant proposes to replace the existing tool museum and print shop, which will result in a modest net increase in coverage of 310 square feet. The Property is located on an arterial road with sufficient vehicular access, which can adequately accommodate traffic generated by the proposed use.

b. Appropriate Improvements

- i. The design elements of the proposed development will be attractive and suitable in relation to the site characteristics, the style of other buildings in the immediate area, and the character and desirable development of the area or neighborhood in which the use is proposed to be located.*

The proposed special collections museum will be attractive and compatible with the historic structures on the Property. As detailed in the enclosed architectural plans, the museum will be constructed with materials similar to those used for the extension of the archival annex to the 1825 Town House. The museum is also designed to be suitable in relation to the historic district in which it is located.

- ii. The location, nature and height of buildings, walls, and fences, planned activities and the nature and extent of landscaping on the site will be such that the use shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.*

The size and scale of the proposed special collections museum is compatible with other buildings in the area. It will be located farther from the northern property line than the existing tool museum and print shop it will replace. As detailed in the proposed architectural plans, attractive landscaping is proposed around the museum and along the parking lot. Narrow emerald evergreen arborvitae will screen the condenser units that will serve the museum. The museum and landscaping will not hinder or discourage development and use of adjacent land and buildings or impair the value thereof.

- iii. The proposed use or activity shall have no adverse effect upon the neighboring area resulting from the use of signs, exposed artificial lights, colored lights of any nature, flashing lights, loudspeakers or other noisemaking devices.*

All artificial lighting and site generated noise from the proposed use shall be controlled and will not interfere with the use and enjoyment of the neighboring properties. No signage is proposed and all proposed lighting will be inside of the building.

- iv. In cases where it is proposed to convert a structure designed and built originally for other uses, the structure is adaptable to the proposed use from the point of view of public health and safety.*

N/A.

c. *Suitable Transportation Conditions*

- i. *The design, location and specific details of the proposed use or activity shall not adversely affect safety in the streets nor unreasonably increase traffic congestion in the area nor interfere with the pattern of vehicular circulation in such a manner as to create or augment unsafe traffic conditions.*

The proposal will not adversely affect safety in the streets, nor will it increase traffic congestion. As stated above, the Property is located on an arterial road that can accommodate the traffic generated by the proposed use.

- ii. *Parking area or areas will be of adequate size for the particular use, shall be suitably screened from adjoining residential uses, and entrance and exit drives shall be laid out so as to prevent traffic hazards and nuisances.*

No changes to the size of the parking area are proposed. The existing parking area is suitably screened from residential uses with landscaping and additional screening is being added. The proposed development will improve parking on the Property, as the existing parking lot will be repaved. No parking will be lost as a result of the proposed development. Furthermore, the proposed development will improve circulation on the Property. As depicted on the enclosed Zoning Location Survey, the proposed structure will be set back farther from the northern border of the Property than the existing structure, which will allow for the reconfiguration of the existing driveway, thereby improving site access.

- iii. *Streets and other rights-of-way shall be of such size, condition and capacity (in terms of capacity, width, grade, alignment and visibility) to adequately accommodate the traffic to be generated by the particular proposed use.*

The Property is located on Connecticut Route 124, which can adequately accommodate the traffic generated by the proposed use.

d. *Adequate Public Utilities and Services*

- i. *The provisions for water supply, sewage disposal, and storm water drainage conform to accepted engineering practices, comply with all standards of the appropriate regulatory authority, and shall not unduly burden the capacity of such facilities.*

The Property has access to public water and sewer. The proposed development will not unduly burden the capacity of such facilities. As stated in the enclosed letter prepared by Redniss and Mead, the proposed development will not change existing drainage patterns on the Property, nor will it result in adverse drainage impacts to adjacent properties or receiving stormwater systems.

- ii. *The proposed use or activity shall provide easy accessibility for fire apparatus and police protection and is laid out and equipped to further the provision of emergency services.*

Emergency and first responders will be able to access the Property safely and conveniently.

- e. *Environmental Protection and Conservation: Appropriate consideration shall be given to the protection, preservation, and/or enhancement of natural, scenic, historic, and unique resources including, where appropriate, the use of conservation restrictions to protect and permanently preserve natural, scenic, historic, or unique features which enhance the character and environment of the area.*

The proposed development includes landscaping enhancements to the Property. Additionally, the it will result in a net increase of 2,695± square feet of pervious area.

- f. *Long Term Viability: Adequate provision has been made for the sustained maintenance of the proposed development (structures, streets, and other improvements).*

The Applicant has made adequate provisions for the sustained development of the proposed structure, parking lot, and landscaping.

- g. *Plan of Conservation and Development: The proposed use or activity does not conflict with the purposes of the Regulations set forth in Section 1.2, and promotes the goals, objectives, policies, or recommendations of the Plan of Conservation and Development, as amended.*

The proposed use does not conflict with the purposes of the Regulations set forth in Section 1.2. It promotes the goals, objectives, policies, or recommendations of the Plan of Conservation and Development by further preserving the history of the Town. The purpose of the requested increase in coverage is to construct a special collections museum that the Applicant will use to teach visitors about the Town's history. These activities are consistent with the Plan's goals of supporting historic preservation efforts by others, preserving historic resources, and promoting community involvement.³ The structure itself will preserve a portion of the original studio of the painter Addison T. Millar. Additionally, proposed special collections museum will add to the Town's architectural diversity and compliment the historic structures on the Property, while helping to tell the story of the Town.⁴

b. Proposed Article 3, § 3.7.E.2(e)

Additionally, the Applicant respectfully submits that the proposal is consistent with the Special Permit Criteria contained in proposed Article 3, § 3.7.E.2(e) of the Zoning Regulations as follows:

- 2. *The Commission may, by Special Permit, increase the permitted building coverage in a residential zone for the following uses:*
 - e. *Historical society in the One-Half Acre Residence Zone permitted under Subsection 3.2.C.17 of these Regulations, provided that:*

The Property is located in the One-Half Acre Residence Zone and contains a historical society permitted under Subsection 3.2.C.17 of the Zoning Regulations.

³See 2014 Plan of Conservation & Development at pages 12 and 25.

⁴See 2014 Plan of Conservation & Development at page 16.

- v. *The historical society is a not-for-profit cultural institution that is open to the public, owns and operates historic house museums, and provides exhibits, programs, library services, and events;*

The Applicant is a not-for-profit is open to the public, owns and operates historic house museums, and provides exhibits, programs, library services, and events.

- vi. *The historical society focuses on collections, research, programs, and events that celebrate the history of New Canaan;*

The Applicant focuses on collections, research, programs, and events that celebrate the history of New Canaan.

- vii. *The increase in coverage will enable the institution to provide or improve a facility or use that will serve a community need; and*

The Applicant serves a community need by, among other things, preserving the Town's history, running tours, providing programs, and hosting events. The increase in coverage will enable the Applicant to add an additional space in which it can carry out these activities.

- viii. *The historical society is located on a parcel that:*

- i. *Is at least 1.5 acres;*

The Property is 1.99± acres.

- ii. *Has access to public water and sewer;*

The Property is connected to public water and sewer.

- iii. *Is located in a historic district; and*

The Property is located in the Historic District of New Canaan.

- iv. *Has frontage on Oenoke Ridge.*

The Property has frontage on Oenoke Ridge.

SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

OWNER:
NEW CANAAN MUSEUM & HISTORICAL SOCIETY
13 Oenoke Ridge
New Canaan, CT 06840

ARCHITECT:
Mark Markiewicz
1650 Parus Ridge
New Canaan, CT 06840
m 203 908-2577
o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:

