PLANNING COMMISION MINUTES

APRIL 19, 2022

CHELSEA MUNICIPAL BUILDING COUNCIL CHAMBERS

311 S. MAIN STREET, CHELSEA, MI

CALL TO ORDER

Chair Robinson called the meeting to order at 7:01pm.

Present: Claire Robinson (Chair), Vincent Elie (Vice Chair), Sarah Haselschwardt (Secretary), Julianne Chard, Marcia White, Jamie Lane, Cathy Scull, Heather Hunnell
Absent: Kyle Brayton
Others Present: Frank Martin, Jerry Olenik, Mark Heydlauff, Scott McElrath (Dangerous Architects), Julia Upfal (Community Development Director), Kate Mehuron (City Council Liaison), and Rachel Kapolka (Assistant Clerk).

APPROVAL OF THE AGENDA

MOVED by Haselschwardt, SECONDED by Scull to approve the amended agenda to change the work session minutes from April 4, 2022 to April 5, 2022. All Ayes. Motion Carried.

APPROVAL OF MEETING MINUTES

MOVED by Elie, SECONDED by Lane to approve the meeting minutes from January 19, 2022. All Ayes. Motion Carried.

MOVED by Haselschwardt, SECONDED by Lane to approve the amended work session meeting minutes with the following corrections, the deletion of the sentence, "Commissioners were in support of the Park Street concept" and the addition of (2) sentences, 1). "Is it consistent with the Master Plan to change zoning from these properties to R3" and 2). "Development appears to face away from adjacent streets. Is this consistent with the master plan and contextual with the neighborhood?" All Ayes. Motion Carried.

PUBLIC COMMENT

Several neighbors/residents expressed concerns for the Park Street concept noting property values, safety, noise, and aesthetics.

Rob Riemenschneider (Riemco) spoke on the history of the home and its ownership. He stated that what was presented was not a plan and an application has not been submitted. He welcomed a discussion with neighbors on concerns and ideas and is planning a public forum.

PUBLIC HEARING

1. Special Land Use Permit – Culver's (Accessory Structures)
   - Chair Robinson opened the public hearing. There were no comments. Chair Robinson closed the public hearing.

OLD BUSINESS

None

NEW BUSINESS

1. Special Land Use Permit & Site Plan Amendment – Culver's Restaurant
   - Staff Report – Julia Upfal
     - Reviewed items in staff report
     - Culver's to add (2) accessory structures as order booths
     - Improve efficiencies with the drive thru there
     - The cover sheet should be labeled as a Site Plan Amendment
     - Lot coverage continues to be compliant
     - Materials match existing building
   - Frank Martin / Jerry Olenik (Culver's)
     - Sensitive to materials, design and landscaping
     - Have been welcomed with open arms
     - Face to face drive thru will help with congestion and provide for a smoother flow

MOVED by Lane, SECONDED by White to approve the Special Land Use Permit and Site Plan Amendment for the addition of two 32 sq. ft accessory structures located at Culver's at 1610 S. Main St. contingent on all items in the staff report being addressed. All Ayes. Motion Carried

2. Combined preliminary and final site plan – Heydlauff's expansion
   - Staff Report – Julia Upfal
     - Reviewed items in staff report
     - Extension of existing showroom space
     - Extends through 107, 109 and 113 Main Street
     - PC to review request for reduction in first floor rear façade windows
   - Mark Heydlauff – Heydlauff's Appliances
     - 107 N. Main Street – future opportunity for expansion to the showroom
     - 1,000 sq. ft of retail store front show space
     - Design stand point – extend awning, new handicap entrance, brick color will match existing
     - Plan is to have it look like one building – windows will match
     - Reviewed new entrance details on floor plan with commissioners

Discussed elevation of awning, storefront building materials on both buildings, window panels. The slope of the sidewalk and possibly lowering the window sills was also discussed.

Commissioners reviewed Section 5.06 of the ordinance - Architectural Standards for Existing Uses – Section A4 and Section B regarding alignment and windows. Commissioner Haselschwardt noted language in this section that calls for trying to maintain the historic nature as much as possible and discussed the architectural features of the windows at the rear of the building.

Upfal indicated a note regarding the specific materials/colors for the rear of the building will need to be submitted.

MOVED by Haselschwardt, SECONDED by White to approve the combined preliminary and final site plan for the expansion of Heydlauff's, located at 107, 107.5, 109 and 113 N. Main Street contingent on all items in the staff report being addressed with the following additional waivers to be finalized with admin staff, 1). front facade glass area to be reduced as necessary due to structural infeasibility. 2). Allow less glass area at rear west elevation to be in proportion with the historic windows on the adjacent facades. 3). Allow awning slope that matches adjacent awning at 109, which is different than the requirement in the zoning ordinance. Staff to review finishes at rear of building. All Ayes. Motion Carried.

DISCUSSION

- Staff Report - Upfal
  - Upcoming Agenda Items
    1). Westchester
    2). Livengood Properties, LLC – new building in industrial park (610 E. Industrial)
    3). Stafford Rezoning – from mobile to residential (Cavanaugh Lake property)
    4). Lincoln Pointe – 25 houses on Machnik Drive
  - Local Updates
    - City Manager search is ongoing
    - Main Street Park Alliance – proposal to be submitted to redevelop Federal Screw
    - Community Center Task Force – potential community center. There is a current survey on the City's website
    - Starbucks is under construction
- Commissioner Reports
  - ZBA – Cavanaugh Lake property rezoning
  - Transportation Working Group – WATS to appoint (2) new representatives.

ADJOURNMENT

MOVED by Elie, SECONDED by White to adjourn the meeting. All Ayes. Motion Carried

Meeting adjourned at 8:55 p.m.

Respectfully Submitted,

Rachel Kapolka

Rachel Kapolka

Assistant Clerk

City of Chelsea Planning Commission

AGENDA

Tuesday, April 19, 2022 at 7:00 PM
Chelsea City Council Chambers
311 S. Main Street
Remote option available for members of the public, commissioners must attend in person.

1. Call To Order
2. Approval of the Agenda
3. Approval of the Meeting Minutes
    a. Approval of the meeting minutes for January 19, 2022
    b. Approval of the work session minutes for ~~April 4, 2022~~ April 5, 2022
4. Public Comment
5. Public Hearing
    a. Special Land Use Permit- Culvers (Accessory Structures)
6. Old Business
7. New Business
    a. Special Land Use Permit & Site Plan Amendment- Culvers
    b. Combined preliminary and final site plan- Heydlauff's expansion
8. Discussion
    a. Staff Report
        i. Upcoming Agenda Items
            1. Westchester
            2. Livengood Properties, LLC (610 E. Industrial Dr)
            3. Stafford Rezoning
            4. Lincoln Pointe
        ii. Local Updates
    b. Commissioner Reports
9. Adjournment

Zoom Information:

Topic: Planning Commission
Time: Apr 19, 2022 07:00 PM America/Detroit

Join Zoom Meeting
https://us02web.zoom.us/j/83564283855?pwd=RG1MQ0xxdHVwRzRkMHhIbU1OV01JZz09

Meeting ID: 835 6428 3855
Passcode: 115598
One tap mobile
+13017158592,,83564283855#,,,,*115598# US (Washington DC)
+13126266799,,83564283855#,,,,*115598# US (Chicago)

PLANNING COMMISION MINUTES

JANUARY 19, 2022

CHELSEA MUNICIPAL BUILDING COUNCIL CHAMBERS

311 S. MAIN STREET, CHELSEA, MI

CALL TO ORDER

Chair Robinson called the meeting to order at 7:00pm.

Present: Claire Robinson (Chair), Vincent Elie (Vice Chair), Sarah Haselschwardt (Secretary), Julianne Chard, Kyle Brayton, Marcia White, Jamie Lane, Cathy Scull, Heather Hunnell
Absent: None
Others Present: Julie Konkle (FarmSudz), Mark Konkle (FarmSudz), Amy Collins (Collins Off Main), Scott McElrath (Dangerous Architects), Julia Upfal (Community Development Director) and Rachel Kapolka (Assistant Clerk).

APPROVAL OF THE AGENDA

MOVED by Elie, SECONDED by White to approve the agenda for January 19, 2022. All Ayes. Motion Carried.

APPROVAL OF MEETING MINUTES

MOVED by Elie, SECONDED by Chard to approve the meeting minutes from December 21, 2021. All Ayes. Motion Carried.

MOVED by Elie, SECONDED by White to approve the work session meeting minutes with the corrections that commissioner Hunnell was present and the meeting was hybrid from January 4, 2022. All Ayes. Motion Carried.

PUBLIC COMMENT

1. Kate Mehuron introduced herself as the new City Council Liaison.

PUBLIC HEARING

1. Special Land Use Permit – FarmSudz
   - Chair Robinson opened the public hearing. There was one comment from resident, Scott Pacheco in support. Chair Robinson closed the public hearing.
2. Special Land Use Permit – Collins Off Main
   - Chair Robinson opened the public hearing. There was one comment from resident, Scott Pacheco expressing concerns regarding hours of operation and vitality of the retail and

restaurant uses. Mr. Pacheco commended the applicant on the support of local businesses in the area. Chair Robinson closed the public hearing.

OLD BUSINESS

None

NEW BUSINESS

1. Special Land Use Permit – FarmSudz
    - Staff Report – Julia Upfal
        - Existing business
        - Current building issues
        - Provide a Main Street opportunity
        - No complaints/nuisance reports received
    - Julie Konkle – FarmSudz
        - Currently below Chelsea Print & Graphics
        - Outgrowing current space
        - More walking traffic on Main Street
        - Soap production in Jackson. Balms and lotions in Chelsea
        - Standard kitchen appliances for equipment
    - Commissioner Chard inquired on the current growth and expressed support for another retail business.
    - Mark Konkle – FarmSudz
        - Increase of 110% per year
        - Growing market & more employment opportunities
    - Discussion on the percentage of space for production – no more than 30% of total space for production – reviewed floor plan
    - Chair Robinson reviewed Section 11.06 - Standards for Review with commissioners.

MOVED by Haselschwardt, SECONDED by Scull to approve with the condition that a maximum of 30% of the space will be used for manufacturing as indicated in the application, the Special Use Permit request from FarmSudz to establish a small maker/artisan space. All Ayes. Motion Carried.

2. Special Land Use Permit – Collins Off Main
    - Staff Report – Julia Upfal
        - Current business – other side of building
        - Create separate space for ceremony and reception
        - Parking and noise consideration – no complaints received
        - Hours of operation and economic development for PC to discuss.
    - Amy Collins – Collins Off Main
        - Growing – 57 contracts for 2022
        - Ceremony and reception in separate space
        - Allows for winter weddings
        - Accommodate smaller events
        - Used for cocktail hour off season
        - Utilize parking lot near fire station
        - Collaborations with local businesses

Discussion on occupant capacity, parking and noise ordinance for both new and existing buildings.

Upfal noted that the zoning ordinance has standards for new construction and standards for redevelopments.

- Cannot make a façade for a redevelopment less conforming but can maintain in its current condition.
- Rear structure is required for ADA compliance – floor elevations submitted
- Scott McElrath – Dangerous Architects
    - Discussed details and proposed materials for barrier free access

Commissioner Haselschwardt referenced the materials section in the ordinance. Some concern was expressed in the materials and keeping with the consistency and character of downtown.

Discussion on barrier free ramp and compliance on both sides of the building.

Chair Robinson reviewed The Standards for Review with commissioners.

- Discussion on item B:
    - Hours of operation, design details for store front, downtown vitality, recognition of local business support
- Discussion on item D:
    - Design standards for downtown district – match historical intent of building
    - Article 5 of ordinance - materials list
    - Upfal looking for clarity from planning commission on compatibility standards with existing uses and historical character

MOVED by Brayton, SECONDED by Elie to approve the Special Land Use Permit request from Collins Off Main to establish a small maker/artisan space at 107 S Main Street with the condition that the exterior building application utilizes building materials in Article 5 of the City of Chelsea Ordinance while generally consistent with the historical character of downtown. 8 Ayes. 1 Nay. Motion Carried.

DISCUSSION

- Staff Report - Upfal
    - City Manager, John Hanifan is retiring effective January 31st.
    - No items for the next meeting currently
- Commissioner Reports – none

ADJOURNMENT

MOVED by White, SECONDED by Elie to adjourn the meeting. All Ayes. Motion Carried.

Meeting adjourned at 8:56 p.m.

Respectfully Submitted,

Rachel Kapolka

Assistant Clerk

PLANNING COMMISSION WORK SESSION MINUTES

APRIL 5, 2022

CHELSEA MUNICIPAL BUILDING COUNCIL CHAMBERS

311 S. MAIN STREET, CHELSEA, MI

Names of those Present: Claire Robinson (Chair), Vincent Elie (Vice-Chair), Sarah Haselschwardt (Secretary), Cathy Scull (virtual), Kyle Brayton, Marcia White, Jamie Lane, Julianne Chard, Heather Hunnell

Members Absent: none

Others Present: Peter Shaw (Riemco), Rob Riemenschneider (Riemco), Kate Mehuron (City Council Liaison), Julia Upfal (Community Development Director), Rachel Kapolka (Assistant Clerk)

Chair Robinson called the work session to order at 7:00 pm.

Public Comment:

None

Park Street Proposal (Riemco):

- Presentation – Peter Shaw
  - History of current home
  - Reviewed goals and points of interest
    - Address “missing middle” housing.
    - Discussed unit sizes and density – 8 units with outdoor communal space to replicate the front porch feel.
    - Green Building and Sustainable Design – stormwater management, green walkable areas, small gardens.
    - Use of Local Vernacular & Site Integration – setbacks, neighborhood scale.
    - Multi-Generational Walkable Townhomes – inclusive site circulations, accessible living and floor plans
    - Parking - underground
- Ms. Upfal noted that waivers for setbacks would require support letters from neighbors.
- Commissioners were in support of the Park Street concept. There was discussion on preserving some of the historical features, creating a welcoming entrance, a pedestrian walkway, possible courtyard and underground parking. Commissioners also discussed

seeing the front of units echo a front porch when facing Park and East Street.

- Concerns that were discussed:
  - Density – a lot packed into the space
  - Size and number of units

Work Session adjourned at 8:46 pm.

Respectfully Submitted,

Rachel Kapolka (Assistant Clerk)

CITY OF CHELSEA

To: City of Chelsea Planning Commission
From: Julia Upfal, Community Development Director, City of Chelsea
Subject: Combined Preliminary and Final Site Plan- Heydlauff's Expansion
Date: April 16, 2022

This letter is to provide feedback on the 4 plan sheets and 5 architectural plan sheets submitted to the City of Chelsea for the expansion of Heydlauff's showroom, including a 592 SF building addition, located at 107, 107.5, 109, and 113 N. Main Street, Chelsea, Michigan 48118. The Planning Commission shall review these plans with consideration of the following comments from the Planning and Zoning Administrator.

1. This application was submitted as a combined preliminary/final site plan, consistent with Article 12.05. The applicant should be aware that the submittal of combined plans was done at the applicant's discretion and risk. The Planning Commission has the authority to require submission of a preliminary site plan separate from a final site plan where the complexity and/or size of the development warrants additional consideration.
2. The building located at 113 N. Main St. encroaches on property owned by a separate entity, Chelsea Milling Company. The applicant submitted a Letter of Authorization from Chelsea Milling Company which granted authorization to proceed with planning commission review.
3. On Sheet A2, the applicant includes a waiver request for a reduction in first floor rear façade windows. The Planning Commission shall review this request, consistent with Article 5.03.
4. The Planning Commission shall provide feedback the proposed architectural features and their compatibility with the existing building (awning, staircase) (5.07 F-12)
5. On Sheet A2, the applicant should include a note which explains whether new brick will match existing, consistent with Article 5.06 A-2 "Unified Storefront Design."
6. The proposed use requires loading and unloading. The applicant included a description of the loading and unloading in their previous response letter which is provided in this packet (see response comment 12). The applicant should submit this loading and

unloading plan separately as an independent document as a condition of the final site plan approval. The city requested the applicant explain their current loading and unloading plan, including the times loading/unloading takes place, and the applicant did not include this information in the response. The applicant should be prepared to describe their loading and unloading process to the Planning Commission. Furthermore, the final submission of the loading/ unloading plan to the city should include the delivery times. Chelsea Milling has included in their letter permission for Heydlauff's to retain access to the rear loading dock behind 113 N. Main St.

7. Soil Erosion and Sedimentation Control Plan must be approved by the Chelsea Area Construction Agency as a condition of approval
8. A final review by the Chelsea Area Fire Authority is required as a condition of Final Site Plan Approval

Attachments

1. Combined Preliminary and Final Site Plan- Heydlauff's Expansion
2. Letter from Chelsea Milling
3. Article 5- Form Based Standards
4. Dangerous Architects Response Letter

Recommended form of motion:

Motion to approve/deny the combined preliminary and final site plan for the expansion of Heydlauff's, located at 107, 107.5, 109, and 113 N. Main St. contingent on all items in the staff report being addressed

Julia Upfal
Community Development Director
City of Chelsea

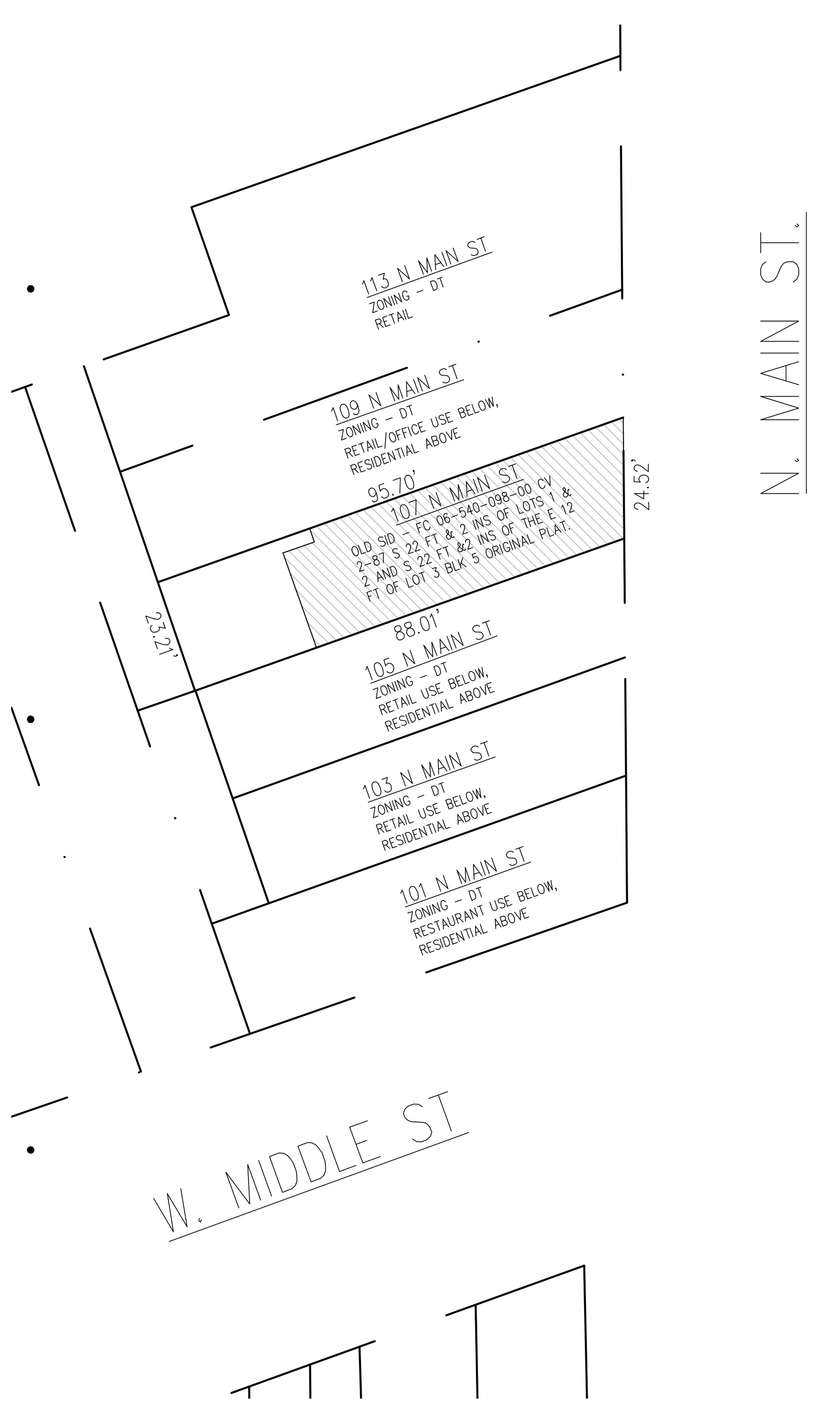
COMBINED PRELIMINARY AND FINAL SITE PLAN

PROJECT NARRATIVE:

HEYDLAUFF APPLIANCES WOULD LIKE TO EXTEND THEIR SHOWROOM AND OFFICE CAPABILITIES INTO THE NEIGHBORING BUILDING WITH TWO NEW PORTALS, A BUILDOUT, AND BUILDING AN ADDITION. THE NEW WORK ALSO PROVIDES ADA ACCESS TO BOTH 107 AND 109 N. MAIN ST. THE SECOND FLOOR BUILDOUT CONVERTS 107½ FROM ITS ORIGINAL USE AS OFFICE SPACE TO A NEW APARTMENT. THE NEW WORK WILL ALSO ALLOW 107 AND 109 TO FUNCTION AS "ONE" BUILDING IN THE FUTURE WITH DIRECT ACCESS TO BOTH SECOND FLOOR APARTMENTS (107½ and 109½) VIA ONE STAIRWAY.

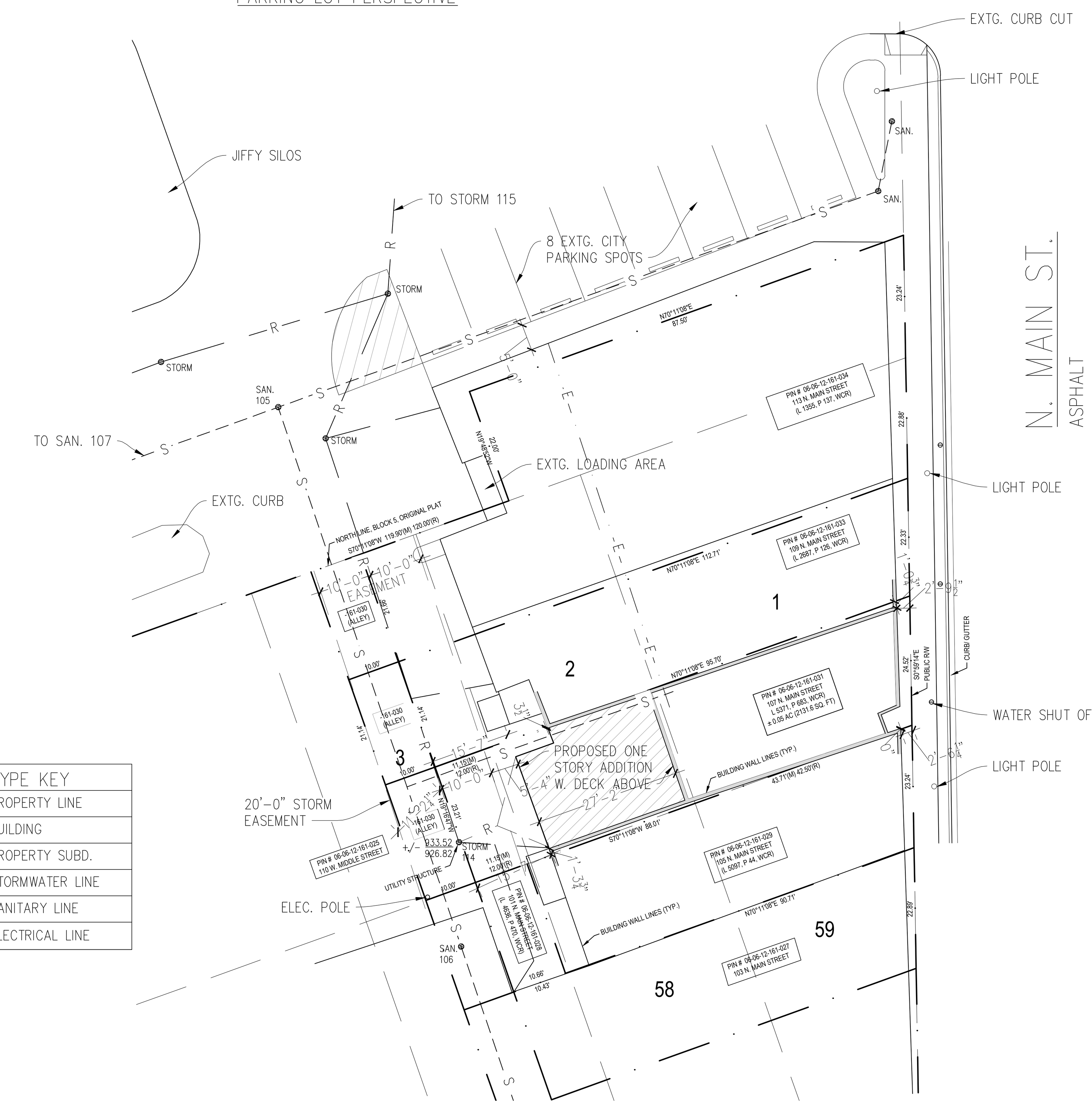
MAIN STREET PERSPECTIVE

PARKING LOT PERSPECTIVE



01/T1 VICINITY MAP
SCALE: 1/32" = 1'–0"
HEYDLAUFF

LINE TYPE KEY	
— · —	PROPERTY LINE
———	BUILDING
— —	PROPERTY SUBD.
— ·R· —	STORMWATER LINE
·S– – –S·	SANITARY LINE
–·–·E·–·–	ELECTRICAL LINE



02/T1 PRELIMINARY/FINAL SITE PLAN
SCALE: 1"=20'–0"
HEYDLAUFF

NOTES:
1. FOR SITE SURVEY, SEE SHEET S1.
2. FOR UTILITIES PLAN, SEE SHEET A4.
3. FOR SITE STORMWATER PLAN, SEE SHEET A5.

