



## CITY OF CHELSEA ZONING BOARD OF APPEALS AGENDA

Wednesday, February 21, 2024, at 5:00 PM

Chelsea City Council Chambers

311 S. Main Street

*Remote option available for members of the public. Board members must attend in person.*

1. Call to Order
2. Roll Call
3. Approval of the Agenda
4. Approval of the Minutes
  - a. Approval of the regular meeting minutes for October 18, 2023
5. Public Comment (non-agenda items)
6. New Business
  - a. Variance 24-1: 775 South Main Street (APN 06-06-12-475-054)  
Request from Steve VanBrussel for a **variance to allow for an increased maximum height for rooftop mechanical equipment and a variance for complete screening requirements** in the MI – Medical Institutional District
  - b. Draft Zoning Board of Appeals Bylaws and Rules of Procedure
  - c. 2024 Zoning Board of Appeals Meeting Schedule
7. Adjournment

### **Zoom Information**

Please click the link below to join the webinar:

<https://us02web.zoom.us/j/86163535559?pwd=NSTzN3lzZTNuWnBLMEFVWHVLcytOQT09>

Passcode: 153281

+1 309 205 3325 US

+1 312 626 6799 US (Chicago)

# **Item 4a**

**October 18, 2023**

**Regular Meeting Minutes**

ZBA 10/18/23

T. Osborne, J. King, J. Lane, G. Kinzer

Call to order: 5:00 pm

Motion to approve the agenda Lane, 2nd by King  
Passes, all ayes

Motion to accept July 19th minutes by King, 2nd by Lane

Public Comment - none

New Business - Variance 23-2 203 W. Middle Street  
Plan to build a garage with in-law suite.

Motion to approve the variance based on a shared driveway and nonconforming structure next  
to the property line by King, 2nd by Lane

Passes all ayes

Motion to adjourn by King, 2nd by Lane  
No discussion  
Passes all ayes

## **Item 6a**

**Variance 24-1: 775 South Main Street (APN 06-06-12-475-054)**

**Request from Steve VanBrussel for a variance to allow for an increased maximum height for rooftop mechanical equipment and a variance for complete screening requirements in the MI – Medical Institutional District**



**Carlisle | Wortman**  
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: February 13, 2024

**VARIANCE ANALYSIS  
FOR  
City of Chelsea**

**APPLICANT INFORMATION**

**APPLICANT:** Steve VanBrussel  
5333 McAuley Drive, Suite 117  
Ypsilanti, MI 48197

**LOCATION:** 775 South Main Street

**CURRENT ZONING:** MI – Medical Institutional

**PETITION:** Increased maximum height for rooftop mechanical equipment from 10' to 13'4".  
Variance for complete screening requirement.

**VARIANCE REQUEST**

The subject site is currently developed with an Inpatient Rehabilitation Unit, part of the Chelsea Trinity Health Hospital campus. The subject area is currently undergoing site plan review for interior renovations and a structure to connect the Courtyard West and Atrium Wings. As part of the planned renovation, three (3) new air handling units and one (1) new chiller are proposed in order to meet current hospital ventilation and air quality standards. This rooftop mechanical equipment will be mounted atop the renovated Courtyard West building, originally constructed in 1968. To accommodate the new mechanical equipment and corresponding ductwork, the applicant is requesting a variance from the maximum height of ten (10') feet for roof mounted mechanical equipment to allow for the equipment to be at thirteen feet and four inches (13'4") above the surrounding roof surface. The applicant is further requesting a variance from the requirement that roof mounted mechanical equipment be completely screened from view from ground level. The applicant is proposing a four-foot-three-inch (4'3") false roof as the screening mechanism. It appears that this false roof offers some screening from ground view, but it does not offer complete screening of the mechanical equipment. The applicant has provided a letter which identifies their consideration in requesting this variance. The two requested variances are from the requirements described in Section 6.10 of the Zoning Ordinance, which apply to buildings in all City of Chelsea zoning districts.

*“Section 6.10 Mechanical Equipment*

*B. (2) Roof mounted equipment shall not exceed a height of ten (10) feet above the surrounding roof surface. All roof mounted mechanical units shall be integrated into the architecture of the building and completely screened from view from ground level by parapet walls or other approved enclosure.”*

**EXISTING CONDITIONS**

The Courtyard West building was built in 1968 as part of the original hospital construction. The building is located in the northwest area of the 98.45-acre parcel, at least one-hundred-and-fifty (150') feet from the nearest lot line (see Figure 1).

**Figure 1. Aerial view of Courtyard West building and surrounding hospital campus**



Source: NearMap, 2023

The property is located in the MI – Medical Institution Zoning District which includes the Trinity Health campus and other medical uses. In addition to Trinity Health, other property owners in the MI Zoning District include 5 Healthy Towns Foundation, Silver Maples of Chelsea Inc., and the United Methodist Retirement Community Inc. The property also lies within the M-52 Corridor District, and as such must comply with regulations established in Section 3.12 of the Zoning Ordinance. The building use is not proposed to change with either the variance request or corresponding site plan application.

This portion of the hospital campus is serviced by parking areas to the west of the subject building. Access to the site is provided from Will Johnson Drive, which circulates passenger vehicles around the hospital buildings, connecting to South Main Street from north of Pierce Park and south of the downtown Chelsea area.

## VARIANCE CONSIDERATIONS

According to section 15.10 B of the Zoning Ordinance, a variance shall not be granted by the Zoning Board of Appeals unless and until all of the following are met.

- A. **That special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same district.**

**CWA Comment:** The subject property is 98.45-acres and contains most of the Trinity Health Chelsea Hospital buildings. The mechanical equipment screening and maximum height requirements apply to all structures in the city. The MI – Medical Institutional zoning district consists of ten (10) parcels. This parcel contains both the original hospital campus buildings and the newer built (2011) adjacent buildings, and the proposed site plan for this building plans a connection between the new and old buildings. Unlike many other structures in the MI district, the Courtyard West Building is well below the forty (40) foot maximum building height requirement, at nine feet and seven inches (9’7”) in height. This height does not allow for interior ductwork placement; however, the short building height does not appear to impact the applicants’ ability to offer the required screening.

- B. **That literal interpretation of the provisions of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same district under the terms of this ordinance.**

**CWA Comment:** The granting of the height variance may be necessary for the enjoyment and safety of a substantial property right possessed by other buildings on the hospital campus or broader MI – Medical Institutional district. The applicant is proposing to upgrade their ventilation system to meet air quality standards. The rejection of the screening variance application does not appear to deprive the applicant of rights commonly enjoyed by other properties.

- C. **That special conditions and circumstances do not result from the actions of the applicant.**

**CWA Comment:** Issuance of the screening variance with the understanding that the surrounding existing trees offer sufficient screening, as the applicant suggests in their variance application letter, may result in landscape screening being used in place of structural screening, as required by the Zoning Ordinance. Removal of these trees in the future would impact the screening.

However, the site itself is surrounded by a wooded area that generally screens the building from neighboring uses.

**D. That granting the variance requested will not confer on the applicant any special privilege that is denied by this Ordinance to other lands, structures, or buildings in the same district.**

**CWA Comment:** The ability to install ventilation equipment that meets air quality standards is not a special privilege that is denied by the Zoning Ordinance to other lands, structures, or buildings in the MI – Medical Institutional Zoning District.

**E. That no nonconforming use of neighboring lands, structures, or buildings in the same district, and no permitted use of lands, structures, or buildings in other districts shall be considered grounds for the issuance of a variance.**

**CWA Comment:** The ZBA should review this proposal alone and not compare it to other sites.

## RECOMMENDATION

The Zoning Board of Appeals should review the requested variance to determine whether:

- a. **The requirements of the Ordinance for a variance have been met by the applicant.**
- b. **The reasons set forth in the application justify the granting of the variance.**
- c. **The variance is the minimum variance that will make possible a reasonable use of the land, building, or structure.**
- d. **Granting of the variance will be in harmony with the general purpose and intent of this Ordinance, and will not be injurious to the neighborhood, or otherwise detrimental to the public welfare.**

If you have any questions, please do not hesitate to contact us.

Respectfully submitted,

  
\_\_\_\_\_  
CARLISLE/WORTMAN ASSOC., INC  
Paul Montagno, AICP  
Principal

  
\_\_\_\_\_  
CARLISLE/WORTMAN ASSOC., INC.  
Michelle Marin  
Community Planner



**Zoning Boards of Appeals Application**  
**City of Chelsea**  
**Washtenaw County, Michigan**

Date January 30, 2024

APPLICANT(S) NAME (print) Chelsea Hospital -

APPLICANT(S) ADDRESS 775 S Main Street, Chelsea, MI


PHONE# (734) 655-8593

Type of Appeal – The Appeal made herewith is for:

- A Variance from the Zoning Ordinance  
 An interpretation of the Zoning Ordinance

For the following reasons: Height variance - due to existing older building construction & Screening Variance due to partial existing screening. See attached narrative for further description of variance request.

**NOTE:** By signing this appeal application, you are stating that you have had the opportunity to read the Automatic Stay Rule governing the Board of Review's decision and that you understand the rule.

Date: 1/20/2024 Applicants signature:  Steve Van Buren  
Director of Planning, Design, Construction  
TH Michigan

THE APPLICANT(S) ARE:  OWNER(S) OF THE PROPERTY INVOLVED.  
 ACTING ON BEHALF OF THE OWNER(S) OF PROPERTY INVOLVED.

Fee received: \$ 646.00 by the Planning & Zoning Inspector \_\_\_\_\_

---

**For Variances from the Zoning Ordinance**

Address of the Property involved: 775 S Main Street, Chelsea, MI

Indicate the provisions(s) of the Zoning Ordinance that are being addressed in this appeal. DO NOT Quote the Ordinance. Indicate the Article, Section, Subsection and Paragraph in question:

Section 6.10 Mechanical Equipment

B. (2) Roof mounted equipment shall not exceed a height of ten (10) feet above the surrounding roof surface. All roof mounted mechanical units shall be integrated into the architecture of the building and completely screened from view from ground level by parapet walls or other approved enclosure.

---

---

**For Applications for Appeal of the Interpretation of the Zoning Ordinance**

PLEASE PRINT OR TYPE (If additional space is needed use the back or a separate sheet)

I/We \_\_\_\_\_ of \_\_\_\_\_

\_\_\_\_\_ Hereby appeal to the Zoning Board of Appeals from the decision of the Zoning Inspector on Application No. \_\_\_\_\_, dated \_\_\_\_\_, 20\_\_\_\_, whereby

- ( ) A Zoning Compliance Permit was ( ) Granted ( ) Denied  
( ) A Certificate of Occupancy was ( ) Granted ( ) Denied

To: \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Address of the Property involved: \_\_\_\_\_

Legal Description: \_\_\_\_\_  
\_\_\_\_\_

Indicate the provisions(s) of the Zoning Ordinance that are being questioned or addressed in this appeal. **DO NOT** Quote the Ordinance. Indicate the Article, Section, Subsection and Paragraph in question:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**FOR ZONING BOARD OF APPEALS USE ONLY**

At the meeting of the Zoning Board of Appeals on \_\_\_\_\_ 20\_\_\_\_, the appeal described on this form was considered and the Board determined that the

- ( ) Zoning Compliance Permit  
( ) Certificate of Occupancy

was ( ) Granted or ( ) Denied for the following

reasons: \_\_\_\_\_

1/30/2024

City of Chelsea  
City Hall  
Zoning Board of Appeals  
305 S. Main Street #100  
Chelsea, MI 48118

Re: Zoning Ordinance Variance  
Chelsea Hospital  
775 S. Main Street  
Chelsea, MI 48118

A3C is working on a project with Chelsea Hospital, to renovate an existing 30 Bed Inpatient Behavioral Health Unit, into a 16 Bed Inpatient Rehabilitation Unit. The renovation will be in the hospital's 'Courtyard West' wing, and will consist of 14,356 SF of Interior Renovation and new construction of 1,025 SF Connector. The Connector will link the Courtyard West and Atrium Wings.

To meet current hospital ventilation and air quality standards, new three new air handling units and one new chiller are needed for the project. The units are being planned for the roof above the area of renovation in Courtyard West. FGI 2018 Hospital Guidelines require a 20' clear view from a hospital patient room window to any structure, negating the ability to ground mount the units near the area of work.

The Courtyard West Building is part of the original 1968 construction of the hospital, and is located behind the newer 2011 two story Atrium building. Courtyard West, is a 9'-7" high building, with an interior bar joist structure, which does not allow enough interior clearance for ductwork placement. This project will install the new mechanical ductwork on the roof, and construct a platform to support the new roof top units above the ductwork. The total height of the three air handling units (including the platform) will be 10'-5". The new chiller will be 13'-4" high (including the platform), but screened by a 4'-3" high false roof on the east end of Courtyard West. Part of the chiller will be 9'-1" above the false roof front. See Exterior Elevation E/ A3.11 for location of false roof front.

**RE: Section 6.10 Mechanical Equipment**

**B. (2) Roof mounted equipment shall not exceed a height of ten (10) feet above the surrounding roof surface. All roof mounted mechanical units shall be integrated into the architecture of the building and completely screened from view from ground level by parapet walls or other approved enclosure.**

A variance in height is requested for three air handling units on the platform, with a 5" height variance at 10'-5", from the allowable 10'-0" as noted in the Zoning Ordinance. And a variance of 3'-4", for part of the 13'-4" height of the chiller, at the east end beyond the false roof front and at the 8'-2" short side of the unit.

This variance is being requested due to the existing nature of the building construction requiring ductwork on the roof, need for placement of the units on the roof above the ductwork, and size of units based on current ventilation and air quality standards for healthcare environments. The height

of these units cannot be seen by any adjacent property owners, and the units will also not be seen from the front of the property. The newer 2011 two story Atrium building, is the main front entry for the hospital, and is two stories, so one story higher than the Courtyard West Wing.

A variance for screening is also being requested as there are some existing partial false roof fronts on the Courtyard West Wing, and there are many trees that naturally screen the roof area. See attached Sketch Sheet SK-01 for views of the Courtyard West area.

The roof top units will be located at the far end of the Courtyard West wing, so they will be less visible from adjacent areas. The tallest unit, the chiller, is placed at the far east end of the roof, near one of the partial false roof front screening elements. All roof top units will be placed in the north-south orientation so that the visibility of the units will be minimized, as they are not placed longitudinally in the east west orientation along the roof line.

Chelsea Hospital has placed roof top units on the older portions of the hospital in past renovation projects. They have found that the light grey color of the units helps to minimize their appearance as the color blends with a grey or a clear sky day. A red/brown screen to match the brick of the Courtyard West Building, would blend with the building, but would make the mechanical areas much more of a contrast with the sky. Minimizing the impact of the units by keeping their light grey color and using trees for screening is requested over mechanical screens to match the building color.

As noted above in the height variance narrative, the Courtyard West wing is at the back of the hospital complex, and is screened from the front of the property by the new taller Atrium West Building. Chelsea Hospital is the only property owner in the M1 Zone, with no similar or other property owners that would have comparison issues. Chelsea Hospital is asking for these variances on this original older building, but would not expect this variance with any future newer buildings.

Chelsea Hospital enjoys its tree scaped campus, and intends to continue maintaining and adding trees around the hospital grounds as screening and beautification efforts. The request for these variances is due to some existing older building conditions, and the need for the new roof top units to supply updated ventilation and air quality standards for modern healthcare facilities.

Thank you for your consideration on this matter.

Sincerely,



Anne M. Cox, AIA  
Principal – Project Architect  
A3C – Collaborative Architecture



# CHELSEA HOSPITAL

## INPATIENT REHABILITATION RENOVATION - PHASE 1 775 South Main St. Chelsea, MI



**Trinity Health**  
Trinity Health Ann Arbor  
5301 McAuley Drive  
Ypsilanti, MI 48197



**A3C Collaborative Architecture**  
Architect -- Project Number: 23041  
115 1/2 East Liberty St.  
Ann Arbor, MI 48104  
PH: 734.663.1910  
FX: 866.732.2168



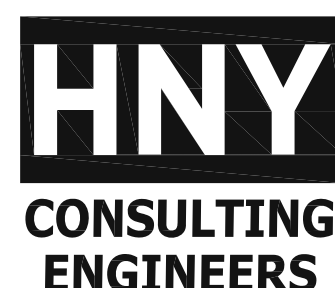
**AIMS Construction, Inc.**  
Construction Manager  
31805 W. Eight Mile Rd.  
Livonia, MI 48152  
PH: 248.476.1310  
FX: 248.476.4277



**WENGCO**  
Civil Engineering Consultant Firm  
3526 W. Liberty Rd, Suite 400  
Ann Arbor, MI 48106  
PH: 734.761.8800  
FX: 734.761.9530



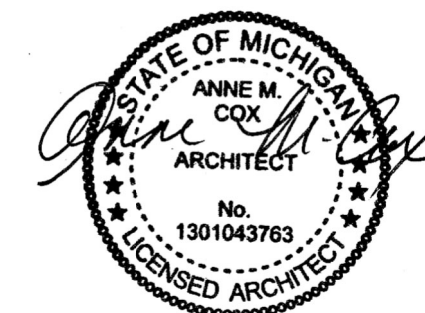
**University of Michigan Health**  
Michigan Medicine  
1500 E. Medical Center Drive  
Ann Arbor, MI 48109



**Henderson New York**  
Engineering Consultant Firm  
240 West 37th Street, Floor 3  
New York, NY 10018  
PH: 212.413.8400



**SDI - Structural Design Inc.**  
Structural Engineering Consultant Firm  
275 East Liberty St.  
Ann Arbor, MI 48104  
PH: 734.213.6091  
FX: 734.213.6087



PROJECT TITLE NO SCALE 9  
REF'D FROM: NA

PROJECT NUMBER 23041

**PROJECT SCOPE SUMMARY:**

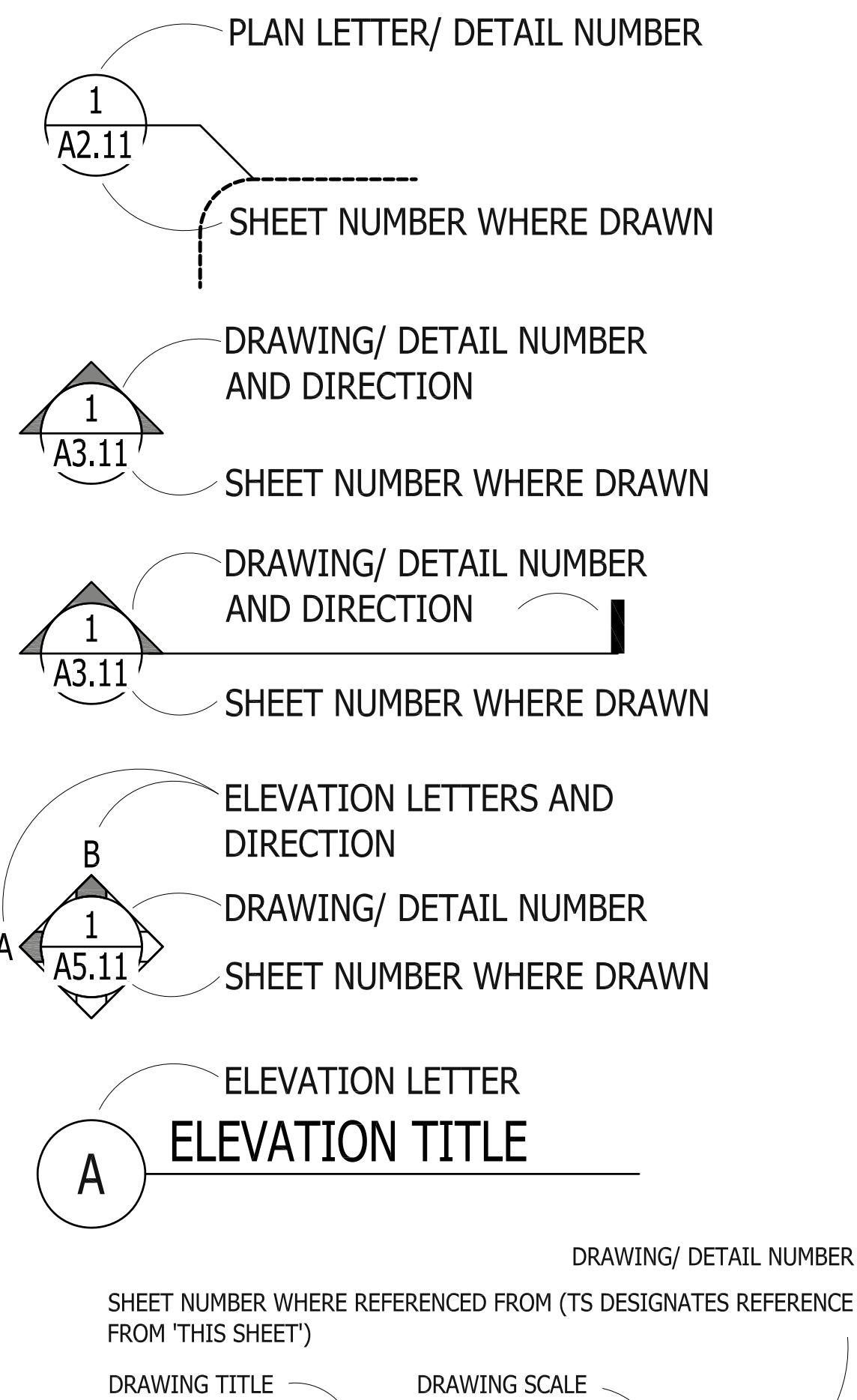
THIS PROJECT WILL RENOVATE AN EXISTING 30 BED INPATIENT BEHAVIORAL HEALTH UNIT IN CHELSEA HOSPITAL'S 'COURTYARD WEST', INTO A NEW 16 BED INPATIENT REHABILITATION UNIT. THE PROJECT WILL CONSIST OF TWO PHASES: PHASE 1 WILL HAVE A 1,025 SF NEW CONSTRUCTION / ADDITION AND 14,356 SF INTERIOR RENOVATION; PHASE 2 WILL BE A FUTURE PROJECT OF APPROXIMATELY 5,250 SF INTERIOR RENOVATION.