REVISIONS

PRINTING	DATE
CHECK SET	
PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

TITLE SHEET

DATE 22 MAY 2023
SHEET

A-001.00

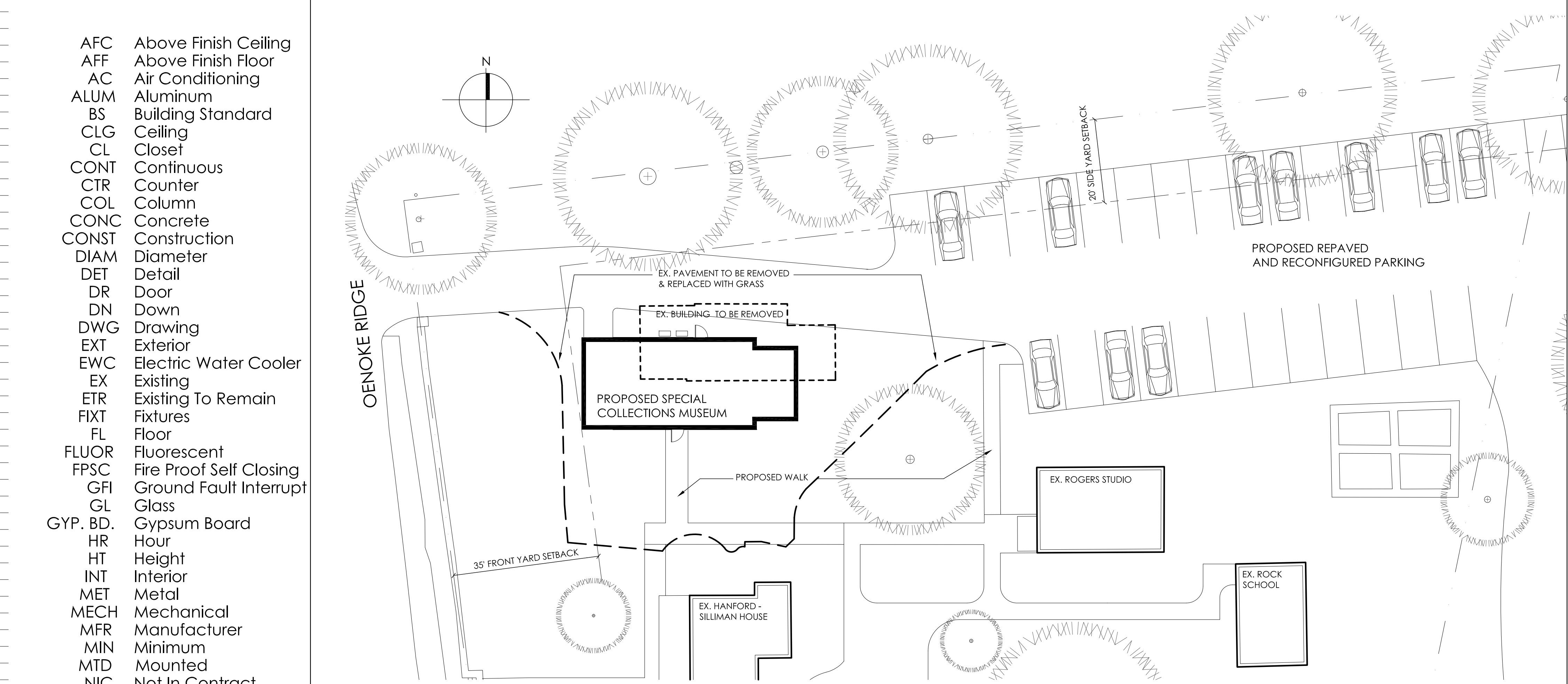
LEGEND

- CENTER LINE
- STARTING POINT
- DENOTES BREAK IN MATERIAL OR HEIGHT.
- ROOM NUMBER
- DENOTES KEYNOTE APPLICABLE TO SAME DRAWING
- ELEVATION DRAWING NUMBER
- DETAIL NUMBER SECTION TARGET - DIFFERENT DRAWING DRAWING NUMBER
- SECTION TARGET
- DOOR DESIGNATION (SEE DOOR SCHEDULE)
- PARTITION TYPE NUMBER
- AREA SHOWN IN DETAIL
- BASE AND FLOOR FINISH INDICATION - (UPPER NUMBER REFERS TO MATERIAL TYPE LOWER NUMBER REFERS TO SPECIFICATION)
- WALL FINISH INDICATION - (UPPER NUMBER REFERS TO MATERIAL TYPE, LOWER NUMBER REFERS TO SPECIFICATION)
- SADDLE TYPE NUMBER, SEE PLANS.
- DRAPERY FINISH INDICATION
- WINDOW DESIGNATION

ABBREVIATIONS

- AFC Above Finish Ceiling
- AFF Above Finish Floor
- AC Air Conditioning
- ALUM Aluminum
- BS Building Standard
- CLG Ceiling
- CL Closet
- CONT Continuous
- CTR Counter
- COL Column
- CONC Concrete
- CONST Construction
- DIAM Diameter
- DET Detail
- DR Door
- DN Down
- DWG Drawing
- EXT Exterior
- EWC Electric Water Cooler
- EX Existing
- ETR Existing To Remain
- FIXT Fixtures
- FL Floor
- FLUOR Fluorescent
- FPSC Fire Proof Self Closing
- GFI Ground Fault Interrupt
- GL Glass
- GYP. BD. Gypsum Board
- HR Hour
- HT Height
- INT Interior
- MET Metal
- MECH Mechanical
- MFR Manufacturer
- MIN Minimum
- MTD Mounted
- NIC Not In Contract
- NTS Not To Scale
- NO Number
- OPNG Opening
- PART Partition
- PLY Plywood
- PL. LAM. Plastic Laminate
- RM Room
- RA Registered Architect
- REF Refrigerator
- REFL Reflected
- REQD Required
- SC Solid Core
- SF Square Foot
- STOR Storage
- ST Steel
- ST.ST. Stainless Steel
- TEL Telephone
- THK Thick
- TO Trimmed Opening
- TYP Typical
- TBD To Be Determined
- VCT Vinyl Composition Tile
- VIF Verify In Field
- WD Wood
- W/ With

SITE PLAN scale 1/16" = 1'-0"



GENERAL NOTES

- THE FOLLOWING NOTES SHALL APPLY THROUGHOUT. EXCEPTIONS ARE SPECIFICALLY NOTED ON EACH DRAWING.
- SCOPE OF WORK IS A TWO STORY GROUND UP SINGLE FAMILY RESIDENCE, NEW DRIVEWAY, SEPTIC SYSTEM, AND WELL.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2020 NEW YORK STATE RESIDENTIAL CODE WITH AMENDMENTS TO THE 2018 INTERNATIONAL RESIDENTIAL CODE, FIRE DEPARTMENT REGULATIONS, UTILITY COMPANY REQUIREMENTS, AND THE BEST TRADE PRACTICES.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND CONDITIONS OF THE BASE BUILDING AND NOTIFY THE ARCHITECT OF DISCREPANCIES.
 - THE CONTRACTOR SHALL, UNLESS OTHERWISE NOTED, PROVIDE REQUIRED CONSTRUCTION PERMIT(S), FEES, LICENSES, AND INSPECTIONS NECESSARY FOR THE PROPER EXECUTION OF THE WORK.
 - THE CONTRACTOR SHALL MAINTAIN ON SITE A COMPLETE AND CURRENT SET OF CONSTRUCTION DRAWINGS AND SUBCONTRACTORS SHOP DRAWINGS AT ALL TIMES.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL CONDITIONS AND MATERIALS WITHIN THE PROPOSED CONSTRUCTION AREA. THE CONTRACTOR SHALL HAVE SOLE RESPONSIBILITY FOR ANY DAMAGE OR INJURIES CAUSED BY OR DURING THE EXECUTION OF THE WORK, AND PROVIDE TEMPORARY LIGHTS AND WATER THROUGHOUT THE CONSTRUCTION.
 - CONTRACTOR TO NOTIFY ARCHITECT IMMEDIATELY: UPON DISCOVERY OF ANY DISCREPANCIES, CONFLICTS, UNANTICIPATED FIELD CONDITIONS, ETC. AS THEY ARE DISCOVERED. THESE ITEMS SHOULD BE RESOLVED WITH THE ARCHITECT / OWNER PRIOR TO CONTRACTOR PROCEEDING AHEAD.
 - STRUCTURAL CONDITIONS: CONTRACTOR IS TO NOTIFY ARCHITECT & OWNER IMMEDIATELY UPON ANY DISCOVERY RELATING TO STRUCTURAL CONDITIONS. AT CONDITIONS REQUIRING STRUCTURAL INTERVENTION, CONTRACTOR SHOULD PROVIDE DETAILED INFORMATION FOR STRUCTURAL ENGINEER TO REVIEW & PROVIDE ANY NECESSARY RECOMMENDATIONS.
 - CONTRACTOR TO COORDINATE: ALL WORK REFERENCED IN CONTRACT DOCUMENTS. CONTRACTOR TO COORDINATE ALL TRADES' WORK, MATERIALS, AND EQUIPMENT WITH ARCHITECTURAL LAYOUTS, FIELD CONDITIONS, ETC. - TYPICAL TO ENSURE THE QUALITY AND TIMELY COMPLETION OF THE WORK/PROJECT.
 - FIREPROOFING: CONTRACTOR IS TO FIREPROOF ANY EXPOSED STRUCTURE TO MEET ALL LATEST APPLICABLE CODE REQUIREMENTS. PROVIDE OR MAINTAIN FIRESTOPPING AT ALL FLOORS AND RATED WALL PENETRATIONS AS MANUFACTURED BY STI OR APPROVED EQUAL.
 - SMOKE/ CARBON-MONOXIDE DETECTORS: CONTRACTOR SHALL INSTALL SMOKE/CARBON MONOXIDE DETECTORS PER NFPA 72 AND SECTION R314 OF IRC 2018.
 - MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED IN THE DRAWINGS.
 - PLUMBING AND ELECTRICAL WORK SHALL BE PERFORMED BY LICENSED AND INSURED. CONTRACTORS ARE REQUIRED TO OBTAIN ALL NECESSARY PERMITS, CERTIFICATIONS, INSPECTIONS AND REQUIRED SIGN-OFFS.
 - ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE NATIONAL, STATE, MUNICIPAL AND OTHER CODES AND AUTHORITIES HAVING JURISDICTION.
 - ALL EQUIPMENT AND MATERIALS ARE TO BE INSTALLED IN A STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS.
 - ANY WORK PERFORMED ON WALLS, CEILINGS AND/OR FLOORS COMMON TO OTHER HABITABLE SPACES, PUBLIC SPACES OR TO THE EXTERIOR SHALL NOT LOWER THEIR FIRE RATINGS.
 - THE CONTRACTOR, UPON COMPLETION OF THE WORK, SHALL APPLY FOR DEPARTMENT OF BUILDINGS INSPECTIONS AND SIGN-OFFS AS REQUIRED.

WALL TYPES

- FOUNDATION WALL 12" CAST-IN-PLACE CONCRETE
ASPHALTIC WATER PROOFING BELOW GRADE
24" WIDE X 12" DEEP FOOTING
- EXTERIOR WALL
BOARD & BATTEN SIDING 11 1/2" O.C.
ZIP R SHEATHING
2 X 6 @ 16" O.C.
R-21 BATT INSULATION
1/2" PLYWOOD
5/8" GWB
- EXTERIOR WALL @ MILLAR STUDIO
BARK SLAB SIDING (USE OR MATCH EXISTING)
ZIP R SHEATHING
2 X 6 @ 16" O.C.
R-21 BATT INSULATION
1/2" PLYWOOD
- INTERIOR PARTITION
5/8" GYP BD.
1/2" PLYWOOD
2 X 4 @ 16" O.C.
1/2" PLYWOOD
5/8" GYP BD.
- INTERIOR PARTITION
5/8" GYP BD.
1/2" PLYWOOD
2 X 4 @ 16" O.C.
5/8" GYP BD.

