



City of Conroe Downtown Residential Incentive Program

General Information

All individuals seeking to participate in the Downtown Residential Incentive Program must submit this application completed in full and accompanied by all required forms and materials. Additional items may be required upon review of the application.

It is the purpose of this application to determine eligibility for the Downtown Residential Incentives Program and to ensure that applicants have fully considered and integrated design standards developed by the City of Conroe and adopted by the City Council into their proposed residential development project. It is the burden of the applicant to ensure that all necessary materials and calculations are provided in order to render a determination. An incomplete application will result in denial.

This completed application and supporting documents should be submitted digitally at DHTZ@cityofconroe.org or by delivery to the City of Conroe Engineering Department, Attention Downtown Housing Target Zone (DHTZ) at 300 W. Davis Street, Conroe TX 77301. Application processing time may vary and is expected to take a minimum of 30 days.

Eligible Projects

- Any new or infill residential development within one of the districts of Downtown Conroe with the exception of the Uptown District.

Ineligible Projects

- Reconstruction or redevelopment of an existing structure;
- Any project that does not fully comply with City of Conroe adopted codes and ordinances;
- Any project that is not majority residential in nature; or
- Any project that receives a building permit prior to announcement regarding incentives.

Items to be Submitted

- General Application
- Design Standards Checklist
- A Project Site Plan and Elevations provided to a common scale and with all measurements, calculations and notations necessary for verification of compliance. Calculations of numeric requirements for glazing and materials should be summarized in a table verifiable with information provided within the Project Site Plan and Elevations.

Process of Determining Eligibility and Award

- Staff will review the application to ensure that all information is provided as necessary for presentation to the Architectural Review Board.
- The Architectural Review Board will provide a formal recommendation of award to City Council for approval.
- City Council shall be responsible for action and award of incentives.



City of Conroe

Downtown Residential Incentive Program

Application for Incentives

General Application Page

Project Information					
Infill Project or New Development?					
Infill	<input type="radio"/>	<i>Infill development, in this case, is considered placement of a product on a property that was previously used or intended for housing purposes and that is within a clearly defined and constructed neighborhood</i>			
New	<input type="radio"/>				
Residential Type					
Single Family Home	<input type="radio"/>	Duplex to Quadplex	<input type="radio"/>	Ltd. Density Multifamily Less than 20 units per acre	<input type="radio"/>
Townhouse/Flat	<input type="radio"/>	Row House	<input type="radio"/>	High Density Multifamily 20 units per acre or greater	<input type="radio"/>
Live/Work Unit	<input type="radio"/>	Residential Above Commercial	<input type="radio"/>		
Property Location					
911 Assigned Address					
Subdivision					
Lot		Block			
Downtown District					
Potential Award Amount per Unit (Each front door=1 unit. Example: 1 duplex=2 units)					
Number of Units		City Tax Rate	\$0.004375		
Residential Value of Construction		Potential Annual Incentive (Value per Unit x City Tax Rate x .75)			
Value per Unit		Potential Total Incentive (Annual Incentive x 10)			

Project Owner Information					
Name				Phone	
Address					
City		State		Zip	
Email					
Project Owner Representative Contact Information (if different from owner)					
Name				Phone	
Role				Email	

Application Materials Checklist		
	Owner Certification	City Staff Use Only
Certified General Application Page	<input type="checkbox"/>	<input type="checkbox"/>
Certified Design Standards Checklist Page	<input type="checkbox"/>	<input type="checkbox"/>
Project Site Plan as required	<input type="checkbox"/>	<input type="checkbox"/>
Project Elevations as required	<input type="checkbox"/>	<input type="checkbox"/>
Calculations Tables as required	<input type="checkbox"/>	<input type="checkbox"/>

I, the undersigned owner or owner representative (indicated above), have read all of the information contained in this application and hereby certify that the information provided is true and correct. I further recognize that any changes to the project design that alter the information provided in any way shall require reconsideration for incentives unless notified in writing by the City Administrator.

