

# BURTIS AVENUE DEVELOPMENT

## NEW CANAAN, CONNECTICUT

DRAWING LIST

ARCHITECTURAL		
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PZ-219	TH4 EXTERIOR ELEVATIONS	3/16" = 1'-0"
PZ-220	TH3 EXTERIOR ELEVATIONS	3/16" = 1'-0"
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PZ-302	BUILDING SECTION	1/8" = 1'-0"
PZ-400	RENDERING	-
PZ-401	RENDERING	-
PZ-402	RENDERING	-
PZ-403	RENDERING	-
PZ-404	RENDERING	-
PZ-405	RENDERING	-
PZ-406	RENDERING	-
PZ-407	RENDERING	-
PZ-408	RENDERING	-
PZ-409	RENDERING	-
PZ-410	RENDERING	-
PZ-500	SUSTAINABILITY PLAN	3/32"= 1'-0"

rePLACE Urban Studio

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PROJECT

BURTIS AVENUE DEVELOPMENT  
NEW CANAAN, CT

OWNER

VENTANA 1, LLC  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

SUBMISSION

04/26/2022  
No. Date Description

DATE

04/26/2022

SCALE

DRAWING

Cover

SHEET #

PZ-100

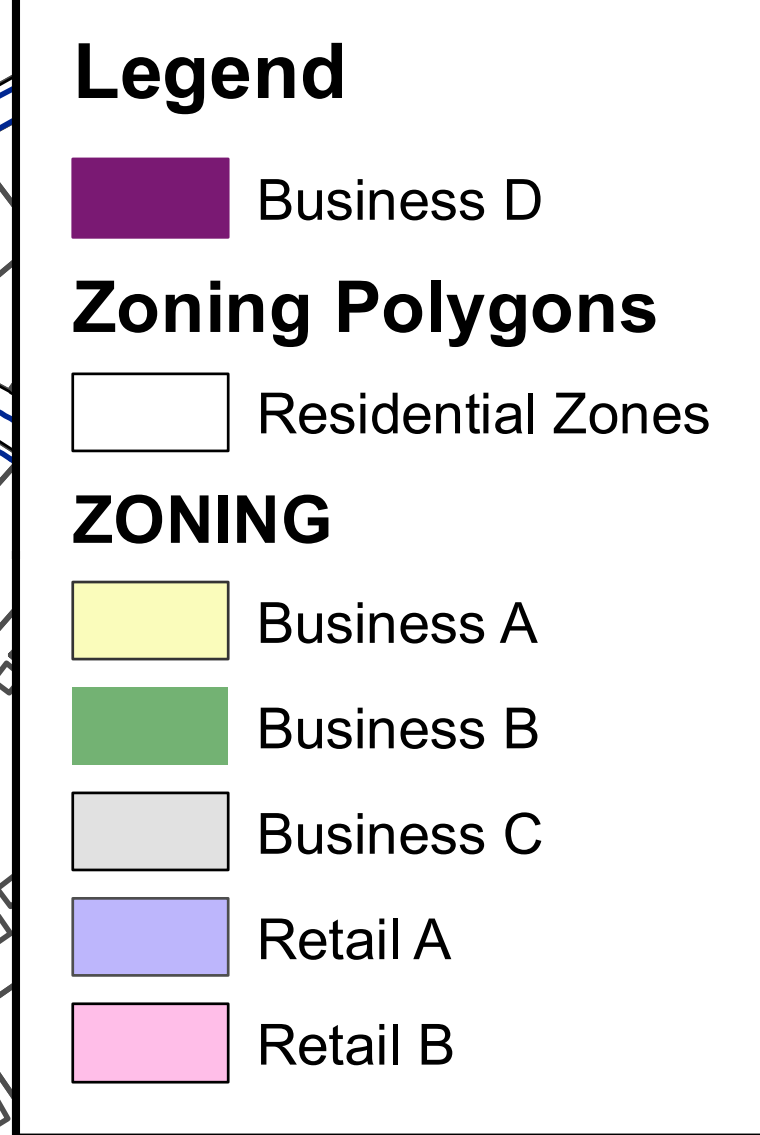
PAGE 1







## C







PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

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11 BURTIS AVENUE, SUITE 24  
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**SUBMISSIONS:**

No.	Date	Description
	04/26//2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## Photos

SHEET #

PZ-103

PAGE 4













1 CONTEXT PLAN  
Scale: 1" = 100'-0"

COMMERCIAL + RETAIL CORRIDOR

RESIDENTIAL DEVELOPMENT



CHERRY STREET TOWNHOMES		
RESIDENTIAL UNITS #20 - #25		12,314
PARKING		1,656
TOTAL		13,970

AREA BY FLOOR			
BASEMENT L1	RESIDENTIAL UNITS		1,858
	PARKING		1,656
FIRST FLOOR	RESIDENTIAL UNITS		3,416
SECOND FLOOR	RESIDENTIAL UNITS		3,732
THIRD FLOOR	RESIDENTIAL UNITS		3,308

11 BURTIS			
COMMON + SERVICE			1,657
PARKING			5,606
STORAGE			723
RETAIL			400
RESIDENTIAL UNITS #12 - #19			15,772
TOTAL			24,158

AREA BY FLOOR			
BASEMENT L1	COMMON + SERVICE		913
	PARKING		5,606
	STORAGE		723
	RESIDENTIAL UNIT		531
			7,773
FIRST FLOOR	COMMON + SERVICE		744
	RESIDENTIAL UNIT		5,038
	RETAIL		400
			6,182
SECOND FLOOR	RESIDENTIAL UNITS		6,196
			6,196
THIRD FLOOR	RESIDENTIAL UNITS		4,007
			4,007

21 - 25 BURTIS			
COMMON + SERVICE			2,613
PARKING			8,837
STORAGE			790
AMENITY			2,268
RESIDENTIAL UNITS #1 - #11			22,921
TOTAL			37,429

AREA BY FLOOR			
BASEMENT L2	COMMON + SERVICE		637
	STORAGE		790
	AMENITY		992
			2,419
BASEMENT L1	COMMON + SERVICE		1,198
	PARKING		8,837
	AMENITY		676
	AMENITY (MEZZANINE)		600
	RESIDENTIAL UNITS		604
	-		-
			11,915
FIRST FLOOR	COMMON + SERVICE		778
	RESIDENTIAL UNITS		7,712
			8,490
SECOND FLOOR	RESIDENTIAL UNITS		8,565
			8,565
THIRD FLOOR	RESIDENTIAL UNITS		6,040
			6,040

UNIT MATRIX			
UNIT #	# BR	SF*	AFFORDABLE
UNIT 1	2	1,172	
UNIT 2	2	1,471	
UNIT 3	2	1,489	
UNIT 4	2	1,448	
UNIT 5	2	1,130	
UNIT 6	2	1,454	
UNIT 7	3	3,094	
UNIT 8	2	1,744	
UNIT 9	3	3,350	
UNIT 10	3	3,389	
UNIT 11	3	3,180	
UNIT 12	1	1,055	X
UNIT 13	2	1,348	
UNIT 14	1	1,315	X
UNIT 15	2	1,743	
UNIT 16	3	2,556	
UNIT 17	3	2,667	
UNIT 18	3	2,383	
UNIT 19	3	2,705	
TH4 - UNIT 20	2	2,009	
TH4 - UNIT 21	1	1,147	
TH3 - UNIT 22	3	3,290	
TH2 - UNIT 23	3	3,076	
TH1 - UNIT 24	2	1,769	
TH1 - UNIT 25	1	1,023	X
TOTAL		51,007	
* Does Not Includes Private Exterior Space			

CONSTRUCTION TYPE:  
MULTIFAMILY BUILDINGS - IIA  
TOWNHOMES - V

OCCUPANCY: R-2 (RESIDENTIAL)  
M (MERCANTILE)  
S-1 (STORAGE)  
U (UTILITY)

PROJECT:

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NEW CANAAN, CT

OWNER:

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SUBMISSIONS:

04/26/2022 P&Z  
No. Date Description

DATE

04/26/2022

SCALE

N.T.S.

DRAWING:

Unit Matrix

SHEET #

PZ-107

PAGE 8









A close-up photograph of a stone wall. The stones are irregular in shape and size, with various colors including light beige, tan, and grey. The mortar is a light, sandy color. A vertical shadow is cast across the wall, likely from the camera or a nearby object.

PROJECT:

**MURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

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No.	Date	Description
	04/26//2022	P&Z

04/26/2022

$$1/8'' = 1'-0''$$

## DRAWING

### Street Elevation+ Materials

SHEET 8

PZ-109









1 CHERRY STREET - STREET ELEVATION  
Scale: 1/8" = 1'-0"



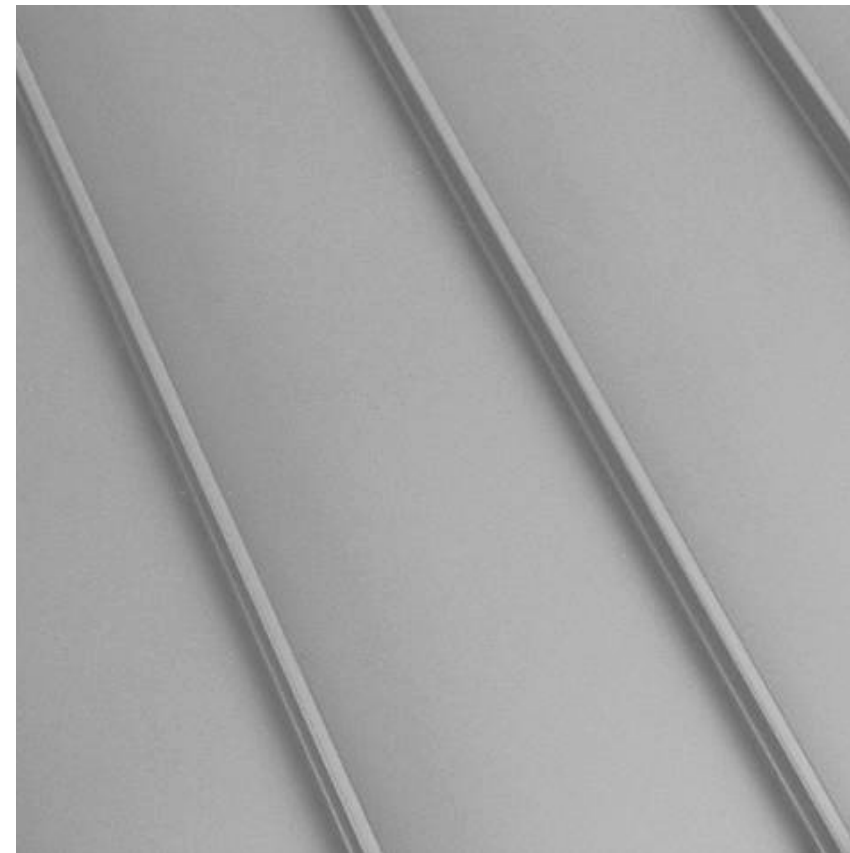
A  
LIMESTONE  
WALLS



B  
DARK METAL  
WINDOWS +  
DOORS



C  
DARK METAL  
RAILINGS



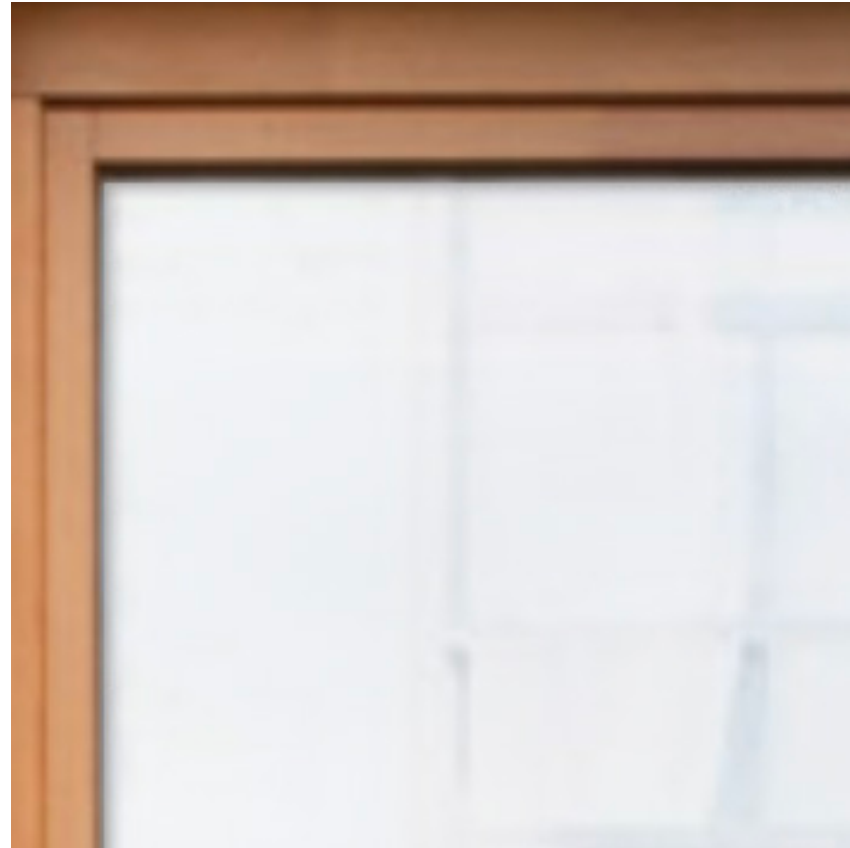
D  
STANDING  
SEAM  
ROOFS



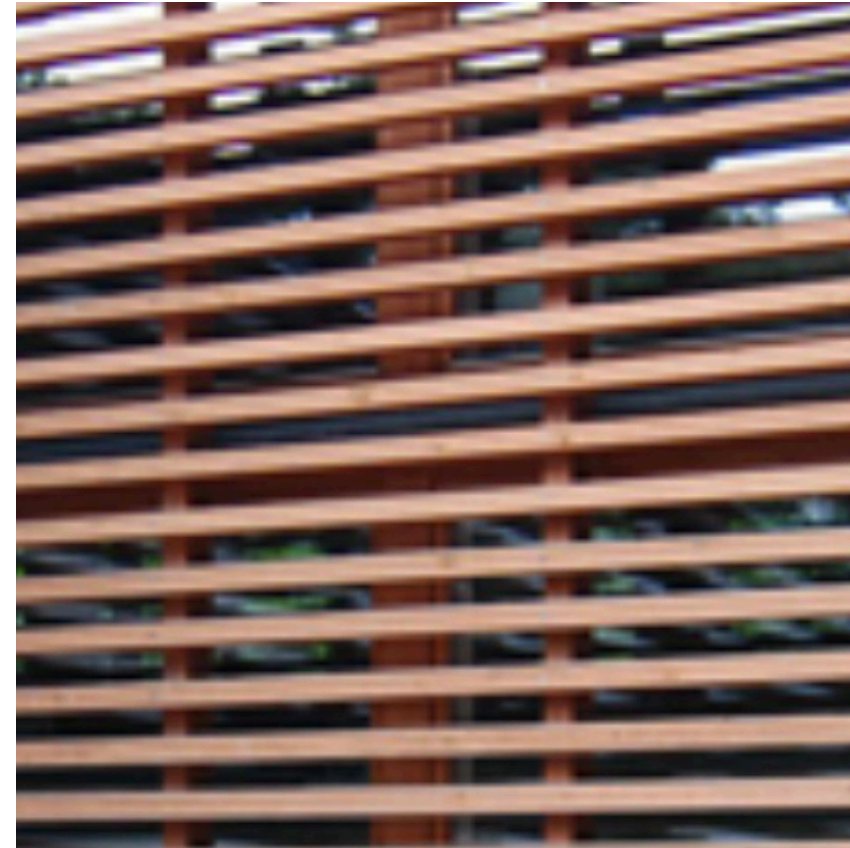
E  
EXISTING  
STONE  
WALL



F  
ROMAN  
BRICK  
WALLS



G  
WOOD  
WINDOWS  
+  
DOORS



K  
WOOD  
PANELS

PROJECT  
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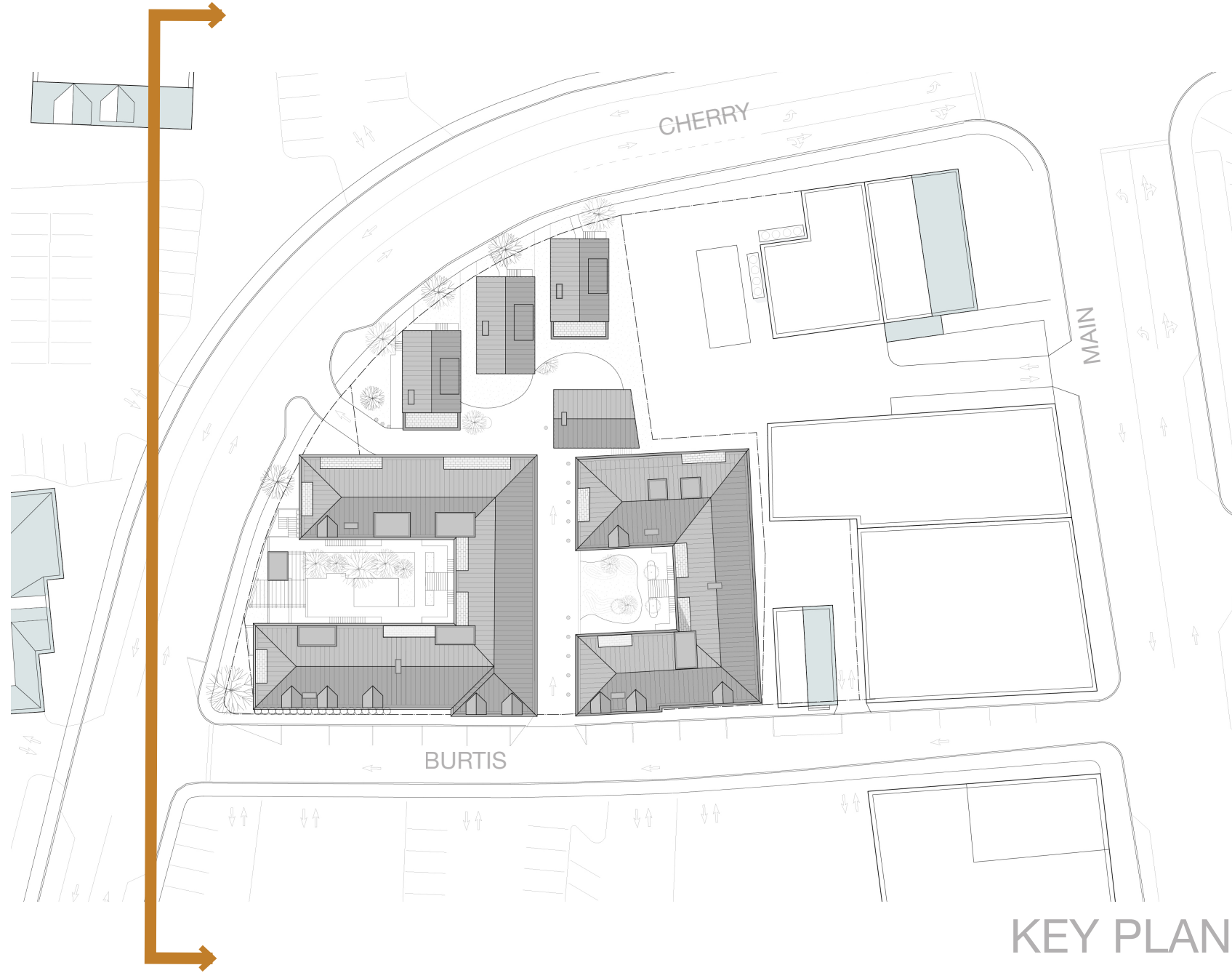
SUBMISSIONS  
No. Date Description  
DATE  
04/26/2022  
SCALE  
1/8" = 1'-0"

DRAWING  
Street Elevation + Materials  
SHEET #





1 STREET ELEVATION - CHERRY STREET  
Scale: 1/16" = 1'-0"







A close-up photograph of horizontal wooden siding. The wood has a dark, weathered, and textured appearance, possibly due to a stain or natural aging. The grain of the wood is visible, and there are some small gaps and imperfections between the planks.

A close-up photograph of a wooden slat fence or screen. The slats are horizontal and made of light-colored wood, spaced evenly. The background is slightly blurred, showing green foliage.





