



SPECIAL PERMIT APPLICATION

The undersigned owner(s) of record hereby apply for a SPECIAL PERMIT APPROVAL as to certain Real Estate located at:

ADDRESS: 8 FERRIS HILL ROAD

Owner's Name: CHRIS SCHIPPER Address: 8 FERRIS HILL ROAD

Applicant's Name: ROB SANDERS ARCHITECTS Phone #: 203.761.0144

Address: P O BOX 132, WILTON, CT 06897

Applicant's Email Address: RSANDERS@RSARCHCT.COM

ZONING DISTRICT 2A as shown in the New Canaan Land Records: VOLUME _____, PAGE _____
And more particularly described by bounding owners as follows:

Northerly by: PATEL / MIKKOLA Southerly by: FERRIS HILL ROAD

Easterly by: WHITMER Westerly by: CANOE HILL ROAD

Within 500 Feet of another municipality? Yes () No (X) Name Town(s) _____

MAP # 39 BLOCK # 107 LOT # 39

I am requesting a SPECIAL PERMIT APPROVAL of Section(s) 7.7. PRESERVE HISTORIC STRUCTURES described as follows: TO PERMIT CONSTRUCTION 5'-0" OVER SETBACK TO ADJOIN REAR OF NON-CONFORMING CIRCA 1735 HOYT-BURWELL MORSE HOUSE

- You must attach a detailed statement describing:

1) the existing and proposed use or uses; and 2) how the Special Permit Criteria are addressed.

- If any Special Permits or Variances previously granted for this property attach Certif. of Decision(s) YES () NO (X)

- I hereby acknowledge that unless I comply with provisions of Article 8. Section 8.1.G. of the Zoning Regulations, which require *specific notification of certain neighbors*, my application will not be complete and *cannot* be heard.

PRINT: ROBERT SANDERS, AIA SIGNED: _____

Owner of Record/Authorized Agent ✓

Owner of Record/Authorized Agent

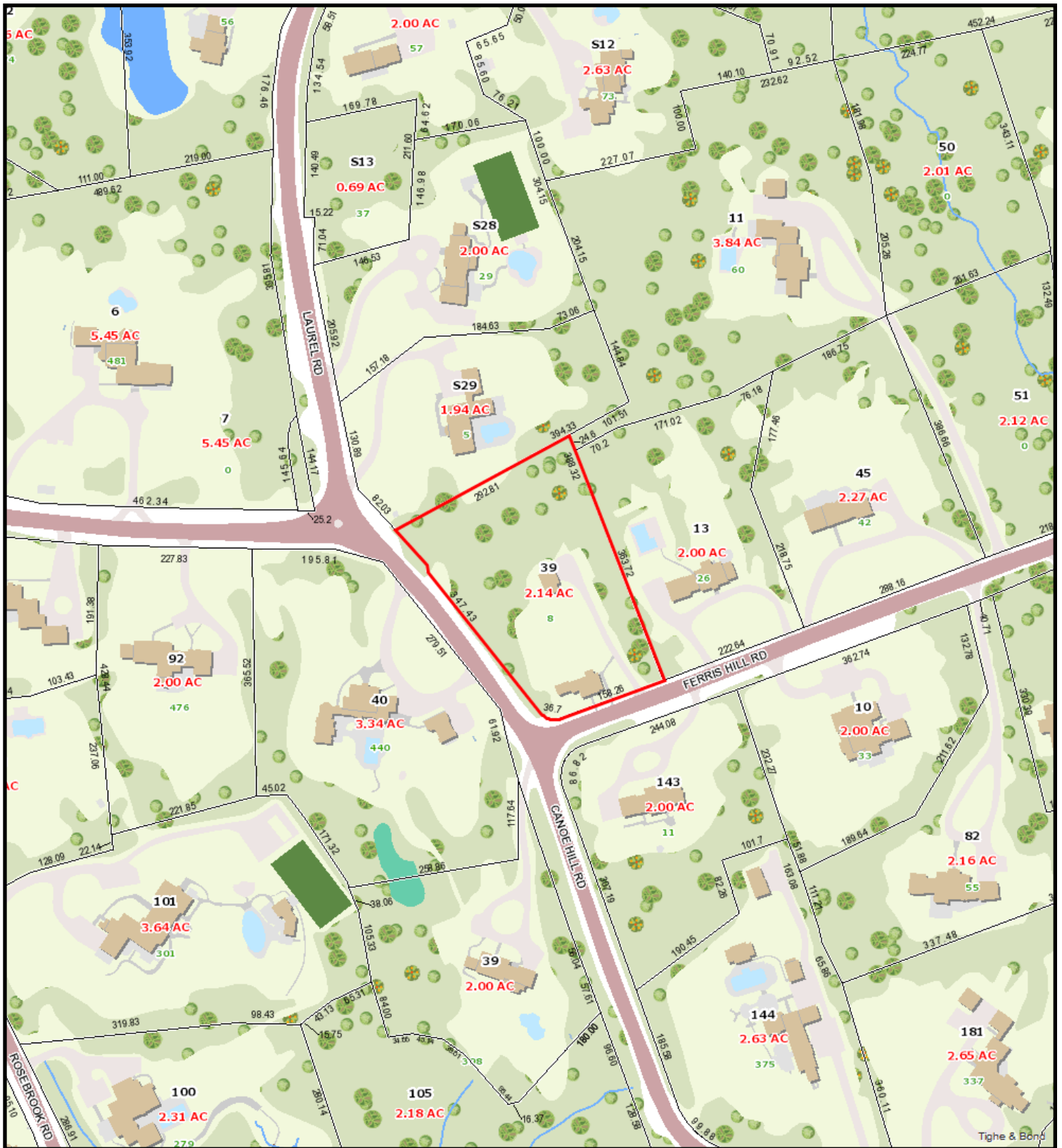
Official Use Only
Date of Receipt: _____ Hearing Date(s): _____ Decision Date: _____

I, John Goodwin, Chairman of the Planning & Zoning Commission of the Town of New Canaan, hereby certify that at a meeting of said Commission duly held on _____, said Commission by resolution voted:

- ___ 1. That said SPECIAL PERMIT Application is DENIED.
- ___ 2. That said SPECIAL PERMIT Application is GRANTED in accordance with the approved plans or as modified herein.
- ___ 3. That notice of such Action is published as required.
- ___ 4. Conditions, modifications, or restrictions:

John Goodwin, Chairman

Publication Date



9/2/2021 9:40:44 AM

Scale: 1"=200'

Scale is approximate

The information depicted on this map is for planning purposes only. It is not adequate for legal boundary definition, regulatory interpretation, or parcel-level analyses.



ASSESSORS MAP 39
 TAX BLOCK 107
 TAX LOT 39
 TWO ACRE RESIDENCE ZONE

8 FERRIS HILL ROAD

C
 NOW OR FORMERLY
 MICHAEL H. BUILKIN, TRUSTEE
 &
 ROSEMARY E. BUILKIN, TRUSTEE

NOW OR FORMERLY
 AJAY PATEL & ANNAMARI MIKKOLA

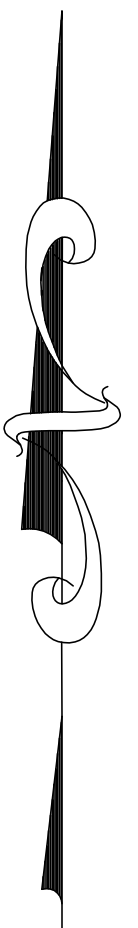
RIGHT OF WAY

BUILDING SETBACK LINES (TYP.)

CANOE HILL ROAD

FERRIS HILL ROAD

B
 NOW OR FORMERLY
 VALERI WHITMER



AVERAGE GRADE

- 96.3
- 96.9
- 97.0
- 97.0
- 97.1
- 97.1
- 97.0
- 96.8
- 96.6
- 96.0
- 94.8
- 94.8
- 95.8
- 96.8
- 97.8
- 98.5
- 98.5
- 98.8
- 98.7
- 98.6
- 98.5
- 98.0
- 97.5
- 97.0
- 96.2
- 96.0

$2,622.6 / 27 = 97.1 \text{ FT.}$

A
 LOT = 1.900 AC.
 RIGHT OF WAY = 0.238 AC.
 TOTAL = 2.138 AC.

IMPROVEMENT LOCATION MAP

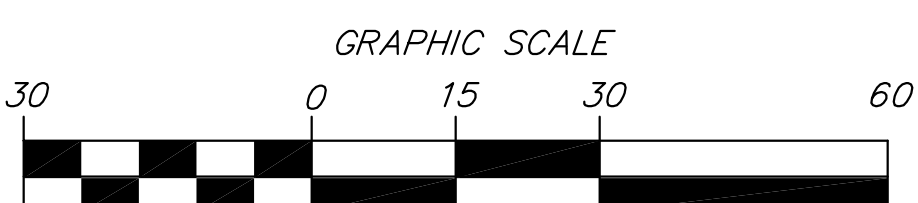
PREPARED FOR

CHRISTOPHER SCHIPPER

NEW CANAAN, CONNECTICUT

AVERAGE GRADE = 97.1 FT.
 FIRST FL. = 100.0 FT. (ASSUMED)
 ALLOWABLE TOTAL BUILDING HEIGHT = 40 FT.
 PROPOSED TOTAL BUILDING HEIGHT = 25.4 FT.
 ALLOWABLE BUILDING HEIGHT = 35 FT.
 PROPOSED BUILDING HEIGHT = 20.9 FT.
 ALLOWABLE BUILDING COVERAGE = 5,050 S.F. (BASED ON 1.900 AC.)
 EXISTING STRUCTURES = 2,160 S.F.
 PROPOSED ADDITIONS = 2,701 S.F.
 TOTAL BUILDING COVERAGE = 4,861 S.F.

REFER TO MAP NO. 2482 ON
 FILE IN THE NEW CANAAN LAND RECORDS.



(IN FEET)
 1 INCH = 30 FT.

THE PURPOSE OF THIS MAP IS FOR A BUILDING PERMIT.
 OTHER FIELD DATA MAY NOT BE SHOWN.

THIS SURVEY HAS BEEN PREPARED IN ACCORDANCE WITH SECTIONS
 20-300B-1 THRU 20-300B-20 OF THE REGULATIONS OF CONNECTICUT
 STATE AGENCIES AND THE STANDARDS FOR SURVEYS AND MAPS IN
 THE STATE OF CONNECTICUT AS ADOPTED BY THE CONNECTICUT
 ASSOCIATION OF LAND SURVEYORS, INC. AS A ZONING LOCATION
 SURVEY AND LIMITED TOPOGRAPHIC SURVEY THE BOUNDARY
 DETERMINATION CATEGORY OF WHICH IS A DEPENDENT SURVEY
 CONFORMING TO HORIZONTAL ACCURACY CLASS A-2, THE LOCATION
 AND ELEVATIONS OF WHICH CONFORM TO TOPOGRAPHIC ACCURACY
 CLASS T-2.

NEW MOMUMENTATION HAS NOT BEEN SET AS A RESULT OF THIS SURVEY.

TO MY KNOWLEDGE AND BELIEF THIS MAP IS
 SUBSTANTIALLY CORRECT AS NOTED HEREON.

JOHN P. O'BRIEN CT. LIC. # 17110
 OFFICE OF MOODY & O'BRIEN, LLC
 SEPTEMBER 14, 2021, NEW CANAAN, CONN.



TEST HOLE DATA
DEEP TEST HOLES WERE PERFORMED BY PEAK ENGINEERS, LLC AND WITNESSED BY THE TOWN, ON NOVEMBER 16, 2013.

TH #1 0-7" TOPSOIL 7-20" YELLOW BROWN FINE SANDY LOAM 20-25" TAN SANDY LOAM 25-86" TAN SANDY HARDPAN ROOTS TO 25" MOTTLES 25" RL 25"	PH A 18" DEEP PRESOAKED 60 MIN. 1:57 5 1/8" 2:07 10 3/4" 5 5/8" 1 1/8 MIN. 2:17 13" 2 1/4" 1 1/4 MIN. 2:30 14 3/4" 1 3/4" 1 1/7.4 MIN. 2:40 15 3/4" 1" 1 1/10.0 MIN. RL 25"	PH C 20" DEEP PRESOAKED 60 MIN. 2:01 5 1/2" 2:11 9 1/2" 4" 1 7/2.5 MIN. 2:21 12" 2 1/2" 1 7/4.0 MIN. 2:31 13 1/8" 1 1/8" 1 7/8.9 MIN. 2:41 14 1/4" 1 1/8" 1 7/8.9 MIN. RL 25"
TH #2 0-36" MISC. FILL 36-43" ORIGINAL TOPSOIL 43-76" GRAY FINE SANDY HARDPAN COMPACT AT 54" RL 18"	PH B 29" DEEP PRESOAKED 60 MIN. 2:38 16" 2:53 19 1/2" 3 1/2" 1 7/4.3 MIN. 3:08 21 1/2" 2" 1 7/7.5 MIN. 3:23 22 7/8" 1 3/8" 1 10/9.0 MIN. 3:38 24" 1 1/8" 1 13.3 MIN. 3:53 25" 1" 1 15.0 MIN. RL 29"	
TH #3 0-6" TOPSOIL 6-17" YELLOW BROWN FINE SANDY LOAM 17-84" TAN MODERATELY COMPACT FINE SANDY LOAM, (SEE PERC TEST 2) RL 29"		
TH #4 0-5" TOPSOIL 5-29" YELLOW BROWN FINE SANDY LOAM 29-65" TAN SANDY HARDPAN RL 29"		
TH #5 0-8" TOPSOIL 8-25" YELLOW BROWN FINE SANDY LOAM 25-72" LIGHT TAN SANDY HARDPAN RL 25"		
TH #6 0-3" TOPSOIL 3-28" YELLOW BROWN FINE SANDY LOAM 28-60" LIGHT TAN SANDY HARDPAN RL 28"		
TH #7 0-4" TOPSOIL 4-14" YELLOW BROWN FINE SANDY LOAM 14-25" TAN FINE SANDY LOAM 25-84" TAN SANDY HARDPAN RL 25"		
TH #8 0-4" TOPSOIL 4-20" YELLOW BROWN FINE SANDY LOAM 20-72" GRAY HARDPAN RL 20"		
TH #9 0-3" TOPSOIL 3-42" YELLOW BROWN FINE SANDY LOAM 42-80" TAN SANDY HARDPAN ROOTS TO 42" RL 42"		

PERCOLATION DATA
PERCOLATION TESTS PERFORMED BY PEAK ENGINEERS, LLC ON NOVEMBER 6, 2013.

PH A 18" DEEP PRESOAKED 60 MIN. 1:57 5 1/8" 2:07 10 3/4" 5 5/8" 1 1/8 MIN. 2:17 13" 2 1/4" 1 1/4 MIN. 2:30 14 3/4" 1 3/4" 1 1/7.4 MIN. 2:40 15 3/4" 1" 1 1/10.0 MIN. RL 25"	PH C 20" DEEP PRESOAKED 60 MIN. 2:01 5 1/2" 2:11 9 1/2" 4" 1 7/2.5 MIN. 2:21 12" 2 1/2" 1 7/4.0 MIN. 2:31 13 1/8" 1 1/8" 1 7/8.9 MIN. 2:41 14 1/4" 1 1/8" 1 7/8.9 MIN. RL 25"
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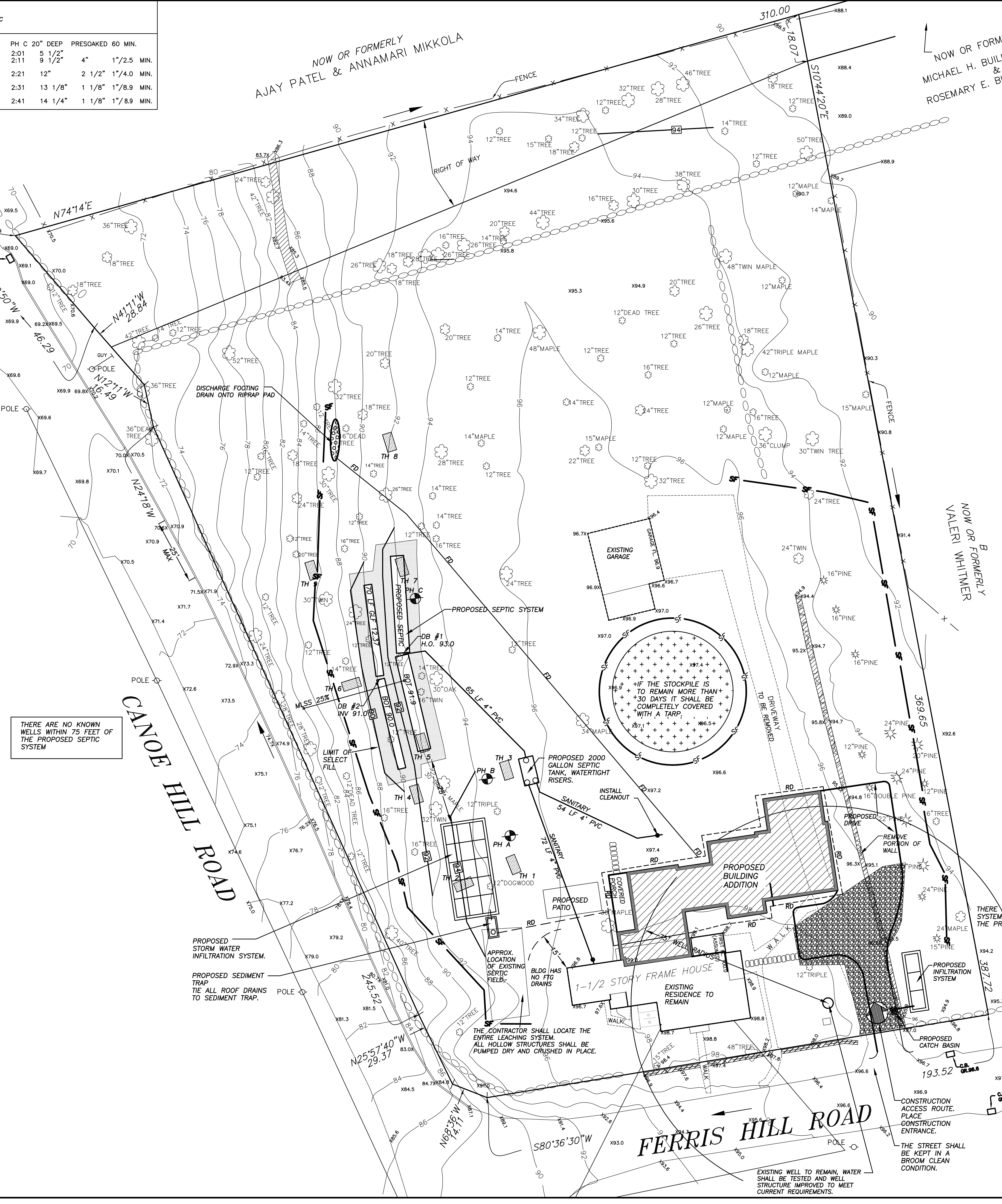
PERC HOLE B PERC RATE IS FASTER THAN 1 7/60 MINUTES THEREFORE MODERATELY COMPACT LAYER IN TEST HOLE 3 IS NOT RESTRICTIVE.