COMBINED PRELIMINARY AND FINAL SITE PLAN REVIEW CHECKLIST:

GENERAL INFORMATION	
Scale (not greater than 1"=20', not less than 1"=200')	Site Plan is provided at 1 inch equals 20 feet scale.
North Arrow	See titleblock.
Name of Owner (Including Owner's consent for site approval)	Heydlauff Management, Ltd.
Name of Developer	Heydlauff Management, Ltd.
Name of ARCHITECT	Dangerous Architects, PC
Date on Each Sheet	See titleblock.
SITE INFORMATION	
Legal Description	See Vicinity Map
Boundary Dimensions (Include bearings if description is meters & bounds)	See Vicinity Map
Lot Area	8373.3 SF (Combined Total)
Existing Topography (2 foot)	See Survey, Sheet S1 and Sheet A3
Existing Natural Features (e.g. trees, streams, marshes)	None
Concerning Adjacent properties (identity, use, zoning, location of structures, location of entries/exits)	See Vicinity Map and Site Plan this sheet
Vicinity Map	See Vicinity Map this sheet
Location/ size of open/recreation areas	None
Location/ size of landscaped areas	None
Existing Deed Restrictions	None
ZONING COMPLIANCE	
Current Use	Mixed–Use Commercial & Professional Office
Intended Use	Mixed–Use Commercial & Residential
Lot Area	2131.6 SF (107 N. Main)
Lot Width	24.52'
Front Yard Setback Required Front Yard Setback Existing/New	0 FT. 2'–6¼"
Side Yard Setback Required South Side Setback Existing/New North Side Setback Existing/New	0 FT. 0 FT. 0'–3½"
Rear Yard Setback Required Rear Yard Setback Existing Rear Yard Setback New	0 FT. 42.5 FT. 15'–7"
Height of Existing Structures	~29'
Maximum Lot Coverage Required Lot Coverage Existing Lot Coverage New	100% 1013/2131.6 = 47.52% 1605/2131.6 = 75.29%
Maximum Impervious Coverage Required	100%
Existing/New Impervious Coverage	100%
Transition Strip	No Requirements
Off–Street Parking	No Requirements
Off–Street Loading	No Requirements
EXISTING IMPROVEMENTS ON SITE	
Buildings/ Structures:	1036 SF (6757 SF Combined)
Streets/Drives	N. Main St.
Parking Areas	None
Loading Areas	None
Entries/Exits	Main St. Entry, Rear Entry
Utilities, including poles	See Site Plan
Adjacent Streets	W. MIDDLE, See Vicinity Map
Utilities Serving Site	See Site Plan
Easements– Location, size, purpose	See Site Plan
Existing improvements to be removed	See Sheet EX1 and EX2
PROPOSED IMPROVEMENTS	
Buildings/Structures	New 588 SF Addition – 1624 SF Total (7345 SF Combined)
Streets/Drives	None
Parking Areas	None
Loading Areas	None
Entries/ Exits	New Main Street Barrier Free Entry
Sidewalks/ Pedestrian Ways	Existing
Preliminary Building Design per Standards	See A1
Open Areas/ Spaces	None
Fencing and Walls	New pre fin. metal railing at deck
Landscaping– Plant Materials	None
Proposed Utilities Serving Site	See 01/A4
Storm Drainage Utilities	(2) New downspouts and gutters, routed underground, Sheet A4
Natural Features. Trees, Etc	None
Retaining Walls	None
Development Phase Lines	None

ABBREVIATIONS:

@	AT	HR.	HOUR
?	ANGLE	I.D.	INSIDE DIAMETER
℄	CENTER LINE	INT.	INTERIOR
ø	DIAMETER, ROUND	INV.	INVERT
#	NUMBER, POUNDS	INS.	INSULATION
ACT.	ACOUSTICAL CEILING TILE	JT.	JOINT
ADJ.	ADJACENT	LBS.	POUNDS
A.F.F.	ABOVE FINISHED FLOOR	LAV.	LAVATORY
ALT	ALTERNATE	LLV.	LONG LEG VERTICAL
ALUM	ALUMINUM	LLH.	LONG LEG HORIZONTAL
BD.	BOARD	MDF.	MEDIUM DENSITY FIBERBOARD
BM.	BENCHMARK, BEAM	MH.	MANHOLE
BRG.	BEARING	MFR.	MANUFACTUR(ER)
BSMT.	BASEMENT	M.O.	MASONRY OPENING
BIT.	BITUMINOUS	MAX.	MAXIMUM
BLK.	BLOCK	MECH.	MECHANICAL
BLKG.	BLOCKING	MIN.	MINIMUM
B.O.T.	BOTTOM OF TRUSS	MISC.	MISCELLANEOUS
BOT.	BOTTOM	NO.	NUMBER
BLDG.	BUILDING	N.	NORTH
C.J.	CONTROL JOINT, CONSTRUCTION JOINT	N.I.C.	NOT IN CONTRACT
CLR.	CLEAR	N.T.S.	NOT TO SCALE
CAB.	CABINET	O.S.B.	ORIENTED STRAN BOARD
CPT.	CARPET(ED)	O.C.	ON CENTER
C.B.	CATCH BASIN	OPP.	OPPOSITE
CLG.	CEILING	O.D.	OUTSIDE DIAMETER
C.T.	CERAMIC TILE	OPNG.	OPENING
COL.	COLUMN	O.H.	OVERHEAD
CONC.	CONCRETE	PNT.	PAINT
C.M.U.	CONCRETE MASONRY UNIT	PLAM.	PLASTIC LAMINATE
CONST.	CONSTRUCTION	PLWD.	PLYWOOD
CONT.	CONTINUE, (ED), (OUS)	PTD.	PAINTED
CONTR.	CONTRACT(OR)	PVC.	POLYVINYL CHLORIDE
DIA.	DIAMETER	Q.T.	QUARRY TILE
DWG.	DRAWING	R, RAD.	RADIUS
D.S.	DOWNSPOUT	R.A.	RETURN AIR
DET.	DETAIL	REF.	REFERENCE
DBL.	DOUBLE	RQD.	REQUIRED
DR.	DOOR	R.O.W.	RIGHT OF WAY
E	EGRESS	R.D.	ROOF DRAIN
EF.	EXHAUST FAN	RM	ROOM
E.O.	EVERY OTHER	R.O.	ROUGH OPENING
EPDM.	ETHYLENE PROPYLENE DIENE MONOMER	S.	SOUTH
ELEC.	ELECTRIC(AL)	SCH.	SCHEDULE
ELEV.	ELEVATOR	SSK	SERVICE SINK
EQ.	EQUAL	SK	SINK
EXH.	EXHAUST	SHT	SHEET
E.J.	EXPANSION JOINT	SIM.	SIMILAR
EXT.	EXTERIOR	SPEC.	SPECIFICATION(S)
EIFS.	EXTERIOR INSULATION FINISHING SYSTEM	SQ.	SQUARE
EXTG.	EXISTING	SHTG.	SHEATHING
FIN.	FINISH(ED)	S.S.	STAINLESS STEEL
FT.	FOOT, FEET	STD.	STANDARD
FG.	FIBERGLASS	STL.	STEEL
F.A.	FIRE ALARM	STR.	STRUCTURAL
F.B.O.	FURNISHED BY OWNER	T.	TOILET
F.E.	FIRE EXTINGUISHER	T&G	TONGUE & GROOVE
FURN.	FURNISH(ED)	TR.	TREAD
FLR.	FLOOR(ING)	TERR.	TERRAZO
F.D.	FLOOR DRAIN	T.M.E.	TO MATCH EXISTING
FTG.	FOOTING	T.O.S.	TOP OF STEEL
FND.	FOUNDATION	T.O.C.	TOP OF CONCRETE
G.C.	GENERAL CONTRACTOR	TYP.	TYPICAL
GL.	GLASS, GLAZING	U/G	UNDERGROUND
GPBD.	GYPSUM BOARD	UL	UNDERWRITERS LABORATORIES INC.
HDR.	HEADER	V.	VOLT
HDWD.	HARDWOOD	VB	VINYL BASE
HDWE.	HARDWARE	V.C.T.	VINYL COMPOSITION TILE
HTG.	HEATING	VERT.	VERTICAL
HVAC.	HEATING/ VENTILATION, AIR CONDITIONING	V.I.F.	VERIFY IN FIELD
HT.	HEIGHT	W.C.	WATER CLOSET
HTR.	HEATER	W.W.M.	WELDED WIRE MESH
H.M.	HOLLOW METAL	WTR.	WATER
		WD.	WOOD

SYMBOLS

ELEVATION MARKER — DETAIL NUMBER, SHEET NUMBER

DETAIL MARKER — DETAIL NUMBER, SHEET NUMBER

DRAWING TITLE — DETAIL NUMBER, Drawing, SCALE:, HEYDLAUFF, SHEET NUMBER

SECTION MARKER — DETAIL NUMBER, SHEET NUMBER

DOOR TAG — DOOR NUMBER

ROOM TAG — ROOM NUMBER

WINDOW TAG — WINDOW NUMBER

SHEET INDEX:

T1 TITLE SHEET
S1 SITE SURVEY BY PIATT SURVEYING
EX1 EXISTING BASEMENT AND MAIN FLOOR PLANS
EX2 EXISTING SECOND FLOOR PLAN AND FRONT AND REAR ELEVATIONS
A1 PROPOSED BASEMENT AND MAIN FLOOR PLANS
A2 PROPOSED SECOND FLOOR PLAN AND ELEVATIONS
A3 SITE GRADING AND SOIL EROSION PLAN
A4 PROPOSED UTILITIES
A5 PROPOSED PHOTOMETRIC PLAN

OWNER
HEYDLAUFF MANAGEMENT, LTD.

SITE DATA:

SITE USE – 107 & 107½ N. MAIN ST. ONLY, 109 & 113 REMAIN UNCHANGED

EXISTING ZONING	DT	
PROPOSED ZONING	DT	
PARCEL AREA	2,131.6 SF	
EXISTING BUILDING AREA	MAIN FLOOR AREA:	1,013 SF
	BSMT. FLOOR AREA:	613 SF
	SECOND FLOOR AREA:	1,027 SF
PROPOSED BUILDING AREA	MAIN FLOOR AREA:	1,624 SF
	BSMT. FLOOR AREA:	613 SF
	SECOND FLOOR AREA:	1,027 SF
EXISTING PAVED AREA	1,118.6 SF	
PROPOSED PAVED AREA	526.6 SF	
TOTAL PAVED AREA	526.6 SF	
FLOOR AREA RATIO	1.23	
IMPERVIOUS AREA RATIO	1.00	
EXISTING BUILDING HEIGHT	~29'	
PROPOSED BUILDING HEIGHT	~29'	
LOT COVERAGE	75.29%	

ZONING COMPARISON INFORMATION	REQUIRED	PROVIDED
FRONT SETBACK	0	2'–6¼"
REAR SETBACK	0	15'–7"
SIDE SETBACK (ONE)	0	0'–3½"
SIDE SETBACK (TOTAL OF TWO)	0	0'–3½"
MAXIMUM BUILDING HEIGHT	40'	~29'
MAXIMUM LOT COVERAGE	100%	75.29%
MINIMUM LOT WIDTH	--	24.52'

PARKING REQUIREMENTS	REQUIRED	PROVIDED
	0	0

CONSTRUCTION NOTES:

1. IT IS ESSENTIAL THAT THE CONTRACTOR FAMILIARIZE THEMSELVES WITH THE SITE PRIOR TO SUBMITTING PROPOSAL.
2. FOR PROTECTION OF UNDERGROUND UTILITIES AND IN CONFORMANCE WITH PUBLIC ACT 53, 1974, THE CONTRACTOR SHALL DIAL 1–800–481–7171 A MINIMUM OF THREE FULL WORKING DAYS, EXCLUDING SATURDAYS, SUNDAYS, AND HOLIDAYS PRIOR TO BEGINNING EACH EXCAVATION IN AREAS WHERE PUBLIC UTILITIES HAVE NOT BEEN PREVIOUSLY LOCATED. MISS DIG MEMBERS WILL THUS BE ROUTINELY NOTIFIED. THIS DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF NOTIFYING UTILITY OWNERS WHO MAY NOT BE A PART OF THE "MISS DIG" ALERT SYSTEM.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO LOCATE AND PROTECT PUBLIC AND PRIVATE UTILITIES.
4. ALL UTILITIES SHOWN (BOTH ABOVE AND UNDER GROUND) ARE BASED ON THE BEST AVAILABLE INFORMATION FROM THE PUBLIC UTILITY OWNERS AND FIELD SURVEY. NO GUARANTEE CAN BE MADE AS TO THE COMPLETENESS, OR EXACTNESS OF LOCATION. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL LOCATIONS OF HIS OR HER ONGOING CONSTRUCTION ACTIVITIES.
5. ALL EXISTING CONDITIONS NOT LABELED FOR REPLACEMENT ARE TO BE LEFT IN PLACE AND REPLACED IF DAMAGED AT THE CONTRACTOR'S EXPENSE.
6. APPROPRIATE SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO EARTH–DISTURBING ACTIVITIES.

PROPOSED IMPROVEMENTS, CONT'D.	
Signs	None
Lighting	See Sheet A5
Soil Erosion	Straw bales provided at parking lot for new work, see sheet A3

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MARK HEYDLAUFF
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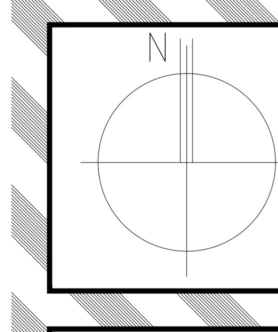
CHELSEA, MI 48118



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HEYDLAUFF

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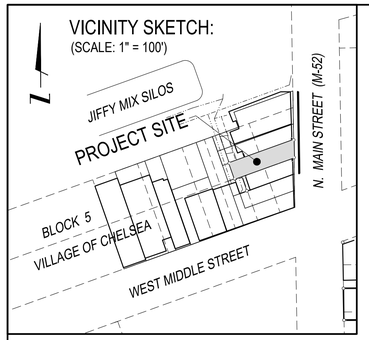


BOUNDARY COMPOSITE DRAWING

(ORIGINAL PLAT OF THE VILLAGE OF CHELSEA, LIBER 30, PAGE 302, WASHTENAW COUNTY RECORDS)
PART OF THE NORTHEAST 1/4 OF SECTION 12, T2S, R3E

LEGAL DESCRIPTION: (Warranty Deed, Liber 5371, Page 683, WCR)

The South 22 feet 2 inches of Lots 1 and 2, and the South 22 feet 2 inches of the East 12 feet of Lot 3, Block 5, Original Plat of the Village (Now City) of Chelsea, as recorded in Liber 30 of Deeds, Page 302, Washtenaw County Records.

UTILITY EASEMENT NOTE:

The Storm and Sanitary Sewer lines are shown according to field located surface structures combined with utility plan information obtained from The City of Chelsea.

There exists a blanket easement for multiple parcels, including the subject parcel contained in this application for underground Storm and Electrical Easements, based on parcel.

The subject parcel is subject to a blanket easement for STORM SEWER EASEMENT, according to Liber 4666, Page 78, Washtenaw County, Michigan.

BASIS OF BEARING:
BEARINGS ARE BASED UPON GEODETIC NORTH, WITH ANGULAR DEED RELATIONSHIPS MAINTAINED.

CERTIFICATE:
I hereby certify that I have surveyed and mapped the land above platted, and or described, and that the ratio of closure on the unadjusted field observations of such survey was no greater than 1:5000, and that all of the requirements of P.A. 132, as amended, have been complied with, excluding page size and all field irons not set.

STATE OF MICHIGAN
JOHN K PIATT
PROFESSIONAL SURVEYOR
No. 46681
REGISTERED PROFESSIONAL SURVEYOR

PiATT LAND SURVEYING·LLC
P.O. Box 374
20624 Waterloo Road
Chelsea, MI 48118
(734) 730 - 8570
piattlandsurveying.com

PROJECT:
BOUNDARY COMPOSITE DRAWING

Part of the NE 1/4 of Section 12, T2S, R3E, Sylvan Township (City of Chelsea), Washtenaw County, Michigan

being part of Block 5, Original Plat of the Village of Chelsea, as recorded in Liber 30, Page 302, Washtenaw County Records.

CLIENT:
HEYDLAUFF

113 N. MAIN STREET
CHELSEA, MI 48118

LEGEND

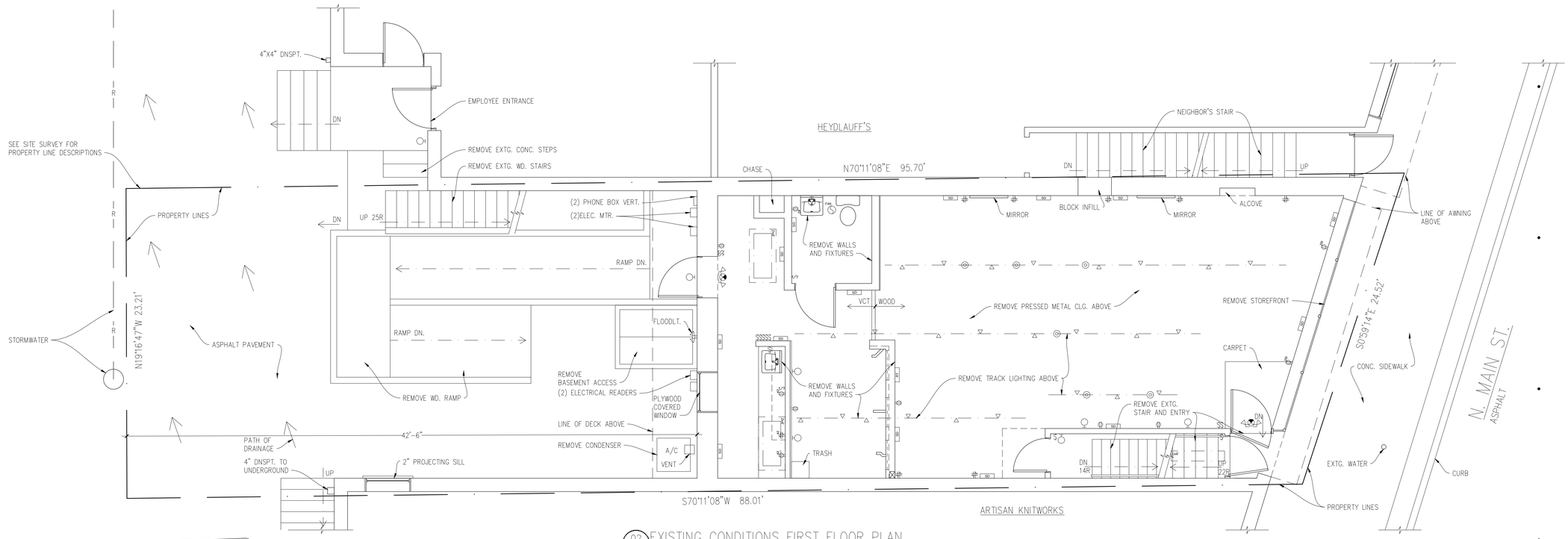
- SECTION CORNER
- FOUND IRON PIPE
- SET IRON PIPE
- EX. FENCE LINE
- (R) RECORD DIM.
- (M) MEASURE DIM.
- EDGE OF BRUSH
- PLAT LINES
- PROPERTY LINE
- 900 EXISTING CONTOUR (MAJOR)
- 900 EXISTING CONTOUR (MINOR)
- PROPOSED CONTOUR
- x 922.0' PROPOSED SPOT ELEVATION
- EXISTING SWALE
- PROPOSED SWALE
- UTILITY POLE
- (W) WELL (EXISTING)
- SOIL BORING (MAY, 2021)

SCALE: 1" = 10'
0 5 10 20

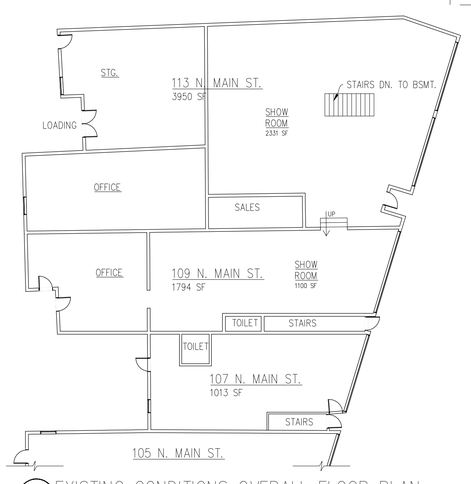
DATE: 1/21/2022
REV: 3/31/2022 - Utility Esmt
REV:

JOB NO. 2022-0013

SHEET: 1 OF 1

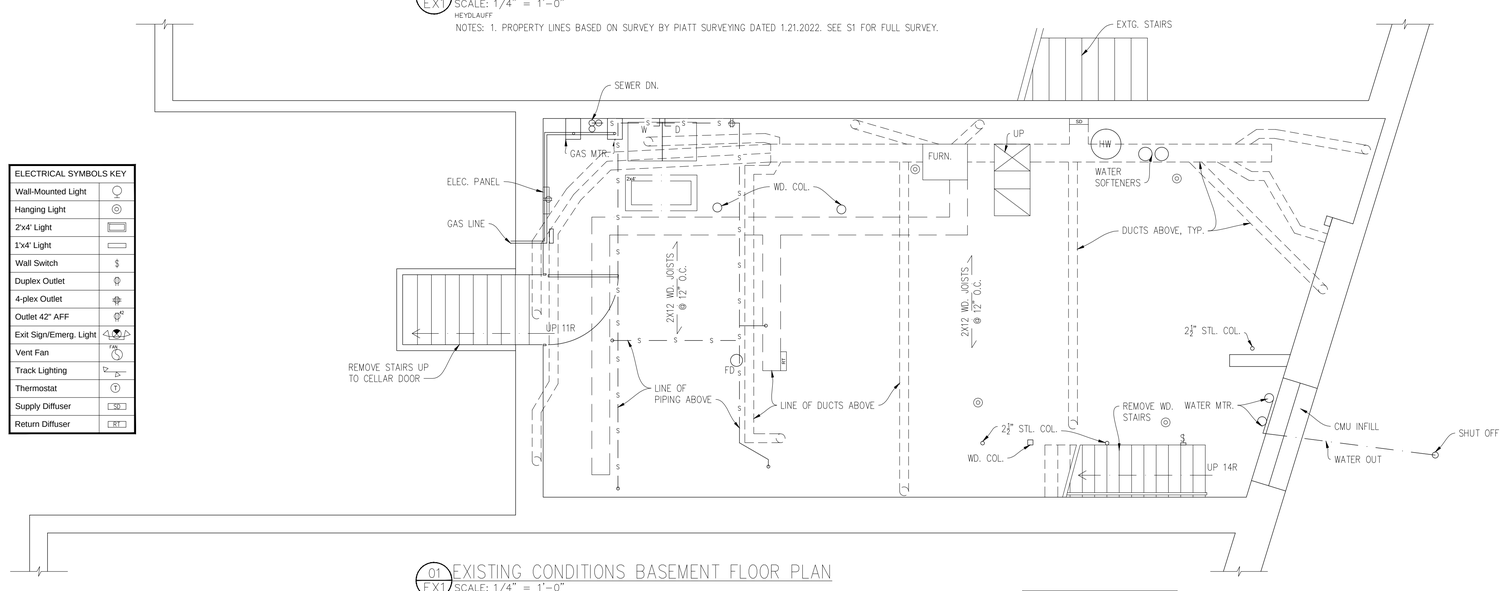


02 EX1 EXISTING CONDITIONS FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF
NOTES: 1. PROPERTY LINES BASED ON SURVEY BY PIATT SURVEYING DATED 1.21.2022. SEE S1 FOR FULL SURVEY.

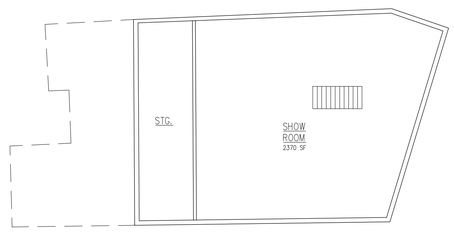


03 EX1 EXISTING CONDITIONS OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"
HEYDLAUFF

ELECTRICAL SYMBOLS KEY	
Wall-Mounted Light	
Hanging Light	
2'x4' Light	
1'x4' Light	
Wall Switch	$
Duplex Outlet	
4-plex Outlet	
Outlet 42" AFF	
Exit Sign/Emerg. Light	
Vent Fan	FAN
Track Lighting	
Thermostat	T
Supply Diffuser	SD
Return Diffuser	RT



01 EX1 EXISTING CONDITIONS BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF



04 EX1 EXISTING CONDITIONS BASEMENT AT 113 N. MAIN
SCALE: 1/16" = 1'-0"
HEYDLAUFF

LINE TYPE KEY	
— · —	PROPERTY LINE
———	BUILDING
- - - - -	BASEMENT DUCTWORK
— S — S —	SANITARY LINE
- · - E - · -	ELECTRICAL LINE
— R · —	STORMWATER

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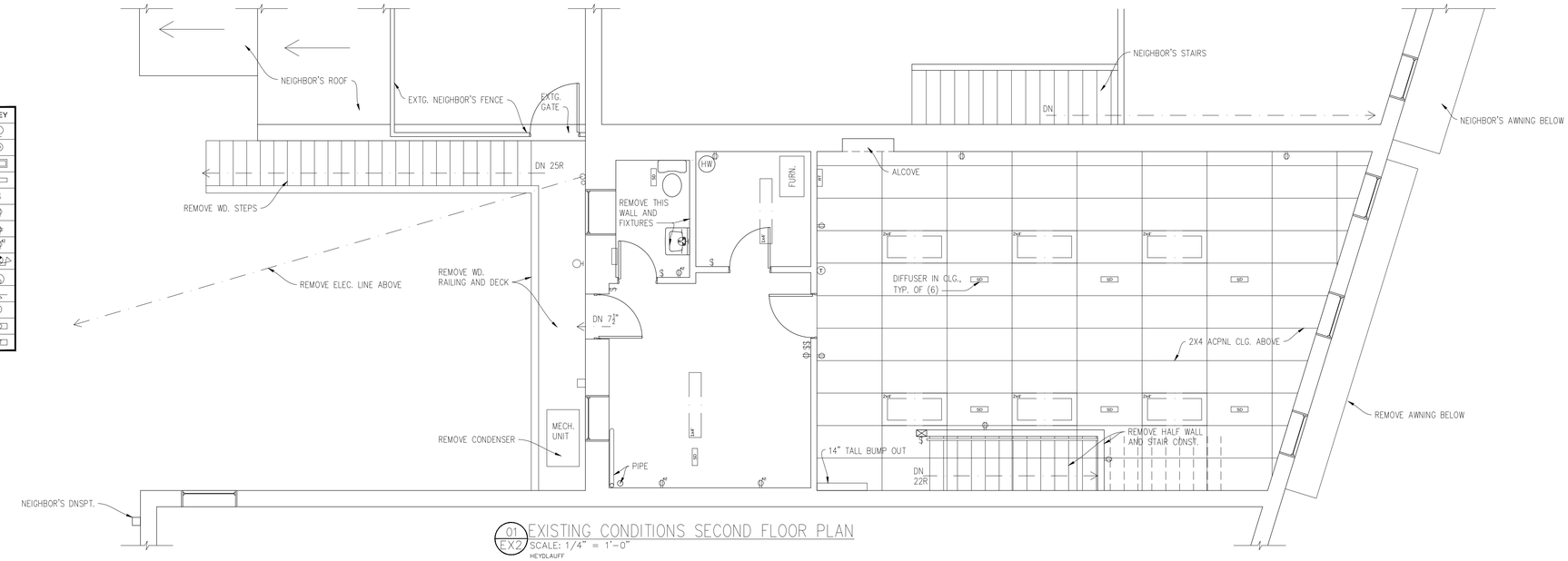
ELECTRICAL SYMBOLS KEY	
Wall-Mounted Light	
Hanging Light	
2'x4' Light	
1'x4' Light	
Wall Switch	$
Duplex Outlet	
4-plex Outlet	
Outlet 42" AFF	42"
Exit Sign/Emerg. Light	
Vent Fan	FAN
Track Lighting	
Thermostat	T
Supply Diffuser	SD
Return Diffuser	RG



01 EX2 EXISTING CONDITIONS SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF

ARCHITECTURAL STANDARDS – WINDOWS
FIRST FLOOR FACADE AREA = 323.6 SF
WINDOW/DOOR AREA = 147.5 SF

147.5 / 323.6 = 45.6% < 50%

SECOND FLOOR FACADE AREA = 346 SF
EXTG. & NEW WINDOW AREA = 53.7 SF

53.7 / 346 = 15.5% < 35%

DIAGRAM OF EXTG. MAIN STREET ELEVATION

ARCHITECTURAL STANDARDS – WINDOWS
TOTAL REAR FACADE AREA = 630.0 SF
WINDOW/DOOR AREA = 38.5 SF

38.5 / 630.0 = 6.1% < 20%

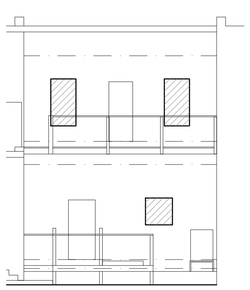
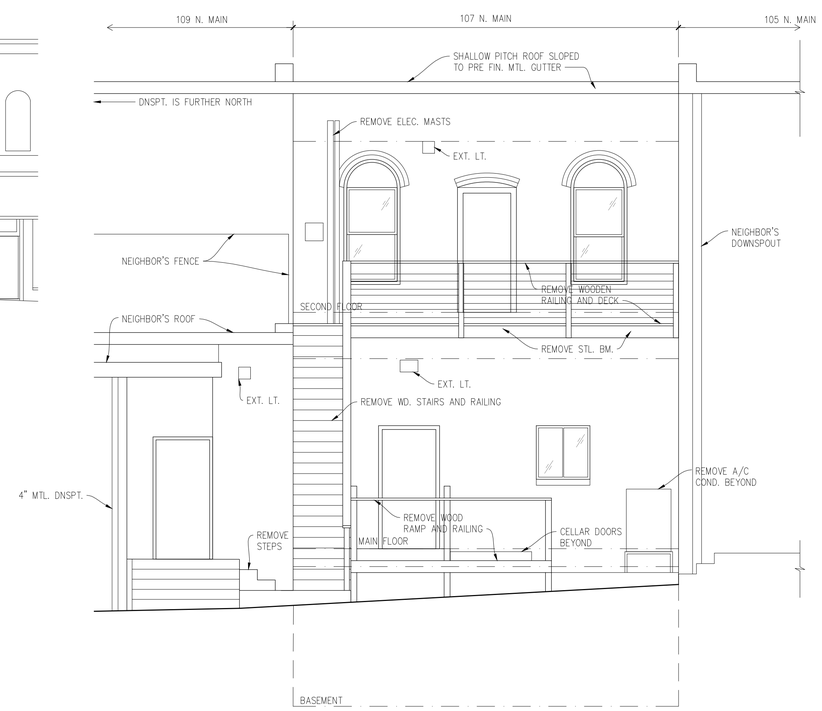


DIAGRAM OF EXTG. PARKING LOT REAR ELEVATION



03 EX2 EXISTING CONDITIONS REAR ELEVATION – PARKING LOT
SCALE: 1/4" = 1'-0"
HEYDLAUFF

02 EX2 EXISTING CONDITIONS FRONT ELEVATION – MAIN ST.
SCALE: 1/4" = 1'-0"
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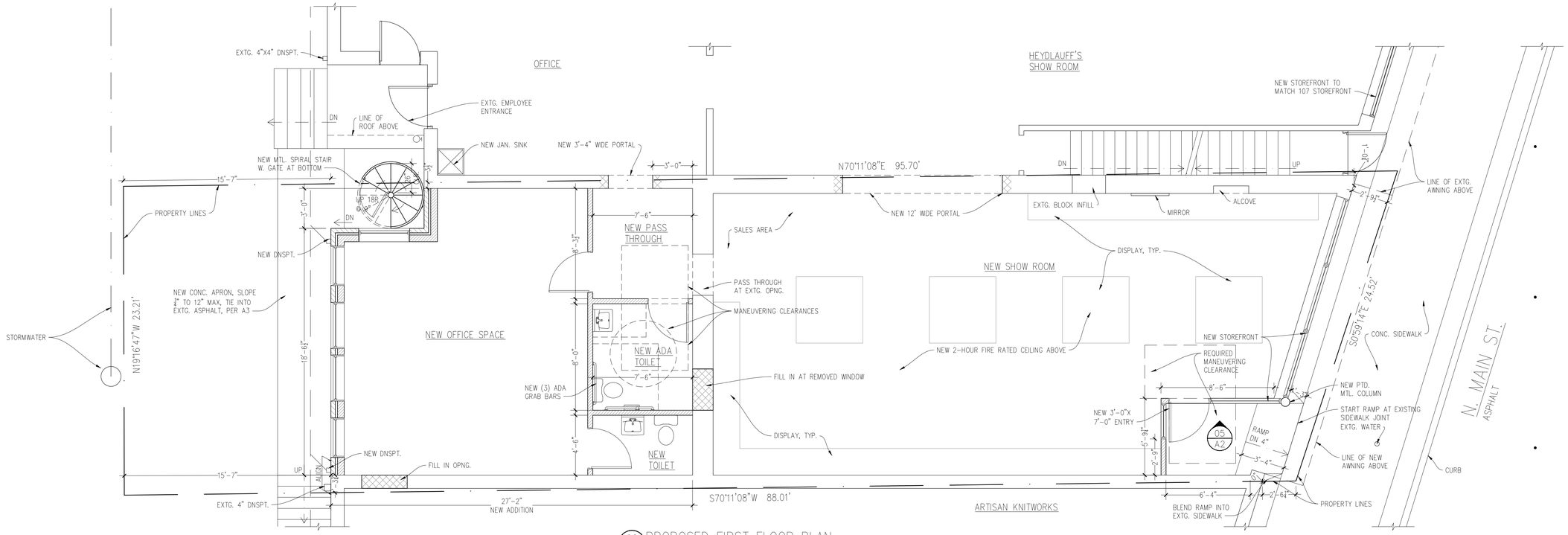
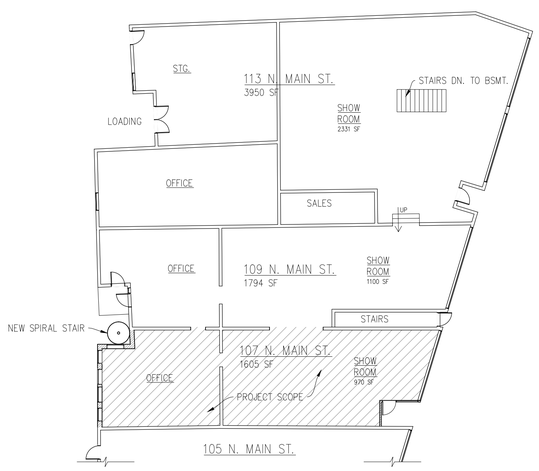
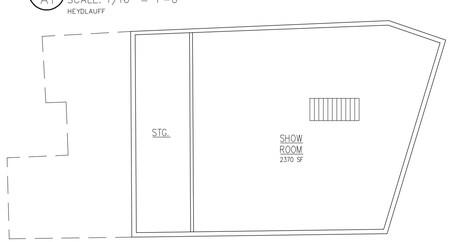


02 A1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF

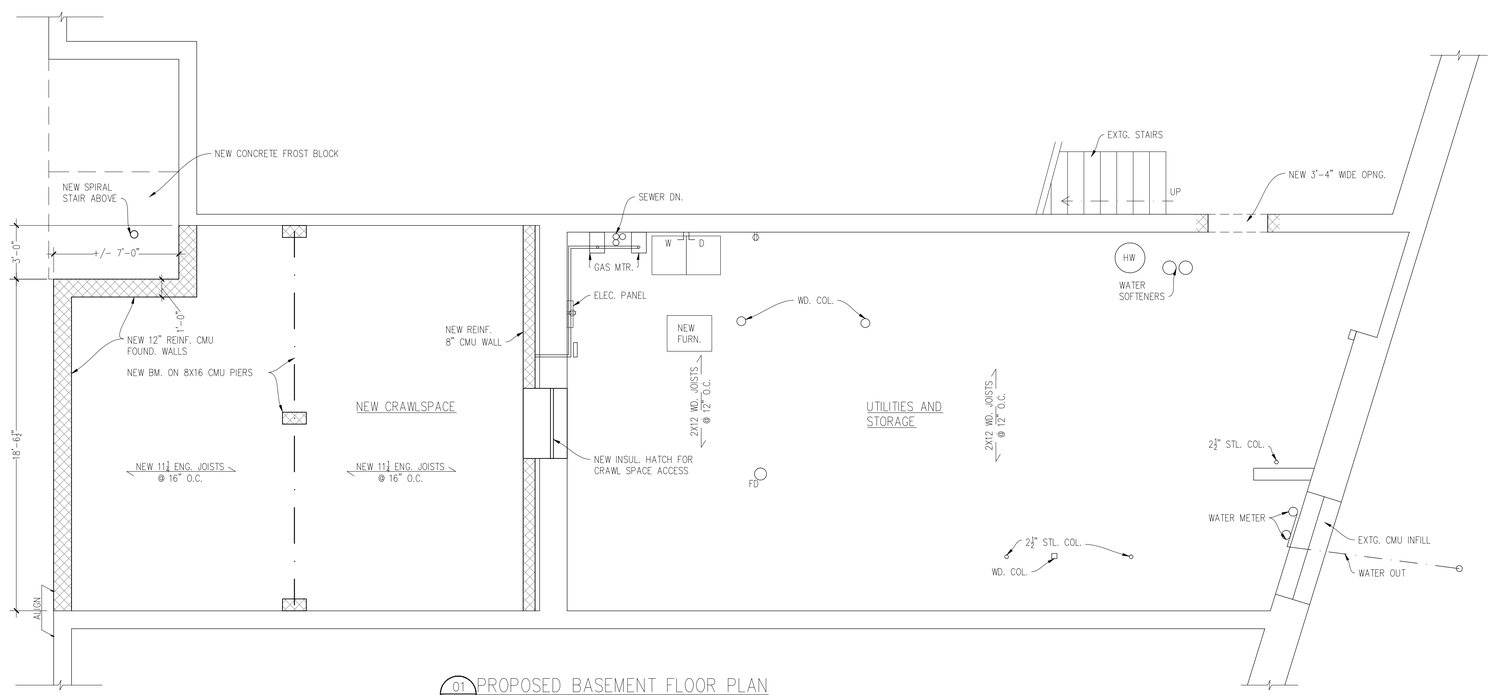
NOTES: 1. PROPERTY LINES BASED ON SURVEY BY PIATT SURVEYING DATED 1.21.2022. SEE S1 FOR FULL SURVEY.