THE NEW CONSTRUCTION WILL BE A CONNECTOR 'WALKWAY' THAT WILL BOTH PHYSICALLY AND FUNCTIONALLY CONNECT THE 'ATRIUM WEST' REHABILITATION WING (CONSTRUCTED IN 2011) WITH THE RENOVATED INPATIENT REHABILITATION PATIENT UNIT IN 'COURTYARD WEST' (CONSTRUCTED IN 1968; RENOVATED IN 2018). THE CONNECTOR WILL ALSO PROVIDE ACCESS FROM THE EXTERIOR PARKING AREA AND THE WEST COURTYARD SPACE. THE OVERALL SQUARE FOOTAGE OF THE CHELSEA HOSPITAL IS NOTED AS 213,320 SF.

THE NEW 16 BED INPATIENT REHABILITATION UNIT WILL INCLUDE UNIT SUPPORT SPACES INCLUDING: A NURSE STATION, MEDICATIONS ROOMS, CLEAN SUPPLY, EQUIPMENT STORAGE, SOILED UTILITY, NOURISHMENT, STAFF LOCKER/LOUNGE AND PATIENT THERAPY SPACES. A FUTURE BUILD OUT OF 8 ADDITIONAL BEDS IS PLANNED FOR AN UNDETERMINED FUTURE PHASE.

THE FIRST LEVEL OF ATRIUM WEST WILL NOT RECEIVE ANY SUBSTANTIAL RENOVATIONS AS A PART OF THIS PROJECT. ON THE SECOND LEVEL OF ATRIUM WEST, SIX SECOND FLOOR PATIENT ROOMS WILL RECEIVE NEW CEILING MOUNTED PATIENT LIFTS AS A PART OF THIS PROJECT.

THE PROJECT SCOPE INCLUDES ARCHITECTURAL, INTERIOR, MECHANICAL, PLUMBING, ELECTRICAL, CIVIL AND STRUCTURAL WORK. THE CONSTRUCTION MANAGER WILL COORDINATE WORK OF OWNER CONTRACTED SECURITY, EQUIPMENT AND FURNITURE VENDORS.



**DRAWING INDEX KEY:**

ISSUED FOR:	1/30/24	ZONING
ISSUED FOR REFERENCE ONLY		
ISSUED FOR REVIEW		
ISSUED FOR BID/PERMIT		

SHT. #	SHEET NAME				
<b>GENERAL</b>					
G0.1	TITLE SHEET				
<b>ARCHITECTURAL</b>					
A2.11A	FLOOR PLAN - LEVEL 1 - AREA A				
A2.11B	FLOOR PLAN - LEVEL 1 - AREA B				
A2.11C	FLOOR PLAN - LEVEL 1 - AREA C				
A2.13B	ROOF PLAN - AREA B				
A3.11	EXTERIOR ELEVATIONS				
A3.22	BUILDING SECTIONS				
SK-01	RENDERINGS				
<b>MECHANICAL</b>					
M4.1	MECHANICAL PIPING ROOF PLAN				
M6.2	MECHANICAL DETAILS				

**OWNER'S REPRESENTATIVE:**  
**Trinity Health**  
Planning Design & Construction  
Project Manager:  
Kris Ostermiller  
Ph: 810.333.1504  
kris.ostermiller@trinity-health.org

**CIVIL ENGINEER:**  
**Washtenaw Engineering Co.**  
Joseph K. Maynard, P.E.  
Ph: 734.761.8800  
jk@wengo.com

**CONSTRUCTION MANAGER:**  
**AIMS Construction, Inc.**  
Senior Project Manager:  
David Rogers  
Ph: 248.476.1310  
drogers@aims-construction.com

**ARCHITECT:**  
**A3C Collaborative Architecture**  
Principal:  
Anne Cox  
Ph: 734.663.1910  
acox@a3c.com

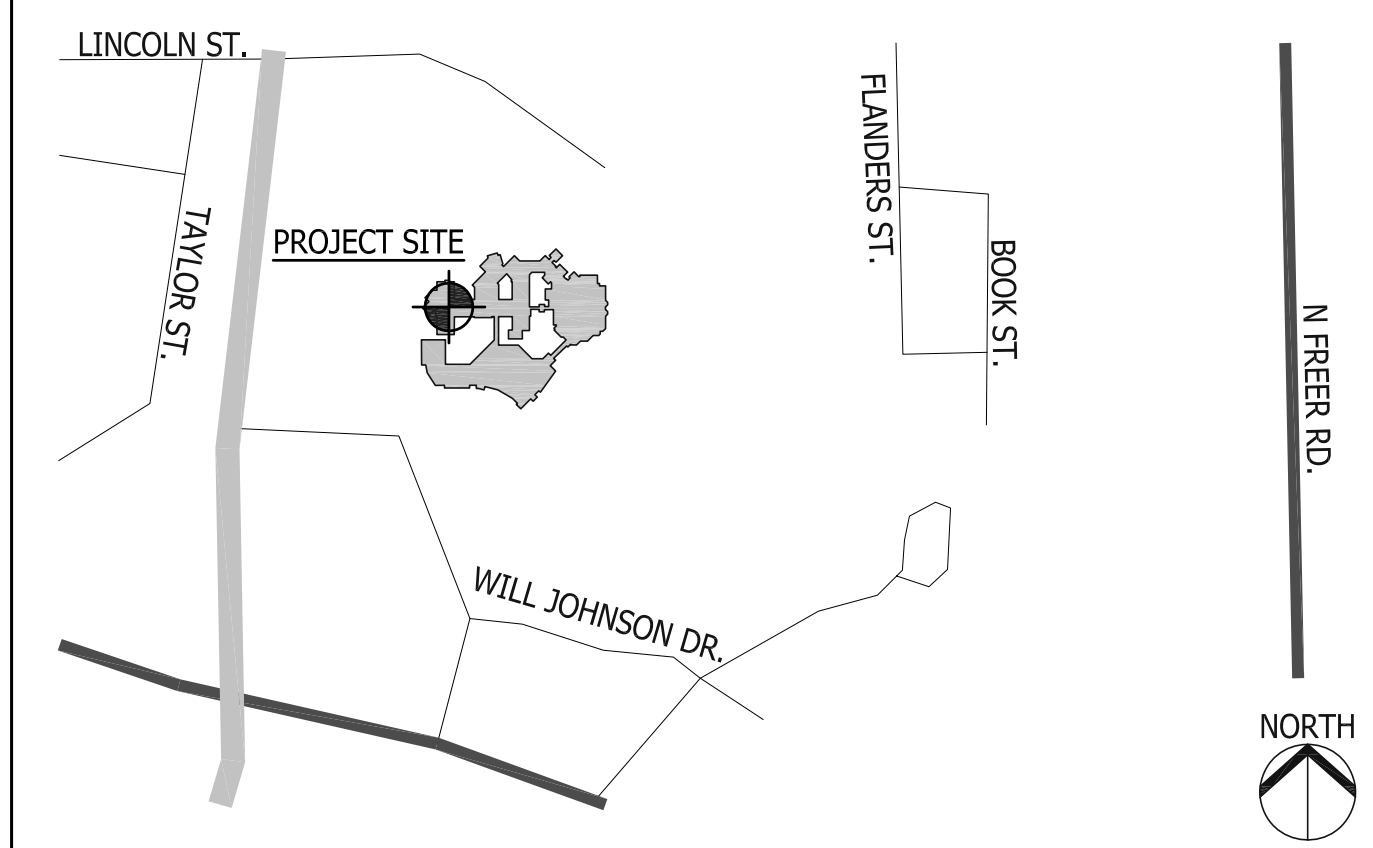
**STRUCTURAL ENGINEER:**  
**SDI Structures**  
Paul Dannels  
Ph: 734.213.6091  
paul@sdistructures.com

**MECHANICAL, ELECTRICAL, PLUMBING & FIRE PROTECTION ENGINEERS:**  
**Henderson New York**  
Ed Griggs  
Ph: 913.742.5377  
ed.griggs@hendersonengineers.com

Project Manager:  
Sara Davis  
Ph: 734.663.1910  
sdavis@a3c.com

23041-G0.01

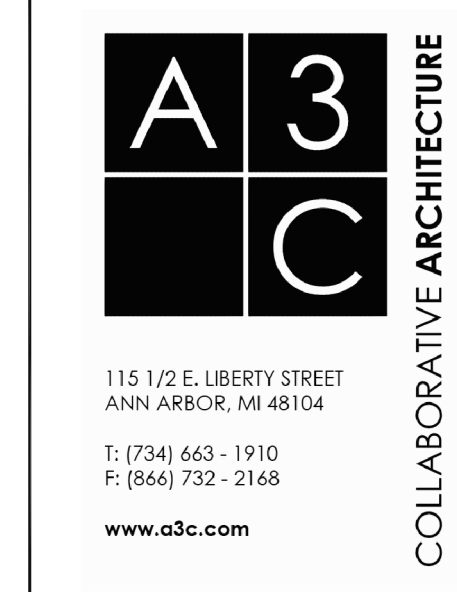
PROJECT DIRECTORY NO SCALE 5  
REF'D FROM: TS



ISSUE	
ZONING	1/30/24
DRN: SAD	CHK'D: AMC

CHELSEA HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHELSEA, MI

TITLE SHEET



SHEET  
**G0.1**

23041-G0.01  
PROJECT SUMMARY NO SCALE 4  
REF'D FROM: NA

23041-G0.01  
SYMBOLS LEGEND NO SCALE 3  
REF'D FROM: NA

DRAWING LIST NO SCALE 2  
REF'D FROM: NA

23041-G0.01  
VICINITY MAP NO SCALE 1  
REF'D FROM: TS



- NEW WORK PLAN KEYED NOTES:**
- ELECTRICAL PANEL; RE: ELECTRICAL.
  - MEDICAL GAS ALARM PANEL OR VALVE BOX; RE: PLUMBING.
  - RE: DETAIL 3,7,11 ON SHEET A3.25 FOR SILL, HEADER AND JAMB DETAIL OF INFILLED EXTERIOR WALL DETAILS.
  - EXISTING HANDRAIL TO REMAIN. MODIFY AS REQUIRED FOR NEW WORK.
  - MEDICAL GAS VACUUM OUTLET; RE: PLUMBING.
  - FRAME TO REMAIN; PAINT.
  - DROP EXISTING WATER LINE FROM CEILING TO COFFEE MAKERS IN ROOM; RE: PLUMBING.
  - RE: INTERIOR ELEVATIONS, EQUIPMENT LIST (A2.44), AND SPECIFICATIONS FOR TOILET ACCESSORIES.
  - CARD READER/KEY PAD; RE: DOOR SCHEDULE (A2.40), HARDWARE SETS AND ELECTRICAL.
  - PROVIDE 3/4" FRT PLYWOOD FROM 4" A.F.F. TO 8"-4" A.F.F. FOR FULL LENGTH OF WALL NOTED. PAINT PLYWOOD TO MATCH WALL, TYP. WALL BASE TO BE APPLIED TO GWB WALL.
  - 2" FLUSH MOUNTED GROMMET TO ACCESS ELECTRICAL BELOW; RE: ELECTRICAL.
  - EXISTING EXTERIOR WINDOW TO REMAIN. PROVIDE INSULATED INFILL PANEL WHERE PTAC HAS BEEN REMOVED; RE: DETAIL 1,5,9 ON SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - (BID ALTERNATE) INSTALL NEW WINDOW AND INFILL PANEL WITHIN EXISTING MASONRY OPENING. REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL. REFER TO DETAIL 2,6,10 SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - ADD NEW LAYER OF INTERIOR GWB, REPLACE ANY RUSTED/DAMAGED STUDS IN KIND.
  - MEDICAL GAS COMBINATION ALARM PANEL. RE: MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
  - CLEAN AND REPAIR EXISTING LOCKERS, CABINETS AND MAILBOXES FOR REUSE IN THIS PROJECT.
  - REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL.
  - RELOCATED KEYPAD AND FIRE ALARM PULL. RE: ELECTRICAL & DOOR SCHEDULE
  - MEDICAL GAS COMBINATION ALARM PANEL. SEE MECH, ELEC & PLUMB PLANS.

- GENERAL FLOOR PLAN NOTES:**
- GENERAL FLOOR PLAN / PARTITION NOTES AND PARTITION TYPES APPLY TO ALL FLOOR PLANS AND ENLARGED FLOOR PLANS INCLUDED WITHIN THIS DOCUMENT SET.
  - SEE SHEET G0.03 FOR PARTITION TYPES LEGEND.
  - ALL NEW PARTITIONS SHALL BE PARTITION TYPE S3.a, UNO.
  - COORDINATE THE PHASING AND SEQUENCING OF NEW CONSTRUCTION WITH PHASING PLANS MECHANICAL AND ELECTRICAL DRAWINGS AND SPECIFICATIONS.
  - ALL INTERIOR PARTITION DIMENSIONS ARE TO FINISH FACE, UNO.
  - MAINTAIN INTEGRITY OF ALL NEW OR EXISTING FIRE RATED PARTITIONS. REFER TO REFLECTED CEILING PLANS FOR FIRE RATED PARTITION LOCATIONS.
  - WHERE EXISTING SUBSTRATES ARE LOCATED WITHIN NEW FINISHED AREAS, OR PATCHING OF EXISTING SUBSTRATES WITHIN EXISTING ROOMS IS REQUIRED DUE TO INFILL OR DEVICE REMOVAL, NEW FINISHES SHALL EXTEND TO NEAREST NATURAL BREAK OR TERMINATION FOR A CLEAN, UNBLEMISHED APPEARANCE AT THE END OF CONSTRUCTION. REFER TO ARCHITECTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR LOCATIONS OF INCIDENTAL ADDITIONAL FINISH WORK ASSOCIATED WITH RESTORATION OF EXISTING FINISHES WHERE ALTERED BY ARCHITECTURAL, MECHANICAL

- THE CONTRACTOR SHALL FURNISH AND INSTALL WALL REINFORCING FOR THE INSTALLATION OF EQUIPMENT, CASEWORK, TOILET ACCESSORIES, HANDRAILS, DOOR HARDWARE AND ALL OTHER WALL MOUNTED ITEMS.
- PROVIDE ACOUSTICAL GASKETS AT FLOOR TRACKS OF ALL NEW PARTITIONS. ACOUSTICALLY ATTENUATE ALL BOXES, REGISTERS, AND OTHER PENETRATIONS, ETC. LOCATED WITHIN OR THROUGH NEW PARTITIONS TO MAINTAIN WALL SOUND RATINGS.
- RE: SHEET A2.40 FOR DOOR SCHEDULE AND RELATED DETAILS.
- RE: SHEET A2.42 FOR INTERIOR FINISH SCHEDULE AND KEY.
- THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITIONS PRIOR TO BEGINNING WORK OR SUPPLYING MATERIALS OR COMPONENTS. LAYOUT ALL WALLS PRIOR TO COMMENCEMENT OF FRAMING AND NOTIFY ARCHITECT FOR DISPOSITION OF MAJOR DIMENSIONAL CONFLICTS.
- RE: TO EQUIPMENT LEGEND FOR ADDITIONAL INFORMATION ON EQUIPMENT NOTED ON NEW WORK FLOOR PLANS.
- PROVIDE FIRESTOPPING APPROVED + FIRE RATED SEALANT AT ALL FLOOR, AND RATED ASSEMBLY WALL PENETRATIONS

O. ADD NEW LAYER 5/8" GWB & REPLACE ANY RUSTED/DAMAGED 7/8" HAT CHANNELS, AS REQUIRED FROM ABATEMENT ON EXTERIOR WALLS. PROVIDE VAPOR RETARDER. RE: TO DETAIL 14, SHEET A3.25 FOR ADDITIONAL WALL DETAILS.