SEPTIC SYSTEM INSTALLATION PROPOSED DWELLING

- INSTALL 74 LF OF GREENLEACH GLF 12.72 AND 70 LINEAL FEET GLF 12.37 PER THE MANUFACTURERS SPECIFICATIONS.
- INSTALL 2000 GALLON SEPTIC TANK. THE TANK SHALL MEET ASTM C1227-95 AND BE EQUIPPED WITH AN APPROVED (6" IN NEW CANAAN) OUTLET FILTER. MAXIMUM COVER, ASSUMING 100 PCF LOADINGS, IS TWO FEET. MANHOLES OR THE TANK SHALL BE WITHIN 6" OF FINISHED GRADE.
- DISTRIBUTION BOXES SHALL BE PRECAST CONCRETE WITH REMOVABLE COVER. BOXES SHALL BE SET LEVEL ON A MINIMUM OF 24" OF DOT NO 4 OR NO 6 STONE. THE BOXES SHALL BE SOLIDLY BACKFILLED ON ALL SIDES.
- STONE AGGREGATE MEANS BROKEN OR CRUSHED STONES, OR SCREENED GRAVEL MEETING DEPARTMENT OF TRANSPORTATION FORM 816 SPEC. M.01.01 FOR NO. 4 STONE.
- DISTRIBUTION PIPE, BEYOND THE SEPTIC TANK, SHALL BE SOLID PIPE SATISFYING ASTM D3034 SDR35. WITH RUBBER COMPRESSION GASKET COUPLINGS (OR EQUAL). SEE TABLE 2-C OF TECH STANDS.
- BUILDING SEWER PIPE FROM THE BUILDING SERVED TO THE SEPTIC TANK, (TABLE NO. 2-A, TECH. STANDS), SHALL BE 4" PVC ASTM D 1785 OR ASTM D 2865, SCHEDULE 40 WITH SOLVENT WELD COUPLINGS/FITTINGS USING PROPER TWO STEP PVC SOLVENT SOLUTION PROCEDURE OR RUBBER COMPRESSION GASKET COUPLINGS, HARCO MFG., ASTM D 3139 OR EQUAL. THE PIPE SHALL BE LAID AT PITCH NOT LESS THAN 1/4" PER LINEAL FOOT. THE FINAL LOCATIONS OF THE SERVICE LINE AND TANKS MAY BE ALTERED FROM PLAN DEPENDING ON SITE CONDITIONS. LINES OVER 75' IN LENGTH AND LINES WITH CUMULATIVE BENDS EXCEEDING 45 DEGREES REQUIRE "CLEANOUTS" TO GRADE.
- SELECT FILL SHALL BE CLEAN BANK RUN SAND, CLEAN BANK RUN SAND AND GRAVEL OR APPROVED MANUFACTURED FILL MEETING THE SPECS. IN SECTION VII OF THE TECH. STANDS.
- THE SELECT FILL SHALL BE PLACED WITHOUT THE NEED FOR HEAVY EQUIPMENT PASSING OVER THE SYSTEM AREA. THE SELECT FILL SHALL NOT BE TAMPED OR ROLLED. THE IN PLACE PERCOLATION RATE SHALL BE BETTER THAN 1" IN 10 MINUTES.
- BERM MATERIAL SHALL BE NATIVE SOIL OR CLEAN COMMON FILL FREE OF ORGANIC MATTER, STUMPS, AND BOULDERS 6" OR GREATER IN SIZE.
- "TIGHT" STORM DRAIN PIPE SHALL MEET OR EXCEED THE SPECIFICATIONS OF TABLE 2-C, TECH. STANDS. USE ASTM D 3034, SDR 35 WITH TWO STEP PVC SOLVENT SOLUTION PROCEDURE (OR BETTER PIPE AND JOINT). USE 6" PVC UNLESS OTHERWISE NOTED.
- PROVIDE 50' MINIMUM FROM A SEWAGE DISPOSAL SYSTEM TO ANY DOWN GRADIENT DRAINAGE SYSTEM INSTALLED TO COLLECT AND/OR REDIRECT GROUNDWATER, INCLUDING LOOSE, OPEN JOINTED, OR PERFORATED, PIPING AND PIPING BACKFILLED WITH FREE DRAINING MATERIAL.

SEPTIC DESIGN DATA PROPOSED DWELLING

- PROPOSED 7 BEDROOM DESIGN
- DESIGN PERCOLATION RATE 1 7/10-1 7/10.0 MINUTES.
- REQUIRED LEACHING AREA IS 907.5 SQUARE FEET.
- MLSS CALCULATIONS
HYDRAULIC GRADIENT (% SLOPE) = >15%
DEPTH TO RESTRICTIVE LAYER (IN INCHES) = 26.1-30.0"
TH 4,5,6,7,9
HYDRAULIC FACTOR (HF) = 20
FLOW FACTOR (FF) = 7 BEDROOMS
PERCOLATION FACTOR (PF) = 2.75
= 1.2
MLSS (IN FEET) = HF x FF x PF = 66
70 LINEAL FEET OF LEACHING SPREAD PROVIDED BY THE DESIGN
- PROPOSED PRIMARY SYSTEM-74 LINEAL FEET OF GREENLEACH GLF 12.62. EFFECTIVE LEACHING RATE IS 7.9 SQUARE FEET PER LINEAL FOOT. THE LEACHING AREA IS 584 SQUARE FEET.
PROPOSED PRIMARY SYSTEM-70 LINEAL FEET OF GREENLEACH GLF 12.37. EFFECTIVE LEACHING RATE IS 4.7 SQUARE FEET PER LINEAL FOOT. THE LEACHING AREA IS 329 SQUARE FEET.
THE TOTAL LEACHING AREA PROVIDED IS 913 SF.
PROPOSED RESERVE SEPTIC SYSTEM - 84 LINEAL FEET OF MANITS 536-B, 12" INVERT. EFFECTIVE LEACHING RATE IS 11.0 SF PER LF. LEACHING AREA PROVIDED IS 924 SF.
- THIS SYSTEM IS NOT DESIGNED TO ACCEPT WASTES FROM GARBAGE DISPOSAL UNITS OR BACKWASH EFFLUENT FROM WATER SOFTENERS OR FILTERS AND/OR WHIRLPOOL TYPE BATHS IN EXCESS OF 100 GALLONS, OR BACKWASH FROM CENTRAL VACUUM SYSTEMS. TUBS EXCEEDING 100 GALLONS AND LESS THAN 200 GALLONS REQUIRES THE SEPTIC TANK CAPACITY TO BE INCREASED BY 250 GALLONS.



THERE ARE NO KNOWN WELLS WITHIN 75 FEET OF THE PROPOSED SEPTIC SYSTEM

CONTRACTORS NOTES

- NOTE 1: GRADING/WALLS**
THE OWNER/CONTRACTOR SHALL VERIFY ALL APPLICABLE ZONING REGULATIONS.
ZONING SECTION 6.4.1.7
FINISHED GRADES SHALL BLEND WITH EXISTING GRADES AT THE PROPERTY LINE AND NO GRADE CHANGE OF 1' OR MORE SHALL OCCUR WITHIN 6 FEET OF A SIDE OR REAR PROPERTY LINE WHERE A RETAINING WALL IS INSTALLED AND 10 FEET OTHERWISE.
ZONING SECTION 6.4.1.8
NO GRADING ACTIVITY THAT INCREASES THE FINISHED SLOPE SHALL RESULT IN A FINISHED SLOPE IN ANY FILLED OR EXCAVATED AREA THAT EXCEEDS:
A. A SLOPE OF FOUR HORIZONTAL TO ONE VERTICAL (4:1) WITHIN THE YARD SETBACK.
B. A SLOPE OF THREE HORIZONTAL TO ONE (3:1) ELSEWHERE.
ZONING SECTION 6.5.B
NO RETAINING WALL SHALL BE LOCATED CLOSER THAN 10' FROM ANY PROPERTY LINE OR EXCEED 4' IN HEIGHT.
A SERIES OF RETAINING WALLS SHALL BE SEPARATED BY A DISTANCE AT LEAST TWICE THE HEIGHT OF ANY OTHER GENERALLY PARALLEL RETAINING WALL AND THE AREA BETWEEN THE RETAINING WALLS SHALL BE PLANTED OR LANDSCAPED TO MITIGATE THE APPEARANCE OF THE RETAINING WALLS.

- NOTE 2:**
ALL SEDIMENTATION AND EROSION CONTROLS SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL 2002 EDITION.
NOTE 3: DRIVEWAY
THE GRADE OF THE DRIVEWAY FROM ITS INTERSECTION WITH THE TRAVELED PORTION OF THE HIGHWAY AND FOR A DISTANCE OF 20' THEREFROM SHALL NOT EXCEED 5%.
NO RESIDENTIAL DRIVEWAY SHALL BE LOCATED WITHIN THREE (3) FEET OF THE PROPERTY LINE.
NOTE 4:
THE BENCHMARK MUST BE LOCATED BY A SURVEYOR PRIOR TO CONSTRUCTION OF THE SEPTIC SYSTEM.

- PLAN NOTES**
NOTE 1:
THE PURPOSE OF THIS PLAN IS TO: OBTAIN APPROVAL TO CONSTRUCT A NEW DWELLING AND INSTALL A PRIVATE SUBSURFACE SEWAGE DISPOSAL SYSTEM.
SUBMITTAL TO AND APPROVAL BY OTHER AGENCIES OF THE TOWN MAY BE REQUIRED PRIOR TO OBTAINING A BUILDING PERMIT.
NOTE 2:
ALL BASE SURVEY AND TOPOGRAPHIC INFORMATION TAKEN FROM MAP PREPARED BY MOODY & O'BRIEN, NEW CANAAN, CT. PLAN DATED 2013. UPDATED SURVEY REQUIRED PRIOR TO SUBMISSION FOR BUILDING PERMIT.
NOTE 3:
OTTO R. THEALL, PROFESSIONAL SOIL SCIENTIST, PERFORMED A SOIL INVESTIGATION OF THE SITE ON OCTOBER 21, 2013. PER HIS REPORT DATED OCTOBER 21, 2013, NO WETLAND SOILS OR WATERCOURSES WERE FOUND ON THE PROPERTY.



LEGEND

- 102 EXISTING CONTOUR
- 102 PROPOSED CONTOUR
- X94.9 EXISTING SPOT ELEVATION
- 100.8 PROPOSED SPOT ELEVATION
- PH 1 PERCOLATION HOLE
- TH 1 DEEP TEST HOLE
- EXIST. RETAINING WALL
- STONE WALL EXISTING
- GTD GRADE TO DRAIN
- FD FOOTING DRAIN
- RD ROOF DRAIN
- SF SILT FENCE
- STAKED HAYBALE
- SF WITH STAKED STRAWBALE
- STOCKPILE AREA
- LOD LOD LIMIT OF DISTURBANCE
- CONSTRUCTION ENTRANCE
- RRIPRAP PAD
- SEPTIC PRIMARY

TOWN SIGNATURE BLOCK

Scale: 1" = 20'

There are no known septic systems within 75 feet of the proposed well.

Peak Engineers, LLC
PROVIDING CIVIL ENGINEERING SERVICES
Site, Septic, and Drainage, Feasibility and Design
16 Old Mill Road, Redding, CT 06896
Tel 203-834-0588 Email: TQuinn@PeakEngineersLLC.com

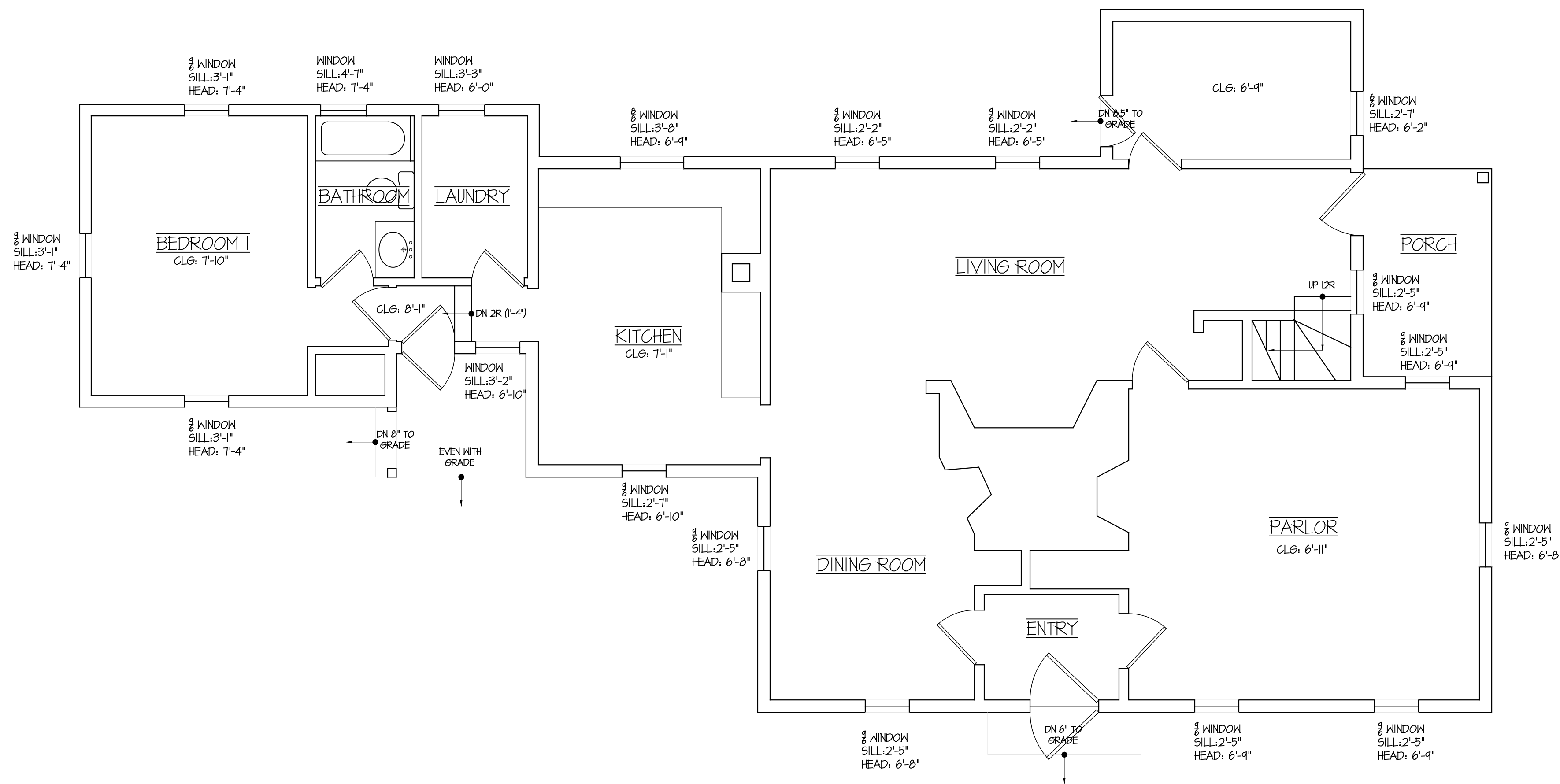
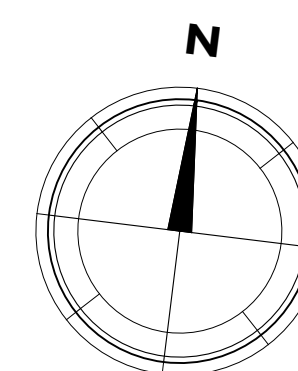
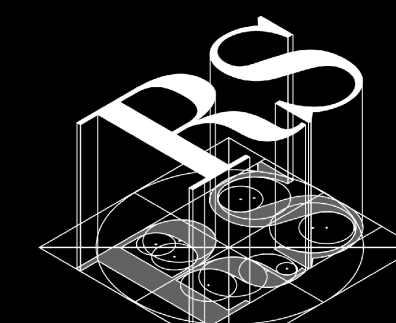
PREPARED FOR
Christopher Schipper

PROJECT LOCATION
8 Ferris Hill Road
New Canaan, Connecticut 06840
Assessor's Map 39, Bl 107, Lot 39
2 acre residence zone

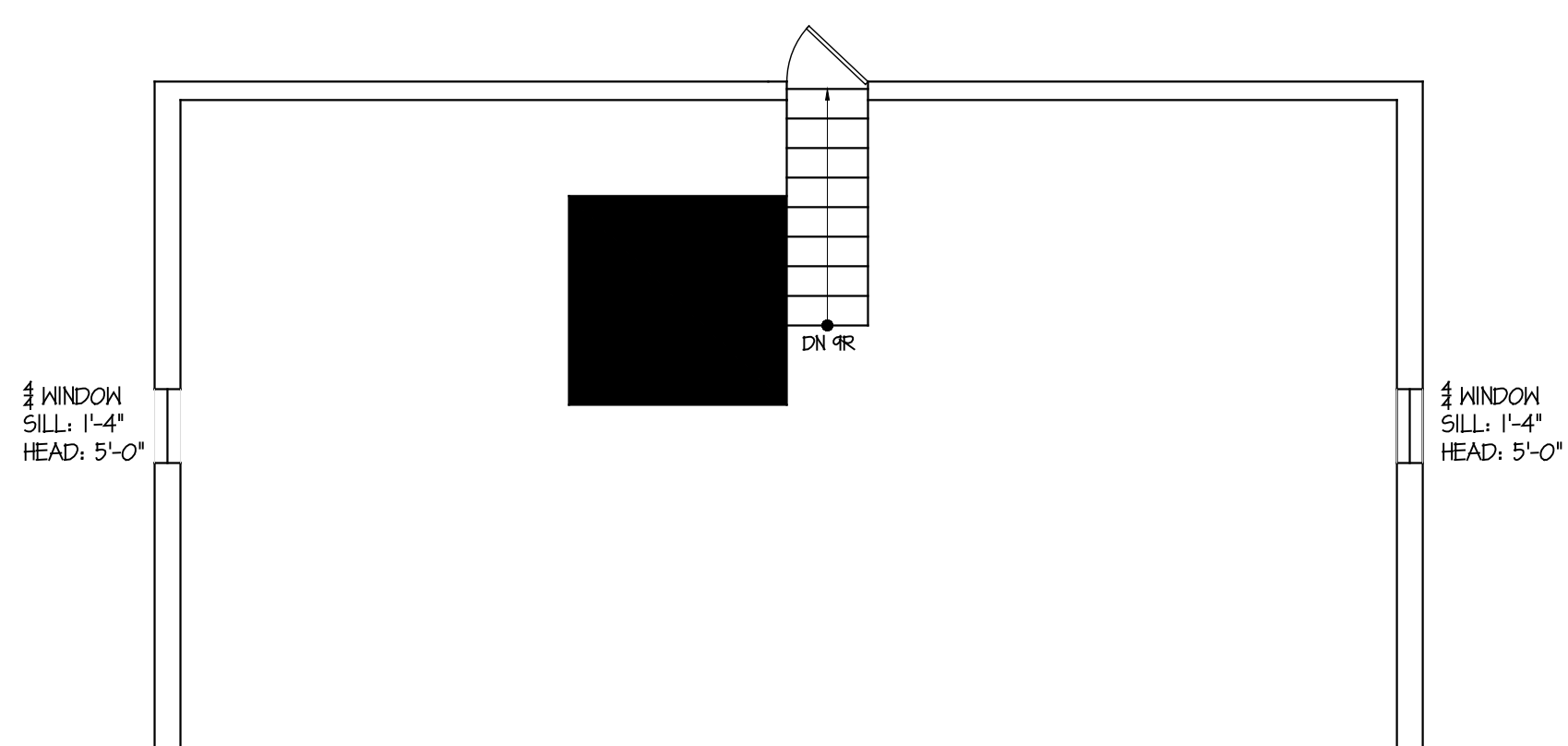
TITLE
Proposed New Construction
Feasibility Plan