LIST OF DRAWINGS

- A-001 TITLE SHEET AND NOTES
- A-002 SURVEY OF EXISTING SITE
- A-003 SURVEY OF PROPOSED PROJECT
- A-004 SITE PLAN
- A-005 PARKING IMPROVEMENTS
- A-006 LANDSCAPE PLAN
- A-007 SKETCH FROM STREET
- A-008 SKETCH FROM PARKING
- A-009 EXTERIOR ELEVATIONS
- A-010 CONTEXT
- A-011 FLOOR PLAN, RCP
- A-012 WALL, BUILDING SECTIONS

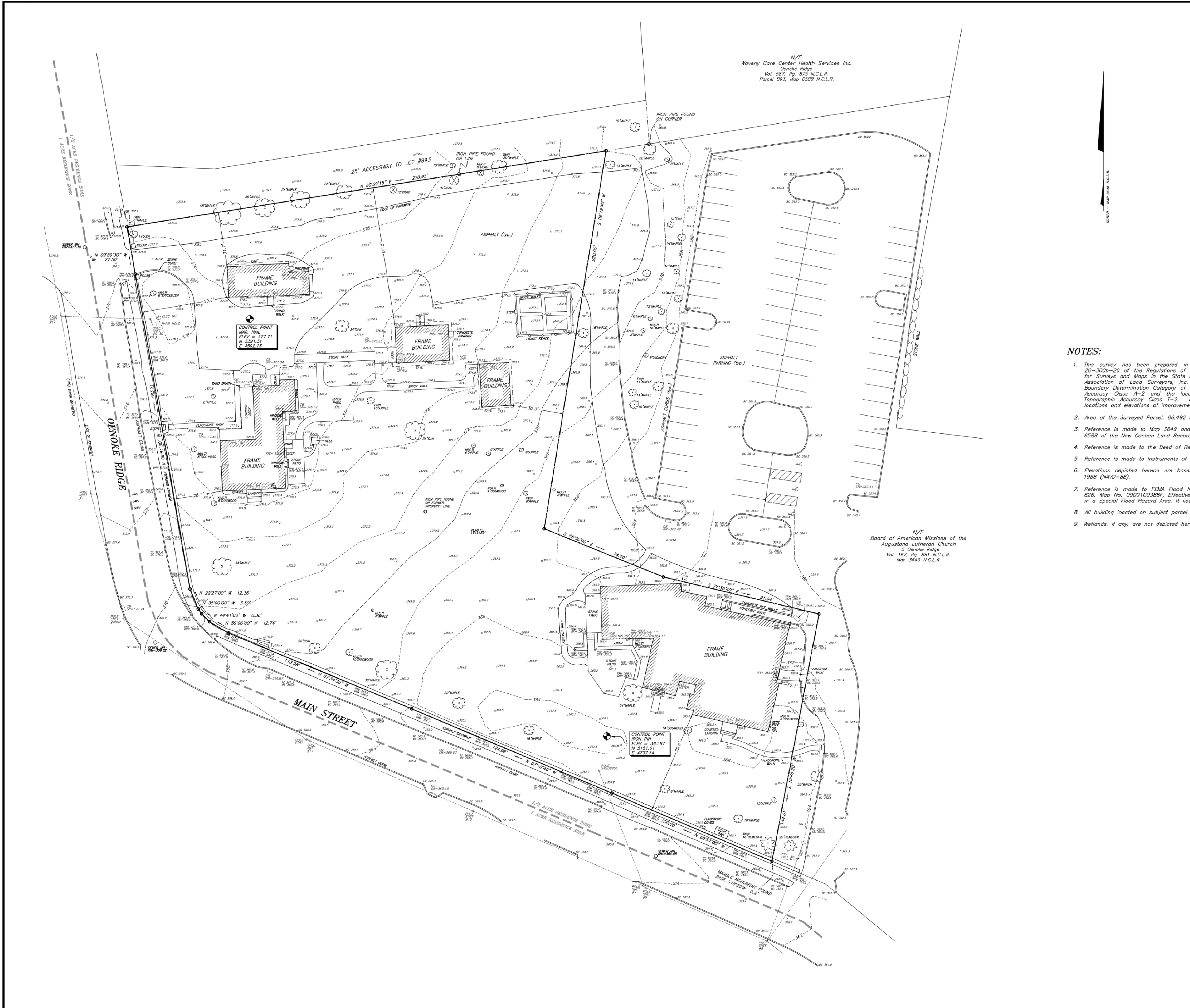
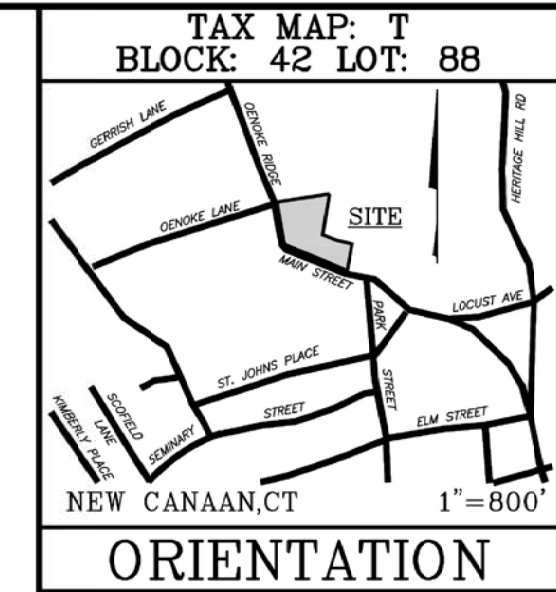
SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

OWNER: NEW CANAAN MUSEUM & HISTORICAL SOCIETY
13 Oenoke Ridge
New Canaan, CT 06840

ARCHITECT: Mark Markiewicz
1650 Panus Ridge
New Canaan, CT 06840
m 203 908-2577
o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:



NOTES:

1. This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Property and Topographic Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to Topographic Accuracy Class T-2. It is intended to depict property boundaries, locations and elevations of improvements and topographic features.
2. Area of the Surveyed Parcel: 86,492 Sq. Ft. (1.9856 Acres).
3. Reference is made to Map 3649 and to Maps 115, 1165, 1498, 2837, 5920 and 6588 of the New Canaan Land Records (N.C.L.R.).
4. Reference is made to the Deed of Record found in Vol. 163, Pg. 362 N.C.L.R.
5. Reference is made to Instruments of Record as labeled hereon.
6. Elevations depicted hereon are based on the North American Vertical Datum of 1988 (NAVD-88).
7. Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 388 of 026, Map No. 0500100389F, Effective June 18, 2010. Subject Parcel Does Not lie in a Special Flood Hazard Area. It lies in Zone X.
8. All building located on subject parcel are served by City Sewer & Domestic Water.
9. Wetlands, if any, are not depicted hereon.

N/T
Board of American Missions of the
Augustana Lutheran Church
5 Oenoke Ridge
Vol. 167, Pg. 681 N.C.L.R.
Map 3649 N.C.L.R.

REVISIONS

PRINTING	DATE
CHECK SET	
PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

PROPERTY & TOPOGRAPHIC SURVEY
DEPICTING
13 OENOKE RIDGE
NEW CANAAN, CONNECTICUT
PREPARED FOR
THE NEW CANAAN HISTORICAL SOCIETY

Scale: 1"=20'

Drawn By: RJB | Checked By: LWP | Date: 07/25/2022

To my knowledge and belief this map is substantially correct as so stated hereon.

LAWRENCE V. POSSON, JR., CT. L.S. #18130

DATE

This document and copies thereof are valid only if they bear the signature and seal of the designated licensed professional. Unauthorized alterations render an instrument herein null & void.

Sheet No:

PSTS

Comm. No.: 10603-1

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
ENGINEERING

REDNISS & MEAD

22 First Street | Stamford, CT 06905
Tel: 203.327.0700 | Fax: 203.357.1118
www.rednissmead.com

DESCRIPTION

SURVEY OF EXISTING

DATE 22 MAY 2023

SHEET A-002.00

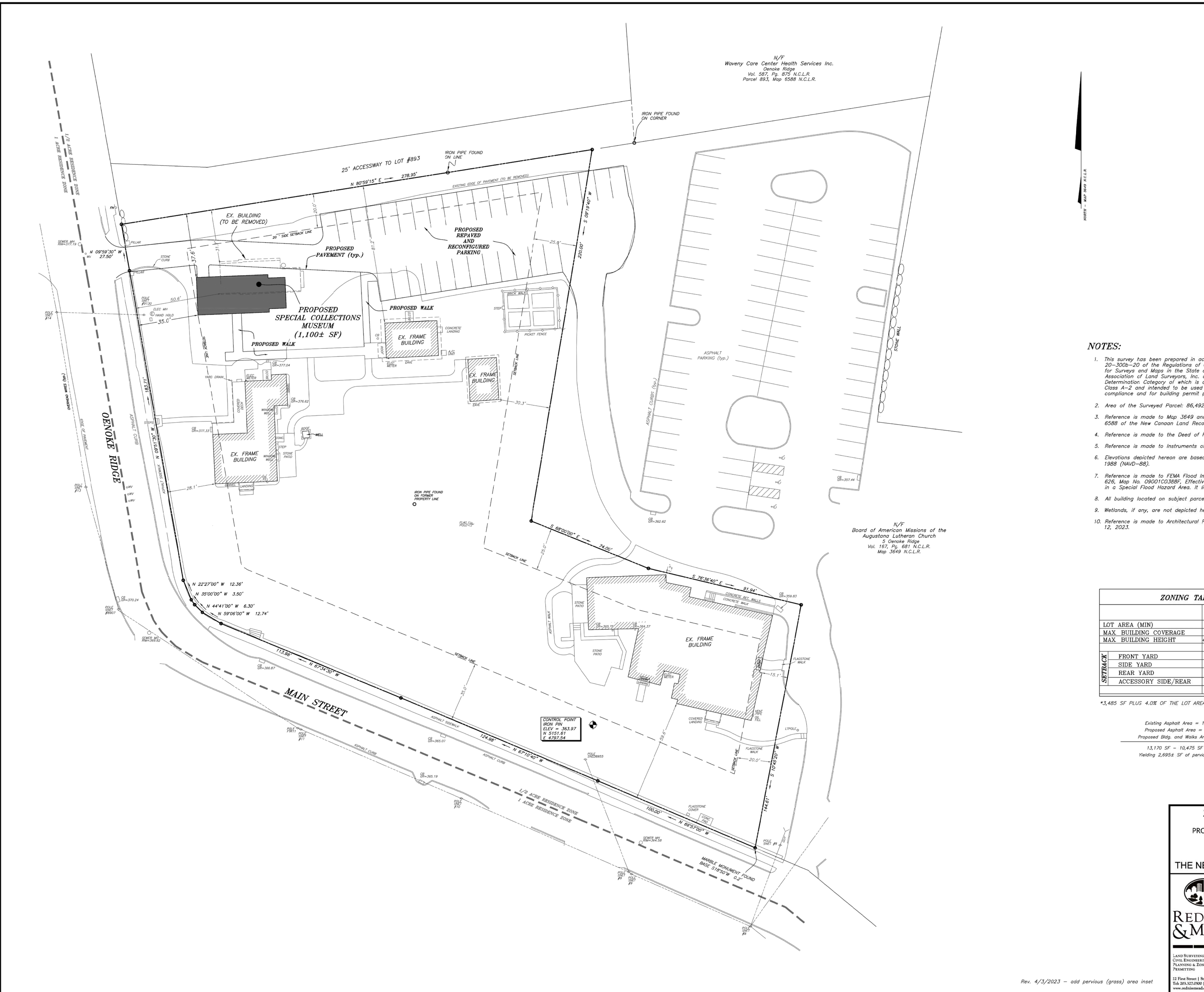
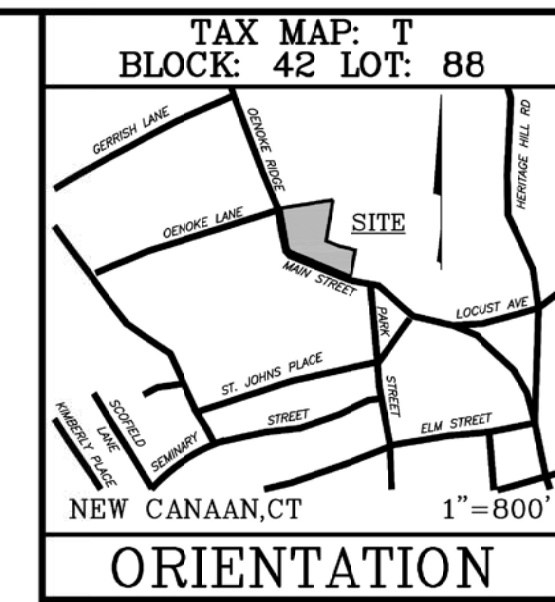
SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

OWNER:
NEW CANAAN MUSEUM & HISTORICAL SOCIETY
13 Oenoke Ridge
New Canaan, CT 06840

ARCHITECT:
Mark Markiewicz
1650 Panus Ridge
New Canaan, CT 06840
m 203 908-2577
o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:



NOTES:

- This survey has been prepared in accordance with Sections 20-300b-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards for Surveys and Maps in the State of Connecticut as adopted by the Connecticut Association of Land Surveyors, Inc. as a Zoning Location Survey the Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and intended to be used for application for determination of zoning compliance and for building permit purposes with respect to the proposed pavilion.
- Area of the Surveyed Parcel: 86,492 Sq. Ft. (1.9856 Acres).
- Reference is made to Map 3649 and to Maps 115, 1165, 1498, 2837, 5920 and 8588 of the New Canaan Land Records (N.C.L.R.).
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- Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 385 of 625, Map No. 090010389F, Effective June 18, 2010. Subject Parcel Does Not lie in a Special Flood Hazard Area. It lies in Zone X.
- All building located on subject parcel are served by City Sewer & Domestic Water.
- Wetlands, if any, are not depicted hereon.
- Reference is made to Architectural Plans prepared by MJM Architects dated January 12, 2023.

ZONING TABLE (1/2 ACRE ZONE)			
	PERMITTED	EXISTING	PROPOSED PAVILION
LOT AREA (MIN)	21,780 SF	86,492 SF	No Change
MAX BUILDING COVERAGE	45,202 SF	9,098 SF	9,408 SF
MAX BUILDING HEIGHT	40 FT/2.5 STORIES	N/A	19'
SIDEYARD	FRONT YARD	35 FT	28.1 FT 35.0'+
	SIDE YARD	20 FT	31.7 FT 37.6'
	REAR YARD	25 FT	1.2 FT 161'
	ACCESSORY SIDE/REAR	15 FT	N/A

*3,485 SF PLUS 4.0% OF THE LOT AREA IN EXCESS OF 43,560 SF.

Existing Asphalt Area = 13,170± SF
Proposed Asphalt Area = 10,170± SF
Proposed Bldg. and Walks Area = 305± SF
13,170 SF - 10,475 SF = 2,695 SF
Yielding 2,695± SF of pervious (grass) area

Rev. 4/3/2023 - add pervious (grass) area inset

ZONING LOCATION SURVEY
DEFICTING
PROPOSED SPECIAL COLLECTIONS MUSEUM
13 OENOKE RIDGE
NEW CANAAN, CONNECTICUT
PREPARED FOR
THE NEW CANAAN HISTORICAL SOCIETY

Scale: 0 20 40
1"=20'

Drawn By: RLB | Checked By: LWP | Date: 1/12/2023
To my knowledge and belief this map is substantially correct as noted hereon.

Lawrence W. Poisson
LAWRENCE W. POISSON JR., CT. LS. #18130
DATE: 4/3/2023

LAND SURVEYING
CIVIL ENGINEERING
PLANNING & ZONING CONSULTING
PERMITTING

12 First Street | Stamford, CT 06903
Tel: 203.327.0800 | Fax: 203.357.1118
www.blmstamford.com

Shee No:
ZLS
Comm. No.: 10603-1

REVISIONS

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DESCRIPTION

SURVEY OF PROPOSED

DATE: 22 MAY 2023
SHEET: A-003.00

SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

OWNER:
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13 Oenoke Ridge
New Canaan, CT 06840

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STRUCTURAL ENGINEER:

REVISIONS

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KEY PLAN

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NOT FOR CONSTRUCTION

DESCRIPTION

SITE PLAN

DATE 22 MAY 2023
SHEET

A-004.00

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SITE PLAN

SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

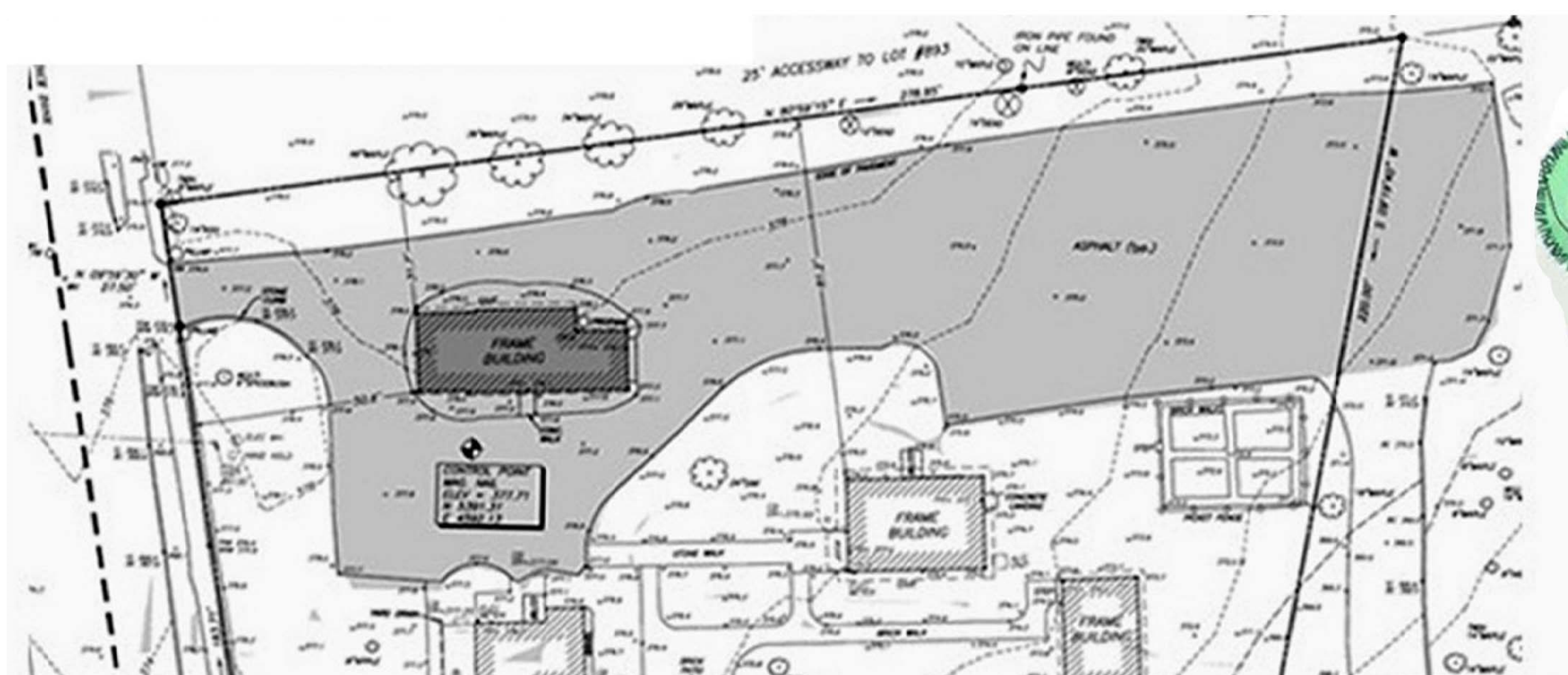
OWNER:
NEW CANAAN MUSEUM & HISTORICAL SOCIETY
13 Oenoke Ridge
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email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:



