



CITY OF HOLLADAY

Community & Economic Development Department
4580 South 2300 East, Holladay, UT 84117
Phone: 801-527-3890

Permit #:	Date:
Square Footage Affected:	
Estimated Project Valuation:	

BUILDING PERMIT REQUIRED SUBMITTAL CHECKLIST

Property Address:		Type of Construction:
Project Description:		New Construction <input type="checkbox"/>
Contact Name:		Interior Remodel <input type="checkbox"/>
Owner Name:		Addition/Remodel <input type="checkbox"/>
Phone:		Accessory Structure <input type="checkbox"/>
Email:		Other <input type="checkbox"/>

A Building Permit is required for construction within Holladay City. Submitting all required items listed below will greatly speed the review process. Permits are required when "Any owner or authorized agent who tends to construct, enlarge, alter, repair, move, demolish, or change the occupancy of a building or structure, or to erect, install, enlarge, alter, repair, remove, convert or replace any electrical, gas, mechanical or plumbing system, the installation of which is regulated by the 2021 ICC code, or to cause any such work to be done, shall first make application to the building official and obtain the required permit."

PROPERTY BACKGROUND CHECKS BY APPLICANT	
NB: Any or a combination of the elements below will affect development regulations of the project address	
<input type="checkbox"/>	What zones apply to the property? (Go to Map Gallery on holladay.hub.arcgis.com , then click on the Holladay Zone Map)
<input type="checkbox"/>	What is the property size, configuration, ownership, and legal description? (Go to the Salt Lake County Accessors webpage)
<input type="checkbox"/>	Is the lot part of a recorded subdivision? If so, what is the name and lot number of the subdivision? Is there an overall drainage plan in place for the entire subdivision? If so, ensure the overall drainage plan is followed for the lot. (Salt Lake County Recorder)
<input type="checkbox"/>	Does property fall within a Fault Study Area/ fault lines? (Go to Map Gallery on holladay.hub.arcgis.com , then click on the Holladay Sensitive Lands Map) Complete the Natural Hazard & Geologic Disclosure & Agreement Form
<input type="checkbox"/>	Is Liquefaction Potential moderate or high for the subject parcel? Is the property within FEMA Floodplain Zones A, AE, X, or an Alluvial Fan? (Go to Map Gallery on holladay.hub.arcgis.com , then click on the Holladay Sensitive Lands Map)
<input type="checkbox"/>	Are there any waterbodies near or adjacent to property? Submit a Waterway Protection Permit First

Holladay City currently enforces the **2021 International Codes (ICC)** with State amendments and Appendix Q of the 2021 IRC only; 2021 International Codes with State amendments which include Building, Plumbing, Fuel/Gas, IECC, Mechanical and Fire Codes; the 2018 IBC; the 2017 NEC and Accessibility Code, ANSI A117.1-2009; and the current **Holladay City Zoning Code of Ordinance (Title 13)**.

GENERAL REQUIREMENTS					
Applicant Submittal	Please Complete All the Required Item(s) Checklist. Be advised that, if you believe an item is not applicable (N/A) to your project, you must provide an explanation in the box(es) provided.		Holladay City Action		
N/A	Yes	Explanation	Required Item	Revise	Accept
<input type="radio"/>	<input type="radio"/>		1. Complete Plan Sets. Submit complete plans and supporting documents electronically using Holladay city online portal .		
<input type="radio"/>	<input type="radio"/>		2. Engineering Permit. Approved for projects that increase total lot imperviousness by more than 10% and/or require a change in grade of more than 6".		
<input type="radio"/>	<input type="radio"/>		3. Complete Zone Worksheet. Holladay city zone worksheets provide guidance on zoning compliance requirements.		
<input type="radio"/>	<input type="radio"/>		4. Copy of Plat. where lot is located (<i>Subdivision or Side well</i>). Surveys/plats are on file with the Salt Lake Co. Recorder's office		



BUILDING PERMIT REQUIRED SUBMITTAL CHECKLIST

NOTES: Site plans are required for all new projects, accurately drawn to scale no less than 1: 20 on media no larger than 24"x36" size. Site plans must be submitted with the subdivision plat of record. Front Yard setbacks shall be measured from the right-of-way line. If you are unsure of your property lines, a legal survey is highly recommended. In some cases, this may not be easily determined, and should be verified before drawing your site plan.