Thomas S. Quinn, P.E. 17051
THIS PRINT IS INVALID WITHOUT LIVE RED SEAL AND EMBOSSED SEAL

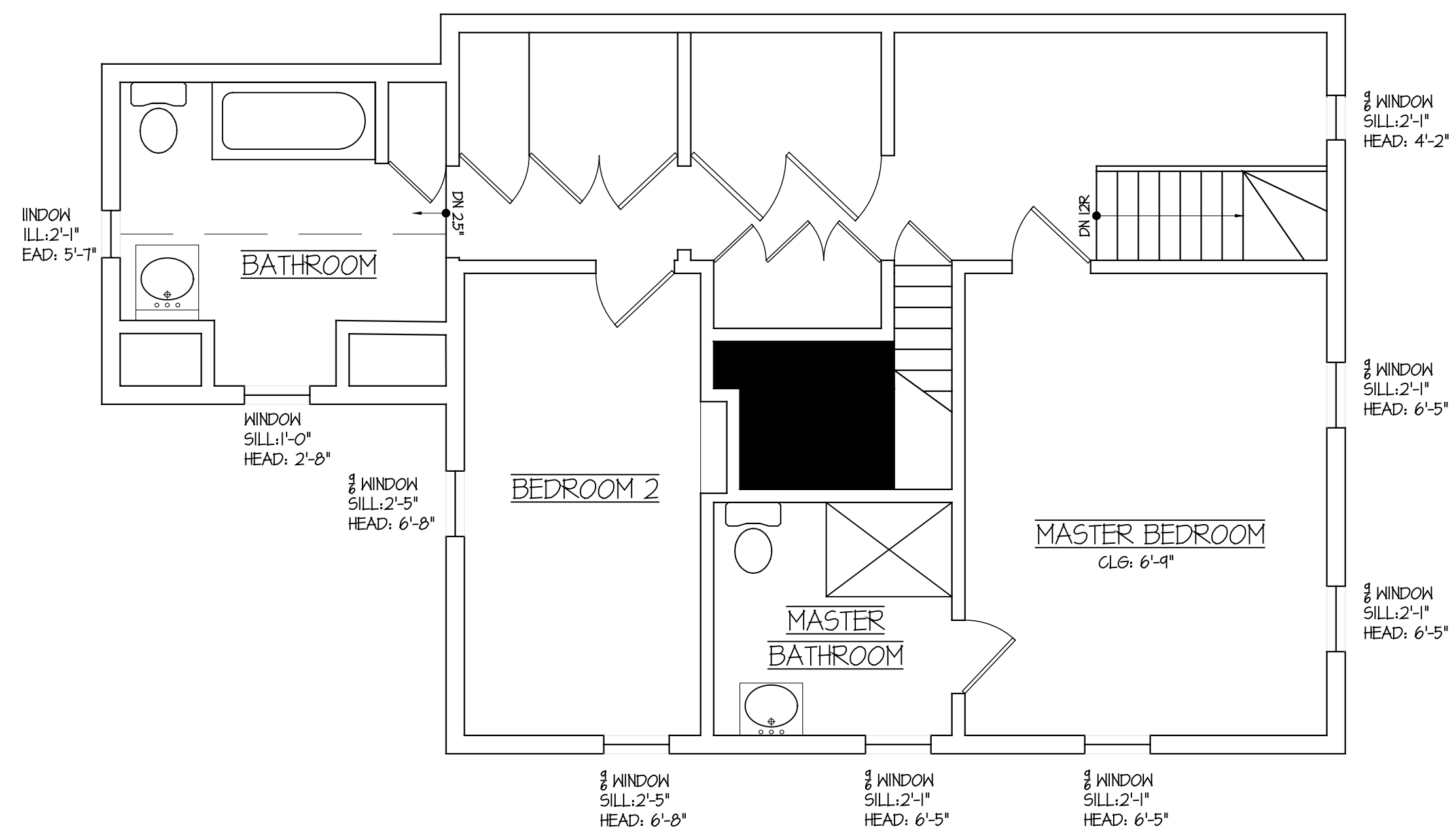
FP-1



FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"



ATTIC FLOOR PLAN
SCALE: 1/4" = 1'-0"



SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

Project Name & Address
SCHIPPER RESIDENCE
8 FERRIS HILL ROAD
NEW CANAAN, CT

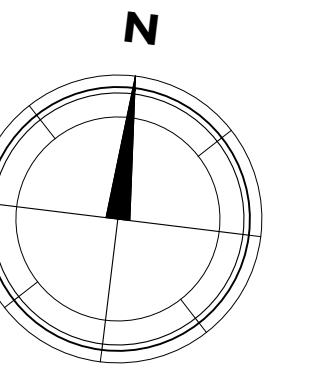
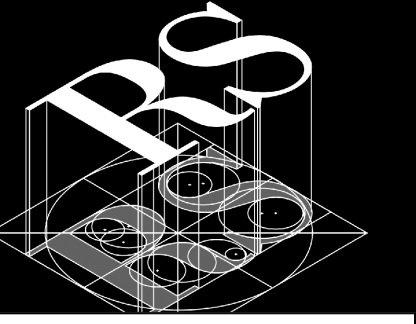
Project No.
20-007

Sheet Name
EXISTING FLOOR PLANS

d JUNE 16, 2021
s 1/4" = 1'-0"

Sheet No.

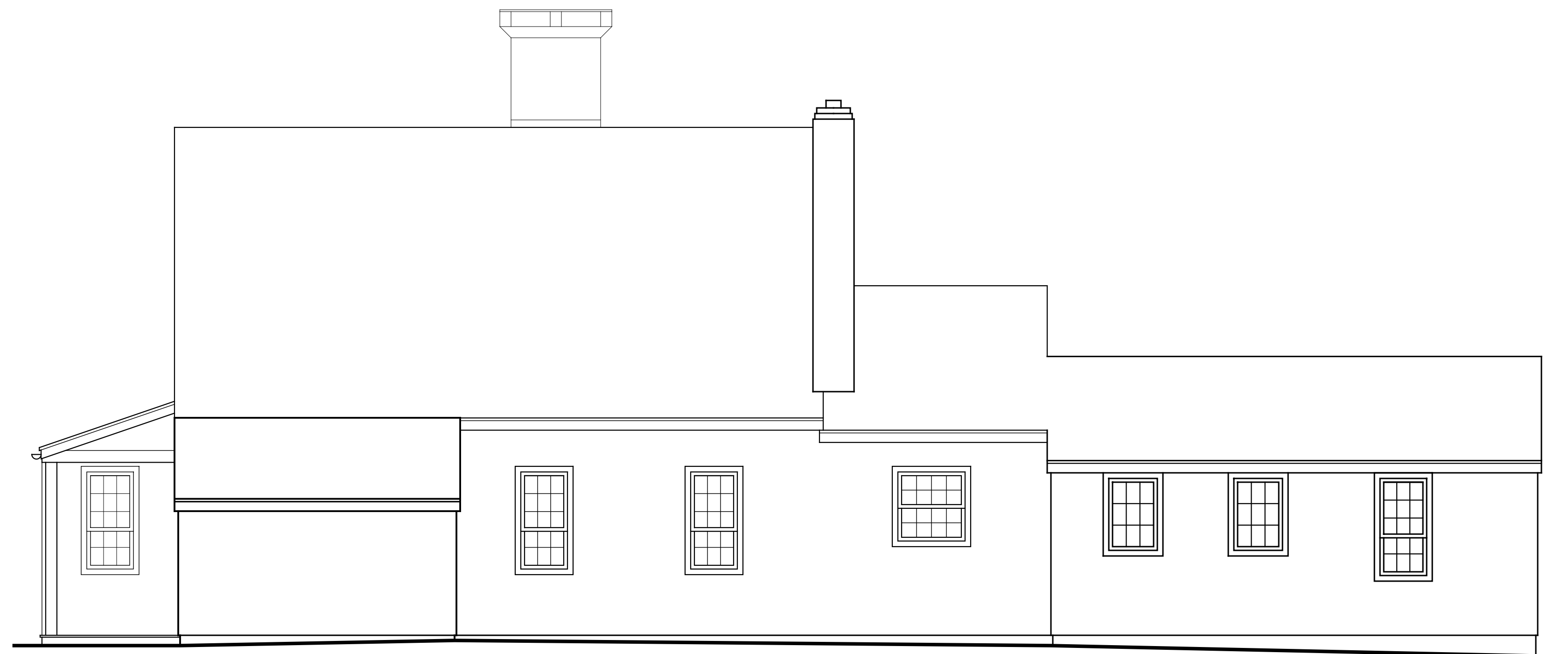
EX-1



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"

Project Name & Address
SCHIPPER RESIDENCE
8 FERRIS HILL ROAD
NEW CANAAN, CT

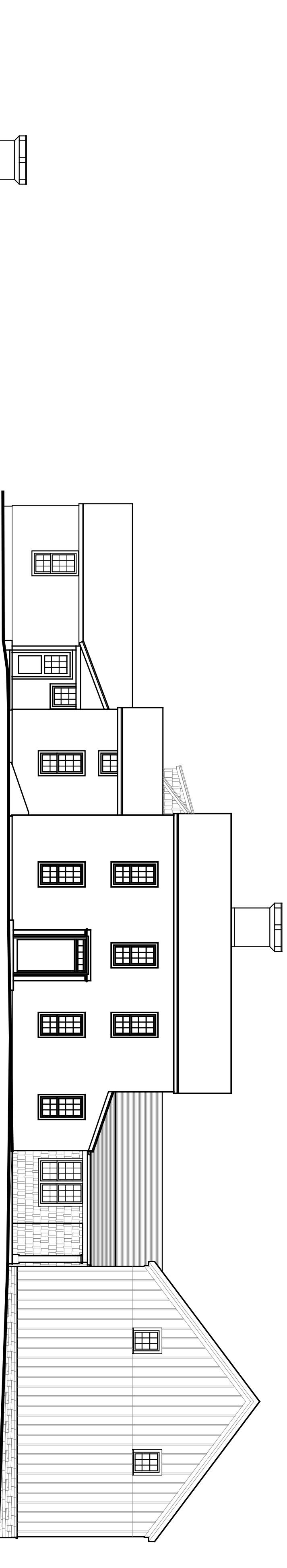
Project No.
20-007

Sheet Name
EXISTING ELEVATIONS

d JUNE 16, 2021
s 1/4" = 1'-0"

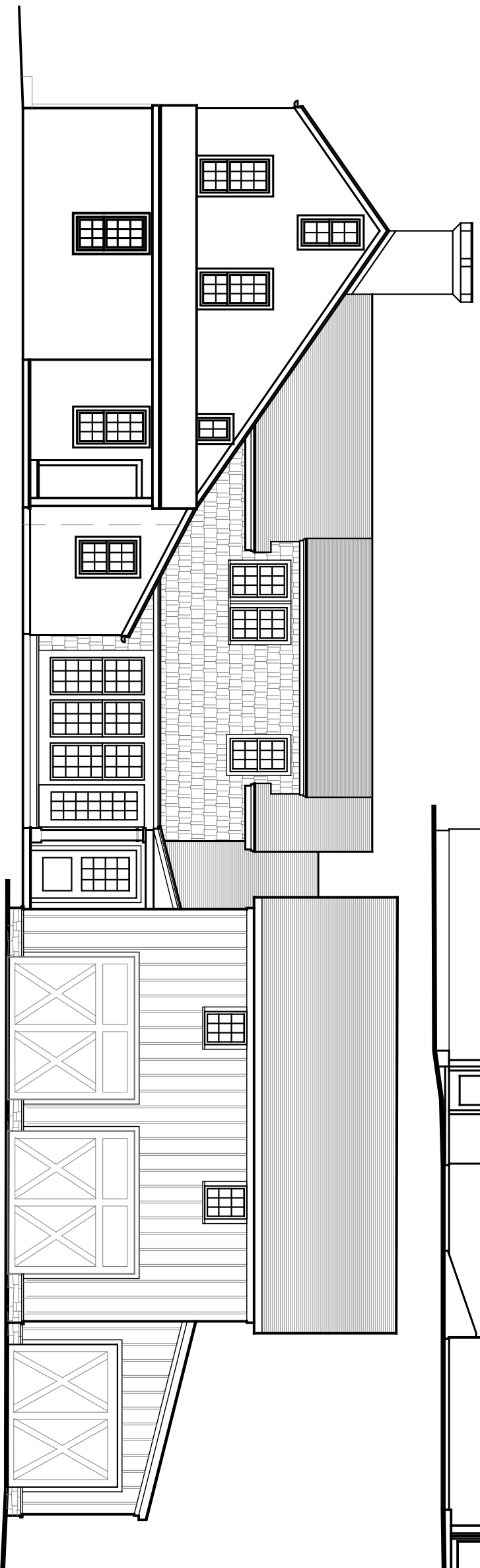
Sheet No.

EX-2



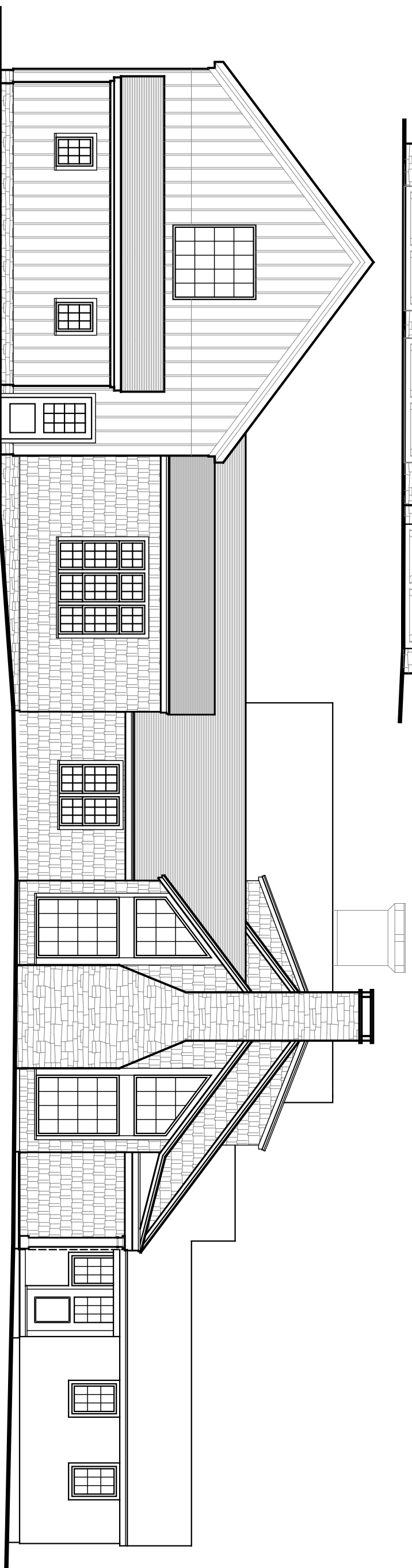
SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



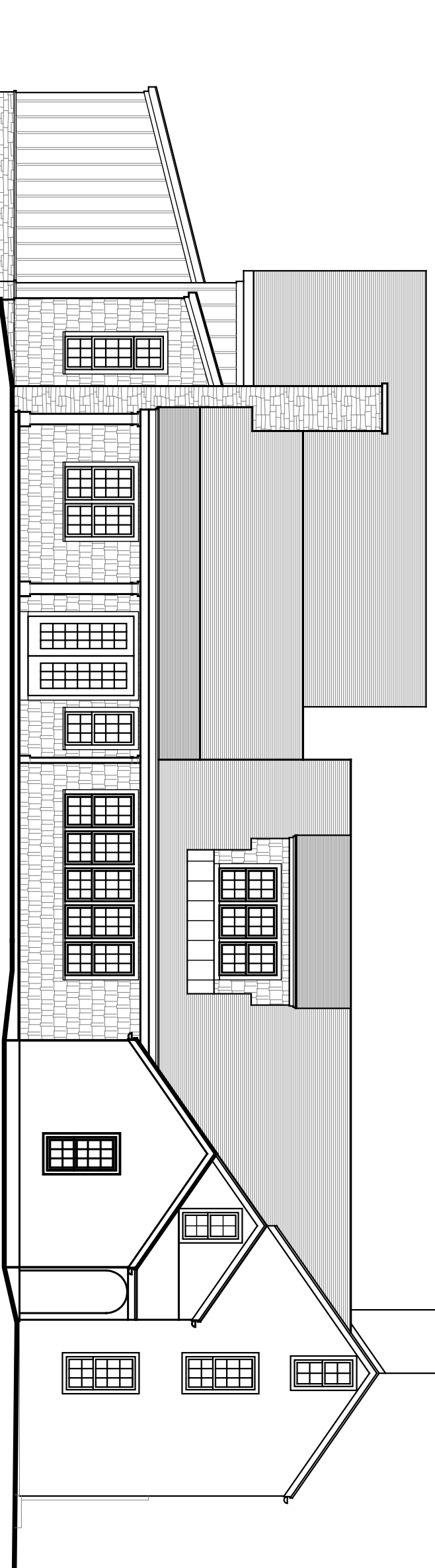
EAST ELEVATION

SCALE: 1/8" = 1'-0"



NORTH ELEVATION

SCALE: 1/8" = 1'-0"



WEST ELEVATION

SCALE: 1/8" = 1'-0"