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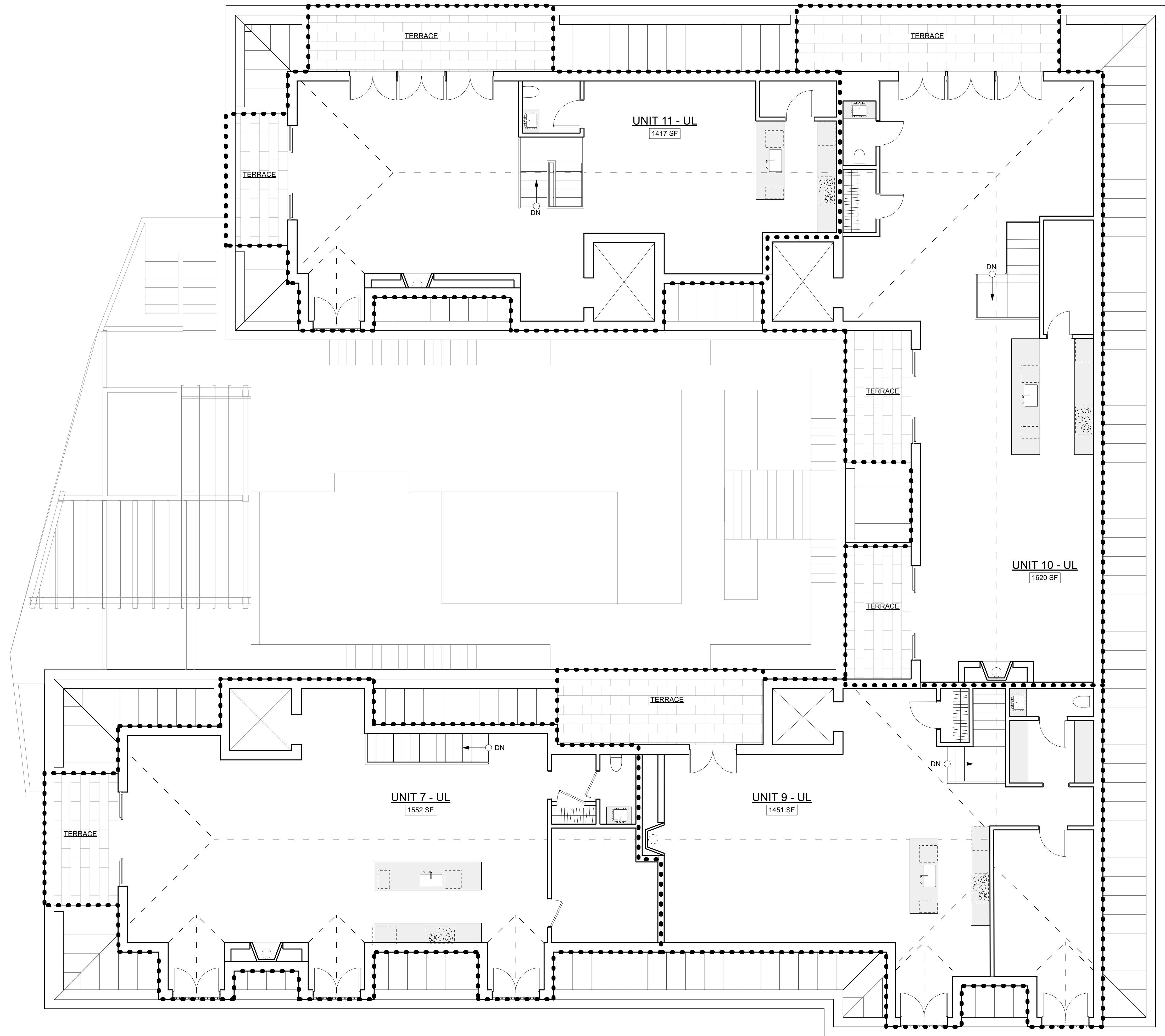


**1** 21-25 BURTIS - BASEMENT LEVEL 1 PLAN  
Scale: 3/16" = 1'-0"









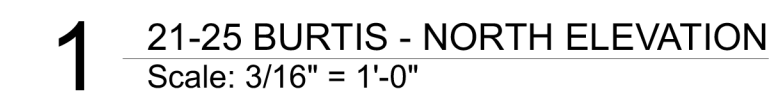
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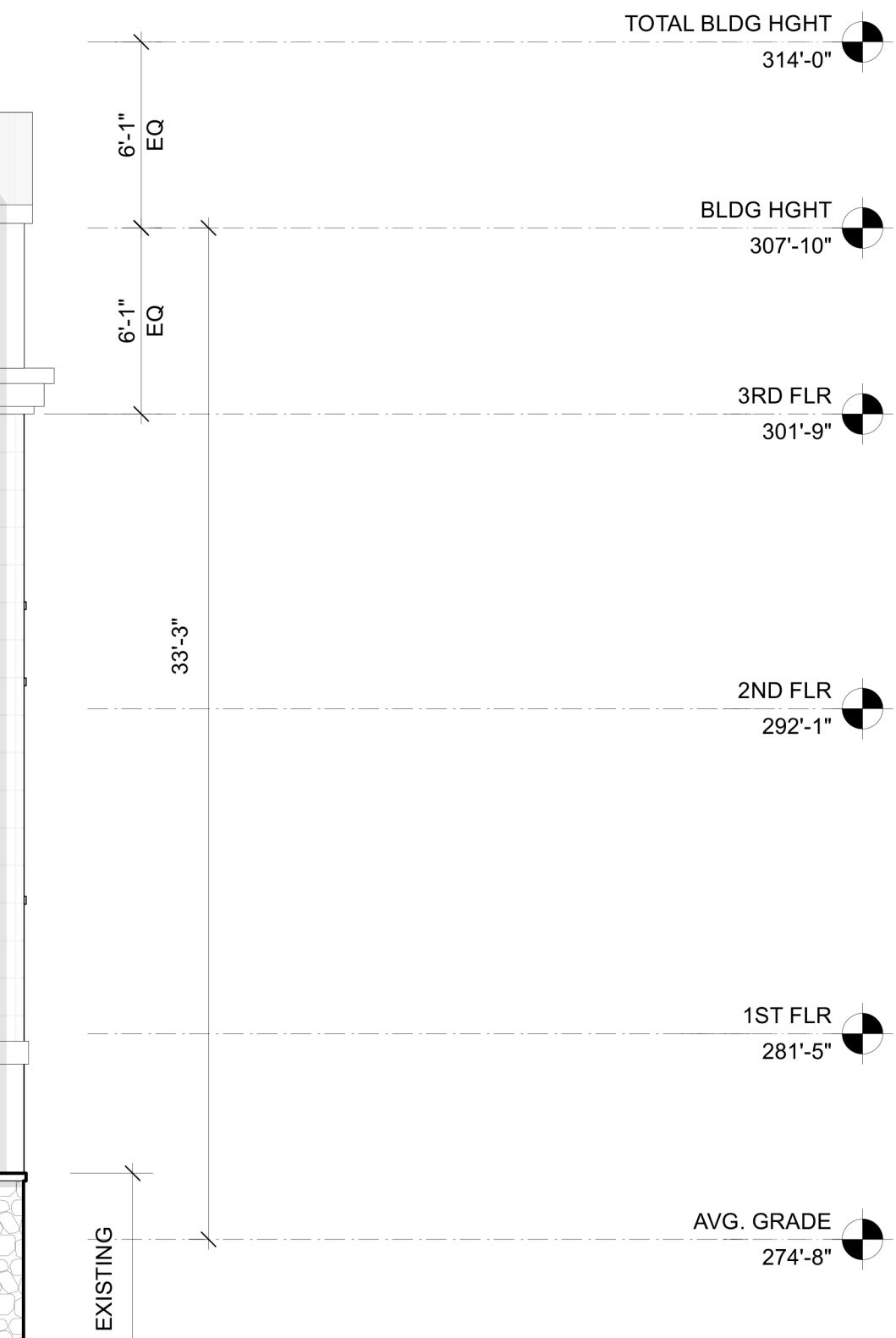
[Solid Line]	NEW WALL
[Hatched Area]	MILLWORK

**1** 21-25 BURTIS - THIRD FLOOR PLAN  
Scale: 3/16" = 1'-0"

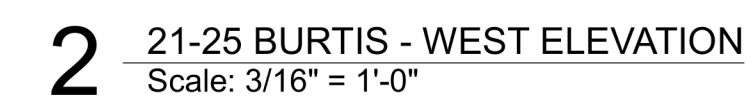
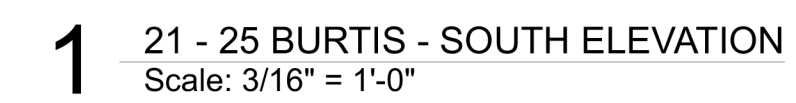




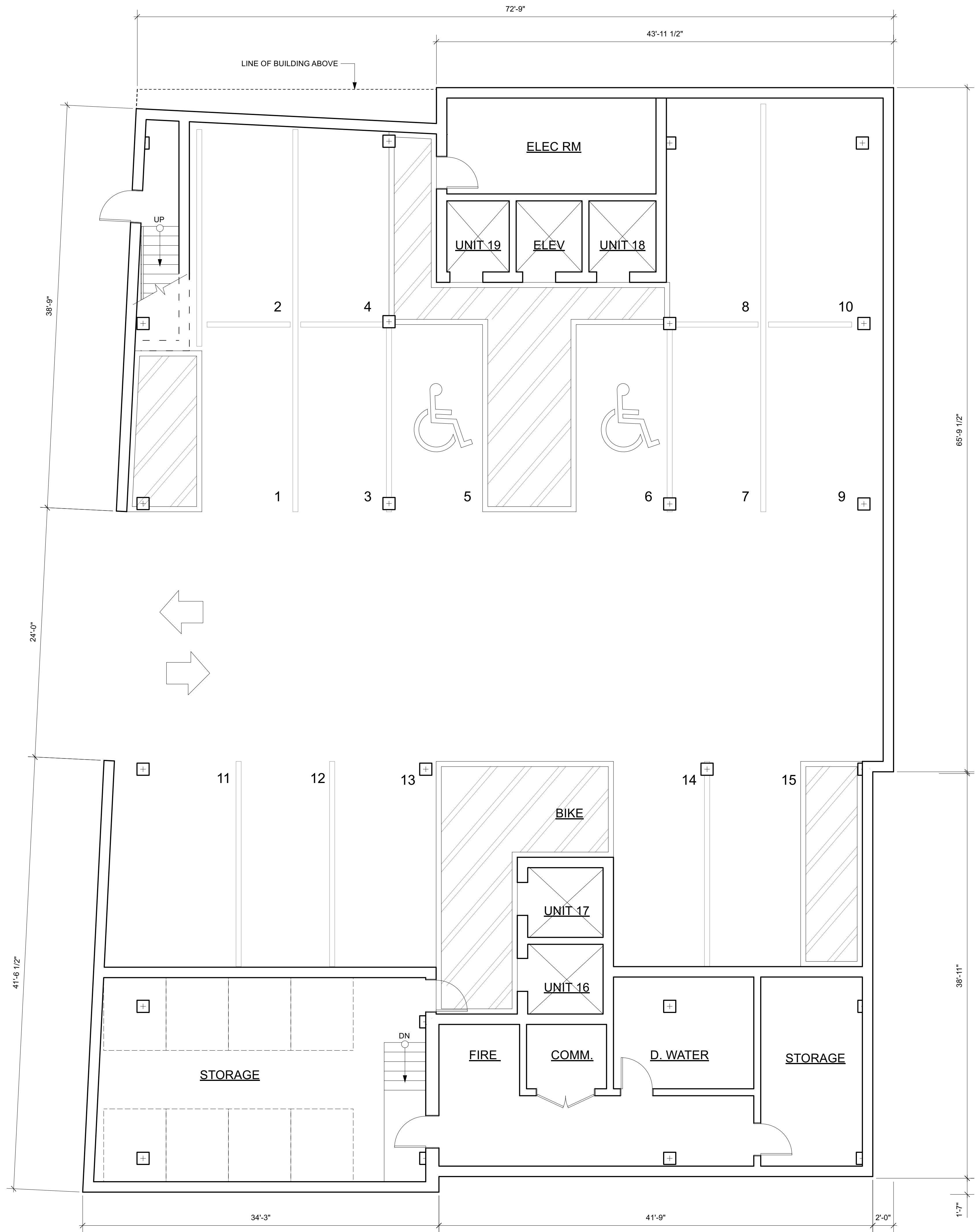




PZ-207







**1** 11 BURTIS - BASEMENT FLOOR PLAN  
Scale: 3/16" = 1'-0"

**LEGEND**  
NEW WALL

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SCALE

3/16" = 1'-0"

DRAWING

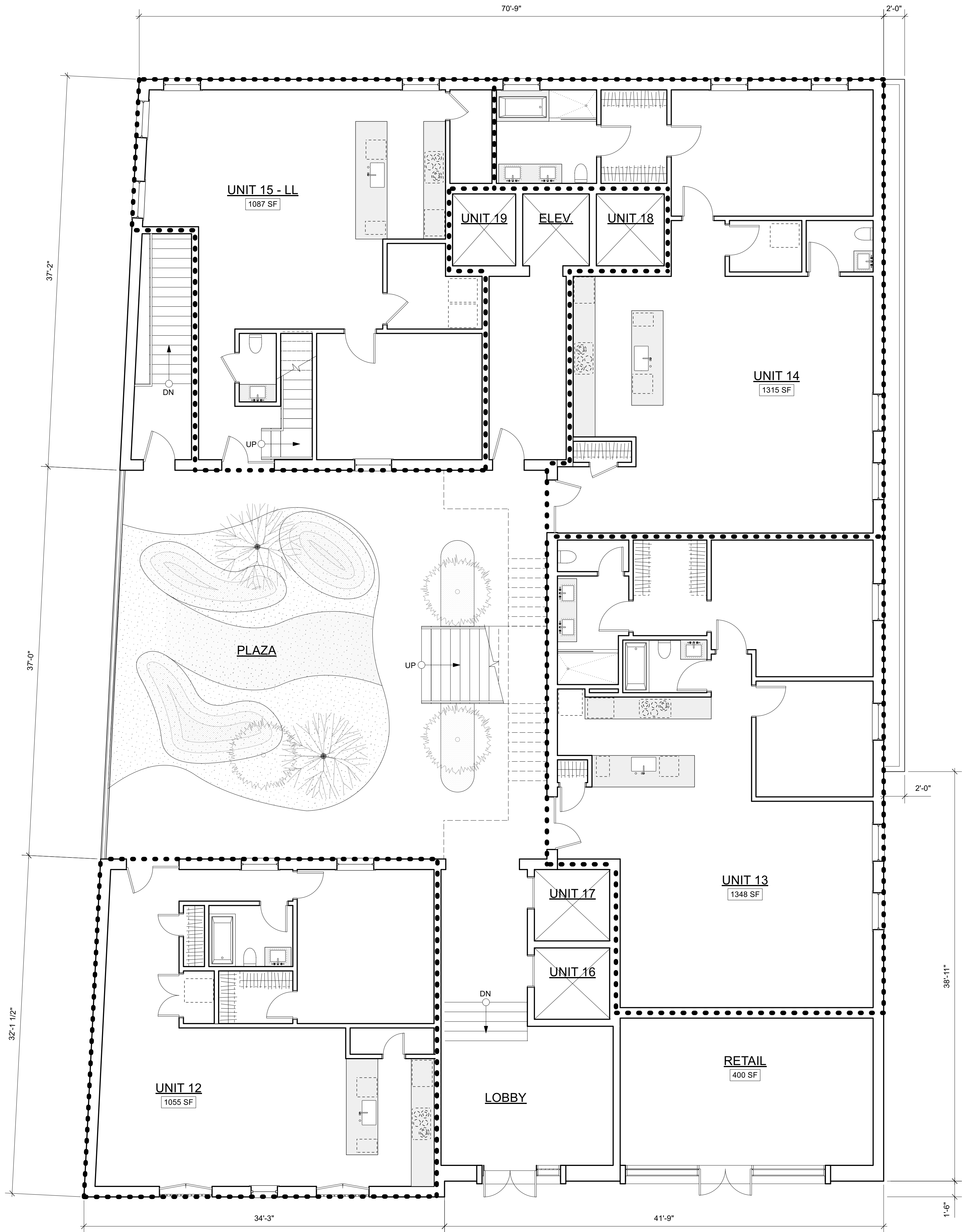
11 Basement Floor Plan

SHEET #

PZ-209

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**1** 11 BURTIS - FIRST FLOOR PLAN  
Scale: 3/16" = 1'-0"

**LEGEND**

[Line Style]	NEW WALL
[Shaded Area]	MILLWORK

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SUBMISSIONS

No. 04/26/2022

Date

Description

DATE

04/26/2022

SCALE

3/16" = 1'-0"

DRAWING

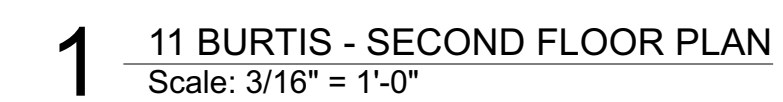
11 First Floor Plan

SHEET #

PZ-210

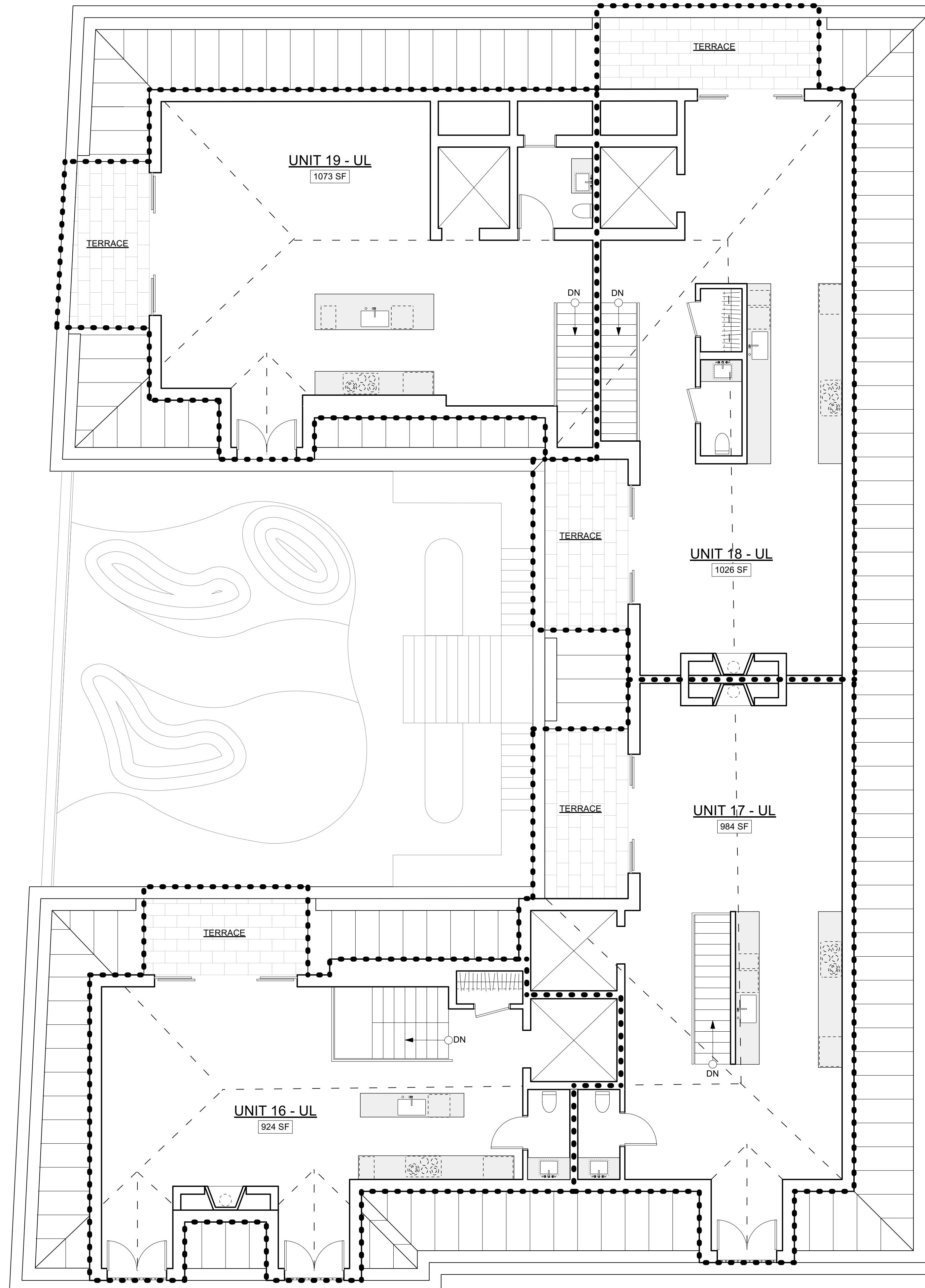
PAGE 26





-  NEW WALL
-  MILLWORK







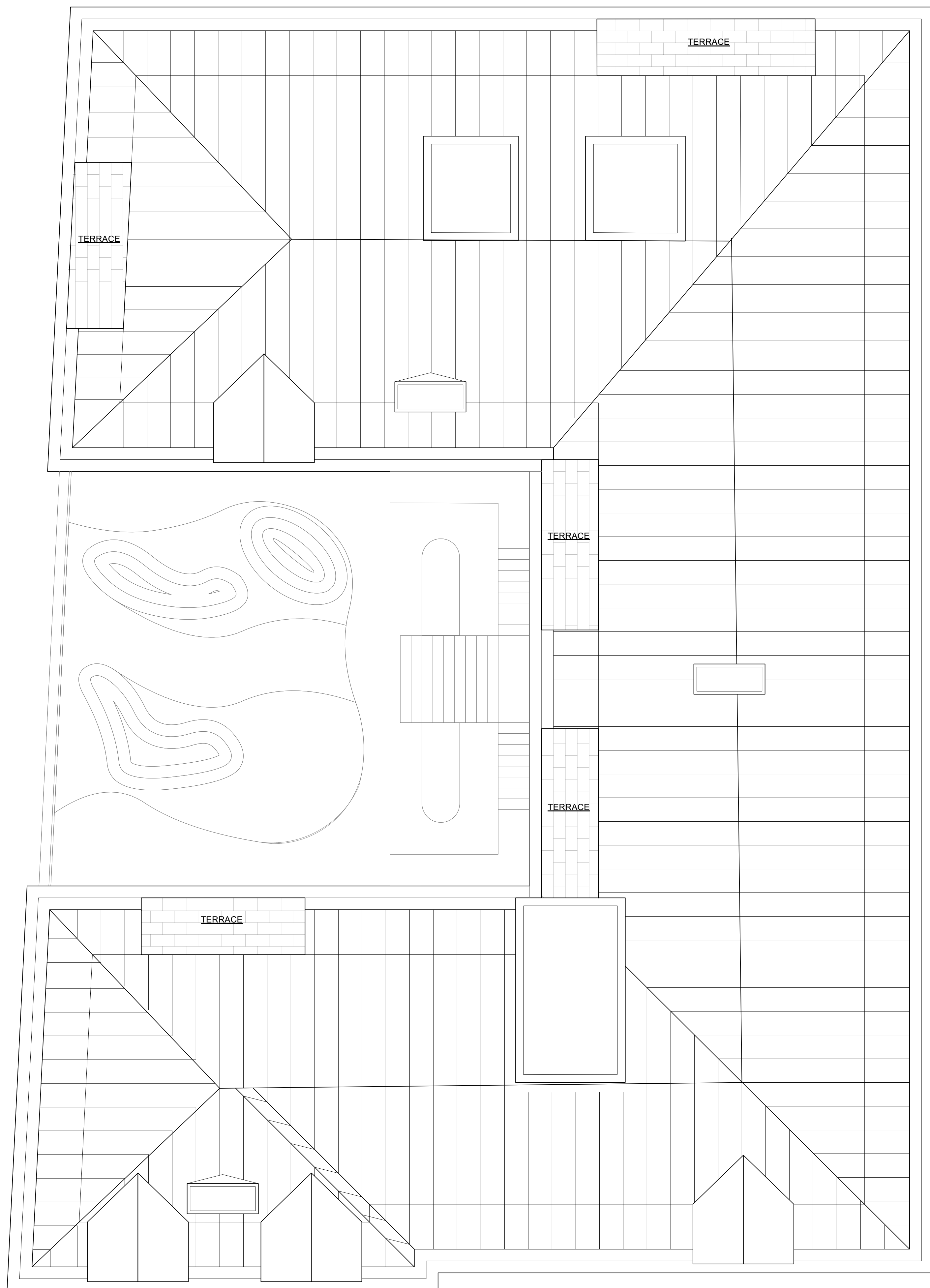
**1** 11 BURTIS - THIRD FLOOR PLAN  
Scale: 3/16" = 1'-0"