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5. Complete Site Plan. Except for Interior Remodels that do not increase parking/landscape requirements. Include the following:

5a. Property lines. Provide (dimensions) measurements for all property boundaries.

5b. Lot size, abutting streets, alleys. Provide dimensions for lot square footage, street frontages, street/alley widths and all front, interior, side and corner side yards.

5c. Key map items. Scale, north arrow direction, contour lines, locations of street lights, trees, hydrants, water meters, etc.

5d. Location, size, dimension, use and type of construction of all buildings. Include the setbacks, number of stories, height and square footage/floor area.

5e. Location and type of any natural features. Eg. watercourses, rivers, lakes, fault lines, and include any existing physical features.

5f. Size and location of all ground mounted utility boxes, public utility easements and similar infrastructure.

5g. Location of required off-street parking and its layout. Include driveway and approach dimensions including parking/access for persons with disabilities and required parking. Provide required parking calculations for all proposed uses.

5h. Location, height, type and material of all fences, retaining walls, curb, gutter and sidewalks.

5i. Show front yard averaging (for new construction) in accordance with Ord. [13.14.054](#)

5k. Grading plan showing the nature and manner of grading of the entire site, including the treatment of slopes in excess of 10% to prevent soil erosion and excessive runoff. A slope analysis is required for all slopes over 30%.

BUILDING/ARCHITECTURAL REQUIREMENTS

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6. Lot coverage table. Area (Sq. Ft.) of impervious surfaces, separate subtotals for buildings, driveways/parking areas, and walkways patios. *NB: Complete Table 1*

Table 1	Square Feet	Percentage (%) of Total
Total lot area		
Existing structure footprint		
Existing impervious surfaces area		
Total proposed building(s) footprint area		
Total proposed impervious surfaces		
Total landscaped area		

An increase >10% of existing coverages requires submittal of an On-Site Water Retention plan – 17.20.070. See Retention Worksheet for help

<input type="radio"/>	<input type="radio"/>
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7. Building setbacks. Front, side, and backyard setbacks. (See section [13.14.050](#) of Ord.)



BUILDING PERMIT REQUIRED SUBMITTAL CHECKLIST

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8. Maximum building and graduated height. From grade to highest ridge of the structure. (See section 13.14.070 of Ord.)

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9. Maximum Lot coverage. All structures on lot shall not be more than the % given, unless applicable bonus is applied.

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10. Elevations. Provide interior and exterior building elevations, drawn to scale and fully dimensioned.

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11. Plans. Provide foundation, floor and roof plans, drawn to scale and dimensioned for the total area(s) of work to be performed.

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12. Wall distinctions. Distinction between any existing and proposed buildings or site features (*for additions/remodels*).

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13. Schedules and Sections. Provide window and door schedules. Provide details showing all openings and penetrations in ceilings.

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14. Typical wall section. roof, footing, foundation, reinforcement. Exterior wall must comply with IRC or walls must have lateral analysis by an engineer licensed by the State of Utah.

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15. Stair detail. Minimum/maximum rise/run; nosing information; headroom; guard/hand rail height.

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16. Electrical Plan. Detailed location of all lights, switches, outlets, Location of smoke and CO detectors, Note GFCI on required outlets, meters and panels with electrical load diagram.

17. Landscape plan. Location of replacement trees removed, spacing, number of all proposed plant material installation details.

ENGINEERING/MECHANICAL/STRUCTURAL REQUIREMENTS

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18. Structural Plans. Footing, foundation, posts, and beam sizes and schedules, Structural calculations, general notes and details.