Schipper Residence

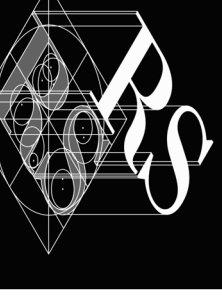
8 FERRIS HILL ROAD, NEW CANAAN, CT

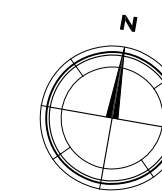
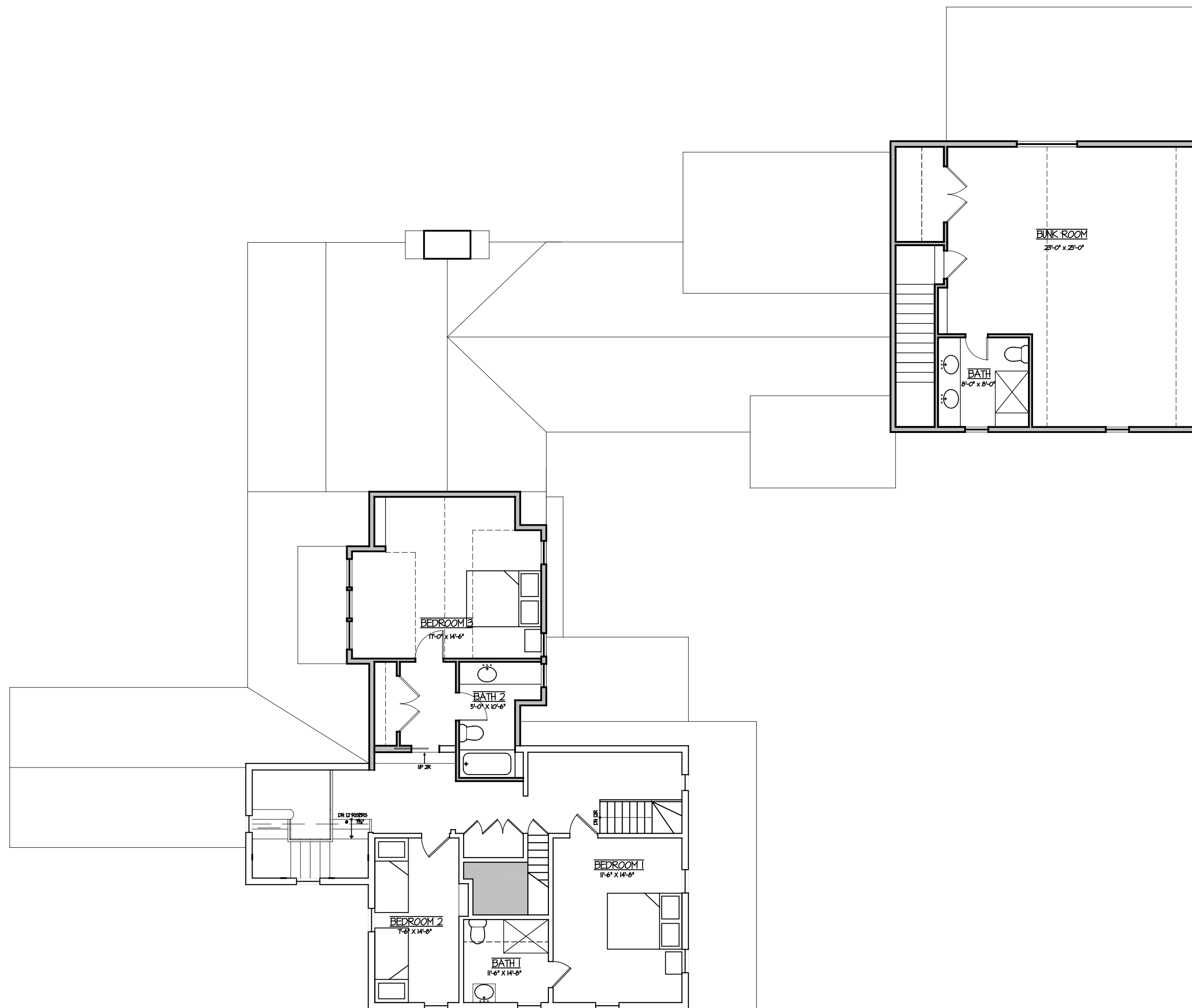
PROPOSED ELEVATIONS

SCALE 1/8" = 1'-0" Date: 08.13.2021

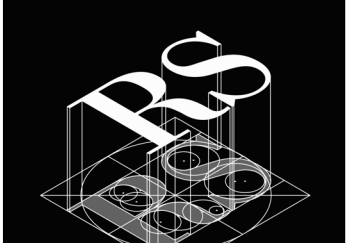
Rob Sanders Architects LLC

The Garriage House
436 Danbury Road
Wilton, Connecticut 06897
P 203.761.0144
F 203.761.0073
e info@rsarch.com





Rob Sanders Architects LLC
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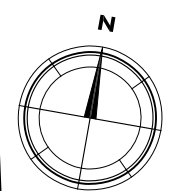
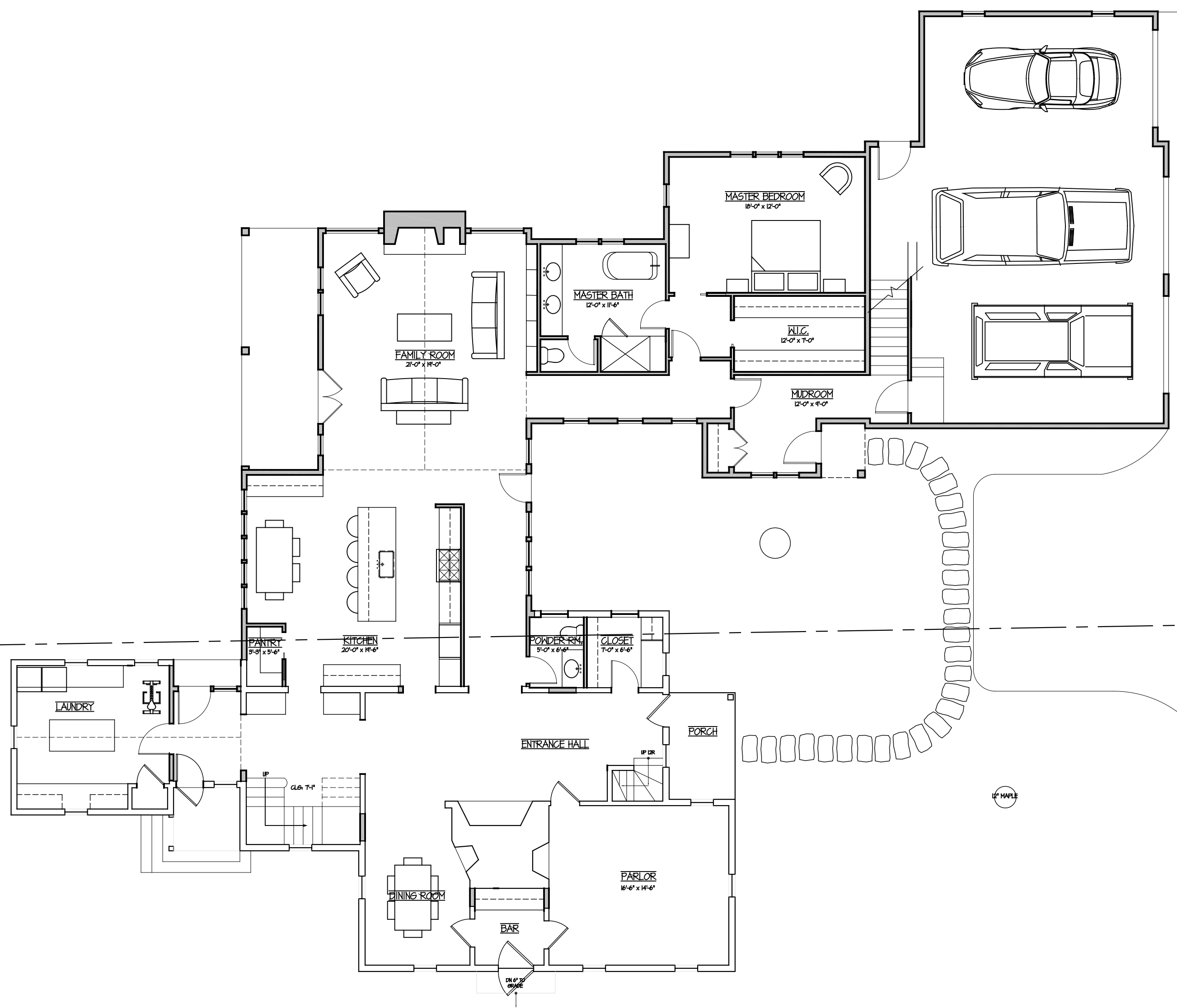


Schipper Residence

8 FERRIS HILL ROAD, NEW CANAAN, CT

2ND FLOOR + ROOF PLAN D

SCALE 1/8" = 1'-0" Date: 08.13.2021

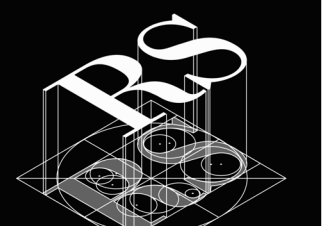


Rob Sanders Architects LLC
 The Carriage House
 436 Danbury Road
 Wilton, Connecticut 06897
 p 203.761.0144
 f 203.761.0073
 e info@rsarchct.com

Schipper Residence

8 FERRIS HILL ROAD, NEW CANAAN, CT

PROPOSED 1ST FLOOR PLAN D SCALE 1/8" = 1'-0" Date: 08.02.2021





Hoyt-Burwell-Morse house, New Canaan, Connecticut

Summary of Preservation Restrictions and Covenants

The Hoyt-Burwell-Morse house is a significant historic building, individually listed on the National Register of Historic Places (National Register) in 2016. The house was built in about 1735 for descendants of some of New Canaan's first settlers. In the 19th century it apparently was occupied by Onesimus Brown, thought to have been the last person born into slavery in Connecticut. Later, it passed to the Birdsall, Steven, and Morse families, who were instrumental in transforming New Canaan from a rural area to a fashionable suburb in the late 19th and early 20th centuries.

As one of New Canaan's oldest surviving houses, the Hoyt-Burwell-Morse house is a good example of 18th-century residential design and construction, with its timber frame, center chimney, and leanto kitchen. In the 20th century the house was expanded and modified in the Colonial Revival manner popular in Connecticut's expanding suburbs. The preservation of original features with the creation of an open interior layout and addition of new electrical, plumbing, and heating systems exemplify the goals of accommodating modern life in an historic setting.

In order to protect the Hoyt-Burwell-Morse house's historic character and setting, the owners made a grant of preservation restrictions and covenants on the property to Preservation Connecticut in 2016. A preservation restriction (informally called an 'easement,' although 'restriction' is technically the correct term) is a legal mechanism that guarantees that the special qualities of an historic building will not be lost in the future through neglect or insensitive alteration. It runs with the land and is legally binding on all future owners of the property.

The preservation restriction on the Hoyt-Burwell-Morse house has two major provisions:

1. It limits the kinds of alterations and additions that may be made to the exterior of the house and its landscape features such as the stone walls and well. An addition to the rear or a new barn/garage might be added; however, any additions or alterations must be approved by the Connecticut Trust before work is begun. In addition, the property may not be subdivided.
2. It requires proper maintenance of the house to preserve its historic character and structural integrity.

Other provisions include a requirement to keep the property adequately insured, as well as standards of review and procedures for addressing disputes. The restriction does not grant the public access to the house or property.

In addition to overseeing the preservation restrictions, Preservation Connecticut is a resource for the owners of the Hoyt-Burwell-Morse house. PCT will offer professional advice and technical assistance, including consultation with the Trust's professional staff and access to a directory of contractors, architects, consultants and craftsman who have experience with historic buildings.

For more information on the Hoyt-Burwell-Morse house preservation easement, call or write to Christopher Wigren, Deputy Director of Preservation Connecticut, at (203) 562-6312 or cwigren@preservationct.org. Learn more about Preservation Connecticut at www.preservationct.org.

**United States Department of the Interior
National Park Service**

National Register of Historic Places Registration Form

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in National Register Bulletin, *How to Complete the National Register of Historic Places Registration Form*. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions.

1. Name of Property

Historic name: Hoyt-Burwell-Morse House

Other names/site number: _____

Name of related multiple property listing:
N/A

(Enter "N/A" if property is not part of a multiple property listing)

2. Location

Street & number: 8 Ferris Hill Road aka 441 Canoe Hill Road

City or town: New Canaan State: CT 06840 County: Fairfield (001)

Not For Publication: Vicinity:

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended,

I hereby certify that this ___ nomination ___ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60.

In my opinion, the property ___ meets ___ does not meet the National Register Criteria. I recommend that this property be considered significant at the following level(s) of significance:

___ **national** ___ **statewide** ___ **local**

Applicable National Register Criteria:

___ **A** ___ **B** ___ **C** ___ **D**

_____ Signature of certifying official/Title:	_____ Date
_____ State or Federal agency/bureau or Tribal Government	

In my opinion, the property ___ meets ___ does not meet the National Register criteria.	
_____ Signature of commenting official:	_____ Date
_____ Title :	_____ State or Federal agency/bureau or Tribal Government

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4. National Park Service Certification

I hereby certify that this property is:

- entered in the National Register
- determined eligible for the National Register
- determined not eligible for the National Register
- removed from the National Register
- other (explain:) _____

Signature of the Keeper

Date of Action

5. Classification

Ownership of Property

(Check as many boxes as apply.)

- Private:
- Public – Local
- Public – State
- Public – Federal

Category of Property

(Check only **one** box.)

- Building(s)
- District
- Site
- Structure
- Object

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Number of Resources within Property

(Do not include previously listed resources in the count)

Contributing	Noncontributing	
<u>1</u>	<u>1</u>	buildings
<u> </u>	<u> </u>	sites
<u> </u>	<u> </u>	structures
<u>1</u>	<u> </u>	objects
<u> </u>	<u> </u>	Total

Number of contributing resources previously listed in the National Register 0

6. Function or Use

Historic Functions

(Enter categories from instructions.)

DOMESTIC / Single dwelling
DOMESTIC / Secondary structure (well housing)

Current Functions

(Enter categories from instructions.)

DOMESTIC / Single dwelling
DOMESTIC / Secondary structure (well housing)

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7. Description

Architectural Classification

(Enter categories from instructions.)

COLONIAL / Saltbox / Georgian
LATE 19TH AND 20TH CENTURY REVIVALS / Colonial Revival

Materials: (enter categories from instructions.)

Principal exterior materials of the property:

Foundation & chimney: stone
Walls: wood shake
Roof: asphalt shingle

Narrative Description

(Describe the historic and current physical appearance and condition of the property. Describe contributing and noncontributing resources if applicable. Begin with a **summary paragraph** that briefly describes the general characteristics of the property, such as its location, type, style, method of construction, setting, size, and significant features. Indicate whether the property has historic integrity.)

Summary Paragraph

The Hoyt-Burwell-Morse House¹ is a c. 1740, 2 1/2 -story wood-frame saltbox building. The main block faces south toward Ferris Hill Road. Small additions project west and east. The foundation is fieldstone and the center chimney is ashlar granite masonry. The structure is post-and-beam framing, the walls are clad in wide wood shakes, and the roof is sheathed with asphalt shingles. The site is a 2.14-acre parcel at the northeast corner of Ferris Hill Road and Canoe Hill Road in New Canaan, Connecticut. It is a level parcel located at the crest of a hill in a semi-rural northeastern part of the town (Figure 1, 2; Photo 1). The house is set 20 feet back from the road, and a low fieldstone wall follows the south property line (Photos 2, 3). A driveway with traces of old asphalt paving extends north along the east side of the property to a two-car garage (non-contributing) with an attached screen porch, located 120 feet north of the house (Photo 2, 8). This replaced a barn in 1960. A well-housing (contributing object) is located east of the house, and consists of a circular mortared cobblestone wall topped with a cast iron arched pulley system (Photos 2, 4). A mowed area surrounds the south, east and north sides of the house. Along the west side, the grade slopes down steeply to Canoe Hill Road. A cluster of small trees and shrubbery forms a screen from the road. North of the garage, the site is wooded and a low fieldstone wall is located within the parcel, parallel to the northern property line.

¹ The historic name of the house given in the 1951 publication *Landmarks of New Canaan*.

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Narrative Description

House (Contributing building, c. 1740)

Exterior

The Hoyt-Burwell-Morse House is a three-bay-wide saltbox with a center-chimney three-room layout including a leanto kitchen, typical of the building type. The main block measures 28 feet wide by 27 feet deep. One of only approximately 15 extant (as of 2016) houses built by the year 1740 in New Canaan,² the building has typical saltbox massing with a two-story three-bay south façade. The north (rear) elevation is one-story with the roof sloping down from the ridge in a single pitch. A full cellar with mortared fieldstone masonry and a central chimney mass underlies the main block, including the north kitchen. Character-defining features of early eighteenth-century construction and massing are intact, along with evidence of a campaign of restoration and remodeling in a Colonial Revival mode during the early twentieth century.³

On the facade (Photo 3), the central entrance has a simple Georgian-style surround consisting of engaged pilasters and a simple molded cornice (Photo 7). A five-light transom with bulls-eye glazing (possibly dating from the major renovation) is set into the lintel above the door. This is flanked by nine-over-six double-hung wood windows on the first floor. Similar windows are in the three bays of the second floor. The sashes throughout the house appear⁴ to be wood replicas installed with sash weights and pulleys, though some of the glass is old and may be original. The entry door is a flat-panel stile and rail door with eight panels hung on wrought iron strap hinges. It has an exterior storm door of vertical planking with horizontal battens. A monolithic stone slab forms the stoop. A one-story shed-roofed addition to the east side of the house has its south wall flush with the south elevation; a single matching window is in the south face of the addition.

The east elevation exhibits the saltbox profile (Photos 4, 5). At the first story, the projecting shed-roofed addition extends the width of the southeast parlor and the same roof line extends over a stone-floored porch with a solid plank and batten door with strap hinges, leading into the original north kitchen. A small seven- by twelve-foot room is attached on the north side of the building, with its roof continuing the main roof slope. Matching nine-over-six double-hung windows include: one in the east elevation of the parlor addition, one in its north gable, one in the east wall of the kitchen; and two in the second floor. There is a six-over-six double-hung window in the north addition, a small four-light sash low under the rake of the roof to the north (right) in the second floor, and a four-over-four, double-hung window in the attic.

The north (rear) elevation is a single story in height. The west side of the addition on this elevation has a door with glazed lights, which provides access to a stone-paved terrace along the north side of the building. In the north wall of the original kitchen are two nine-over-six double-hung windows (Photo 5).

² New Canaan Historical Society (NCHS) website list of selected houses over 100 years old: <http://nchistory.org/preservation/historic-homes/>.

³ For simplicity, this will be referred to as “the major renovation.”

⁴ Based on visual inspection and Tillson 1971 notes (NCHS archives).

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Attached to the west end of the building are two modest-sized additions (Photos 5, 6). At the west end of the original kitchen is an 11- by 15-foot gable-roofed room of 1 1/2-story height which serves as the modern kitchen; this is built on a crawl space and has a tall brick chimney, indicating a likely former kitchen stove location. Attached to the west of this and off-set slightly to the north is a one-story gable-roofed space, originally built with slab-on-grade as a milk room at some time after 1947,⁵ and later converted to a laundry, bathroom, and bedroom. Windows on the north elevation include a six-over-six double-hung window in the modern kitchen, a pair of nine-light single sash windows in the laundry and bath, and a nine-over-six double-hung window matching those of the main block, lighting the bedroom. The west elevation of the bedroom wing has one matching nine-over-six window, as does the south elevation of this wing. The south elevation of the additions is completed by a shed-roofed entry porch and recessed door into the bedroom and bath area. A nine-over-six window into the modern kitchen and a six-pane window in the attic above are located to the east (right) of the entry porch.