## LEGEND

 NEW WALL  
 MILLWORK





**1** 11 BURTIS - ROOF PLAN  
Scale: 3/16" = 1'-0"





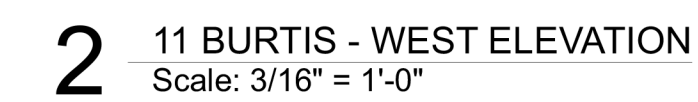
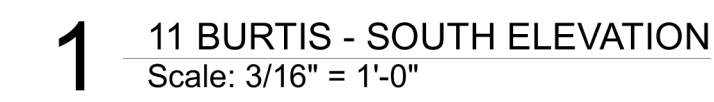


1 11 BURTIS - NORTH ELEVATION  
Scale: 3/16" = 1'-0"



2 11 BURTIS - EAST ELEVATION  
Scale: 3/16" = 1'-0"

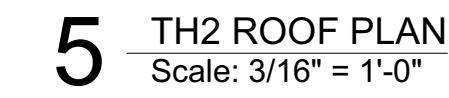
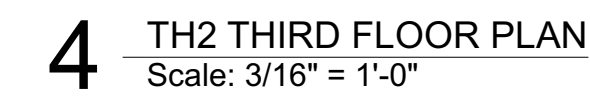
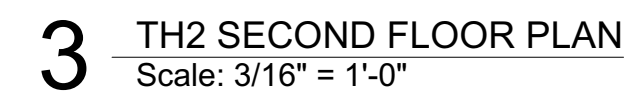
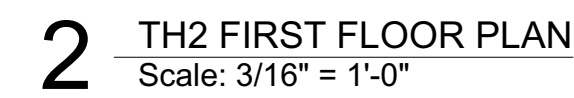
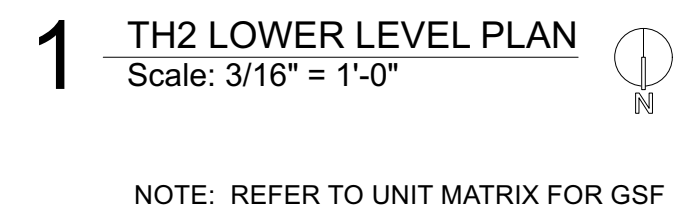




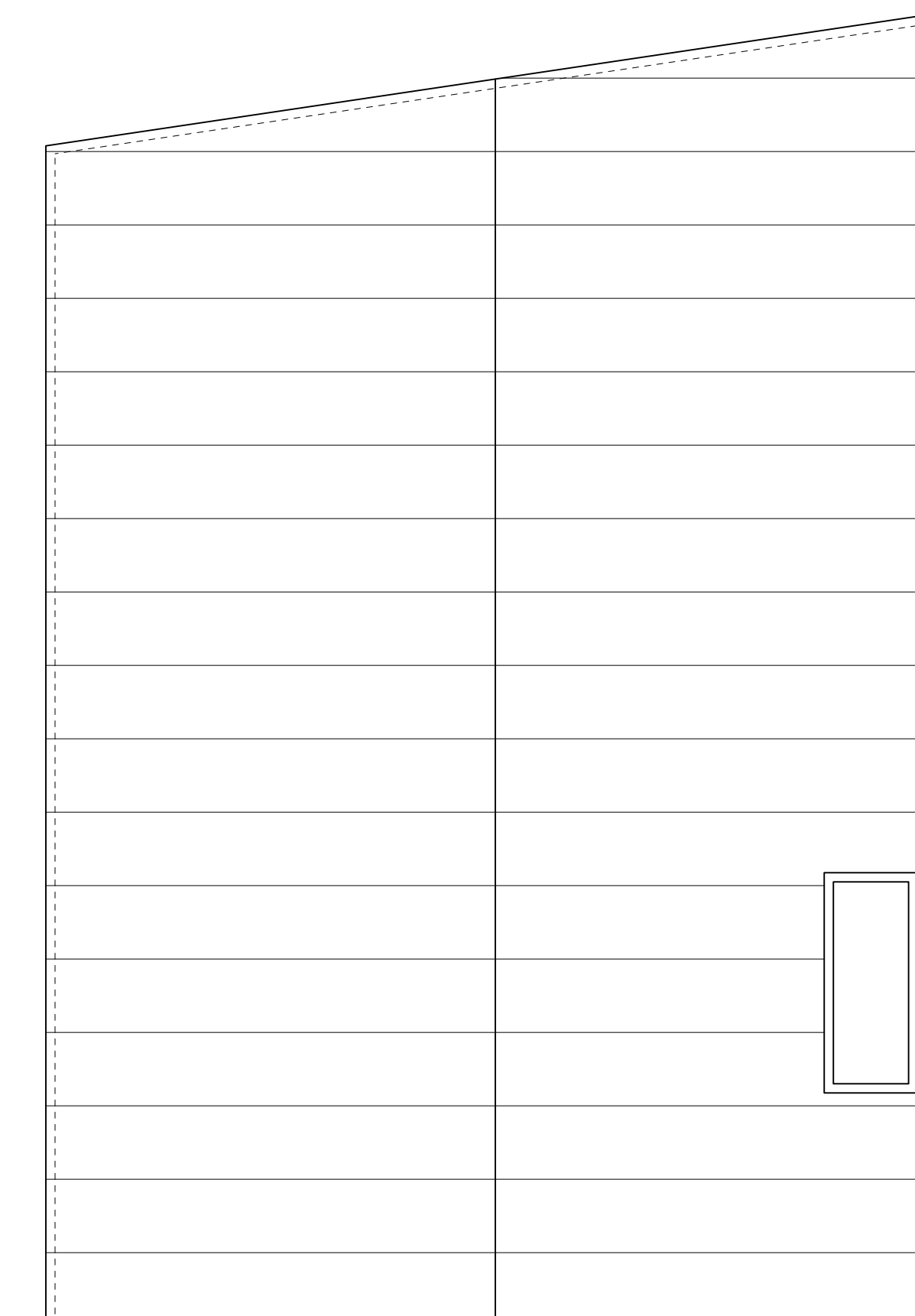
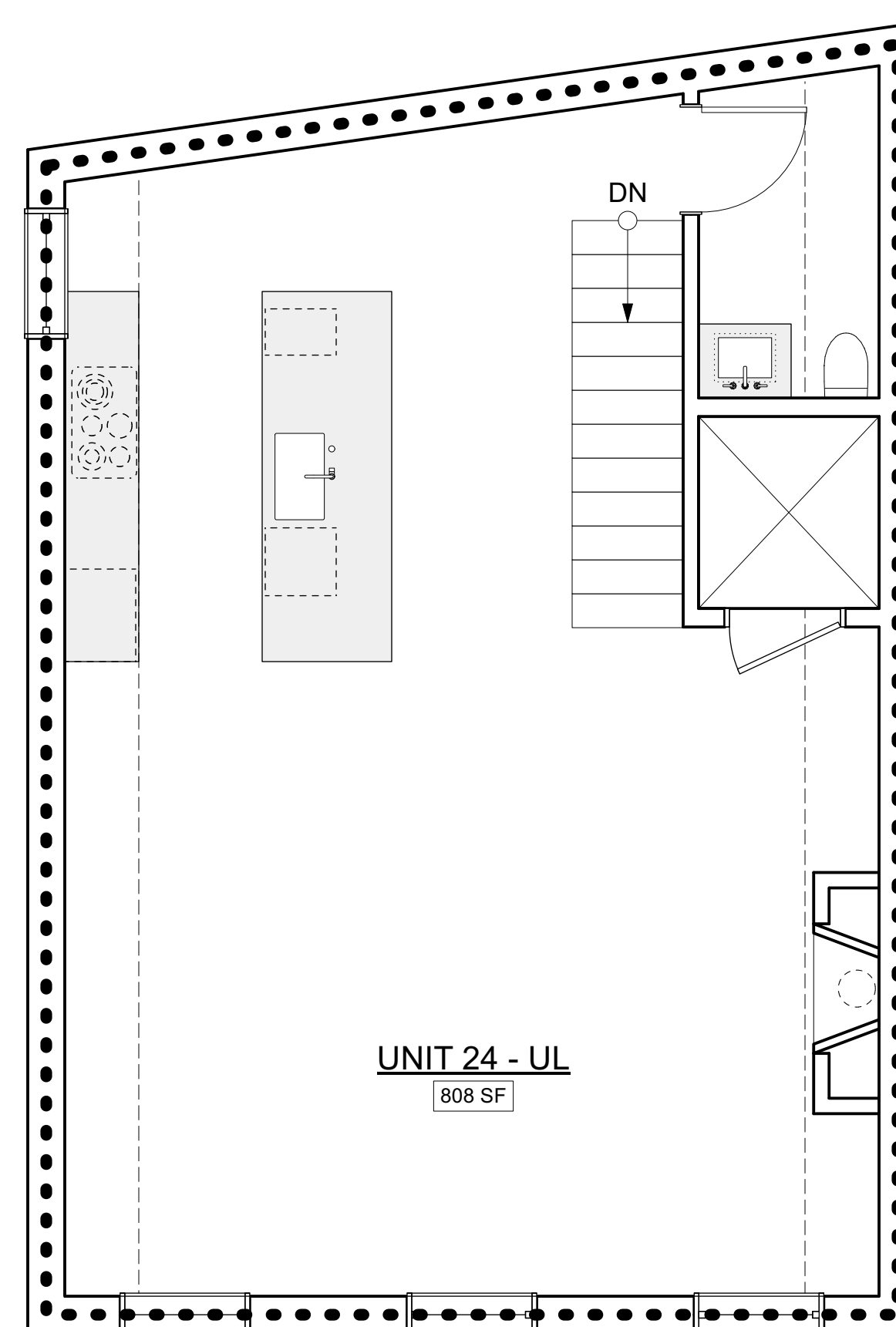
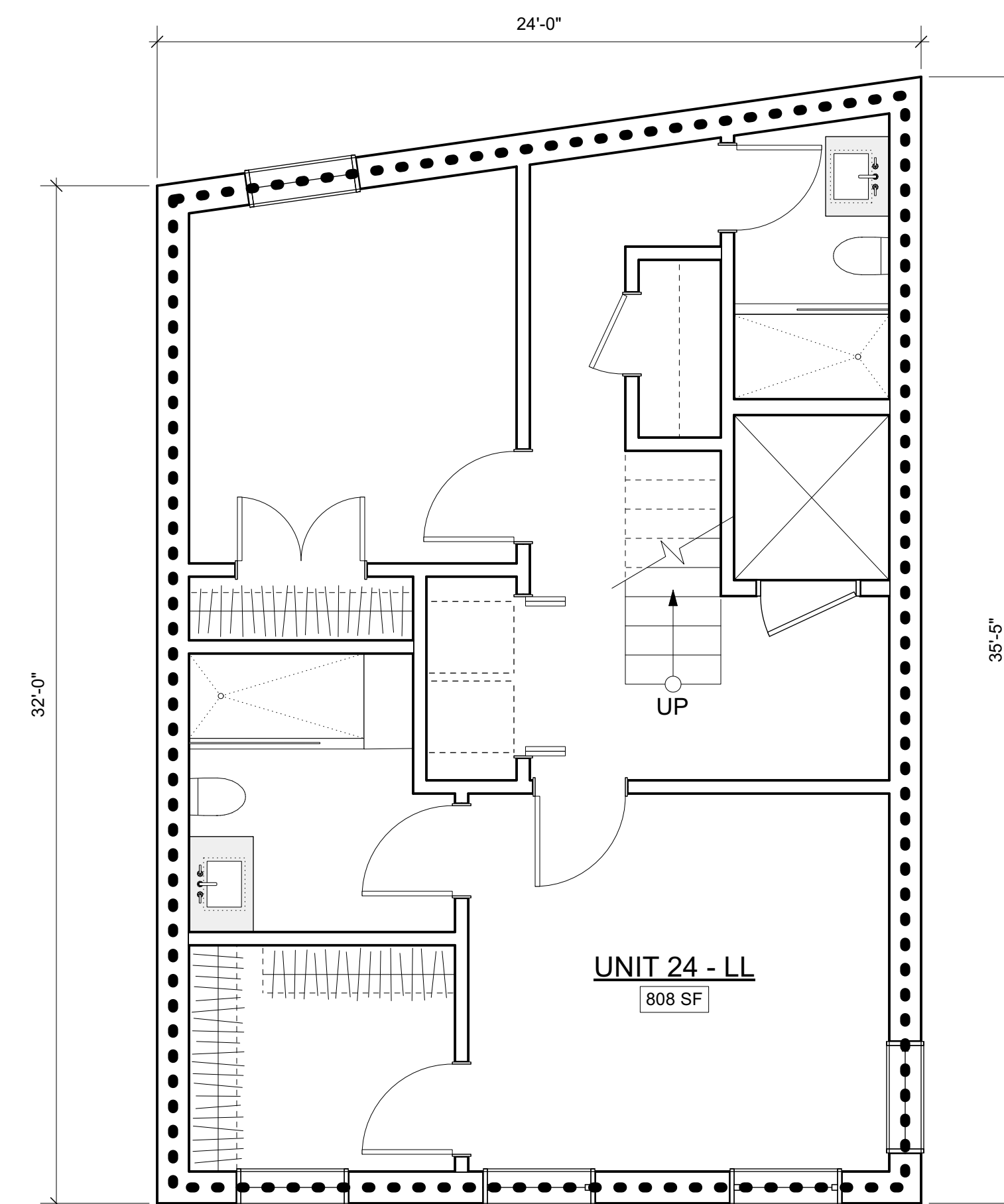
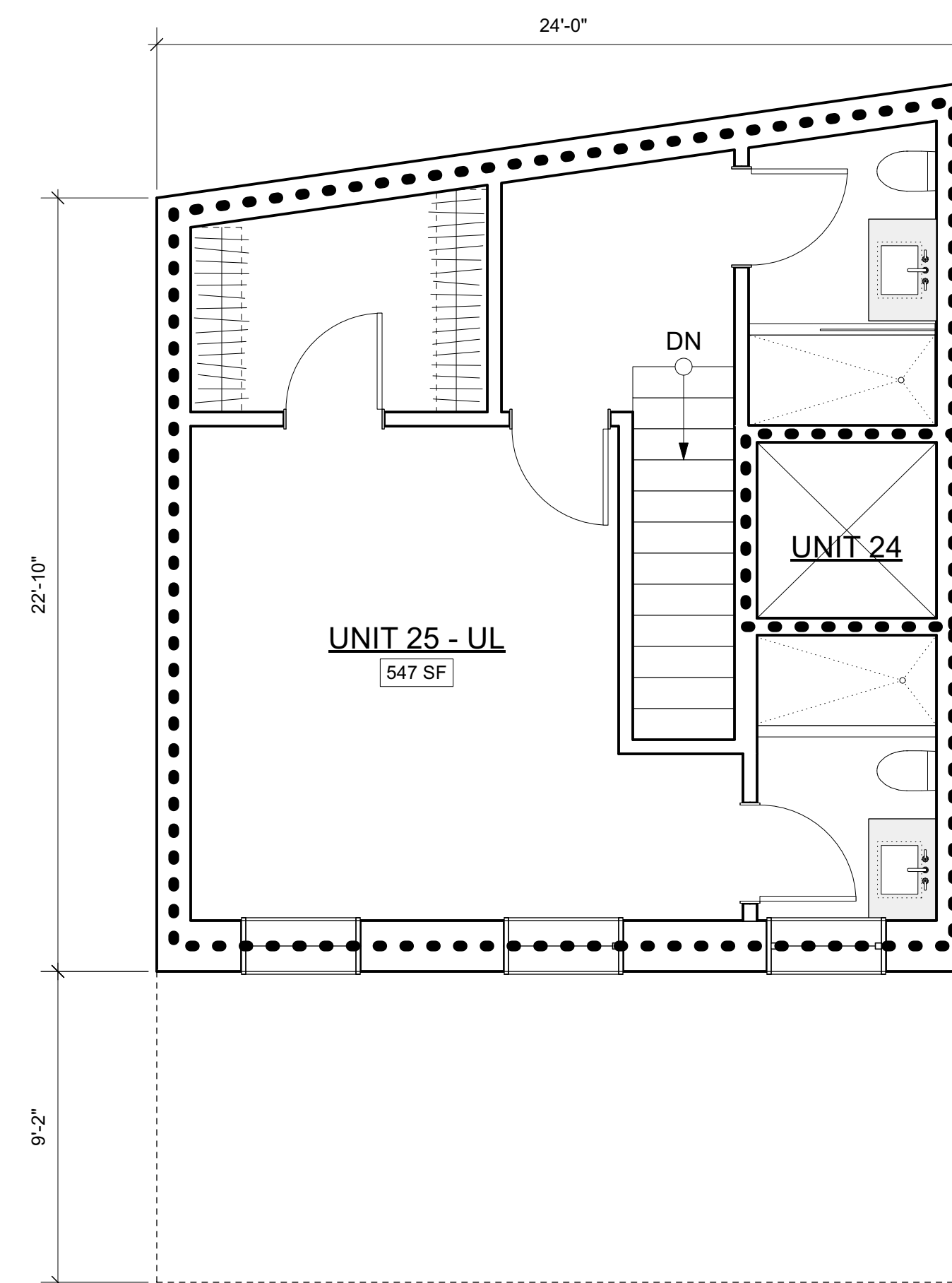
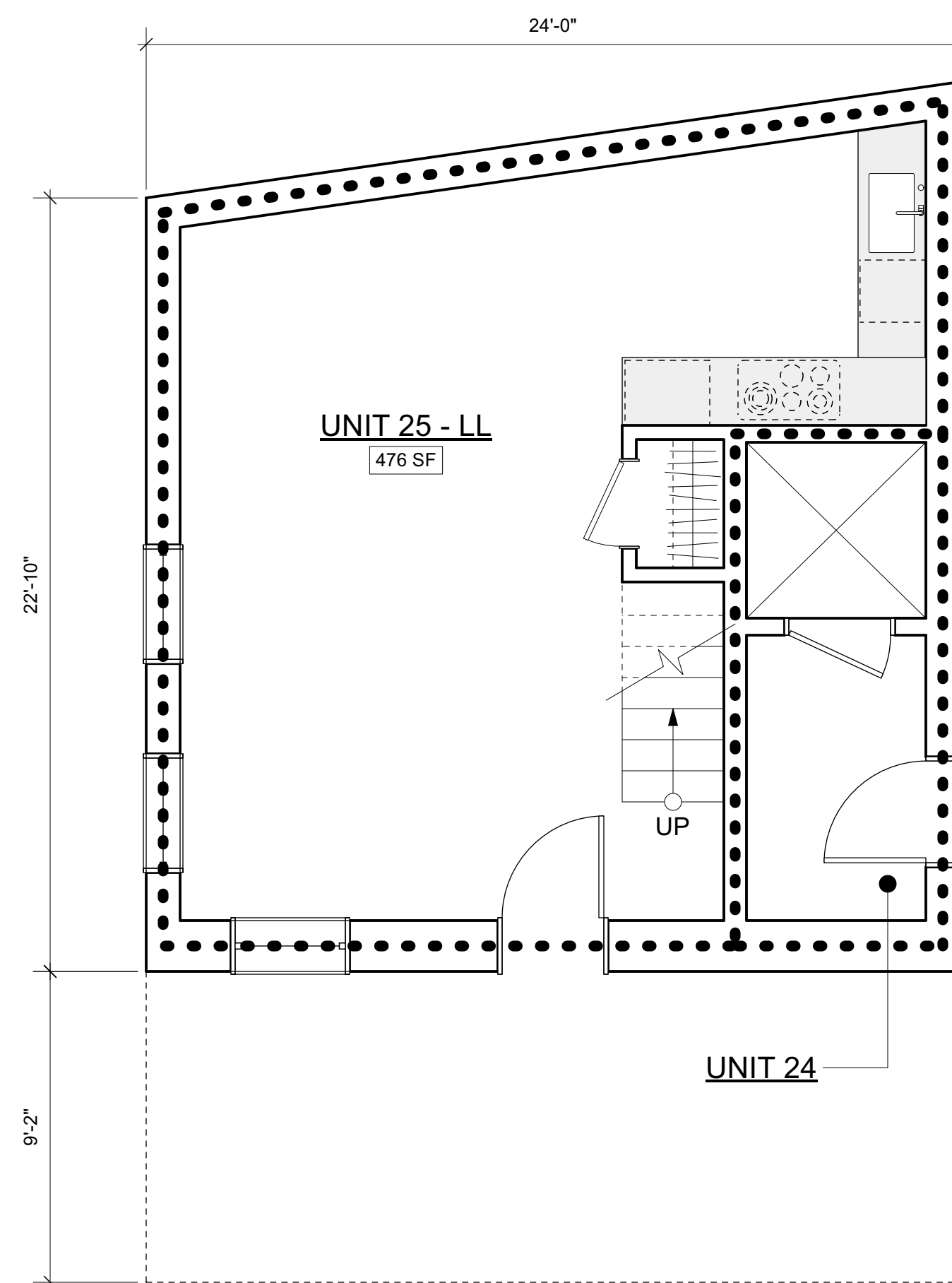