Signature	Application Date
Printed Name	



City of Conroe

Downtown Residential Incentive Program

Design Standards Checklist

Project Information <i>(From General Application Page)</i>			
911 Assigned Address			
Downtown District			
Infill or New		Residential Type	
Design Standard			
		Owner Certification Please note the answer and where it can be verified within the accompanying materials	City Staff Use Only
Setback from Roadway <i>Does the setback fall within the desired range?</i>			
Height (in stories) <i>Do structures stay within height standards?</i>			
Primary (Pedestrian) Entrance <i>Does the Entrance face the desired direction and offer the desired level of prominence?</i>			
Structural Variations <i>Do the primary structures include the variations required in the standards?</i>			
Roofline <i>Flat or Pitched Roofline?</i>			
Flat Roofline <i>Does the roofline include a parapet or cornice with peaked or sloped elements?</i>			
Pitched Roofline <i>Does the roofline exceed 80 feet? If yes, does it include gables, dormers or shed roof elements to break up the appearance?</i>			
Height <i>Is the front façade longer than 80 feet? If yes, is there differentiation in height along the front façade?</i>			
Street Facing Façade <i>Is the front façade longer than 80 feet? If yes, is there differentiation of 2.5 feet or more in the front plane of the building?</i>			

Design Standard (continued from previous page)		
	Owner Certification Please note the answer and where it can be verified within the accompanying materials	City Staff Use Only
Structural Variations (continued) <i>Do the primary structures include the variations required in the standards?</i>		
Materials Do large building forms and wall surfaces incorporate a variation or combination of materials, surface relief or texture?		
Glazing/Transparency		
Consistency <i>Do windows facing the street have a consistent pattern and shape?</i>		
Percent of Street Facing Facade		
First Floor <i>Do windows represent the minimum percentage of the first floor façade required by the standards?</i>		
Upper Floors <i>Do windows represent the minimum percentage of upper floor façade required by the standards?</i>		
Glass Type <i>Are windows clear, tinted, colored, opaque, mirrored or reflective?</i>		
Clear (preferred)		
Tinted, Colored or Opaque (requires approval)		
Mirrored or Reflective (prohibited)		
Pedestrian Elements (if appropriate to design) <i>Does the structure incorporate one or more of the following pedestrian elements? NOTE: Pedestrian Elements are encouraged to be included but are not required.</i>		
Front Porch		
Balcony/Balconies		
Canopies, Awnings or Similar		

Design Standard (continued from previous page)		
	Owner Certification Please note the answer and where it can be verified within the accompanying materials	City Staff Use Only
Materials <i>Are structures constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained?</i>		
Class I Materials <i>Is 75% or more of total building façade comprised wood siding, clay fired brick, natural stone, masonry, cement stucco and/or glass?</i>		
Class II Materials <i>Is 25% or less of total building façade comprised of architectural metal, fiber cement siding, concrete block, manufactured stone, and/or integrally colored split faced block?</i>		
Ineligible Materials <i>Does the EIFS, smooth faced concrete block, tilt-up concrete panel systems, metal panel systems, and/or vinyl and aluminum siding?</i>		
Parking <i>Is parking located in the appropriate area of the site?</i>		
Screening of Equipment <i>Is equipment located and designed according to standards?</i>		
Refuse, Recycling and Storage		
Roof mounted equipment		
Solar Panels		
Ground mounted equipment		
Building mounted equipment		

Central Business District Residential Incentive Design Standards

Residential Types										
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily	
Setback from Roadway		Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians								
Preferred Build To	5 feet	S/A Surrounding	Property Line	Property Line	5 feet	Property Line	Property Line	Property Line	Property Line	
But No Further Setback than	25 feet	S/A Surrounding	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	
Maximum Height		3 stories	Front Façade S/A Surrounding	3 stories	3 stories	3 stories	3 stories	N/A	3 stories	N/A
Primary (Pedestrian) Entrance		Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street
Structural Variations		Variations add visual interest to a building that add to appearance of both the building and surrounding area								
Roofline										
Flat Roofline		Include parapets or cornices or with peaked or sloped façade elements								
Pitched Roofline		N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet						
Height		N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway						
Street Facing Façade(s)		N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway						
Materials		N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture						
Glazing/Transparency										
Consistency		Windows should have a consistent pattern and shape on street facing facades								
Percent of Street Facing Façade										
First Floor (minimum)		N/A	S/A Surrounding	25 percent	50 percent	25 percent	25 percent	50 percent	25 percent	25 percent
Upper Floors (minimum)		N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type						Clear Preferred				
Tinted, colored or opaque		N/A	S/A Surrounding				Requires Approval			
Mirrored or Reflective		Prohibited								
Pedestrian Elements (if appropriate to design)										
Front Porch		Encouraged	Encouraged				Encouraged			