The west elevation of the main block (Photo 6) is partially exposed south of the abutting addition, with a nine-over-six double-hung window into the west front room of the main block, a matching window above in the second floor, a four-over-four attic window and a non-original opening for a ventilation fan to the south (right).

The windows all have simple flat square casings. Siding is unpainted wide-coursed wood shakes that is not original, but is in good condition. The trim is painted a muted old rose color chosen by the Tillsons, who owned the house from 1957 on.⁶ Some of the windows have wood-framed screens or four-pane wood storm sash. The fieldstone foundation is not exposed except at the west additions where the grade begins to slope down toward Canoe Hill Road. In the south elevation at the east (right) bay, there is a window well with a three-pane cellar window. Roofing is asphalt shingles over plywood, with the latter laid over the original board sheathing. Narrow trim boards without overhangs are in place at the eaves and rakes. The central chimney is mortared stone ashlar masonry, with two courses of corbelling at the top and a slate cap supported on stone spacers.

Interior

The main block of the building sits over a full basement of mortared fieldstone with a poured concrete slab floor (the slab is not original). The additions attached to the main block have crawl spaces and fieldstone foundations; the westernmost addition and the north addition appear to be slab-on-grade.

At the first floor level, a pair of rooms flanks an entry and an original kitchen extends across the full width of the north side.⁷ The south rooms are a 16' x 14' east parlor (the length dimension includes the addition) and a narrower west room of irregular plan, which has been opened to the north original kitchen by removal of a partition (Photos 10-13). At the south center is an entry hall where the front door is located (Photo 11). To the north the original kitchen extends the

⁵ It post-dates the illustration in *Landmarks of New Canaan* (Figure 5).

⁶ Diana R. Tillson recorded her decision with her mother to match a color previously used as a wash on the fireplace stones (NCHS archives, 1971 Tillson notes).

⁷ This traditional plan is sometimes termed the "hall and parlor" type, the entry was traditionally known as a "porch" and the kitchen as the "keeping room" (Garvin 2001, 96).

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width of the house (Photos 13-15), and measures 10'-6" deep x 27'-6" long. An atypical feature of the building type, the only stair connecting to the upper floor is located in the southeast corner of the north kitchen, rather than in the front entry hall. The stair likely dates from the major renovation, but its position in the kitchen may be original (NCHS, 1971 Tillson notes).

Eighteenth-century fireplaces with monolithic hearth stones are extant in the southeast parlor and north kitchen. In the latter, the fireplace is lined with granite block masonry and a brick-lined beehive oven and iron crane are extant. Simple painted wood mantels are extant in both.⁸

In the southwest room (now dining room), the fireplace wall (east) is canted to increase the width of the room toward the south. The fireplace has a very small firebox opening in an exposed mortared fieldstone wall (Photo 12). It is unknown whether this treatment is original or a Colonial Revival-period modification.

The timber posts in all three rooms are exposed rough-hewn wood with no trim. Walls and ceilings are plastered and painted. Doors are predominantly plank and batten type, with only the front entry and adjacent doors to the east and west rooms being flat panel stile and rail doors. Hinges are of the H and HL surface-mounted type; it has not been determined whether some are original or all date from the major renovation.⁹ A central heating system consisting of cast iron steam radiators is in place throughout the house, and also appears to date from the major renovation. Electric light fixtures from the same period include several wall sconces designed to resemble candles in wrought iron holders (Photos 13, 21).

The majority of windows are matching nine-over-six, wood double-hung sash, 2'-0" wide by 4'-2" tall, with sash weights and pulleys, an indication that they were replicated in the late nineteenth or early twentieth century (Photo 17). Several appear to have hand-blown glass, which may be from the original sash.

The floor framing is visible in the cellar (Photos 9). As the dimensions of this building are relatively compact, girders and joists run from the corners of the central chimney mass to the outer foundation walls, and there are no summer beams. Partial replacement of some joists with sawn lumber and installation of a subfloor over the joists appears to have occurred during the major renovation. This allowed the finish flooring to be installed in a different orientation in the southwest room – continuous with the north kitchen, rather than in the likely original placement perpendicular to the joists.

First floor finish flooring is wide plank solid wood, but this appears to have been re-installed or replaced during the major renovation, as evidenced by the orientation and tight fit of joints. Also notable is that the finish flooring in the north kitchen and southeast parlor has its finish elevation higher than the hearthstones, another indication of re-installation of the wide board flooring over a subfloor. There is no flooring joint at the location of the six-foot eastern extension in the southeast parlor.¹⁰

⁸ The design of the mantel with vernacular sawn wood bracket supports is similar to that in the Hanford-Silliman House (King 1981, 44).

⁹ Tillson's 1971 notes indicate that some hinges are original (NCHS archives).

¹⁰ Tillson's 1971 notes record that flooring from the attic was used for repairs on the lower floors during the Morse ownership (NCHS archives).

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To the west, the additions include a modern kitchen, laundry, and bath, and down two steps, a bedroom which is said to have been a former milk room (NCHS, 1971 Tillson notes). This has been fitted with windows matching the main house and with cast iron steam radiators of a mid-twentieth-century type recessed into the walls.

The second floor contains two bedrooms, in the southeast and southwest corners (Photos 16-21). The room at the center of the south side (typically a stair hall above the entry) is a mid-twentieth-century bathroom accessible from the southeast bedroom. The space above the north kitchen has a sloped ceiling due to the saltbox profile, and serves as a corridor connecting the stair, two bedrooms, attic, and a bathroom located in the attic of the western addition. The walls of this corridor are finished with built-in closets and cupboards. The south side includes a narrow stair to the upper attic, and some high recessed cabinets above the narrower upper part of the chimney mass. The north side has built-in closets under the slope of the roof, with doors that have iron hinges, probably twentieth-century in date but designed to evoke the Colonial period. Walls and ceilings are finished with painted plaster while the timber posts in the rooms and the timber rafters in the saltbox are hewn, exposed and unfinished. Wood flooring in the bedrooms appears to be original, with some patching.

The upper attic retains original timber common rafters with half-lapped pegged joints at the ridge (Photos 22-24). These are supported on wall plates raised on short knee walls, formed by extended wall posts, approximately one foot above the attic floor. Spaced roof sheathing boards are extant and have been overlain with plywood in the most recent re-roofing. At the end walls, there is evidence of sawn studs and horizontal sheathing, indicating that when the shake siding was installed, repair work was also done to the gable end walls (Photo 23). The stone chimney tapers in the attic and exits through the roof just to the north of the ridge-line (Photo 24).

Well housing (Contributing object, early twentieth century)

The dug well to the east of the house is surrounded by a three-foot-high masonry wall of mortared cobblestones. A cast iron arched bracket supports a pulley, not currently in use. The well is covered (Photo 4) and a modern drilled well is located adjacent under a flush stone cover.

Garage (Non-contributing building, 1960)

According to historic building and tax record cards (NCHS archives) there was a barn on the property until 1960, when it was demolished and the current two-car garage was built, with a screen porch attached to the south end. The gable roof is oriented north-south and two overhead doors face east. Siding is vertical boards and the roof is asphalt shingles (Photo 8).

Landscape elements

The Hoyt-Burwell-Morse House is sited at the northeast corner of Ferris Hill Road and Canoe Hill Road (Photo 1). The site is a generally flat parcel at the crest of a hill. Grade slopes slightly down to Ferris Hill Road from a level front yard area. A remains of a fieldstone wall edges the lawn, and a set of flagstones and small flight of stone steps lead down to the road. One large old

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shade tree remains from a pair of sugar maples that formerly framed the path, as shown in a 1946 Eberman drawing in *Landmarks of New Canaan* (Figure 5). Until its recent removal, a wood picket fence in deteriorating condition extended across the front property line (Photos 2, 3). The construction of the fence was consistent with examples of Colonial period fences (Hopkins, 1922). Along Canoe Hill Road, the grade of the road slopes down and a steep cliff-like bank forms the western property line. Along the north side of the house, there is a terrace of flagstone pavers which can be reached from the glass door of the north addition. At the wooded northern area, a fieldstone wall runs parallel to the north property line, approximately 40 feet south of the boundary.

Integrity

The Hoyt-Burwell-Morse House retains a substantial degree of integrity as an example of a typical vernacular eighteenth-century Colonial saltbox farmhouse. The building is located on its original site, although the acreage has been reduced. The building mass, fenestration, center chimney, front yard, doors, stone stoop and walkway remain in their original configuration. Historic landscape elements along the south property line, including a large sugar maple tree and the lower courses of a fieldstone wall, remain extant. Modest later additions at the west side of the building are inconspicuously set back from the façade and small in scale, so that they do not compromise the historic building mass. Extant original interior features include timber framing and fireplaces.

The house also exhibits evidence of a campaign of restoration and remodeling during the Colonial Revival period of the late nineteenth to early twentieth century. Window restoration and siding replacement are visible on the exterior. Window sash appear to replicate the originals. Siding is of rougher-scaled wood shakes than would have been original, but wood shingle siding is a typical locally-occurring exterior finish.¹¹ Interior renovations reflecting the Colonial Revival approach to restoration are intact and have great integrity. These include built-in cabinetry in the first and second floor rooms, the removal of a partition between the southwest parlor and north kitchen, and the introduction of indoor plumbing and central heating systems. Little change has occurred to the house since the late 1950s, with the exception of modern kitchen and bath replacement fixtures and finishes in the two western additions. The building remains an exceptional example of the taste and decision-making of the Colonial Revival period as applied to the preservation of an actual Colonial period building. Within the property, the historic setting is preserved, which contributes to its feeling as an eighteenth-century homestead. The property is a rare surviving vestige of the initial settlement of Canaan Parish and is currently surrounded by larger scale, recently constructed single-family residences.

¹¹ Nearby similar houses with restored shingle siding include the 1737 Fitch-St John-Ruscoe House at 4 Carter Street and the 1724 Benedict-Eels-Thatcher House at 453 Carter Street (NCHS archives and web site).

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8. Statement of Significance

Applicable National Register Criteria

(Mark "x" in one or more boxes for the criteria qualifying the property for National Register listing.)

- A. Property is associated with events that have made a significant contribution to the broad patterns of our history.
- B. Property is associated with the lives of persons significant in our past.
- C. Property embodies the distinctive characteristics of a type, period, or method of construction or represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- D. Property has yielded, or is likely to yield, information important in prehistory or history.

Criteria Considerations

(Mark "x" in all the boxes that apply.)

- A. Owned by a religious institution or used for religious purposes
- B. Removed from its original location
- C. A birthplace or grave
- D. A cemetery
- E. A reconstructed building, object, or structure
- F. A commemorative property
- G. Less than 50 years old or achieving significance within the past 50 years

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Areas of Significance

(Enter categories from instructions.)

- Architecture
- Exploration/Settlement
- Community development
- _____
- _____
- _____

Period of Significance

1740-1957

Significant Dates

- c. 1740: construction of original house
- 1772-73: house and owner recorded in Rev. William Drummond's "Journal of Visitation"
- 1872: property acquisition by Gilbert Birdsall
- 1911-1957: house owned by Anna Morse

Significant Person

(Complete only if Criterion B is marked above.)

N/A

Cultural Affiliation

N/A

Architect/Builder

Unknown

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Statement of Significance Summary Paragraph (Provide a summary paragraph that includes level of significance, applicable criteria, justification for the period of significance, and any applicable criteria considerations.)

The Hoyt-Burwell-Morse House meets National Register Criteria A and C at the local level in the categories of Settlement, Community Development, and Architecture. Under Criterion A, the property is significant for its association with the establishment of Canaan Parish and subsequent growth of the community from its period of subsistence agriculture through suburban development during the Colonial Revival movement at the turn of the twentieth century. The property was initially developed by Hayts/Hoyts, a founding family who participated in a movement to establish a new congregation between Norwalk and Stamford, which resulted in a new settlement that became the Town of New Canaan. The property meets Criterion C as a rare surviving local example of eighteenth-century Colonial saltbox and for its representation of Colonial Revival design ideology during an early twentieth century restoration. The period of significance extends from 1740, the approximate construction date of the house, to 1957, the death date of owner Anna Morse.

No archaeological investigations have been undertaken at the site; therefore it is not known whether it qualifies under Criterion D. The property could be considered archaeologically sensitive due to the former presence of a barn, the minimal ground disturbance around the house, and its associations with the settlement period of the town. However, significance under Criterion D is not included in this nomination because no subsurface investigations have been performed.

Narrative Statement of Significance (Provide at least **one** paragraph for each area of significance.)

Criterion A

Area of Significance: Exploration and Settlement

The area of Canoe Hill Road and Ferris Road in New Canaan was part of the territory of the town of Norwalk from the time it was established in 1651 by people moving from the Connecticut Colony. By the late 1690s, all land in Norwalk near the Meeting House had been distributed and the Proprietors began providing larger land-holdings in the back country for homesteading by the descendants of the earlier settlers (Taylor 2010, 11).

Land on Canoe Hill was allotted in two grants to Zerubbabel Hayt (1652-1738) (spelled alternately Hait, Hoit, and Hoyt) and his three sons Joseph, Daniel, and Caleb beginning in 1710 and totaling around 275-290 acres. In 1731, Canaan Parish was established, combining territory in the northern parts of both Stamford and Norwalk. Residents were able to build their own church apart from the older town parishes, and settlement of the area increased.

The exact route of Canoe Hill Road was not settled until 1744 but in the early eighteenth century the Hayt family began dividing the land among their descendants, and Daniel Hayt (c. 1679-1756 or -1764) acquired 20 acres at the corner of Canoe Hill and today's Ferris Hill Road. Daniel gave his younger son, Abner Hayt (1714-1797), 4.5 acres of land on which to build a dwelling house.

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No deed survives, but Abner had married his wife Phebe around 1731 and their house is identified in the 1744 Proprietors' record of the routing of Ferris Hill Road from Canoe Hill Road "beginning a little southerly of Abner Hayt's dwelling house, goeing easterly ..." (King, NCHS deed research notes). A date for the house construction prior to this time gives the generally accepted estimate of 1730-1740.

Only five years later, Abner Hayt sold the house to Jonathan Burwell. Burwell sold his property to his father-in-law, Captain Ebenezer Carter (1697-1774)¹² by 1750. By the mid-1760s the house and property had been sold to Ezra Hayt, who transferred it to his son Matthew Hayt. Matthew married Sarah Lockwood in 1761 (the Lockwoods owned the adjacent property to the north, up to the location of the Canoe Hill Cemetery on Laurel Road).

In 1772-73, the Reverend William Drummond, newly appointed minister of the Canaan Parish church, made the rounds of his parishioners, keeping a "Journal of Visitation" which has become a treasured early record of the population.¹³ He met with Ezra Hait, Sr. (1707-1790) as the owner of the property at that time (Bayles 1973, 14). Research indicates that this property was not Hait's primary home but that he lived at a nearby homestead while his son Matthew may have lived here (King, NCHS deed research notes).

In 1801 the independent township of New Canaan was incorporated, combining sections of Norwalk and Stamford. The town consisted of a number of small clusters of settlement, mostly agricultural. The town center of today came to dominate development during the Industrial period of the mid-1800s (Taylor 2010, 7).

The 8 Ferris Hill site remained in family ownership until the 1860s, with the surname spelling evolving to "Hoyt." In 1863 Chauncey H. Benedict took over the property (he appears to have been a Hoyt relative as he acquired the property from the estate of Chauncey B. Hoyt and his household in 1860 included the 81-year-old Abigail Hoyt). Up to this time all the property owners were farmers. The first half of the nineteenth century marked a general out-migration of Connecticut's agricultural population to more productive western lands. During this period of transition evidence suggests that one of the house's occupants may have been Onesimus Comstock, aka Onesimus Brown, a former slave.¹⁴ Onesimus Brown has been traced to the neighborhood but has not been definitively associated with the Hoyt-Burwell-Morse House.

The Hoyt-Burwell-Morse House is locally significant for its association with the settlement of Canaan Parish by settlers of English ethnicity in the early eighteenth century, when Canaan Parish was newly established (in 1731) as a geographic entity distinct from the Norwalk and

¹² Ebenezer Carter was notable as the sole survivor of the Deerfield Massacre of 1704. He was a child of seven, and was taken to Quebec where he stayed for three years before being brought back to New England.

¹³ The original is in the archives of the New Canaan Historical Society.

¹⁴ Born into slavery in Canaan Parish and a veteran of the Revolution, Onesimus was described in a town history as "the last man to live and die in slavery in Connecticut" (Readings in New Canaan History 1949, 154-5). Onesimus was first recorded as a child slave in the household of Jonathan Husted (now 16 West Road) on January 26, 1773 during Rev. Drummond's visitation. Six days later Husted sold the house and land to Moses Comstock, who subsequently conveyed Onesimus to Comstock's aunts Sara and Phebe of Comstock Hill, Norwalk for 39 pounds. Phebe died in 1840, willing him to her niece, another Phebe Comstock. Upon the second Phebe's death, "Onesimus, well provided for, returned to New Canaan to live on Ferris Hill," and is buried in the nearby Upper Canoe Hill Cemetery on Laurel Road (King 1981, 71 and 97).

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Stamford colonies. Early owners Ezra Hoyt and his wife Phebe Benedict Hoyt were recorded as founders of the new parish. Except for the brief five-year period in the late 1740s, the house remained in Hayt/Hoyt family ownership for more than 120 years, through the era of subsistence agriculture, the Revolutionary War, and into the period of the decline of local agricultural production (NCHS archives, deed research). The integrity of the building and property make the site a good example of the agricultural period of New Canaan's history. The distinction of being among the "Visitation Houses" recorded by Reverend William Drummond in 1772-73, marks this house as one of fewer than 30 extant examples. Other nearby "Visitation Houses" include the 1737 Fitch-St. John-Ruscoe House at 4 Carter Street (originally almost identical to the Hoyt-Burwell-Morse House; Figure 6) and the 1724 Benedict-Eels-Thatcher House at 453 Carter Street (Figure 7).

Criterion A

Area of Significance: Community Development

The Hoyt-Burwell-Morse House is locally significant for its association with the transition of New Canaan to a seasonal destination and suburban community. New Canaan had a brief period of industrial success in the early nineteenth century, with shoe manufacturing as an important industry. By the Civil War period, the shoemakers of New Canaan were failing to compete with other areas in advances in mechanization, and the industry dwindled (Taylor 2010, 7) at the same time that agriculture was declining. However, the construction of a railroad line to New Canaan in 1868 made the town easily accessible as a seasonal vacation destination and ultimately a fashionable suburb for New Yorkers.

In 1872 Gilbert Birdsall (1824-1886) purchased the property, which then consisted of 17 acres. Birdsall was among the first New Yorkers who saw opportunities in New Canaan's farmland. He was superintendent of the horse-drawn Third Avenue Street Railroad Company in New York. Having started in lower Manhattan in 1853, by the 1870s the extension of service to 125th Street required stabling more than 1,700 horses. Birdsall began re-assembling about 200 acres of the old Hoyt farmsteads in New Canaan, to pasture the company's horses for rest and recuperation.

