



CITY OF HOLLADAY

Community & Economic Development Department
4580 South 2300 East, Holladay, UT 84117
Phone: 801-527-3890

WATERWAY PROTECTION PERMIT

PERMIT # _____

See the back side Waterway Protection Area Requirements

Property Address: _____

Property Owner(s): _____ **Property Owner Phone #:** _____

General Contractor Name: _____ **Applicant Phone #:** _____

Onsite Contact: _____ **Onsite Phone #:** _____

Project Email Address: *(Inspection results will be sent to this email)* _____

I hereby certify that I have read and examined this permit and that the information provided by me is true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. Applicant must comply with all laws and ordinances governing the type of work, whether specified herein or not. The granting of a permit does not authorize the violation of any law nor will a permit cancel the effect of the provisions of any other law regulating construction or the performance of construction. Any permit or license issued for signs which are in conflict with Sat Lake City ordinances shall be null and void, whether or not the license or permit was issued by employees of the city authorized to issue such permit or license. It is the responsibility of the applicant to verify all dimensions and to verify all information contained in this application.

Applicant Signature: _____ **Date:** _____

The following documents shall accompany this application:

PROJECT DESCRIPTION

SITE PLAN: (Ord. 13.76.400.D2):

- Subject property with all recorded property lines marked and;
- The name, location and dimensions of the applicable waterway; **NAME OF WATERWAY** _____
- The Annual High Water (AHWL) Line and each protection area as defined, labeled with contour elevations;
- The location and setback of existing and proposed buildings and structures from the AHWL;
- Existing and proposed grades, labeled with contour elevations;
- All trees greater than 2" caliper, with trees proposed for removal highlighted and tree replacement plan as per Section 13.77;
- FEMA floodplains, geological faults, high liquefaction areas, and slopes thirty percent (30%) or greater;
- Such other and further information or documentation as the City Engineer may reasonably deem necessary for proper consideration of a particular application, including, but not limited to, geotechnical and hydrological reports required under subsection F8 of this section.

Other (as determined by City Engineer): _____

| Contractors: | State License #: | Phone #: |
|---------------|------------------|----------|
| General: | | |
| Landscaping : | | |

| Parcel#: | Zone: |
|---------------------------------------|---------------------------------------|
| Subdivision: | FEMA Floodplain: |
| Lot#: | Liquefaction: |
| C.U.P. #: | Fault Line Study Zone: |
| | Y N |
| Zoning/Land Use Requirements : | City Engineering Requirements: |
| _____ | _____ |
| _____ | _____ |
| _____ | _____ |
| Approval Signature: _____ | Approval Signature: _____ |
| Date: _____ | Date: _____ |

| OFFICE USE ONLY FEES | |
|--------------------------------------|--------------|
| Waterway Permit | 75.00 |
| Removal | _____ |
| BUILDING TOTAL: | 101 |
| 1% Bldg Surcharge: | _____ |
| 85% | 102 |
| 15% | 111 |
| Plan Check Fees: | 112 |
| Fine(s): | 112 |
| *PRE PLAN CHECK: | _____ |
| TOTAL: | _____ |
| <small>*minus pre plan check</small> | |

*INSPECTIONS REQUIRED: This permit shall become null and void if work is not commenced within timeframe as directed by all applicable divisions including state and local.
*** This permit becomes valid upon required approvals and acceptance of required fees. ***



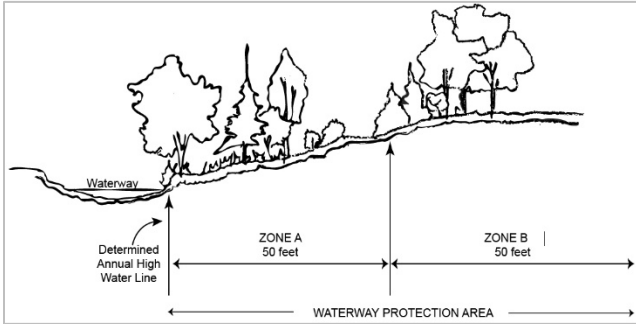
Waterway Protection Requirements

No person shall engage in any ground disturbing activity, development or demolition within 100 feet of a natural waterway and or 20 feet from a canal without an approved Waterway Permit.

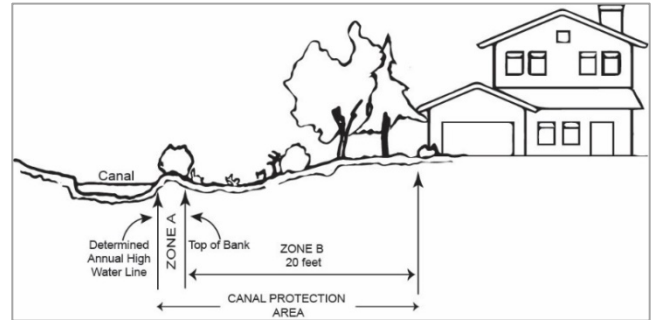
REFER TO USE TABLES (13.76.400) FOR ACTIVITIES ALLOWED WITHIN EACH ZONE

UNDEVELOPED LAND : Established protection Zones for undeveloped lots of record, created after March 30th 2021

- Big Cottonwood, Heughs Canyon Creek, Spring Creek:**
Zone A: located between the AHWL and 50' from the AHWL; and
Zone B: located between 50' and 100' from the AHWL

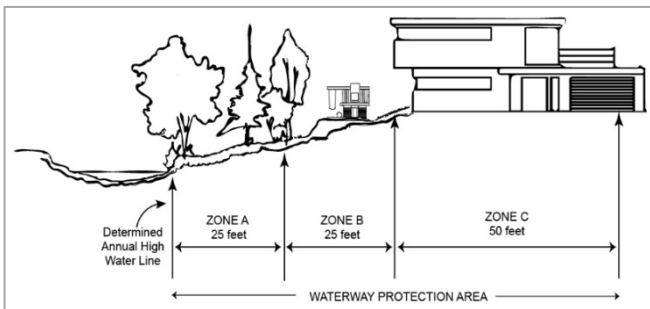


- Canals: Upper, Jordan and Salt Lake**
Zone A: located between the AHWL and top of bank; and
Zone B: located between the AHWL and 20' from the AHWL

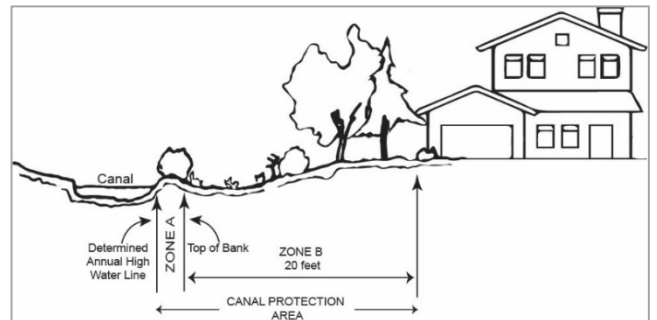


DEVELOPED LAND: Established Protection Zones are established for existing and developed lots or parcels

- Big Cottonwood, Heughs Canyon Creek, Spring Creek:**
Zone A: located between the AHWL and 25' from the AHWL;
Zone B: located between 25' and 50' from the AHWL;
Zone C: located between 50' and 100' from the AHWL.



- Canals: Upper, Jordan and Salt Lake**
Zone A: located between the AHWL and top of bank; and
Zone B: located between the AHWL and 20' from the AHWL



STEEP SLOPES: to protect slopes "Zone A" shall be extended for natural waterways as follows