**GENERAL NOTES**

NO SCALE	13
REF'D FROM: TS	

23041 NWKN

**KEYED NOTES**

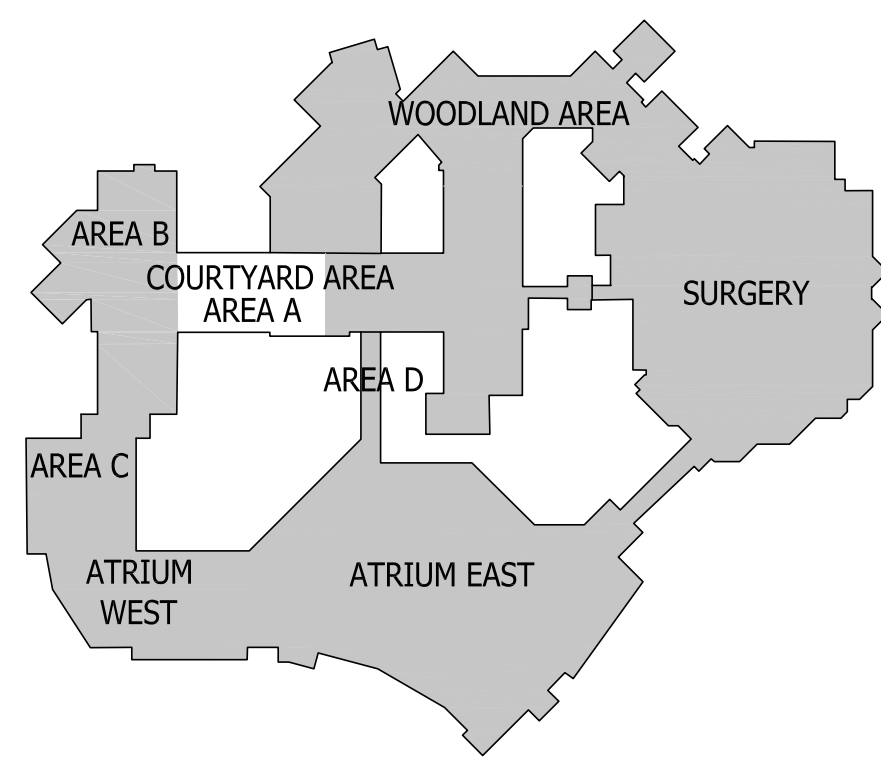
NO SCALE	12
REF'D FROM: TS	

- |  |                   |  |                            |  |   |
|--|-------------------|--|----------------------------|--|---|
|  | EXISTING WALL     |  | NAME NO. EXISTING ROOM TAG |  | CORNER GUARD  |
|  | NEW STUD WALL     |  | NAME NO. ROOM TAG          |  | END CAP   |
|  | NEW CMU WALL      |  | ETR COLUMN / COLUMN TAG    |  | WALL REINFORCING EQUIPMENT BY OWNER. SHOWN FOR REFERENCE ONLY, N.I.C. |
|  | NEW CONCRETE WALL |  | NEW COLUMN TAG             |  | PHASE 2 RE: G0.07-G0.09   |
|  | EXISTING DOOR     |  | DOOR TAG                   |  | EQUIPMENT TAG RE: A2.43   |
|  | NEW DOOR          |  | WINDOW TAG                 |  | S3.a PARTITION TAG  |
|  | KEYED NOTE        |  |                            |  |   |

23041 NWKN

**FLOOR PLAN LEGEND**

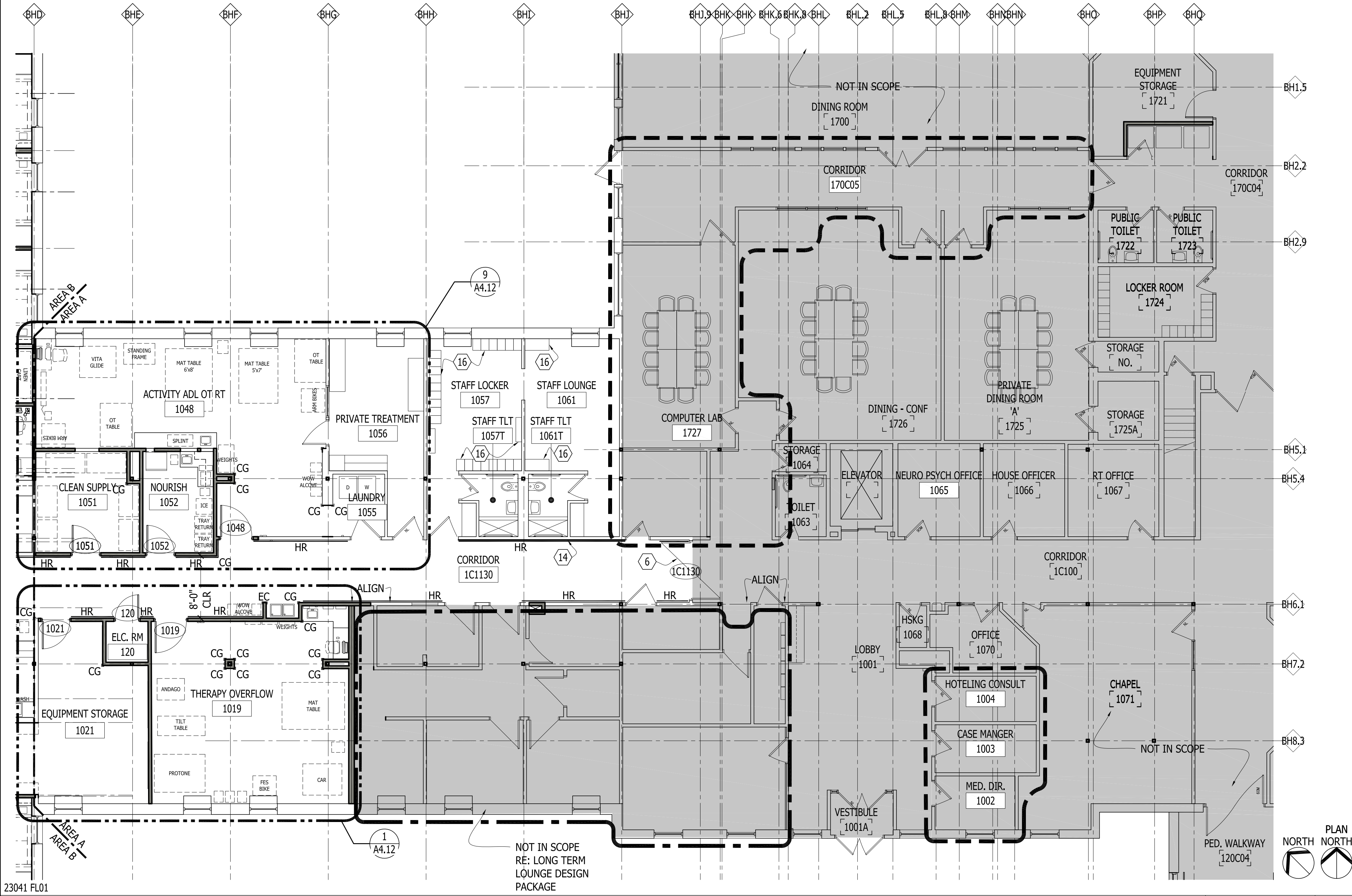
SCALE: 1/8"=1'-0"	8
REF'D FROM: TS	



23041 KP-AREA A

**KEY PLAN - BUILDING**

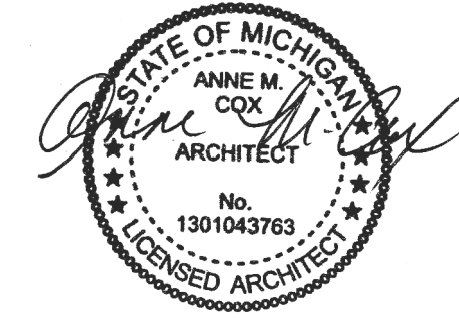
SCALE: NTS	4
REF'D FROM: TS	



23041 FL01

**FLOOR PLAN - LEVEL 1 - AREA A**

SCALE: 1/8"=1'-0"	1
REF'D FROM: G0.04	

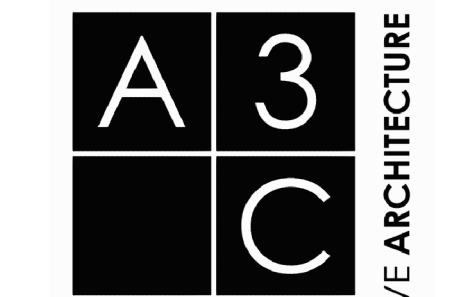


PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24
DRN: KLJ	CHK'D: AMC

CHelsea HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHELSEA, MI

FLOOR PLAN - LEVEL 1 - AREA A



115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663-1910  
F: (866) 732-2188  
www.a3c.com

SHEET  
**A2.11A**



- NEW WORK PLAN KEYED NOTES:**
- ELECTRICAL PANEL; RE: ELECTRICAL.
  - MEDICAL GAS ALARM PANEL OR VALVE BOX; RE: PLUMBING.
  - RE: DETAIL 3,7,11 ON SHEET A3.25 FOR SILL, HEADER AND JAMB DETAIL OF INFILLED EXTERIOR WALL DETAILS.
  - EXISTING HANDRAIL TO REMAIN. MODIFY AS REQUIRED FOR NEW WORK.
  - MEDICAL GAS VACUUM OUTLET; RE: PLUMBING.
  - FRAME TO REMAIN; PAINT.
  - DROP EXISTING WATER LINE FROM CEILING TO COFFEE MAKERS IN ROOM; RE: PLUMBING.
  - RE: INTERIOR ELEVATIONS, EQUIPMENT LIST (A2.44), AND SPECIFICATIONS FOR TOILET ACCESSORIES.
  - CARD READER/KEY PAD; RE: DOOR SCHEDULE (A2.40), HARDWARE SETS AND ELECTRICAL.
  - PROVIDE 3/4" FRT PLYWOOD FROM 4" A.F.F. TO 8'-4" A.F.F. FOR FULL LENGTH OF WALL NOTED. PAINT PLYWOOD TO MATCH WALL, TYP. WALL BASE TO BE APPLIED TO GWB WALL.
  - 2" FLUSH MOUNTED GROMMET TO ACCESS ELECTRICAL BELOW; RE: ELECTRICAL.
  - EXISTING EXTERIOR WINDOW TO REMAIN. PROVIDE INSULATED INFILL PANEL WHERE PTAC HAS BEEN REMOVED; RE: DETAIL 1,5,9 ON SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - (BID ALTERNATE) INSTALL NEW WINDOW AND INFILL PANEL WITHIN EXISTING MASONRY OPENING. REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL. REFER TO DETAIL 2,6,10 SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - ADD NEW LAYER OF INTERIOR GWB, REPLACE ANY RUSTED/DAMAGED STUDS IN KIND.
  - MEDICAL GAS COMBINATION ALARM PANEL. RE: MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
  - CLEAN AND REPAIR EXISTING LOCKERS, CABINETS AND MAILBOXES FOR REUSE IN THIS PROJECT.
  - REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL.
  - RELOCATED KEYPAD AND FIRE ALARM PULL. RE: ELECTRICAL & DOOR SCHEDULE
  - MEDICAL GAS COMBINATION ALARM PANEL. SEE MECH, ELEC & PLUMB PLANS.

23041 NWKN

**KEYED NOTES**

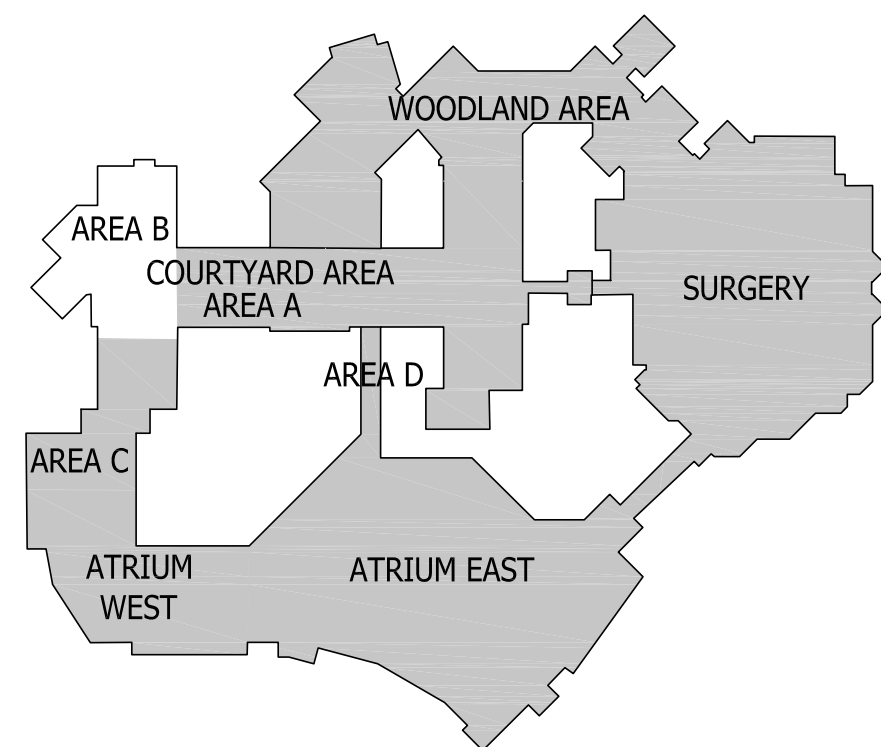
NO SCALE  
REF'D FROM: TS **12**

- |  |                      |  |                            |  |   |
|--|----------------------|--|----------------------------|--|---|
|  | EXISTING WALL        |  | NAME<br>NO. ROOM TAG       |  | CORNER GUARD  |
|  | NEW STUD WALL        |  | NAME<br>NO. ROOM TAG       |  | END CAP   |
|  | NEW CMU WALL         |  | ETR COLUMN /<br>COLUMN TAG |  | WALL<br>REINFORCING<br>EQUIPMENT BY<br>OWNER.<br>SHOWN FOR<br>REFERENCE<br>ONLY, N.I.C. |
|  | NEW CONCRETE<br>WALL |  | NEW<br>COLUMN TAG          |  | PHASE 2<br>RE: G0.07-G0.09  |
|  | EXISTING DOOR        |  | DOOR TAG                   |  | EQUIPMENT TAG<br>RE: A2.43  |
|  | NEW DOOR             |  | WINDOW TAG                 |  | PARTITION TAG   |
|  | KEYED NOTE           |  | S3.a                       |  |   |

23041 NWKN

**FLOOR PLAN LEGEND**

SCALE: 1/8"=1'-0"  
REF'D FROM: TS **8**



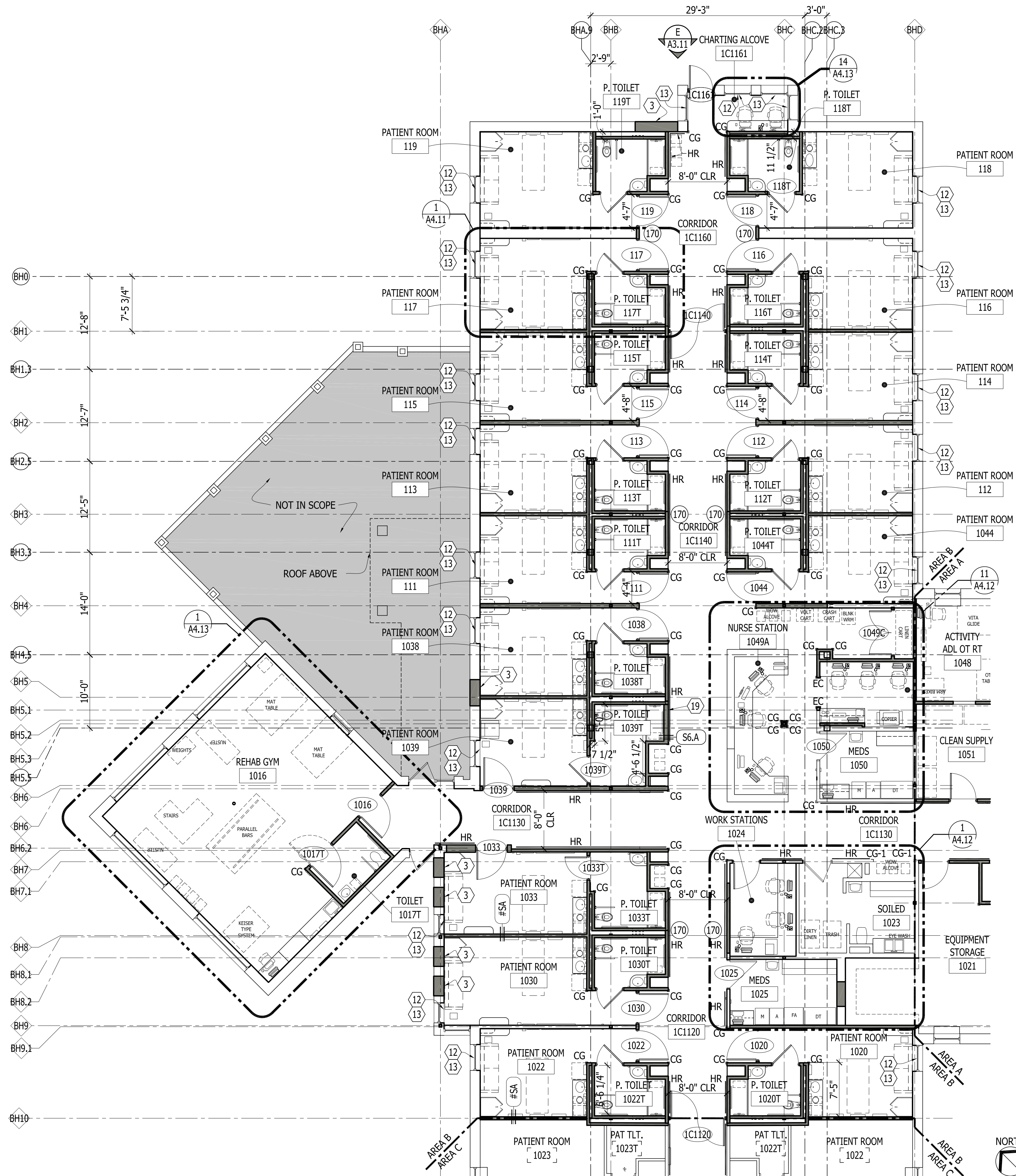
23041 KP-AREA B

**KEY PLAN - BUILDING**

SCALE: NTS  
REF'D FROM: TS **4**

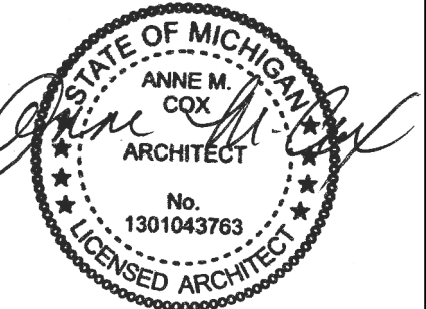
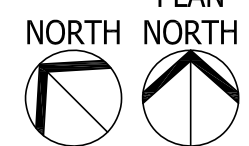


23041 FL01



**FLOOR PLAN - LEVEL 1 - AREA B**

SCALE: 1/8"=1'-0"  
REF'D FROM: G0.04 **1**



PROJECT NUMBER **23041**

ISSUE	
ZONING	1/30/24
DRN: KLJ	CHK'D: AMC

CHelsea HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHELSEA, MI

FLOOR PLAN - LEVEL 1 - AREA B



115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663-1910  
F: (866) 732-2168  
www.a3c.com