Initially spending summers in New Canaan and winters in New York City, Birdsall and his wife Ann relocated year round to New Canaan in 1874. They enlarged a small inn in the village center into the Birdsall House, a fashionable seasonal hotel (*Landmarks of New Canaan* 1951, Bouton, 22-24; Rockwell, 299-305). Birdsall's pasture acquisitions east of the village included four farmhouses, two of which he updated for occupancy by family. Of these, he gave the Hoyt-Burwell-Morse house to his daughter, Annabelle and her husband Franklin Stevens (b. 1845), who had begun working as a clerk for Birdsall in New York (US Census records). Stevens later managed the livery and stable operation adjacent to the hotel, beginning in 1877. The livery adapted with the times, evolving into the town's first taxi service and automobile garage, operated by the Stevens sons Gilbert, George, and Charles (King 1981, 269).

Birdsall's widow, Ann (1876-1907), assumed management of the hotel after her husband's death, and subsequently the hotel was run by Robert B. and Anna Morse (1874-1957) until the mid-twentieth century (Rockwell and Benedict 1951, 299-305). Anna Morse was the Stevenses' daughter and, along with her brothers, inherited the house on Ferris Hill Road in 1911 from the estate of their grandfather, Gilbert Birdsall (NCHS deed research notes). She evidently took over

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sole ownership, as she was shown as the owner of a 14.5-acre property in the 1930s (Dolph & Stewart 1931). Anna Morse occupied the Hoyt-Burwell-Morse house, initially seasonally while living on Main Street in New Canaan.

By the early twentieth century it became feasible to live on Ferris Hill Road full time and drive to work in town. Anna and Robert Morse were able to invest in modernizing the house at 8 Ferris Hill Road, installing indoor plumbing and central heat. It seems most likely that Anna Morse was responsible for the major renovation of the house, as she maintained her association with it over four decades. Handwritten notes from 1971 by then-owner Diana F. Tillson attribute various restoration and renovation activities to Anna Morse (NCHS archives, 1971 Tillson notes). The style of infrastructure, such as heating and light fixtures, is also consistent with the work of the 1920s. In the mid-1950s the property was subdivided into two-acre building lots where single-family homes were constructed. By this time, New Canaan was established as a “bedroom community” within commuting distance of New York City (Taylor 2010, 10-14), and both Modernist and traditional-style new houses were developed through subdivision of older farmland and estates.

Criterion C

Area of Significance: Architecture

The Hoyt-Burwell-Morse House is locally significant as an example of mid-eighteenth-century residential design and construction. It is one of the oldest extant houses in New Canaan (NCHS list of old houses), with fewer than 20 known examples dating from before 1740 (Findlay). A small, rural, vernacular example of the saltbox type, the house has minimal ornament and retains excellent integrity of massing and character-defining features including the fenestration, doors, central chimney, and interior framing and fireplaces.

The saltbox building type with its three-room plan, emerged in the seventeenth century as the common building configuration for the early timber-framed houses of the New England colonies (McAlester, 78). The type includes post-medieval-style houses of the 1650s, with minimal ornament and with the leanto kitchen as an addition, and continued to be constructed during the 1700s in later inland settlements. The north kitchen was often an integral part of the original construction, as in the Hoyt-Burwell-Morse House.

In New Canaan, among the pre-1740 houses that remain, two nearby examples are the 1724 Benedict-Eels-Thatcher House at 453 Carter Street, which was the home of the first minister in the Canaan Parish, Rev. John Eels; and the 1737 Fitch-St. John-Ruscoe House at 4 Carter Street. Both are similar in design, center-chimney Saltbox type houses with shingle siding. Both were originally small, approximately 30 x 36 feet in plan, and have been enlarged by substantial rear additions. The Hoyt-Burwell-Morse House remains unusual in retaining nearly its original scale and form, only 28 x 26 feet in plan, and in having only minor additions. By comparison, the mid-eighteenth-century¹⁵ Old Ogden House in Fairfield was 38 x 30 feet in size, large enough to incorporate summer beams supporting the upper floor joists (HABS CONN, 1-FAIRF, 10). A few houses of the period are included in the New Canaan Local Historic District,¹⁶ and are thereby

¹⁵ Date of construction revised subsequent to the HABS documentation (Cummings 1993).

¹⁶ The 1737 Seymour-Comstock House at 38 Main Street, 1742 Husted-St. John-Ashwell House at 46 Park Street, and the 1764 Hanford-Silliman House at 13 Oenoke Ridge, are contributing resources in the Local Historic District.

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registered on the Connecticut State Historic Register of Historic Places. No other eighteenth-century houses in New Canaan have as yet been documented through nomination to the National Register of Historic Places, making the Hoyt-Burwell-Morse House the first representative of its type in New Canaan to be so documented.

The early twentieth-century restoration and remodeling of the house also places it as a local example of the Colonial Revival movement during the evolution of New Canaan as a vacation destination and then as a suburb for commuters working in New York. The house as it was during the Morse ownership, exemplified the enthusiasm for Colonial heritage in the early twentieth century, when the Colonial Revival movement in architectural design and planning made it fashionable both to preserve the authentically old (while discreetly adding modern conveniences) and to build new houses in historically-inspired styles.

New Canaan citizens were at the forefront of an interest in American history and heritage, which emerged from the time of the 1876 national centennial. The New Canaan Historical Society was one of the earliest local history organizations in Connecticut, founded in 1889. It followed Litchfield's in 1856 and New Haven's in 1862. The opening of the Henry Whitfield House in Guilford as a museum, in 1899, and the formation of the Webb-Deane-Stevens Museum in 1919 in Wethersfield by the National Society of the Colonial Dames of America in the State of Connecticut, established the practice of preserving and restoring Connecticut buildings of the Colonial period as museums. Figures including Norman Isham, J. Frederick Kelly, and Wallace Nutting helped to popularize the restoration of historic buildings in the early twentieth century (Wilson 2004). More recent iterations of the preservation movement interpret the earlier preservationists as sometimes imposing "restoration" techniques that added romanticized features not authentic to the original buildings. This desire, to make a Colonial period house conform to a romantic ideal of Colonial design, formed a component of the Colonial Revival movement.

Another aspect of the Colonial Revival in the early twentieth century was the design and construction of new houses inspired by Colonial style but incorporating larger scale, more open plans, and convenient modern features like indoor plumbing, electrical and central heating systems, garages for automobiles, and landscaping (Wilson 2004). Architectural firms like McKim, Mead, and White designed these homes in many suburban towns. New Canaan's local talent included Alfred Mausolff, designer of a new Post Office at 94 Elm Street (Taylor 2010, 10). As New Canaan became a vacation and suburban destination, former farmland was subdivided into residential lots of at least two acres, and expansive new homes proliferated. The subdivision of the Morse property (New Canaan Assessor's records) is an example of this trend.

The preservation of the eighteenth-century timber frame, central chimney and fireplaces, overall massing and landscape, exemplify the preservation of an authentic Colonial-period resource. The creation of an open interior layout, and additions of built-in cupboards, electrical fixtures, indoor plumbing, and central heat, all twentieth-century features, mark this as an example of the Colonial Revival treatment of a historic resource. The restoration resulted in sensitive preservation and updating of the building, but with a goal of making it conform to the ideal conception of the Colonial house.

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9. Major Bibliographical References

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Previous documentation on file (NPS):

- preliminary determination of individual listing (36 CFR 67) has been requested
- previously listed in the National Register
- previously determined eligible by the National Register
- designated a National Historic Landmark
- recorded by Historic American Buildings Survey # _____
- recorded by Historic American Engineering Record # _____
- recorded by Historic American Landscape Survey # _____

Primary location of additional data:

- State Historic Preservation Office
- Other State agency
- Federal agency
- Local government
- University
- Other
- Name of repository: _____

Historic Resources Survey Number (if assigned): _____

10. Geographical Data

Acreage of Property 2.14

Use either the UTM system or latitude/longitude coordinates

Latitude/Longitude Coordinates

Datum if other than WGS84: _____
(enter coordinates to 6 decimal places)

1. Latitude: 41.168275 Longitude: -73.485906
2. Latitude: Longitude:
3. Latitude: Longitude:
4. Latitude: Longitude:

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Or

UTM References

Datum (indicated on USGS map):

NAD 1927 or NAD 1983

- | | | |
|----------|-----------|-----------|
| 1. Zone: | Easting: | Northing: |
| 2. Zone: | Easting: | Northing: |
| 3. Zone: | Easting: | Northing: |
| 4. Zone: | Easting : | Northing: |

Verbal Boundary Description (Describe the boundaries of the property.)

The nomination is limited to the bounds of the current property identified as Map 39, Block 107, Lot 39 of the Town of New Canaan, Connecticut assessment records. The limits of Lot 39 are shown in Figure 2.

Boundary Justification (Explain why the boundaries were selected.)

The boundaries were selected to include the full extent of the extant resources associated with the Hoyt homestead. Prior to subdivision in 1955, the property consisted of 14.5 acres; modern residential development has occurred on the subdivided parcels that now surround this property.

11. Form Prepared By

name/title: Charlotte Hitchcock, Preservation Consultant
organization: _____
street & number: 66 Elmwood Road
city or town: New Haven state: CT zip code: 06515
e-mail charlotteh@alumni.upenn.edu, char46r@mac.com
telephone: 203.397.3803
date: September 22, 2016

Additional Documentation

- **Maps:** A **USGS map** or equivalent (7.5 or 15 minute series) indicating the property location. See Figures 1, 2, 4.
- **Sketch plans.** Photographs keyed to plans. See Figure 3.
- **Historic illustration** showing the house in the 1940s. See Figure 5.

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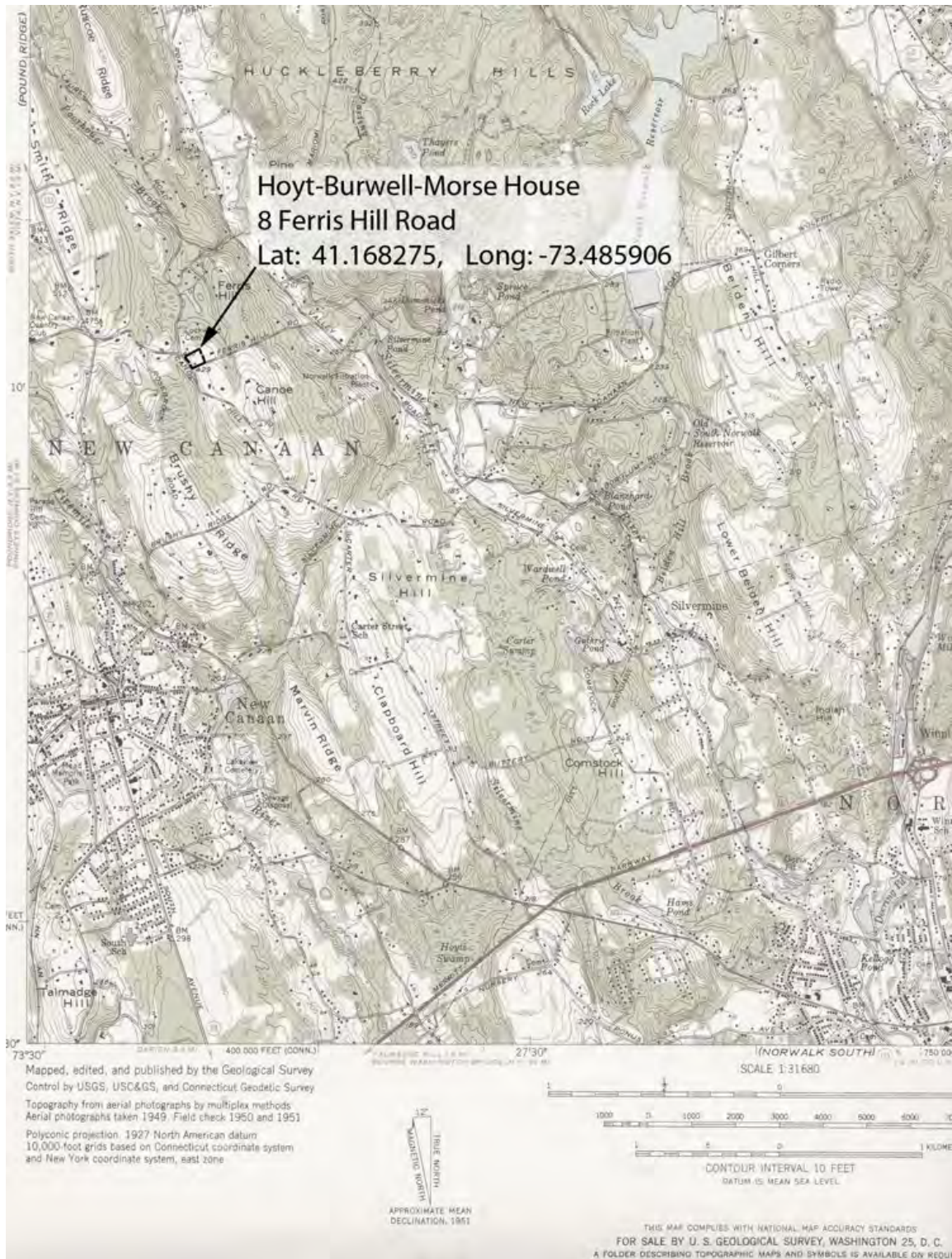


Figure 1. Detail from USGS 1951 Norwalk North Quadrangle Map showing site location; Latitude: 41.168275, Longitude: -73.485906.

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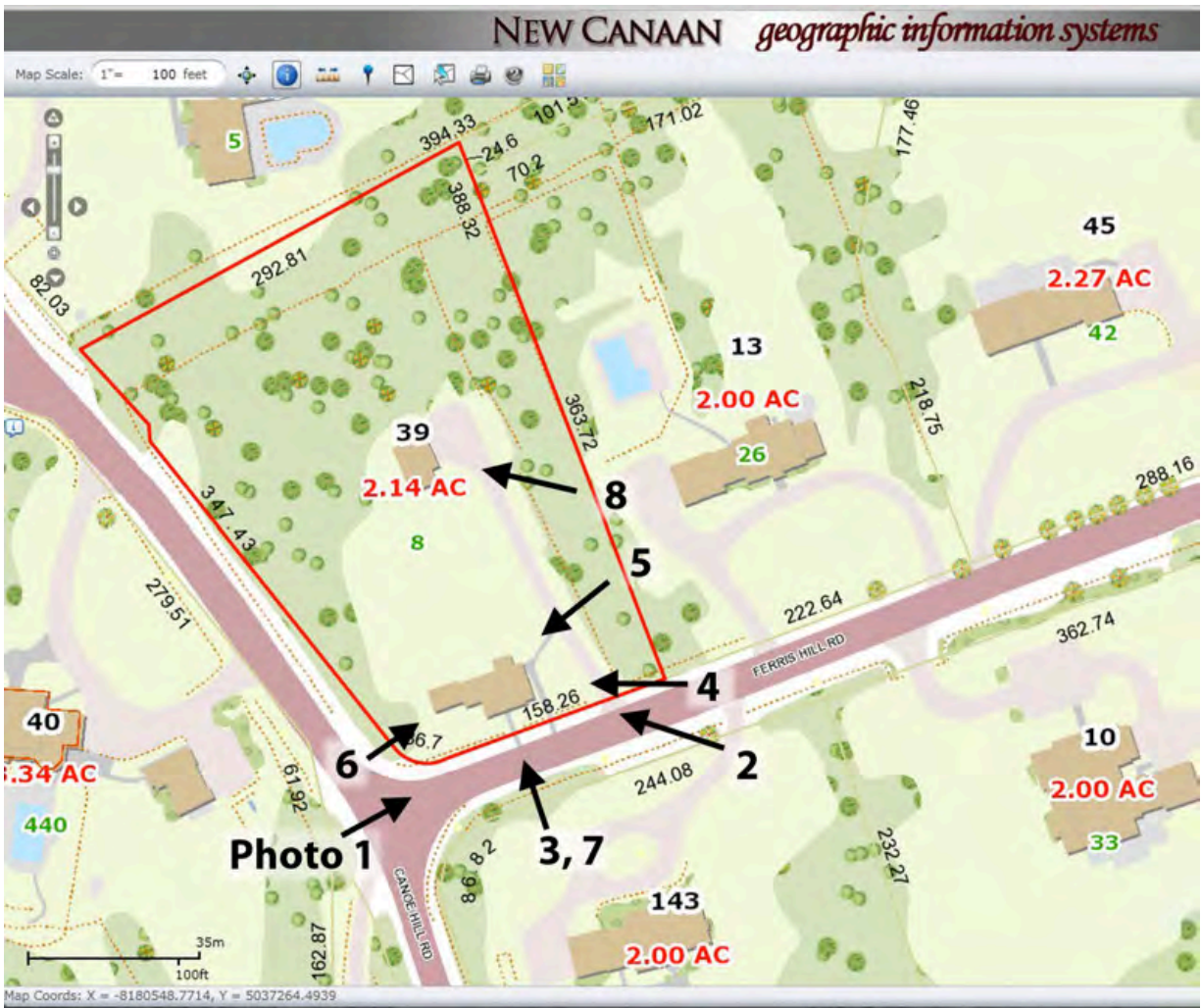


Figure 2. Site map showing Map 39, Block 107, Lot 39, identified as 441 Canoe Hill Road by New Canaan Assessor's database, aka 8 Ferris Hill Road. Exterior photo locations are indicated. Base image from New Canaan Geographic Information System (September 2016).