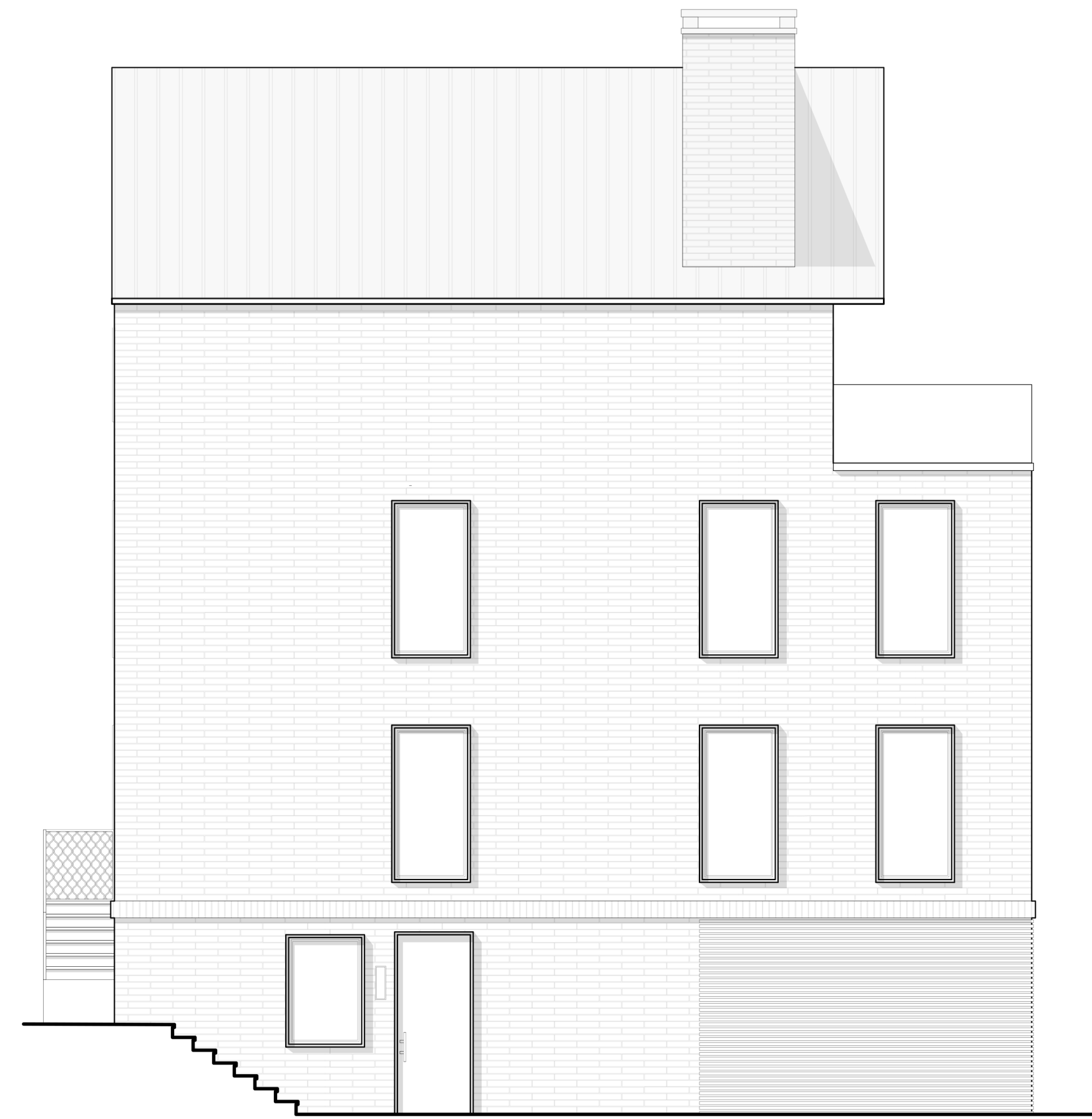




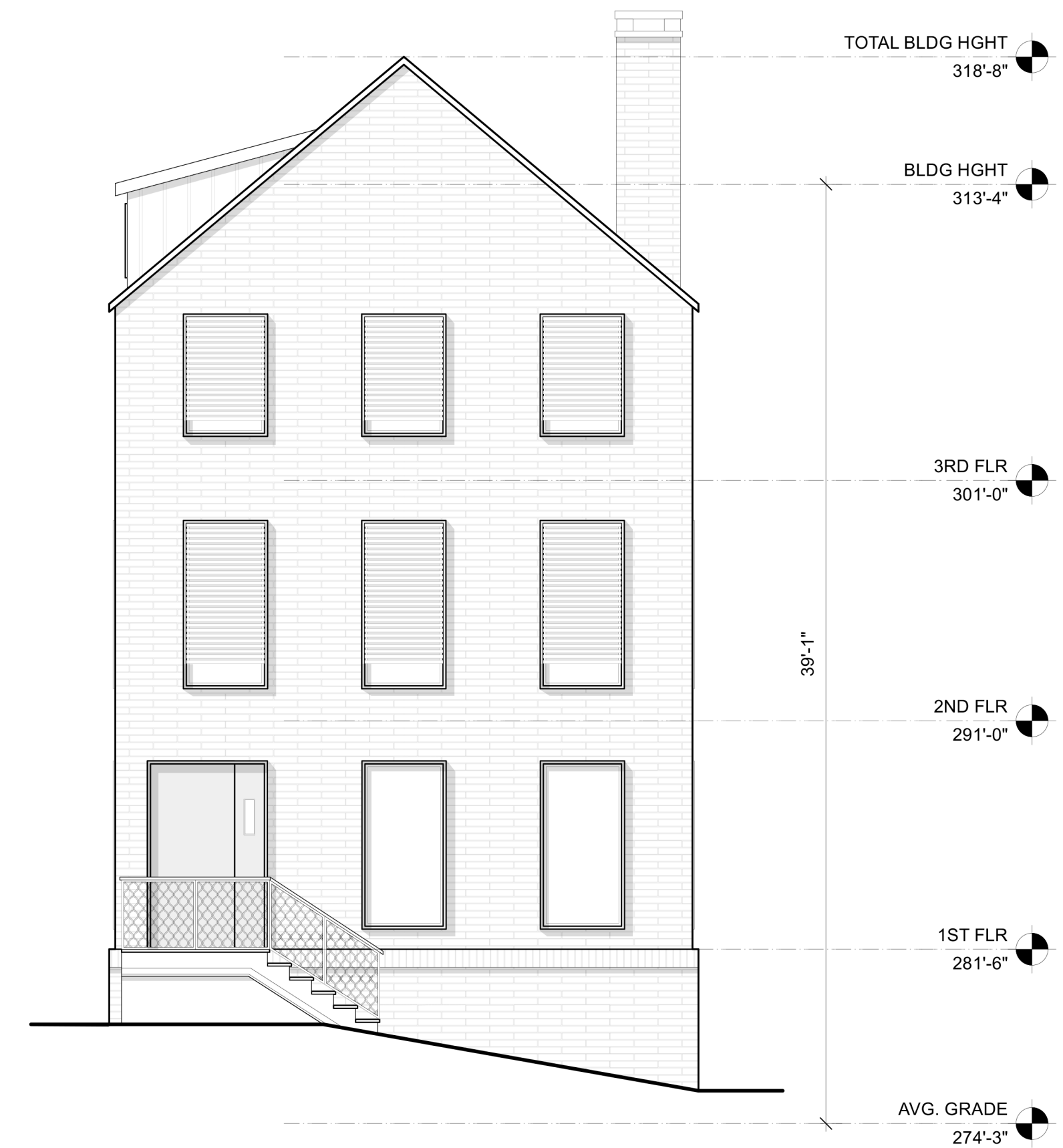




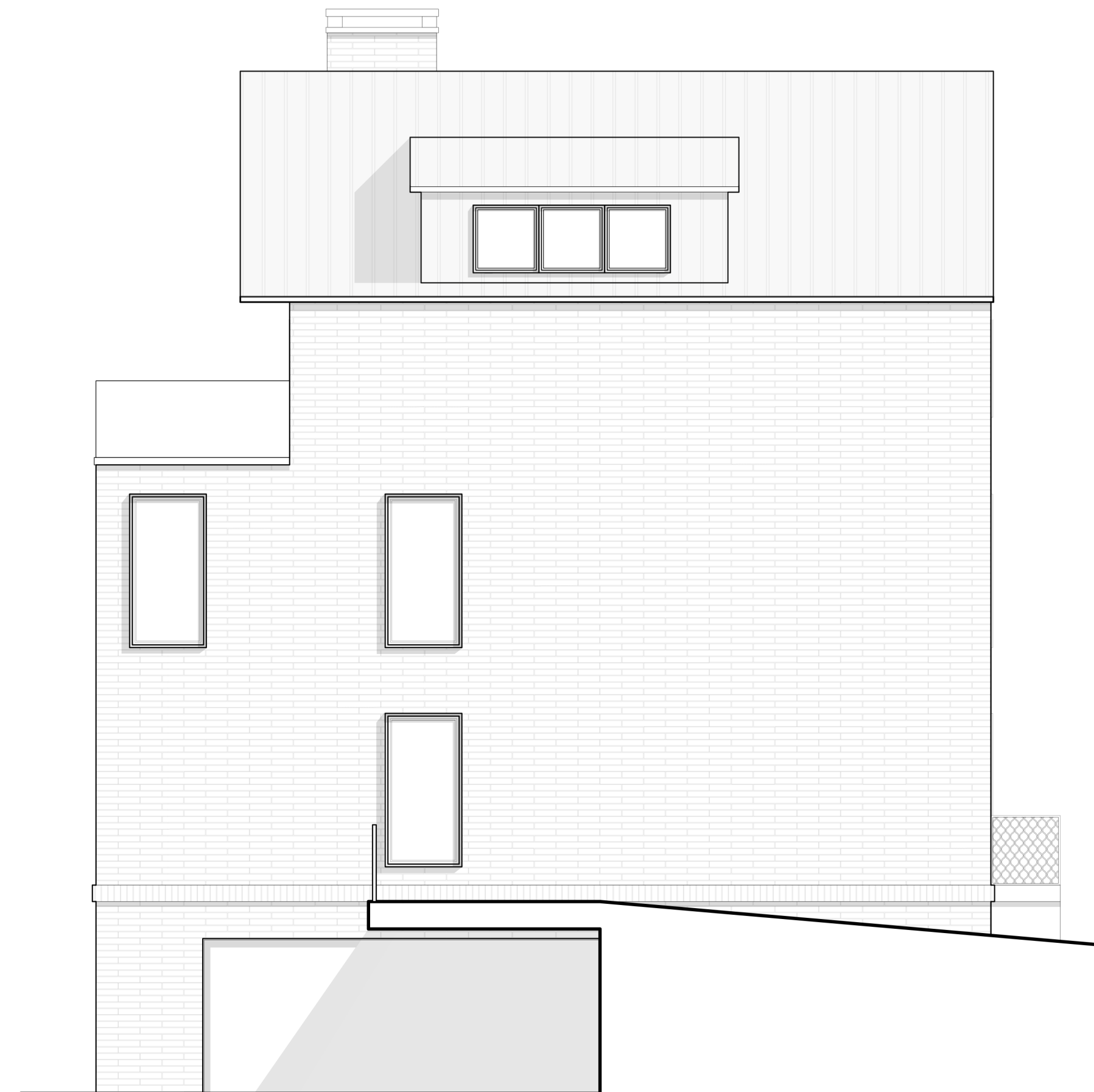




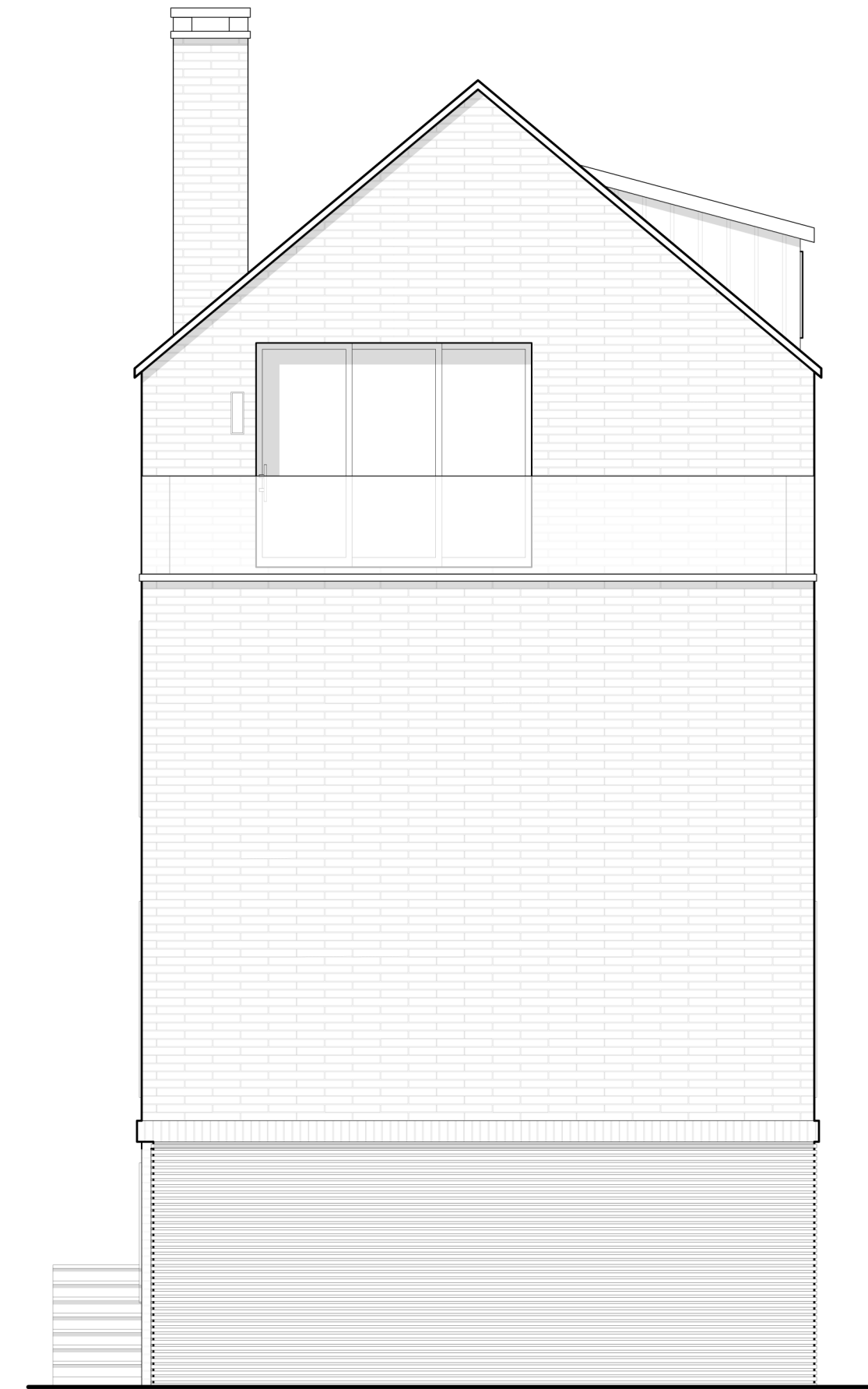
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Scale: 3/16" = 1'-0"



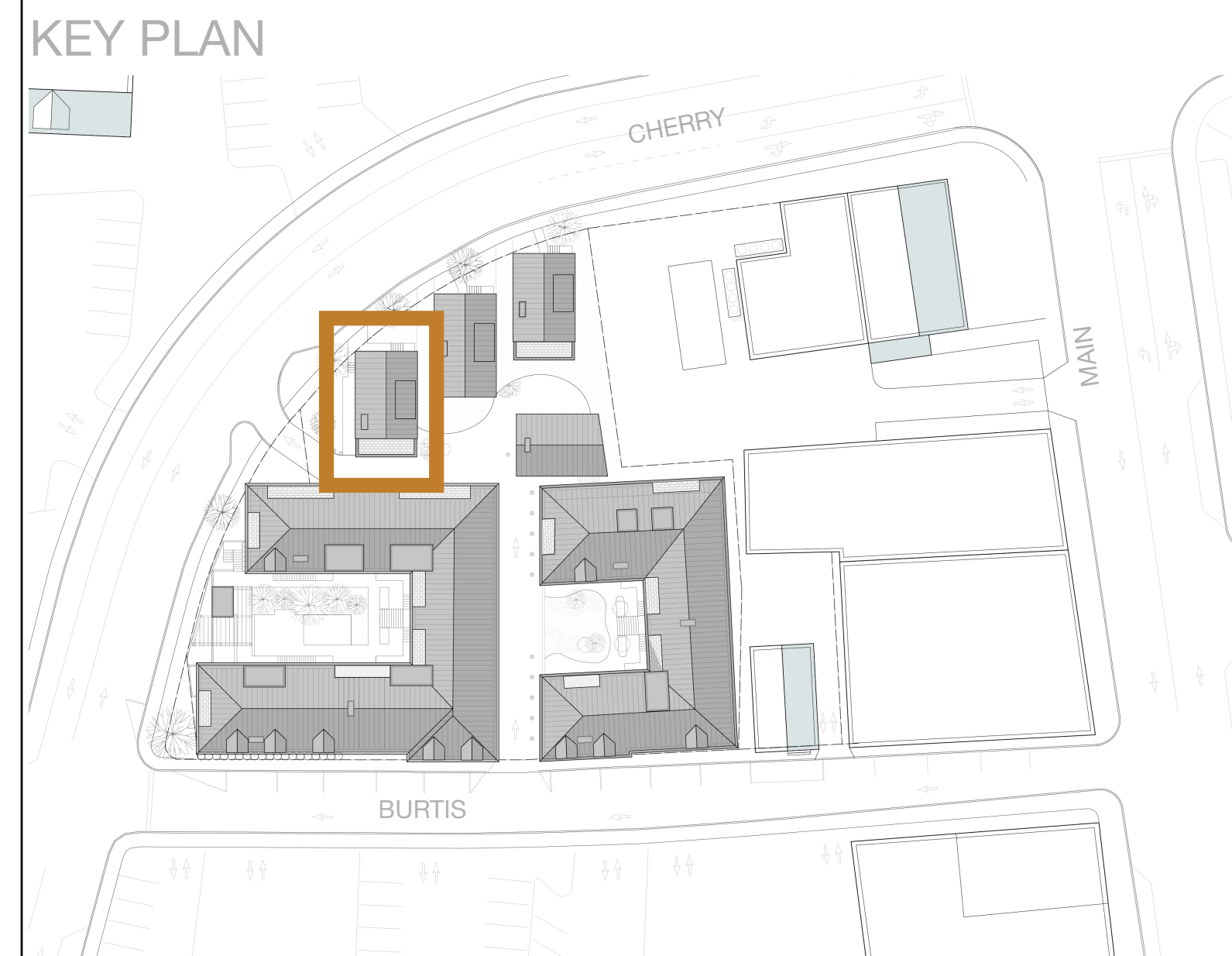
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Scale: 3/16" = 1'-0"