EXISTING PAVEMENT CONDITIONS



EXISTING SITE PLAN



PROPOSED SITE PLAN

Existing Asphalt Area = 13,170± SF
Proposed Asphalt Area = 10,170± SF
Proposed Bldg. and Walks Area = 305± SF

13,170 SF – 10,475 SF = 2,695 SF
Yielding 2,695± SF of pervious (grass) area

REVISIONS

PRINTING	DATE
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PRICING SET	

KEY PLAN

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DESCRIPTION

PARKING IMPROVEMENT

DATE 22 MAY 2023
SHEET

A-005.00

SPECIAL COLLECTIONS MUSEUM

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STRUCTURAL ENGINEER:



REVISIONS

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PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

LANDSCAPE PLAN

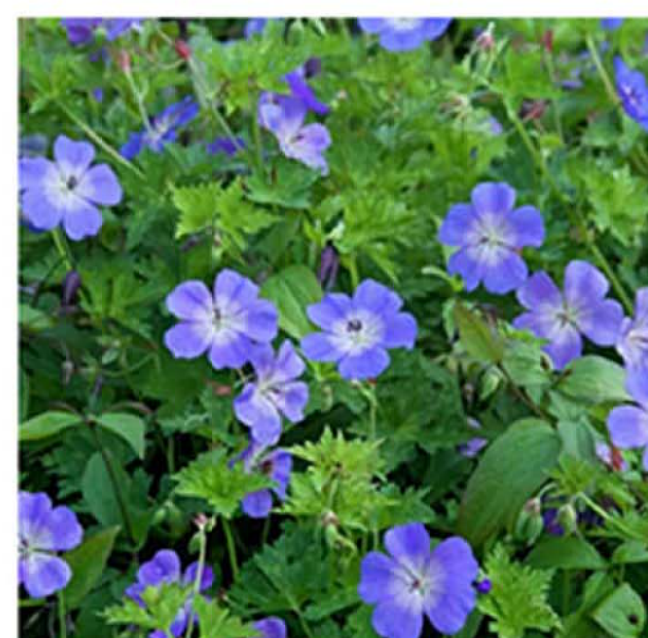
DATE 22 MAY 2023
SHEET

A-006.00

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PROPOSED LANDSCAPING PLAN

- 1. CONDENSER SCREENING: NARROW EMERALD EVERGREEN ARBORVITAE, 4-5', 2'-6" O.C.
- 2. GROUND COVER: GERANIUM MACULATUM
- 3. NARROW EMERLAND EVERGREEN ARBORVITAE, 10', 5' O.C.
- 4. NEW WALKWAY: BRICK PAVING TO MATCH EXISTING
- 5. NYSSA BLACK GUM



GERANIUM MACULATUM



NARROW EMERLAND EVERGREEN ARBORVITAE



NYSSA BLACK GUM

SPECIAL
COLLECTIONS
MUSEUM

PROJECT NUMBER 2301

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o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:



VIEW FROM OENOKE - PROPOSED



VIEW FROM OENOKE - EXISTING

REVISIONS

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PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

SKETCH FROM
STREET

DATE 22 MAY 2023
SHEET

A-007.00

SPECIAL COLLECTIONS MUSEUM

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13 Oenoke Ridge
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o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:



VIEW FROM PARKING - PROPOSED



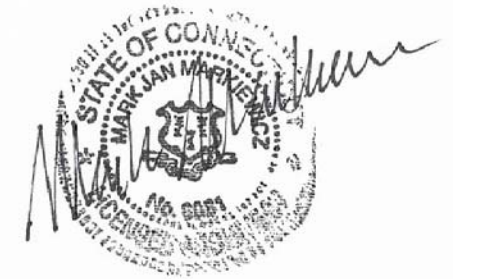
VIEW FROM PARKING - EXISTING

REVISIONS

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KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

SKETCH FROM PARKING

DATE 22 MAY 2023
SHEET

A-008.00

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STRUCTURAL ENGINEER:

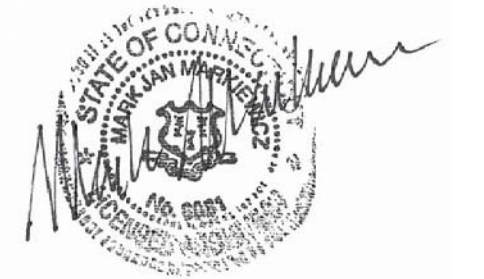


REVISIONS

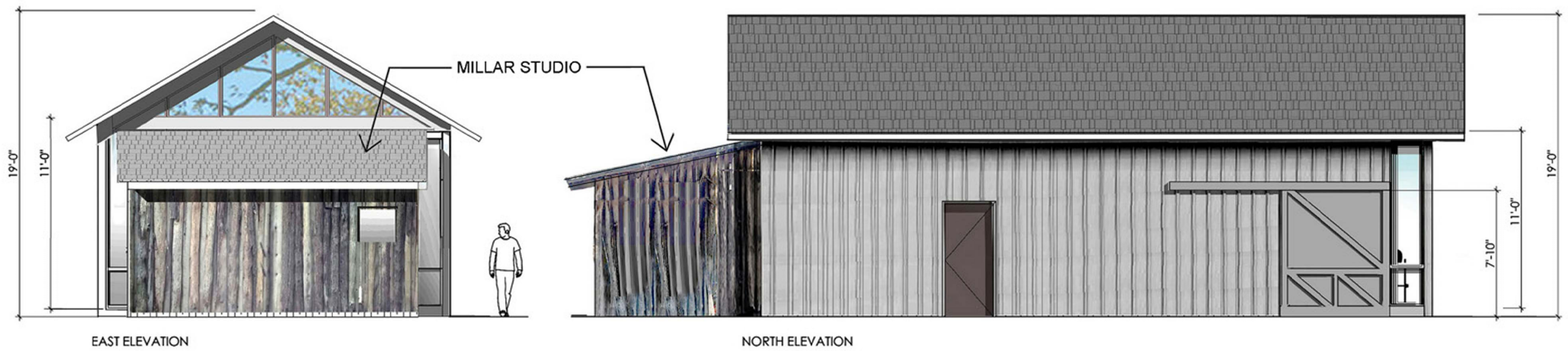
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KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION



DESCRIPTION

ELEVATIONS

DATE 22 MAY 2023
SHEET

A-009.00

SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

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o 203 972-3522
email mjmarkiewicz@gmail.com

STRUCTURAL ENGINEER:

REVISIONS

PRINTING	DATE
CHECK SET	
PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

CONTEXT

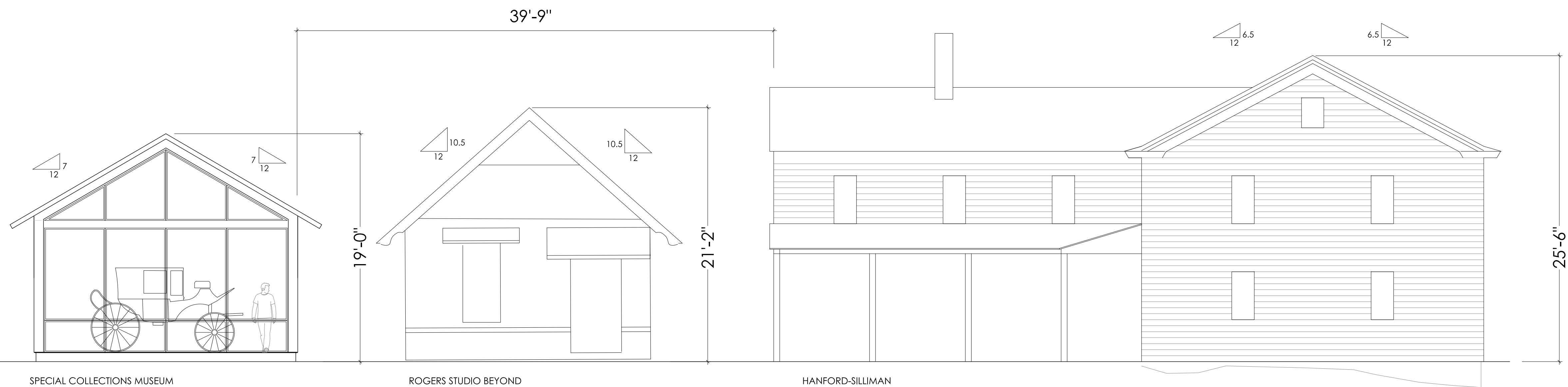
DATE 22 MAY 2023
SHEET

A-010.00

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1 BOARD & BATTEN CLADDING - TO BE USED IN NEW BUILDING



2 STREET ELEVATIONS OF NEW AND EXISTING BUILDINGS
SCALE: 3/16" = 1'-0"

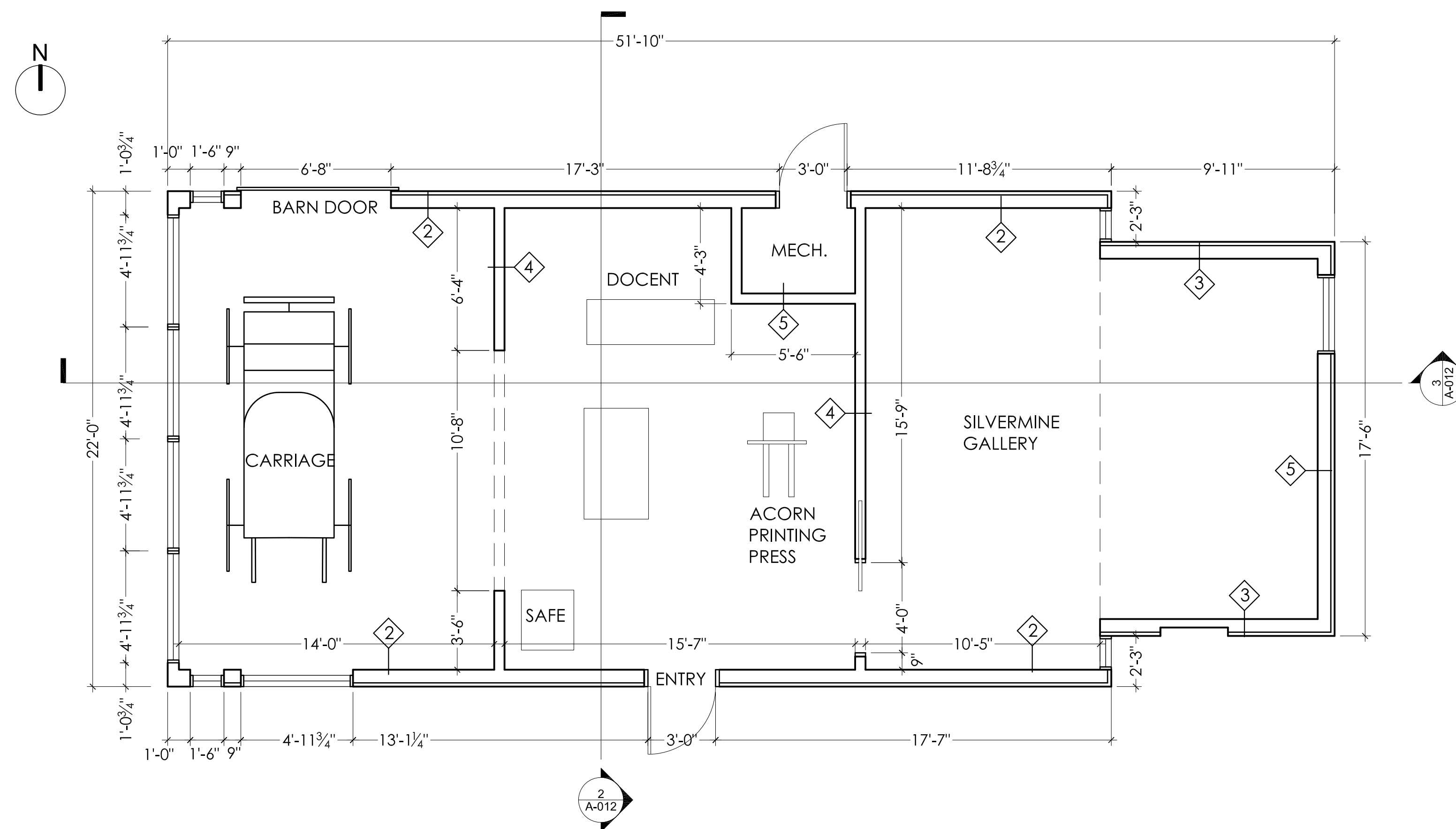
SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

OWNER:
NEW CANAAN MUSEUM & HISTORICAL SOCIETY
13 Oenoke Ridge
New Canaan, CT 06840

ARCHITECT:
Mark Markiewicz
1650 Parus Ridge
New Canaan, CT 06840
m 203 908-2577
o 203 972-3522
email mjmarkiewicz@gmail.com

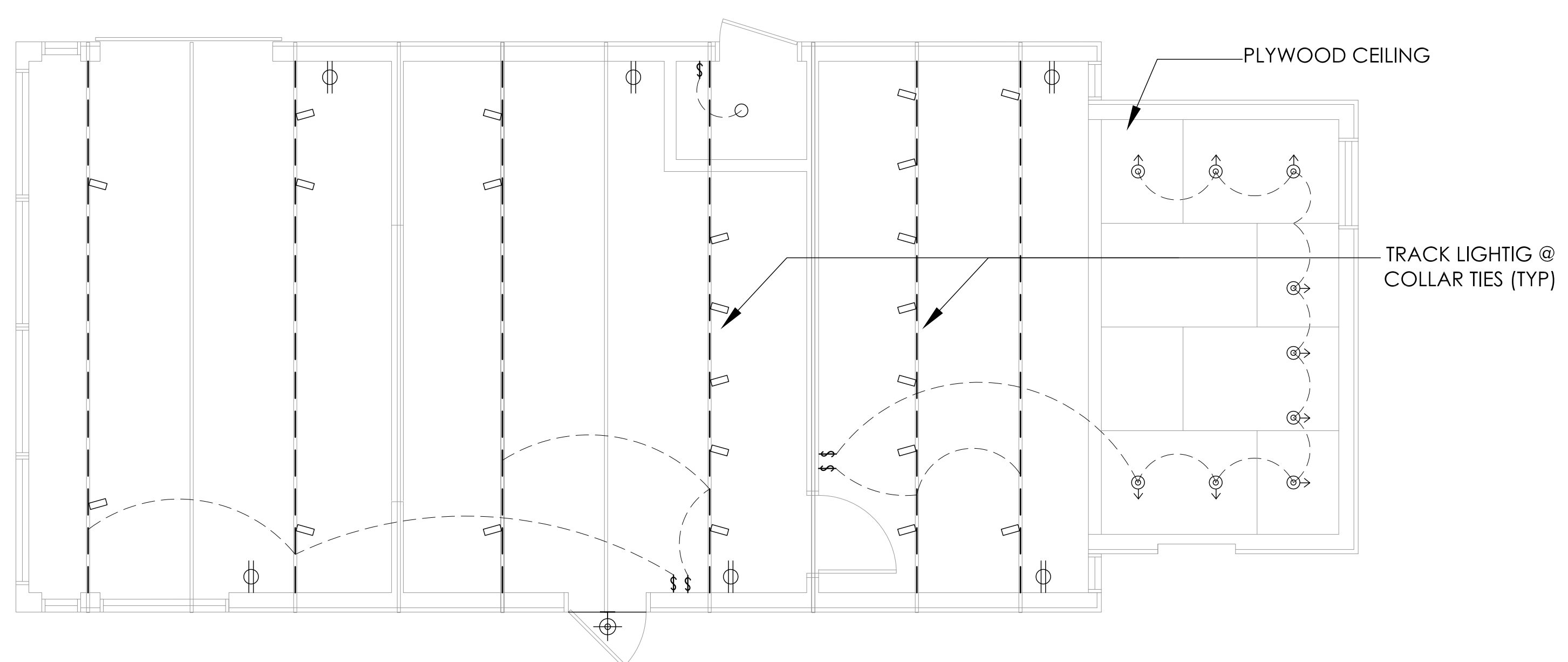
STRUCTURAL ENGINEER:



1 FLOOR PLAN
SCALE: 1/4" = 1'-0"

ELECTRICAL FIXTURE SCHEDULE		
SYM.	MANUFACTURER/DESCRIPTION	REMARKS
—	MUSEUM QUALITY TRACK LIGHTING, MFG TBD	INSTALL @ UNDERSIDE OF COLLAR TIES
⊙➤	RECESSED SPOT LIGHT, MFG TBD	INSTALL TO MAINTAIN 30 DEGREE ANGLE @ LIT SURFACE
○	PROGRESS LIGHTING # P3709-30	
⊕	EXTERIOR SCONCE, MFG TBD	

- NOTES:
1. PROVIDE & INSTALL SMOKE/CARBON MONOXIDE DETECCORS AS REQUIRED BY CODE
 2. ALL OUTLETS ARE TO BE LOCATED 16" A.F.F. UNLESS NOTED OTHERWISE
 3. CONFIRM FINAL EXHIBIT DISPLAY WITH EXHIBITION DESIGNER PRIOR TO WIRING
 4. PROVIDE GFI OUTLETS AS REQUIRED BY CODE
 5. PROVIDE CABLE & PHONE JACK WITH LOCATIONS TO BE CONFIRMED BY OWNER.
 6. CONTRACTOR SHALL COORDINATE WITH ANY SUBCONTRACTORSHIRED BY THE OWNER SUCH AS SECURITY AND AUDIO/VIDEO.