COLLABORATIVE ARCHITECTURE

SHEET **A2.11B**

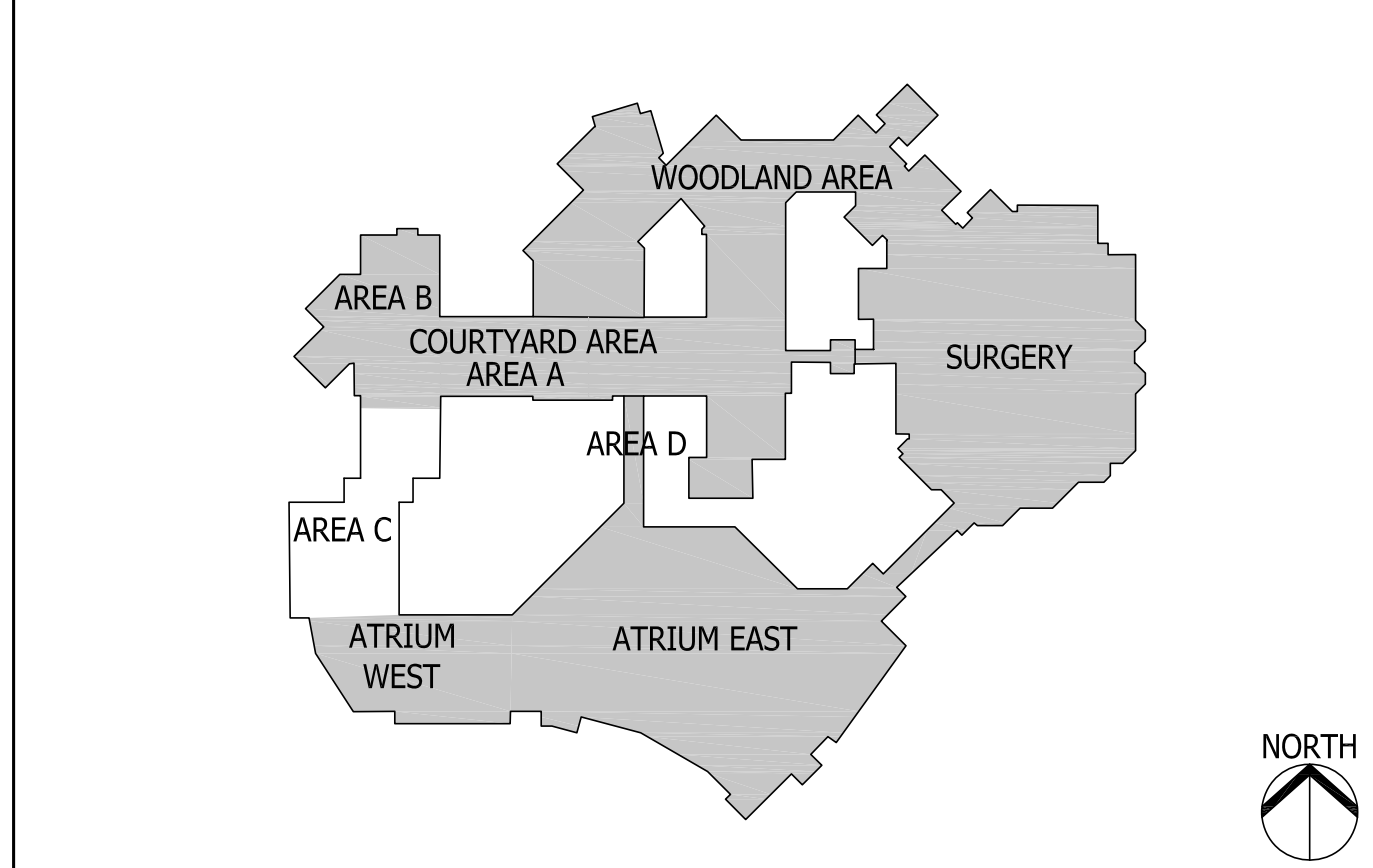


- NEW WORK PLAN KEYED NOTES:**
- ELECTRICAL PANEL; RE: ELECTRICAL.
  - MEDICAL GAS ALARM PANEL OR VALVE BOX; RE: PLUMBING.
  - RE: DETAIL 3,7,11 ON SHEET A3.25 FOR SILL, HEADER AND JAMB DETAIL OF INFILLED EXTERIOR WALL DETAILS.
  - EXISTING HANDRAIL TO REMAIN. MODIFY AS REQUIRED FOR NEW WORK.
  - MEDICAL GAS VACUUM OUTLET; RE: PLUMBING.
  - FRAME TO REMAIN; PAINT.
  - DROP EXISTING WATER LINE FROM CEILING TO COFFEE MAKERS IN ROOM; RE: PLUMBING.
  - RE: INTERIOR ELEVATIONS, EQUIPMENT LIST (A2.44), AND SPECIFICATIONS FOR TOILET ACCESSORIES.
  - CARD READER/KEY PAD; RE: DOOR SCHEDULE (A2.40), HARDWARE SETS AND ELECTRICAL.
  - PROVIDE 3/4" FRT PLYWOOD FROM 4" A.F.F. TO 8"-4" A.F.F. FOR FULL LENGTH OF WALL NOTED. PAINT PLYWOOD TO MATCH WALL, TYP. WALL BASE TO BE APPLIED TO GWB WALL.
  - 2" FLUSH MOUNTED GROMMET TO ACCESS ELECTRICAL BELOW; RE: ELECTRICAL.
  - EXISTING EXTERIOR WINDOW TO REMAIN. PROVIDE INSULATED INFILL PANEL WHERE PTAC HAS BEEN REMOVED; RE: DETAIL 1,5,9 ON SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - (BID ALTERNATE) INSTALL NEW WINDOW AND INFILL PANEL WITHIN EXISTING MASONRY OPENING. REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL. REFER TO DETAIL 2,6,10 SHEET A3.25 FOR ADDITIONAL INFORMATION.
  - ADD NEW LAYER OF INTERIOR GWB, REPLACE ANY RUSTED/DAMAGED STUDS IN KIND.
  - MEDICAL GAS COMBINATION ALARM PANEL. RE: MECHANICAL, ELECTRICAL, AND PLUMBING PLANS.
  - CLEAN AND REPAIR EXISTING LOCKERS, CABINETS AND MAILBOXES FOR REUSE IN THIS PROJECT.
  - REMOVE SCALE/RUST & RE-PAINT AT EXISTING LINTEL.
  - RELOCATED KEYPAD AND FIRE ALARM PULL. RE: ELECTRICAL & DOOR SCHEDULE
  - MEDICAL GAS COMBINATION ALARM PANEL. SEE MECH, ELEC & PLUMB PLANS.

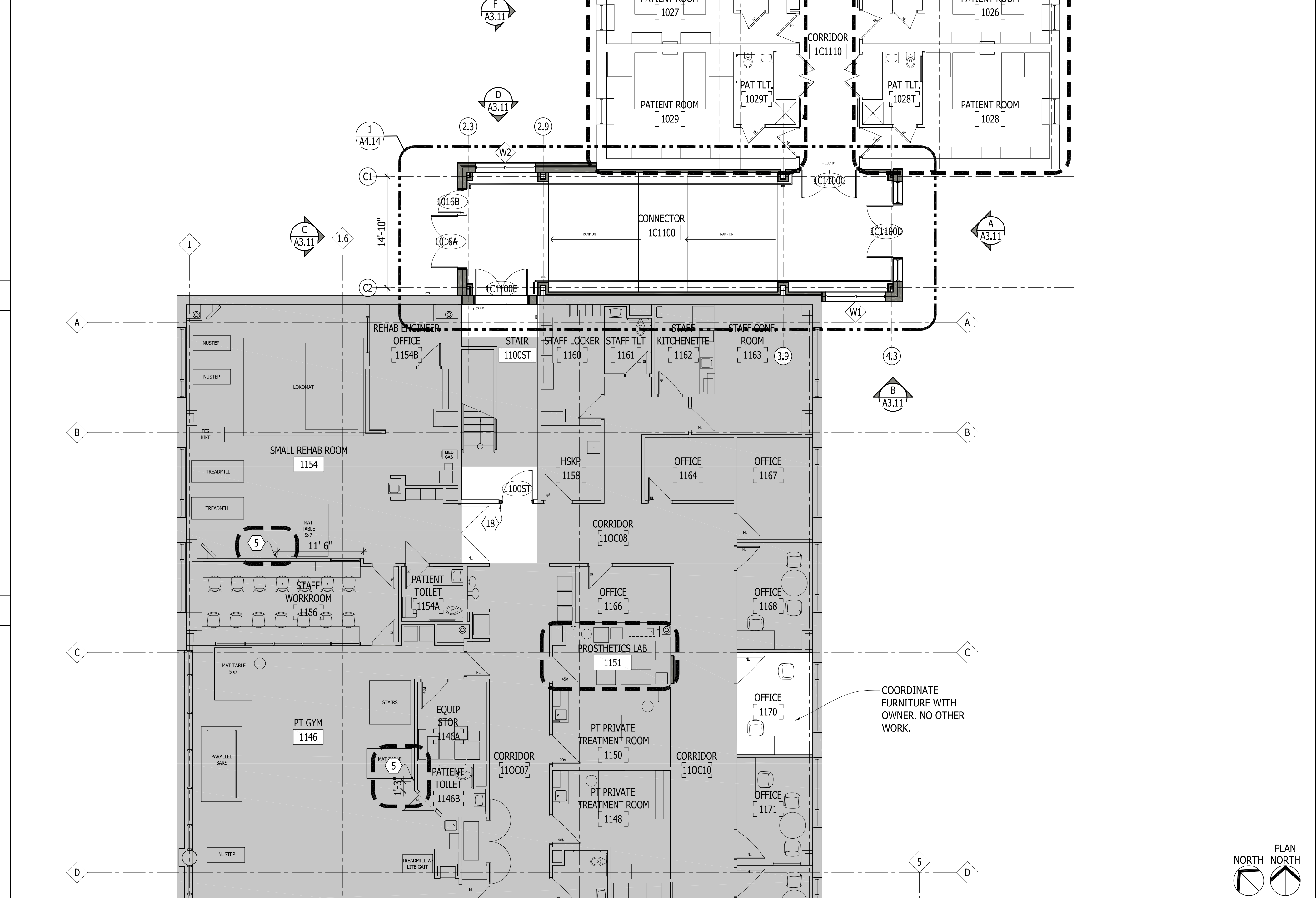
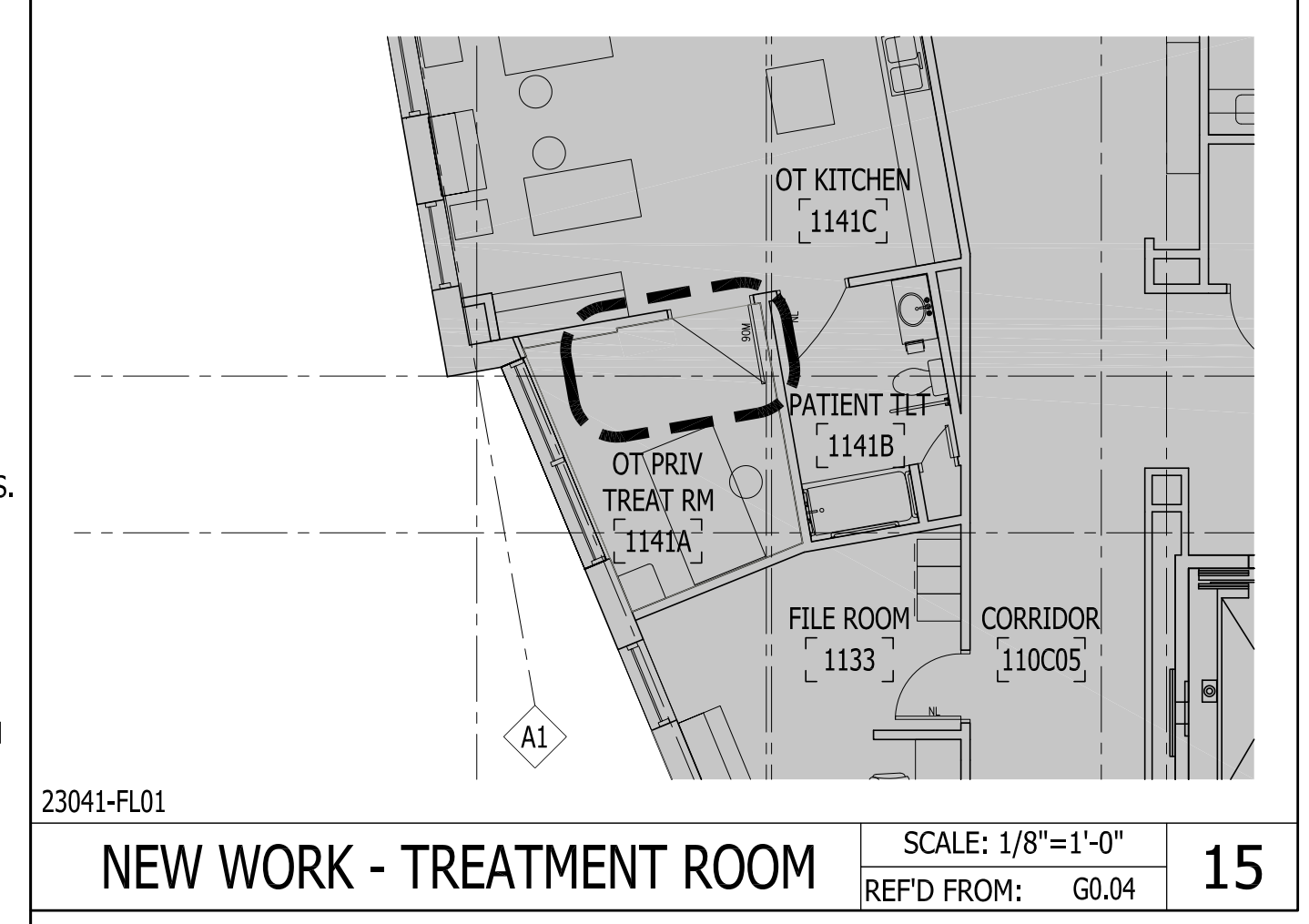
23041 NWKN  
**KEYED NOTES** NO SCALE REF'D FROM: TS **12**

	EXISTING WALL		CORNER GUARD
	NEW STUD WALL		END CAP
	NEW CMU WALL		WALL REINFORCING
	NEW CONCRETE WALL		EQUIPMENT BY OWNER. SHOWN FOR REFERENCE ONLY, N.I.C.
	EXISTING DOOR		PHASE 2 RE: G0.07-G0.09
	NEW DOOR		EQUIPMENT TAG RE: A2.43
	KEYED NOTE		PARTITION TAG

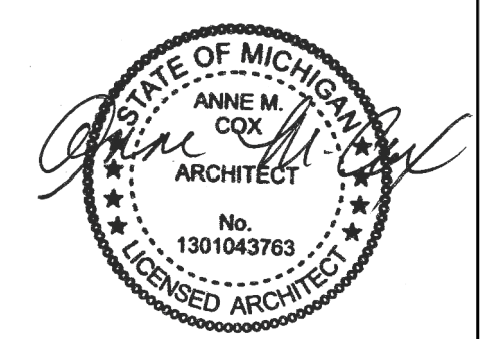
23041 NWKN  
**FLOOR PLAN LEGEND** SCALE: 1/8"=1'-0" REF'D FROM: TS **8**



23041 KP-AREA C  
**KEY PLAN - BUILDING** SCALE: NTS REF'D FROM: TS **4**



23041 FL01  
**FLOOR PLAN - LEVEL 1 - AREA C** SCALE: 1/8"=1'-0" REF'D FROM: G0.04 **1**



PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24
DRN: KLJ	CHK'D: AMC

**CHELSEA HOSPITAL**  
 INPATIENT REHABILITATION RENOVATION  
 CHELSEA, MI

FLOOR PLAN - LEVEL 1 - AREA C

**A3C**  
 COLLABORATIVE ARCHITECTURE

115 1/2 E. LIBERTY STREET  
 ANN ARBOR, MI 48104  
 T: (734) 663-1910  
 F: (866) 732-2168  
 www.a3c.com

SHEET **A2.11C**



NEW WORK - ROOF PLAN KEYED NOTES:

- 1 FULLY ADHERED EPDM ROOF MEMBRANE ON 1/4" PER FOOT TAPERED INSULATION ON MIN. 5.2" INSULATION, INSTALLED OVER EXISTING METAL ROOF DECK TO REMAIN. WHERE REQUIRED, PROVIDE PORTION OF NEW ROOF DECK; RE: MECH.
- 2 INSTALL METAL TRIM FLASHING AND COUNTER FLASHING ON EXISTING WOOD NAILERS. SEE GENERAL NEW WORK ROOF PLAN NOTE 'F' AND 9/A3.61 FOR ADDITIONAL INFORMATION.
- 3 UPON COMPLETION OF ROOF MEMBRANE INSTALLATION, REINSTALL AND RECONNECT EXISTING ROOFTOP EXHAUST FAN OR OTHER MECHANICAL EQUIPMENT ONTO EXISTING METAL ROOF CURB. SEE 4/A3.61 FOR CURB DETAIL.
- 4 INSTALL EPDM ROOF MEMBRANE AT REMOVED ROOF SYSTEM UP TO EXISTING NEIGHBORING ROOF WALL FLASHING. MAINTAIN WALL FLASHING WHERE EMBEDDED, OTHERWISE PROVIDE NEW FLASHING WHEN INSTALLING PROPOSED ROOF SYSTEM. SEE 10/A3.61 FOR ADDITIONAL INFORMATION.
- 5 REUSE EXISTING GUTTERS. REPLACE ANY DAMAGED GUTTERS OR DOWNSPOUTS AS PART OF NEW WORK. SEE 11/A3.61.
- 6 PLUMBING PIPE/VENT ROOF PENETRATION, SEE 2/A3.61.
- 7 PROVIDE ROOF WALK PROTECTION SEE SPEC & DETAIL 8/A3.61.
- 8 DUCT PENETRATION, THROUGH ROOF, SEE 3/A3.61.
- 9 GRATED MECHANICAL PLATFORM BY STRUCTURAL, PENETRATION DETAIL SIMILAR TO DETAIL 3/A3.61.
- 10 (BID ALTERNATE) REMOVE EXISTING ROOF LADDER & INSTALL SHIPS LADDER. REMOVE CYPRUS TREE.
- 11 PARAPET DETAIL. SEE DETAIL 11/A3.24.
- 12 EXISTING RTU AND ROOF CURB TO REMAIN - PROVIDE SADDLE AS SHOWN.
- 13 FLASH NEW EPDM INTO EXISTING HIP ROOF EDGE DETAIL.
- 14 EXPANSION JOINT, PER MANUFACTURERS INSTALLATION INSTRUCTIONS. SIMILAR TO 6/A3.61.

REFER TO A2.13A FOR GENERAL ROOF NOTES.  
23041 RKN

ROOF PLAN KEYED NOTES

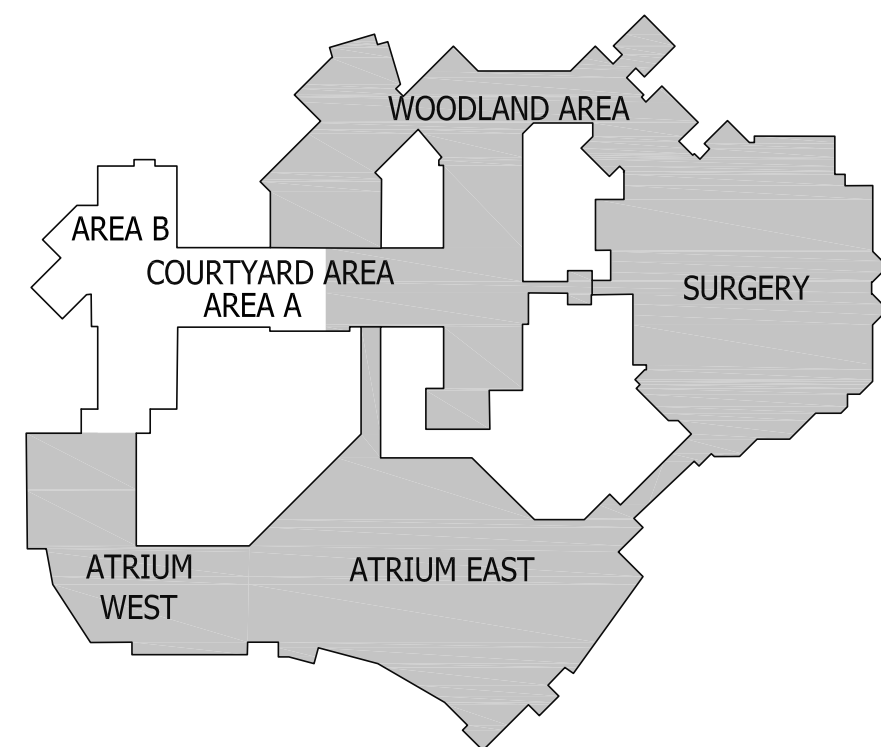
NO SCALE  
REF'D FROM: TS 12

- |     |  |       |                                       |     |                          |
|-----|--|-------|---------------------------------------|-----|--------------------------|
| RD  | ROOF DRAIN, SEE 1/A3.61  | RTU   | ROOF TOP UNIT; RE MECH.               | □   | WALKWAY PAD, SEE 8/A3.61 |
| ORD | OVERFLOW ROOF DRAIN SEE 1/A3.61  | ○     | TUBE/PIPE PENETRATION, SEE 2/A3.61    | ■   | NOT IN SCOPE             |
| ⊗   | SKYLIGHT   | —     | FALL PROTECTION RAILING, SEE 13/A3.61 | ▬▬▬ | PHASE 2 RE: G0.07-G0.09  |
| ←   | DIRECTION OF SLOPE TO DRAIN OR GUTTER. PROVIDE TAPERED INSULATION TO OBTAIN THE DESIRED 1/4" PER 1'-0" SLOPE, MIN. | (X)   | KEYED NOTE                            |     |                          |
|     |  | (X X) | COLUMN TAG                            |     |                          |