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19. Mechanical Plans. Location and size of furnace, supply/return ducts, exhaust fans, combustion air, Manual J/D/S.

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20. Complete engineer stamped truss details.

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21. Heat Loss Calculations. (Manual J and D, Heating/Cooling system)

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22. RESCheck (Utah Energy Conservations Code)

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23. Hydrant flow verification letter from water provider

24. Utilities "Intent to Serve" letters for; water, gas, power, sewer

25. Public Improvements. Sidewalk, Curb, and Gutter are required along frontage. If any of these items already exist, add a note that any damage must be replaced prior to issuance of C of O.

26. Offsite Improvements. Show the **existing conditions** (E.g. sidewalk, Curb, drive approach, and Gutter) and **proposed conditions** after construction

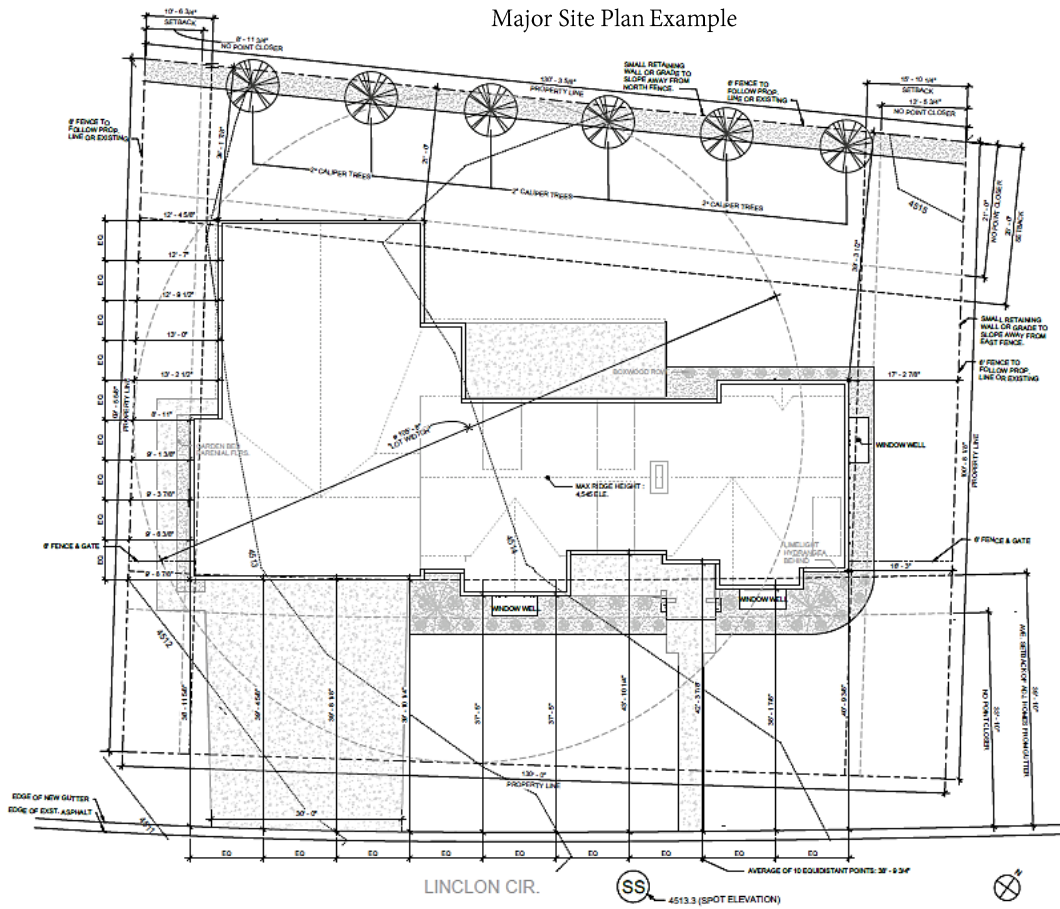
NOTICE: An application for a permit for any proposed work shall be deemed to have been abandoned 180 days after the date of filing, unless such application has been pursued in good faith or a permit has been issued; except that the CED Director is authorized to grant some extensions of time for addition periods not to exceed 90 days. The extension shall be requested in writing and justifiable cause demonstrated.