2 REFLECTED CEILING PLAN
SCALE: 1/4" = 1'-0"

REVISIONS

PRINTING	DATE
CHECK SET	
PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

FLOOR PLAN, REF. CLG. PLAN

DATE 22 MAY 2023
SHEET

A-011.00

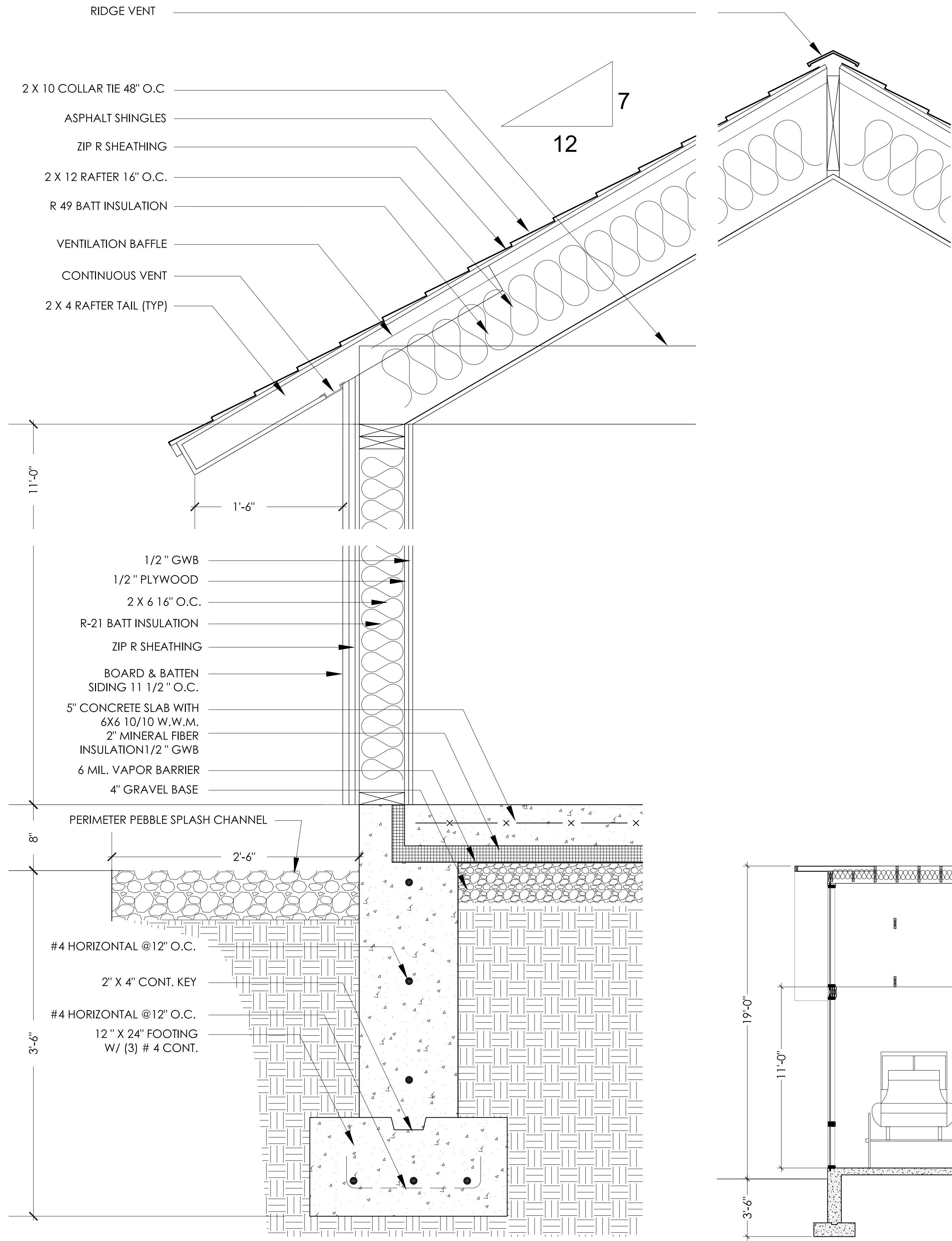
SPECIAL COLLECTIONS MUSEUM

PROJECT NUMBER 2301

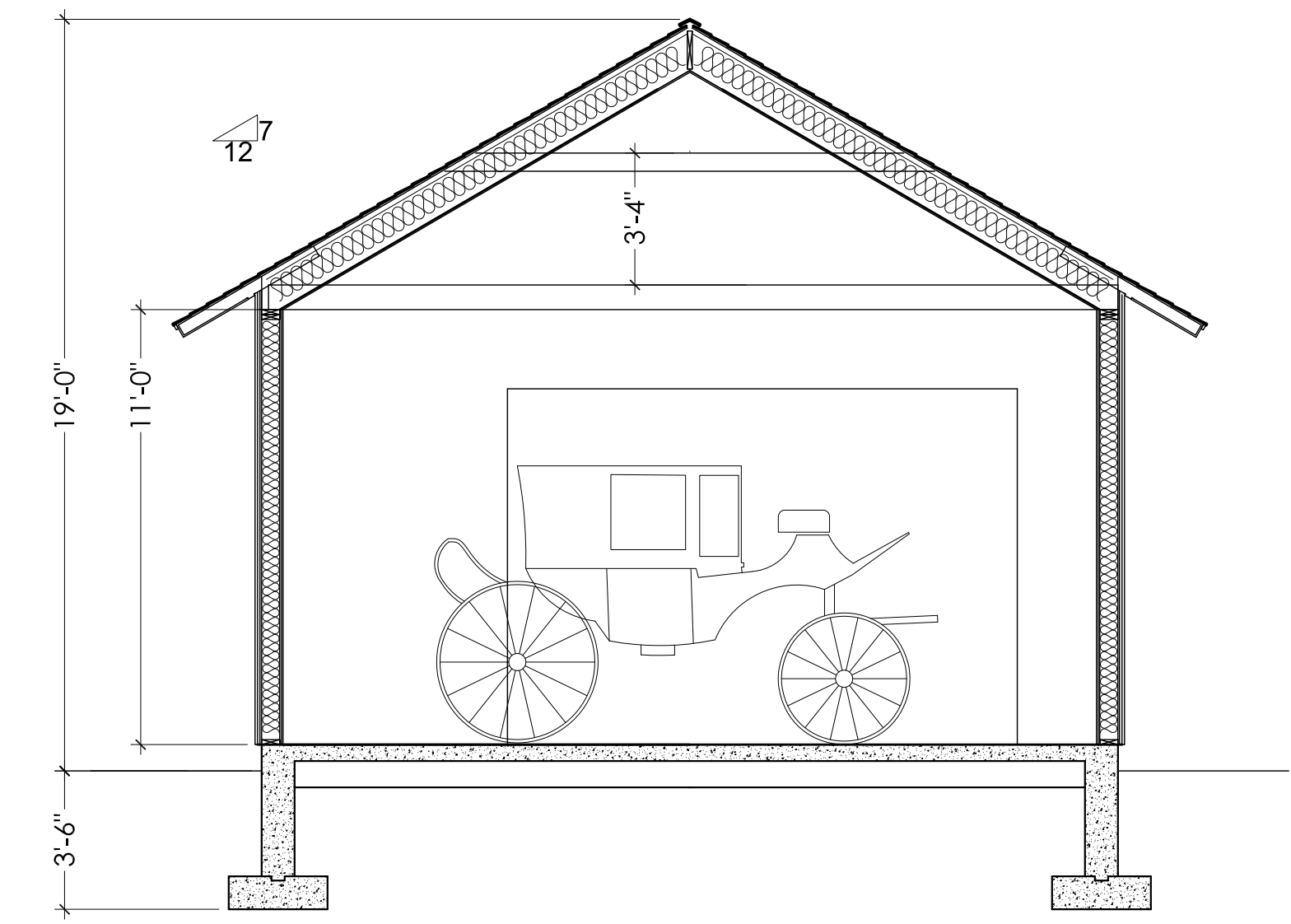
OWNER:
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13 Oenoke Ridge
New Canaan, CT 06840

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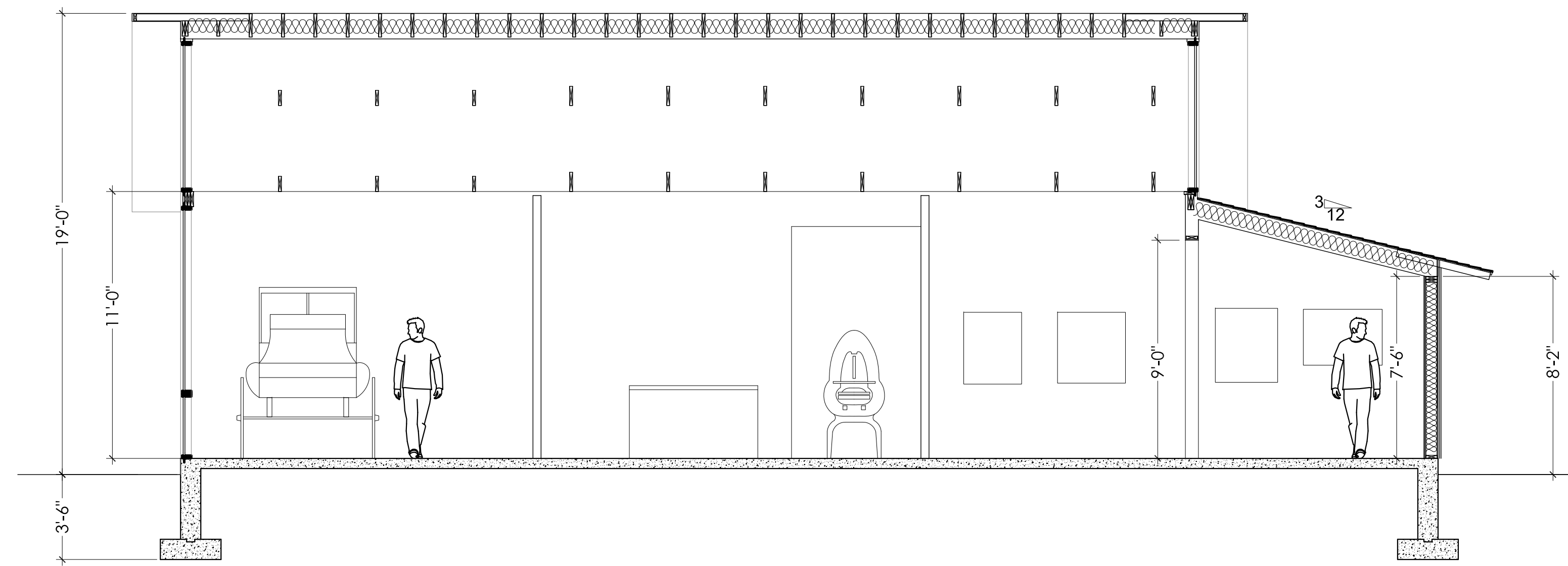
STRUCTURAL ENGINEER:



1 WALL SECTION
SCALE: 1/2" = 1'-0"



2 TRANSVERSE SECTION
SCALE: 1/4" = 1'-0"



3 LONGITUDINAL SECTION
SCALE: 1/4" = 1'-0"

REVISIONS

PRINTING	DATE
CHECK SET	
PRICING SET	

KEY PLAN

STAMPS / SEAL / SIGNATURE



NOT FOR CONSTRUCTION

DESCRIPTION

WALL, BUILDING SECTIONS

DATE 22 MAY 2023

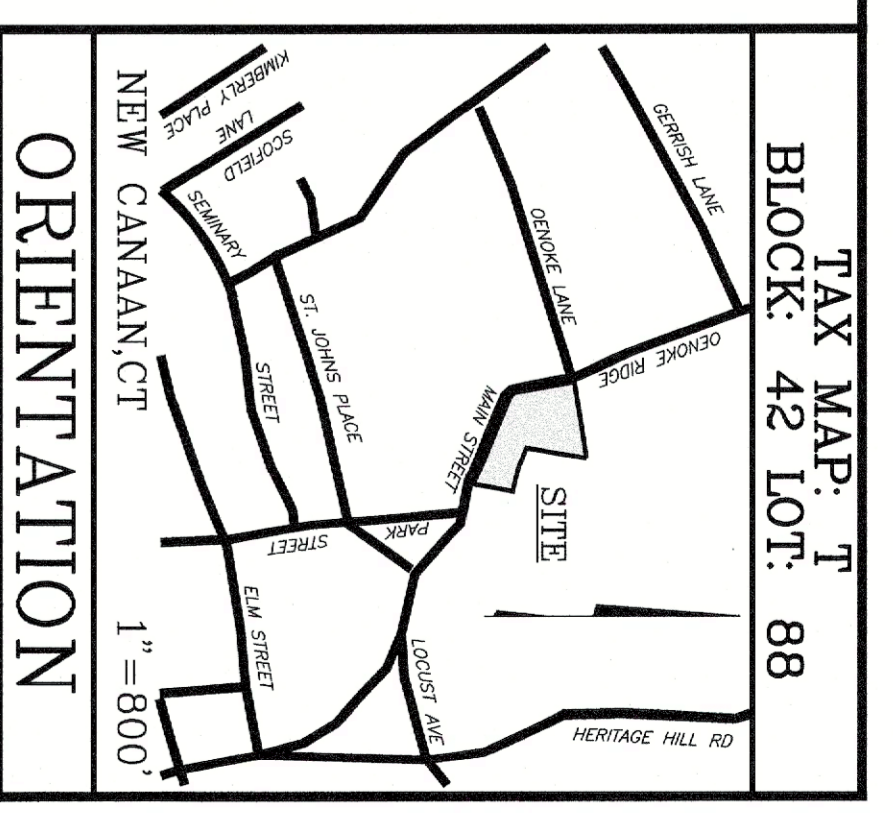
SHEET A-012.00

N/F
 Wreny Care Center Health Services Inc.
 101 S. Main St. N.C.L.R.
 Parcel 8931 Map 6588 N.C.L.R.

N/F
 Board of American Missions of the
 Augustana Lutheran Church
 Vol. 187, Pg. 681 N.C.L.R.
 Map 3649 N.C.L.R.



NORTH - MAP 3649 N.C.L.R.



NOTES:

1. This survey has been prepared in accordance with Sections 20-300a-1 thru 20-300b-20 of the Regulations of Connecticut State Agencies and the Standards and Practices of the National Society of Professional Surveyors, Inc. as a Property and Topographic Survey. The Boundary Determination Category of which is a Resurvey conforming to Horizontal Accuracy Class A-2 and the locations and elevations of which conform to the standards and practices of the National Society of Professional Surveyors, Inc. are shown and elevations of improvements and topographic features.
2. Area of the Surveyed Parcel: 86,492 Sq. Ft. (1.9856 Acres).
3. Reference is made to Map 3649 and to Maps 115, 1165, 1498, 2837, 5920 and 6588 of the New Canaan Land Records (N.C.L.R.).
4. Reference is made to the Deed of Record found in Vol. 163, Pg. 362 N.C.L.R.
5. Reference is made to Instruments of Record as labeled herein.
6. Easements depicted herein are based on the North American Vertical Datum of 1988 (NAVD-88).
7. Reference is made to FEMA Flood Insurance Rate Map (FIRM) Panel No. 388 of the New Canaan Flood Hazard Area (FHA) Subject Flood Hazard Area No. 16 in a Special Flood Hazard Area. It lies in Zone X.
8. All buildings located on subject parcel are served by City Sewer & Domestic Water.
9. Wetlands, if any, are not depicted herein.

Zoning Data		1/2 Acre Zone	
Required	Allowed	Existing	
Min Lot Area	21,785SF	86,492SF	
Max Building Coverage	3,485 SF plus 4.0% of the lot area in excess of 42,500 SF	9,097.67SF	
Max Building Height (fasting street)	40'	N/A	
Max Building Stories	2.5	N/A	
Min setbacks Principal Building			
Front	35'	28.1'	
Side	20'	31.7'	
Side	20'	15.1'	
Rear	25'	1.2'	
Min setbacks Accessory Building			
Front	35'	N/A	
Side	15'	N/A	
Side	15'	N/A	
Rear	15'	N/A	

PROPERTY & TOPOGRAPHIC SURVEY
 DEPICTING
13 OENOKE RIDGE
 NEW CANAAN, CONNECTICUT
 PREPARED FOR
THE NEW CANAAN HISTORICAL SOCIETY

Scale: 1"=20'

Drawn By: RLB Checked: JMB Date: 9/28/2022

REDNISS & MEAD
 CIVIL ENGINEERS
 PLANNING & ZONING CONSULTING
 100 Main Street, Suite 401
 New Canaan, CT 06840
 Tel: 203.437.2000 Fax: 203.437.1818
 www.rednissandmead.com

PSTS
 Survey No. 19023-1

May 12, 2023

Maria A. Coplit, P.E., Town Engineer
New Canaan Engineering Division
77 Main Street
New Canaan, CT 06840

RE: New Canaan Museum and Historical Society

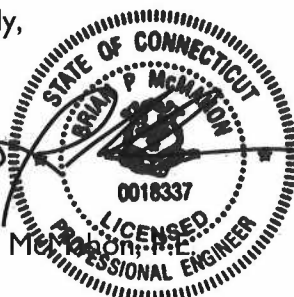

Dear Ms. Coplit,

This letter is written on behalf of the New Canaan Museum & Historical Society with respect to a proposed improvement project on the Society's property at 13 Oenoke Ridge. The proposed improvements include demolition of an existing structure; construction of a new Special Collections Museum; reconfiguration of an existing parking lot and entry drive; miscellaneous site walkways, etc.

Redniss and Mead has been asked to opine as to the potential for adverse drainage impacts on and around the site as a result of the proposed construction. We visited the property to observe existing conditions as they relate to runoff and stormwater management. We have determined that, as a result of the proposed construction, impervious coverage on the property will be reduced by approximately 2,700 SF. Additionally, we have confirmed that there will be no changes to existing drainage patterns on the site. Based on the above, it is our professional opinion that the proposed construction will not result in adverse drainage impacts to adjacent properties or receiving stormwater systems.

We trust this information will be helpful in your review of the Society's request for approval of the proposed improvements. Thank you in advance for your consideration of this matter. Should you have any questions or comments, please do not hesitate to call.

Sincerely,



Brian P. McMahon, P.E.
LICENSED PROFESSIONAL ENGINEER
0018337
STATE OF CONNECTICUT

cc: Nancy Geary, Executive Director NCMHS
Carmody Torrance Sandak & Hennessey, LLP

List of Property Owners within 100' of 13 Oenoke Ridge

	MBLU	Address	Owner
1.	L/20/865	7 Oenoke Lane	BUCCIARELLI JOSEPH L BETH A PO BOX 756 NEW CANAAN, CT 06840
2.	L/204/860	40 Oenoke Ridge	CANORO MICHAEL CANORO ALFRED 40 OENOKE RIDGE NEW CANAAN, CT 06840
3.	L/204/884	1 Park Street	CONGREGATIONAL CHURCH 1 PARK ST NEW CANAAN, CT 06840
4.	L/204/890	20 Oenoke Lane	FRANK WILLIAM P LAUREN B 20 OENOKE LA NEW CANAAN, CT 06840
5.	T/42/88	13 Oenoke Ridge	NEW CANAAN HISTORICAL 13 OENOKE RDG NEW CANAAN, CT 06840
6.	L/204/859	24 Oenoke Ridge	SAVERIN LAURA C 24 OENOKE RIDGE NEW CANAAN, CT 06840
7.	T/42/81	5 Oenoke Ridge	ST MICHAELS LUTHERAN CHURCH 5 OENOKE RIDGE NEW CANAAN, CT 06840
8.	T/42/893	Oenoke Ridge (Unnumbered)	WAVENY CARE CENTER HEALTH SERVICES INC 3 FARM RD NEW CANAAN, CT 06840
9.	T/42/892	65 Oenoke Ridge	WAVENY LIFECARE NETWORK 3 FARM RD NEW CANAAN, CT 06840

L/20/865
BUCCIARELLI JOSEPH L
PO BOX 756
NEW CANAAN, CT 06840

L/204/860
CANORO MICHAEL
40 OENOKE RIDGE
NEW CANAAN, CT 06840

L/204/884
CONGREGATIONAL CHURCH
1 PARK ST
NEW CANAAN, CT 06840

L/204/890
FRANK WILLIAM P
20 OENOKE LA
NEW CANAAN, CT 06840

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T/42/893
WAVENY CARE CENTER
3 FARM RD
NEW CANAAN, CT 06840

T/42/892
WAVENY LIFECARE
3 FARM RD
NEW CANAAN, CT 06840

Map of Property Owners within 100' of 13 Oenoke Ridge