03 A1 OVERALL FLOOR PLAN
SCALE: 1/16" = 1'-0"
HEYDLAUFF



04 A1 BASEMENT AT 113 N. MAIN
SCALE: 1/16" = 1'-0"
HEYDLAUFF



01 A1 PROPOSED BASEMENT FLOOR PLAN
SCALE: 1/4" = 1'-0"
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EXTERIOR MATERIAL LIST:		
EXTG./NEW WALLS	BRICK TO MATCH EXISTING	COLOR A
TRIM	PAINTED BORAL OR AZEK, OR EXTG WOOD	COLOR B
GUTTERS AND DNSPTS.	PRE FIN. MTL.	COLOR C
WINDOW SASH	PRE FIN. MTL.	COLOR D

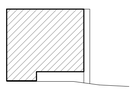


DIAGRAM OF PROPOSED PARTIAL SOUTH ELEVATION

ARCHITECTURAL STANDARDS – WINDOWS

FIRST FLOOR FACADE AREA = 323.6 SF
WINDOW/DOOR AREA = 153.2 SF

153.2 / 323.6 = 47.3% < 50%
= 47.3% > 45.6% EXTG.

FIRST FLOOR SOUTH AREA = 75.3 SF
WINDOW/DOOR AREA = 63.7 SF

63.7 / 75.3 = 84.6% > 20%

SECOND FLOOR FACADE AREA = 346 SF
EXTG. & NEW WINDOW AREA = 53.7 SF

53.7 / 346 = 15.5% < 35%
= 15.5% = 15.5% EXTG.

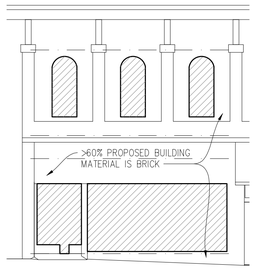


DIAGRAM OF PROPOSED MAIN STREET ELEVATION

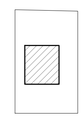


DIAGRAM OF PROPOSED PARKING LOT SIDE ELEVATION

ARCHITECTURAL STANDARDS – WINDOWS

TOTAL REAR FACADE AREA = 630.0 SF
WINDOW/DOOR AREA = 118.0 SF

118.0 / 630.0 = 18.7% < 20%
= 18.7% > 6.1% EXTG.

REQUEST WAIVER FOR THIS PERCENTAGE

TOTAL SIDE FACADE AREA = 80.5 SF
WINDOW AREA = 16.6 SF

16.6 / 80.5 SF = 20.6% > 20%

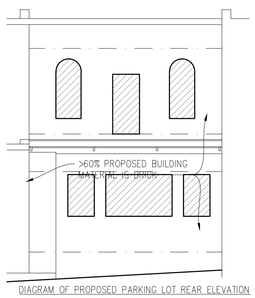
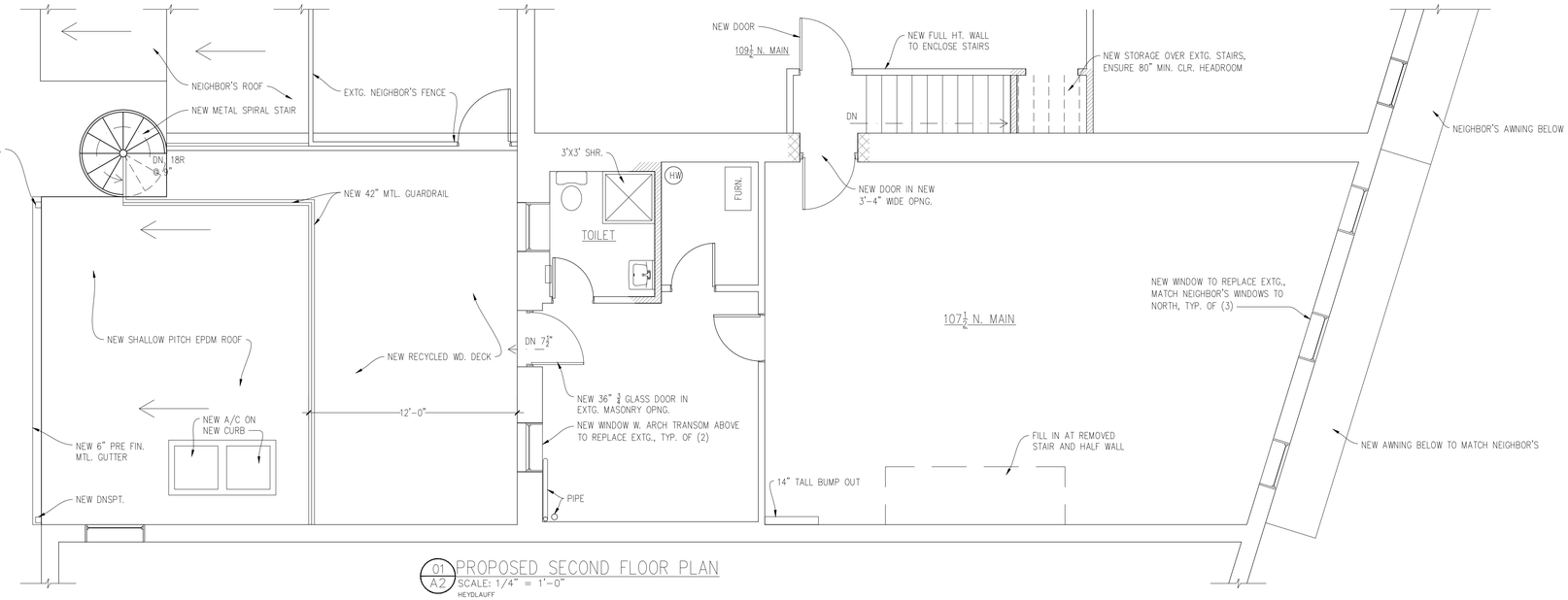
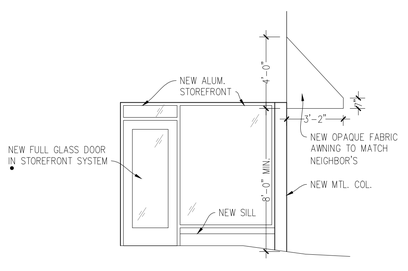


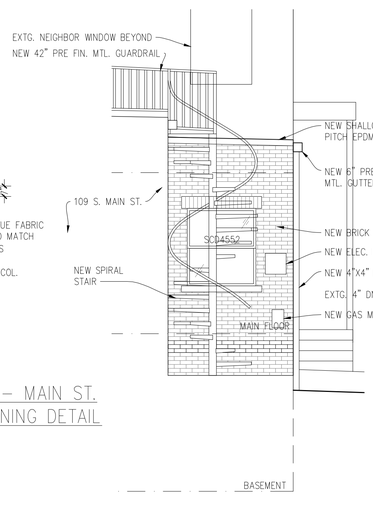
DIAGRAM OF PROPOSED PARKING LOT REAR ELEVATION



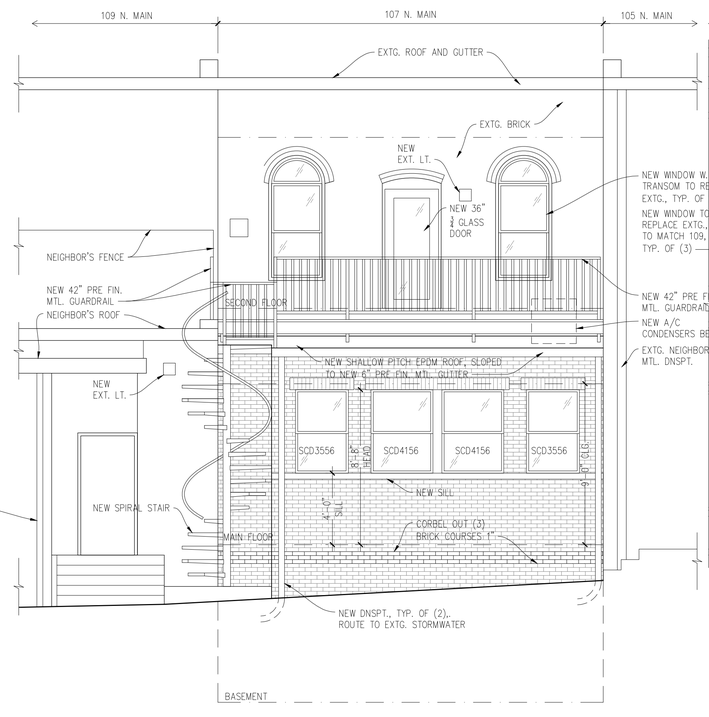
01 A2 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF



05 A2 PROPOSED PARTIAL SOUTH ELEVATION – MAIN ST. AND NEW AWNING DETAIL
SCALE: 1/4" = 1'-0"
HEYDLAUFF



04 A2 PROPOSED NORTH SIDE ELEVATION – PARKING LOT
SCALE: 1/4" = 1'-0"
HEYDLAUFF



03 A2 PROPOSED REAR ELEVATION – PARKING LOT
SCALE: 1/4" = 1'-0"
HEYDLAUFF

NOTES 1. PER 5.07 F-11 IN THE CITY ZONING ORDINANCE, ENSURE THAT ALL REAR FACADE WINDOWS APPEAR AS THOUGH THEY WERE "PUNCHED" THROUGH THE WALL.

02 A2 PROPOSED FRONT ELEVATION – MAIN ST.
SCALE: 1/4" = 1'-0"
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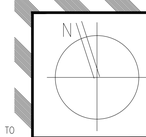

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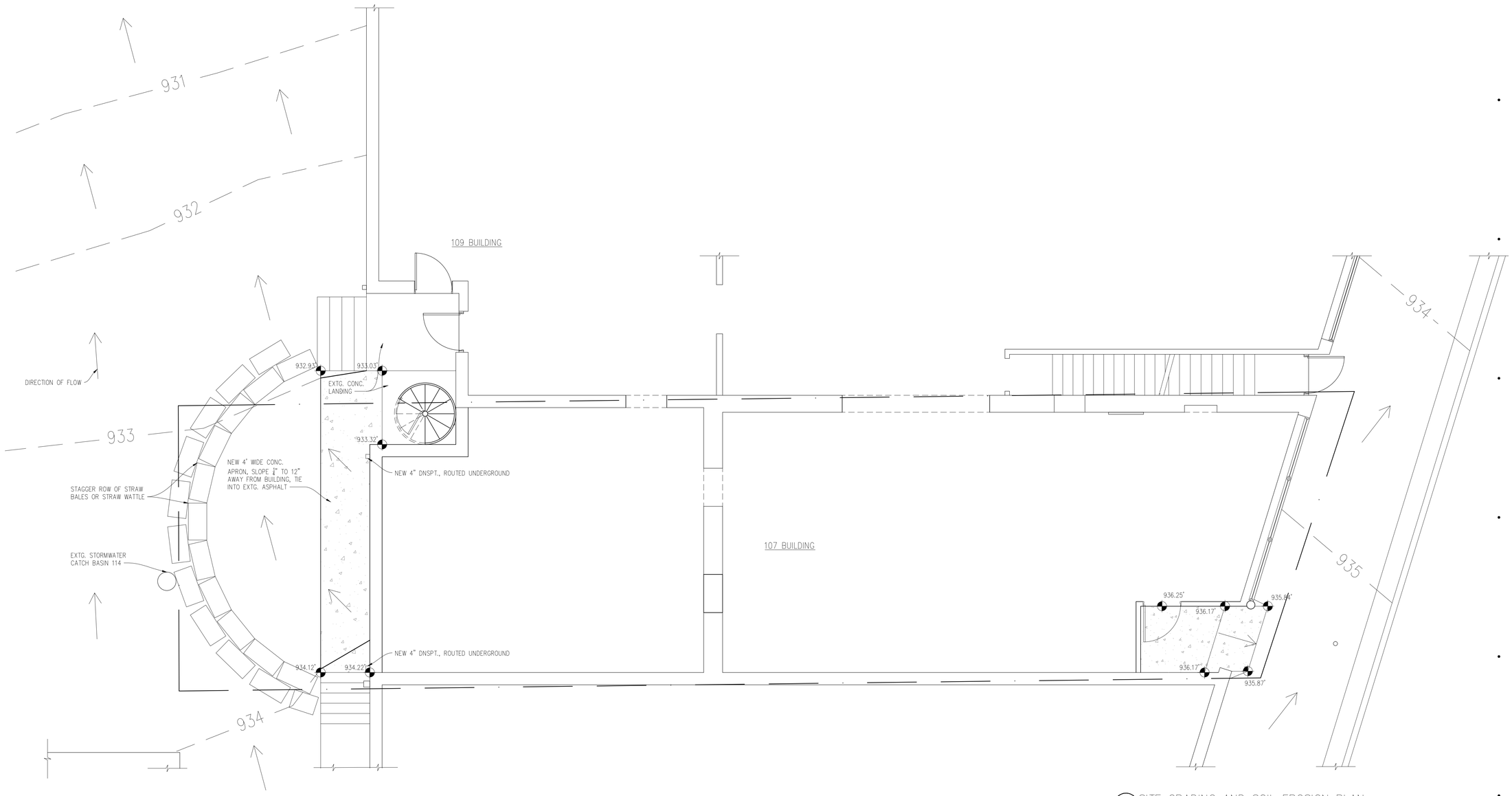

01 / A3 SITE GRADING AND SOIL EROSION PLAN

SCALE: 1/4" = 1'-0"

HEYDLAUFF

NOTES:

1. ALL SOIL EROSION CONTROL MEASURES SHALL COMPLY WITH THE CURRENT CITY OF CHELSEA ORDINANCES, WASHTENAW COUNTY STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL, AND STATE OF MICHIGAN "SOIL EROSION AND SEDIMENTATION CONTROL ACT" (ACT #347).
2. ALL STRAW BALES/STRAW WATTLE SHALL BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT. IF AT ANY TIME THE DEPTH OF SILT AND SEDIMENT COMES TO WITHIN 6" OF THE TOP OF ANY STRAW BALE, ALL SILT AND SEDIMENT SHALL BE REMOVED TO ORIGINAL GRADE.

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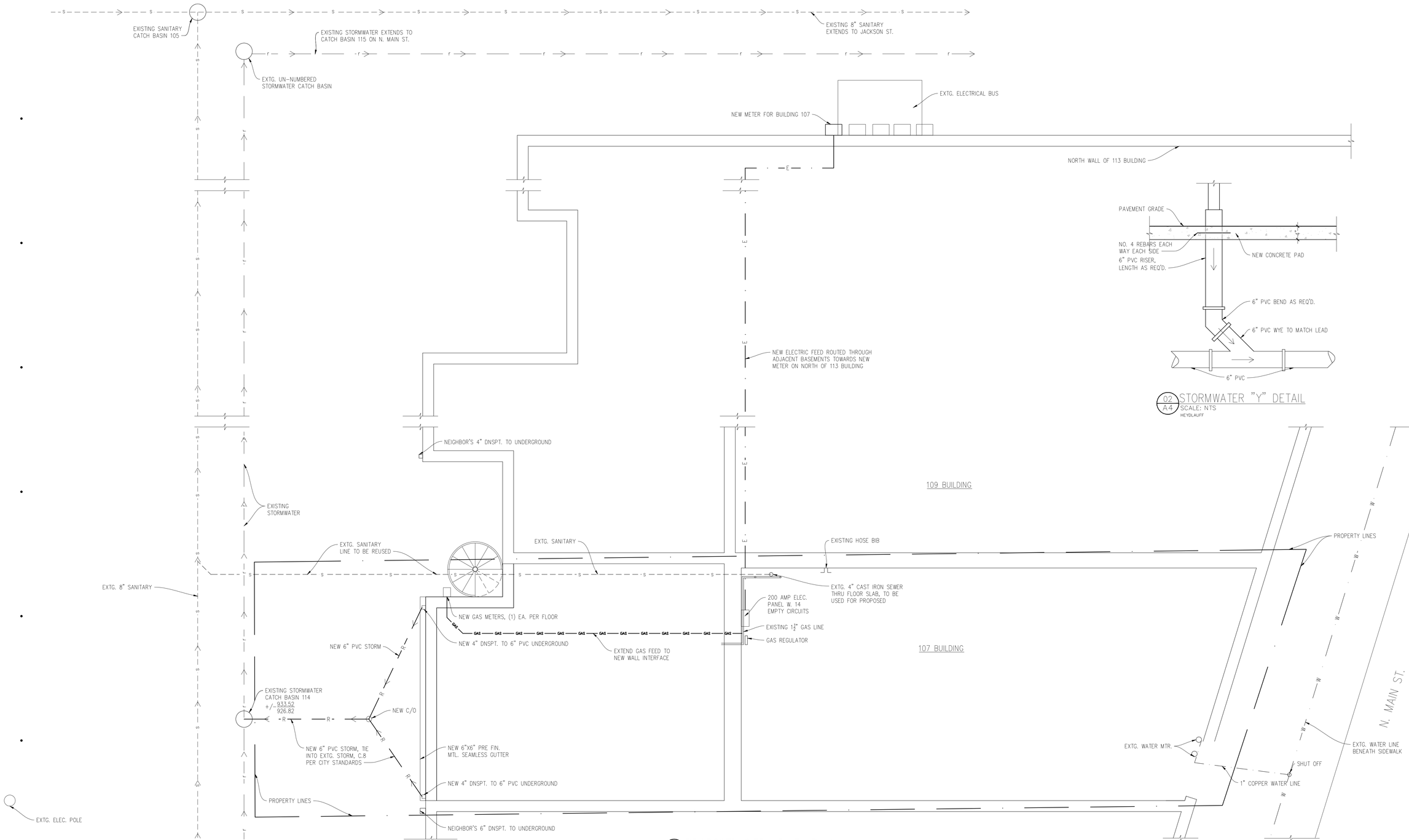
SHEET NUMBER
A3



02 A4 STORMWATER "Y" DETAIL
SCALE: NTS
HEYDLAUFF

01 A4 PROPOSED SITE UTILITY PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF

LINE TYPE KEY	
— · —	PROPERTY LINE
—— r ——	EXTG. STORMWATER LINE
—— R ——	NEW STORMWATER LINE
-s-----s-	EXTG. SANITARY LINE
—s———s—	NEW SANITARY LINE
-·—·-e-·—·-	EXTG. ELECTRICAL LINE
-•—•-E-•—•-	NEW ELECTRICAL LINE
—— GAS ——	NEW GAS LINE
— w —	EXTG. WATER LINE

STORMWATER MANAGEMENT CALCULATIONS

RATIONAL METHOD VARIABLES			
COVER TYPE	AREA (SF)	RUNOFF COEFFICIENT	C * A
ROOF	520.5	0.95	0.95*520.5 = 541.98

541.98 X 1" RAIN EVENT / 144 = 3.76 CF

VOLUME HELD BY 6X6X18'-6½" GUTTER = .25SFX18.54 = 4.64 CF > 3.76 CF

UTILITIES NARRATIVE:

ELECTRIC: EXISTING ELECTRIC IS SINGLE PHASE, 120V 200 AMP PANEL LOCATED IN BASEMENT. PANEL IS FED FROM OVERHEAD LINE OFF POLE IN ALLEY. PROPOSED IS TO REMOVE OVERHEAD LINE AND ROUTE NEW FEED FROM 107 PANEL THROUGH BASEMENTS OF 109 AND 113 TO NORTH WALL OF 113 ADJACENT TO CLUSTER OF SIMILAR ELECTRICAL METERS FOR THESE BUILDINGS AND AN ELECTRICAL BUS. A NEW METER AND DISCONNECT WILL BE INSTALLED FOR 107 AT THIS LOCATION.

WATER: EXISTING 1" COPPER WATER LINE ENTERS 107 BASEMENT AT EAST WALL. SHUT OFF IS ON MAIN STREET SIDEWALK. TWO WATER METERS ARE LOCATED AT THE EAST BASEMENT WALL. PROPOSED IS NO CHANGE. NEW WATER FEEDS TO NEW OFFICE TOILET ROOMS WILL ALL BE INTERNAL.

GAS: EXISTING 1 ½" GAS LINE IS FED THROUGH THE EXISTING WEST BASEMENT WALL. THE GAS METER WILL BE RELOCATED TO THE NEW NORTH CRAWL SPACE WALL. ALL NEW DISTRIBUTION OF GAS LINES WILL BE INTERNAL.

STORMWATER: EXISTING STORM WATER IS COLLECTED VIA A SECOND STORY ROOF GUTTER, DOWN TWO DOWNSPOUTS AND COLLECTED UNDERGROUND INTO AN EXISTING 6" PVC DRAIN ROUTED TO A STORM CATCH BASIN LOCATED WEST OF BUILDING 113 IN THE UTILITY EASEMENT. THE EXISTING SECOND STORY DOWNSPOUT WILL BE UNCHANGED. THE NEW SINGLE STORY SHALLOW PITCH ROOF WILL DRAIN TO A NEW 6" GUTTER WITH TWO NEW 4" METAL DOWNSPOUTS EXTENDING DOWN THE WEST ADDITION WALL, TRANSITIONING TO TWO 6" PVC STORM DRAINS UNDERGROUND, TYING INTO A NEW 6" STORM DRAIN EXTENDING TO EXISTING STORMWATER CATCH BASIN #114 TO THE WEST OF THE BUILDING.

SANITARY: EXISTING SANITARY IS 4" CAST IRON EXTEND THROUGH BASEMENT SLAB AND ROUTED WEST TO EXISTING 8" SANITARY LINE AT UTILITY EASEMENT. PROPOSED IS TO CONNECT NEW 3" PVC SANITARY FROM TWO NEW TOILET ROOMS TO EXISTING SANITARY LINE AHEAD OF CAST IRON DRAIN WHICH EXTENDS THROUGH BASEMENT SLAB, ALL INTERNAL.

DANGEROUS Architects, Pc.
104 South Main Street
Chelsea, MI. 48118
734.475.3660
WWW.DANGEROUSARCHITECTS.COM

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BUILDER
JEFFERY R. PROCTOR
---- ----

PROJECT
ADDITION AND BUILDOUT
HEYDLAUFF MANAGEMENT LTD
MARK HEYDLAUFF
107, 107 1/2, 109 & 113 N. MAIN ST.
CHELSEA, MI 48118

PROJECT ID
HEYDLAUFF

ISSUE	DATE
EXTG	1.24.22
PD	2.25.22
PC	3.31.22
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SHEET NUMBER
A4

ARC1 LED

Architectural Wall Luminaire

Catalog Number

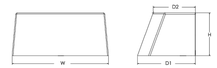
Notes

Type

Hit the Tab key or mouse over the page to see all interactive elements.

Specifications

Depth (D1): 6.5"
Depth (D2): 4.75"
Height: 5"
Width: 11"
Weight: (without options) 7 lbs



Introduction

The Lithonia Lighting ARC LED wall-mounted luminaires provide both architectural styling and visually comfortable illumination while providing the high energy savings and low initial costs for quick financial payback.

ARC1 delivers up to 3,000 lumens with a soft, non-pixelated light source, creating a visually comfortable environment. The compact size of ARC1, with its integrated emergency battery backup option, is ideal for over-the-door applications.

ARC LED Family Overview

Luminaire	Standard EM, 0°C	Cold EML, -20°C	Approximate Lumens (4000K)				
			P1	P2	P3	P4	P5
ARC1 LED	4W	--	1,500	2,000	3,000	--	--
ARC2 LED	4W	8W	1,500	2,000	3,000	4,000	6,500

Ordering Information

EXAMPLE: ARC1 LED P2 40K MVOLT PE DDBXD

Series	Package		Color Temperature		Voltage	Options		Finish	
ARC1 LED	P1	1,500 Lumens	30K	3000K	MVOLT	E4WH	Emergency battery backup, CEC compliant (4W, 0°C min)[1]	DDBXD	Dark bronze
	P2	2,000 Lumens	40K	4000K	347[2]	PE	Button type photocell for dusk-to-dawn operation	DBLXD	Black
	P3	3,000 Lumens	50K	5000K		DMG	0-10V dimming wires pulled outside fixture (for use with an external control, ordered separately)[1]	DNAXD	Natural aluminum
						SPD6KV	6kV surge protection	DWHXD	White
						FAO	Field adjustable light output device. Allows for easy adjustment to the desired light levels, from 20% to 100%[2]	DSSXD	Sandstone
								DDBTXD	Textured dark bronze
								DBLBXD	Textured black
								DNATXD	Textured natural aluminum
								DWHGXD	Textured white
								DSSTXD	Textured sandstone

Accessories

Ordered and shipped separately.

WSBBW DDBXD U — Surface - mounted back box (specify finish)

NOTES
1 347V not available with E4WH.
2 FAO not available with DMG.

LITHONIA LIGHTING. COMMERCIAL OUTDOOR
One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
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ARC1 LED
Rev. 08/31/21

FIXTURE B

LITHONIA LIGHTING®

Catalog Number

Notes

Type

FEATURES & SPECIFICATIONS

INTENDED USE — The 6" Wafer-Thin LED recessed downlight with remote driver box combines high quality light output and efficiency while eliminating the housing for competitive affordability. This innovative wafer-slim Type IC design allows easy installation for new construction or remodel from below the ceiling without the requirement of a pod light housing. The LED module maintains at least 70% light output for 36,000 hours. These LED Wafer downlights are intended for closets, attics, hallways, bathrooms, kitchens, basements, soffits, entry ways, porches, garages, stairwells, corridors, nursing/retirement homes, condos, elevators, apartments, and any other small areas.

CONSTRUCTION — Ideal for shallow ceiling plenum since a pot light housing is NOT required. IC rated driver and fixture - approved for direct contact with insulation. Aluminum die cast outer frame. Durable, powder coat paint to prevent rust. Round fixture with integral edge-lit LED's. Steel spring clip for easy installation. Plenum rated cable connector to connect from module to remote driver box. Isolated driver integrated inside steel remote box with four 7/8" knockouts with slots for pryout. Suitable for pulling wires with the 12 cubic inch wiring compartment to accommodate up to (6) 14 gauge insulated conductor, or (4) 12 gauge insulated conductors; making the Wafer LED Downlights much easier to wire in 2in/2out (plus ground) daisy-chain applications and contractor friendly.

PATENT PENDING.

INSTALLATION — Ideal for shallow ceiling plenum; no housing required. Steel spring clip for easy installation. 6" cut out template is provided to ensure a correct sized hole is cut into ceiling for proper installation of the trim. Size of hole should not exceed 6 1/4 inches for this product. Suitable for installation in t-grid and drop ceiling applications with the WF8643 Pan. 2" plenum space required for installation of the remote driver box.

OPTICS — Polycarbonate lens provides even illumination throughout the space.

ELECTRICAL — Connect directly to 120V power supply via provided UL recognized driver. High efficient driver with power factor > 0.9. Ambient operating temperature: -40°F (-40°C) to +104°F (+40°C). Dimming down to 10% (See page 2 for recommended dimmers). Replaces 75W incandescent for 865 lumens and 100W incandescent for 1020 lumens.

LISTINGS — CSA certified to US and Canadian safety standards. ENERGY STAR® certified product. Wet location. Air Tight certified in accordance with ASTM E283-2004. NOM Certified.