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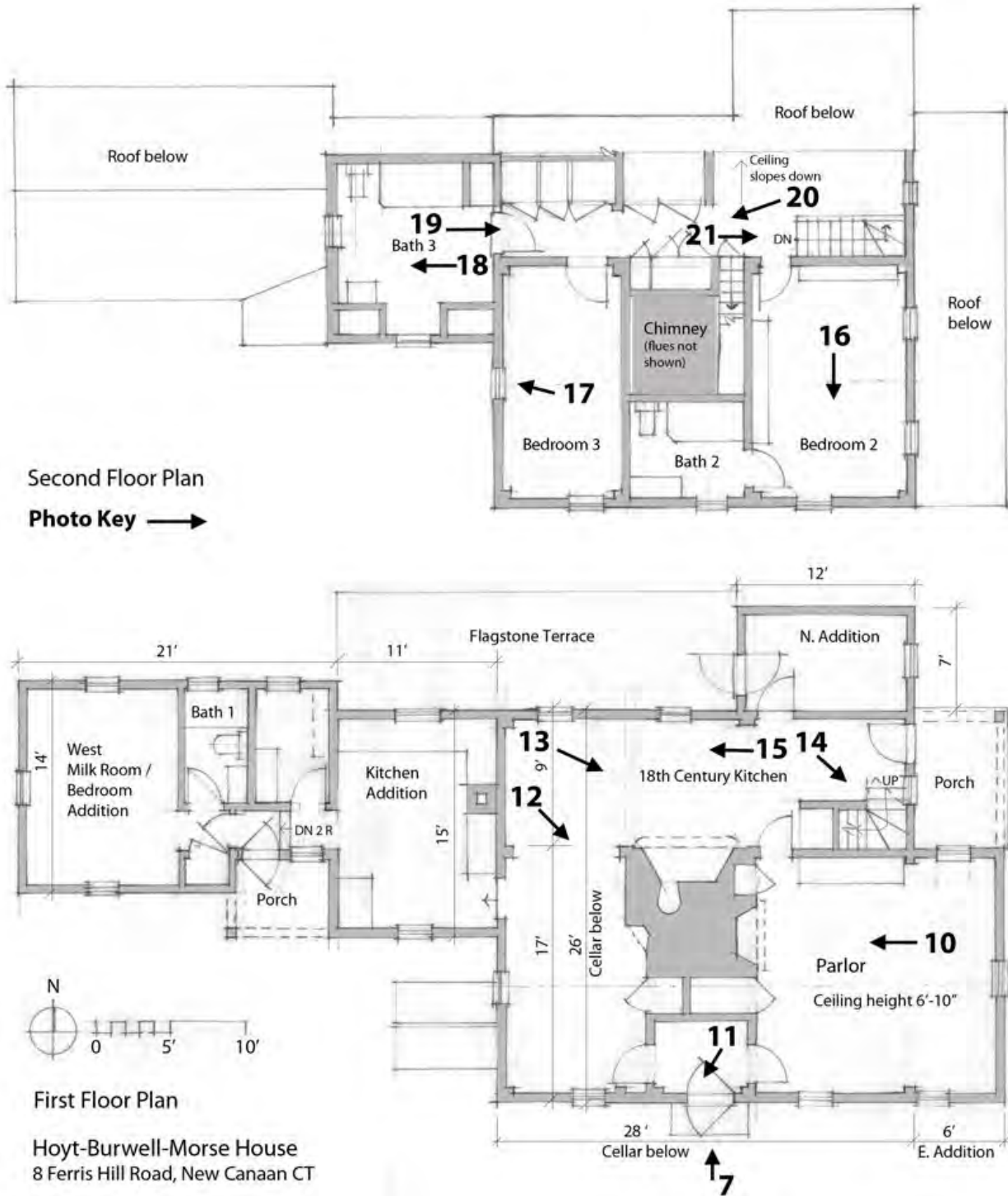


Figure 3. Hoyt-Burwell-Morse House: First and Second Floor Plans. Interior photo locations are indicated. Photos 9 and 22-24 are not indicated, as their locations are in the cellar or attic.

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Figure 4. Detail of Fairchild Aerial Photograph taken in 1934, showing the site with surrounding farmland. The area to the east and north was formerly associated with the Hoyt-Burwell-Morse House. Photograph accessed at UCONN MAGIC Collection. The photo is annotated by the author to indicate the approximate current boundary of the nominated property.

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Figure 5. 1946 illustration by Edwin Eberman for the Hoyt-Burwell-Morse House (*Landmarks of New Canaan* 1951, 23).

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Figure 6. Southwest view of Fitch-St. John-Ruscoe House; camera facing northeast.

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Figure 7. Northeast view of Benedict-Eels-Thatcher House; camera facing southwest.

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Photographs

Submit clear and descriptive photographs. The size of each image must be 1600x1200 pixels (minimum), 3000x2000 preferred, at 300 ppi (pixels per inch) or larger. Key all photographs to the sketch map. Each photograph must be numbered and that number must correspond to the photograph number on the photo log. For simplicity, the name of the photographer, photo date, etc. may be listed once on the photograph log and doesn't need to be labeled on every photograph.

Photo Log

Name of Property: Hoyt-Burwell-Morse House
City or Vicinity: New Canaan
County: Fairfield State: Connecticut
Photographer: Charlotte Hitchcock
Date Photographed: August 31, 2016

Description of Photograph(s) and number, include description of view, direction of camera:

- 1 of 24. Southwest context view of the Hoyt-Burwell-Morse property from the corner of Canoe Hill Road (at left) and Ferris Hill Road (at right); camera facing northeast.
- 2 of 24. Southeast context view of the Hoyt-Burwell-Morse property showing the house, sugar maple tree, fence, well housing, driveway, and garage (non-contributing); camera facing northwest.
- 3 of 24. South view of the house showing from left to right: western additions, main block of the house, path with steps, fence, and sugar maple tree; camera facing north.
- 4 of 24. East view of the house showing east elevation and well housing; camera facing west.
- 5 of 24. Northwest view of the house showing the north elevation with the saltbox roof, stone center chimney, and west additions (at far right) including brick chimney; camera facing southwest.
- 6 of 24. Southwest view of the house showing west elevation of the main block (at right) and south elevation of the western additions, including the entry porch; camera facing northeast.
- 7 of 24. Detail view of main entry door in the south façade, with stone stoop; camera facing northeast.
- 8 of 24. Southeast view of the garage with screen porch (non-contributing); camera facing northwest.
- 9 of 24. Interior cellar view of first floor framing showing original hewn framing and newer sawn joists, with subfloor above. View of the northeast corner of the cellar, camera facing east.

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- 10 of 24. Interior view of First Floor southeast Parlor, showing west wall; camera facing west.
- 11 of 24. Interior view of First Floor entry showing the paneled entry door with strap hinges; camera facing southwest. Note typical untrimmed exposed timber posts.
- 12 of 24. Interior view of First Floor southwest room (now dining), showing the canted wall and the fireplace; camera facing southeast.
- 13 of 24. Interior view of First Floor north original Kitchen showing the cooking hearth fireplace; camera facing southeast. At far left is the stair to the upper floor, and to the left of the fireplace is a door to the southeast Parlor.
- 14 of 24. Interior detail view of First Floor north Kitchen showing the stair to the upper floor and a typical steam radiator.
- 15 of 24. Interior view of First Floor north Kitchen showing the west and north walls; camera facing west. At the far left rear the wide opening to the southeast room (now dining) is visible, as well as the doorway to the modern kitchen.
- 16 of 24. Interior view of Second Floor southeast Bedroom showing typical radiator, windows, and corner timber post; camera facing southeast. The door at right rear leads to Bathroom 2.
- 17 of 24. Interior Second Floor detail view of typical window sash with rope and pulley; camera facing west in southwest Bedroom.
- 18 of 24. Interior Second Floor view of Bath 3 located in attic of addition; camera facing west.
- 19 of 24. Interior Second Floor view from Bathroom 3 looking east through the north hallway, showing the built-in closets along the north side; camera facing east.
- 20 of 24. Interior Second Floor view of the north hallway, south wall, showing the door and steps to the upper Attic, additional built-in cupboards; camera facing southwest.
- 21 of 24. Interior Second Floor view of the stair down; camera facing east.
- 22 of 24. Interior Attic view of the east wall showing a typical common rafter; camera facing east.
- 23 of 24. Interior Attic view of the northwest corner showing the original knee-wall construction and newer sawn stud framing and horizontal sheathing at the end wall; camera facing northwest.
- 24 of 24. Interior Attic view showing the stone chimney; camera facing east.

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and to amend existing listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C.460 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 100 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Office of Planning and Performance Management, U.S. Dept. of the Interior, 1849 C. Street, NW, Washington, DC.

Recording Date: **11/19/2013**
Sale Price: **\$1,250,000**
Price Per Square Feet: **\$525.65**
Owner Name: **Mordechai Abel**

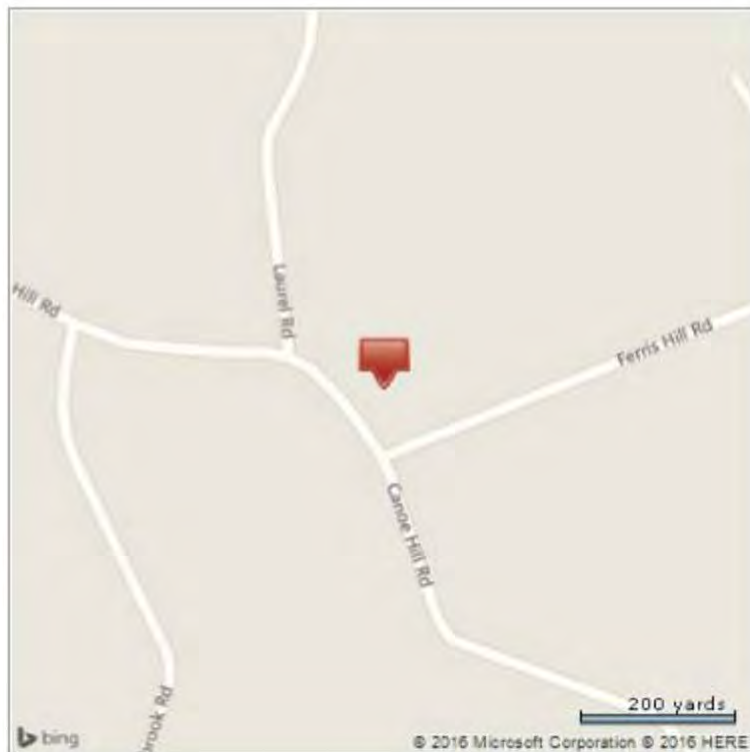
Seller: **Mason Ron**
Document Number: **910-593**
Deed Type: **Warranty Deed**

Sale/Settlement Date

08/23/1957

Recording Date	11/19/2013	08/30/2001	
Sale Price	\$1,250,000	\$125,500	\$42,120
Buyer Name	Abel Mordechai & Savyone	Mason Frances	Tillson Diana R
Buyer Name 2	Abel Savyone		
Seller Name	Mason Ron	Tillson Diana	
Document Number	910-593	562-1091	
Document Type	Warranty Deed	Warranty Deed	Deed (Reg)

Property Map



*Lot Dimensions are Estimated





MARCH 10, 2016

S.O.S. - Amazing Colonial Restoration Opportunity - 8 Ferris Hill Rd., New Canaan, CT

Jenny and I learned last week that a beautiful c.1735 house in the neighboring town of New Canaan is under the threat of demolition. This is a spectacular house - one of the oldest in New Canaan - sitting on a gorgeous lot on one of the most picturesque streets in the area. If one were to conjure up an image of old New England, the Hoyt-Burwell-Morse house might immediately spring to mind.

See for yourself - the property's owner has a nice site with some great pictures of the house: www.8ferrishill.com.

I had an opportunity to tour the house two years ago, and was immediately blown away by how similar it is to our own home. Although our house is larger by one bay, and while the two structures apparently were constructed around 50 years apart, they could be siblings. Both are classic saltboxes, with massive chimney stacks, nearly identical room layouts, and an unusual stairway placement that diverges significantly from the typical-for-the-time center staircase. The visible framing details, including the raised plate on the rear of the second floor, are also eerily similar. The original cooking hearths in both homes appear completely identical, down to the beautifully dressed stonework and the bake oven located in the back right corner of the enormous firebox. I was interested to learn this week that the house (8 Ferris Hill Road) has the same large beehive bake oven located in the basement that our house possesses. This is a particularly unusual feature that has elicited surprise from several architectural historians who have visited our property.

TOUR THE HOUSE

- [Home](#)
- [House History](#)
- [First Floor Tour](#)
- [Second Floor Tour](#)
- [Attic and Basement Tours](#)
- [Evolution of House](#)
- [Property Tour](#)
- [Artifacts and Documents](#)
- [Architecture](#)
- [Kellogg-Comstock Cemetery](#)

VICTORIAN PHOTO ALBUM OF HOUSE



THE HOUSE TODAY



Our cooking hearth - near replica of the 8 Ferris Hill hearth

But for the 50 years between their believed construction dates, I would swear that both buildings must have been designed or built by the same individual. As it is, I think that it is entirely possible that the Ferris Hill house might have been an inspiration for our house. And while maybe a stretch, it is not impossible that they were designed or constructed by the same housewright, or by two individuals who worked together during the 18th century. Given that the Ferris Hill house is literally "up the road" from our house, particularly by the standards of rural 18th century Norwalk/New Canaan, it is almost inconceivable that the inhabitants of the two houses were not well-known to each other (and probably related in some way, as was common at the time). I can almost hear Enos and Lydia Kellogg planning their house in 1784 and deciding that they wanted a house "like the old Hoyt house up on Ferris Hill."

What strikes me when I think about our house and 8 Ferris Hill is the fact that while all historic buildings have something to teach us on their own, these structures, acting in concert, can teach us even more. For example, we felt that it was critically important to restore our c.1784 barn because the barn and house, together, tell a far richer story about farm life in 18th century Norwalk than either one ever could on its own. Similarly, having a house like 8 Ferris Hill enriches the story of our own house.

I know this to be true at a micro level - given their unusual stylistic similarities, original details that I observed in a 45 minute tour of 8 Ferris Hill answered a number of questions about our house that had long puzzled me - questions for which I probably never would have arrived at a satisfactory answer otherwise.

More broadly, a seven minute drive along the ancient Indian trail that is now Ponus Avenue (where we live) in Norwalk, and Carter Street and Canoe Hill Road in New Canaan, provides one with an amazing, albeit condensed, tour of the evolution of rural Connecticut architecture in the 18th and 19th centuries. Removing any one of the antique homes along this four mile stretch, by definition, diminishes the story of how this area was settled, flourished, and evolved, and how our ancestors lived and interacted. The damage is particularly acute when one ponders the destruction of a truly unique resource like 8 Ferris Hill. Having sat at its current location for 280 years, this structure, to one degree or another, informs our understanding of every other building in the area from 1735 to today.

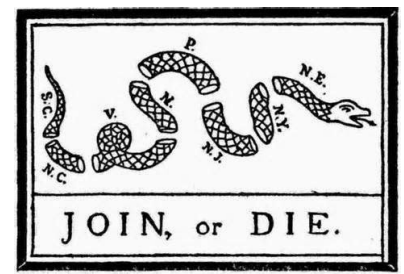
Obviously, this house struck a major chord with me, and to know that it might be demolished turns my stomach. In no small part, this is because the parallels between this house and the Enos Kellogg Homestead remind me of how easily our house could have faced the wrecking ball if we had not come along at the right time. Moreover, in our house, I see an example of what the Ferris Hill house could be in the hands of the right person. Unfortunately, the clock is ticking fast. While the property's owner has made it clear that he sincerely wants the house saved, the realities of a subdued real estate market, zoning regulations, the relatively small pool of antique house lovers with the money and vision to take on such a restoration project, and the inexplicable obsession in Fairfield County with newer, bigger, flashier McMansions (with as many



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 - S.O.S. - Amazing Colonial Restoration Opportunity ...
 - ▶ January (1)
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NATIONAL REGISTER



rooms, gables and incongruous window styles as you can possibly cram into one dwelling) seem to be conspiring against a happy ending. There is some hope in that New Canaan, in general, seems to be rallying around preserving the house, and a variety of options that could preserve it in its current location have been put forward. In my opinion, the best outcome would be for an individual to step forward with a plan to purchase the property and restore the house, either with or without a sympathetic addition to the structure.

So, if anyone out there knows of someone who might be interested in an opportunity to do something extraordinary, please reach out to them. If anyone thinks that a house like this cannot be saved, I invite you to come for a tour of our place, which was in only superficially better condition than 8 Ferris Hill when we moved in. If anyone thinks that a house like 8 Ferris Hill cannot be made safe and, indeed, extraordinarily comfortable for a modern family, I extend the same offer. It can be done, and the process, itself, can be as fulfilling and satisfying as the end result.



Posted by [Enos Kellogg House](#) 

3 comments:

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JANUARY 20, 2016

National Register Quick FAQ

Since I haven't taken the time to post anything in months, I thought that I would post this good, [brief synopsis on the National Register of Historic Places from Yankee Magazine](#).

Having gone through the nomination process for the Enos Kellogg Homestead a few years ago, I can confirm that that it can be done by a sufficiently-motivated (or cheap) homeowner. That said, it sure helps to have access to a knowledgeable professional for advice on navigating the ins and outs of the process. Thanks, to my friend Tod Bryant at [Heritage Resources](#) for patiently answering all of my questions and lending general support throughout the year-long process.

ABOUT ME



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Not only might a slot on the [National Register](#) lend some degree of protection to our nation's historical architectural resources, but I guarantee that you will learn at least a little bit of new information when you undertake the nomination process. If nothing else, putting everything that you know down on paper and answering questions from the review board helps to connect dots, introduce new avenues to explore, and generate some expert-provided context for your property.

Posted by [Enos Kellogg House](#)