Central Business District Residential Incentive Design Standards

Residential Types									
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily
Balcony/Balconies			Encouraged	Encouraged		Encouraged	Encouraged	Encouraged	Encouraged
Canopies, Awnings or Similar						Encouraged	Encouraged	Encouraged	Encouraged

Materials	<i>Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained</i>
------------------	---

Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding

Parking	<i>S/A Townhouse</i>	<i>Encouraged</i>	<i>Located behind the primary structure (the building and its relationship to the street is more important than visible parking)</i>
----------------	----------------------	-------------------	--

Screening of Equipment

Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas
Solar Panels	Architecturally integrated into the roof or building form
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation
Building mounted equipment	Avoid placing equipment on front façade of building

Arts & Honors District Residential Incentive Design Standards

Residential Types									
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily
Setback from Roadway		Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians							
Preferred Build To	15 feet	S/A Surrounding	5 feet	5 feet	15 feet	5 feet	5 feet	5 feet	5 feet
But No Further Setback than	25 feet	S/A Surrounding	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet
Maximum Height		3 stories	Front Façade S/A Surrounding	3 stories	3 stories	3 stories	3 stories	3 stories	5 stories
Primary (Pedestrian) Entrance		Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street
Structural Variations		Variations add visual interest to a building that add to appearance of both the building and surrounding area							
Roofline									
Flat Roofline		Include parapets or cornices or with peaked or sloped façade elements							
Pitched Roofline	N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet						
Height	N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway						
Street Facing Façade(s)	N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway						
Materials	N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture						
Glazing/Transparency									
Consistency		Windows should have a consistent pattern and shape on street facing facades							
Percent of Street Facing Façade									
First Floor (minimum)	N/A	S/A Surrounding	25 percent	50 percent	25 percent	25 percent	50 percent	25 percent	25 percent
Upper Floors (minimum)	N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type		Clear Preferred							
Tinted, colored or opaque	N/A	S/A Surrounding					Requires Approval		
Mirrored or Reflective		Prohibited							
Pedestrian Elements (if appropriate to design)									
Front Porch	Encouraged	Encouraged					Encouraged		

Arts & Honors District Residential Incentive Design Standards

Residential Types									
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily
Balcony/Balconies			Encouraged	Encouraged		Encouraged	Encouraged	Encouraged	Encouraged
Canopies, Awnings or Similar						Encouraged	Encouraged	Encouraged	Encouraged

Materials *Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained*

Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding

Parking	<i>S/A Townhouse</i>	<i>Encouraged</i>	Located behind the primary structure (the building and its relationship to the street is more important than visible parking)
----------------	----------------------	-------------------	---

Screening of Equipment

Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas
Solar Panels	Architecturally integrated into the roof or building form
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation
Building mounted equipment	Avoid placing equipment on front façade of building

Neartown District Residential Incentive Design Standards

Residential Types									
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily
Setback from Roadway		Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians							
Preferred Build To	15 feet	S/A Surrounding	5 feet	5 feet	15 feet	5 feet	5 feet	5 feet	5 feet
But No Further Setback than	25 feet	S/A Surrounding	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet
Maximum Height		3 stories	Front Façade S/A Surrounding	3 stories	3 stories	3 stories	3 stories	3 stories	5 stories
Primary (Pedestrian) Entrance		Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street
Structural Variations		Variations add visual interest to a building that add to appearance of both the building and surrounding area							
Roofline									
Flat Roofline		Include parapets or cornices or with peaked or sloped façade elements							
Pitched Roofline		N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet					
Height		N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway					
Street Facing Façade(s)		N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway					
Materials		N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture					
Glazing/Transparency									
Consistency		Windows should have a consistent pattern and shape on street facing facades							
Percent of Street Facing Façade									
First Floor (minimum)		N/A	S/A Surrounding	25 percent	50 percent	25 percent	25 percent	50 percent	25 percent
Upper Floors (minimum)		N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type						Clear Preferred			
Tinted, colored or opaque		N/A	S/A Surrounding				Requires Approval		
Mirrored or Reflective						Prohibited			
Pedestrian Elements (if appropriate to design)									
Front Porch		Encouraged	Encouraged				Encouraged		

Neartown District Residential Incentive Design Standards

Residential Types									
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily	High Density Multifamily
Balcony/Balconies			Encouraged	Encouraged		Encouraged	Encouraged	Encouraged	Encouraged
Canopies, Awnings or Similar						Encouraged	Encouraged	Encouraged	Encouraged