WARRANTY — 5-year limited warranty. Complete warranty terms located at:
www.acuitybrands.com/support/warranty/terms-and-conditions

Note: Actual performance may differ as a result of end-user environment and application.
All values are design or typical values, measured under laboratory conditions at 25 °C.
Specifications subject to change without notice.

Wafer LED Recessed Downlight

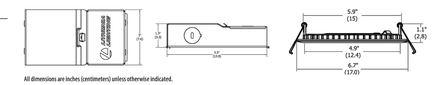
WF6

6" LED Module

IC/Non-IC
New Construction/Remodel

Specifications

Aperture:	4.9 (12.4)
Ceiling opening:	6 (15.2)
Overlap trim:	6.7 (17)
Height:	1.1 (2.8)



All dimensions are inches (centimeters) unless otherwise indicated.

ORDERING INFORMATION

Example: WF6 LED 30K MW

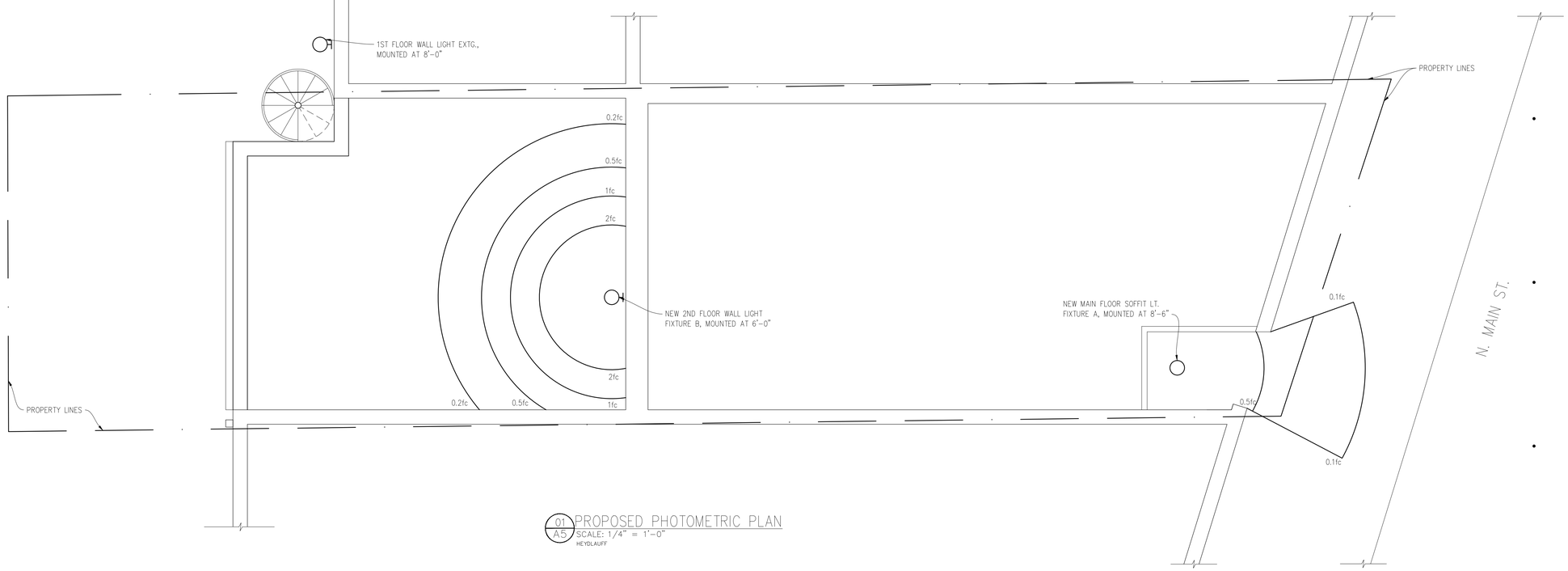
WF6					
Series		**Lamp**		**CCT/CRI/W/Lumens**[1]	**Finish**	
WF6	6" wafer-thin LED downlight	**LL LED**	Low Lumen LED	**27K** 2700K/80CRI/12.7W/780L	**BN**	Brushed nickel

Notes
1 Total system delivered lumens.

Accessories: Order as separate catalog number.	
WF6 PAN R12	6" new construction pan, retail pack of 12
WF8643 PAN U	Universal new construction pan, unit pack
WF3B U	Remodel Joist Bar
WFEXG6 U	6' 2 pin FT4 cable
WFEXC10 U	10' 2 pin FT4 cable
WFEXC20 U	20' 2 pin FT4 cable
WF6GR MW JZ	6" round oversized trim ring

DOWNLIGHTING WF6

FIXTURE A



01 A5 PROPOSED PHOTOMETRIC PLAN
SCALE: 1/4" = 1'-0"
HEYDLAUFF

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BUILDER
JEFFERY R. PROCTOR

PROJECT
ADDITION AND BUILDOUT
HEYDLAUFF MANAGEMENT LTD
107, 107 1/2, 109 & 113 N. MAIN ST.
CHELSEA, MI 48118

N

PROJECT ID
HEYDLAUFF

ISSUE	DATE
EXTG	1.24.22
PD	2.25.22
PC	3.31.22
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SHEET NUMBER
A5

CHELSEA MILLING COMPANY

"JIFFY" mixes

201 W. North Street - P.O. Box 460 - Chelsea, Michigan 48118-0460
www.jiffymix.com

March 15, 2022

City of Chelsea
Attn: Julia Upfal,
Community Development Director
305 S. Main Street
Chelsea, MI 48118

Dear Julia:

We are aware of and support the plans for the renovation of 107 N. Main Street.

Additionally, we continue to grant access to the Heydlauff loading dock at 113 N. Main Street, which crosses and is on our property.

If there are any further questions, please contact me.

Thank you, Julia.

Sincerely,

Howdy Holmes
CEO
Chelsea Milling Company

Cc: Mark Heydlauff

HSH/psb

Ph: (734) 475-1361

Fax: (734) 475-4630

ARTICLE 5.
FORM-BASED DEVELOPMENT STANDARDS

SECTION 5.01

Purpose and Intent

The purpose of form-based development standards is to create clear and simple design regulations for redevelopment or new construction projects in the DT, T-1, and T-2 Districts consistent with the community's vision for high-quality, pedestrian-oriented, mixed-use development in downtown and along the southern stretch of M-52. The standards are intended to promote the following objectives:

A. Create unique, pedestrian-oriented mixed-use developments that include residential, retail, entertainment, office, and other compatible uses that support the economic vitality of the City.

B. Encourage development and redevelopment in downtown that protects and enhances the traditional small-town character of Chelsea, fits within its traditional urban form, and reinforces a sense of community identity.

C. Promote the preservation and renovation of historic buildings.

D. Encourage a transition from automobile-oriented to pedestrian-oriented new development in transitional districts along M-52. Development should be compatible with, but not the same, as development in the downtown.

E. Maintain and strengthen the sense of place that currently exists downtown along the length of M-52 through the provision of expanded pedestrian networks, streetscape elements, public spaces, and other pedestrian-scaled amenities.

F. Encourage accessible housing options in and near the downtown area.

G. Ensure proper land use transitions and design treatment between the downtown district and the surrounding residential neighborhoods.

H. Discourage automobile-oriented development through pedestrian-oriented building and site design principles and accommodations for shared parking resources.

SECTION 5.02

Applicability

All buildings in the DT, T-1, or T-2 shall comply with the design standards of this Article as follows.

A. New Construction. All new developments that require site plan approval after the Effective Date of this ordinance shall fully comply with the design standards in **Section 5.07** and **Section 5.08**.

B. Expansions of Developed Sites. Buildings and sites existing prior to the Effective Date of adoption of these standards may be expanded or improved as follows:

(1) *Less than 25 percent (25%) of existing condition.* Any development activity on a developed site that would increase the floor area of the existing building or the area of existing site improvements by less than 25 percent (25%) need not comply with the requirements of this Article. However, any improvements should result in the site being more compliant, and shall not result in the site being less compliant, with the requirements of this Article.

(2) *Greater than 25 percent (25%) of existing condition.* Whenever a building or site improvement expansion of greater than 25 percent (25%) of the existing condition is proposed, the activity shall comply with the requirements of **Section 5.06** and **Section 5.08**.

C. Redevelopment of Existing Sites. Redevelopment of existing buildings and sites existing prior to the Effective Date of adoption of these standards may be expanded or improved as follows:

(1) *Less than 50 percent (50%) of existing condition.* Whenever 50 percent (50%) or less of the existing building will be demolished, replaced, or renovated, the development activity need not comply with the requirements of this Section. However, any changes that may occur as a result of the development activity should result in the site being more compliant, and shall not result in the site being less compliant, with the requirements of this Article.

(2) *Greater than 50 percent (50%) of existing condition.* Whenever more than 50 percent of an existing building will be demolished or replaced, the development activity shall comply with all of the requirements of **Section 5.06** and **Section 5.08**.

SECTION 5.03

Waiver of Requirements

A. Purpose. The Planning Commission may grant waivers from certain requirements of this Section. Waivers under this Article are separate from dimensional variances, and intended to permit reasonable use of property where the strict application of the requirements of this Section would not further the public purpose and an altered design standard will still meet the intent and purpose of this Article.

B. Waivers Permitted.

(1) *Build-to-Line.* The Planning Commission may grant a waiver from any build-to-line requirement, provided that the Planning Commission determines that the waiver is necessary because of a unique or irregular characteristic of the lot. For corner buildings, a setback waiver may be granted to create a larger sidewalk adjacent to the intersection. No more than one (1) such waiver shall be granted for any given property.

(2) *Architectural Standards.* The Planning Commission may waive up to three (3) architectural standards provided in **Section 5.06**, **Section 5.07**, or **Section 5.08.**

(3) *Materials.* The Planning Commission may modify the material standards as provided for in the material standards in **Section 5.06** and **Section 5.07**.

C. Waivers Not Permitted. No waivers may be granted from the following requirements. In the event that an applicant wishes to vary from any of the following requirements, they must seek a variance from the Zoning Board of Appeals.

(1) *Minimum or Maximum Building Height.*

(2) *Building Types.* All new or substantially redeveloped buildings shall be constructed as one of the permitted building types. This shall not prohibit the Planning Commission from allowing waivers from architectural standards related to a specific building type.

(3) *Frontage Type.* All buildings shall conform to one of the permitted frontage types. This shall not prohibit the Planning Commission from allowing build-to-line waivers as outlined in this Section.

D. Application and Review Procedures. The applicant shall clearly identify all requested waivers on the application and site plan. The Planning Commission shall evaluate the requested waivers and approve, approve with conditions, or deny the waiver request. In evaluating a waiver request, the Planning Commission shall take into account the following considerations:

(1) Approval of the waiver will not result in development that is incompatible with or will negatively impact existing or potential future development in the vicinity of the property to be developed.

(2) The requested waiver is consistent with the intent and purpose of this Article.

(3) The waiver will result in a superior development when compared with what could be achieved through the strict application of the requirements of this Article.

(4) A lesser waiver will not accomplish the same purpose as the requested waiver.

SECTION 5.04

Conflicts

The form-based development standards in this Article are meant to complement and supplement applicable standards found elsewhere in this Zoning Ordinance. Where conflicts exist between this Article and other sections of the Chelsea Zoning Ordinance, the standards in this Article shall govern.

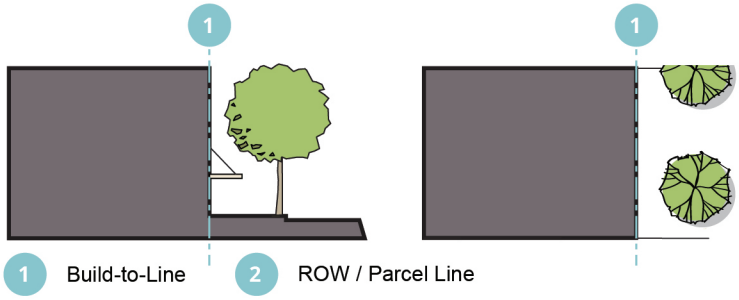
SECTION 5.05

Frontage Type Requirements

The frontage is the area between the front property line, edge of public right-of-way, or public sidewalk and the principal building façade. Buildings must be consistent with one of the following frontage types.

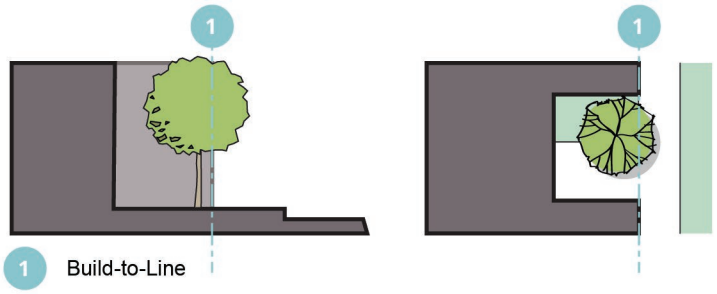
A. Zero Setback. A frontage where the building façade is located at the sidewalk or front lot line with the building entrance at sidewalk grade.

Zero Setback Frontage Type		Districts Permitted		
Build-to-Line	Dimensional Requirements	DT	T-1	T-2
0 feet from front property line or edge of sidewalk, if the property line extends to the curb of a street.	**100%** of building façade meets the build-to-line.	•	•	•



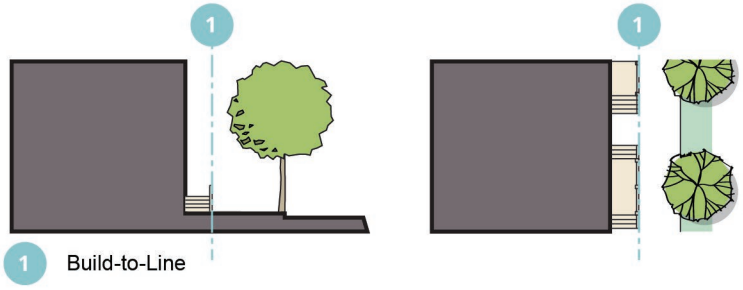
B. Courtyard. A frontage where a portion of the building facade is close to the front lot line with a portion set back. The courtyard may accommodate tree plantings, public plaza, or outdoor seating area.

Courtyard Frontage Type		Districts Permitted		
Build-to-Line	Dimensional Requirements	DT	T-1	T-2
0 feet from front property line or edge of sidewalk, if the property line extends to the curb of a street.	**At least 40%** of building façade meets the build-to-line. **60% or less** of the building façade may be set back up to 15 feet to allow for the courtyard.	•	•	•



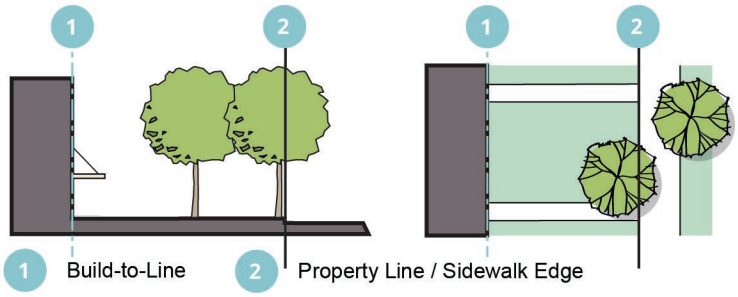
C. Stoop. A frontage where the first floor is elevated from the sidewalk to provide privacy for first floor windows. The entrance is usually from an exterior stair and landing. This frontage is suitable only for ground-floor residential use.

Stoop Frontage Type		Districts Permitted		
Build-to-Line	Dimensional Requirements	DT	T-1	T-2
0 feet from front property line or sidewalk where 5 feet of clearance is provided. **5 feet** from front property line or sidewalk where 5 feet of clearance is not provided.	**100% of the stoop** should meet build-to-line. The front building façade shall be set back no greater than the depth of the stoop.	•	•	•



D. Lawn. A frontage where the building is set back from the street with a landscaped front yard area. A pedestrian pathway shall be provided from the public sidewalk to the front doors of a building with a lawn frontage type.

Lawn Frontage Type		Districts Permitted		
Build-to-Line	Dimensional Requirements	DT	T-1	T-2
25 feet from front property line or sidewalk, or the **average setback** of adjacent buildings.	**60%** of building façade meets the build-to-line. **Up to 40%** of the building façade may be set back **10 feet** to allow for a plaza or outdoor dining area. Pedestrian walkways shall be a **minimum of five (5) feet** in width.		•	•



SECTION 5.06

Architectural Standards for Existing Uses

A. Building Form.

(1) *Base, Middle, and Cap.* All buildings shall incorporate a base, middle, and cap, as is applicable.

a) *Base.* The base shall include an entryway with transparent windows and a horizontal expression line, such as a molding or reveal, defining the transition between the ground floor and upper stories. The molding or reveal shall have a depth of at least two inches and a height of at least four inches. If a one-story building is proposed, the horizontal expression line is not required.

b) *Middle.* The middle may include windows, bays, or balconies that are located between the reveal and the cap area.

c) *Cap.* The cap includes the wall area from the bottom of the roof structure to the top of the parapet wall of the building. The building roof shall be defined by a cornice, roof overhang, or other terminating feature.

(2) *Unified Storefront Design.* If a building has several storefronts, they should be unified in design treatment, such as the design of windows and door openings, materials, and colors, to the greatest extent possible.

(3) *Blank Walls.* There are to be no blank façades. All public façades must provide windows and façade offsets or breaks (such as vertical pilasters, columns, or other architectural elements) to break up the scale of the building. Distance between breaks shall be consistent with the scale and rhythm of adjacent buildings.

(4) *Alignment.* Windowsills, moldings, and cornices shall substantially align with those on adjacent buildings.

a) The bottom and top line defining the edge of the windows (the "windowsill alignment") shall not vary more than two feet from the alignment of surrounding buildings.

b) If the adjoining buildings have windowsill alignments that vary by more than two feet from one another, the proposed building shall align with one of the adjoining buildings.

c) This requirement may be waived in accordance with **Section 5.03**.

B. Windows.

(1) For front and side façades facing a public street, parking area, or pedestrian cut-through or side alley:

a) Windows and doors shall comprise at least 50 percent (50%) of the first-floor façade for front façades and 35 percent (35%) of the first floor for side façades.

b) Windows shall comprise at least 35 percent (35%) of the total façade area above the first floor.

c) Windows above the first floor shall be vertical in proportion, with a height to width ratio of at least two (2) to one (1).

(2) For rear façades facing a public street or parking area, windows shall comprise at least 20 percent (20%) of the total façade area. All other rear façades are encouraged, but not required, to meet this standard.

(3) Double-hung or fixed windows are preferred for all retail applications. Accordion or folding doors and sliding windows may be permitted for ground floor uses to provide indoor-outdoor service, providing adequate sidewalk clearance is provided.

C. Ground Floor Design.

(1) *Building entrances.* Building entrances shall be clearly defined by recessing the entrance, or utilizing elements such as lintels, pediments, pilasters, columns, awnings, overhangs, or solar shades. Any such element shall be architecturally compatible with the style, materials, and colors of the building.

(2) *Building orientation.* All buildings shall have their principal entrance or entrances open onto a street, sidewalk, or public space. The principal building entrance shall not open onto a parking lot, although a secondary entrance may be provided to a parking lot. Corner buildings shall have at least one entrance addressing each street frontage.

(3) *At-grade entryways.* Primary building entrances shall align with the elevation of the adjacent sidewalk. It is not the intent of this section to preclude the use of below or above-grade entryways, provided that such entryways are secondary, not principal, building entrances.

D. Permitted Building Materials for Adaptive Reuse by District.

(1) Permitted Primary Materials (≥60% of building façade)	DT	T-1	T-2
Brick, cut stone, field stone, cast stone, manufactured stone, or burnished concrete masonry	•	•	•
Decorative masonry veneer	NP	•	•
Timber or dimensional wood	•	•	•
Engineered equivalent of any material listed above [a]	•	•	•

[a] Engineered building materials should convincingly match the appearance of natural building materials.

• = Permitted; NP = Not Permitted

(2) Permitted Accent Materials	DT	T-1	T-2
Clear or lightly tinted glass	•	•	•

Metal and metal paneling	•	•	•
Timber or dimensional wood	•	•	•
Polymer plastic (e.g., Fypon, Azek)	•	•	•
Stucco, not to exceed 10% of building façade	•	•	•
Fiber cement siding or panels	•	•	•
Pre-cast concrete	•	•	•
Split-face masonry (not to exceed 5% of total wall area)	•	•	•

• = Permitted; NP = Not Permitted

(3) Permitted Roofing Materials	DT	T-1	T-2
Architectural shingles (e.g., cedar, asphalt, and fiberglass)	•	•	•
Standing metal seam	•	•	•
Natural or artificial slate	•	•	•
Copper	•	•	•
Clay tile	•	•	•
EPDM, rubber sheet, or other layered roofing system	•	•	•

• = Permitted; NP = Not Permitted

(4) *Prohibited Materials.* Prohibited materials include, but are not limited to: vinyl, Exterior Insulation and Finishing Systems (EIFS), painted or scored concrete masonry units (CMU), dark-tinted, reflective, or mirrored glass, and exposed neon, except as permitted by **ARTICLE 9**.

(5) *Waivers.* The Planning Commission may modify the material standards, based on determination that the proposed materials are high-quality and compatible with the architecture and style of the primary building and context.

E. Building Colors. For building renovations and additions, exterior finish materials and colors used shall be consistent, or compatible, with the character of the surrounding district to create a uniform and recognizable identity. Wherever possible, harmonization of colors is preferred. This standard shall not be interpreted as prohibiting the incorporation of public art, such as a mural, to buildings or sites in the DT, T-1, or T-2 District.

F. Architectural Features. For rehabilitation of structures within the DT District that are of historic significance or character, the following standards shall also apply.

(1) Existing and original storefronts should be retained wherever possible.

(2) Deteriorated architectural features or historic materials shall be repaired rather than replaced wherever possible.

(3) Display windows, transom windows, and doors shall not be covered with solid materials such as brick, cladding, paneling and siding, or window air conditioning units.

(4) Decorative architectural features including but not limited to bulkheads, cornices, and window hoods shall not be removed, altered, or covered.

(5) Improper solid coverings of decorative architectural features, windows, or doors should be removed and restored to their original state to the greatest extent possible, using natural building materials identified in **Section 5.06D**.

G. Alternative Review Standards for Adaptive Reuse. Should the Planning and Zoning Administrator determine that it is not possible for an existing structure to meet or come into further compliance with the standards of this Section, the Planning and Zoning Administrator may evaluate the project based on the architectural standards for another building type permitted within the district in which its located. Should that be the case, both of the following must be met:

(1) The development shall meet all other applicable design standards required by this Article.

(2) The development must bring the site into greater compliance with, and shall not result in the site being less compliant with, the building type standards in **Section 5.07**.

SECTION 5.07

Architectural Standards for New Construction

New Construction in the DT, T-1, and T-2 Districts must conform to architectural and dimensional standards of the following building types.

A. Permitted Building Types.

(1) *Apartment Building.* A multi-story building with three (3) or more residential units. Individual units may share common interior corridors and exterior entrances. Apartment buildings may be walk-up or elevator buildings, depending on height and building codes.

(2) *Live/Work Unit.* A small- to medium-sized building that contains a ground floor office, service, or retail space with a dwelling unit above or behind it. The building can be attached or detached, with both the living and working space are owned or rented by one user.

(3) *Mixed-Use Building.* A multi-story building with residential or office units on the upper floors and commercial or other active uses on the ground floor. All uses are integrated in a single building, with upper floors typically serviced by their own entrance. Access to ground floor uses is provided from the primary street frontage.

(4) *Parking Garage.* A building above or below ground that is designed specifically for automobile parking on more than one level. The structure may or may not be accompanied by an additional, pedestrian-scaled "liner building" that separates the exterior of the parking structure from a public street. The liner building shall be integrated into the parking structure, or sit in front of it. Underground parking structures may be combined with another permitted building type. Underground parking need not comply with the parking garage building type standards.

(5) *Pedestrian-Oriented Commercial Building.* A single- or multi-story building designed for retail or office uses. Buildings have active ground floor uses with primary access on a public street or from a public sidewalk. Pedestrian amenities, such as sidewalks, plazas, parks, and outdoor seating areas, are integrated into the site design. Common entrances and other spaces may be shared between uses.

(6) *Townhomes/Stacked Townhomes.* A series of attached single-unit dwellings that are separated from the adjacent dwelling unit by a structurally independent wall extending from the foundation through the roof. They have unobstructed front and rear walls to be used for access, light, and ventilation. A variation of the Townhome is the Stacked Townhome, which vertically integrates two similarly-sized single-unit dwellings in the same building footprint.

B. Permitted Building Types by District.

(1) Building Type	DT	T-1	T-2
Apartment Building	NP	•	•
Live/Work Unit	•	•	•
Mixed-Use Building	•	•	•
Parking Garage	•	NP	NP
Pedestrian-Oriented Commercial Building	•	•	•
Townhomes / Stacked Townhomes	•	•	•

• = Permitted; NP = Not Permitted

C. Permitted Materials for New Construction by District.

(1) Permitted Primary Materials (≥60% of building façade)	DT	T-1	T-2
Brick, cut stone, field stone, cast stone, manufactured stone, or burnished concrete masonry	•	•	•
Timber or dimensional wood	•	•	•
Fiber cement siding or panels	•	•	•
Engineered equivalent of any material listed above [a]	•	•	•

[a] Engineered building materials should convincingly match the appearance of natural building materials.

• = Permitted; NP = Not Permitted

(2) Permitted Accent Materials	DT	T-1	T-2
Clear or lightly tinted glass	•	•	•
Metal and metal paneling	•	•	•
Decorative masonry veneer	NP	•	•
Timber or dimensional wood	•	•	•
Polymer plastic (e.g., Fypon, Azek)	•	•	•
Stucco, not to exceed 10% of building façade	•	•	•
Pre-cast concrete	•	•	•
Split-face masonry (not to exceed 5% of total wall area)	•	•	•

• = Permitted; NP = Not Permitted

(3) Permitted Roofing Materials	DT	T-1	T-2
Architectural shingles (e.g., cedar, asphalt, and fiberglass)	•	•	•
Standing metal seam	•	•	•
Natural or artificial slate	•	•	•
Copper	•	•	•
Clay tile	•	•	•
EPDM, rubber sheet, or other layered roofing system	•	•	•

• = Permitted; NP = Not Permitted

(5) *Prohibited Materials.* Prohibited materials include, but are not limited to: vinyl, Exterior Insulation and Finishing Systems (EIFS), painted or scored concrete masonry units (CMU), dark-tinted, reflective, or mirrored glass, and exposed neon, except as permitted by **ARTICLE 9**.

(2) *Waivers.* The Planning Commission may modify the material standards, based on determination that the proposed materials are high-quality and compatible with the architecture and style of the primary building and context.

D. Apartment Building.

(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition	Min.	Max.
A	Minimum building height	2 stories		G Bay Width	20′	40′
B	Ground floor height	12′	15′	H Blank wall length	--	20′
C	Upper floor height	10′	15′	I Flat (low-slope) roof	P	
D	Finished floor elevation	0′	3′	J Pitched roof	P	
E	Building separation	0′ /15′*		K Terminating vertical break	R	
F	Pedestrian pass-through	Not Required		L Roof pitch (rise: run)	4″:12″	12″:12″

*0 feet where connected to adjacent building or 15 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	P	Rear Yard	--	P
Non-Residential	NP	Side Yard	--	P
Parking	NP	Front Yard	--	NP

R = Required; P = Permitted; NP = Not Permitted

(2) All four facades are of equal importance. All visible façades designed with attention to detail and quality of material. There are no blank or unarticulated façades.

(3) Pattern of solids and voids generated by the vertical and horizontal alignment of similarly-sized windows and doors. Distance between façade breaks, bay widths, and spacing of windows and doors consistent with scale and rhythm of adjacent buildings.

(4) Primary building entrances open onto a street, sidewalk, or public space. Secondary entrances may be provided from a parking lot. Corner buildings have at least one entrance addressing each street frontage.

(5) Primary building entrances at grade for accessibility.

(6) Building entrances clearly defined by recessing the entrance, or utilizing elements such as lintels, pediments, pilasters, columns, awnings, overhangs, or solar shades.

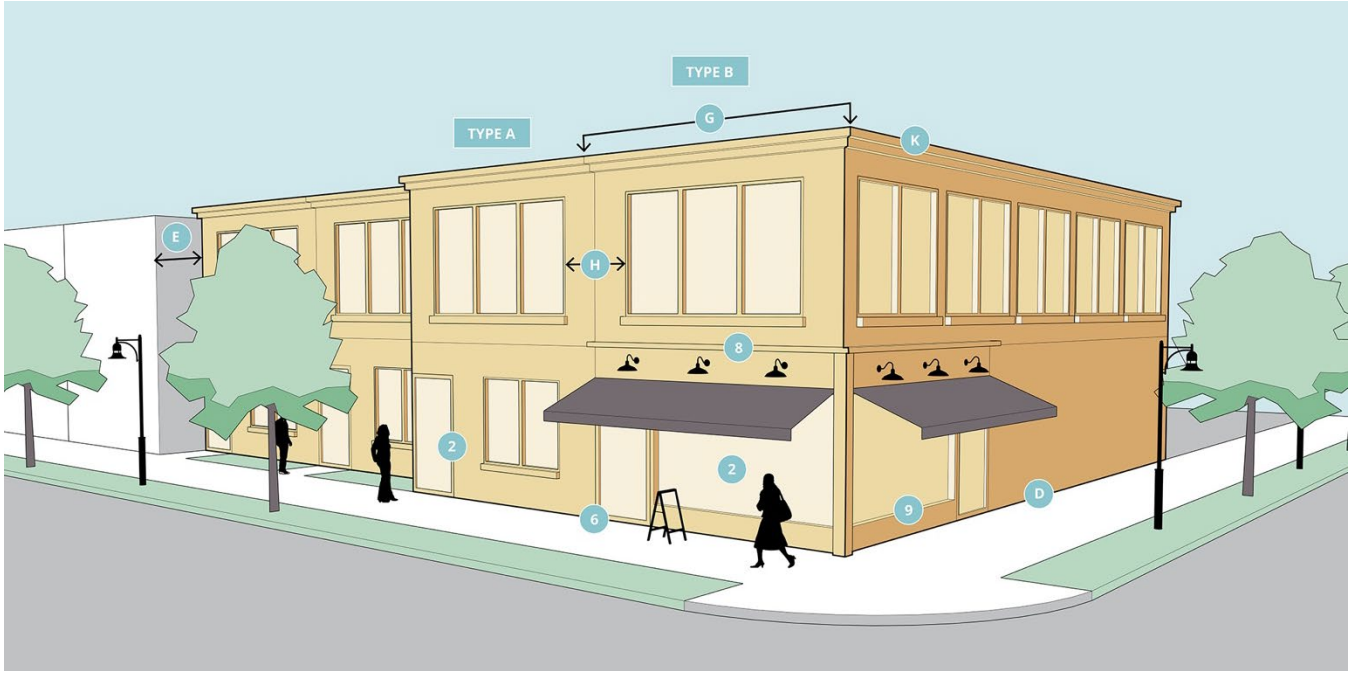
(7) Windows and doors are recessed into the facade wall, to appear as if they were "punched" through the building façade.