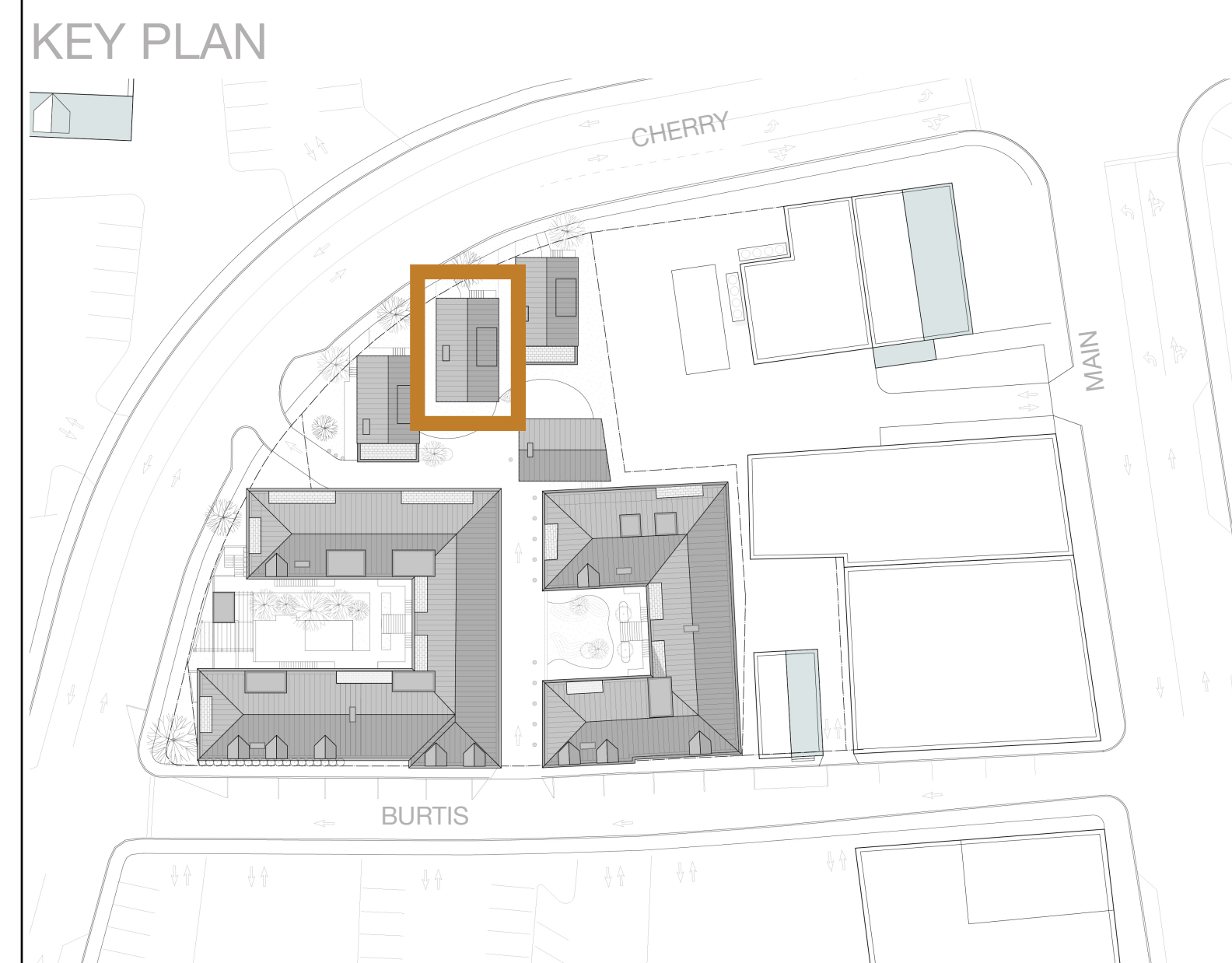
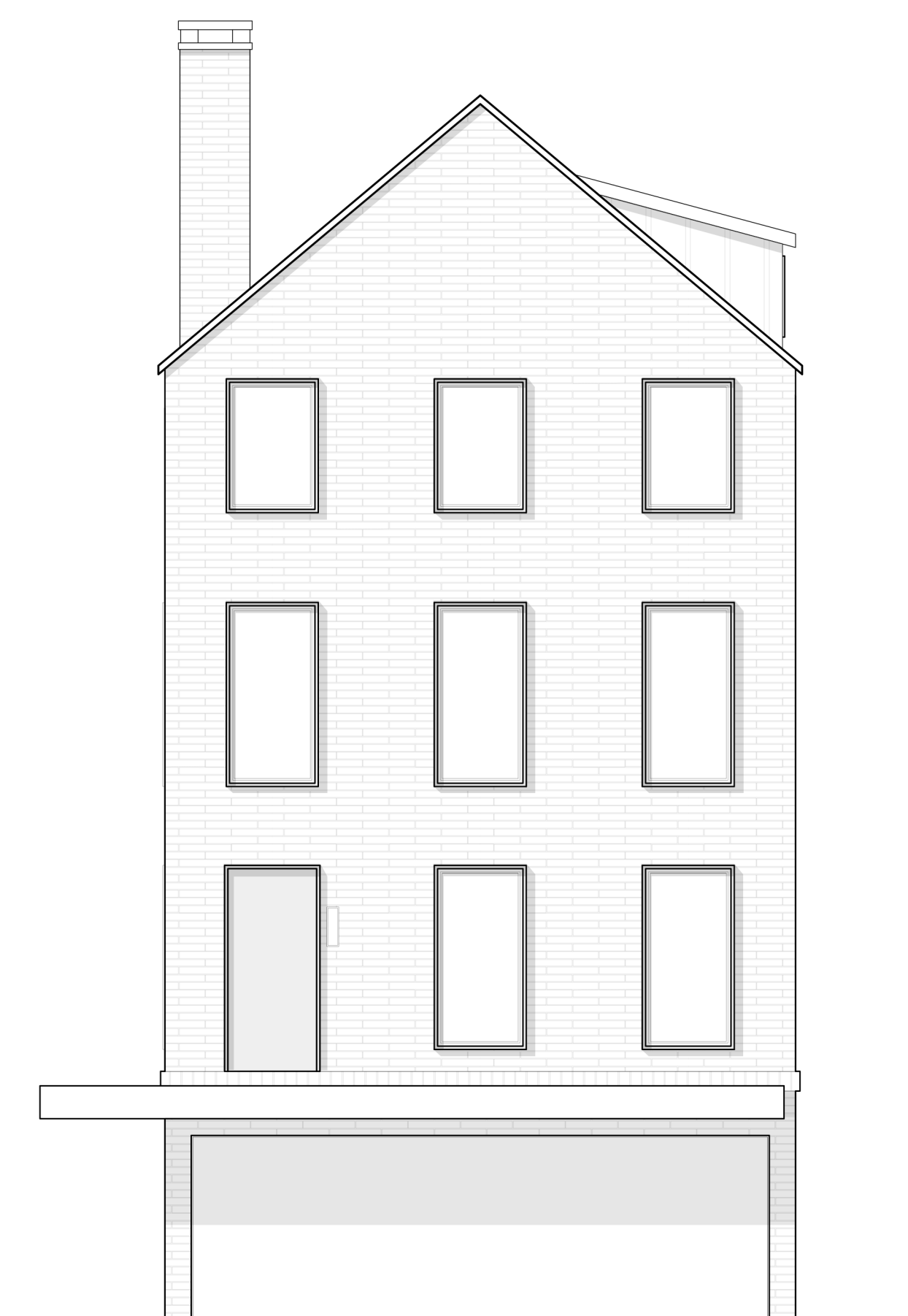
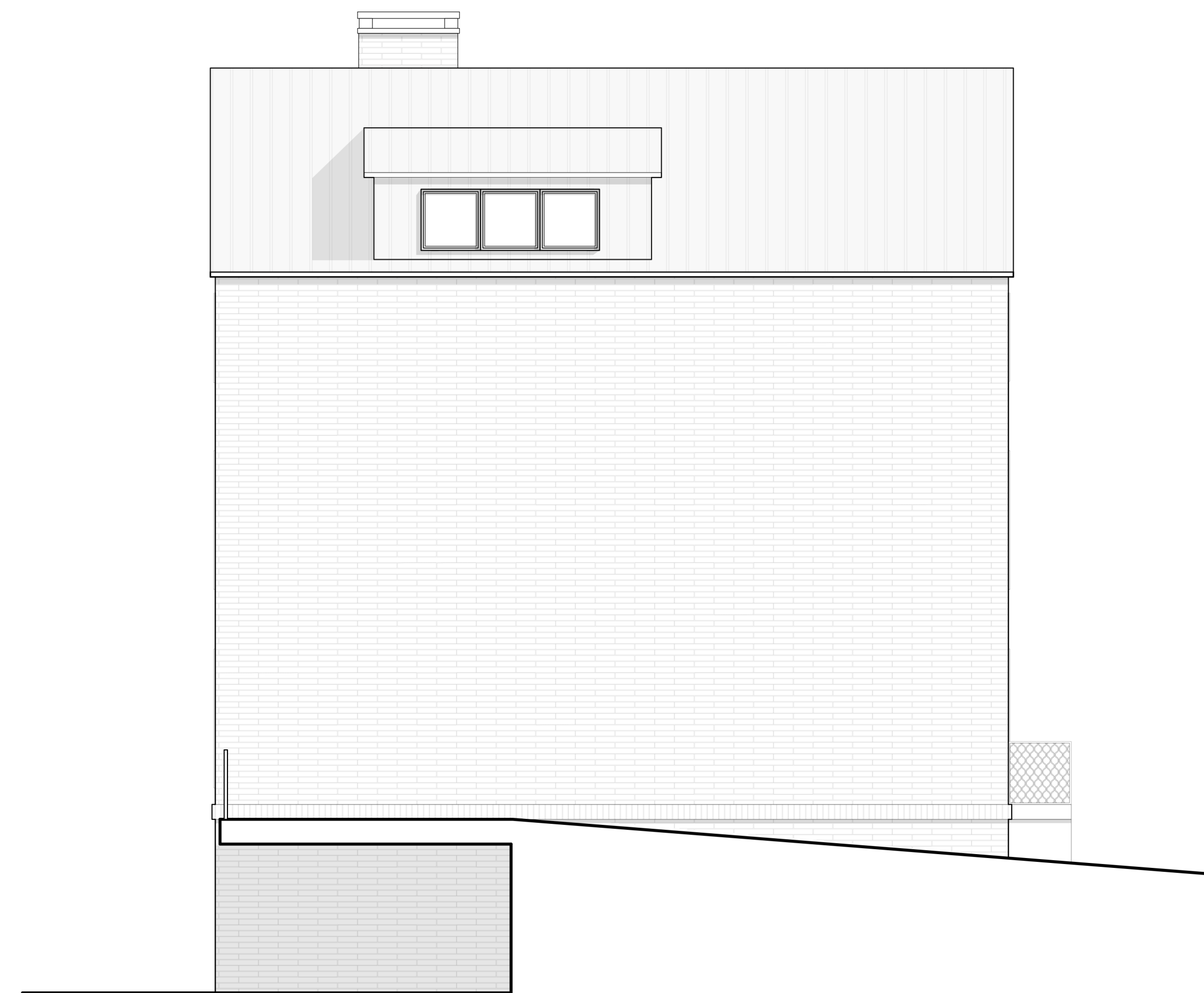
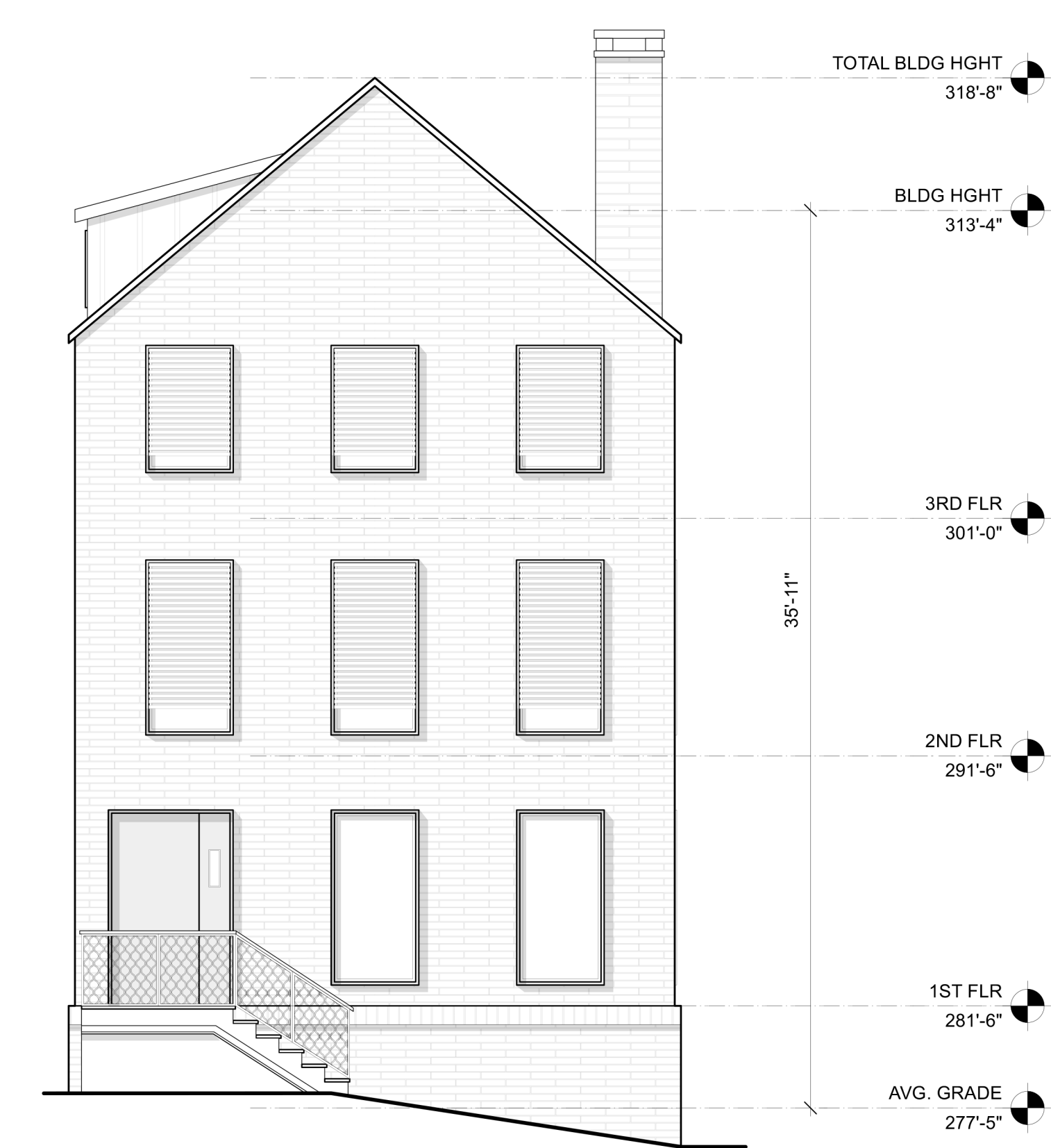
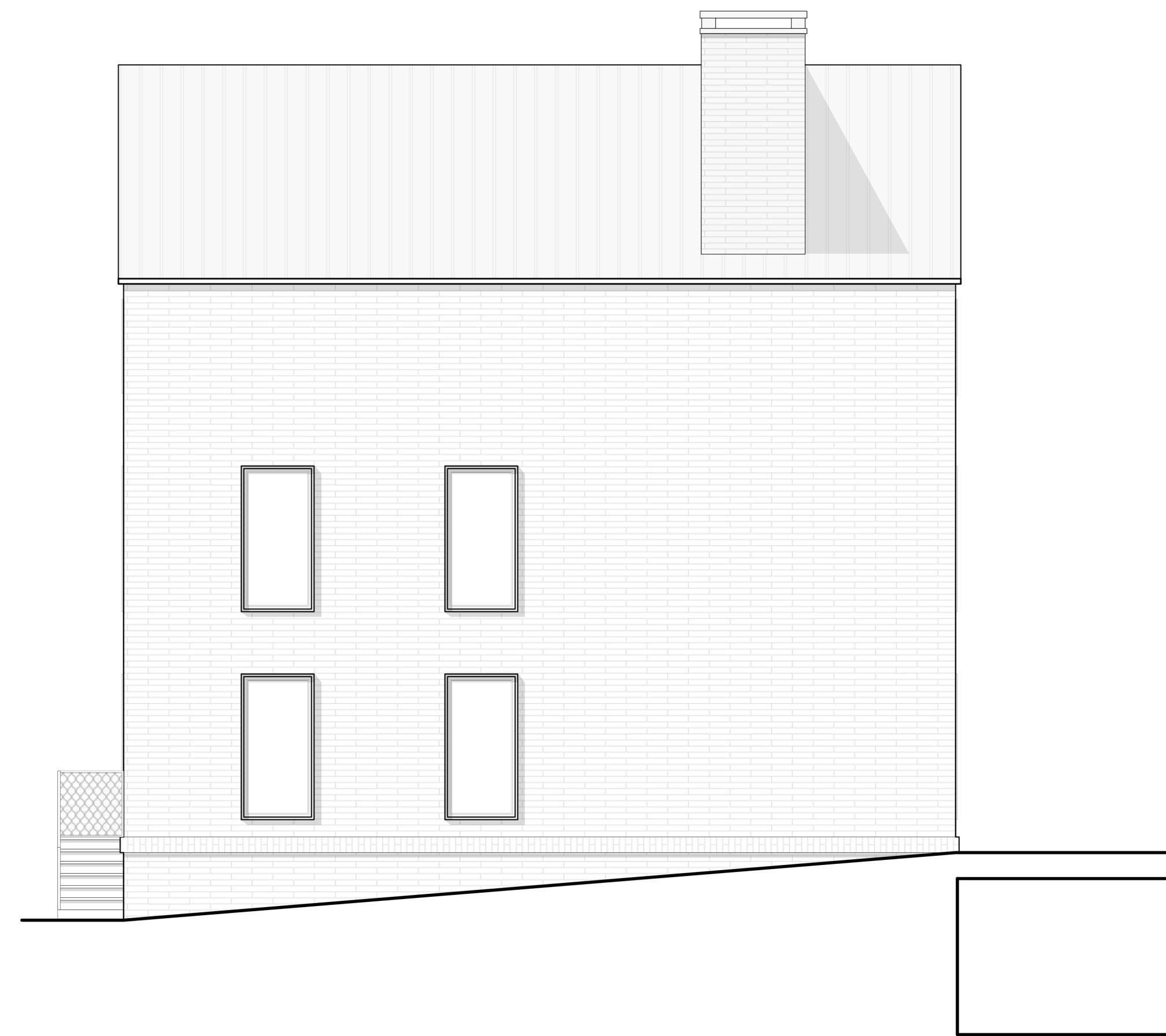
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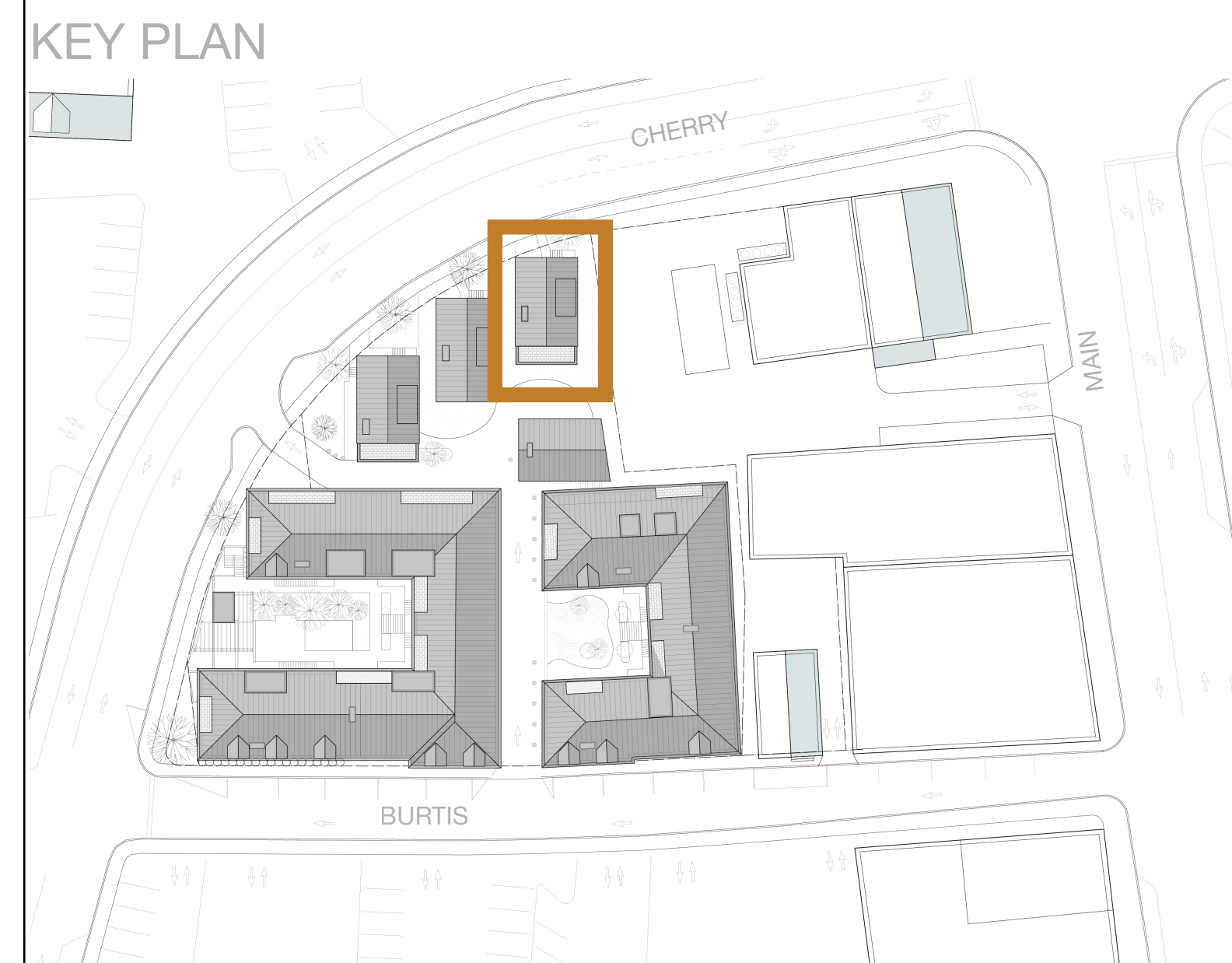
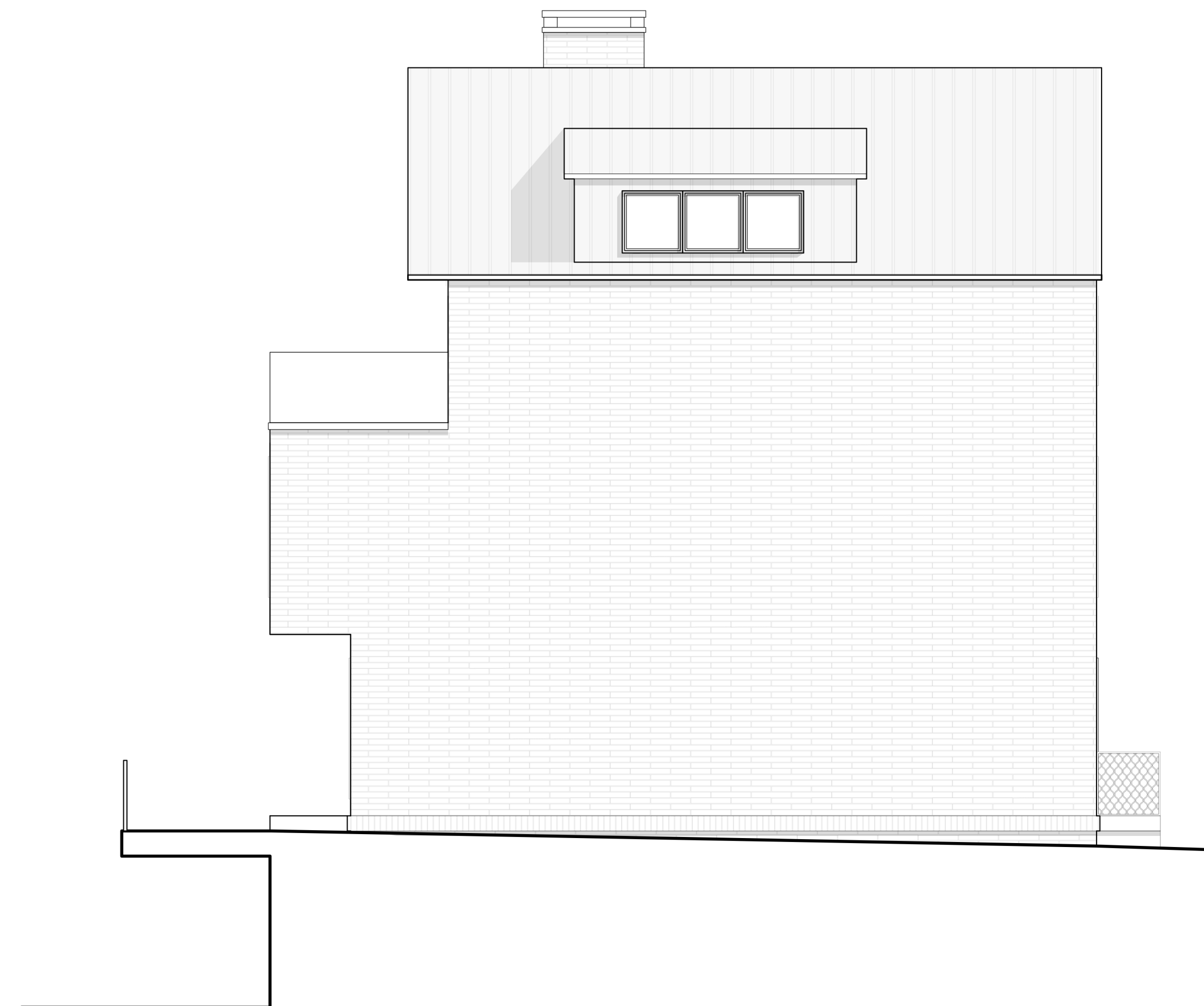
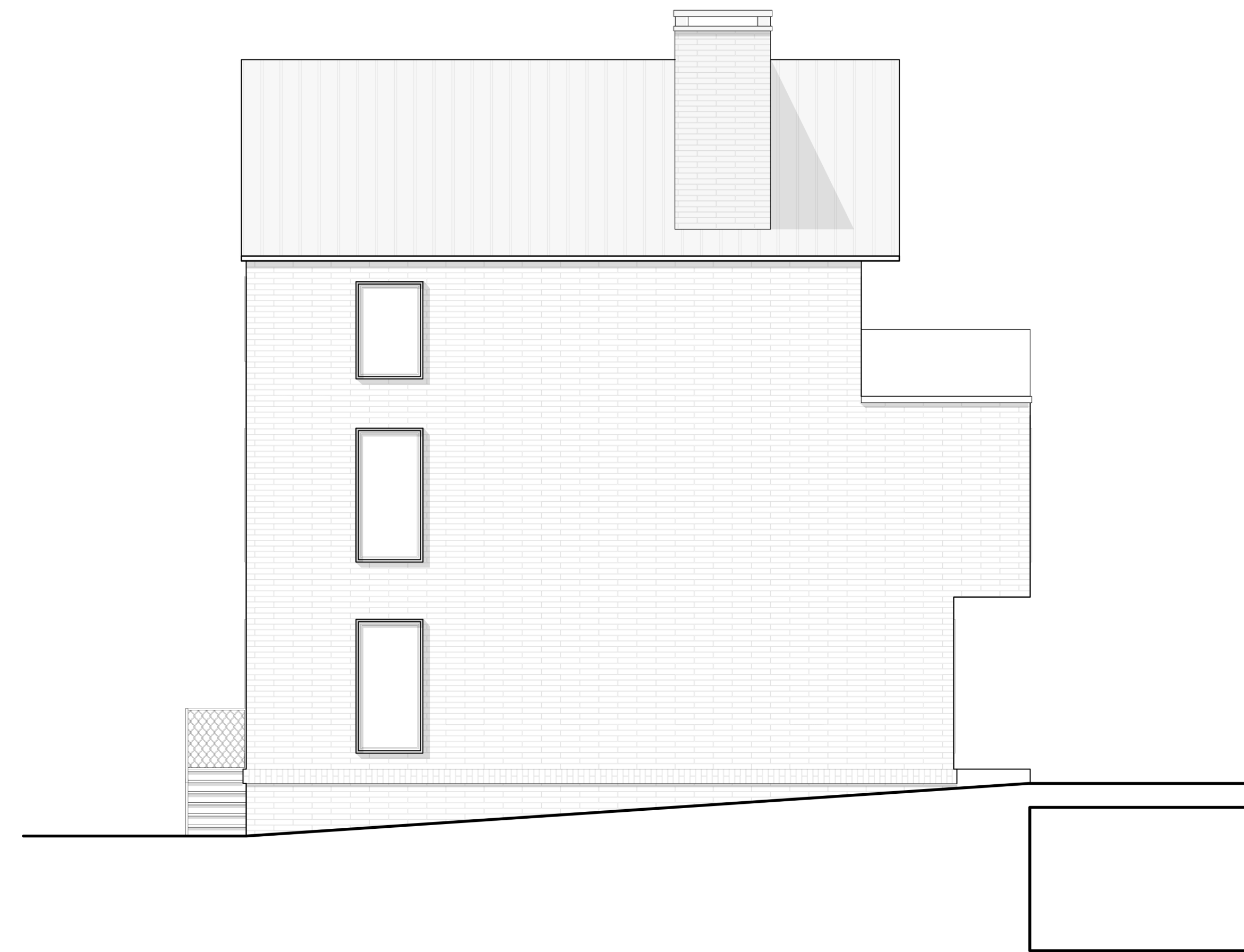
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Scale: 3/16" = 1'-0"