23041-A2.13A

ROOF PLAN LEGEND

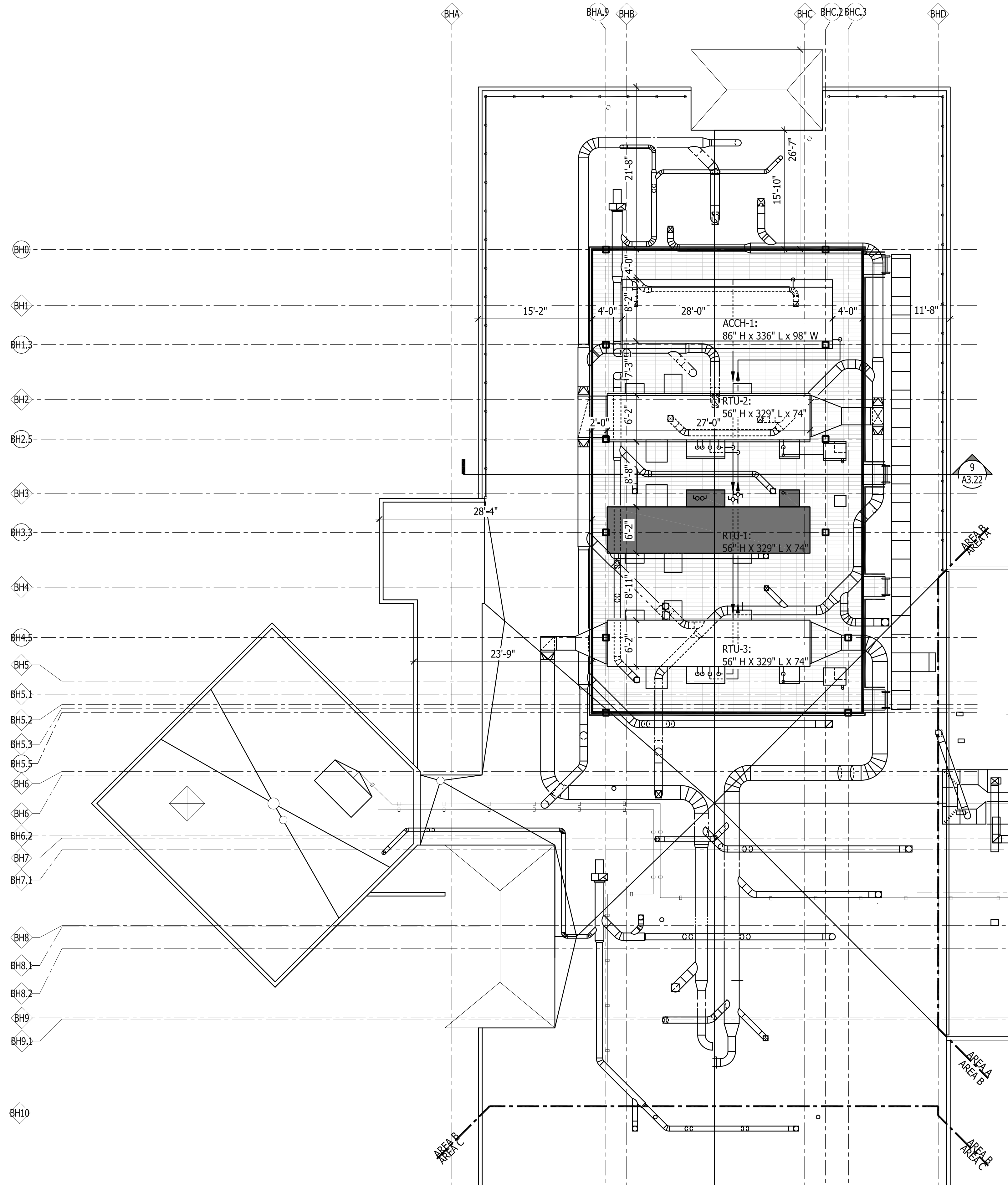
NO SCALE  
REF'D FROM: TS 8



23041 KP-ROOF

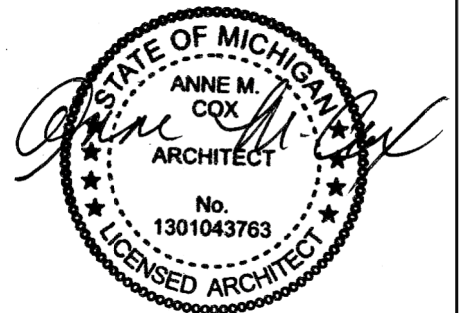
KEY PLAN - BUILDING

SCALE: NTS  
REF'D FROM: TS 4



ROOF PLAN - AREA B

SCALE: 1/8"=1'-0"  
G0.06 1

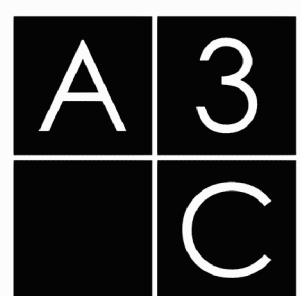


PROJECT NUMBER 23041

ISSUE  
ZONING 1/30/24  
DRN: SAD/KLJ CHK'D: AMC

CHelsea HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHelsea, MI

ROOF PLAN - AREA B



115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663-1910  
F: (866) 732-2188  
www.a3c.com

COLLABORATIVE ARCHITECTURE

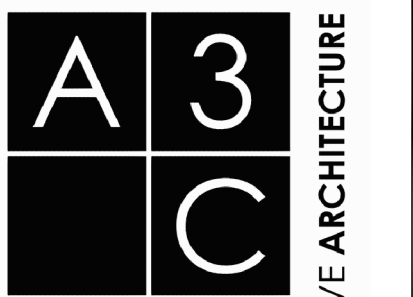
SHEET  
A2.13B



PROJECT NUMBER 23041

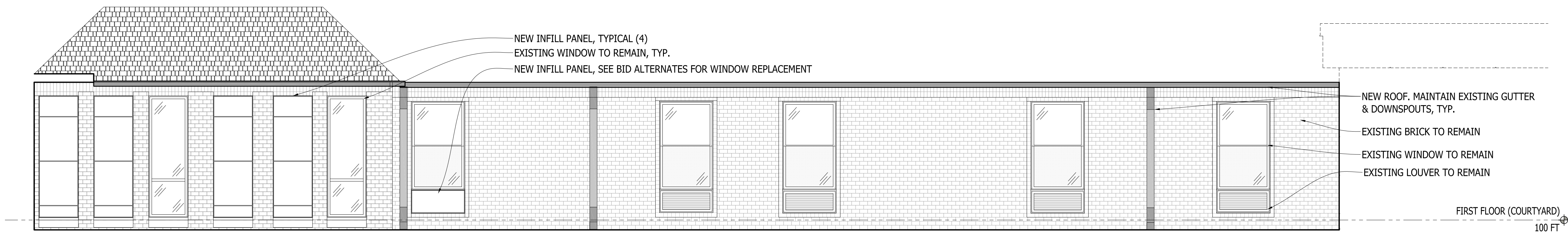
ISSUE	
ZONING	1/30/24
DRN: KLJ	CHK'D: AMC

**CHELSEA HOSPITAL**  
 INPATIENT REHABILITATION  
 RENOVATION  
 CHELSEA, MI  
 EXTERIOR ELEVATIONS

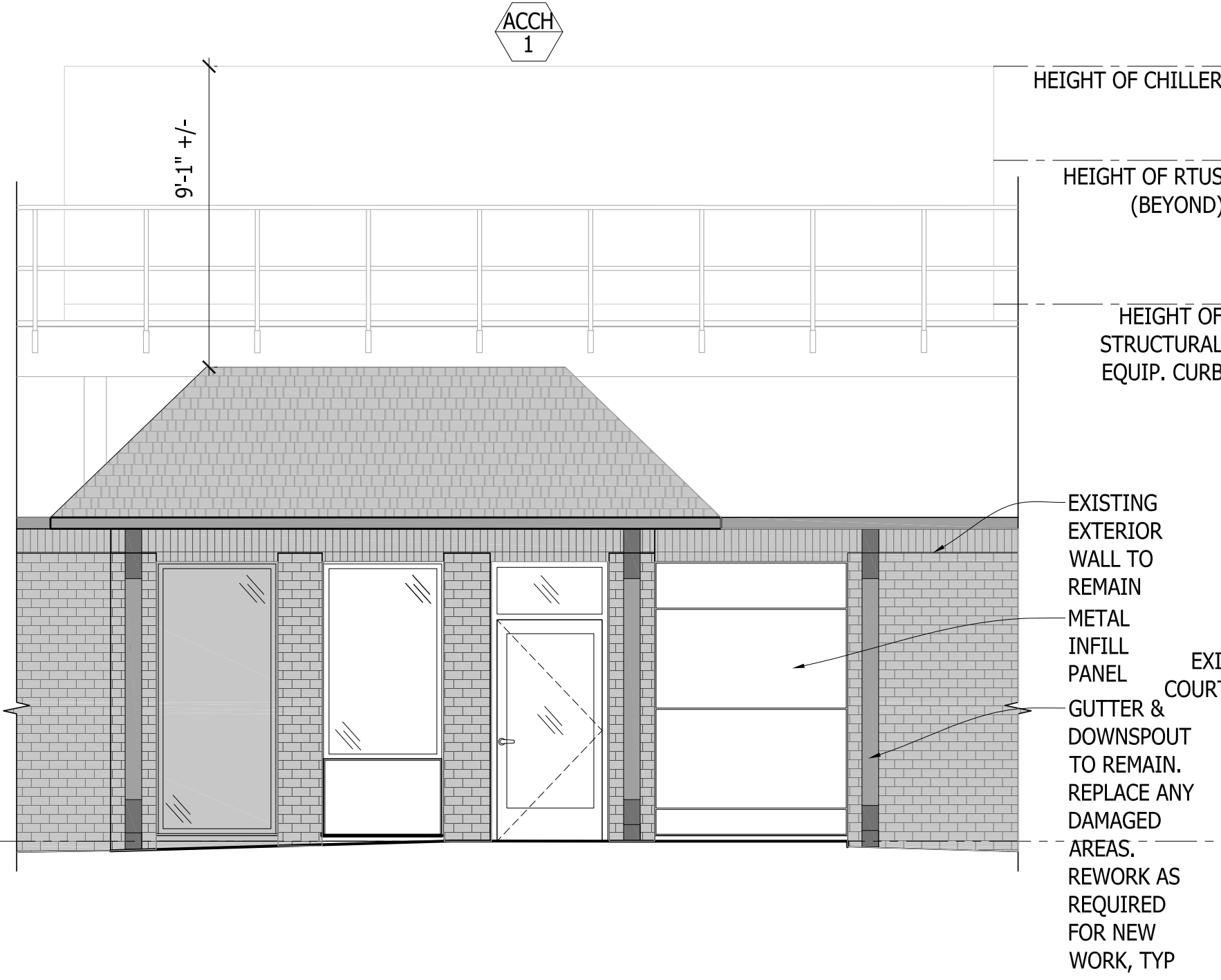


115 1/2 E. LIBERTY STREET  
 ANN ARBOR, MI 48104  
 T: (734) 663 - 1910  
 F: (866) 732 - 2168  
 www.a3c.com