(8) All architectural features, including awnings, overhangs, roof projections, window accents, and the like are compatible with the style, materials, and colors of the building.

(9) Ground floor contains interior lobby, vestibule, and/or elevator. Ground floor may also contain residential amenities, such as mail rooms, fitness centers, and community rooms. Ground floor apartments are allowed in the T-1 and T-2 Districts only.

(10) In larger developments with more than one apartment building, buildings are arranged and clustered to maximize opportunities for shared circulation and parking. The layout of buildings and uses (including community amenities and open space) shall be designed to make walking from one use to another as easy as possible.

E. Live/Work Unit.



(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition		Min.	Max.
A	Minimum building height	2 stories		G	Bay Width	16′	25′
B	Ground floor height	12′	15′	H	Blank wall length	--	16′
C	Upper floor height	10′	15′	I	Flat (low-slope) roof	R (DT) / P (T-1, T-2)	
D	Finished floor elevation	0′	3′	J	Pitched roof	NP (DT) / P (T-1, T-2)	
E	Building separation	0′ / 10′*		K	Terminating vertical break	R	
F	Pedestrian pass-through	P (Min. 15′)		L	Roof pitch (rise: run)	4″:12″	12″:12″

*0 feet where connected to adjacent building or 10 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	P	Rear Yard	P	P
Non-Residential	P	Side Yard	NP	P
Parking	P (within ground floor)	Front Yard	NP	NP

R = Required; P = Permitted; NP = Not Permitted

(2) Two different types of ground floor conditions are permitted for live/work units. Type A units, featuring ground level access to residential or commercial space without a storefront and Type B units, featuring a storefront accessible at grade with plate-glass display windows.

(3) All four facades are of equal importance. All visible façades designed with attention to detail and quality of material. There are no blank or unarticulated façades.

(4) Pattern of solids and voids generated by the vertical and horizontal alignment of similarly-sized windows and doors. Distance between façade breaks, bay widths, and spacing of windows and doors consistent with scale and rhythm of adjacent buildings.

(5) Primary building entrances open onto a street, sidewalk, or public space. Secondary entrances may be provided from a parking lot. Corner buildings have at least one entrance addressing each street frontage (Type B).

(6) (Type B) Primary building entrances at grade for accessibility.

(7) (Type B) Building entrances clearly defined by recessing the entrance, or utilizing elements such as lintels, pediments, pilasters, columns, awnings, overhangs, or solar shades.

(8) (Type B) Entablatures, cornices, or a similar horizontal expression line define the transition of ground floor storefronts and the second floor of all live/work buildings.

(9) (Type B) Building storefronts have open, plate-glass storefronts located above a plinth measuring 18 to 24 inches in height above grade.

(10) (Type B) Sign band and/or secondary cornice integral to the storefront located above plate-glass storefronts or transom windows.

(11) Windows and doors are recessed into the facade wall, to appear as if they were “punched” through the building façade. Storefronts need not meet this standard.

(12) All architectural features, including awnings, overhangs, roof projections, window accents, and the like are compatible with the style, materials, and colors of the building.

(13) Windows above the first floor are vertical in proportion, with a height to width ratio of at least two (2) to one (1).

(14) (Type B) Buildings with multiple storefronts are unified in storefront design treatment, such as the design of windows and door openings, materials, and colors.

(15) Pedestrian pass-through connects the front of the building to rear parking or alleys.

(16) Parking permitted within the ground floor of the building but may not abut the primary public frontage. Parking within the ground floor shall be set back a minimum of 20 feet to allow for an active, ground floor use fronting the public street.

F. Mixed-Use Building.

(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition	Min.	Max.
A	Minimum building height	2 stories		G Bay Width	16′	40′
B	Ground floor height	12′	15′	H Blank wall length	--	16′
C	Upper floor height	10′	15′	I Flat (low-slope) roof	R (DT) / P (T-1, T-2)	
D	Finished floor elevation	0′	3′	J Pitched roof	NP (DT) / P (T-1, T-2)	
E	Building separation	0′ / 15′*		K Terminating vertical break	R	
F	Pedestrian pass-through	P (Min. 15′)		L Roof pitch (rise: run)	4″:12″	12″:12″

*0 feet where connected to adjacent building or 15 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	P (upper floors only)	Rear Yard	P	P
Non-Residential	R	Side Yard	NP	P
Parking	P (within ground floor)	Front Yard	NP	NP

R = Required; P = Permitted; NP = Not Permitted

(2) All four facades are of equal importance. All visible façades designed with attention to detail and quality of material. There are no blank or unarticulated façades, unless façade is not visible from public right-of-way, residential zoning district, or parking lot.

(3) Pattern of solids and voids generated by the vertical and horizontal alignment of similarly-sized windows and doors. Distance between façade breaks, bay widths, and spacing of windows and doors consistent with scale and rhythm of adjacent buildings.

(4) Primary building entrances open onto a street, sidewalk, or public space. Secondary entrances may be provided from a parking lot. Corner buildings should have at least one entrance addressing each street frontage.

(5) Primary building entrances at grade for accessibility.

(6) Building entrances clearly defined by recessing the entrance, or utilizing elements such as lintels, pediments, pilasters, columns, awnings, overhangs, or solar shades.

(7) (DT District Only) Building storefronts have open, plate-glass storefronts located above a plinth measuring 18 to 24 inches in height above grade.

(8) Entablatures, sign bands, cornices, or a similar horizontal expression line define the transition of ground floor storefronts and the second floor of all mixed-use buildings.

(9) Windows and doors recessed into the facade wall, to appear as if they were “punched” through the building façade. Storefronts need not meet this standard.

(10) Windows above the first floor are vertical in proportion, with a height to width ratio of at least two (2) to one (1).

(11) (DT District Only) Non-storefront windows shall have decorative sills and/or hoods. Full and segmented arches are allowed atop rectangular windows on upper stories.

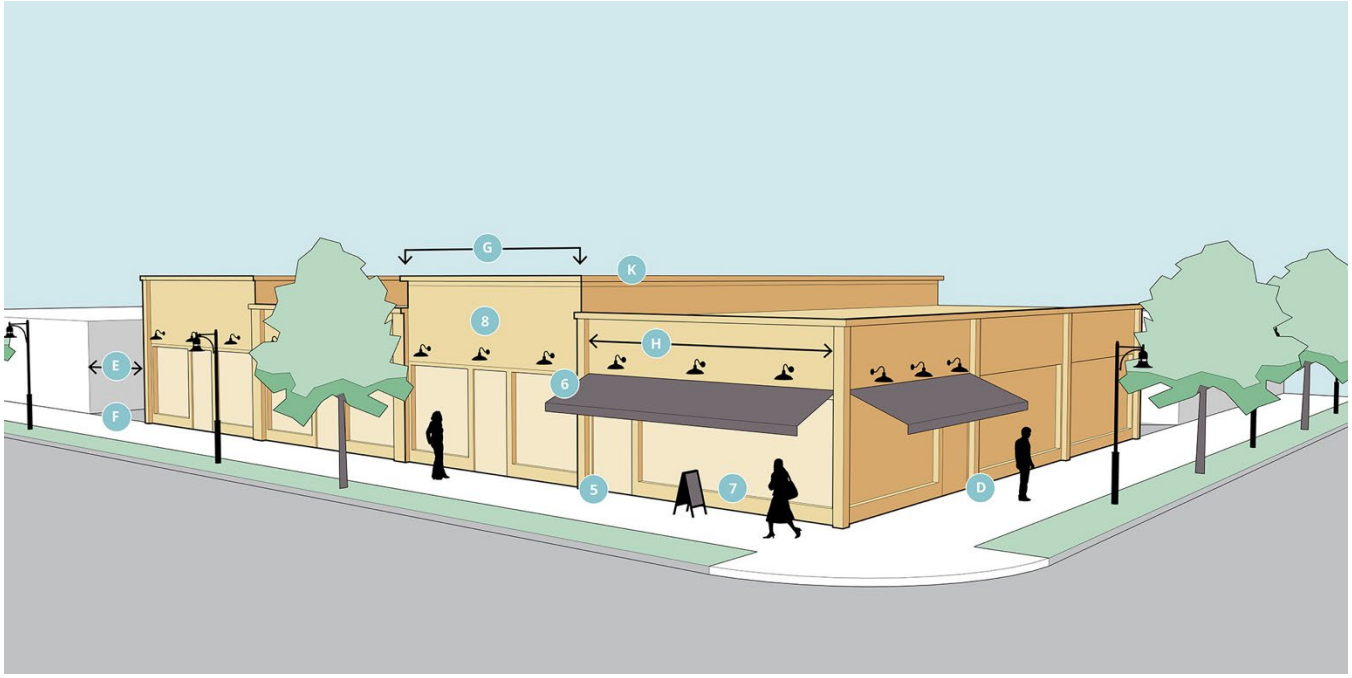
(12) All architectural features, including awnings, overhangs, roof projections, window accents, and the like are compatible with the style, materials, and colors of the building.

(13) Buildings with multiple storefronts are unified in storefront design treatment, such as the design of windows and door openings, materials, and colors.

(14) Pedestrian pass-through connects the front of the building to rear parking or alleys.

(15) Parking permitted within the ground floor of the building but may not about the primary public frontage. Parking within the ground floor shall be set back a minimum of 20 feet to allow for an active, ground floor use fronting the public street.

G. Pedestrian-Oriented Commercial Building.



(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition	Min.	Max.
A	Minimum building height	2 stories (DT) 1 story (T-1/T-2)		G Bay Width	16′	40′
B	Ground floor height	12′	24′	H Blank wall length	--	16′
C	Upper floor height	10′	15′	I Flat (low-slope) roof	P	
D	Finished floor elevation	0′	3′	J Pitched roof	P	
E	Building separation	0′ / 15′*		K Terminating vertical break	R	
F	Pedestrian pass-through	1 per 200 feet (Min. 15′)		L Roof pitch (rise: run)	4″:12″	12″:12″

*0 feet where connected to adjacent building or 15 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	NP	Rear Yard	P	P
Non-Residential	R	Side Yard	NP	P
Parking	NP	Front Yard	NP	NP

R = Required; P = Permitted; NP = Not Permitted

(2) All four facades are of equal importance. All visible façades designed with attention to detail and quality of material. There are no blank or unarticulated façades unless façade is not visible from public right-of-way, residential district, or parking lot.

(3) Pattern of solids and voids generated by the vertical and horizontal alignment of similarly-sized windows and doors. Distance between façade breaks, bay widths, and spacing of windows and doors consistent with scale and rhythm of adjacent buildings.

(4) Primary building entrances open onto a street, sidewalk, or public space. Secondary entrances may be provided from a parking lot. Corner buildings have at least one entrance addressing each street frontage.

(5) Primary building entrances at grade for accessibility.

(6) Building entrances clearly defined by recessing the entrance, or utilizing elements such as lintels, pediments, pilasters, columns, awnings, overhangs, or solar shades.

(7) (DT District Only) Building storefronts have open, plate-glass storefronts located above a plinth measuring 18 to 24 inches in height above grade.

(8) Sign band and/or secondary cornice integral to the storefront located above plate-glass storefronts or transom windows.

(9) Windows and doors recessed into the facade wall, to appear as if they were "punched" through the building façade. Storefronts need not meet this standard.

(10) All architectural features, including awnings, overhangs, roof projections, window accents, and the like are compatible with the style, materials, and colors of the building.

(11) Buildings with multiple storefronts are unified in storefront design treatment, such as the design of windows and door openings, materials, and colors.

(12) Pedestrian pass-through connects the front of the building to rear parking or alleys.

(13) Drive-thrus, where permitted by the underlying district, shall be located to the side or rear of the building. Drive-thrus shall comply with all other requirements of **Section 4.06**.

(14) Canopies, such as over gasoline pumps or drive-thru structures, shall be designed to be consistent with permitted building materials and colors for the primary building type. Support columns shall be brick.

H. Parking Garage.

(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition	Min.	Max.
A	Minimum building height	3 stories		G Bay Width	--	--
B	Ground floor height	12′	--	H Blank wall length	--	20′
C	Upper floor height	10.5′	--	I Flat (low-slope) roof	R	
D	Finished floor elevation	0′		J Pitched roof	NP	
E	Building separation	0/15′*		K Terminating vertical break	R	
F	Pedestrian pass-through	--		L Roof pitch (rise: run)	--	--

*0 feet where connected to adjacent building or 15 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	NP	Rear Yard	--	
Non-Residential	NP	Side Yard	--	
Parking	R	Front Yard	--	

R = Required; P = Permitted; NP = Not Permitted

(2) Parking structures are to be located internal to a block wherever possible, with access provided from a side street. Direct access to a parking structure to or from M-52/Main Street is prohibited.

(3) Decorative trellis work or other architectural elements are encouraged to screen views of parked cars in the structure. Such screening shall be fairly open and shall not be solid or opaque.

(4) Parking structures, including any screening features, should complement the surrounding buildings in style, materials, and colors.

(5) Façade offsets, color bands, accent materials, or architectural details shall be incorporated into the design of the structure to break up the appearance of a long, blank façade.

(6) The parking structure shall have the appearance of a flat-roofed building with a parapet cap.

(7) Exterior elevator towers or stair wells shall be open to public view, or enclosed with transparent glazing.

(8) Liner buildings, if provided, shall conform to a permitted building type. All applicable standards for that building type shall apply to the liner building.

(9) If parking structure is located underground, the ground floor shall be occupied by a permitted building type or include common open space elements such as a park or plaza. Pedestrian access to the below-ground structure shall be provided from a public street or plaza.

I. Townhome/Stacked Townhome.

(1) Building Form and Massing Standards						
Main Body		Min.	Max.	Massing and Composition		Min.	Max.
A	Minimum building height	2 stories		G	Bay Width	16′	25′
B	Ground floor height	10′	14′	H	Blank wall length	--	10′
C	Upper floor height	10′	14′	I	Flat (low-slope) roof	P	
D	Finished floor elevation	0′	3′	J	Pitched roof	P	
E	Building separation	0 / 10′*		K	Terminating vertical break	R	
F	Pedestrian pass-through	P (15′ min.)		L	Roof pitch (rise: run)	4″:12″	12″:12″

*0 feet where connected to adjacent building or 10 feet where separation between buildings is provided.

Permitted Uses (Limited to those Permitted in District)		Parking	DT	T-1/T-2
Residential	P	Rear Yard	R	R / P
Non-Residential	NP	Side Yard	NP	P
Parking	P (within ground floor)	Front Yard	NP	NP

R = Required; P = Permitted; NP = Not Permitted

(2) All four facades are of equal importance. All visible façades designed with attention to detail and quality of material. There are no blank or unarticulated façades.

(3) Pattern of solids and voids generated by the vertical and horizontal alignment of similarly-sized windows and doors.

(4) Distance between façade breaks, bay widths, and spacing of windows and doors consistent with scale and rhythm of adjacent buildings.

(5) Windows and doors recessed into the facade wall, to appear as if they were "punched" through the building façade.

(6) Primary building entrances open onto a street, sidewalk, or public space. Secondary entrances may be provided from a garage or parking lot.

(7) All architectural features, including decorative railings and posts, overhangs, roof projections, window accents, and the like, are compatible in style, materials, and colors to the primary building.

(8) Each entrance to a unit shall be clearly identifiable, architecturally articulated and integrated into the architecture. Entrances may be shared between units when stacked.

(9) Entry porches required for units with finished floor elevations above grade. Porches have decorative elements, such as railings, spindles, or columns.

(10) Garages are permitted in only in the rear of the ground floor of individual units. No garage or individual unit driveway shall front onto a public street.

(11) Shared parking lots may be located in a side or rear yard.

SECTION 5.08

Design Standards Applicable to All Development in the DT, T-1, and T-2 Districts

The following standards shall apply to all new construction, expansion of existing sites, and redevelopment in the DT, T-1, and T-2 Districts that require site plan approval.

A. Stepbacks. For new infill buildings or upper story additions taller than three stories, or 35 feet, the upper stories may be stepped back a minimum of 10 feet from the edge of the building façade to minimize views of the additional building height from the street.

B. Encroachments. The following building elements may encroach into a public right-of-way or setback area.

(1) *Balconies.* Balconies on upper stories may encroach up to three (3) feet into any required yard and up to three (3) feet into any right-of-way area, provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.

(2) *Stoops.* Unenclosed and uncovered front stoops may encroach up to five (5) feet into a front yard setback area, provided that the stoop maintains a minimum setback of five feet from any right-of-way line.

(3) *Bay Windows*. Bay windows on the ground floor may encroach up to three (3) feet into any setback area, but may not encroach into a right-of-way area. Bay windows on upper floors may encroach up to three feet into any setback or right-of-way area provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.

(4) *Eaves.* Roof eaves may encroach up to three (3) feet into any setback or right-of-way area provided a minimum of 10 feet of clearance is maintained between buildings and/or accessory buildings.

C. Awnings. Awnings may be added to buildings over windows or doors on the ground floor or over upper-story windows. Awnings shall comply with the following standards.

(1) Awnings shall be straight sheds that are horizontal in proportion, with an awning width to height ratio of at least 2:1.

(2) Awnings shall be proportional in height and depth to the overall building façade.

(3) Awnings shall be constructed out of fabric. Metal or other materials may be used over storefront windows or entryways with an approved waiver according to the standards in **Section 5.03**.

(4) Awnings shall be of an opaque material. Translucent or internally lit awnings are prohibited.

(5) Awnings shall have a minimum of eight (8) feet of clear space between the sidewalk and the bottom of the awning or any support structure, and shall not exceed a height of 12 feet to the highest point of the awning.

(6) If the awning encroachment of six (6) feet would interfere with the placement of street lighting or street trees, the awning projection shall be reduced to resolve the conflict.

(7) An awning may be installed in the DT, T-1, or T-2 District upon issuance of a Zoning Compliance Permit by the Planning and Zoning Administrator.

D. Public Realm.

(1) *Sidewalks.* Sidewalks shall be required along all public street frontages, and to connect the street frontage to all front building entrances, parking areas and drives, usable open spaces, and any other destination that generates pedestrian traffic. Sidewalks shall connect to existing sidewalks on abutting tracts and other nearby pedestrian destinations.

a) Sidewalks along a public street shall have a minimum unimpeded width of five (5) feet, where separated from the street with a planting strip.

b) Sidewalks immediately adjacent to a street or parking area shall have a minimum unimpeded width of seven (7) feet. Where the adjacent properties exceed the minimum width required by this ordinance, the sidewalk shall match the width of the adjacent properties, but need not exceed 10 feet in width.

c) All other pedestrian paths on a site shall have a minimum unimpeded width of five (5) feet.

d) Sidewalks shall be constructed of concrete or other decorative techniques approved by the City. In general, sidewalk treatments shall be consistent with the material character of adjacent properties and the overall district.

e) Pedestrian crossings on drive aisles or in parking areas shall being clearly identified using material differences or markings (e.g., inlaid thermal plastic, paint) that make them easy to view and distinguish them from the surrounding road surface. Curb ramps shall be provided at crossing locations.

(2) *Street Furnishings.* Public plazas, amenity zones, pedestrian pathways, and other public open spaces may include amenities such as water features, public art, gazebos, shade trees, shade structures, drinking fountains, trash receptacles, benches, lights, trellises, or other similar features.

(3) *Pedestrian Protection.* Bollards, street trees, planters, and/or street furniture may be used as a barrier to protect pedestrians and buildings where needed.

E. M-52 Gateway. In addition to the public realm standards in **Section 5.08D**, public space, in the form of a landscaped plaza or other similar design feature, shall be provided on corner lots at the intersection of M-52 and Old US-12. Gateway public realm features are also required on all lots within 500 feet of the intersection. Public space shall be furnished with amenities in accordance with **Section 5.08D(2)**.

F. Lighting. In addition to the standards provided in **Section 6.07**, the following design standards for lighting in the DT, T-1, and T-2 districts shall apply.

(1) *Site Lighting.* Site lighting should be consistent in style, height, and color with street lighting in the downtown business district and shall be provided within the pedestrian areas along the street and adjacent to the building.

(2) *Building Lighting.* Any ornamental lighting on building façades shall be consistent with the site and street lighting of the surrounding district. Fixtures shall be downward facing and fully-shielded.

(3) *Parking Lot Lighting.* All parking lot lighting and building mounted lighting shall be downward directed sharp cut-off fixtures with a maximum height of 22 feet with a maximum pole height of 20 feet and a maximum base height of two (2) feet. Fixtures shall be complementary with building and site lighting.

G. Parking Lot Screening. Parking lot screening shall be provided in accordance with the following standards to minimize views and adverse impacts from traffic, noise, and glare.

(1) For existing front-yard parking or side-yard parking lots fronting on a public street:

a) A street wall shall be provided along the lot line between the parking lot and street. The wall shall be a minimum of two and one-half (2.5) feet and a maximum of four (4) feet in height, and constructed of decorative, natural materials, such as brick, limestone, aluminum, or black wrought iron.

b) A minimum of three (3) foot wide planting strip shall be provided, containing a mixture of shrubs, ornamental grasses, and/or other plantings along the foundation of the street wall, fronting the public street.

c) Street walls along a front lot line shall be set back from the lot line to comply with clear sight distance requirements at intersections.

d) Openings in the street wall are encouraged to provide for pedestrian access to the site, public plazas, open space, or landscaping features.

(2) For off-street parking lots abutting a residential district, a minimum setback of 10 feet shall be provided from any side or rear lot line and shall be landscaped in accordance with **Section 7.08**.

(3) Parking garages shall be screened in accordance with **Section 7.06D**.

H. Loading Areas and Drive-Through Facilities. All garage doors, drive-thru windows, loading or service areas, or waste receptacles shall be located in the rear yard of the lot and screened from view of any public street, adjacent residential zoning district or public property. The screening shall consist of a wall to match the building, landscaping or a combination, as appropriate.

I. Parking and Loading Standards.

(1) Parking in the DT, T-1, and T-2 districts shall be provided in accordance with the standards in **ARTICLE 8**.

(2) In the DT district, parking requirements may be waived per **Section 8.04B**. Where provided, parking spaces shall be located as required in the Building Type standards.

J. Stormwater Management. Design of stormwater management systems in the DT, T-1, and T-2 districts shall conform to the standards in **ARTICLE 7** except that no at- or above-grade stormwater infrastructure shall be permitted within the front yard of any site unless the Planning Commission determines no other alternative is feasible. In such situations, the stormwater infrastructure (e.g., detention/retention pond) shall meet the minimum front yard setback requirement for principal buildings and shall be designed as a visual amenity integrated with landscaped features such as water fountains, boulder walls, and ground plantings.

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Response Letter

Project: Addition and Buildout, 107 N. Main Street, Chelsea
Date: 31 March 2022
To: Julia Upfal, Community Development Director
Of: City of Chelsea

Dear Julia,

Thank you for your Feedback letter dated March 18, 2022 to our initial plans submitted 1 February 2022, and re-submitted 10 March, for the above project. We offer the following response to your letter items:

1. *This application was submitted as a combined preliminary/final site plan, consistent with Article 12.05. The applicant should be aware that the submittal of combined plans was done at the applicant's discretion and risk. The Planning Commission has the authority to require submission of a preliminary site plan separate from a final site plan where the complexity and/or size of the development warrants additional consideration.*
    a. The applicant is aware of the risk and will provide additional information if/where requested.
2. *This site includes a business which spans between 107, 107.5, 109, and 113 N. Main Street. Therefore the address on the cover sheet must include 107, 107.5, 109, and 113 N. Main Street.*
    a. The address on the cover sheet has been updated. The renovation work is limited to 107, and 107.5 addresses.
3. *The building located at 113 N. Main St. encroaches on property owned by a separate entity, Chelsea Milling Company. The applicant submitted a Letter of Authorization from Chelsea Milling Company which granted authorization to proceed with planning commission review.*
    a. Please see attached letter form the CEO of Chelsea Milling Company dated March 15, 2022.
4. *The site data on the cover sheet includes the existing and proposed building area of 107 and 107.5 N. Main St. The applicant should also include the existing building area of 109 and 113 N. Main St. even though no changes are proposed to these buildings. The total square footage of all floor space contributing to the business, Heydlauff's Appliances, should be provided on the cover page as access between all three buildings in included in the plans.*
    a. The combined existing and proposed building areas of all three buildings (107, 109, & 113) are now provided on the site checklist on Sheet T1.

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5. *The project narrative on the cover page should explain that the second-floor buildout will convert space previously used as professional office to residential.*
    a. The project narrative has been updated to reflect this change.
6. *The site plan checklist and site data chart include the same zoning compliance information, but there are discrepancies in setbacks. Since this information only pertains to 107 N. Main and the site plan includes all three addresses, the applicant should either include a note which explains that 109 and 113 are remaining unchanged and the following information pertains to 107 only or the applicant should include site data for all three addresses.*
    a. A note has been added to the site data clarifying that the provided site and zoning info is for 107 & 107½ N. Main only. 109 and 113 N. Main remain unchanged.
7. *The site plan checklist lists the current use as "mixed use commercial and residential", but the City most recently issued a land use permit for a foot reflexology clinic at 107.5 N. Main St. The current use should be listed as "mixed use commercial and professional office."*
    a. This change has been made to Sheet T1.
8. *The site plan does not show the location of all easements. For example, there is a 20 ft wide easement around the City's stormwater line, 10 ft on either side of the line.* ***The location of all proximate easements must be included on the next set of revisions to proceed to Planning Commission review.***
    a. This easement has been added to the site plan on Sheet T1.
9. *On Sheet A2, the applicant includes waiver requests for front façade windows, however, the proposed windows have the same level of compliance as what as previously there. Therefore, a waiver request is not required and this note should be removed.*
    a. This note has been removed from the front façade second floor windows.
10. *The Planning Commission shall provide feedback on whether the proposed spiral staircase and guardrail are compatible with the existing building (5.07F-12).*
    a. We recognize the Planning Commission's input and believe that the new addition is compatible with the existing building and the ordinance.
11. *Windows on the rear façade shall be recessed into the façade wall to appear as though they were "punched" through the building façade (5.07 F-11)*
    a. New rear windows will comply with this ordinance requirement and a note has been added to Sheet A2. A typical window detail used for both historic and new construction is the window frame extends onto the 4" brick by 1", meaning the outer edge of window frame is

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3" in back of the outer brick plane which will provide the non-flush/punched look.

12. *The proposed use requires loading and unloading. Provide a description of the loading and unloading plan, including the location of loading and unloading, the times loading/unloading takes place, and whether there will be a net change in deliveries with the proposed showroom expansion. Chelsea Milling Company owns access to this parking area, and has submitted a letter granting authorization for ongoing use of the loading dock in the rear of the building.*

    Per the applicant:

    a. The proposed renovation of the 107 N. Main St. building will allow our growing business to expand the retail **showroom** an additional 1,000 square feet. The new entrance to Main Street will allow barrier free access to this same showroom space. The 600 square feet office addition and barrier free toilet room will be added to the rear of the building.
    b. No changes will happen to our existing loading dock at the 113 N. Main building nor at the rear employee entrance at the109 N. Main building.
    c. Our off-site 12,000 sf warehouse located in Chelsea's industrial park at 710 W. Industrial Drive services our product deliveries, delivery truck dispatch, product services and customer pickup. Product deliveries from manufacturers on a daily basis occur at our industrial park facility not at our downtown location. Products displayed at our downtown location are transported via our standard delivery trucks during our normal business hours. There will be no change in deliveries at our downtown location due to the proposed showroom expansion.
    d. All necessary arrangements and authorization for access to our building across Chelsea Milling Company property have been granted.

13. *Awning details should be provided to show compliance with Article 5.08C.*

    a. The previously approved awning from 109 N. Main will be visually extended across the 107 N. Main building with a new awning to match 109 N. Main. Awning details are provided on drawing 05 on sheet A2.

14. *Soil Erosion and Sedimentation Control Plan must be approved by the Chelsea Area Construction Agency as a condition of approval.*

    a. We recognize that soil and erosion control must be approved by others. Please see 01/A3.

15. *The applicant modified their draining plan to connect to an existing 6" drain in the rear of the building. The Department of Public Works is concerned this 6"*

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pipe will not contain this level of stormwater. The applicant should revise the plans to show the connection as described in the first submittal.

a. The stormwater connection has been reverted to what was previously shown, routing a new storm water lead to catch-basin 114; see drawing 01 on Sheet A4.

We trust that these responses are to your satisfaction. Please let us know of any additional questions/comments.