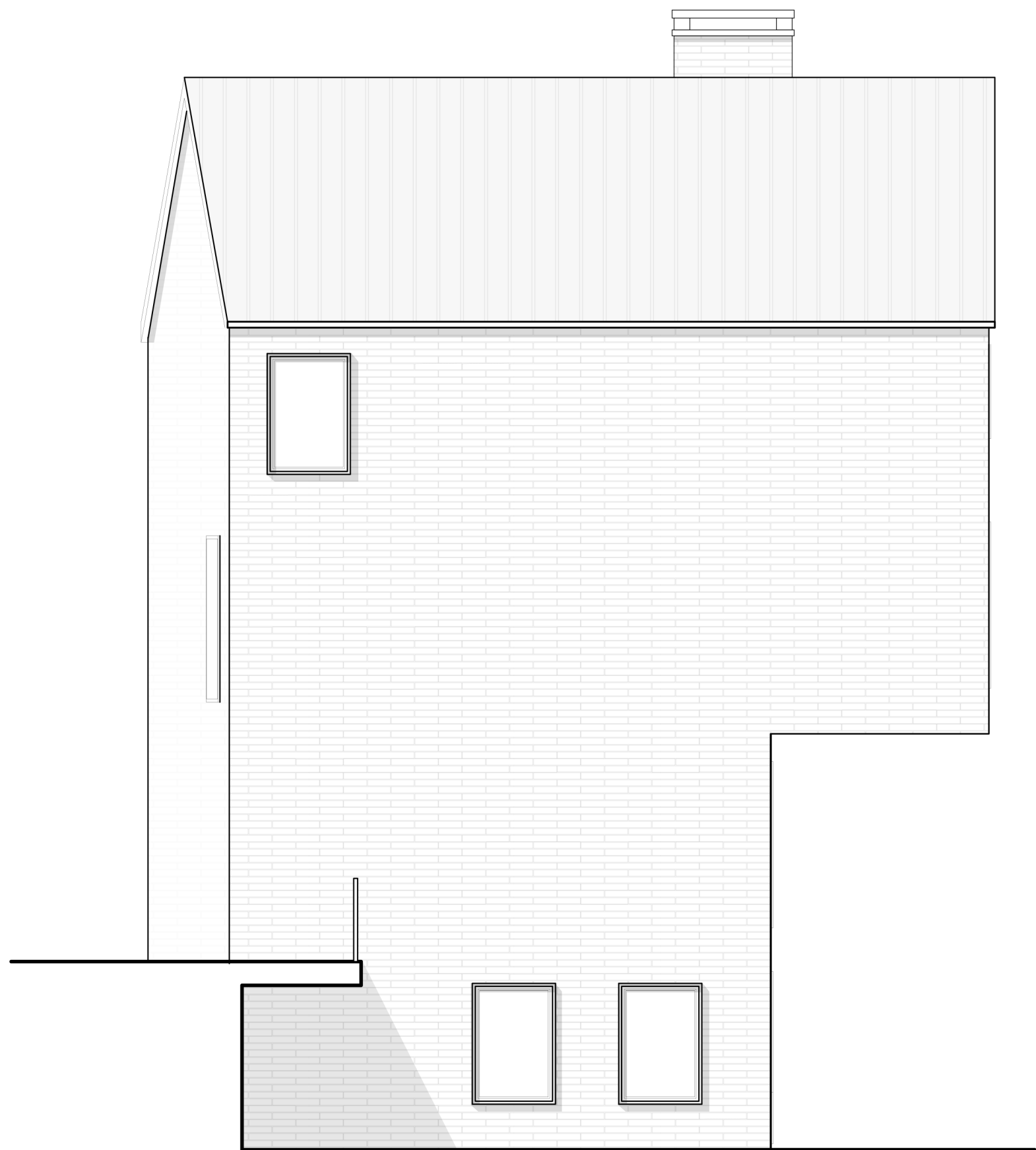
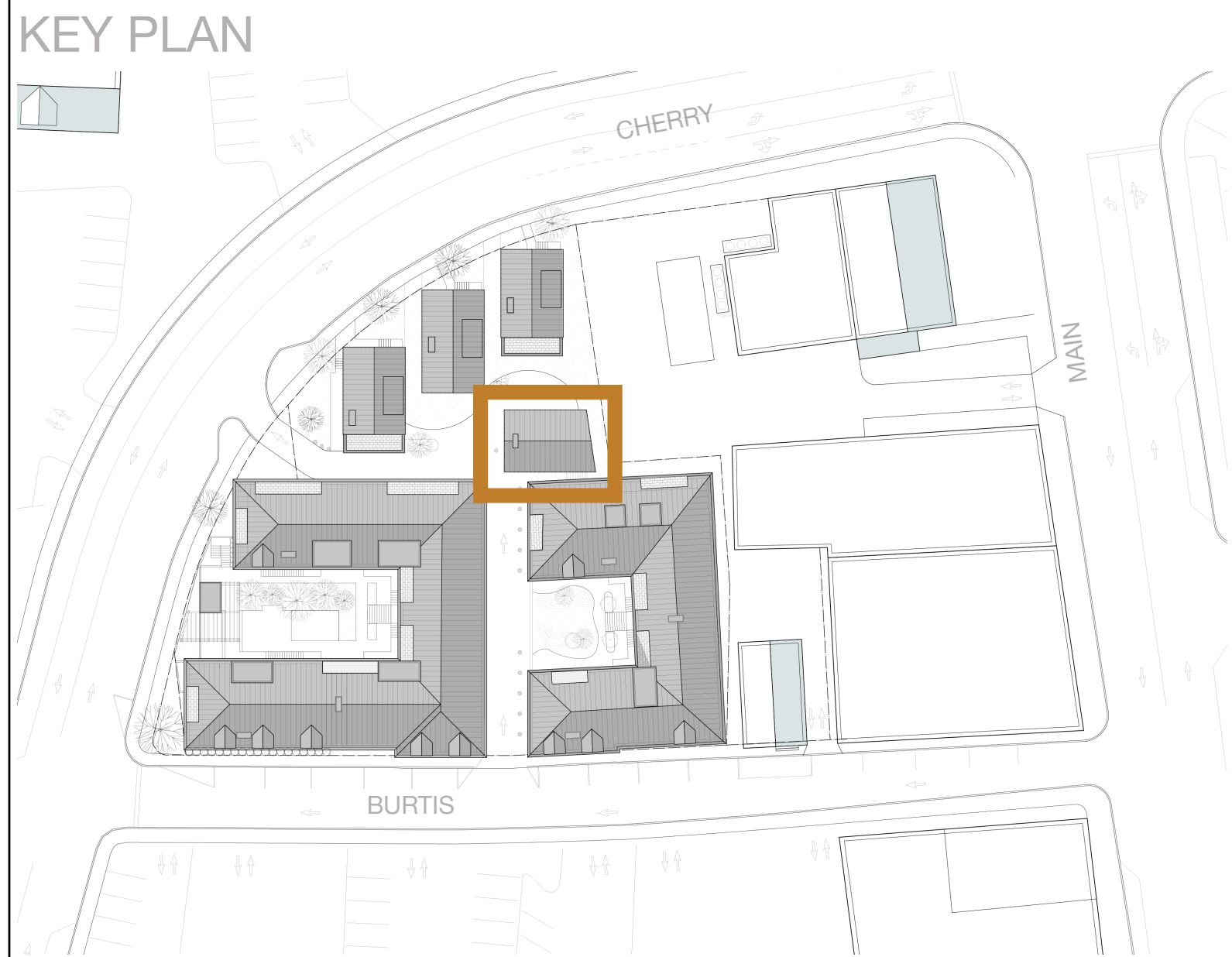