Materials	<i>Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained</i>
------------------	---

Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding

Parking	<i>S/A Townhouse</i>	<i>Encouraged</i>	Located behind the primary structure (the building and its relationship to the street is more important than visible parking)
----------------	----------------------	-------------------	---

Screening of Equipment

Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas
Solar Panels	Architecturally integrated into the roof or building form
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation
Building mounted equipment	Avoid placing equipment on front façade of building

Uptown District Residential Incentive Design Standards

Residential Types							
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Rowhouse or Brownstone (along Frazier St)	Residential Above Commercial (along Frazier St)	Limited Density Multifamily (along Frazier St)
Setback from Roadway		Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians					
Preferred Build To	15 feet	S/A Surrounding	15 feet	15 feet	5 feet	5 feet	5 feet
But No Further Setback than	25 feet	S/A Surrounding	25 feet	25 feet	25 feet	25 feet	25 feet
Maximum Height	3 stories	Front Façade S/A Surrounding	2 stories	2 stories	3 stories	3 stories	3 stories
Primary (Pedestrian) Entrance	Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	N/A	Prominent and Facing Street
Structural Variations		Variations add visual interest to a building that add to appearance of both the building and surrounding area					
Roofline							
Flat Roofline	Include parapets or cornices or with peaked or sloped façade elements						
Pitched Roofline	N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet				
Height	N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway				
Street Facing Façade(s)	N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway				
Materials	N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture				
Glazing/Transparency							
Consistency			Windows should have a consistent pattern and shape on street facing facades				
Percent of Street Facing Façade							
First Floor (minimum)	N/A	S/A Surrounding	25 percent	50 percent	25 percent	50 percent	25 percent
Upper Floors (minimum)	N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type				Clear Preferred			
Tinted, colored or opaque	N/A	S/A Surrounding	Requires Approval				
Mirrored or Reflective				Prohibited			
Pedestrian Elements (if appropriate to design)							

Uptown District Residential Incentive Design Standards

Residential Types							
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Rowhouse or Brownstone (along Frazier St)	Residential Above Commercial (along Frazier St)	Limited Density Multifamily (along Frazier St)
Front Porch	Encouraged	Encouraged					
Balcony/Balconies			Encouraged	Encouraged	Encouraged	Encouraged	Encouraged
Canopies, Awnings or Similar					Encouraged	Encouraged	Encouraged

Materials	<i>Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained</i>
Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding

Parking	<i>S/A Townhouse</i>	<i>Encouraged</i>	Located behind the primary structure (the building and its relationship to the street is more important than visible parking)
---------	----------------------	-------------------	---

Screening of Equipment

Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas
Solar Panels	Architecturally integrated into the roof or building form
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation
Building mounted equipment	Avoid placing equipment on front façade of building

Old Town Marketplace District Residential Incentive Design Standards

Residential Types								
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily
Setback from Roadway <i>Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians</i>								
Preferred Build To	15 feet	S/A Surrounding	5 feet	5 feet	15 feet	5 feet	5 feet	5 feet
But No Further Setback than	25 feet	S/A Surrounding	25 feet	25 feet	25 feet	25 feet	25 feet	25 feet
Maximum Height	2 stories	Front Façade S/A Surrounding	3 stories	3 stories	3 stories	3 stories	3 stories	3 stories
Primary (Pedestrian) Entrance	Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street
Structural Variations <i>Variations add visual interest to a building that add to appearance of both the building and surrounding area</i>								
Roofline								
Flat Roofline	Include parapets or cornices or with peaked or sloped façade elements							
Pitched Roofline	N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet					
Height	N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway					
Street Facing Façade(s)	N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway					
Materials	N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture					
Glazing/Transparency								
Consistency Windows should have a consistent pattern and shape on street facing facades								
Percent of Street Facing Façade								
First Floor (minimum)	N/A	S/A Surrounding	25 percent	50 percent	25 percent	25 percent	50 percent	25 percent
Upper Floors (minimum)	N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type								
Tinted, colored or opaque	N/A	S/A Surrounding	Clear Preferred					
Mirrored or Reflective	Requires Approval							
Prohibited								
Pedestrian Elements (if appropriate to design)								
Front Porch	Encouraged	Encouraged	Encouraged					
Balcony/Balconies			Encouraged	Encouraged	Encouraged		Encouraged	Encouraged