By signing below, I certify that all required submittal documents and plans are complete.

Applicant Signature

Date:

Major Site Plan Example



LOT SPECIFICATIONS

ADDRESS
OWNER
ZONE - F
PARCEL
LOT SIZE

	square foot	% of Total
Total lot area	13,603	100%
Total building footprint area	4,037	30%
Total impervious area	6,190	46%
Total landscaped area	7,313	54%

IMPERVIOUS PERCENTAGE BONUS - 10%
(per table located 13.14.080C.)

1. PLANT 6 NEW (2 CALIPER) TREES FOR 6 ADDITIONAL PERCENT OF IMPERVIOUS COVERAGE.
 2. 500 S.F. FEET OF "WATER-WISE" LANDSCAPING FOR 3.5 ADDITIONAL PERCENT.
 3. PERMEABLE PAVERS FOR 5 PERCENT.
- PRODUCT OR APPROVED EQUIVALENT: Belgard Aqualine™ permeable pavers

Level	Elevation
Top of Footing	4,902'-0" E.L.E.
Top of Finished Floor (LVL 1)	4,510'-0" E.L.E.
Top of Finished Floor (LVL 2)	4,520'-0" E.L.E.
Top of Ridge	4,544'-11.5" E.L.E.
Overall Height - lowest	31'-11.5"

SETBACK NOTES

"LOT WIDTH" = 105'-8"

SIDE SETBACKS (COMBINED) : 25% OF "LOT WIDTH" = 26'-5"

MINIMUM SIDE SETBACK : 10% OF "LOT WIDTH" = 10'-6 3/4"

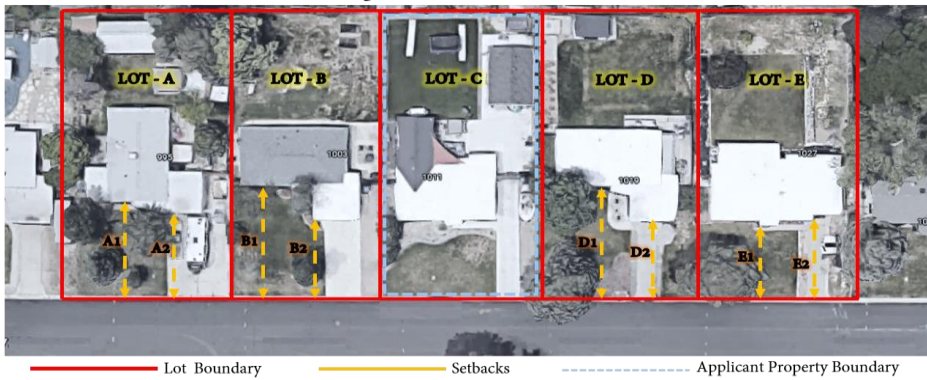
NO POINT CLOSER : INDICATES THE SMALLEST SETBACK WHEN USING SETBACK AVERAGING.

STRUCTURE SQUARE FOOTAGES

	Square Feet
Main level	
Finished	2,037
Garage	905
Total	2,942
Level 2	
Finished	1,918
Bonus Room	498
Total	2,416
Basement	
Finished	2,037
Spent court	1,006
Cold Storage	138
Total	3,181
Full Home	
Finished	5,992
Unfinished	2,597
Total	8,589

① Site Plan
5/8" = 1'-0"

LOT C Front Setback = Average of $((A1+A2/2) + (B1+B2/2) + (D1+D2/2) + (E1+E2/2))$



Side Setback = 10% of Lot width for one side (both sides shall not be less than 25% of lot width)