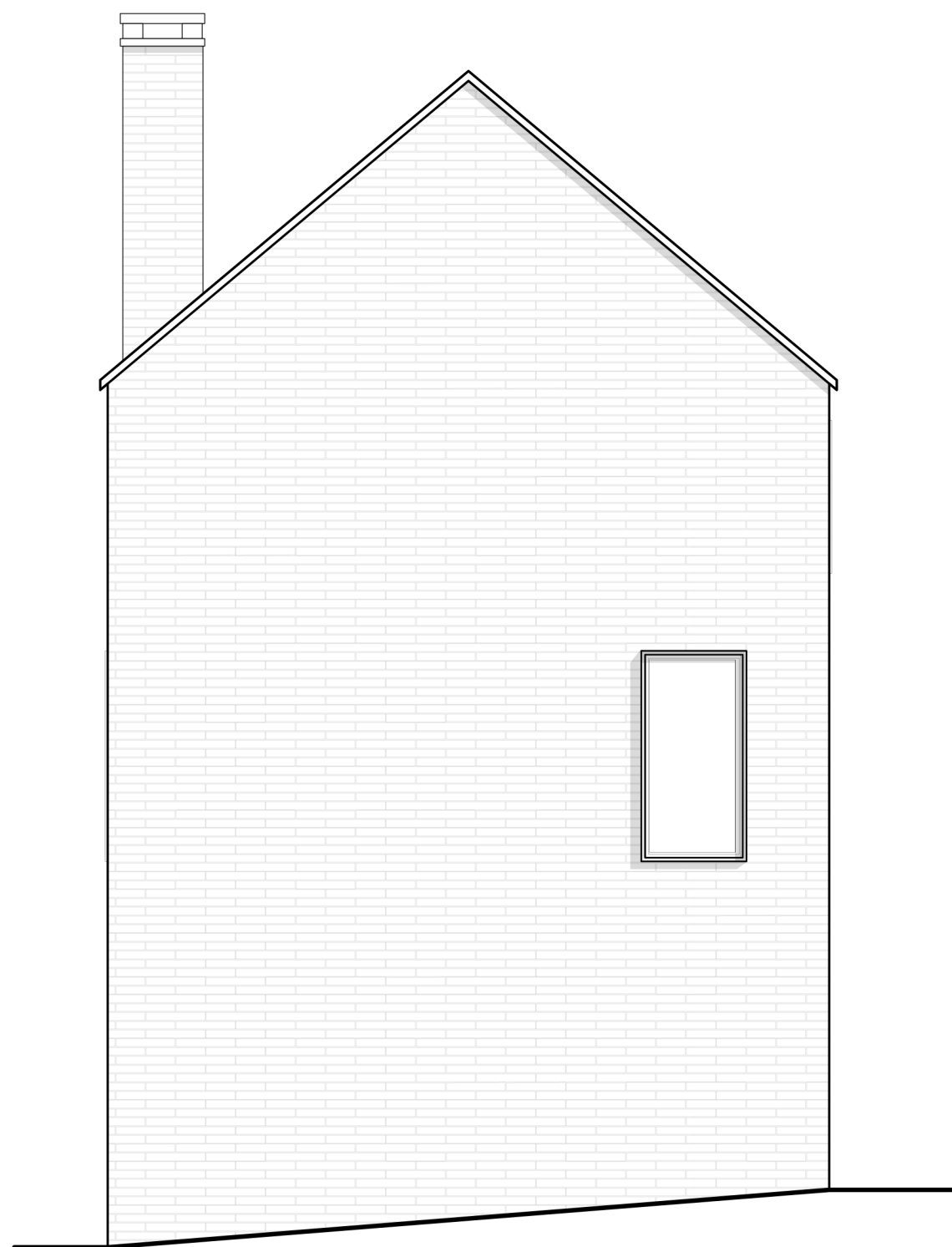




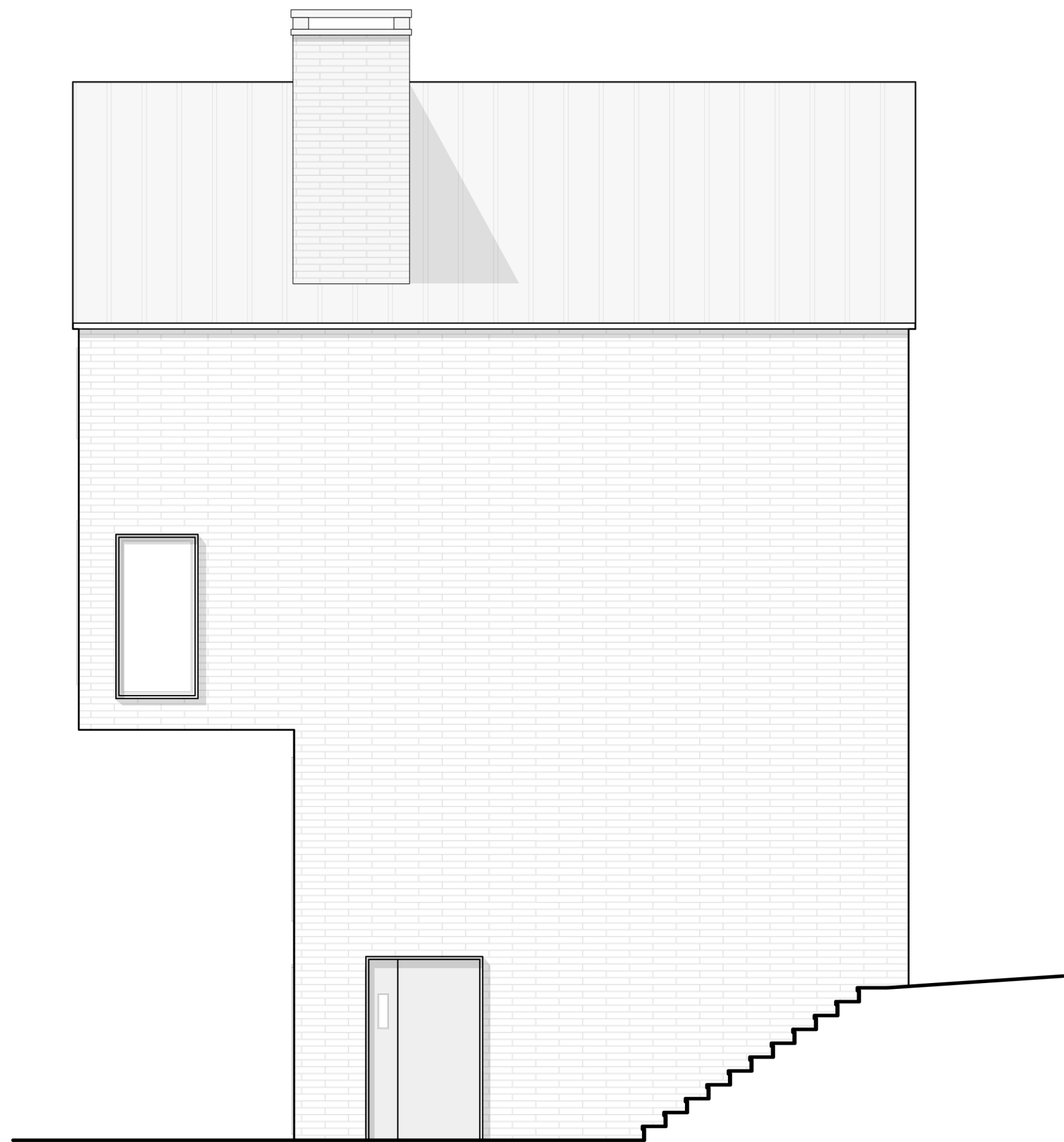




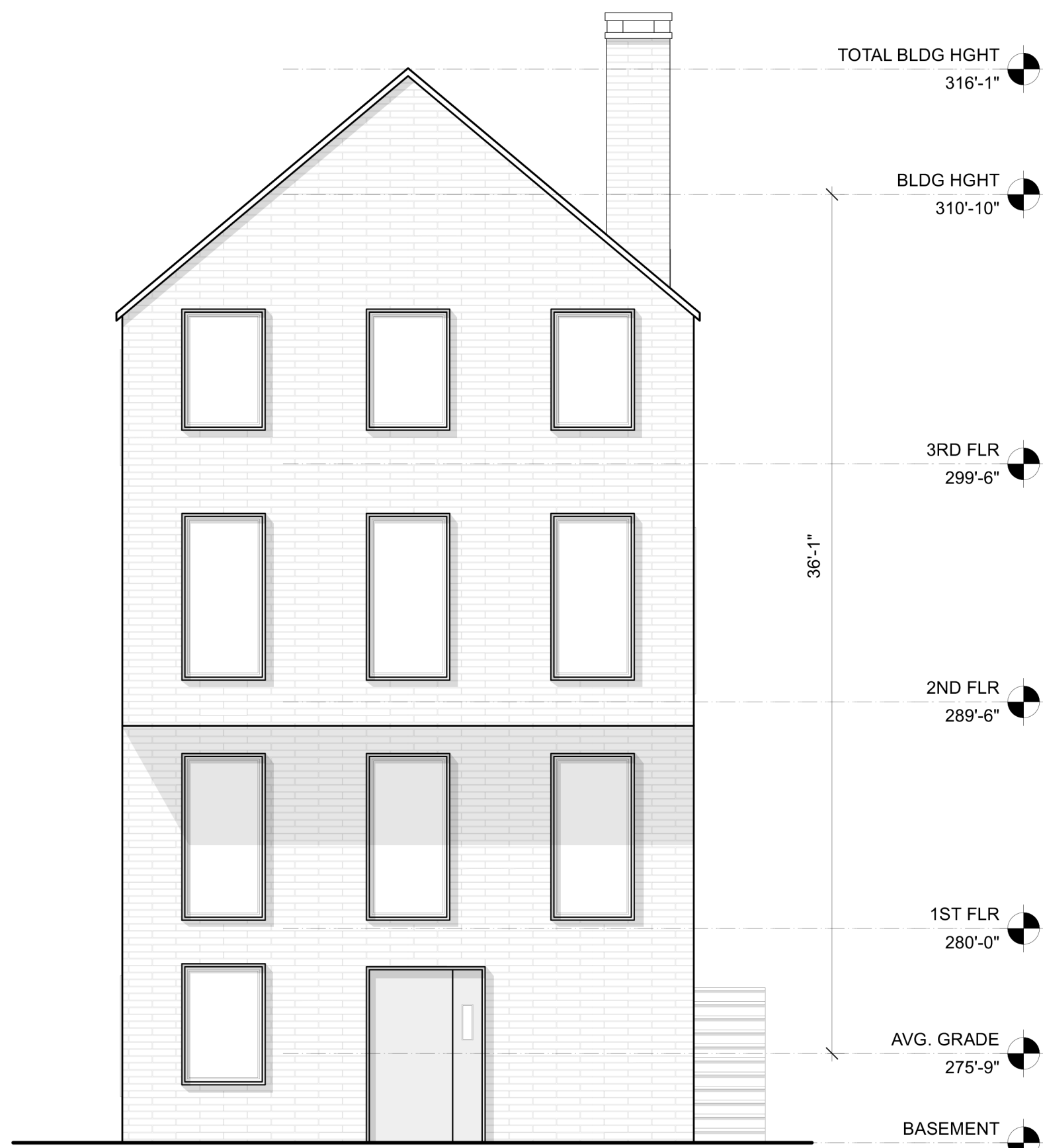
2 TH1 - SOUTH ELEVATION  
Scale: 3/16" = 1'-0"



1 TH1 - WEST ELEVATION  
Scale: 3/16" = 1'-0"



3 TH1 - NORTH ELEVATION  
Scale: 3/16" = 1'-0"



4 TH1 - EAST ELEVATION  
Scale: 3/16" = 1'-0"

PROJECT

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

SUBMITTING

No.	Date	FLZ	Description
	04/26/2022	FLZ	

DATE 04/26/2022

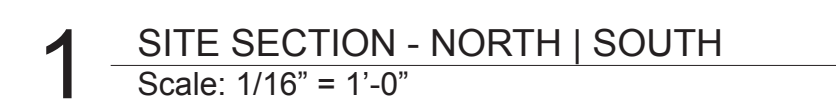
SCALE 3/16" = 1'-0"

DRAWING TH1 Exterior Elevations

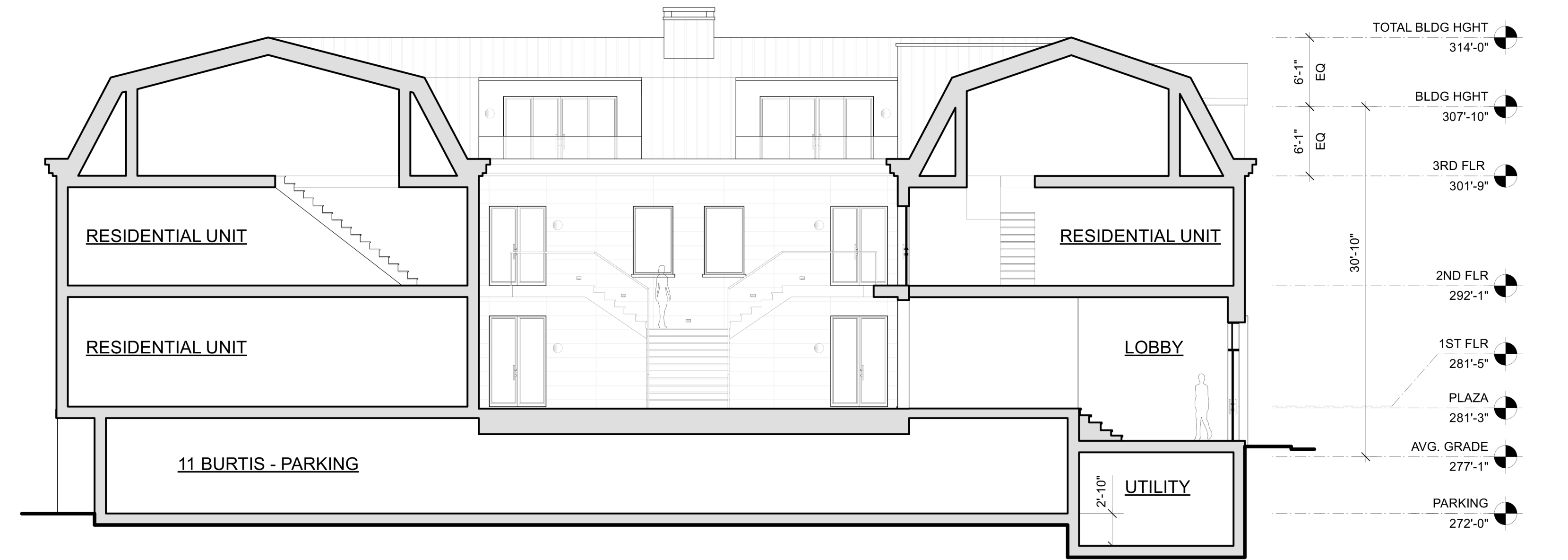
SHEET #

PZ-222

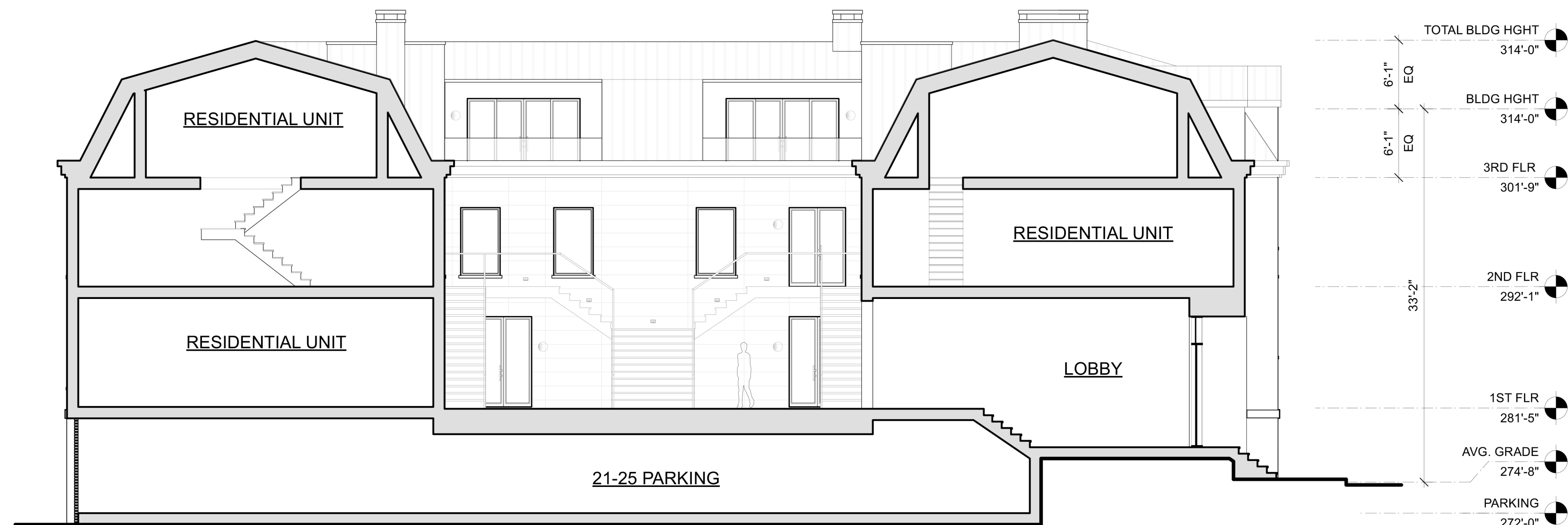




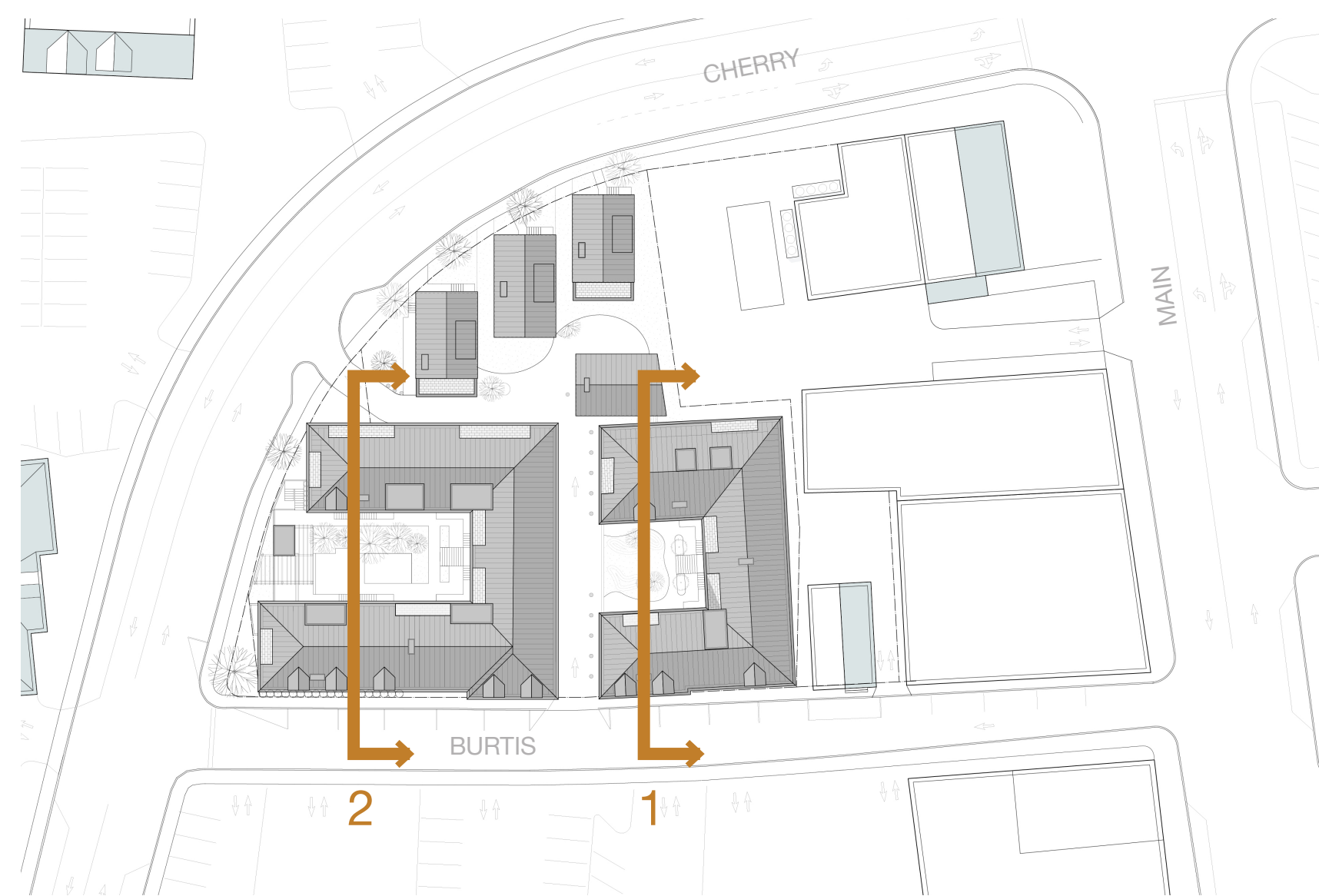




1 BUILDING SECTION - 11 BURTIS - PLAZA EAST  
Scale: 1/8" = 1'-0"



2 BUILDING SECTION - 21-25 BURTIS - PLAZA EAST  
Scale: 1/8" = 1'-0"



KEY PLAN

PROJECT  
**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER  
**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

SUBMISSIONS

04/26/2022 PLZ  
No. Date Description

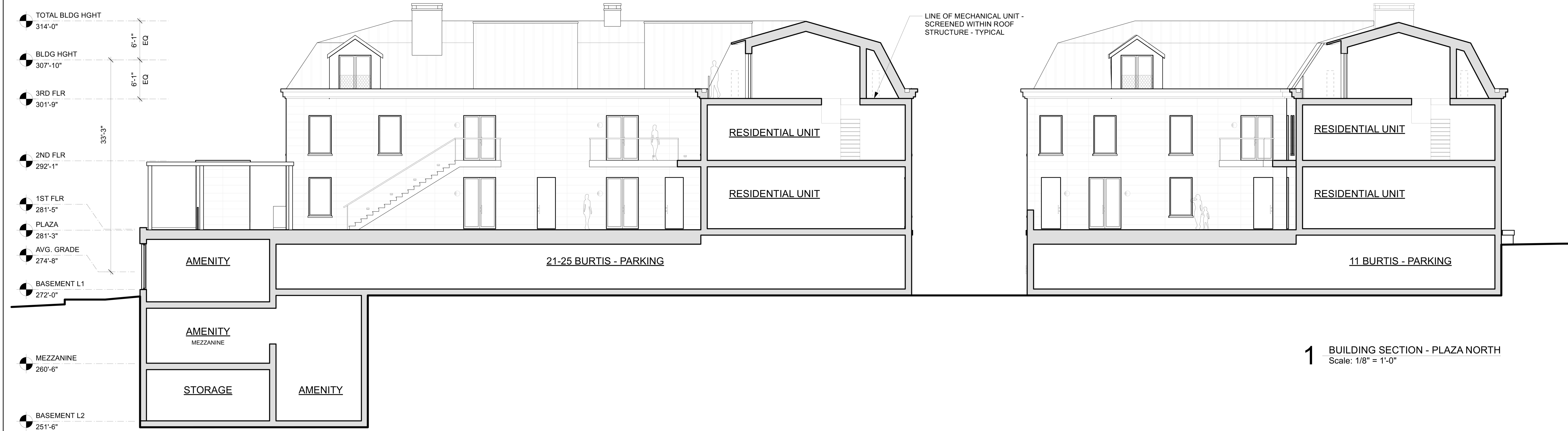
DATE  
04/26/2022

SCALE  
1/8" = 1'-0"