Old Town Marketplace District Residential Incentive Design Standards

Residential Types								
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone	Residential Above Commercial	Limited Density Multifamily
Canopies, Awnings or Similar						Encouraged	Encouraged	Encouraged
Materials	Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained							
Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass							
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block							
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding							
Parking	S/A Townhouse	Encouraged	Located behind the primary structure (the building and its relationship to the street is more important than visible parking)					
Screening of Equipment								
Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building							
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas							
Solar Panels	Architecturally integrated into the roof or building form							
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation							
Building mounted equipment	Avoid placing equipment on front façade of building							

Homestead District Residential Incentive Design Standards

Residential Types							
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone (along Phillips Street)	Residential Above Commercial (along Phillips Street)
Setback from Roadway		Buildings should be pushed closer to the street in order to have a stronger relationship with the sidewalk and pedestrians					
Preferred Build To	25 feet	S/A Surrounding	25	25	25	15 feet	15 feet
But No Further Setback than	N/A	S/A Surrounding	N/A	N/A	N/A	25 feet	25 feet
Maximum Height		Front Façade S/A Surrounding	2 stories	2 stories	2 stories	3 stories	3 stories
Primary (Pedestrian) Entrance	Facing Street	Facing Street	Prominent and Facing Street	N/A	Prominent and Facing Street	Prominent and Facing Street	N/A
Structural Variations		Variations add visual interest to a building that add to appearance of both the building and surrounding area					
Roofline							
Flat Roofline			Include parapets or cornices or with peaked or sloped façade elements				
Pitched Roofline	N/A	S/A Surrounding	Include gables, dormers or shed roof elements to break up expanses of roofline that exceed 80 feet				
Height	N/A	S/A Surrounding	Should include some differentiation in height if building front façade extends more than 80' along the roadway				
Street Facing Façade(s)	N/A	S/A Surrounding	Should include differentiation of 2.5 feet or more in plane if building front façade extends more than 80' along the roadway				
Materials	N/A	S/A Surrounding	Large building forms and wall surfaces should incorporate a variation or combination of materials, surface relief or texture				
Glazing/Transparency							
Consistency			Windows should have a consistent pattern and shape on street facing facades				
Percent of Street Facing Façade							
First Floor (minimum)	N/A	S/A Surrounding	25 percent	50 percent	25 percent	25 percent	50 percent
Upper Floors (minimum)	N/A	S/A Surrounding	25 percent	25 percent	25 percent	25 percent	25 percent
Glass Type				Clear Preferred			
Tinted, colored or opaque	N/A	S/A Surrounding			Requires Approval		
Mirrored or Reflective				Prohibited			
Pedestrian Elements (if appropriate to design)							
Front Porch	Encouraged	Encouraged	Encouraged				

Homestead District Residential Incentive Design Standards

Residential Types							
	Single Family Home	Residential Infill Development	Townhouse/Flat	Live/Work	Duplex to Quadplex	Rowhouse or Brownstone (along Phillips Street)	Residential Above Commercial (along Phillips Street)
Balcony/Balconies			Encouraged	Encouraged		Encouraged	Encouraged
Canopies, Awnings or Similar						Encouraged	Encouraged