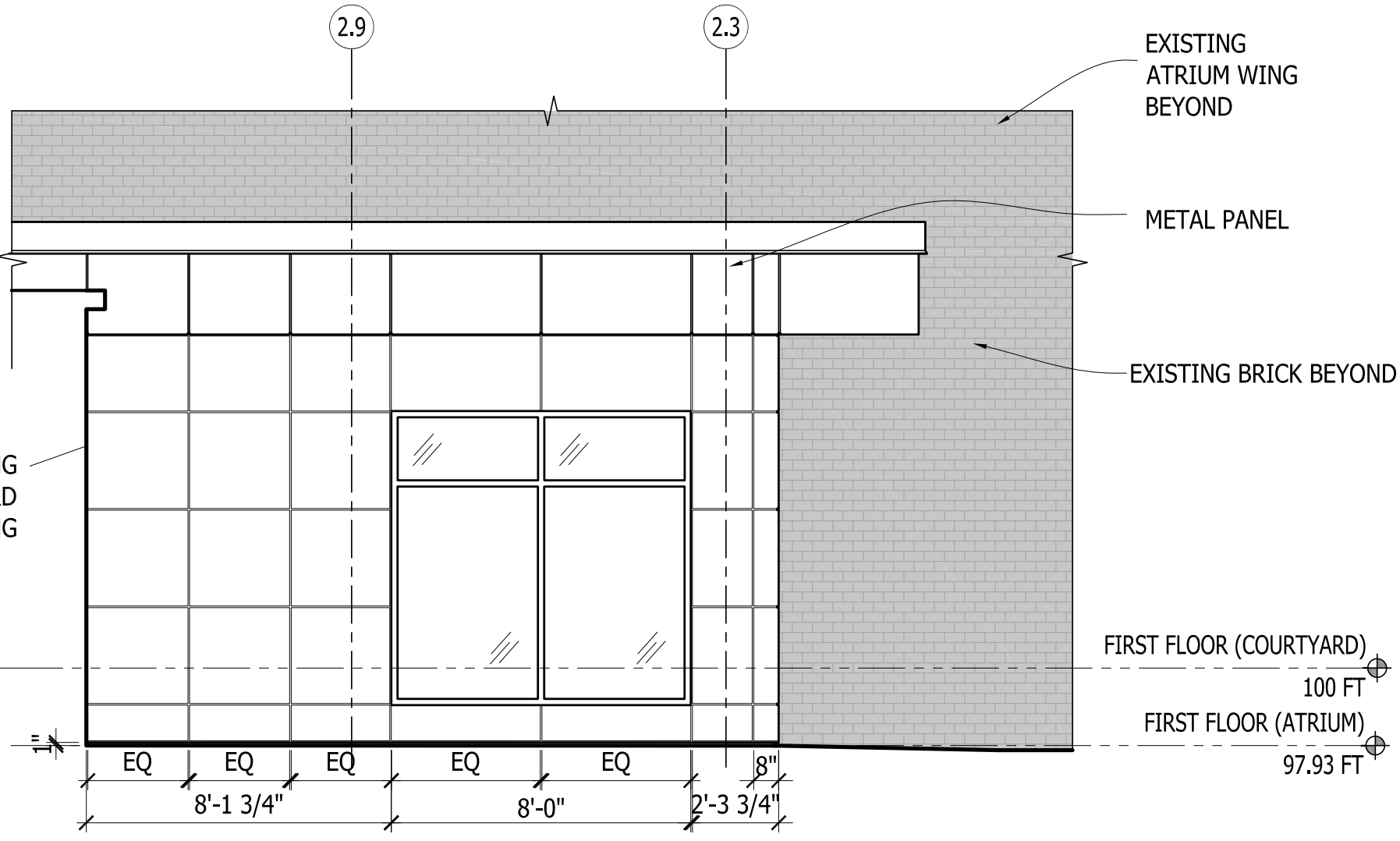
SHEET **A3.11**



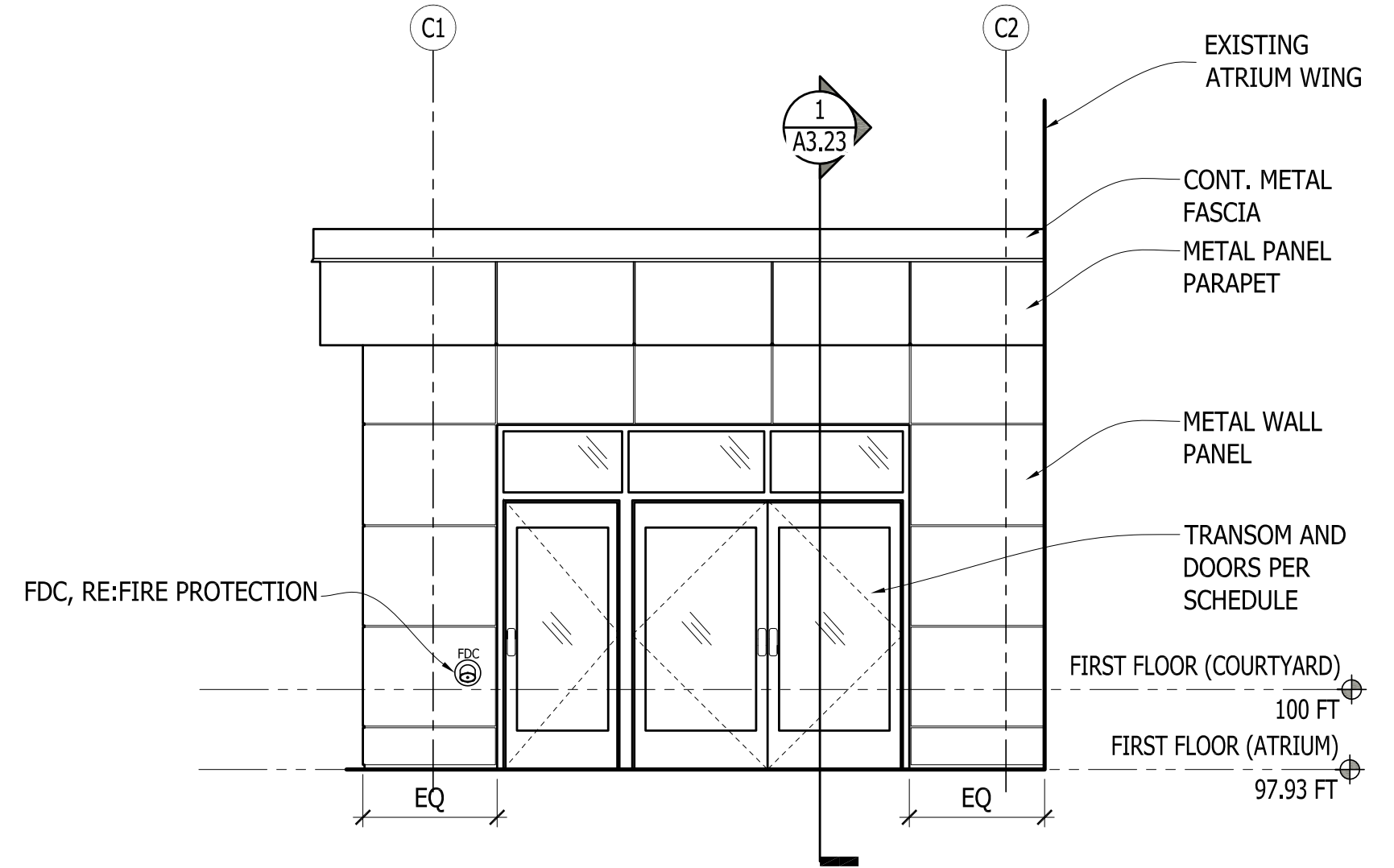
**F** EXTERIOR ELEVATION - F



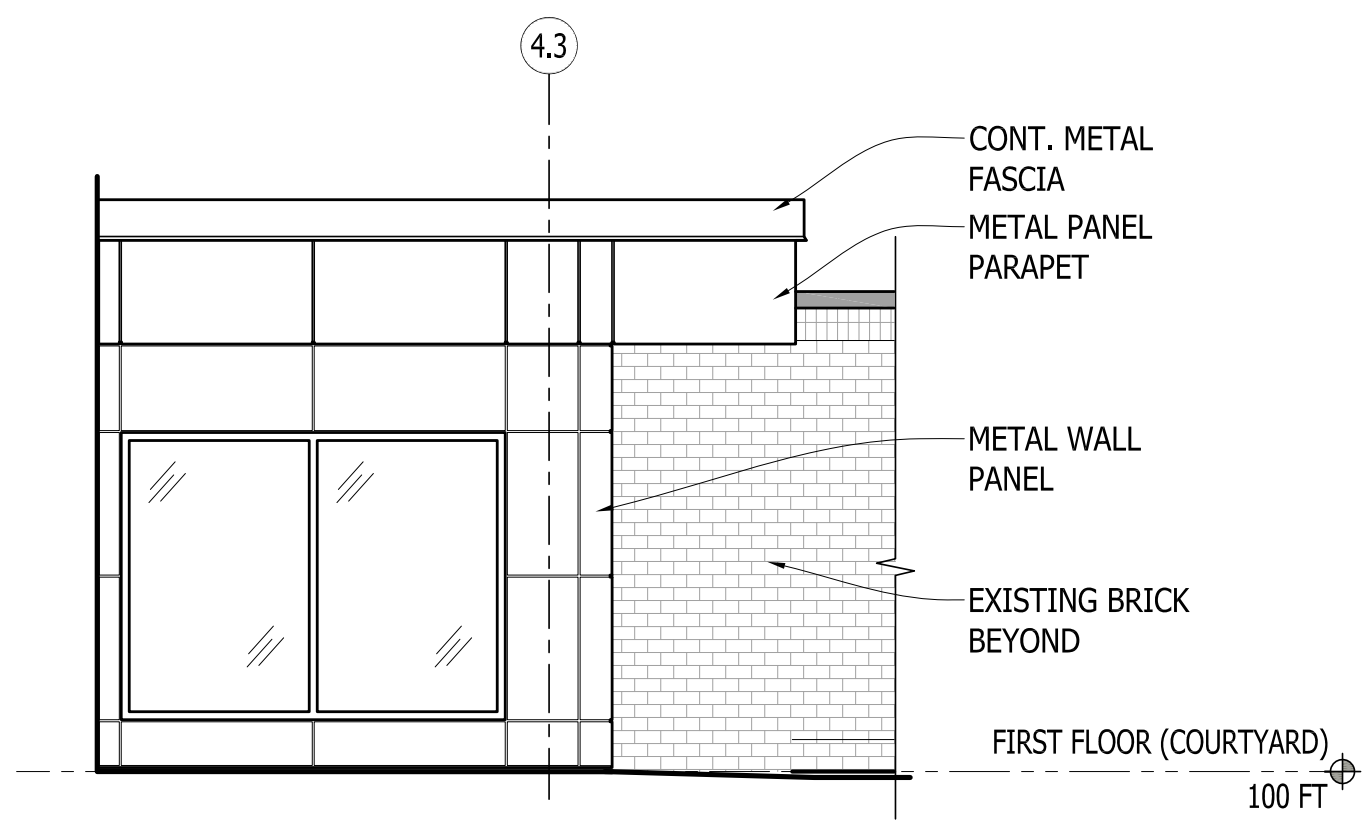
**E** EXTERIOR ELEVATION - E



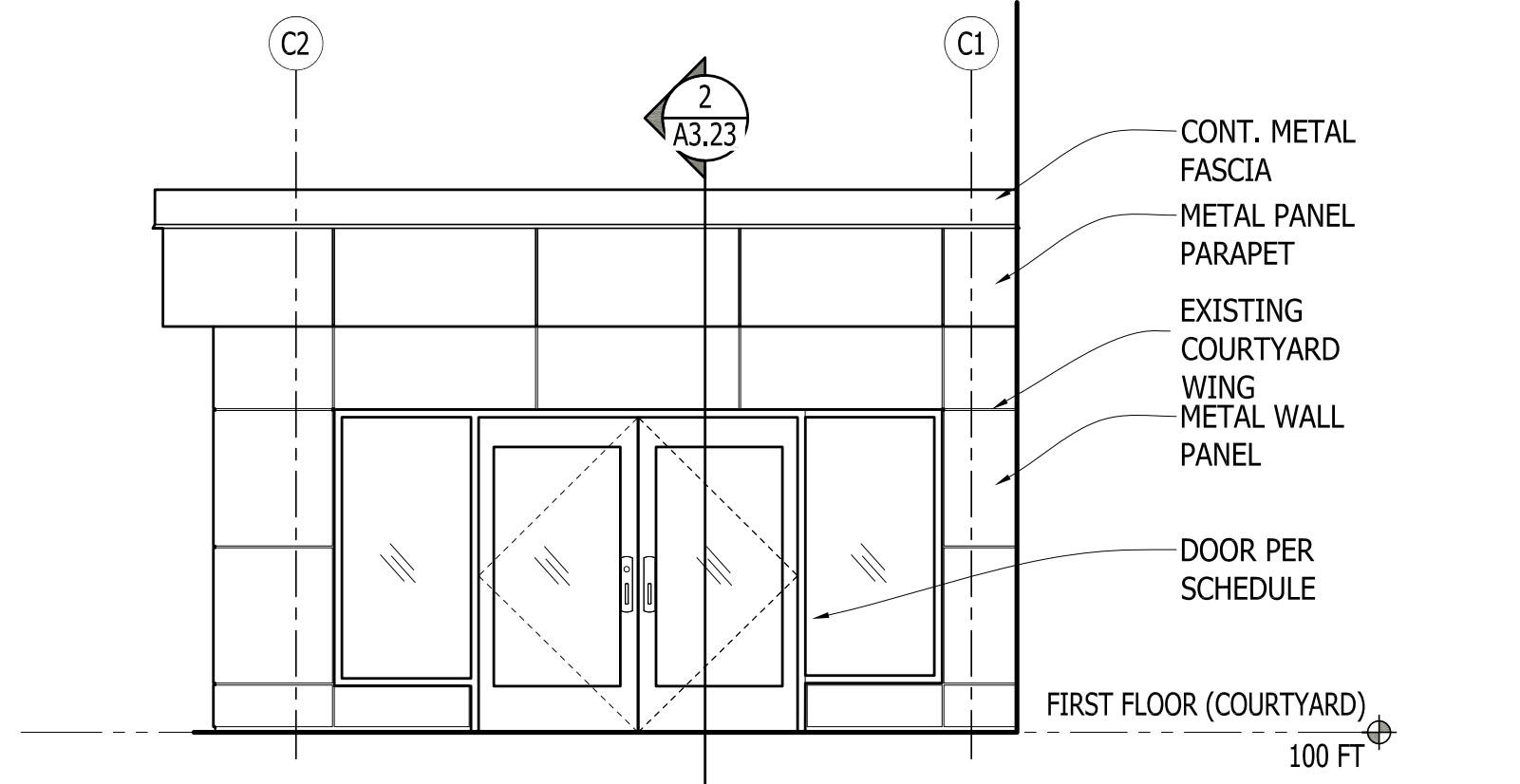
**D** EXTERIOR ELEVATION - D



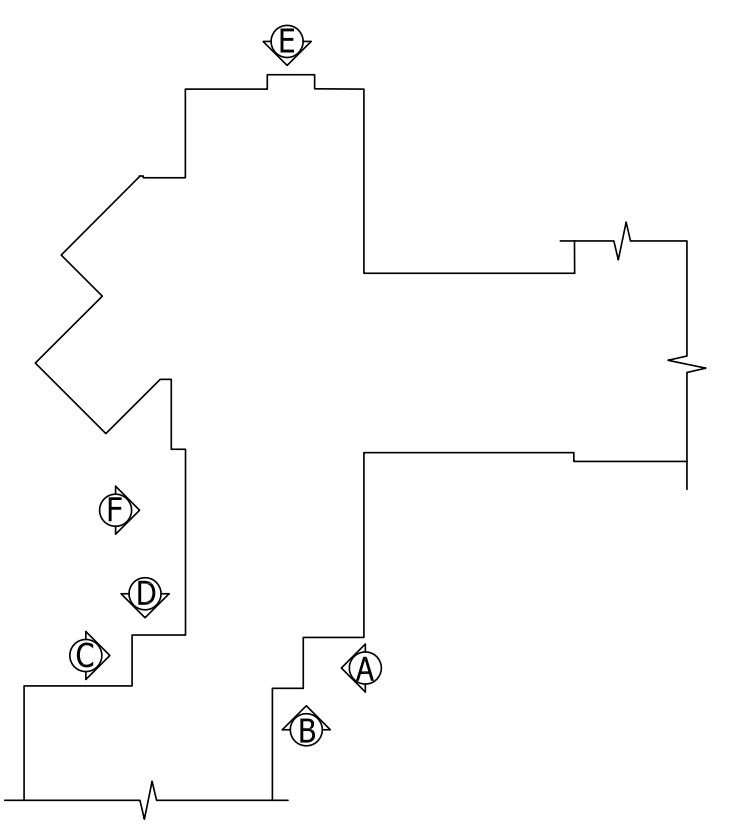
**C** EXTERIOR ELEVATION - C



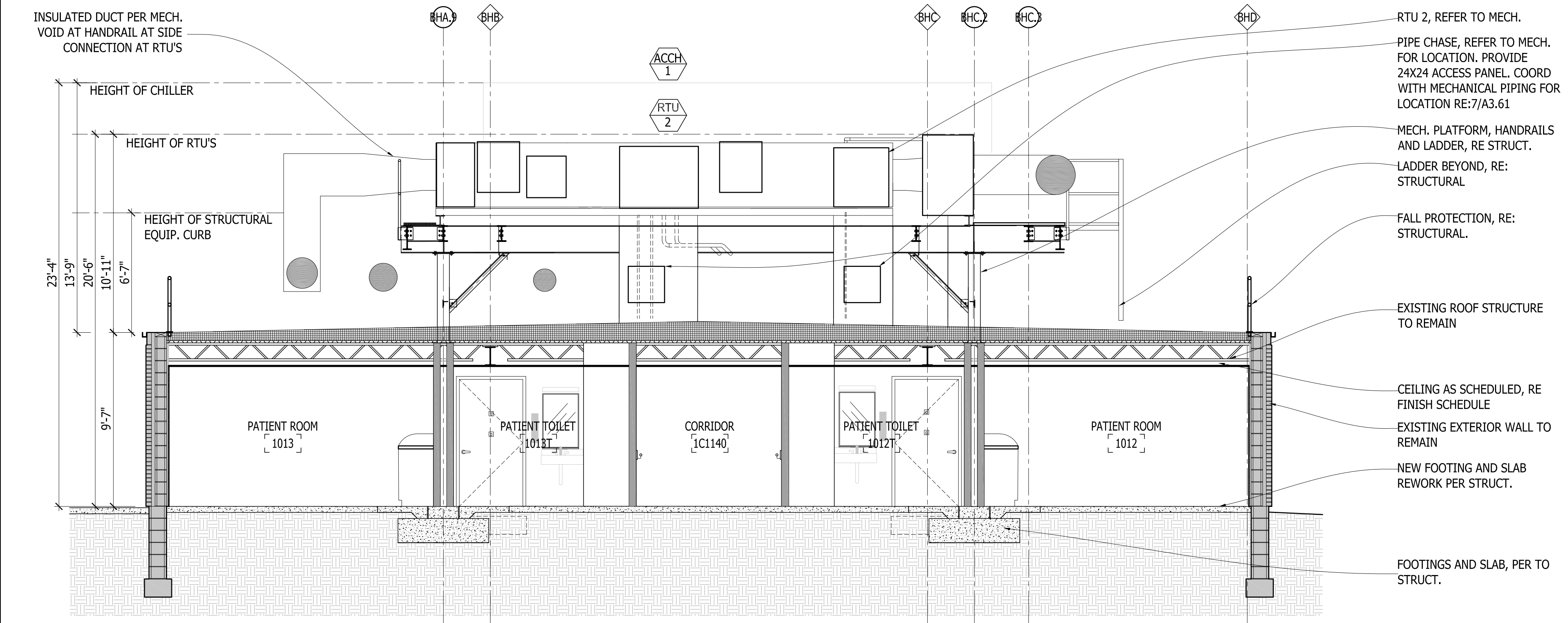
**B** EXTERIOR ELEVATION - B



**A** EXTERIOR ELEVATION - A



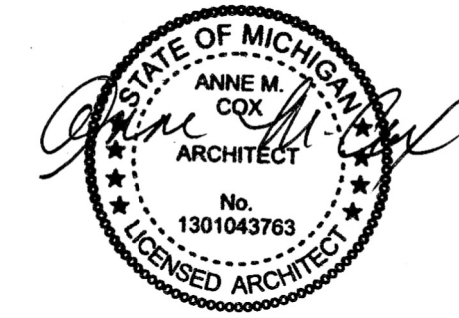




23041 BS02

BUILDING SECTION

SCALE: 1/4"=1'-0"  
REF'D FROM: A2.13B 9

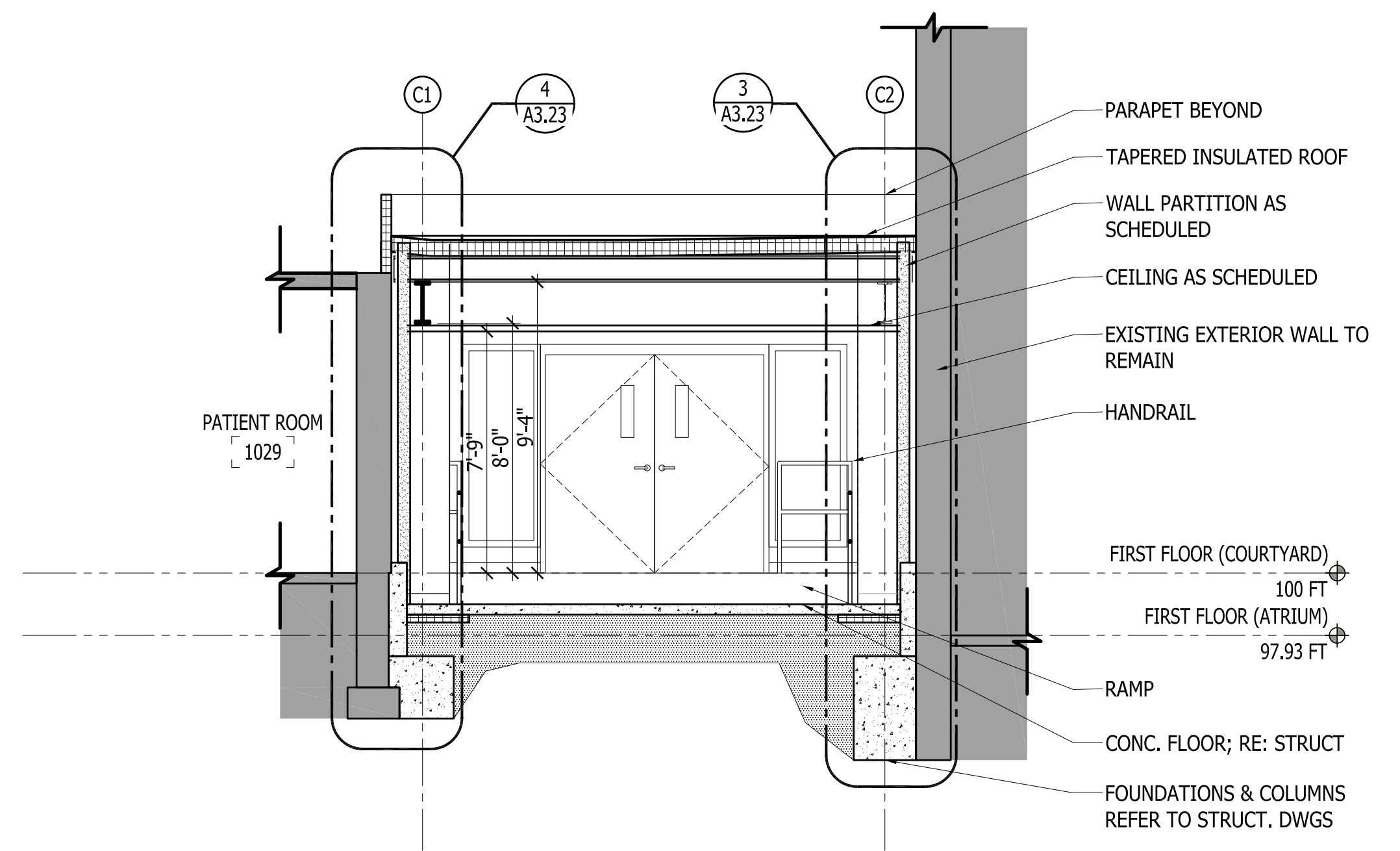


PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24
DRN: KLJ	CHK'D: AMC

CHelsea HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHELSEA, MI

BUILDING SECTIONS



23041 BS01

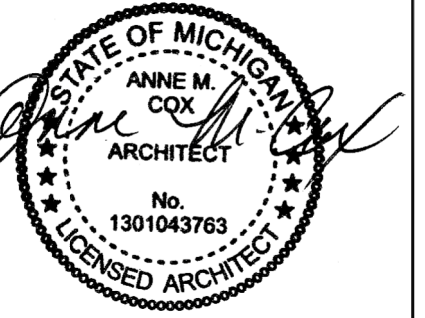
CONNECTOR 1C1100 BUILDING SECTION

SCALE: 1/4"=1'-0"  
REF'D FROM: A2.14 1



SHEET A3.22





23041

RENDERING - OUTER PATHWAY

NO SCALE  
REF'D FROM: NA

9

PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24
DRN: JLS	CHK'D: AMC

CHELSEA HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
CHELSEA, MI

RENDERINGS



23041

RENDERING - COURTYARD

NO SCALE  
REF'D FROM: NA

3



23041

RENDERING - COURTYARD

NO SCALE  
REF'D FROM: NA

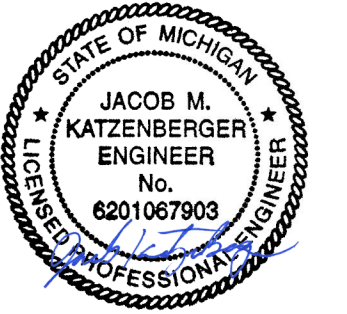
1

A3C  
115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663 - 1910  
F: (866) 732 - 2168  
www.a3c.com

COLLABORATIVE ARCHITECTURE

SHEET SK-01





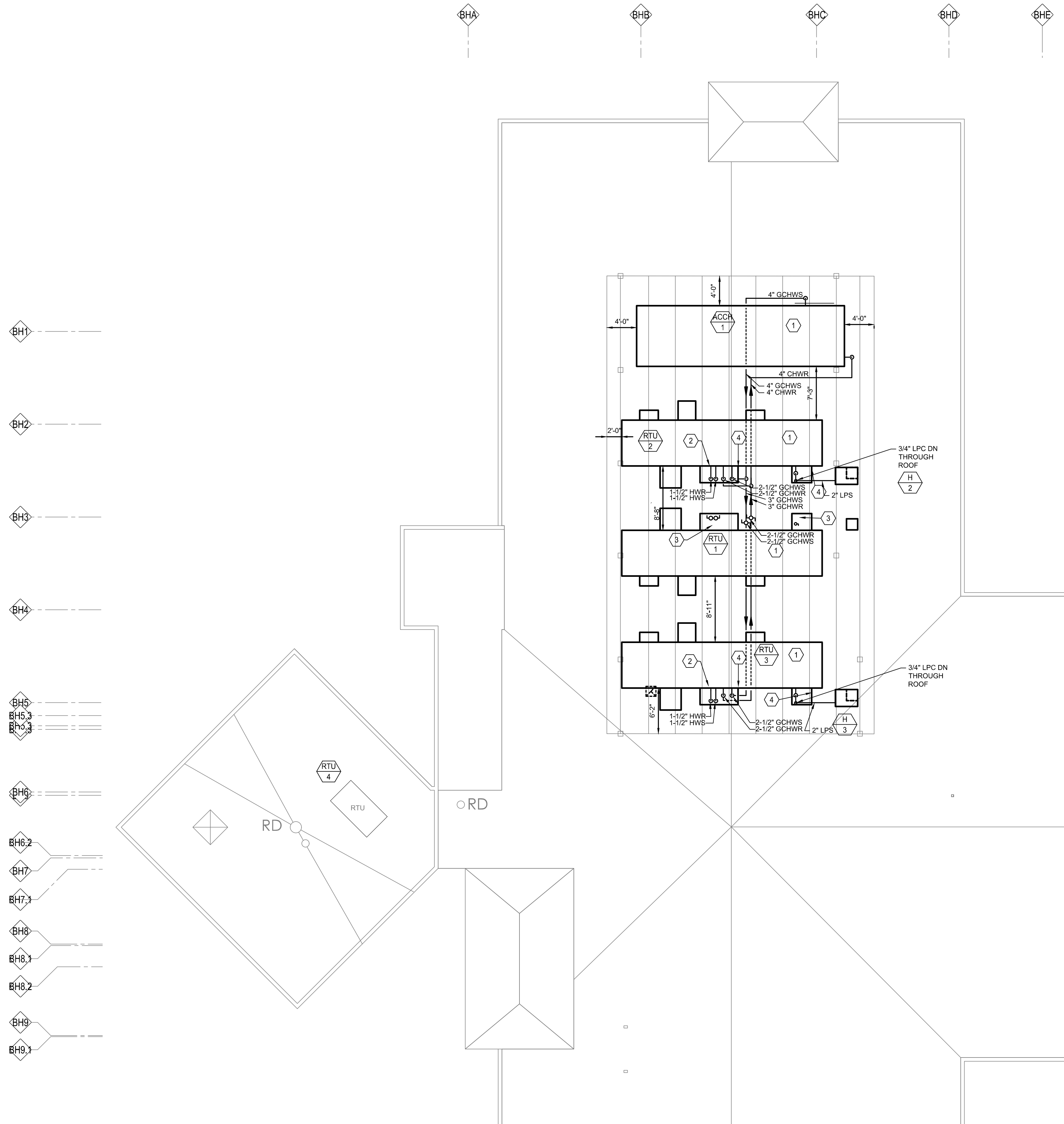
12/14/2023

**GENERAL MECHANICAL NOTES:**

1. REFER TO GENERAL MECHANICAL NOTES ON SHEET M0.0 FOR ADDITIONAL REQUIREMENTS.
2. COORDINATE ALL NEW WORK WITH THE REQUIREMENTS AS SHOWN ON THE ARCHITECTURAL DOCUMENTS.
3. SEE DETAILS ON M6 SHEETS FOR ADDITIONAL WORK.