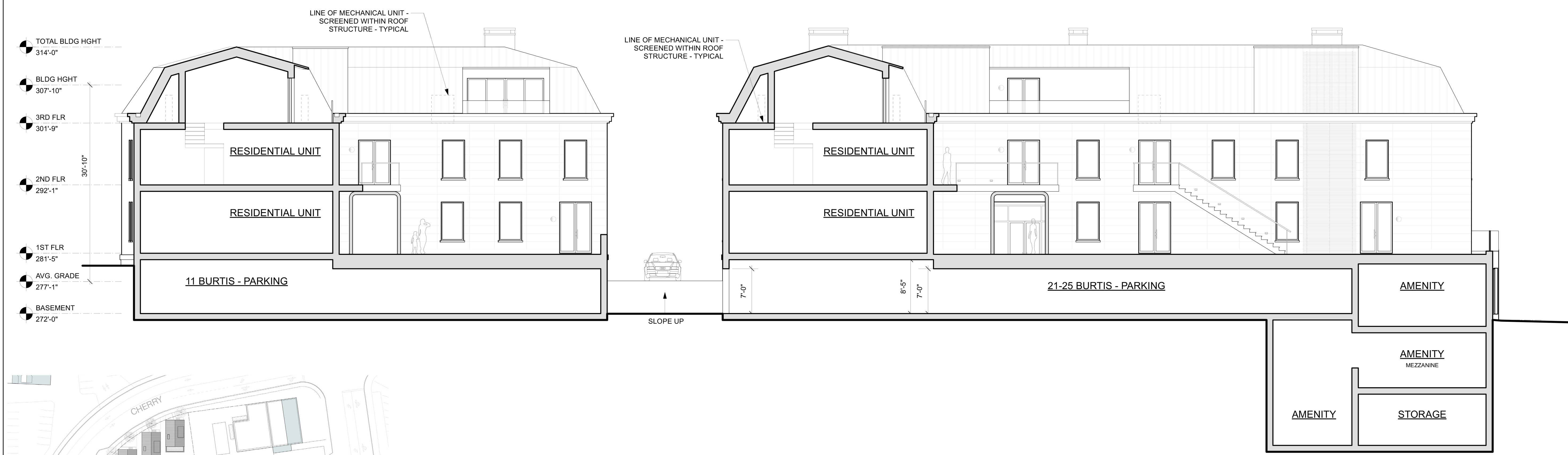
DRAWING  
Site Section - Plaza East

SHEET #

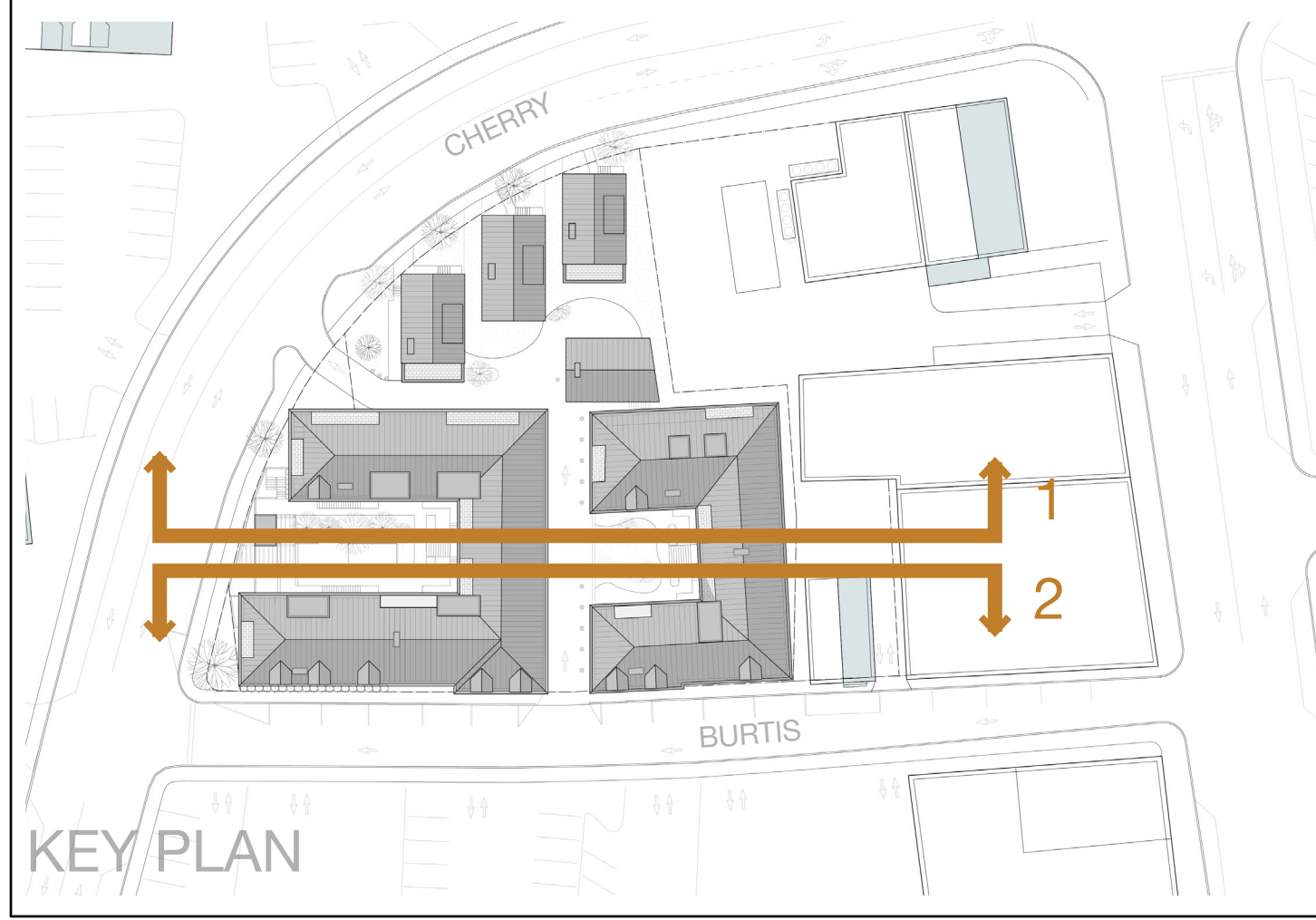




1 BUILDING SECTION - PLAZA NORTH  
Scale: 1/8" = 1'-0"

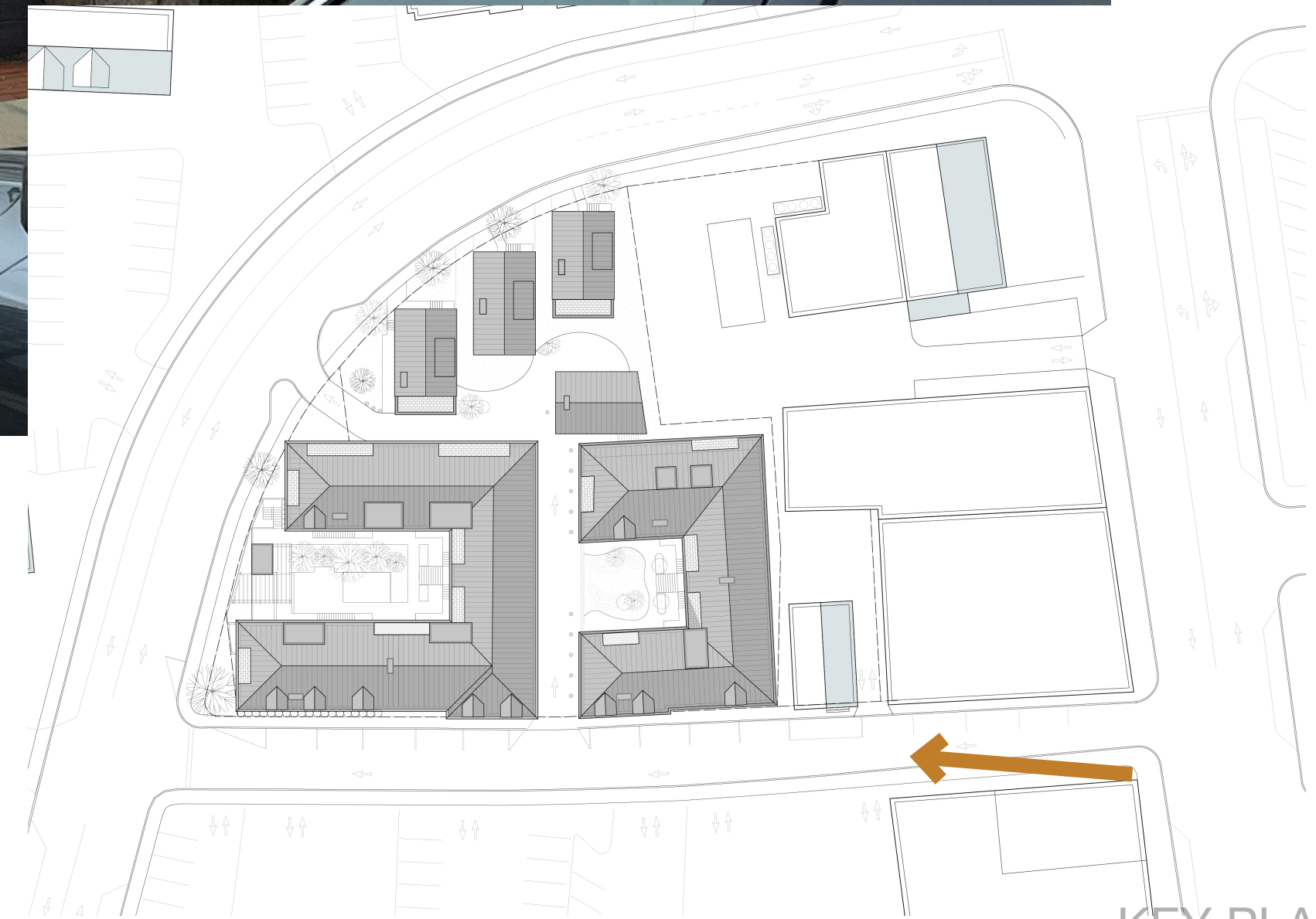


2 BUILDING SECTION - PLAZA SOUTH  
Scale: 1/8" = 1'-0"



KEY PLAN





## KEY PLAN





## PROPOSED VIEW FROM MAIN STREET

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26//2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## DRAWING

# Rendering

SHEET # \_\_\_\_\_

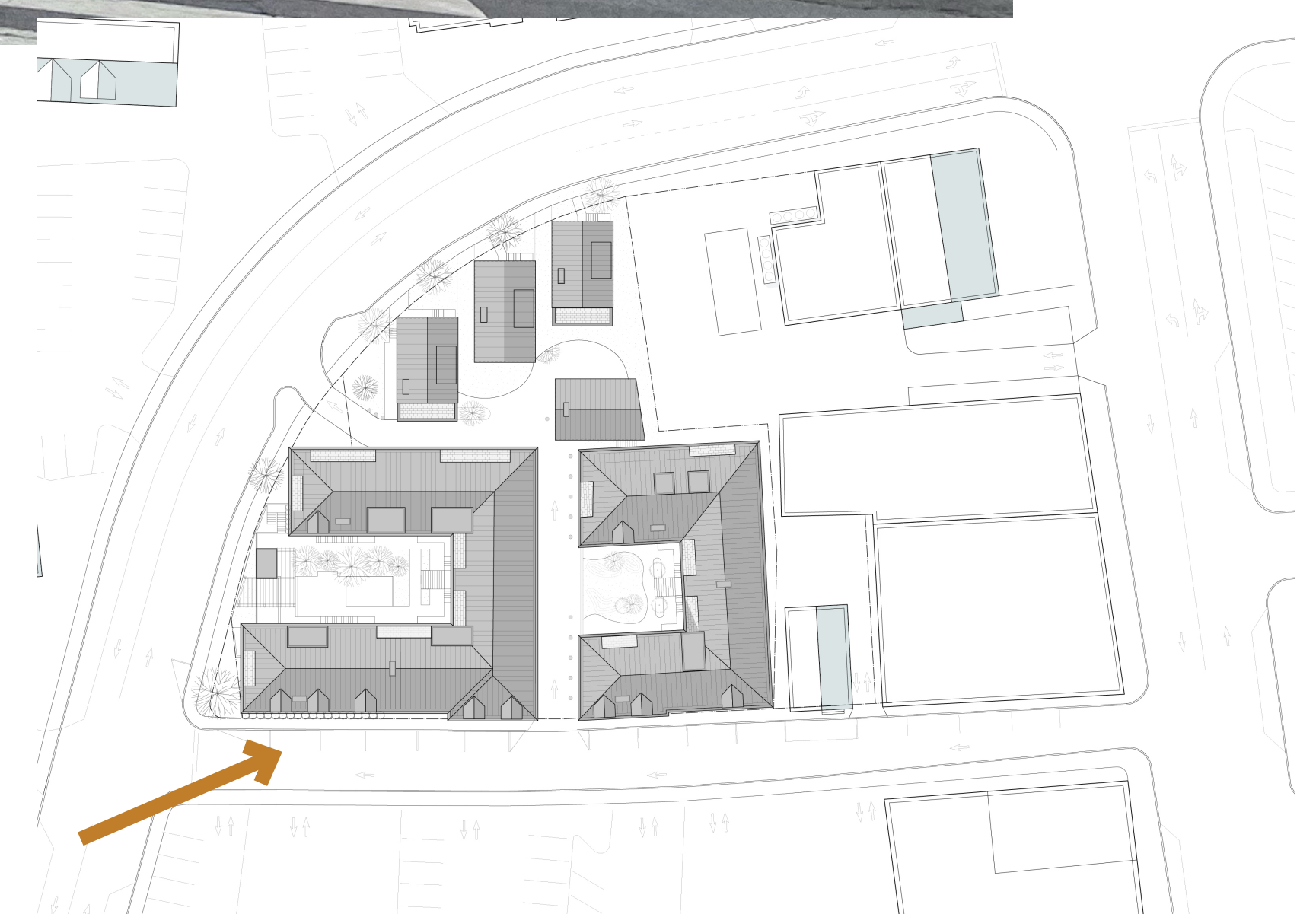
PZ-401

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## EXISTING VIEW FROM BURTIS + CHERRY



## KEY PLAN

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
1 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26/2022	P&Z

DATE \_\_\_\_\_

04/26/2022

SCALE

N.T.S.

DRAWING

## Rendering

SHEET #

PZ-402

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## PROPOSED VIEW FROM BURTIS + CHERRY

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26//2022	P&Z

DATE \_\_\_\_\_

04/26/2022

SCALE

N.T.S.

DRAWING

## Rendering

SHEET #

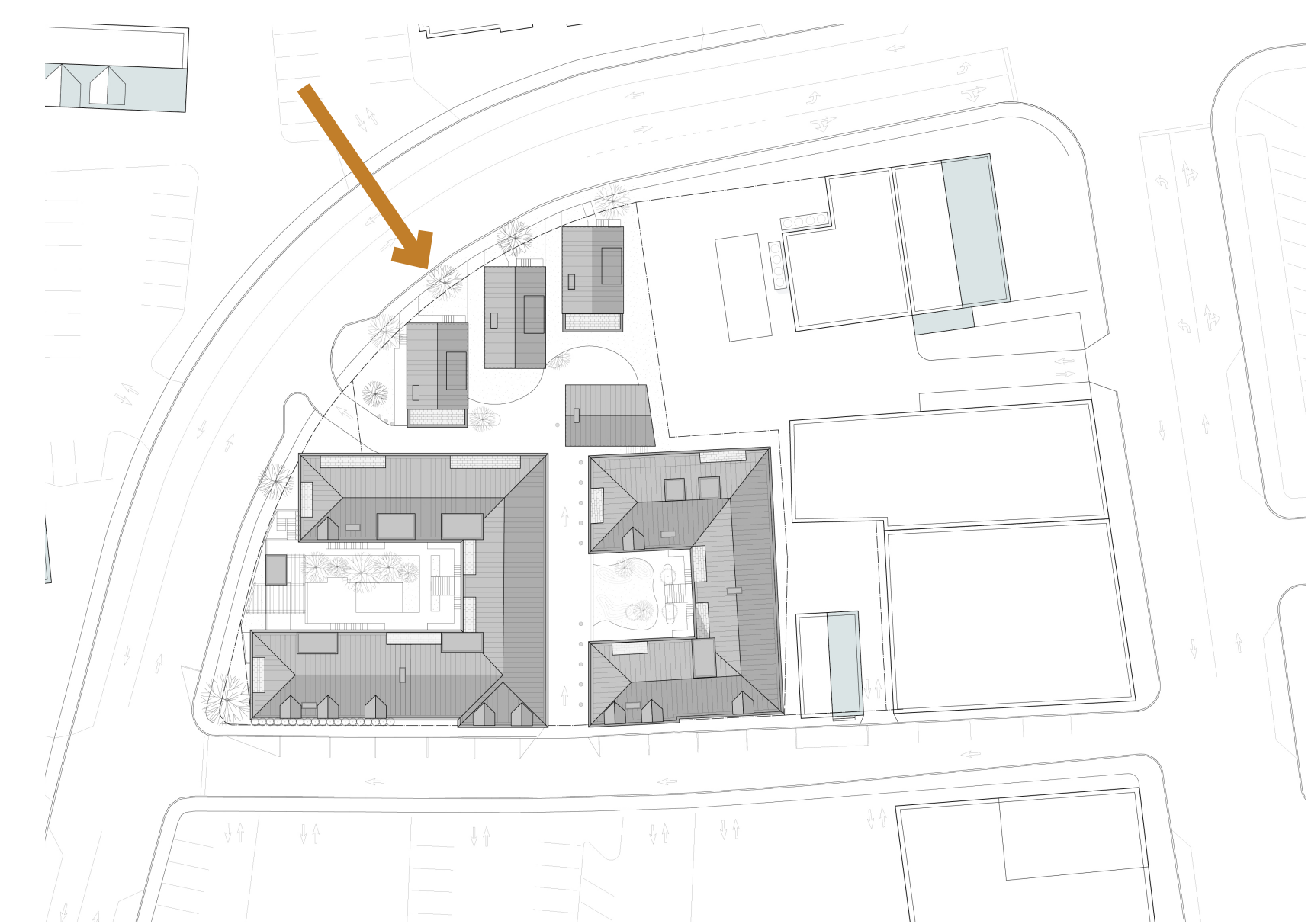
PZ-403

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## EXISTING VIEW FROM CHERRY STREET



## KEY PLAN

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26//2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## DRAWING

# Rendering

SHEET # \_\_\_\_\_

PZ-404

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## PROPOSED VIEW FROM CHERRY





PROJECT

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

## SUBMISSIONS:

No.	Date	Description
	04/26//2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## DRAWING

# Rendering

SHEET #

PZ-408

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## PROPOSED VIEW AT COURTYARD

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26/2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## DRAWING

# Rendering

SHEET #

PZ-409





## PROPOSED VIEW FROM ENTRY DRIVE AT BURTIS

PROJECT

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER:

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26/2022	P&Z

DATE 04/26/2022

SCALE

N.T.S.

## DRAWING

# Rendering

SHEET #

PZ-410

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## PROPOSED VIEW PLAZA AT 21-25 BURTIS

PROJECT:

**BURTIS AVENUE DEVELOPMENT**  
NEW CANAAN, CT

OWNER: \_\_\_\_\_

**VENTANA 1, LLC**  
11 BURTIS AVENUE, SUITE 24  
NEW CANAAN, CT 06840

**SUBMISSIONS:**

No.	Date	Description
	04/26//2022	P&Z

DATE \_\_\_\_\_

04/26/2022

SCALE

N.T.S.

DRAWING

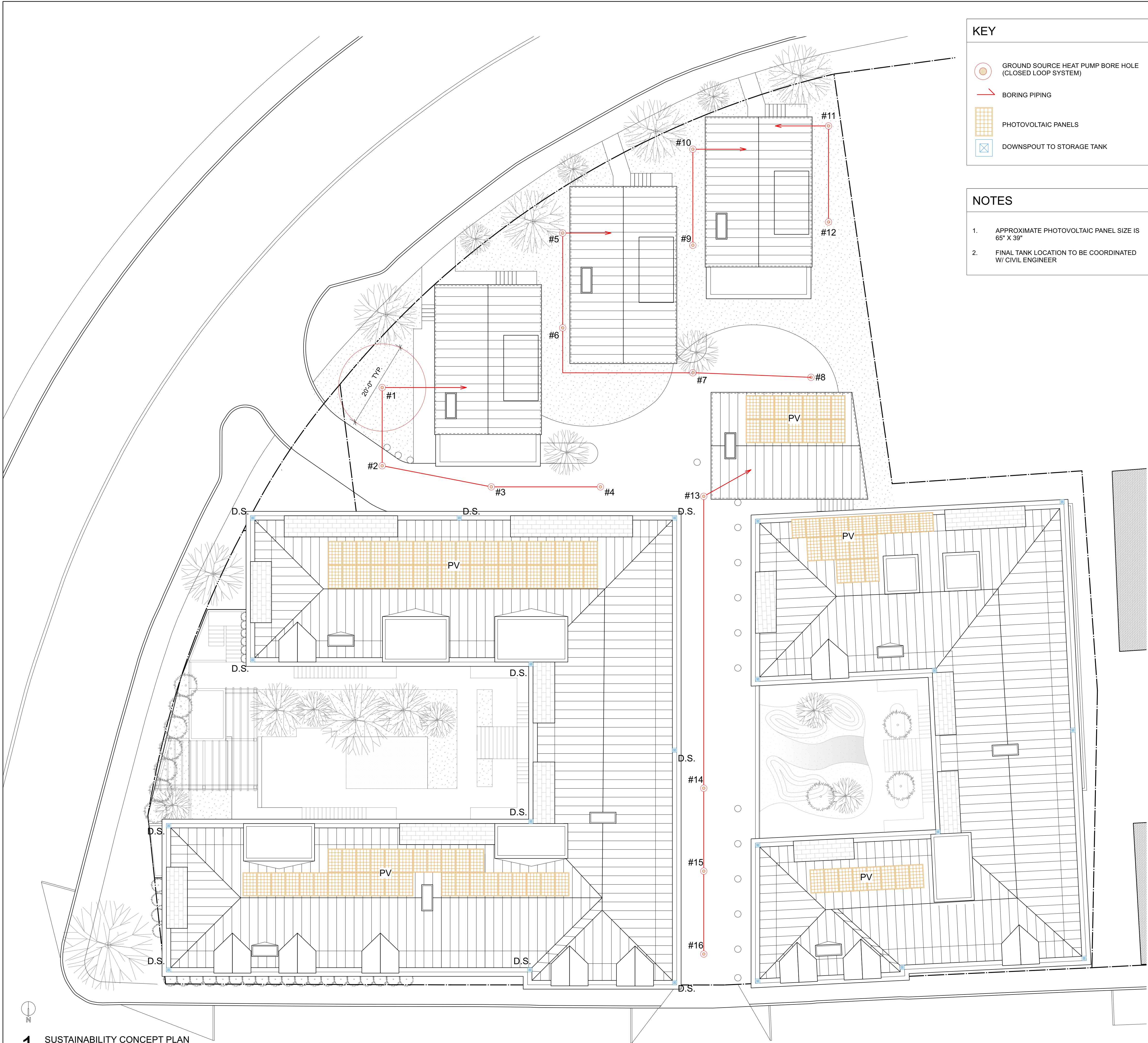
## Rendering

SHEET #

PZ-406

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**KEY**

GROUND SOURCE HEAT PUMP BORE HOLE  
(CLOSED LOOP SYSTEM)

BORING PIPING

PHOTOVOLTAIC PANELS

DOWNSPOUT TO STORAGE TANK

**NOTES**

1. APPROXIMATE PHOTOVOLTAIC PANEL SIZE IS  
65" X 39"

2. FINAL TANK LOCATION TO BE COORDINATED  
W/ CIVIL ENGINEER

PROPOSED SUSTAINABILITY CONCEPTS

Below is a description that highlights two major sustainability strategies that we are proposing for the new Burtis Avenue development. Each strategy is a part of a larger set of principles that promote conservation, stewardship and a healthy built environment.

1. CONSERVE AND PROTECT WATER RESOURCES

The objective of this principle is to reduce potable water demand as well as intelligently manage the onsite water resources (precipitation and runoff).

Conceptually, in order to meet the aim of this principle we need to address the flow of water resources onto and off of the development site. Water arriving on the site will come in two ways – potable water from the local water utility and precipitation that falls on and runs across the site. We estimate that roughly a 1/2-million gallons of precipitation fall on our development site each year. Based upon, EPA standard usage rates, we are also projecting that each occupant may use upwards of 45,000 gallons per year. All this water (precipitation and used municipal) would be discharged into the Town's storm water and sewer systems with a conventional development. To handle this volume of water, and to lessen burden on the Town's water systems, we are proposing a water harvesting system. According to the EPA, the rising temperatures and shifting rainfall patterns from climate change are likely to increase the intensity of both floods and droughts in Connecticut. In other words, the EPA predicts that climate change will make flooding worse during winter and spring, and droughts will be worse during summer and fall. For example in Connecticut, and the rest of the Northeast region, the average annual amount of precipitation has increased 10 percent from 1895 to 2011 and extremely heavy storms precipitation has increased 70 percent since 1958. Unfortunately, models predict that climate change's impact on water resources in Connecticut is going to increase over the next three decades. To address this challenge, we are proposing a rainwater capture system that will alleviate demand by lowering the potable water usage. It will also reduce stormwater runoff volume and will act as retention / discharge delay system in large storm events by holding a portion of site runoff for future use. The proposed system will capture runoff from the development's roofs and channel it into a series tanks distributed across the development. These tanks will have a capacity of 950 cubic feet (approximately 7,100 gallons) that can be diverted to non-contact uses such as irrigation and process loads for equipment.

2. SMALL CARBON FOOTPRINT

The objective of this principle is to minimize greenhouse gas emissions, which cause global warming.

To achieve the aspirations of this principle, we are proposing to build an all-electric development (with no on-site combustion) that utilizes onsite renewables for clean energy. In particular our renewable energy systems are:

**Geo-exchange**

Geo-exchange system is commonly called a ground-source-heat-pump. Geo-exchange refers to the heat transfer between a building and the ground in order to reduce the amount of energy used for conditioning interior spaces. Based upon the results of a thermal conductivity test, it is the goal of this development to connect each townhouse residence with ground source heat pump system. In the winter months, these heat pumps will extract heat from the ground and bring it into each residence. In southern Connecticut, the ground temperature below 48" is approximately 50" throughout the year. This means that to heat a home to 68" using the latent energy of the earth only needs an additional 18" of energy. As noted by Pembina Institute, geo-exchange systems are highly efficient and only use one unit of energy for every two to five units of free energy extracted from the ground. In the summer months, the systems work in reverse by rejecting heat into the ground, much like the condenser of an air conditioner transfers heat to the outside. The environmentally benefits of geo-exchange are not limited to energy efficiency, it also has no on-site combustion or emissions.

**Photovoltaic (PV)**

On September 3rd, 2019, Governor Ned Lamont, issued an executive order to regulators to draft a plan to reach 100% carbon-free electricity by 2040. Since then the State has been actively trying to increase renewable energy generation including photovoltaic systems. Today 57,468 PV installations provide 2.5% of Connecticut's electricity (Solar Energy Industries Association). These PV systems work by capturing energy from the sun and converting it into electrical power. The system requires solar panels to be set on the roof, facing southward. These panels produce direct current (DC) electricity that is converted into alternating current (AC) electricity by inverters; then the power is delivered back into the grid, offsetting on-site electrical use.

We are proposing to install photovoltaic approximately 100 solar panels on the roof of our development. We estimate these arrays will provide approximately 50,000-55,000 kWh of energy a year.