Thank you,

Scott McElrath, President,
Dangerous Architects PC

Cc Mark Heydlauff

CITY OF CHELSEA

To: City of Chelsea Planning Commission
From: Julia Upfal, Community Development Director, City of Chelsea
Subject: 1610 S. Main Street Special Land Use Permit and Site Plan Amendment
Date: April 16, 2022

This memorandum is regarding the seven plan sheets and one architectural plan sheet submitted by Geko Three, LLC for a Site Plan Amendment to add two small accessory structures (32 sf each) to serve as order booths to the existing Culver's Restaurant. This site was reclassified as a Special Land Use in the new Zoning Ordinance and the applicant must also obtain a Special Land Use Permit to proceed. The City of Chelsea and Chelsea Area Fire Authority reviewed this request, Planning Commission should review this request with consideration of the following:

1. The cover sheet should be labeled as a Site Plan Amendment
2. The water shutoff must be fixed before any permits may be issued and as a condition of approval of this plan amendment request
3. The parking lot striping must be corrected to be consistent with the originally approved site plan before any permits may be issued and as a condition of approval of this plan amendment request

Attachments

1. Site Plan Amendment- 1610 S. Main St.
2. Special Land Use Permit Application
3. Article 6.01- Accessory Structures
4. Article 3.06- Schedule of Regulations
5. Article 11- Special Use Permits

Recommended form of motion:

Motion to approve/deny the Special Land Use Permit and Site Plan Amendment for the addition of two 32 sf accessory structures located at Culvers at 1610 S. Main St contingent on all items in the staff report being addressed

Julia Upfal
Community Development Director
City of Chelsea

Culver's Restaurant - DT Order Booths

1610 South Main Street (M-52) — Chelsea, MI

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STATE OF MICHIGAN
FRANK Z. MARTIN
ARCHITECT
No. 1301019881
LICENSED ARCHITECT

architect seal

APPLICANT - ARCHITECT

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PROPERTY OWNER

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SITE DATA

PARKING REQUIRED

(1) ONE SPACE / 350 SF OF FLOOR AREA
5,148.5 SF / 350 SF = 14.7 = 15 SPACES REQUIRED

(1) ONE SPACE FOR (2) TWO PATRONS BASED ON MAX. NUMBER OF PATRONS PERMITTED BY FIRE CODE PLUS (1) ONE PER EMPLOYEE ON MAX. SHIFT. FORMER ORDINANCE
99 SEATS/2 + 10 EMPLOYEES = 59 SPACES REQUIRED

PARKING PROVIDED

PARKING EXISTING = 61 SPACES — BARRIER-FREE REQUIRED = 3
BARRIER-FREE PROVIDED =3

BARRIER-FREE PARKING IS INCLUDED IN PARKING COUNTS

BUILDING MATERIAL PERCENTAGE

MATERIAL	REQUIRED	PROPOSED
BRICK, STONE, WOOD	60 %	SEE BUILDING ELEVATIONS
EIFS	40%	SEE BUILDING ELEVATIONS

LOADING SPACE

REQUIRED	1	55'-0" X 10'-0"	15FT HIGH
PROVIDED	1	55'-0" X 10'-0"	15FT HIGH

EXISTING SITE UTILITY NOTES

1. ALL UTILITY LEADS TO THE EXISTING BUILDING TO REMAIN
2. ELECTRIC SERVICE AND TRANSFORMER ARE EXISTING.
3. SITE LIGHTING IS EXISTING AND WILL REMAIN
4. NEW ASPHALT/CONCRETE CURBS ARE EXISTING.
5. EXISTING ASPHALT WILL REMAIN.
6. EXISTING STORM WATER RETENTION AREA TO REMAIN AT WEST END OF PROPERTY.

SETBACKS

LOCATION	ORIENTATION	REQUIRED	EX BLDG	BOOTHS PROVIDED
FRONT	EAST	25 FT	67 FT	165 FT
SIDE	SOUTH	10 FT MIN	59 FT	59 FT
SIDE	NORTH	10 FT MIN	65 FT	126 FT
REAR	WEST	30 FT	168 FT	100 FT

FLOOR AREA RATIO

REQUIRED 60 % MAXIMUM = 60,854 SF x .60 = 36,912.4 SF
PROVIDED 5,148.5 SF/60,854 SF = 0.084 or 8.4%

LOT COVERAGE

5,084.5 SF/60,854 SF = 0.084 or 8.4%

IMPERVIOUS AREA RATIO - EXISTING

LOT AREA 60,854 SF
REQUIRED MAXIMUM 80 % (60,854 SF x 0.80) = 48,683 SF

BUILDING AREA 5,084.5 SF
PAVING/SIDEWALK AREA 39,157 SF
IMPERVIOUS AREA 72.7 % 44,241.5 SF
LS/PERVIOUS AREA 27.3 % 16,612.5 SF

IMPERVIOUS AREA RATIO - PROPOSED

LOT AREA 60,854 SF
REQUIRED MAXIMUM 80 % (60,854 SF x 0.80) = 48,683 SF

BUILDING AREA 5,148.5 SF
PAVING/SIDEWALK AREA 39,157 SF
IMPERVIOUS AREA 72.8 % 44,305.5 SF
LS/PERVIOUS AREA 27.2 % 16,548.5 SF

NET INCREASE OF PERVIOUS AREA = 64 SF.

ZONING CLASSIFICATION

EXISTING: T-1 TRANSITION 1 (MIXED USE)
PROPOSED: T-1 TRANSITION 1 (MIXED USE)

LAND USE

EXISTING RESTAURANT
PROPOSED RESTAURANT W/DRIVE-THRU

LEGAL DESCRIPTION

LEGAL DESCRIPTION SEE LEGAL DESCRIPTIONS ON THIS SHEET

LOT AREA

REQUIRED 10,000 SF MINIMUM
EXISTING (NET) 60,854 SF 1.39 ACRES
EXISTING (GROSS W/ROW) 70,853 SF 1.63 ACRES

BUILDING AREA

EXISTING BUILDING AREA 5,084.5 SF

PROPOSED DT BOOTH @ 32 SF EA 64 SF

PROPOSED TOTAL BUILDING AREA 5,148.5 SF

MAXIMUM BUILDING HEIGHT: 40'
EXISTING BUILDING HEIGHT (MAX) 23'
PROPOSED BOOTH HEIGHT (MAX) 11'

LOT WIDTH

REQUIRED 75 FT MINIMUM
EXISTING 200 FT

SIGN NOTE:

PROPOSED SIGNS ARE UNDER A SEPARATE PERMIT AND MUST COMPLY WITH PROPOSED SIZE AND SETBACKS OF THE CITY OF CHELSEA ZONING ORDINANCE

INDEX OF DRAWINGS

NO.	SHEET DESCRIPTION
T001	TITLE SHEET
CIVIL	
C1	PROPOSED SITE PLAN - (SCALE: 1" = 20')
C1a	EXISTING CONDITIONS/DEMOLITION SITE PLAN - (SCALE: 1" = 20')
C2	GRADING, UTILITY AND SESC SITE PLAN
C2.1	COORDINATE PLAN
LS01	LANDSCAPE PLAN - NOTES SCHEDULE AND DETAILS
LS02	LANDSCAPE SPECIFICATIONS AND DETAILS
ARCHITECTURAL	
A-3.4	D/T ORDER BOOTH - FLOOR PLAN AND ELEVATIONS

PROJECT / CODE DATA

GOVERNING CODES:

2015 MICHIGAN BUILDING CODE

2015 MICHIGAN MECHANICAL CODE

2015 MICHIGAN PLUMBING CODE

2015 INTERNATIONAL FUEL GAS CODE

2015 MICHIGAN ELECTRICAL CODE BASED ON 2014 N.E.C. WITH PART 8 STATE AMENDMENTS

2009 ICC/ANSI A117.1 FOR ACCESSIBILITY & MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED.

2015 MICHIGAN UNIFORM ENERGY CODE RULES PART 10 with ANSI/ASHRAE/IESNA Standard 90.1-2013

2015 INTERNATIONAL FIRE CODE

NFPA 99-12, NFPA 101

BUILDING DATA:

EXISTING BUILDING USE GROUP: — GROUP A2 (ASSEMBLY)
EXISTING BUILDING CONSTRUCTION TYPE: — 5B (COMBUSTIBLE, UNPROTECTED)
EXISTING BUILDING AREA: — 5,085 SQ. FT.
AUTOMATIC SPRINKLER SYSTEM: — AUTOMATIC SPRINKLER SYSTEM IS TO BE INSTALLED IN THE FACILITY
OCCUPANT LOAD (See Table) — 124 OCCUPANTS
EXITS REQUIRED: — 2
EXITS PROVIDED: — 4
EXIT ACCESS TRAVEL DISTANCE: — 250 FEET (TABLE 1017.2)

OCCUPANCY ALLOWANCE: 2015 Michigan Building Code

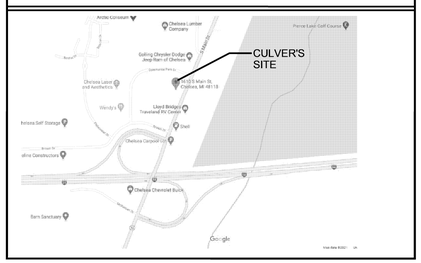
FUNCTION OF SPACE	ALLOWANCE	AREA	OCCUPANTS
ACCESSORY STORAGE AREAS, MECHANICAL EQUIP ROOM	300 GSF	422 SF	2
ASSEMBLY W/FIXED SEATS	SEE PLAN	--	99
ASSEMBLY W/OUT FIXED SEATS STANDING AREA	5 NET SF	72 SF	14
BUSINESS AREA	100 GSF	102 SF	1
KITCHENS - COMMERCIAL	200 GSF	1645 SF	8
		TOTAL OCCUPANCY:	124

LEGAL DESCRIPTION

COMMENCING AT THE CENTER OF SECTION 13, T2S, R3E., VILLAGE OF CHELSEA WASHTENAW COUNTY, MICHIGAN; THENCE S. 00° 19' 05" W. 982.12 FEET ALONG THE NORTH AND SOUTH ¼ LINE OF SAID SECTION; THENCE S. 22° 55' 15" W. 81.63 FEET ALONG THE CENTERLINE OF M-52; THENCE CONTINUING ALONG SAID CENTERLINE 317.23 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 46' 40" HAVING A CHORD WHICH BEARS S. 22° 31' 56" W. 317.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID CENTERLINE 200.00 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 29' 24" HAVING A CHORD WHICH BEARS S. 21° 53' 55" W. 200.00 FEET; THENCE N. 68° 20' 50" W. 354.27 FEET; THENCE N 21° 53' 55" E. 200.00 FEET; THENCE S. 68° 20' 50" E. 354.27 FEET TO THE POINT OF BEGINNING. SAID PARCEL BEING A PART OF THE SOUTHWEST ¼ OF SECTION 13, T2S, R3E, VILLAGE OF CHELSEA, WASHTENAW COUNTY, MICHIGAN AND CONTAINING 1.63 ACRES OF LAND MORE OR LESS. BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHWESTERLY 50 FEET OF M-52. ALSO BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

PARCEL ID: 06-06-13-380-004

LOCATION MAP



issue / revision date
1 7-16-21 Bid-Permit
A 8-12-21 Construction
2 8-31-21 Final SPA Submittal
D 01-20-22 As Built Submittal
C 02-21-22 SU Submittal

drawn by | checked by

project: Culver's Restaurant, 1610 S. Main Street (M-52), Chelsea, MI

sheet title: TITLE SHEET, DRAWING INDEX, SITE DATA, LOCATION MAP, LEGAL DESCRIPTION, CONSULTANT CONTACT INFORMATION

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ADA SITE COMPLIANCE NOTES

GENERAL NOTE:

1. REFER TO THE SITE SPECIFIC ADA SURVEY FOR A LIST OF BARRIERS TO BE REMEDIED AND ENSURE COMPLIANCE WITH ADA REQUIREMENTS.

PARKING LOT:

1. "VAN ACCESSIBLE" SIGN: MUST BE PROVIDED AT INDICATED VAN ACCESSIBLE SPACE.
2. DRIVE THRU: SPEECH/HEARING IMPAIRED SINGE MUST BE PROVIDED AT C.O.D'S, CASH AND PRESENT WINDOWS.
3. PARKING SPACES AND ACCESSIBLE AISLES TO HAVE MAXIMUM 1:48 (2%) RUNNING AND CROSS SLOPE.
4. CROSSWALK FROM ACCESSIBLE AISLE TO ACCESSIBLE RAMP TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE AND MAXIMUM 1:48 (2%) CROSS SLOPE.
5. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1:2 MAXIMUM SLOPE (50%)).

CURB RAMPS:

1. TRANSITIONS TO BE FLUSH AND FREE OF ABRUPT CHANGES.
2. MUST MAINTAIN 36" MINIMUM WIDTH (EXCLUSIVE OF FLARED SIDES).
3. RUNNING SLOPE: NEW 1:12 (8.3%) MAXIMUM. - EXISTING 1:10 UP TO 6" RISE.
4. RAMP SURFACE TO HAVE MAXIMUM 2% CROSS SLOPE.
5. TOP LANDING, TYPE I, II & IV, TO HAVE MAXIMUM 2% SLOPE IN CHANGE OF DIRECTION.
6. TOP LANDING, TYPE III, TO HAVE MAXIMUM 2% CROSS SLOPE AND MAXIMUM 5% RUNNING SLOPE.
7. GUTTER PAN SLOPE MAXIMUM 1:20 (5%).

SIDEWALKS:

1. SIDEWALKS TO HAVE MAXIMUM 1:50 (2%) CROSS SLOPE.
2. SIDEWALKS TO HAVE MAXIMUM 1:20 (5%) RUNNING SLOPE.
3. MINIMUM WIDTH 36".
4. CHANGES IN LEVEL: 1/4" MAXIMUM (OR 1/2" MAXIMUM WITH A BEVELED EDGE 1:2 MAXIMUM SLOPE (50%)).

ENTRY DOOR LANDINGS:

1. LANDING SURFACE, INSIDE AND OUTSIDE, TO HAVE MAXIMUM 2% SLOPE IN ANY DIRECTION

TAGGED SITE NOTES

1. NEW CASH BOOTH ADDITION (26.25 S.F.) TO MATCH EXISTING CONSTRUCTION – SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR BUILDING IMPROVEMENTS AND FINISHES.

1a. NEW STORAGE ADDITION (112.5 S.F.) AND ACCESS DOOR TO MATCH EXISTING CONSTRUCTION – SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR BUILDING IMPROVEMENTS AND FINISHES.

1b. NEW VESTIBULE ADDITION (18.5 S.F.) TO MATCH EXISTING CONSTRUCTION – SEE FLOOR PLAN AND ELEVATIONS FOR EXTENT OF PROPOSED EXTERIOR BUILDING IMPROVEMENTS AND FINISHES.

2. RELOCATE BARRIER–FREE PARKING PAVEMENT AREA W/6" CONCRETE SLAB SO AS NOT TO EXCEED A 2% SLOPE IN ANY DIRECTION. STRIPE AND MARK BARRIER–FREE SPACES & AISLE AND PROVIDE B.F. PARKING SIGNAGE (S3) PER ADA REQUIREMENTS (SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET).

3. PROVIDE NEW CONCRETE BARRIER–FREE RAMPS AND LANDINGS. (SEE "ADA SITE COMPLIANCE NOTES", THIS SHEET)

3a. PROVIDE NEW CONCRETE RAMP.

4. PROVIDE NEW CONCRETE WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5%

4a. PROVIDE NEW CONCRETE PUBLIC WALK SO THAT CROSS SLOPE DOES NOT EXCEED 2% AND RUNNING SLOPE DOES NOT EXCEED 5%. CONNECT TO EXISTING ADJACENT PUBLIC WALK, IF APPLICABLE.

5. PROVIDE NEW TRASH CORRAL W/TWO SETS OF GATES AND 25' CONCRETE APPROACH FOR (2) 8–YARD DUMPSTERS AT 82"x82" EACH AND AREA FOR COMPACTOR, GREASE CONTAINMENT AND CART STORAGE, ETC...

6. EXISTING CONC. CURB, LANDSCAPE AND/OR ASPHALT PAVING TO REMAIN.

7. PROVIDE NEW CONC. CURB & GUTTER, PAVING AND/OR LANDSCAPING FOR NEW DOUBLE DRIVE–THRU LAYOUT, OR AS SHOWN.

7a. PROVIDE NEW CONC. CURB & GUTTER AND LANDSCAPING IN R.O.W. PER MDOT APPROVAL.

8. RE–PAINT D.T. PAVEMENT MARKINGS AND CROSSWALKS AS REQUIRED PER CULVER'S SITE AND DRIVE–THRU STANDARDS – TYPICAL THROUGHOUT SITE.

9. INSTALL NEW COD/CANOPY (S5), MENU BOARDS (S6) AND HEIGHT DETECTOR ARMS (S4) AS SHOWN PER CULVER'S SIDE–BY–SIDE DRIVE–THRU STANDARDS.

10. PROVIDE 11'x 20' CONCRETE PAD AT CASH BOOTH ADDITION AND (2) ORDER POINTS.

11. PROVIDE PULL–FORWARD SPACES. DESIGNATE WITH SIGNAGE AND DOUBLE–STRIPING PER CULVER'S STANDARDS.

12. EXISTING BUMPER BLOCKS, RELOCATED – TYPICAL

13. EXISTING ASPHALT TO REMAIN – PATCH AND REPAIR AS REQUIRED.

14. NEW LOT LIGHTS: 20' HIGH (18' POLE ON 2' HIGH BASE). NEW LOCATIONS FOR (8) EIGHT LOT LIGHTS. SEE LIGHTING PLAN.

14a. NEW LOT LIGHTS: 20' HIGH (18' POLE ON 2' HIGH BASE). SAME LOCATIONS AS EXISTING FOR (3) THREE LOT LIGHTS. SEE LIGHTING PLAN.

15. NEW 10' X 55' LOADING ZONE AREA.

16. EXISTING 4' HIGH CYCLONE FENCE AND GATES SURROUNDING THE RETENTION AREA. REPAIR GATES AS REQUIRED.

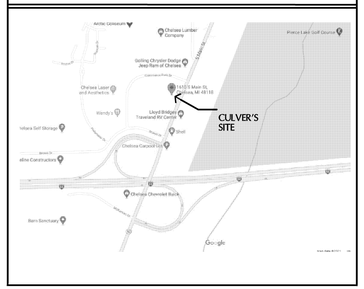
17. NEW "EXIT" ILLUMINATED DIRECTIONAL SIGN AT 4' HEIGHT (S8)

18. NEW 4' x 8' ORDER BOOTH AND GUARD POST ON CONCRETE FOUNDATION (A)

18a. NEW 4' x 8' ORDER BOOTH AND GUARD POST ON CONCRETE FOUNDATION – REMOVE "PERMITTED" MENU BOARD AND ORDERING CANOPY

19. NEW 13' X 28' X 8" CONCRETE PAD WITH FIBER MESH AND WIRE REINFORCING OVER GREASE INTERCEPTOR

LOCATION MAP



LEGAL DESCRIPTION

COMMENCING AT THE CENTER OF SECTION 13, T2S, R3E., VILLAGE OF CHELSEA WASHTENAW COUNTY, MICHIGAN; THENCE S. 00° 19' 05" W. 982.12 FEET ALONG THE NORTH AND SOUTH ¼ LINE OF SAID SECTION;THENCE S. 22° 55' 15" W. 81.63 FEET ALONG THE CENTERLINE OF M–52; THENCE CONTINUING ALONG SAID CENTERLINE 317.23 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 46' 40" HAVING A CHORD WHICH BEARS S. 22° 31' 56" W. 317.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID CENTERLINE 200.00 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 29' 24" HAVING A CHORD WHICH BEARS S. 21° 53' 55" W. 200.00 FEET; THENCE N. 68° 20' 50" W. 354.27 FEET; THENCE N 21° 53' 55" E. 200.00 FEET; THENCE S. 68° 20' 50" E. 354.27 FEET TO THE POINT OF BEGINNING. SAID PARCEL BEING A PART OF THE SOUTHWEST ¼ OF SECTION 13, T2S, R3E, VILLAGE OF CHELSEA, WASHTENAW COUNTY, MICHIGAN AND CONTAINING 1.63 ACRES OF LAND MORE OR LESS. BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHWESTERLY 50 FEET OF M–52. ALSO BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

PARCEL ID: 06–06–13–380–004

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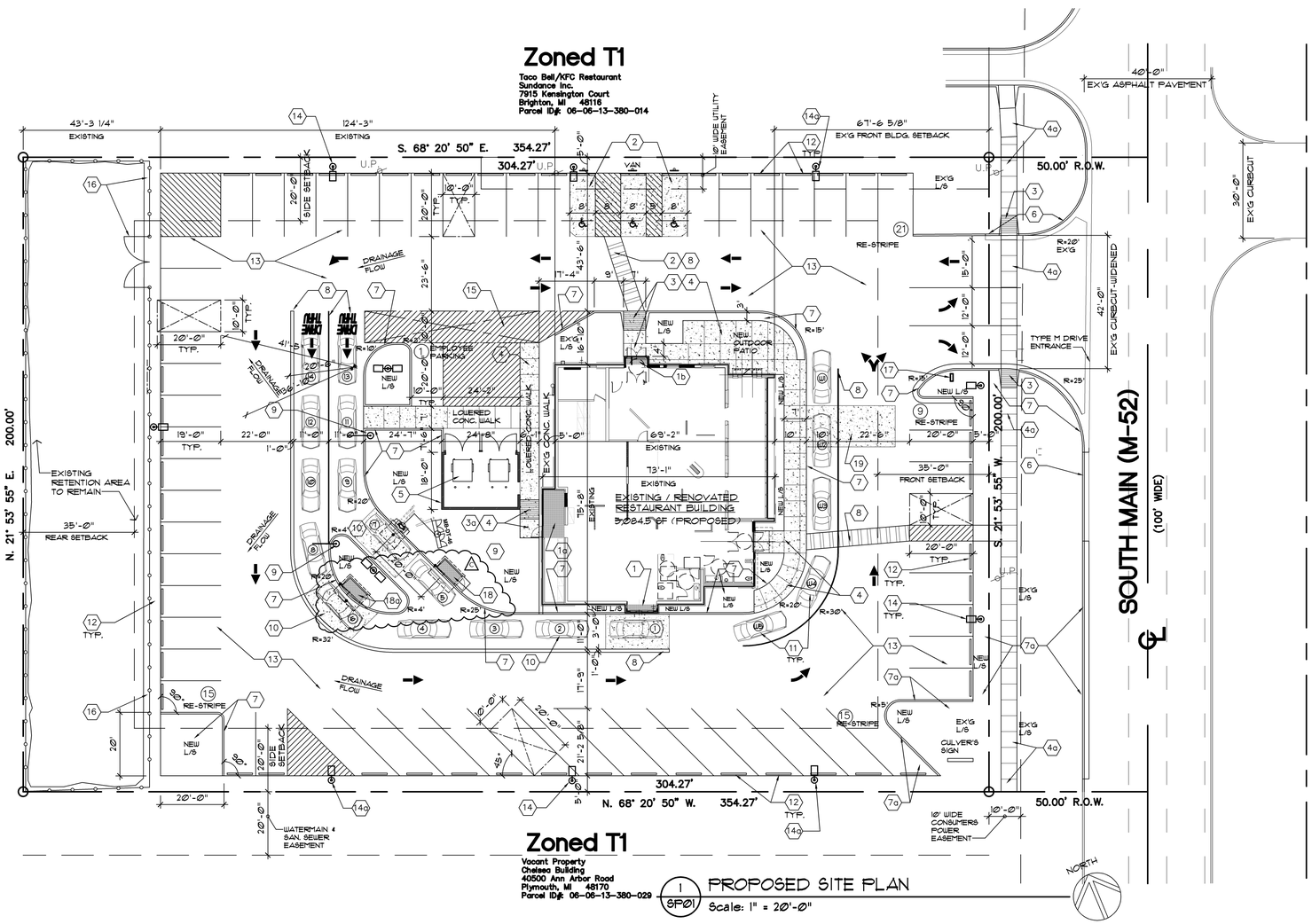
STATE OF MICHIGAN
FRANK Z. MARTIN
ARCHITECT
No. 1301019881
LICENSED PROFESSIONAL ARCHITECT
architect seal



1 SP01 PROPOSED SITE PLAN
Scale: 1" = 20'-0"

issue / revision date
7-16-21 Bid-Permit
A 8-12-21 Construction
8-31-21 Final SPA Submittal
D 01-20-22 As Built Submittal
C 02-21-22 SU Submittal

drawn by	checked by
project: Culver's Restaurant, 1610 S. Main Street (M-52), Chelsea, MI	sheet title: Proposed Site Plan

dma
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Dorchen/Martin Associates, Inc.
Architects/Planners
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(248) 557-1062
www.dorchenmartin.com

job number	sheet number
21006	C1

EXISTING TREES ON SITE

KEY	SPECIES	D.B.H.	CONDITION
A	THORNLESS HONEYLOCUST	10"	GOOD
B	THORNLESS HONEYLOCUST	9"	GOOD
C	THORNLESS HONEYLOCUST	8"	GOOD
D	THORNLESS HONEYLOCUST	7"	GOOD
E	THORNLESS HONEYLOCUST	7"	GOOD
F	THORNLESS HONEYLOCUST	8"	GOOD
G	THORNLESS HONEYLOCUST	11"	GOOD
H	THORNLESS HONEYLOCUST	12"	GOOD
I	THORNLESS HONEYLOCUST	8,7,8"	GOOD
J	THORNLESS HONEYLOCUST	8"	GOOD
K	THORNLESS HONEYLOCUST	8"	GOOD
L	THORNLESS HONEYLOCUST	7"	GOOD
M	THORNLESS HONEYLOCUST	8"	GOOD
N	THORNLESS HONEYLOCUST	9"	GOOD
O	THORNLESS HONEYLOCUST	11"	GOOD
P	PRINCETON SENTRY GINKGO	2.5"	GOOD
Q	REGAL PRINCE OAK	2.5"	GOOD
R	ARMSTRONG MAPLE	2.5	GOOD
S	SLENDER SILHOUETTE SWEETGUM	2.5"	GOOD

ALL 15 TREES TO BE PRESERVED AND PROTECTED ON SITE

NOTE:

EXIST. TREES NOT LISTED IN ABOVE SCHEDULE OCCUR OFF SITE.

EXISTING TREE GRAPHICS KEY

EXIST. TREE ON SITE — X

EXIST. TREE OFF SITE — xxxxxxx

TAGGED SITE NOTES

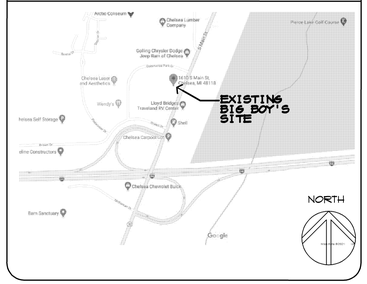
1. EXISTING ASPHALT PAVING TO REMAIN.
2. REMOVE EXISTING LANDSCAPING IN THIS AREA AND REPLANT PER LANDSCAPE PLAN.
3. REMOVE EXISTING CANOPY AND MENU BOARD
4. NOT USED
4a. NOT USED
5. NOT USED
6. NOT USED
7. NOT USED
8. NOT USED
9. EXISTING 4' HIGH CYCLONE FENCE AND GATES SURROUNDING THE RETENTION AREA TO REMAIN.
9a. NOT USED
10. NOT USED
11. EXISTING 12" CMP AND GRIT CHAMBER (TYPICAL OF 2).

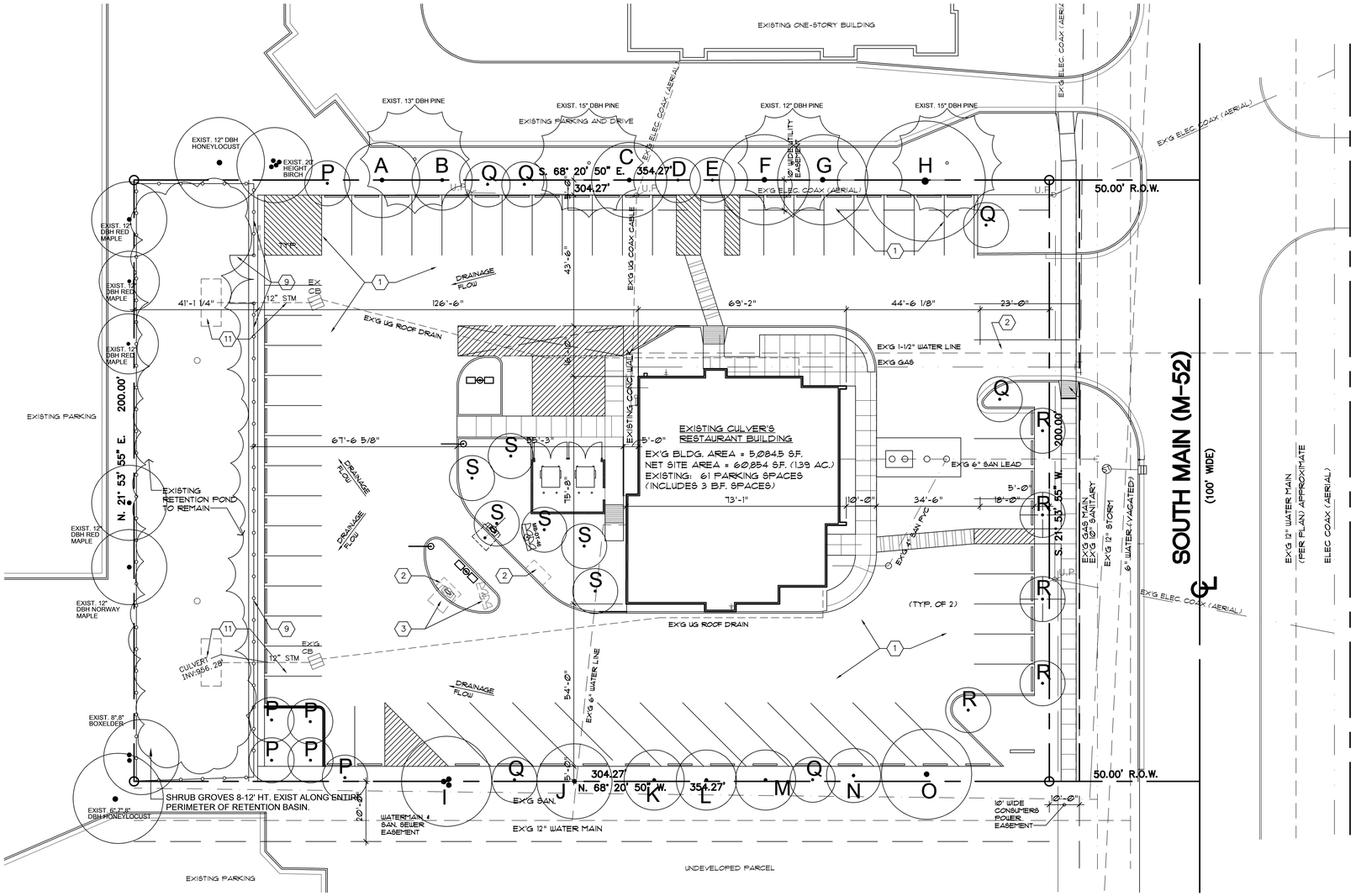
LEGAL DESCRIPTION

COMMENCING AT THE CENTER OF SECTION 13, T2S, R3E., VILLAGE OF CHELSEA WASHTENAW COUNTY, MICHIGAN; THENCE S. 00° 19' 05" W. 982.12 FEET ALONG THE NORTH AND SOUTH ¼ LINE OF SAID SECTION; THENCE S. 22° 55' 15" W. 81.63 FEET ALONG THE CENTERLINE OF M-52; THENCE CONTINUING ALONG SAID CENTERLINE 317.23 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 46' 40" HAVING A CHORD WHICH BEARS S. 22° 31' 56" W. 317.23 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING ALONG SAID CENTERLINE 200.00 FEET ALONG THE ARC OF A 23,379.92 FOOT RADIUS CIRCULAR CURVE TO THE LEFT THROUGH A CENTRAL ANGLE OF 00° 29' 24" HAVING A CHORD WHICH BEARS S. 21° 53' 55" W. 200.00 FEET; THENCE N. 68° 20' 50" W. 354.27 FEET; THENCE N 21° 53' 55" E. 200.00 FEET; THENCE S. 68° 20' 50" E. 354.27 FEET TO THE POINT OF BEGINNING. SAID PARCEL BEING A PART OF THE SOUTHWEST ¼ OF SECTION 13, T2S, R3E, VILLAGE OF CHELSEA, WASHTENAW COUNTY, MICHIGAN AND CONTAINING 1.63 ACRES OF LAND MORE OR LESS. BEING SUBJECT TO THE RIGHTS OF THE PUBLIC OVER THE NORTHWESTERLY 50 FEET OF M-52. ALSO BEING SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD, IF ANY.