**MECHANICAL PLAN NOTES:**

1. RTU-1,2,3, H-1,2,3, AND CH-1 LOCATED ON STRUCTURAL PLATFORM ABOVE ROOF. REFER TO STRUCTURAL DRAWINGS FOR MORE INFORMATION.
2. ROUTE HWS/R DOWN THROUGH ROOF WITHIN PIPE CHASE.
3. ROUTE HWS/R 3/4" LPC DOWN THROUGH ROOF IN CHASE TO MAIN. INSTALL ISOLATION VALVES WITHIN CURB/CHASE CAVITY.
4. SEAL GLYCOL CHILLED WATER AND LPS PIPING PENETRATIONS AIR/WATER TIGHT.



**1 MECHANICAL PIPING ROOF PARTIAL PLAN**  
SCALE: 1/8"=1'-0"



PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24

DRN: HNY CHK'D: HNY

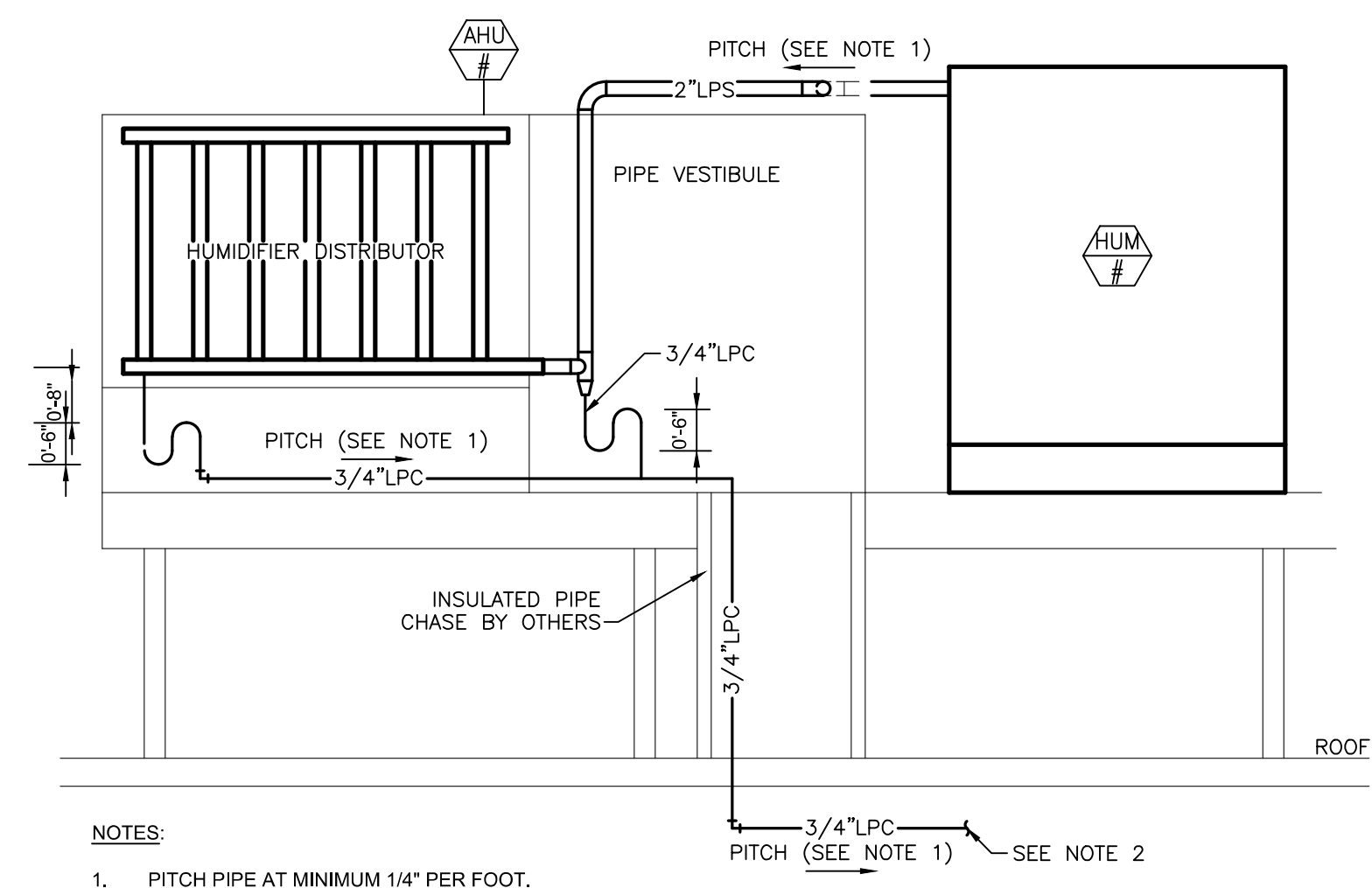
**CHELSEA HOSPITAL**  
INPATIENT REHABILITATION  
RENOVATION  
Chelsea, MI

MECHANICAL PIPING ROOF PLAN



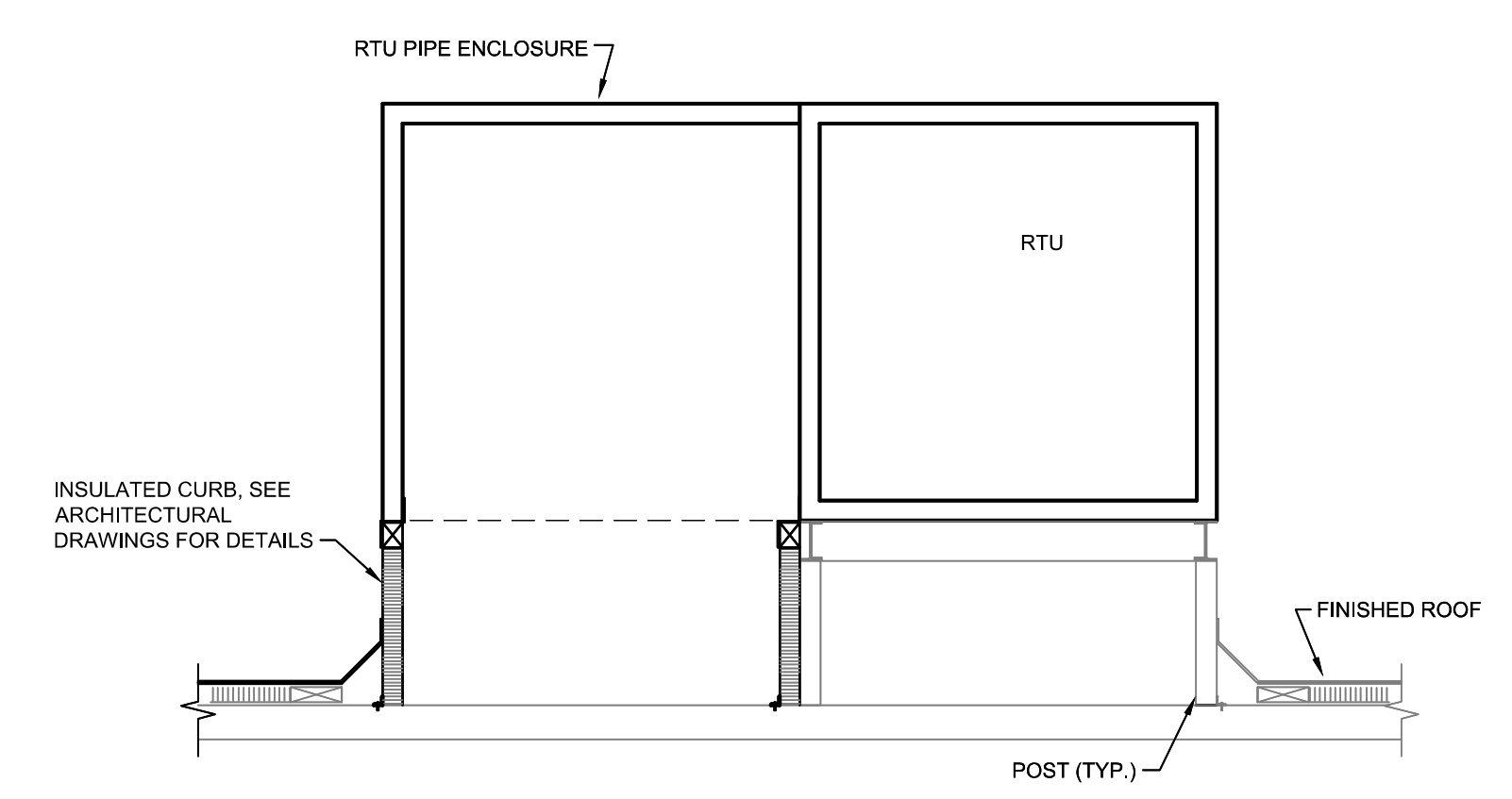
115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663 - 1910  
F: (866) 732 - 2168  
www.a3c.com

SHEET  
**M4.1**

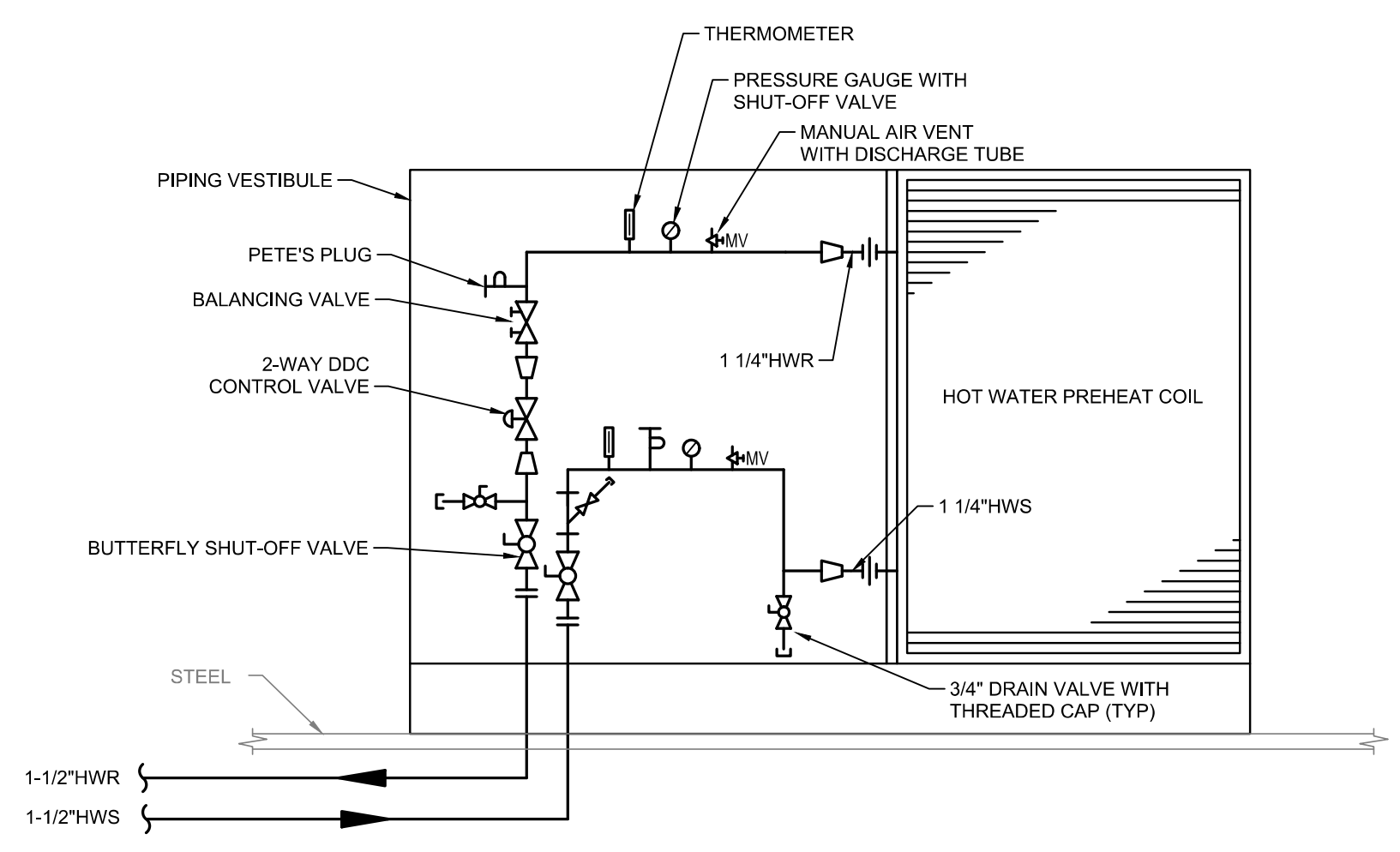
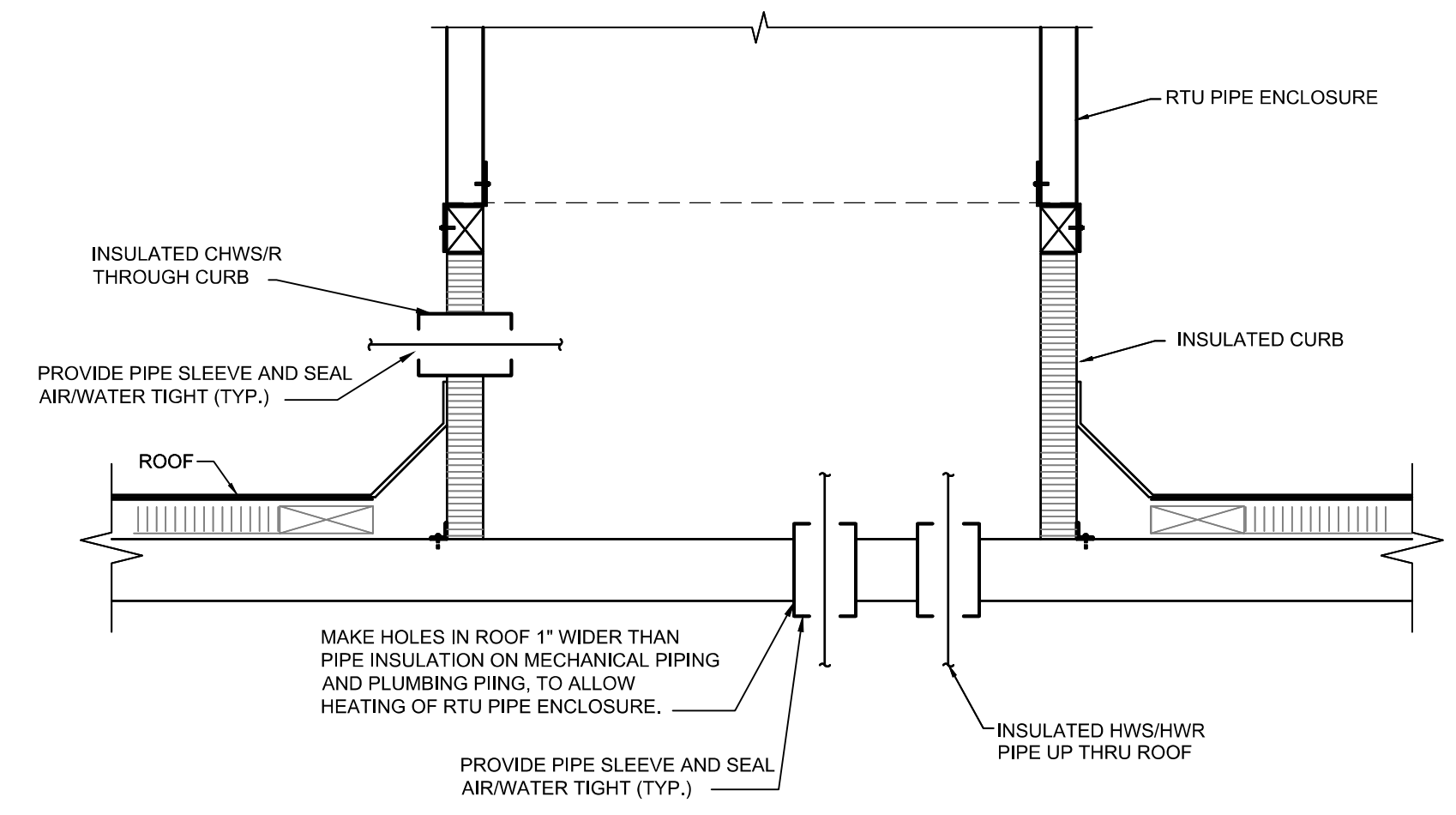


- NOTES:**
- PITCH PIPE AT MINIMUM 1/4" PER FOOT.
  - TO CONDENSATE DRAIN BY PLUMBING CONTRACTOR. MECHANICAL CONTRACTOR SHALL PROVIDE AND PLUMBING CONTRACTOR TO INSTALL CONDENSATE COOLER AT DRAIN TERMINATION POINT. COORDINATE WITH PLUMBING CONTRACTOR.
  - INSTALL CONDENSATE PIPING PER MANUFACTURER'S REQUIREMENTS.