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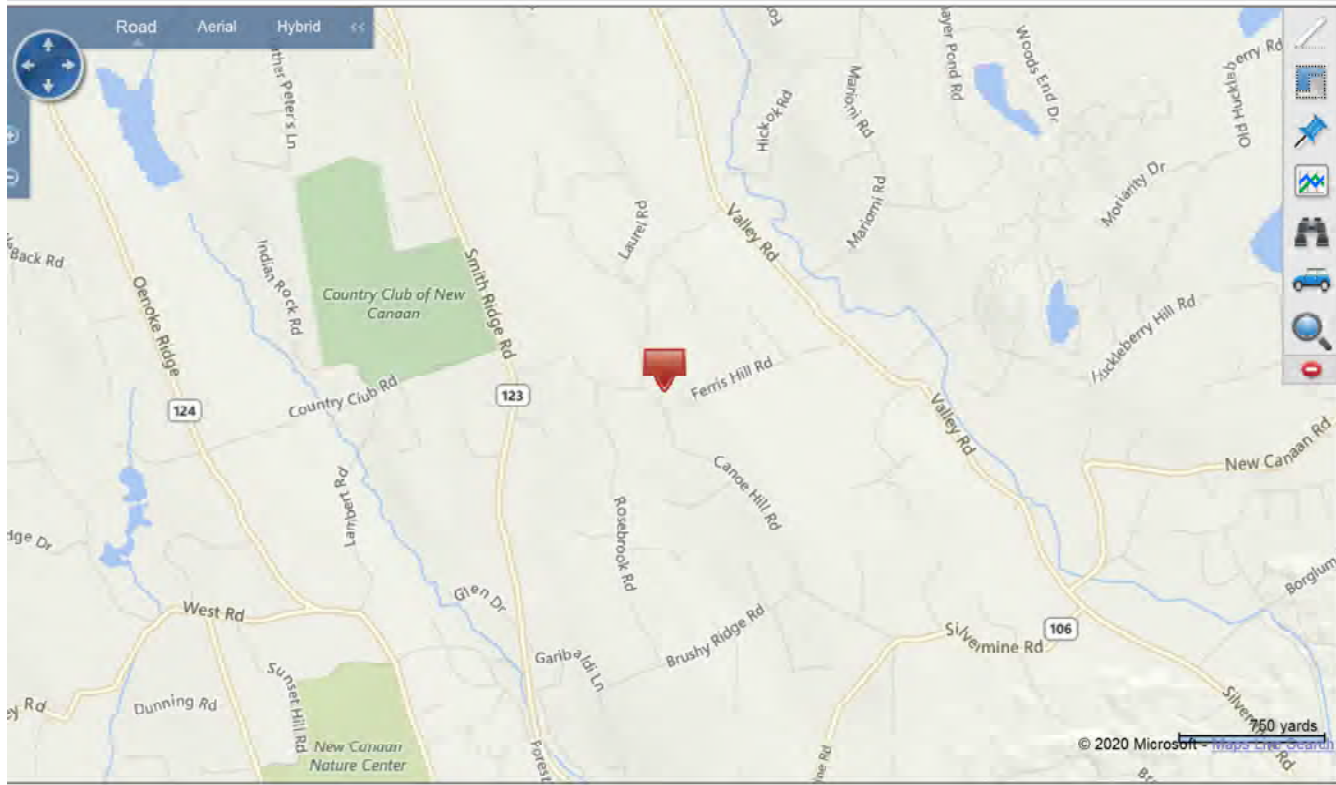
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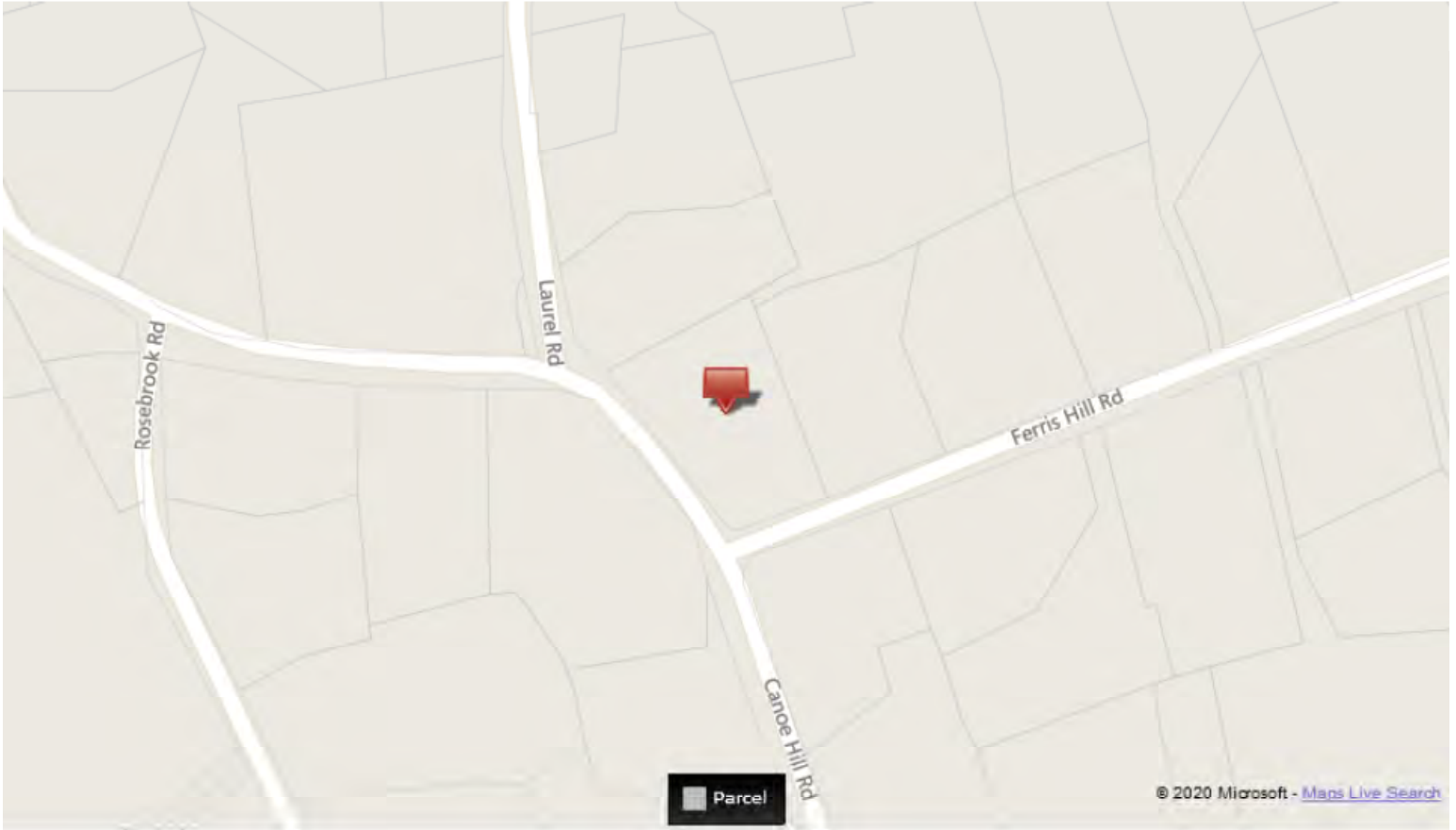
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result, 1 selected

<input checked="" type="checkbox"/>	MLS Listing	Address	City	ZIP Code	Municipality	Owner Nam	Owner Nam	Rec
<input checked="" type="checkbox"/> 1	144049	8 Ferris Hill Rd	New Canaan	06840	NEW CANAAN	Ferris 8 LLC		06/0

1) 8 Ferris Hill Rd, New Canaan, CT 06840-3822, Fairfield County

MLS Photo Indicator:	Yes	MLS Listing Indicator:	ACTIVE
Foreclosure Indicator:		MLS Listing #:	144049
Address:	8 Ferris Hill Rd	City:	New Canaan
ZIP Code:	06840	Municipality/Township:	NEW CANAAN
Owner Name:	Ferris 8 LLC	Owner Name 2:	
Recording Date:	06/07/2016	Sale Date:	
Sale Price:	\$1,500,000	MLS Sale Price:	
Building Sq Ft:	1,902	Beds:	3
Full Baths:	3	Half Baths:	
Type:	1-Family Residence	Lot Acres:	2.14
Stories:	2	Year Built:	1735
Total Assessment:	\$743,260	Tax Amount:	\$13,557
Tax ID:	000187805	Parcel ID:	NCAN-000039-000107-000039



Courtesy Of Tom Nissley, New Canaan Board of Realtors

The data within this report is compiled by CoreLogic from public and private sources. If desired, the accuracy of the data contained herein can be independently verified by the recipient of this report with the applicable county or municipality.

Results Grid/Map

Generated on 01/02/2020

Page 1 of 1



Home Inspection Report

Prepared exclusively for
Tom Nissley



PROPERTY INSPECTED:

8 Ferris Hill Road
New Canaan, CT 06840

Date of Inspection: 01/10/2020

Inspection No. 27233-2058

INSPECTED BY:

David Leopold
10 Morehouse Lane
Norwalk, CT 06850
fairfieldcounty@pillartopost.com
(203) 831-8100

INSPECTOR:

John Hamlin
john.hamlin@pillartopost.com
(203) 831-8100

Each office is independently owned and operated

REPORT SUMMARY

This summary is not the entire report. The complete report may include additional information of concern to the client. It is recommended that the client read the entire report.

1.0 INTRODUCTION

1.1 General Information

1.1.1 The subject is an attractive 1731 colonial-era saltbox style home with a detached two car garage.



2.0 PROPERTY AND SITE

2.3 Driveway(s)

2.3.2 The former asphalt driveway is heavily deteriorated and in need of replacement. Driveway is largely gravel and dirt now, with remnants of asphalt still present. Consult with a driveway specialist for gravel or asphalt driveway installation for improved appearance and function.

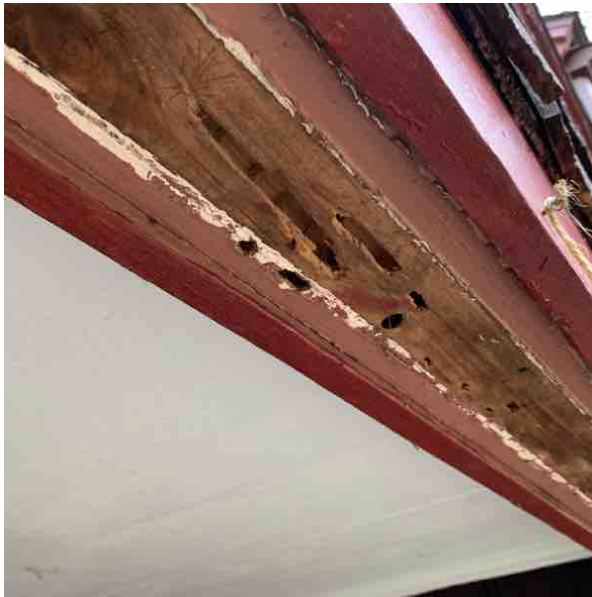


3.0 EXTERIOR

3.4 Wall Surface

3.4.3 The home is vulnerable to vermin intrusion, which numerous holes and gaps notes in the siding and foundation. Seal / repair all open gaps on the exterior around doors and windows, penetration points for the hose faucets, oil lines, electrical, telephone and cable TV service entrance cables, etc., and any holes in the siding such as those caused by woodpecker activity. Rear entry door has an open gap between the threshold and bottom of the door that should also be repaired. Consult with a carpenter for repairs.





3.6 Trim

3.6.1 Wood rot was noted at trim boards (e.g. - rake boards, door and window casings, etc.) around the house. Consult with a carpenter to provide a scope and estimate to repair to prevent moisture intrusion or spread of rot to sound areas.

The windows are equipped with wood drip caps over the tops of the windows. Unless well maintained with caulk and paint, wood drip caps have a tendency to develop rot issues leading ultimately to replacement with metal. Some rot is present and should be replaced.



4.0 ROOFING SYSTEM

4.4 Flashings

4.4.1 Tar conceals condition of much of the chimney flashing. It appears that the center stone chimney lacks counter flashing over the step flashing, and this is not proper. Recommend further evaluation by a chimney expert to further assess condition of the flashing and install counter flashing as needed to protect against water seepage.

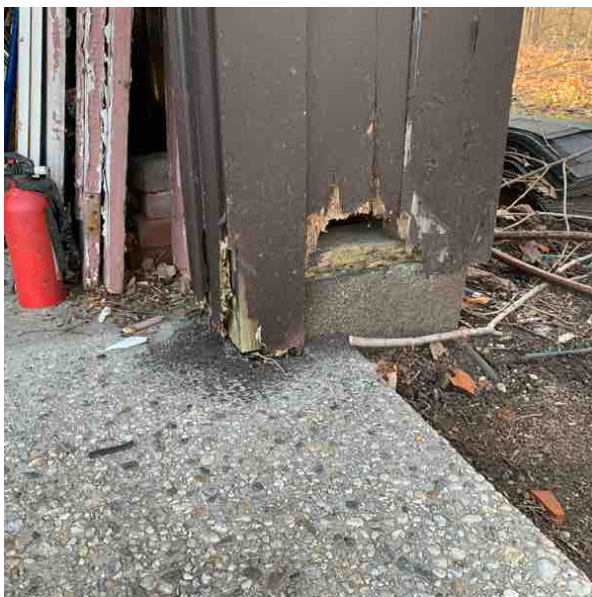


6.0 GARAGE / CARPORT

6.1 Garage General Comments

6.1.2 The detached garage has seen an extended period of deferred maintenance and is in generally poor condition. Noted widespread insect and animal activity and damage, wood rot, damaged overhead doors, a worn three-layer roof, etc. Replacement rather than repair may be the more viable option. Recommend further evaluation by a building contractor to provide estimates for repair versus replacement.





7.0 STRUCTURE

7.1 Structure General Comments

7.1.1 Your wood destroying insect and rodent inspections were performed by JP McHale Pest Management, Inc., 241 Bleakley Avenue, Buchanan, NY 10511 For the fastest response, please direct any follow-up questions you may have related to their report or for additional copies of same; follow-up customer service needs related to the pest inspection, or need for extermination services directly to John Pascarelli in their Norwalk, CT office at (800) 479-2284.

7.1.3 Evidence of past termite activity and treatment is visible. We recommend that you obtain all exterminator contact information and warranty from the seller. If treated, inquire when the building was treated and if any damage was observed or repaired. The National Pest Management Association defines a current treatment as less than five years old. If no documentation is available, professional termite extermination is recommended to prevent a possible re-infestation and potential for damage.



7.3 Support - Post / Beam / Column

7.3.1 Noted typical antique home floor joist and main beam conditions including past insect infestations, cracked and notched joists, temporary screw-jack posts and assorted repairs and bracing of varying levels of skill, quality and age. At least one of the floor joists has been damaged by powder post beetle activity and should be repaired. Recommend further evaluation by a skilled carpenter or engineer to specify appropriate framing reinforcements.

Evidence of past powder post beetle activity noted at the wood joists and beams in the older / original basement area. To reduce potential for future activity, operate a dehumidifier in the basement to reduce humidity levels and lower moisture content in the wood. Professional pest management companies can also treat for powder post beetles as needed.



7.9 Crawlspace

7.9.2 The dirt-floored crawlspaces lack a concrete or vinyl moisture barrier. This contributes to elevated humidity and radon levels in the structure, migration of crawlspace air into the house air, provides conducive conditions for wood destroying insects and can contribute to the growth of wood destroying fungi and molds. Recommend moisture barrier installation. Obtain an estimate to install from a mason or basement waterproofing contractor prior to closing.



7.9.3 Observed unsanitary conditions in the crawl space such as vermin / insect remains and excrement, hazardous substances (e.g. - asbestos insulation), debris and discarded materials. While these conditions may be common in crawl spaces, building science studies have shown that the crawl space air migrates into the home and can have a detrimental affect on occupant health. Recommend professional cleaning to enhance indoor air quality and to provide safe passage throughout the crawl space for general maintenance.



7.9.4 There is an unknown exhaust duct that terminates in the crawlspace. We were unable to verify if this vent is currently in use. If still in use, this can result in excess humidity being deposited into the crawlspace, and provide a pathway for crawlspace air to enter the home. Recommend further evaluation by a contractor to determine if it is being used, and re-route to the exterior as needed.



7.10 Insulation

7.10.1 The crawlspace floor joist insulation has been installed upside down with the vapor barrier facing down, instead of up toward the heated space above. Additionally, it has been vermin infested and fouled over time. Much of it has fallen as a result rendering it an ineffective insulation barrier. Recommend removal of the fallen batts and re-installation. Consider blown foam as a more durable alternative.



7.11 Radon Mitigation System

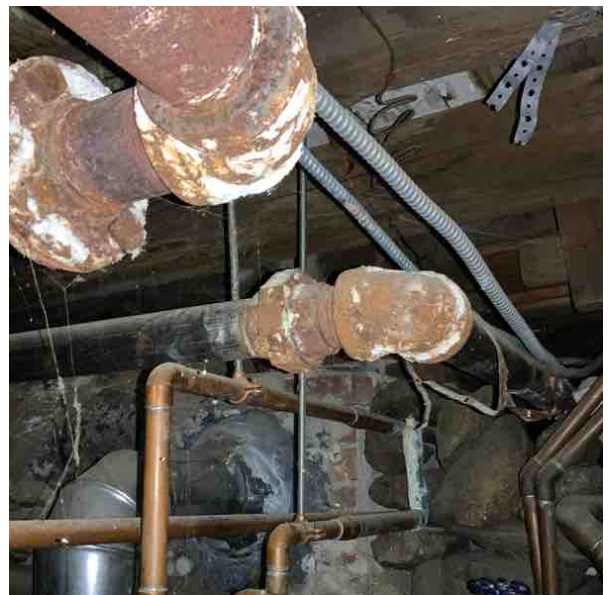
7.11.1 A Sun Nuclear computerized continuous radon monitor was placed for a minimum 48 hour exposure and measurement period. The device will be retrieved and read on-site at the conclusion of the test period. An oral report of the result will be given to the individual on-site accompanying our technician. A written report will be e-mailed to you and your Realtor the same day.

Your report will include an hourly radon gas picoCurie per liter of air concentration graph. The abbreviation pCi/L means picoCurie per liter of air, the most common method expressing radon-in-air concentrations. The United States Environmental Protection Agency and the Centers for Disease Control have used a continuous exposure of 4.0 pCi/L for the cut-off level at which remedial actions are indicated. If your reading is above that level, we recommend further consultation with a radon contractor for installation of a radon reduction system.

9.0 HEATING/COOLING/VENTILATION SYSTEM(S)

9.6 Distribution System(s)

9.6.1 Asbestos residue exists on the heat pipes in the basement, often indicating an amateur or do-it-yourself removal process. There is also suspected asbestos insulation present on heat pipes in the crawlspace, as well as fallen across the crawlspace floor. Asbestos removal is a regulated activity in Connecticut requiring licensing and special safe handling procedures. Recommend further consultation with an asbestos contractor to finish the removal process and clean the contaminated areas.



9.7 Fuel Tank / Lines

9.7.1 There is evidence of a former buried oil storage tank. We recommend that you obtain the certificate of legal removal (closed permit) from the homeowner or fire marshal's office. If no paperwork proving legal removal is available, we recommend metal detector testing be performed and/or soil samples taken in the likely area of a former tank to determine if a tank is still buried, or if there is soil contamination.

10.0 PLUMBING SYSTEM

10.6 Water Heating Equipment

10.6.2 At 11-years old, the water heater has met its 8-12 year typical service life. The buyer should anticipate a near-term need for replacement.

Install the missing discharge tube on the water heater pressure and temperature relief valve to prevent personal injury in the event of discharge.



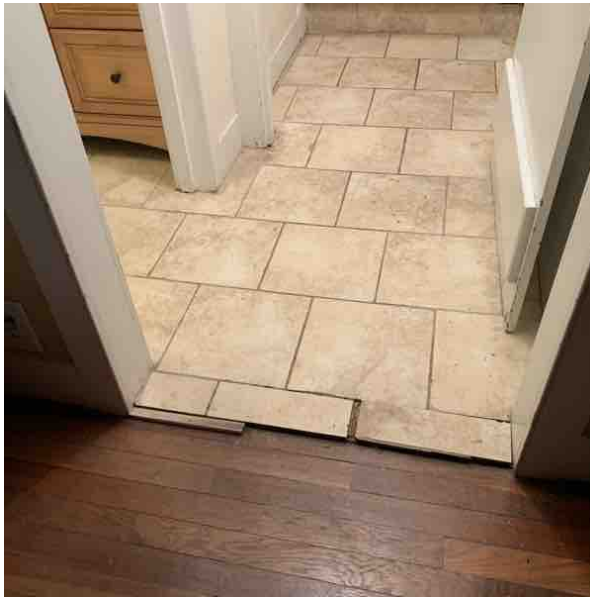
10.7 Hose Bibb(s)

10.7.1 Not all hose faucets are winterized. Recommend winterizing the hose faucets to prevent freeze damage to the pipes and the potential for secondary water damages in the house.

11.0 INTERIOR

11.2 Floors

11.2.2 First floor: Repair / re-secure the loose tiles at the threshold leading to the bedroom on the left side of the home.



12.0 FIREPLACE(S)

12.2 Fireplace Damper(s)

12.2.2 The three fireplace flue dampers were either obstructed by insulation, or were inoperable. Recommend repair of each to ensure proper working order, and for enhanced energy efficiency and comfort.

12.3 Flue / Vent

12.3.2 Antique chimneys were constructed without flue liners and often served multiple fireplaces and appliances. The fireplaces in this home appear to be unlined and share a flue. Modern practice requires a dedicated flue for each fireplace or appliance. While a section of flue liner may or may not be visible at the roof top and/or in the fireplace throat, the middle sections of the flue are concealed. A thorough inspection by a certified chimney expert is recommended in order to develop a repair estimate that will bring the fireplaces up to modern safety standards.