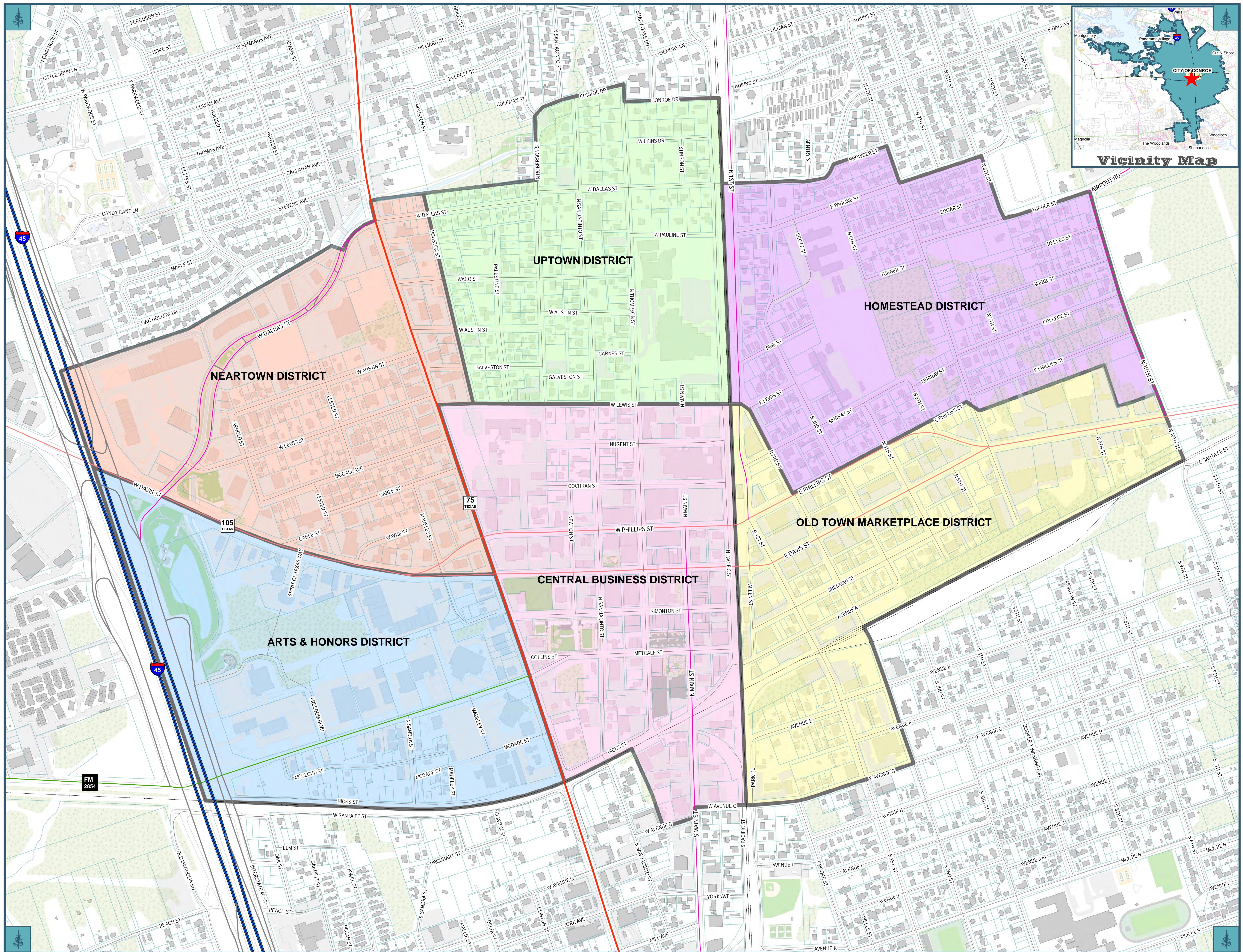
Materials *Buildings should be constructed of high-quality, durable materials that retain their appearance over time and can be economically maintained*

Class I Materials (75% of total building façade)	wood siding, clay fired brick, natural stone, masonry, cement stucco and glass
Class II Materials (25% of total building façade)	architectural metal, fiber cement siding, concrete brick, manufactured stone, and integrally colored split face block
Ineligible materials	EIFS, smooth-face concrete block, tilt-up concrete panel systems, metal panel systems, and vinyl and aluminum siding

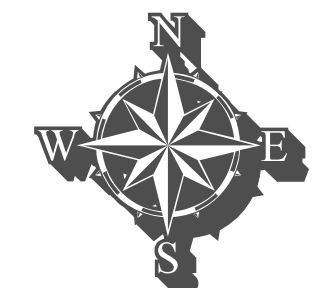
Parking	<i>S/A Townhouse</i>	<i>Encouraged</i>	Located behind the primary structure (the building and its relationship to the street is more important than visible parking)
----------------	----------------------	-------------------	---

Screening of Equipment

Refuse, Recycling and Storage	Located to rear or otherwise unnoticeable area and screened with a permanent enclosure in same architectural style, materials and color of building
Roof mounted equipment	Low profile, non-reflective and not visible from public streets, sidewalks and open areas
Solar Panels	Architecturally integrated into the roof or building form
Ground mounted equipment	Screened from view using permanent enclosure or maintained vegetation
Building mounted equipment	Avoid placing equipment on front façade of building



0 345 690 1,380 Feet



- Legend**
- Railroad
 - Tax Parcel
 - Streets
 - Buildings
 - ARTS & HONORS DISTRICT
 - CENTRAL BUSINESS DISTRICT
 - HOMESTEAD DISTRICT
 - NEARTOWN DISTRICT
 - OLD TOWN MARKETPLACE DISTRICT
 - UPTOWN DISTRICT

2021 Downtown Districts

Conroe, TEXAS