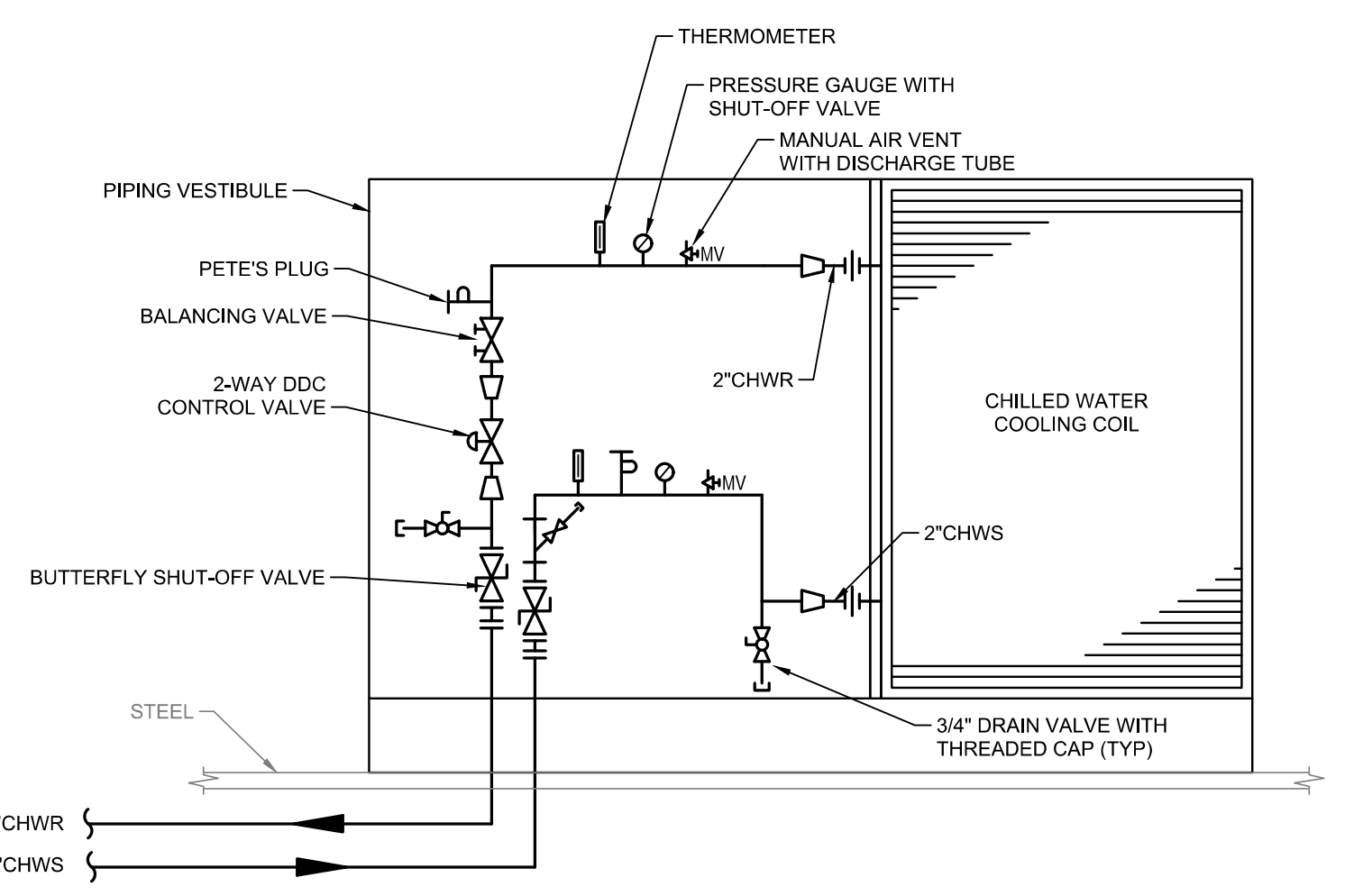
**1 HUMIDIFIER PIPING DETAIL**  
NO SCALE



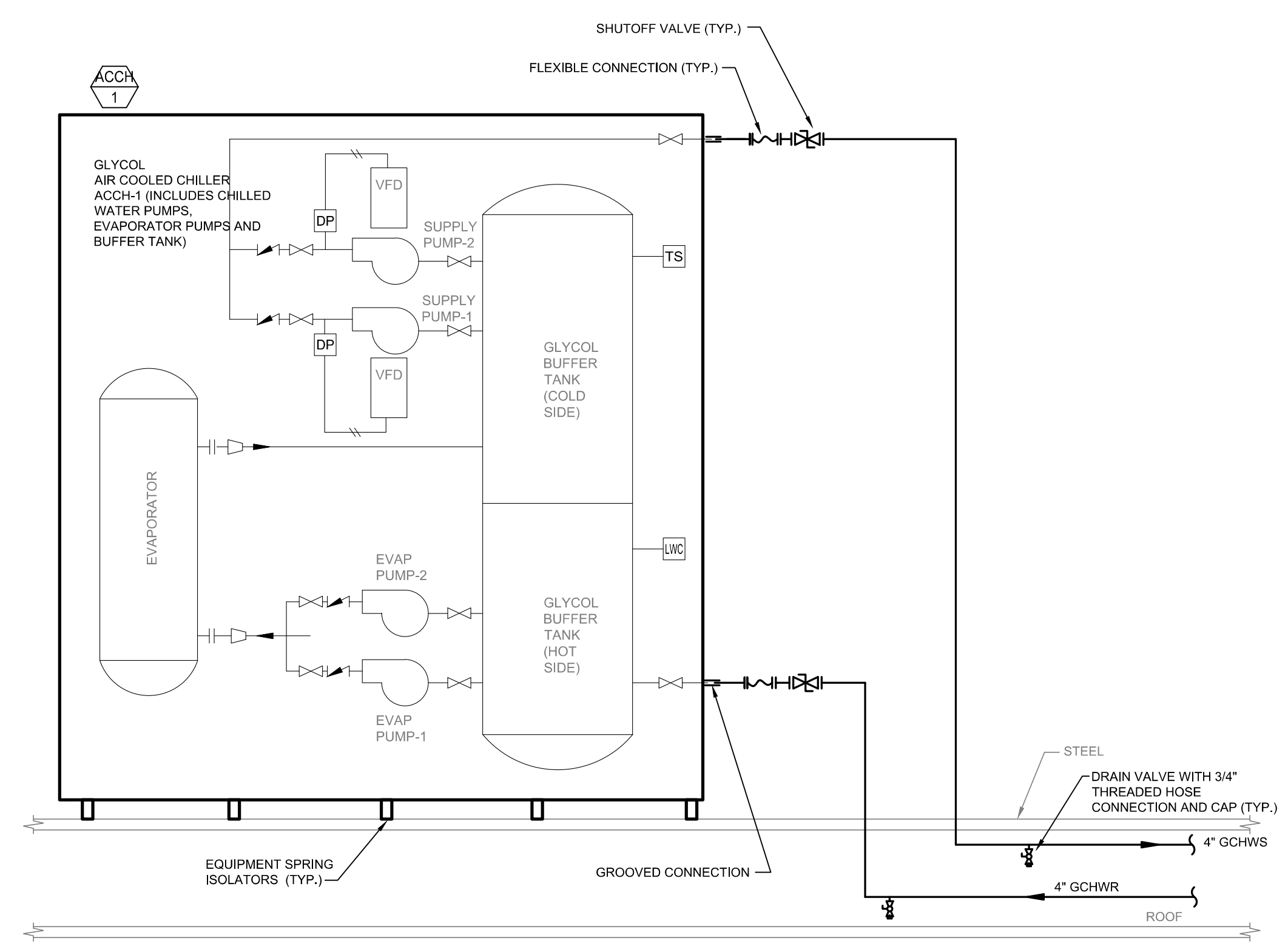
**2 RTU PIPE ENCLOSURE DETAILS**  
NO SCALE



**3 RTU HEATING WATER COIL PIPING DETAIL**  
NO SCALE



**4 RTU CHILLED WATER COIL PIPING DETAIL**  
NO SCALE



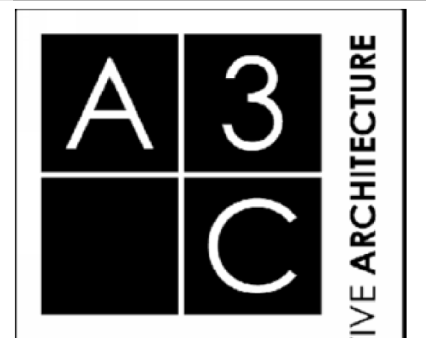
**5 CHILLED WATER FLOW DIAGRAM**  
SCALE: NO SCALE

PROJECT NUMBER 23041

ISSUE	
ZONING	1/30/24
DRN: HNY	CHK'D: HNY

CHelsea HOSPITAL  
INPATIENT REHABILITATION  
RENOVATION  
Chelsea, MI

MECHANICAL DETAILS



115 1/2 E. LIBERTY STREET  
ANN ARBOR, MI 48104  
T: (734) 663-1910  
F: (866) 732-2168  
www.a3c.com

SHEET  
**M6.2**

# **Item 6b**

**Draft Bylaws and Rules of Procedure**

**CITY OF CHELSEA  
ZONING BOARD OF APPEALS BYLAWS  
AND RULES OF PROCEDURE**

**SECTION ONE – AUTHORITY**

The City of Chelsea Zoning Board of Appeals (hereinafter referred to as the ZBA) adopts these rules of procedure pursuant to the Michigan Zoning Enabling Act, MCL 125.3101 et seq., as amended and the ordinances of the City of Chelsea. (as amended).

**SECTION TWO - MEMBERSHIP**

(1) **Membership.** Members shall be appointed according to the procedure as established by Chelsea ordinances. The ZBA shall consist of five regular members and one alternate member, all to be appointed by City Council. An alternate member may be called as specified in the zoning ordinance to serve and vote as a member of the ZBA in the absence of a regular member. An alternate member may also be called to serve as a member for purposes of reaching a decision on a case in which a member has abstained for reasons of conflict of interest.

- a) **Continued Education.** Each member shall complete 5-6 hours of continued state zoning education within each fiscal year. New appointees to the Commission shall not be required to complete the hours of continued education within the first fiscal year of appointment.
- b) **Materials.** Upon taking office for the first time, each member shall be sent via email a package of materials to assist them in their role, including but not limited to:
  - A copy of the Zoning Board of Appeals-Rules of Procedure.
  - Chapter 2, Article IV of the Chelsea Code of Ordinances: Boards and Commissions.
  - The current Chelsea Zoning Ordinance, including up-to-date amendments.
  - The Michigan Zoning Enabling Act.
  - Any other materials deemed necessary by the Community Development Director or their designee, and approved by the Chair of the ZBA, to familiarize a new member with the appeals process and the duties of the ZBA.
  - The Chelsea Zoning Map.
- c) **Resignation.** A Member's seat is resigned when the City Clerk's office receives a letter, or email of resignation.

(2) **Duties.**

- a) **Attendance.** Each regular and alternate member is required to attend all meetings, except for good cause.
- b) **Absences.** Members who are unable to attend a regularly scheduled meeting must contact the Zoning Administrator prior to the meeting to state the cause of the absence. The Zoning Board of Appeals shall approve the excused absence as part of the regular meeting, and it shall be noted in the meeting minutes.



- c) Preparation. Members shall arrive prepared for the business before the ZBA at the meeting, having reviewed written materials and completed site visits as necessary to be educated on the agenda issues.
- d) *Ex Parte* Contact. Members shall avoid *Ex Parte* contact concerning questions or matters pending before the ZBA.
- e) *Ex Parte* Contact includes discussions among members, applicants, or the public outside of a ZBA meeting, including emails, about matters pending before the ZBA.

### SECTION THREE - MEETINGS

- (1) **Notices.** Notice of meetings shall be provided in accordance with the Open Meetings Act. Prior to the scheduled meeting date, the Zoning Administrator shall provide the agenda for the meeting and all documentation relevant to agenda items as well as any other information requested by the ZBA.
- (2) **Regular Meetings.** Regular meetings of the ZBA shall be held monthly in the Council Chambers of the Municipal Building at 311 S. Main Street on the third Wednesday of every month at 5:00 p.m.
  - a) If there are no appeals, requests for variances or requests for interpretation of the zoning ordinance to consider, a regular meeting shall be canceled. All other business shall be held over to the agenda for the next regular meeting.
  - b) When a regular meeting date falls on or near a legal holiday or a regular City Council meeting, the ZBA shall select a suitable alternate date in the same month, if possible, in accordance with the Open Meetings Act.
- (3) **Other Meetings.** A special meeting can be scheduled by the Community Development Director or their designee, the Chair of the ZBA, or, in the Chair's absence, the Vice-Chair. A special meeting may be requested by an applicant in writing. Such special meeting shall be held at the discretion the Chair of the ZBA, or, in the Chair's absence, the Vice-Chair.
- (4) **Membership.** Any changes in Board membership will be announced prior to roll call.
- (5) **Quorum.** In order for the ZBA to conduct business or take any official action, a quorum consisting of 3 voting members of the ZBA must be present. When a quorum is not present, no official action, except for closing of the meeting may take place. All items scheduled to be heard shall be rescheduled for the next regular meeting. No additional public notice shall be required provided the date, time and place of the rescheduled meeting are announced at the canceled meeting.
- (6) **Hearings.** Hearings shall be scheduled and due notice given in accordance with the provisions of the Acts and ordinance cited in Section 1 of this document. Public hearings conducted by the ZBA shall be run in an orderly and timely fashion. This shall be accomplished by the following procedure:
  - Introduction of case by staff.
  - The Chair confirms that the applicant is present and receives an opportunity to present the case.
  - The Chair opens discussion. The ZBA may ask the applicant or staff questions.
  - The Chair opens the public hearing. Each person will be requested to state their name and address for the record and may address the ZBA regarding the case not to exceed three minutes, to be modified at the discretion of the Chair. The Chair may invite people to speak row by row to eliminate lines at the microphone.

- The Chair closes the public hearing.
  - Discussion. The ZBA may ask staff or the applicant questions.
  - The Chair shall call for a motion.
  - After a motion has been made and supported, there may be additional discussion by the Board.
  - The Chair will call for a roll call vote.
- (7) **Motions.** The Chair shall restate motions before a vote is taken. The name of the maker and supporters shall be recorded. The motion shall state whether or not a practical difficulty or undue hardship has been found. The reasons for such a finding shall also be stated.
- (8) **Voting.** The concurring vote of a simple majority of the ZBA members shall be required to reverse an order, requirement, decision, or determination of the zoning officer to approve a non-use variance, to decide in favor of the applicant on a matter upon which the ZBA is required to pass under the zoning ordinance, and for all other business. Voting shall be by roll call unless the Chair decides another method of voting would be appropriate. All members of the ZBA, including the Chair shall vote on all matters except as provided below. The order of the voting members shall be varied.
- a) No member shall abstain from voting on any matter except in the case of a conflict of interest as provided below in Section 3 (12) of these rules.
- (9) **Conditions.** The ZBA may modify a request or impose reasonable conditions designed to maintain the public health, safety and welfare of the City of Chelsea.
- (10) **Withdrawals.** In the event that an applicant withdraws an application after the notices have been sent and the meeting posted, the ZBA shall introduce the case and advise that the item has been withdrawn. A motion to accept the withdrawal will be entered. In the event that an applicant withdraws an application before the notices have been sent and the meeting posted, the ZBA shall receive a copy of the withdrawal, but no motion to accept the withdrawal shall be necessary.
- (11) **Dismissals.** When the applicant fails to appear at a properly scheduled meeting of the ZBA, the Chair may entertain a motion to dismiss the case for want of prosecution. In the absence of a motion, the Chair shall rule. In such cases, the applicant will be furnished a written notice of the action.
- (12) **Conflict of Interest.** A ZBA member shall declare a possible conflict of interest and reasons for such, after the introduction of a case. The ZBA shall discuss and determine if such a conflict exists. Fellow ZBA members shall make and support a motion to excuse the ZBA member with a possible conflict from deliberating. The excused member shall leave the meeting room during deliberation of the case. An alternate member may be called to serve as a member for the purpose of reaching a decision on the case. The excused ZBA member shall be called back prior to the introduction of the next case. In the event that the ZBA member is the applicant, then they shall be allowed to remain in the meeting to present their case.
- a) Failure of a member to disclose a possible conflict of interest constitutes malfeasance in office.
- (13) **Order of Business.** A written agenda for all regular meetings shall be prepared as follows. The order of business shall be:
- Open the meeting – call meeting to order, confirm recorder, if any, is on
  - Roll Call

- Confirmation of a Quorum
  - Approval of Agenda
  - Approval of Minutes – Each set of minutes shall be approved individually
  - Old Business – Items that have been postponed or referred to staff
  - New Business
  - Other Business – Administration or ZBA members may discuss upcoming items or interpretation concerns unrelated to agenda items
  - Liaison Reports
  - Public Comments
  - Adjourn
- (14) **Rules of Order.** All meetings of the ZBA shall be conducted in accordance with generally accepted parliamentary procedure, as governed by the most current edition of “Robert’s Rules of Order.”
- (15) **Notice of Decision.** The City shall send a copy of the approved minutes containing the ZBA decision and any conditions to the applicant within five business days of the minutes being approved.

#### SECTION FOUR – OFFICERS

- (1) **Selection.** Annually, at the July meeting, the ZBA shall select by majority vote from its membership, a Chair and Vice-Chair. Officers shall be eligible for re-election. If there is no July meeting, then the officers shall be elected no later than a September meeting or the next regularly held meeting after September.
- (2) **Duties.** The Chair shall preside at all meetings and shall conduct all meetings in accordance with the rules provided herein. If the Chair is not able to chair a meeting or portion of a meeting, the Vice-Chair shall act in place of the Chair for that meeting or portion of meeting.
- a) The Vice-Chair shall act in the capacity of the Chair and shall succeed to the office of Chair in the event of a vacancy in that office.
  - b) If there is a vacancy in the office of Vice-Chair for whatever reason, the ZBA shall select a successor to the office of Vice-Chair at the earliest practicable time.
  - c) The Community Development Director or their designee shall be responsible for the preparation of minutes, keeping of pertinent public records, delivering communications, petitions, reports and related items of business of the ZBA, issuing notices of public hearings and performing related administrative duties to assure efficient and informed ZBA operations.
- (3) **Tenure.** The officers shall take office at the next meeting after their election. They shall hold their offices until their successors are appointed and assume office.

#### SECTION FIVE – MINUTES

The minutes shall contain a synopsis of the meeting including a complete restatement of all motions and recording of votes; a complete statement of the conditions or recommendations made on any action; and recording attendance. All communications, actions, and resolutions shall be attached to the minutes. The official records shall be deposited with the City Clerk.

## **SECTION SIX – OPEN MEETINGS AND FREEDOM OF INFORMATION PROVISIONS**

- (1) All meetings of the ZBA shall be open to the public and held in a place available to the general public.
- (2) All deliberations and decisions of the ZBA shall be made at a meeting open to the public.
- (3) A person shall be permitted to address a hearing of the ZBA under the rules established in section 3 (6) and to address the ZBA concerning non-hearing matters under the rules established under section 3 (13) to the extent that they are applicable.
- (4) A person shall not be excluded from a meeting of the ZBA except for breach of the peace committed at the meeting.
- (5) All records, files, publications, correspondence, and other materials are available to the public for reading, copying and other purposes as governed by the Freedom of Information Act.

## **SECTION SEVEN – ANNUAL REVIEW**

These rules of procedures shall be reviewed annually, at the July meeting, or if there is no July meeting, at the next regularly held meeting thereafter.

Care shall be taken to ensure that these rules shall not conflict with any federal or state law or City of Chelsea ordinance; however, if any such conflict exists, then the federal or state law or city ordinance shall override these rules, but only to the extent of such conflict.

## **SECTION EIGHT – AMENDMENTS**

These rules may be amended by the ZBA by a concurring vote pursuant to section 3 during any regular meeting, provided that all members have received an advanced copy of the proposed amendments at least three days prior to the meeting at which such amendments are to be considered.

# **Item 6c**

**2024 Zoning Board of Appeals Meeting Schedule**



## **City of Chelsea Zoning Board of Appeals 2024 Calendar**

All meetings are to be held at 5 PM in the City Council Chambers at 311 S. Main Street

### **Meeting Dates**

February 21

March 20

April 17

May 15

June 19

July 17

August 21

September 18

October 16

November 20

December 18