LOCATION MAP

NO SCALE





1 SP02 EXISTING CONDITIONS / DEMOLITION SITE PLAN

Scale: 1" = 20'-0"

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STATE OF MICHIGAN
FRANK Z. MARTIN
ARCHITECT
No. 1301019881
LICENSED ARCHITECT

architect seal

Culver's
Butterburgers & Frozen Custard

issue / revision date
7-16-21 Bid-Permit
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drawn by | checked by

project: Culver's Restaurant, 1610 S. Main Street (M-52), Chelsea, MI

sheet title: Existing Conditions Demolition Site Plan

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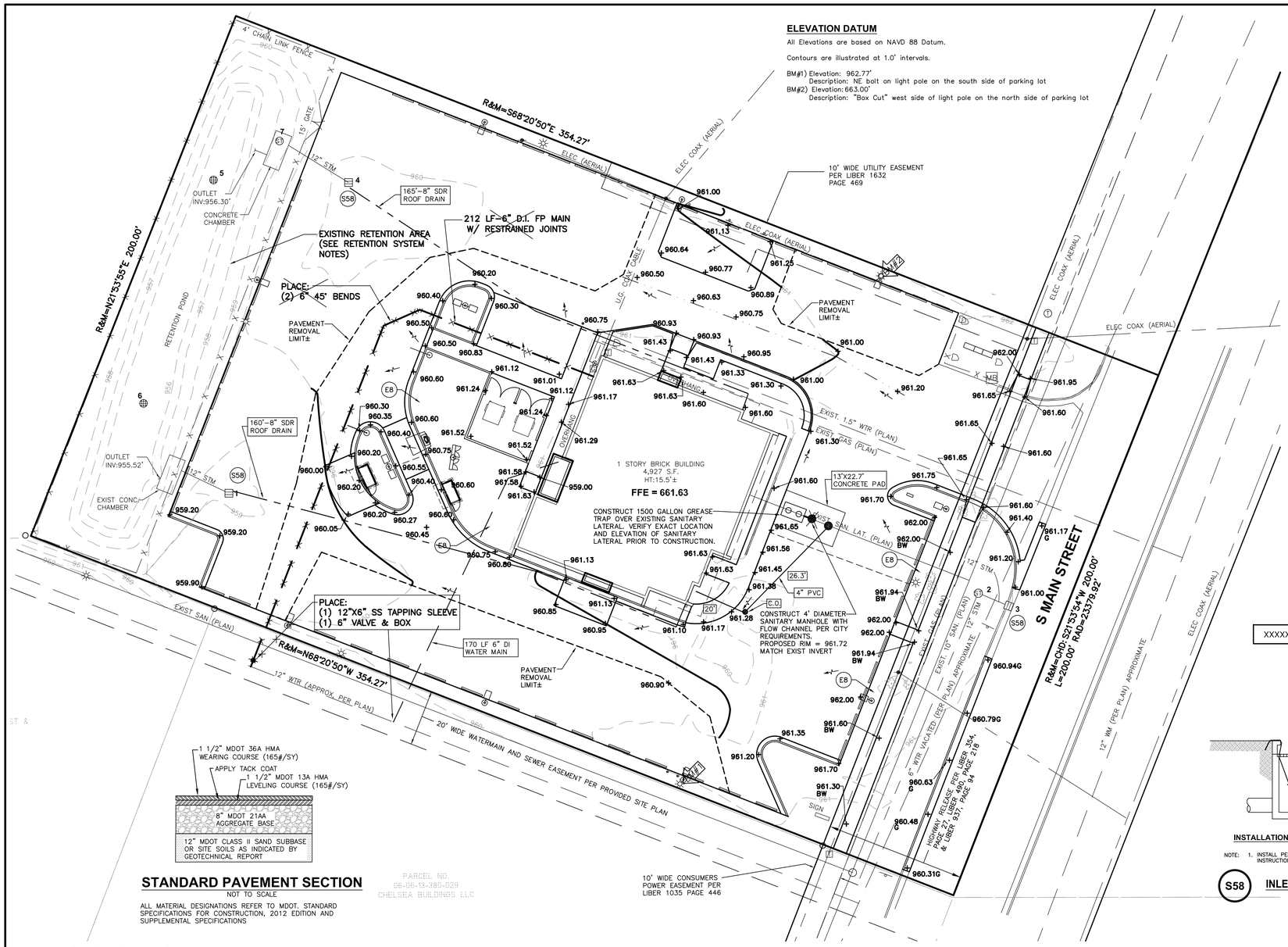
sheet number: C1a



ELEVATION DATUM

All Elevations are based on NAVD 88 Datum.

Contours are illustrated at 1.0' intervals.

BM#1) Elevation: 962.77'
Description: NE bolt on light pole on the south side of parking lot
BM#2) Elevation:663.00'
Description: "Box Cut" west side of light pole on the north side of parking lot

LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- DRAINAGE STRUCTURES
- PROPOSED STORM SEWER
- SILT FENCE
- + 123.45 PROPOSED SPOT ELEVATION
- DIRECTION OF DRAINAGE FLOW
- SWALES
- DRAINAGE HIGH POINTS

Know what's below. Call before you dig.

SCALE: 1" = 20'

EXIST. STRUCTURE INVENTORY

SQUARE CATCH BASIN #1
RIM: 958.15'
12" TILE 955.85'
FILLED WITH SNOW

STORM MANHOLE #2
RIM: 961.00'
12" CONC SE 957.85'
12" CONC SW 957.70'

SQUARE CATCH BASIN #3
RIM: 960.89'
12" CONC. NW 958.19'

SQUARE CATCH BASIN #4
RIM: 959.16'
12" CMP NW 956.31'

ROUND LEACHING BASIN #5
RIM: 956.82
NO PIPES VISIBLE
BOC: 953.17'

ROUND LEACHING BASIN #6
RIM: 955.98'
NO PIPES VISIBLE
TOP OF ICE: 952.98'

SANITARY MANHOLE #7
RIM: 958.48'
TOP OF WATER: 956.48'
BOC: 953.48'

XXXXXXXX = AS-BUILT INFORMATION

X = AS-BUILT INFORMATION

EROSION CONTROL NOTES

1. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY AND PERMIT AGENCY REQUIREMENTS.
2. GRADING WILL BE LIMITED TO WITHIN PROPERTY LINES AND/OR GRADING LIMITS.
3. THE PROPERTY IS NOT IMPACTED BY A FLOODPLAIN.
4. NO SOIL WILL BE ALLOWED TO ACCUMULATE OFF SITE. ANY SOIL TRACKED OFF SITE IS SHALL BE IMMEDIATELY REMOVED BY THE CONTRACTOR.
5. ALL TRAFFIC ENTERING OR LEAVING PROPERTY SHALL USE STABILIZED CONSTRUCTION ACCESS.
6. WHERE POSSIBLE SILT FENCE IS TO PLACED 10' FROM TOE OF SLOPE TO ALLOW FOR MAINTENANCE.
7. DUST CONTROL MEASURES SHALL BE APPLIED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTOR.
8. ALL DISTURBED AREAS SHALL BE SEEDED WITHIN 5 CALENDAR DAYS OF ACHIEVING FINAL GRADE WITH PERMANENT SEED MIXTURE.
9. ALL DISTURBED AREAS THAT WILL NOT ACHIEVE FINAL GRADE WITHIN 30 CALENDAR DAYS SHALL BE SEEDED PER TEMPORARY SEEDING SPECIFICATIONS. ALL SLOPES 1 VERTICAL: 5 HORIZONTAL OR STEEPER SHALL BE TRACK WALKED PERPENDICULAR TO SLOPE PRIOR TO TEMPORARY SEEDING.
10. ALL SLOPES GREATER THAN 1:4 SHALL BE STABILIZED WITH NORTH AMERICAN GREEN DS-75 EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. ALL STORMWATER CHANNELS AND DITCHES SHALL BE STABILIZED WITH NORTH AMERICAN GREEN SC-250 PERMANENT EROSION CONTROL BLANKET OR APPROVED EQUAL, UNLESS NOTED OTHERWISE. BLANKETS SHALL BE INSTALLED PER MANUFACTURERS INSTRUCTIONS.
11. TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE CHECKED DAILY AND ANY PROBLEMS REMEDIED IMMEDIATELY.
12. PERMANENT EROSION CONTROL MEASURES SHALL BE MAINTAINED BY PROPERTY OWNER. MAINTENANCE INCLUDES REGULAR INSPECTION AND CLEANING OF ALL STORM WATER FACILITIES AND ENSURING VEGETATION IS ADEQUATE ON ALL SLOPES.
13. STOCKPILE EXCESS TOPSOIL ON SITE AS INDICATED ON PLANS OR DIRECTED BY ENGINEER AND INSTALL SILT FENCE AROUND THE PERIMETER OF THE STOCKPILE. PLACE TEMPORARY SEEDING ON STOCKPILE ONCE THE SITE HAS BEEN CLEARED AND ALL TOPSOIL HAS BEEN STOCKPILED.
14. EXISTING SOILS ONSITE ARE TYPICALLY CLAY.
15. TOTAL AREA OF DISTURBANCE = 0.56 ACRES±
16. ALL PROJECTS DISTURBING 1 OR MORE ACRES OR ARE WITHIN 500 FT. OF A LAKE OR STREAM REQUIRE A SOIL EROSION CONTROL PERMIT FROM THE DESIGNATED AUTHORIZED PUBLIC AGENCY.

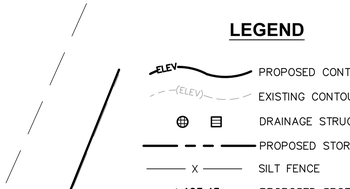
SESC SCHEDULE

1. INSTALL SILT FENCE & INLET PROTECTION AS SHOWN. MAINTAIN SILT FENCE BY REMOVING SEDIMENT WHEN IT HAS REACHED 1/3 TO 1/2 OF THE HEIGHT OF THE FENCE.
2. CLEAR & GRUB SITE AS NECESSARY AND REMOVE EXISTING PAVEMENT AS SHOWN ON PLANS. STOCKPILE EXCESS MATERIALS AS REQUIRED. THE CONTRACTOR IS DIRECTED TO INSTALL SILT FENCE AT THE TOE OF THE SLOPE AROUND PERIMETER OF TEMPORARY STOCKPILES.
3. CONSTRUCT STORM SYSTEM.
4. PLACE INLET PROTECTION IN ALL PROPOSED CATCH BASINS IMMEDIATELY FOLLOWING INSTALLATION.
5. PERMANENT CONTROL MEASURES MUST BE COMPLETED 5 CALENDAR DAYS AFTER THE FINAL EARTH CHANGE IS COMPLETED FOR EACH AREA DISTURBED. THIS INCLUDES BLANKETS, SEEDING, MULCHING & HYDROMULCHING, AS INDICATED IN THESE PLANS.
6. FOR ALL AREAS TO BE SEEDED, THE MULCH MUST BE APPLIED IMMEDIATELY AFTER SEED APPLICATION.
7. CLEAN STORM SEWER, INLETS, AND PIPES OF ALL CONSTRUCTION SEDIMENT IMMEDIATELY FOLLOWING PROJECT COMPLETION.
8. REMOVE TEMPORARY CONTROLS SUCH AS SILT FENCE, INLET PROTECTION AND NETTING ONCE VEGETATION IS ESTABLISHED AND THE SITE HAS BEEN STABILIZED.

STANDARD PAVEMENT SECTION

NOT TO SCALE

ALL MATERIAL DESIGNATIONS REFER TO MDOT, STANDARD SPECIFICATIONS FOR CONSTRUCTION, 2012 EDITION AND SUPPLEMENTAL SPECIFICATIONS



INSTALLATION DETAIL

NOTE: 1. INSTALL PER MANUFACTURERS INSTRUCTIONS.

ISOMETRIC VIEW

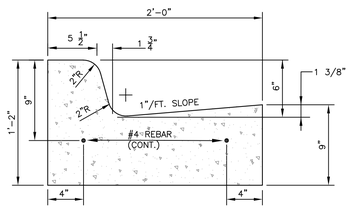
S58 INLET PROTECTION - FABRIC DROP

Storm Water Management Summary

1. Site Area = 1.4 acres (60,984 SF)
2. The proposed improvements result in a 2,203 SF reduction in impervious surface
   Existing impervious area = 46,392 SF
   Proposed impervious area = 44,189 SF
3. The site contains an existing stormwater management system consisting of catch basins which discharge to 3,000-gallon grit chambers. The grit chambers outlet to a retention basin that was constructed with 12" of 2NS sand over 6 feet of 6A stone.
4. The original design provided for retention storage for a 4.5" rainfall event over the site area. 4.5" rainfall = 22,800 CF storage. The retention basin was designed to accommodate 23,230 CF.
5. Approximately 24,300 SF of site area will be impacted by the proposed improvements.
   Total area = 24,300 SF impacted area / 60,984 SF = 0.398 = 40%
   The calculated area includes areas of repaving for aesthetic purposes and drive removal (as required by MDOT).
6. The existing retention area appears to function properly and was constructed according to the original design.
7. The existing retention area and storm system will receive maintenance as part of the proposed project. The instructions for which are included on the plans
8. Summary: The existing storm water management system is sufficient to support the proposed improvements. Based on the following:
   - The projected improvements will result in a reduction in impervious surfaces.
   - The existing storm water management system was sized to accommodate a 4.5" rainfall event.
   - Storm water treatment was provided by the use of catch basins and 3,000-gallon grit chambers.
   - The existing system appears to be functioning properly and has not shown indication of failure.
   - Providing maintenance as part of the proposed project will improve function and extend the life of the system.

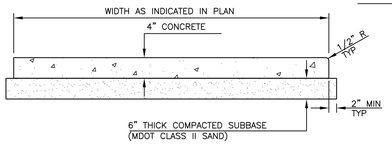
RETENTION SYSTEM NOTES:

1. REMOVE ALL OVERGROWN VEGETATION FROM SIDESLOPES AND RESTORE TO 3:1 SLOPE AS NEEDED.
2. REMOVE AND REPLACE EXISTING 12" SAND FROM POND BOTTOM. RESTORE BOTTOM ELEVATION TO 955.00. DO NOT SEED POND BOTTOM.
3. REMOVE SEDIMENT, CLEAN AND INSPECT ALL CATCH BASINS, LEACHING BASINS AND GRIT CHAMBERS. REPAIR OR REPLACE STRUCTURES IF DAMAGED.
4. NO HEAVY EQUIPMENT SHALL BE PERMITTED WITHIN RETENTION POND AREA. ALL EXCAVATION WORK SHALL BE DONE FROM OUTSIDE THE POND.
5. INSPECT AND REPAIR EXISTING CHAINLINK FENCE AND GATES.
6. REFER TO ORIGINAL SITE PLANS FOR CONSTRUCTION DETAILS



M.D.O.T. F-4 CURB & GUTTER

NOT TO SCALE



TOOL CONTRACTION JOINT AT INTERVAL EQUAL TO WIDTH.

CONCRETE WALK & PATIO PVMT

NOT TO SCALE

GENERAL NOTES:

1. EXISTING UTILITIES SHOWN ARE FROM RECORD PLANS AND EVIDENCE IN THE FIELD. NO GUARANTEE IS MADE FOR ACCURACY OR THAT THE UTILITIES SHOWN ARE THE ONLY IN THE AREA. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES FOUND ARE TO BE BROUGHT TO THE ENGINEER'S ATTENTION PRIOR TO COMMENCEMENT OR CONTINUATION OF CONSTRUCTION ACTIVITIES.
2. CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITIES IN A MANNER TO MINIMIZE INCONVENIENCE TO ADJACENT PROPERTIES.
3. ALL CONSTRUCTION METHODS & MATERIALS SHALL COMPLY WITH CURRENT CITY OF CHELSEA, WASHTENAW COUNTY AND CURRENT MDOT STANDARDS AND SPECIFICATIONS FOR CONSTRUCTION. NO CONSTRUCTION SHALL COMMENCE UNTIL ALL REQUIRED PERMITS HAVE BEEN ISSUED.
4. CONTRACTOR SHALL KEEP ALL FIRE LANES OPEN & ACCESSIBLE DURING CONSTRUCTION AT ALL TIMES.
5. CONSTRUCTION TRAFFIC SHALL BE MINIMIZED ON ANY NEW PAVEMENT. THE CONTRACTOR SHALL REPAIR ANY DAMAGE OR FAILURE CAUSED BY CONSTRUCTION ACTIVITIES, AS WELL AS REPAIRING LOAD DAMAGE ON THE EXISTING PAVEMENT SYSTEM TO THE SATISFACTION OF THE ENGINEER.
6. ALL CONSTRUCTION ACTIVITIES SHALL BE STAKED AND GRADED UNDER THE SUPERVISION OF A LICENSED LAND SURVEYOR.
7. A QUALIFIED GEOTECHNICAL ENGINEER SHALL BE CONTRACTED TO MONITOR EARTHWORK & PAVING ACTIVITIES.
8. STORM WATER WILL BE DISCHARGED TO EXIST. RETENTION POND ON-SITE.
9. COORDINATE ALL UTILITY CONNECTIONS WITH THE APPROPRIATE UTILITY PROVIDER PRIOR TO CONSTRUCTION. AT MINIMUM, SERVICES SHALL BE PLACED IN 4" PVC CONDUIT UNDER PAVED AREAS.

E8 PERMANENT SEEDING NOTE

ALL PROPOSED LAWN AREAS AND ALL AREAS DISTURBED BY CONSTRUCTION SHALL RECEIVE A MINIMUM OF 4" OF TOPSOIL AND LAWN SEED MIX AS INDICATED ON PLANS AND AS FOLLOWS:

PROPORTION	CLASS "A" SEED TYPE
10%	CANNON KENTUCKY BLUEGRASS
10%	GOLDRUSH KENTUCKY BLUEGRASS
20%	RONDE KENTUCKY BLUEGRASS
20%	SR5100 CHEWINGS FESCUE
20%	SR5200 CREEPING RED FESCUE
10%	SR4400 PERENNIAL RYEGRASS
10%	SR4500 PERENNIAL RYEGRASS

SEEDING RATE SHALL BE 4 TO 6 lbs. PER 1000 SQ. FEET.

ALL AREAS DESIGNATED FOR PERMANANT SEEDING SHALL BE HYDRO-SPRAYED.

STATE OF MICHIGAN JEFFREY MARK BRINKS 47001 PROFESSIONAL ENGINEER

MICHIGAN DEPARTMENT OF MANAGEMENT AND BUDGET S-E-S-C KEYING SYSTEM

KEY	BEST MANAGEMENT PRACTICES	SYMBOL	WHERE USED
EROSION / SEDIMENT CONTROLS			
E8	PERMANENT SEEDING		Stabilization method utilized on sites where earth change has been completed (final grading attained).
S58	INLET PROTECTION FABRIC DROP		Use at stormwater inlets, especially at construction sites.

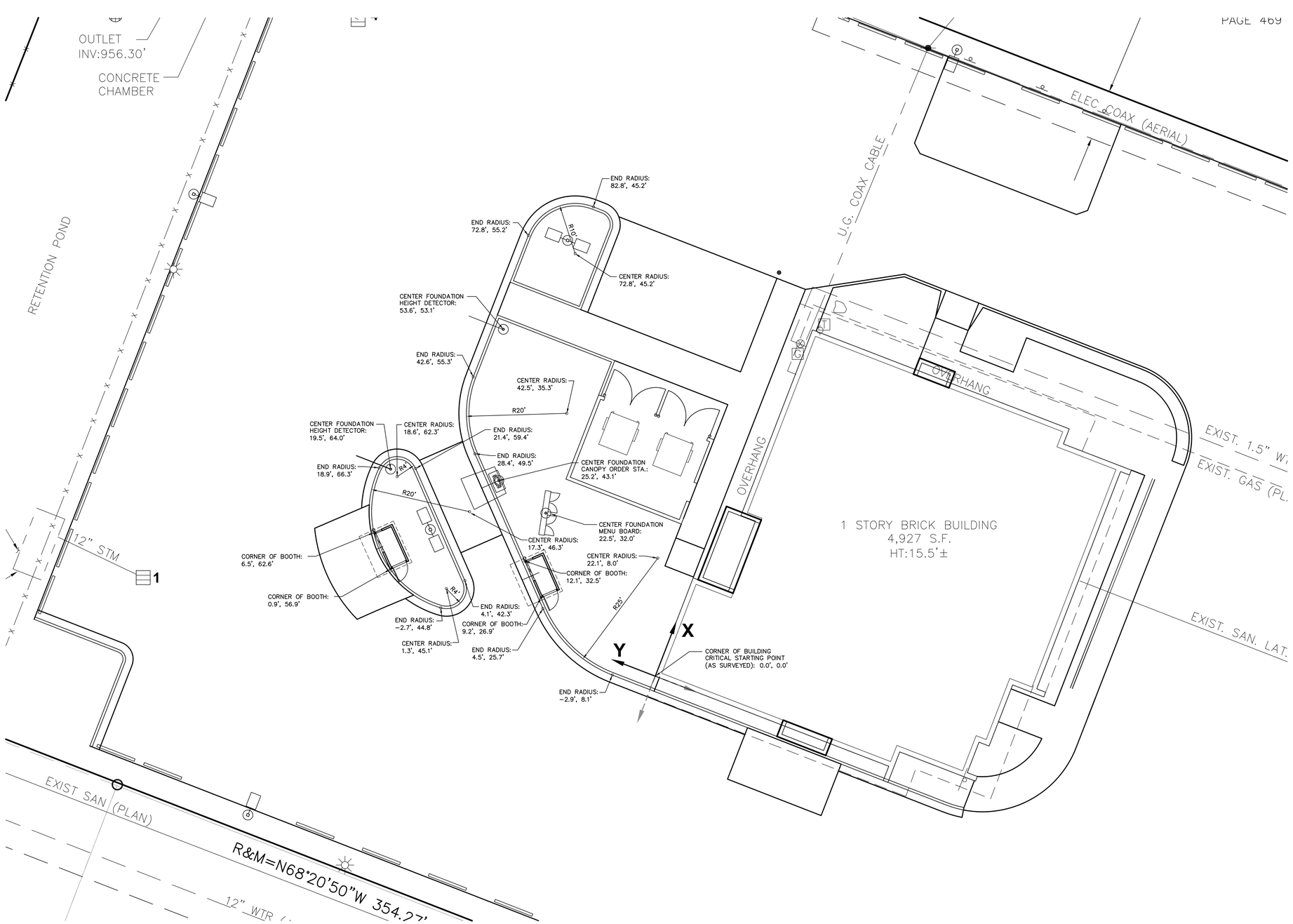
REVISIONS	
DATE	DESCRIPTION
03/25/21	PRELIM/FINAL SPA
04/21/21	PRELIM/FINAL RESUBMIT
07/16/21	BID PERMIT
01/20/22	AS-BUILT
02/21/22	SU SUBMITTAL

PROPOSED SITE IMPROVEMENTS FOR:
Culver's Restaurant
SITE GRADING, SESC, & UTILITIES PLAN
City of Chelsea Washtenaw County Michigan
For: Dorchen/Martin Associates, Inc.
29893 Greenfield Road, Suite 107
Southfield, MI 48076
Phone: 248.557.1062

VENTURE ENGINEERING, PLLC
8515 Ridgebluff Dr. SW
Byron Center, MI 49315
616-490-0229
venturecivil.com

PROJECT NO.	21102
DRAWN BY:	JAC
CHECKED BY:	JMB
DATE:	03/2021
SHEET NO.	C2

Feb 15, 2022 - 5:05pm C:\Users\jbrk\OneDrive\Documents\Venture Projects\21102 Culver's, Chelsea\02.dwg, XREFs: [1] [Venture TBlock 24x36] [X] [2] [3]
By: JBRK



Know what's **below.**
Call before you dig.

REVISIONS	
DATE	DESCRIPTION
03/25/21	PRELIM/FINAL SPA
04/21/21	PRELIM/FINAL RESUBMIT
07/16/21	BID PERMIT
01/20/22	AS-BUILT
02/21/22	SU SUBMITTAL

PROPOSED SITE IMPROVEMENTS FOR:

Culver's Restaurant
DRIVE-THRU COORDINATE PLAN

City of Chelsea Washtenaw County Michigan

For: Dorchen/Martin Associates, Inc.
29893 Greenfield Road, Suite 107
Southfield, MI 48076
Phone: 248.557.1062

VENTURE ENGINEERING, PLLC
8515 Ridgebluff Dr. SW
Byron Center, MI 49315
616-490-0329
ventureeng.com

PROJECT NO.	21102
DRAWN BY:	JAC
CHECKED BY:	JMB
DATE:	03/2021
SHEET NO.	C2.1

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By: JBH

LANDSCAPE REQUIREMENTS: UPDATED PER CURRENT ZONING ORDINANCE

PARKING LOT TREES

1 tree per 8 parking spaces,plus 1 tree per 40 l.f. of parking lot perimeter.

-61 parking spaces / 10 = 6.1, or 6 trees.
-730 l.f. p. lot perimeter / 40 = 18.25, or 19 trees.
-total trees required: 25

PROVIDED:
-8 new canopy trees, all in parking lot islands & peninsulas.
-19 tree credits from 23 allowed for preserved trees
(see TREE CREDIT CHART INFO this sheet).

5% PAVED AREA requirement:

-38,182 s.f. paved area x 5% = 1910 s.f. PROVIDED: 2311 s.f.

INTERIOR LANDSCAPING

-1 decid. or e.g. tree per 500 s.f. required space: 15,000 s.f. / 500 = 30 trees
-1 shrub per 300 s.f. of required space: 15,000 s.f. / 300 = 50 shrubs

PROVIDED:

-8 parking lot trees (planted in interior)
-5 add'l. trees in p. lot interior
-6 new trees along North & South prop. lines
-16 existing trees along N. & S. prop. lines
-4 remaining tree credits
-38 tree total
-89 b&b shrubs

STREET TREES

-1 CANOPY TREE PER 50 L.F. , FOR 200 L.F. FRONTAGE.

-200 l.f. / 50 = 4 trees

PROVIDED: 4 canopy trees

RETENTION POND

-1 canopy or e.g. tree and 10 shrubs per 50 l.f. pond perimeter
-464 l.f. perimeter / 50 = 9.28, 0r 10 trees.
-10 x 10 = 100 shrubs.

PROVIDED:

-existing continuous groves of shrubs along entire pond perimeter at 8-12' ht.
Existing shrubs to be kept pruned at 6-8' ht.

EXISTING LANDSCAPE NOTE:

All site landscaping is existing and shall remain in place except for the "clouded" area at the D/T Booth locations - the existing plant material in those areas will be repositioned as shown.

LANDSCAPE REQUIRED/PROVIDED:

-Parking Lot Perimeter Trees Required: 19
-Existing Parking Lot Perimeter Trees: 15
-Parking Lot Perimeter Trees Provided: 6
-Total Parking Lot Perimeter Trees: 21
-Parking Space Trees Required: 6
-Parking Space Trees Provided: 8 (interior)
-Additional Interior Lot Trees Provided: 5
-Total Interior lot trees (including parking requirements/perimeter trees): 34
-Total Interior lot trees required: (includes parking lot trees): 42* See comment 14
-Street Trees Required: 4
-Street Trees Provided: 4
-Retention Pond Trees Required: 10
-Retention Pond Trees Provided: 0
-Total Trees Required: 56 Trees Provided: Tree Preservation Credits: 23

PLANTING SCHEDULE:

Recommended planting dates are March 1st to May 15th for all plant materials, and October 15th to December 15th for deciduous materials. Plantings outside of these dates shall receive prior approval.

LANDSCAPE PLANT & MATERIALS LIST

CANOPY TREES:

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
A	6	REGALPRINCE OAK (QUERCUS ROBUR 'REGAL PRINCE')	2.5" CAL.	B&B	5' BRANCH HT.
B	5	ARMSTRONG MAPLE (ACER x 'ARMSTRONG')	2.5" CAL.	B&B	5' BRANCH HT.
C	6	PRINCETON SENTRY GINKGO (GINKGO BILOBA 'PRINCETON SENTRY')	2.5" CAL.	B&B	5' BRANCH HT.
D	6	SLENDER SILHOUETTE SWEETGUM (LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE')	2.5" CAL.	B&B	5' BRANCH HT.

ORNAMENTAL TREES (6' HT. MINIMUM):

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
E	1	CORALBURST CRABAPPLE (MALUS 'CORALBURST')	2" CAL.	B&B	4' BRANCH HT.
E2	1	FOREST PANSY REDBUD (CERCIS C. 'FOREST PANSY')	2" CAL.	B&B	4' BRANCH HT.
E3	1	AUTUMN BRILLIANCE SERVICEBERRY (AMALANCHIER C. 'AUTUMN BRILLIANCE')	6' HT. CLUMP	B&B	FULL

EVERGREEN SHRUBS:

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
F	16	HETZ MIDGET ARBORVITAE (THUJA OCC. 'HETZ MIDGET')	24" HT.	B&B	FULL
G	20	FAIRVIEW YEW (TAXUS x m. 'FAIRVIEW')	24-30" HT.	B&B	FULL
H	17	NORDIC HOLLY (ILEX GLABRA 'NORDIC')	24" HT.	B&B	FULL

DECIDUOUS SHRUBS:

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
I	11	COPPERTINA NINEBARK PHYSOCARPUS OPULIFOLIUS ('COPPERTINA')	24" HT.	B&B	FULL
J	8	LITTLE LIME HYDRANGEA (HYDRANGEA P. 'LITTLE LIME')	24" HT.	B&B	FULL
K	17	BOBO HYDRANGEA (HYDRANGEA P. 'BOBO')	24" HT.	B&B	FULL
L	30	CARPET ROSE (ROSA SPP.)	2 GAL.	POT	FULL

ORNAMENTAL GRASSES:

KEY	QUAN.	ITEM	SIZE	ROOT	REMARKS
M	32	KARL FOERSTER GRASS (CALAMAGROSTIS A. 'KARL FOERSTER')	3 GAL.	POT	FULL
N	15	LITTLE KITTEN GRASS (MISCANTHUS S. 'LITTLE KITTEN')	2 GAL.	POT	FULL

SOD
4" STEEL EDGE
SHREDDED HARDWOOD MULCH
TOPSOIL/ PLANT MIX
IRRIGATION

EXIST. TREES ON SITE

KEY	SPECIES	D.B.H.	CONDITION
A	THORNLESS HONEYLOCUST	10"	GOOD
B	THORNLESS HONEYLOCUST	9"	GOOD
C	THORNLESS HONEYLOCUST	8"	GOOD
D	THORNLESS HONEYLOCUST	7"	GOOD
E	THORNLESS HONEYLOCUST	7"	GOOD
F	THORNLESS HONEYLOCUST	8"	GOOD
G	THORNLESS HONEYLOCUST	11"	GOOD
H	THORNLESS HONEYLOCUST	12"	GOOD
I	THORNLESS HONEYLOCUST	8,7,8"	GOOD
J	THORNLESS HONEYLOCUST	8"	GOOD
K	THORNLESS HONEYLOCUST	8"	GOOD
L	THORNLESS HONEYLOCUST	7"	GOOD
M	THORNLESS HONEYLOCUST	8"	GOOD
N	THORNLESS HONEYLOCUST	9"	GOOD
O	THORNLESS HONEYLOCUST	11"	GOOD

--ALL 15 TREES TO BE PRESERVED AND PROTECTED ON SITE

PRESERVED TREE CREDITS:

Trees C,D,E,F,I,J,K,L,M @ 1 credit ea. = 11 credits (tree I has 3 trunks)
Trees A,B,G,H,N,O @ 2 credits ea. = 12 credits
TOTAL CREDITS: 23

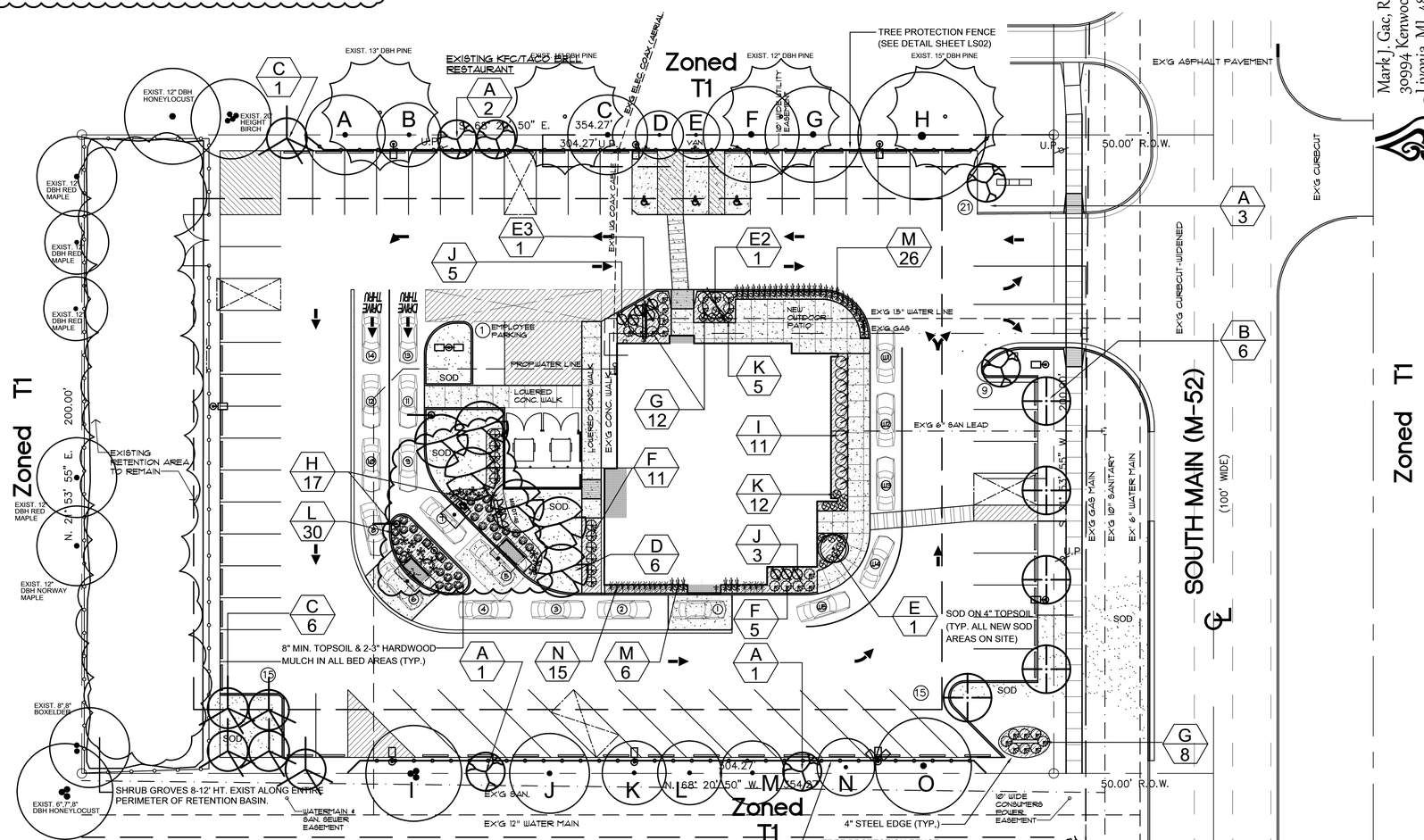
NOTE:

EXIST. TREES NOT LISTED IN ABOVE SCHEDULE OCCUR OFF SITE.

KEY TO EXIST TREE GRAPHICS

EXIST. TREE ON SITE — X

EXIST. TREE OFF SITE — xxxxxxx



PROPOSED LANDSCAPE PLAN
Scale: 1" = 20'-0"

Mark J. Gac, RLA
30994 Kenwood Ct.
Livonia, MI 48152
(313) 319-7217

STATE OF MICHIGAN — MARK GAC — Landscape Architect — NO. 1209 — LICENSED

REV	DATE	DESCRIPTION	BY
	4/21/21	PRELIM/FINAL RESUBMIT	XXX
	5/15/21	REVIEW CORRECTIONS	
	7/16/21	BID-PERMIT	
	8/31/21	FINAL SPA SUBMITTAL	
	2/21/22	DT ORDER BOOTH SU SUBMITTAL	

PREPARED BY:
Dorchen/Martin Associates, Inc.
Architects/Planners
29855 Greenfield Rd. Suite 107
Southfield, Michigan 48076
(248) 557-1002
Fax: (248) 557-1231
www.dorchenmartin.com

PREPARED FOR:

DRAWN BY: MJG
STD ISSUE DATE:
REVIEWED BY: MJG
DATE ISSUED: MAR 01, 2021

TITLE
Landscape Plan
Notes Schedule Details
CULVERS RESTAURANT

SITE ID: 1910 S MAIN STREET CHELSEA MI

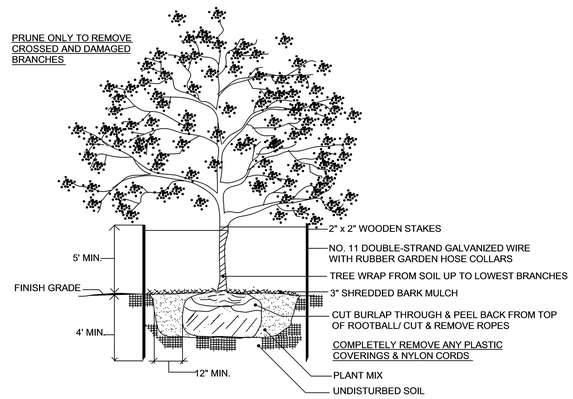
LS01

LANDSCAPE SPECIFICATIONS

1. The work shall consist of providing all necessary materials, labor, equipment, tools and supervision required for the completion as shown on the drawings.
2. The plant materials shall conform to type stated on the plant list. Sizes shall be the minimum stated on the plant list or larger. All measurements shall be in accordance with the latest edition of the "A.A.N. Standards for nursery stock."
3. The plant material shall be nursery grown and inspected by the owner's representative before planting. The owner's representative reserves the right to reject any plant material at any time.
4. Plants designated "B & B" shall be balled and burlapped with firm balls of earth.
5. The contractor is responsible for planting the materials at the correct grades and spacing. The plants shall be oriented as to give the best appearance.
6. When the plant has been properly set, the pit shall be backfilled with a topsoil mixture, gradually filling, patting and settling with water.
7. All plant materials shall be pruned and injuries repaired. The amount of pruning shall be limited to the removal of dead or injured twigs and to compensate for the loss of roots from transplanting. Cuts should be flush, leaving no stubs. Cuts over 3" shall be painted with tree paint.
8. The contractor agrees to guarantee all plant materials for the period of one year. At that time the owner's representative reserves the right for a final inspection. Plant material with 25% die back, as determined by the owner's representative shall be replaced. This guarantee includes the furnishing of new plants, labor and materials. These new plants shall also be guaranteed for the period of one year.

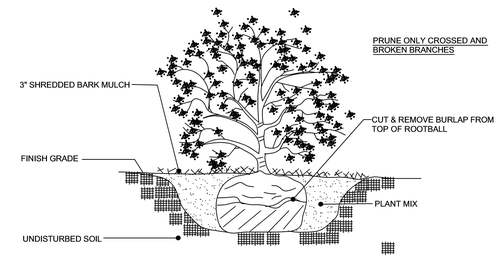
8a. The owner is responsible for the maintenance of all required plants in perpetuity. Any plant which dies or becomes diseased shall be replaced within 30 days written notice from the City o Chelsea.

9. Topsoil shall be friable, fertile topsoil of clay loam character containing at least 5% but not more than 20% by weight of organic matter with a PH range from 6.0 to 7.0. Topsoil shall be free from clay lumps, coarse sand, plant roots, sticks and other foreign materials.
10. Grass seed variety prop. by Weight Purity Germination:
    Kentucky Blend 40% 97% 80%
    Creeping Red Fescue 20% 97% 80%
    Perennial Rye 40% 97% 90%
    Maximum weed content shall be 0.3%
11. Seed mixture of sod shall be approved by Owner's Representative or Landscape Architect prior to delivery on site.
12. The Contractor shall verify all rights of way, easements, property lines and limits of work, etc. prior to commencing work.
13. The Contractor shall be responsible for contacting and coordinating with all pertinent utility companies 72 hours in advance of any digging to make himself familiar with all underground utilities, pipes and structures. The Contractor shall take sole responsibility for any cost incurred due to damage of said utilities.
14. The Contractor shall not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist. Such conditions shall be immediately brought to the attention of the owner's representative and/or Landscape Architect. The Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
15. Any discrepancies between dimensioned layout and actual field conditions shall be reported to the Owner's representative and Landscape Architect. Failure to make such discrepancies known will result in Contractor's responsibility and liability for any changes and associated cost.
16. Required landscape plants shall be installed within 30 days of completion of building and hardscape construction.
17. The owner of the property shall be responsible for the regular maintenance of all diseased, dead, or damaged plants and will replenish mulch, control weeds, fertilize plants and prune plants as necessary beginning upon completion of construction of landscaping.



CANOPY TREE PLANTING DETAIL

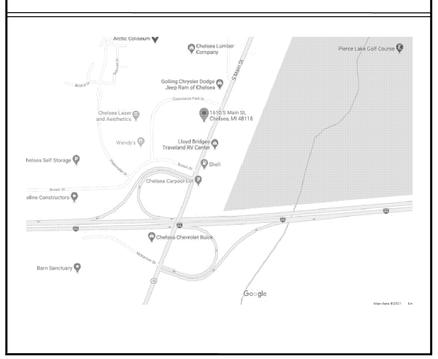
NO SCALE

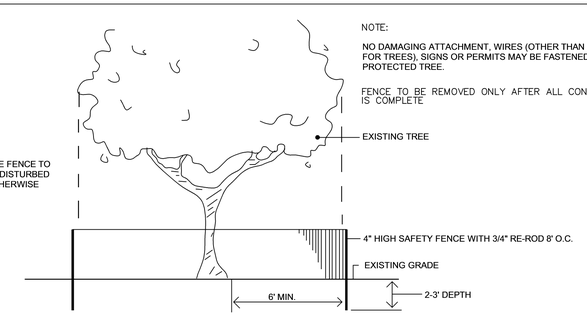


SHRUB DETAIL

NO SCALE

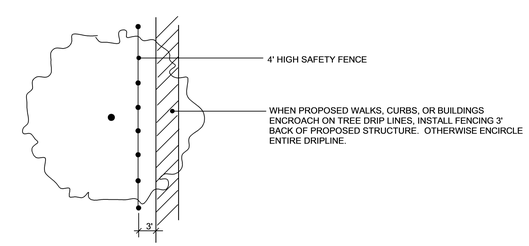
LOCATION MAP





SNOW FENCE DETAIL

SECTION NO SCALE



SNOW FENCE DETAIL

PLAN NO SCALE

STATE OF MICHIGAN
MARK GAC
Landscape Architect
NO. 1209
REGISTERED

Mark J. Gac, RLA
30994 Kenwood Ct.
Livonia, MI 48152
(313) 319-7217

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	8/31/21	FINAL-SPA SUBMITTAL	
	2/21/22	DT ORDER BOOTH SU SUBMITTAL	

PREPARED FOR:

DRAWN BY: MJG
STD ISSUE DATE
REVIEWED BY: MJG
DATE ISSUED: MAR 09, 2021

TITLE: Landscape Specifications Detail

CULVER'S RESTAURANT

SITE ID: 1610 S MAIN STREET CHELSEA MI

LS02

EXTERIOR MATERIAL OPTIONS: SEE EXTERIOR FINISH DOCUMENT FOR SELECTIONS

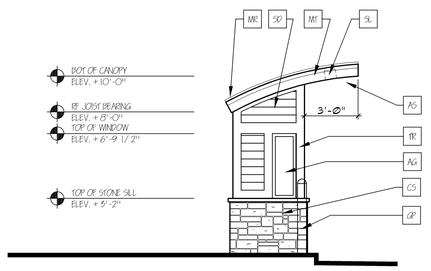
GENERAL NOTES:
1. METAL COMPRESSION EDGE AT PARAPET TO MATCH COLOR SPECIFIED IN EXTERIOR FINISH DOCUMENT
2. DO NOT DRYSTACK CULTURED STONE

MATERIAL OPTIONS:
STONE SCHEME:
- ENVIRONMENTAL STONEWORKS, STYLE: TUSCAN LEDGE, COLOR: ASPEN NICKEL CREEK OR ANDES SUMMIT. SEE EXTERIOR FINISH DOCUMENT
  OR
- BORAL STONE, STYLE: COUNTRY LEDGESTONE; COLOR: ECHO RIDGE OR ASHFALL. SEE EXTERIOR FINISH DOCUMENT
  SILL & ACCESSORIES: MATCH BUILDING

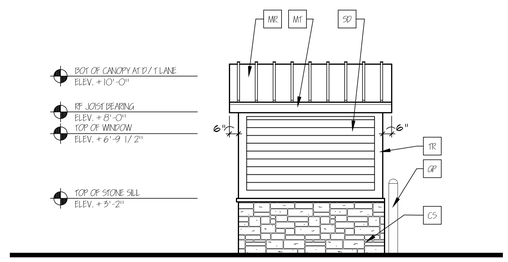
PARAPET METALS:
- SIDING AND TRIM: JAMES HARDIE CEMENT BOARD LAP SIDING, & 1x4 TRIM COLOR: JAMES HARDIE MATCH BUILDING SIDING
- MANUFACTURED BY EXCEPTIONAL METALS, COLOR: MEDIUM BRONZE OR HARBOR BLUE. SEE EXTERIOR FINISH DOCUMENT

ORDER BOOTH KEY NOTES:

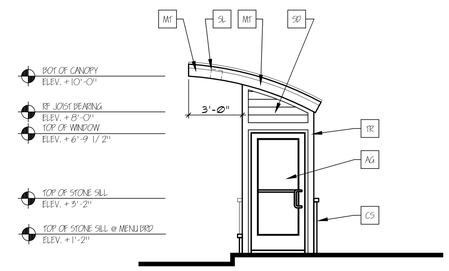
AG	AL / GLASS CLEAR ANOD DOORS AND WINDOWS - NEW
AS	ALUMINUM SOFFIT
CS	CULTURED STONE - NEW
DL	DECORATIVE LIGHTS - NEW
GP	GUARD POST
MC	METAL CAP / COPPING - MATCH ANOD STOREFRONT
MR	STANDING SEAM METAL ROOF & TRIM - NEW
MT	METAL TRIM
SG	SIGNAGE - NEW - UNDER SEPARATE PERMIT
SD	SIDING - NEW WALL HORZ. COMPOSIT - MATCH BUILDING SEE SCHEDULE
TR	TRIM 1 X CEMENTIUOUS OR COMPOSITE - NEW PAINT
CC	CONCRETE CURB - EXISTING SEE SITE PLAN
SL	RECESSED SOFFIT LIGHT LED



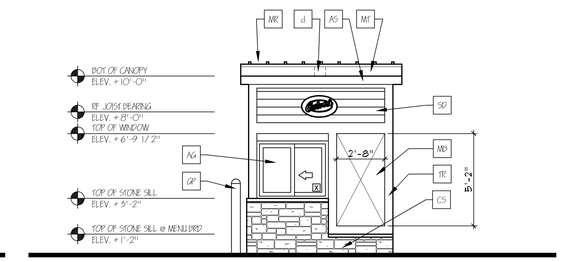
5 A200 SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"



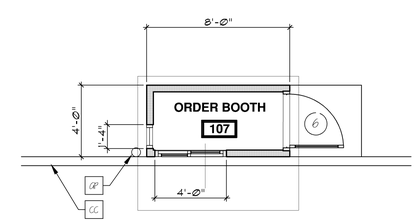
4 A200 REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"



3 A200 SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"



2 A200 FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"



1 A200 ORDER BOOTH PLAN
SCALE: 1/4" = 1'-0"

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Do not scale drawings.
Use figured dimensions only

STATE OF MICHIGAN
FRANK Z. MARTIN
ARCHITECT
No. 1301019881
LICENSED ARCHITECT
architect seal

issue / revision date
1 7-16-21 Bid-Permit
A 8-12-21 Construction
2 8-31-21 Final SPA Submittal
D 01-20-22 As Built Submittal
C 02-21-22 SU Submittal

drawn by | checked by

project: Culver's Restaurant
1610 S. Main Street (M-52)
Chelsea, MI

sheet title: D/T Order Booth Floor Plan and Elevations

dma
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Southfield, Michigan 48076
(248) 557-1062
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job number 21006
sheet number A-3.4

City of Chelsea
Washtenaw County, Michigan

Application for Special Use Permit

Application No: _____

Name(s): Dorchen/Martin-Frank Martin **Phone:** (248) 557-1062 **Alt Phone:** (248) 224-3714

Address: 29895 Greenfield Rd #107 **City:** Southfield **State:** MI

Email: fmartin@dorchenmartin.com

Check one:

☐ Owners of the property ☑ Acting on behalf of the owner(s)

Address of property for Special Use Permit: 1610 South Main Street

Legal Description or Tax ID#: 06-06-13-380-004

This property is presently zoned as: T-1 Transitional (Mixed Use)

The proposed use(s) and nature(s) of operation is/are:

The site is home to a Culver's Restaurant that was completed in 2021 under the former zoning ordinance, which allowed Drive-Thru as a permited use. The Culver's owners propose to install (2) D/T Order Booths to improve efficiency and customer experience.

We are requesting Special Use for the installation of the (2) Order Booths

An accurate survey drawing of said property must be attached to this application. The drawing shall show all existing and proposed buildings and structures, the types thereof, their uses and the drawing scale.

I/We do hereby swear that the above is true and correct to the best of my/our knowledge.

Signature: FRANK MARTIN **Date:** 2/21/22

Signature: _____ **Date:** _____

For City Use Only

Fee Received: _____ **Date:** _____ **Received by:** _____

The Chelsea Planning Commission, having reviewed the particular circumstances of the proposed use(s), does hereby:

☐ Grant a Special Use Permit for and imposes the following conditions:

_____

_____

_____

_____

☐ Refuse a Special Use Permit for the following reasons:

_____

_____

_____

_____

Signed: _____ Date: _____

Use the space below if additional space is needed by applicant

ARTICLE 6.
GENERAL PROVISIONS

SECTION 6.01

Accessory Buildings, Structures and Uses

A. Relation to Principal Building. Accessory buildings, structures, and uses are permitted only on the same lot with a principal building, structure, or use which is permitted in the particular zoning district and has received a Certificate of Occupancy. An accessory building, structure, or use shall not be occupied or utilized unless the principal structure to which it is accessory is occupied or utilized.

B. Accessory Building Standards. The following standards shall apply to all accessory buildings and structures, except those used as an Accessory Dwelling Unit (ADU). Standards for ADUs are provided in **Section 4.01**.

Requirements for Accessory Buildings	Standard
Permitted location, attached	Any yard, but may not encroach into required setback
Permitted location, detached	Not permitted in any front yard
Minimum distance from other buildings or structures	10 feet minimum
Required setbacks (attached)	Same as for primary structures in district
Required setbacks (detached)	
Front yard	Same as for primary structures in district
Rear/side yard	5 feet
Maximum height	
Attached	Same as for primary structures in district
Detached	14 feet
Maximum Size (Total Floor Area of all structures)	
For lots < 2 Acres in Size	900 ft^2
For lots ≥ 2 Acres in Size	1200 ft^2

C. Non-Residential. All accessory structures in non-residential districts shall be subject to the same standards and requirements that are required for all principal structures within such districts.

D. **Permit Required.** An accessory building or structure shall require a Zoning Compliance Permit and shall require a building permit, if required by the State Construction Code.

SECTION 6.02

Residential Accessibility Structures

Structures necessary to provide reasonable accessibility for persons with physical disabilities shall meet the following standards:

A. Structures shall meet applicable state and federal regulations.

B. Permanent structures shall meet all required setbacks for a principal building.

C. A structure intended to be a temporary structure to provide access to a dwelling unit may be approved by the Planning and Zoning Administrator. The applicant shall agree in writing to the removal of the structure when the person in need of the structure no longer resides on the premises or is no longer physically disabled. Any structure shall be the minimum necessary to provide reasonable accessibility. A handicap ramp necessary under this provision shall be set back not less than five (5) feet from the lot line or the street right of way line.

D. Approval of a temporary structure shall be valid for not more than three (3) years from the date of approval unless renewed pursuant to this section.

SECTION 6.03

Access to Streets

In any district, every lot created after the Effective Date of this Ordinance and every use, building, or structure established after the Effective Date of this Ordinance shall be on a lot that adjoins either a public street or a private street that meets the requirements of the street ordinance of the City of Chelsea.

SECTION 3.06

Schedule of Regulations

A. Schedule of Regulations Table.

Side Yards									
District	Lot Area (ft^2)	Min. Lot Width (ft)	Front Yard (ft)	Min. One (ft)	Min. Total (ft)	Rear Yard (ft)	Max. Height (ft)	Lot Coverage (%)	Impervious Coverage (%)
R-1	7,500	60	20	5	15	20	40	35%	60%
R-2	7,500	60	20	5	15	20	40	35%	60%
R-3	10,000	80	25	15	30	25	40	45%	75%
PF	20,000	100	25	10	20	25	40	45%	60%
DT	--	--	Section 5.05	0	0	0	40	100%	100%
T-1	10,000	75	Section 5.05	10	20	30	40	60%	80%
T-2	15,000	100	Section 5.05	20	40	35	40	45%	75%
O-1	10,000	80	30	10	20	30	40	20%	55%
PED	50 acres	600	60	30	60	60	40	10%	--
LI	10,000	100	25	10	20	25	40	60%	80%
GI	1 acre	150	35	25	50	35	40	60%	80%
MI	None		30	20	40	20	40	25%	--
RC	7,500	60	20	5	15	20	40	20%	35%
PUD	Section 10.01								

B. Schedule of Regulations Notes.

(1) In the GI and LI Districts, only buildings and structures, not other permitted uses, must meet required side and rear yard setbacks. Required buffers shall still apply to such uses.

(2) In the DT, T-1, and T-2 Districts, front setbacks shall also conform to one of the approved frontage type standards in **Section 5.05**.

(3) In the R-1, R-2, and R-3 Districts, all driveways, drive aisles, and parking areas shall not be located closer than five (5) feet to any side or rear property line.

ARTICLE 11.
SPECIAL USE PERMITS

SECTION 11.01

Purpose

It is the intent and purpose of this Article to:

A. Recognize that there are certain uses that may be necessary or desirable to allow in certain locations within zoning districts but which, due to their actual or potential impact on neighboring uses or public facilities, need to be more-carefully reviewed with respect to their location, design, and operation.

B. Establish the procedures and standards for review of special uses.

C. Provide a mechanism for public input on decisions involving special uses;

D. Promote a planned and orderly development pattern that can be adequately served by public facilities and services in a cost-effective manner.

E. Provide flexibility to integrate land uses within the City.

SECTION 11.02

Authority to Grant Permits

The authority to approve, approve with conditions, or deny a special use shall be with the Planning Commission. Its decision shall be final and may not be appealed to the Zoning Board of Appeals.

SECTION 11.03

Application Requirements

The applicant shall submit a complete and accurate Special Use Application. A Special Use Application shall contain the following information:

A. *Application and Fee*. A signed and completed site plan application and fee in accordance with **Section 14.06.** No fee shall be required of any governmental body or agency.

B. *Applicant Information.* The applicant's name, address, telephone number.

C. *Proof of Ownership.* Names and addresses of all record owners and proof of ownership.

D. *Interest in the Property.* The applicant's interest in the property. If the applicant is not the fee simple owner, the applicant shall also submit a signed, notarized authorization from the owner(s) for the application.

E. *Legal Description.* Legal description, address, and tax parcel number of the property.

F. *Site Survey.* A scaled and accurate survey drawing, correlated with the legal description and showing all existing and proposed buildings, and types thereof and their uses.

G. *Description of Use.* A detailed description of the proposed use and statement supporting data, exhibits, information and evidence regarding required findings set forth in this Ordinance.

H. *Site Plan.* A Preliminary Site Plan as provided in **Section 12.02** herein. If no exterior or site modifications are proposed, only a sketch plan shall be required.

I. *Vicinity Map.* A vicinity map showing the surrounding land use and zoning.

J. *Additional Materials.* Any additional information the Planning Commission finds necessary to make the determinations required herein.

SECTION 11.04

Public Hearing Notice

The Planning Commission shall hold a public hearing on each application for a special use permit. Notice of the public hearing shall be made in accordance with **Section 14.05A**.

SECTION 11.05

Planning Commission Review

A. *Preliminary Review.* The applicant may request a preliminary working session to review plans with the Planning Commission before submitting an application. The Planning Commission shall take no formal action during the preliminary review.

B. *Planning Commission Action.* The Planning Commission shall review the Special Use Application in consideration of all information received and compliance with the standards of **Section 11.06** and other applicable standards of this Ordinance. The Planning Commission shall approve, approve with conditions, or deny the application by resolution. The resolution shall contain the Planning Commission's findings on the applicable ordinance standards. If conditions are imposed, plans or other information illustrating compliance with the conditions shall be submitted and approved by the Planning and Zoning Administrator prior to the issuance of a Zoning Compliance Permit.

SECTION 11.06

Standards for Review

The Planning Commission shall make findings with respect to the following standards in making a determination on a Special Use Application. The planning Commission shall approve a Special Use Permit if all the following standards are met.

A. All information required in **Section 11.03** has been provided.

B. The proposed special use shall be compatible with and in accordance with the policies and objectives of the City's Master Plan.

C. The proposed special use shall promote the intent and purpose of this Ordinance, ensure that the use is consistent with the public health, safety, and welfare of the City, and comply with all applicable regulations and standards of this Ordinance.

D. The proposed special use shall be designed, constructed, operated and maintained to be compatible with existing or planned uses of surrounding areas.

E. The location and design of the proposed special use shall minimize the negative impact on the street system in consideration of items such as vehicle trip generation, types of traffic, access location and design, circulation and parking design, street and bridge capacity, traffic operations at proposed access points, and traffic operations at nearby intersections and access points.

F. The effects of the proposed special use on the natural environment shall be within acceptable limits in comparison to the effects that would result from uses permitted by right in the district.

G. The proposed special use shall be adequately served by public facilities and services. The special use shall not create additional public costs for facilities and services.

H. The proposed special use shall comply with all other applicable ordinances and State and Federal statutes and regulations.

SECTION 11.07

Action Required

A. Within 35 days of the public hearing date, the Planning Commission shall approve, approve with conditions, or deny a Special Use Application.

B. If the Planning Commission approves a Special Use Application, a Special Use Permit shall be issued to the applicant by the Planning and Zoning Administrator.

C. The Planning and Zoning Administrator shall not issue a Zoning Compliance Permit until the Special Use Permit has been approved by the Planning Commission.

SECTION 11.08

Effect of Approval

An approved Special Use Permit shall run with the land, unless the use is specifically determined to be temporary in nature. The approved Special Use Permit shall apply only to the land described in the permit application.

SECTION 11.09

Site Plan Approval

Preliminary Site Plan Review may be conducted simultaneously with review of a special use permit application. An approved Preliminary Site Plan shall be a part of the approved Special Use Permit.

SECTION 11.10

Maintenance

The property owner shall maintain the property in accordance with the approved Special Use Permit and site plan on a continuing basis until the property is razed, or until a new use or site plan is approved. A property owner who fails to maintain the property in accordance with the approved Special Use Permit and accompanying site plan shall be deemed to be in violation of this Ordinance, subject to **ARTICLE 14**.

SECTION 11.11

Expansions and Changes in Use

An expansion of a use or a change in use of any approved Special Use Permit shall require a new Special Use Permit. The procedure for an expansion or change of use shall be the same as for the original application.

SECTION 11.12

Voiding or Discontinuance of a Special Use

A. *Establishment of Use.* An approved Special Use Permit shall become null and void unless:

(1) The use is established within six (6) months of the date of issuance; or

(2) Construction is commenced within six (6) months and completed within one (1) year of the date of issuance.

B. *Conditions Not Met.* If the applicant has failed to comply with all conditions imposed by the Special Use Permit within the required time period, the Planning Commission may hold a public hearing to review the Special Use Permit. Should the Planning Commission determine that the applicant has not met the conditions of the Special Use Permit, it may take action to ensure compliance with the conditions or revoke the Special Use Permit.

C. *Changes to Special Use.* The Planning Commission may declare the Special Use Permit void after the hearing if the Commission finds that the special use has changed to the extent that it no longer meets the standards in **Section 11.06** and any of the conditions attached to its approval.

D. *Operations Ceased.* The Planning Commission may require a public hearing for an approved Special Use Permit if the use has ceased to operate continuously for at least a one (1) year period.