



Zoning Board of Adjustments Agenda

City Hall Council Chambers
211 E. Pleasant Run Road
DeSoto, Texas 75115

Chairperson Brandon Lewis
Vice Chairperson LaShonda Burnette
Board Member Brandee Jones
Board Member Lisa Speaks
Board Member Deborah North
Board Member Hope Stevens
Board Member Ivan Jacobs
Board Member Tamara Streeter

DATE: Tuesday, January 18, 2024

WORK SESSION: 6:00pm Council Chambers

REGULAR SESSION: 7:00pm Council Chambers

As authorized by Section 551.071(2) of the Texas Government Code, this meeting may be convened into closed Executive Session for the purpose of seeking confidential legal advice from the City Attorney on any agenda item listed herein.

A. WORK SESSION AGENDA:

1. Call to Order
2. Discuss all agenda items.

B. REGULAR SESSION - CALL TO ORDER

C. PLEDGE OF ALLEGIANCE

D. CONSENT AGENDA

Any item may be withdrawn from the consent agenda and acted on separately.
Approval of the Consent Agenda authorizes the approval of each item in accordance with Staff Recommendations.

1. Approval of Minutes

- a. Consider approval of minutes for Zoning Board of Adjustments regular meeting of June 28, 2023.

E. PUBLIC HEARING

1. Conduct Public Hearing and consider applicant's request for variance from Section 38 "Off-Street Parking and Loading Requirements", Subsection 38.3C "Nonresidential and MF Districts - Special Off-Street Parking Provisions" of the City's Comprehensive Zoning Ordinance in order to use gravel or flex base material instead of reinforced Portland Cement Concrete for a new outdoor storage equipment area at the recently reconstructed Oncor Lancaster Distribution Center located at 1220 E. Pleasant Run Road, DeSoto, Texas. The property owner is Texas Utilities Electric Company and the applicant is Oncor Electric Delivery. (ZBA Case No. B23-04)
2. Conduct Public Hearing and consider applicant's request for variance from Section 38 "Off-Street Parking and Loading Requirements", Subsection 36.6 "Parking Requirements Based On Use", Subsection 34 "Health Club, Health Spa or Exercise Club" of the City's Zoning Ordinance in order for the new occupant (EOS Fitness) to utilize the existing number of parking spaces as approved for the previous tenant (Albertsons Grocery Store) at the existing 56,014 square foot building located at 1300 W. Belt Line Road, DeSoto, Texas. This 4.976-acre tract of land is legally described as being Crystal Creek Ridge Replat, Block H, Lot 1A. The applicant and property owner is BBD DeSoto, LLC.

F. **ADJOURNMENT**

I, the undersigned authority, do hereby certify that this Notice was posted online on the City's website at www.desototexas.gov and on the bulletin boards located at City Hall located at 211 E. Pleasant Run Road, DeSoto, Texas 75115. This said Notice was posted on the following date and time: **01.12.2024 / 5:00pm**, and remained so posted at least two (2) hours after said meeting was convened.

Trent Carroll
Planning Technician

DeSoto Planning and Zoning Commission Meetings are broadcast live in their entirety on DeSoto's City Website www.desototexas.gov Government Access Channel 16 available to Spectrum subscribers and Channel 99 available to AT&T U-verse subscribers on the second and fourth Tuesday of each month at 7:00 p.m. A taped broadcast is aired each day on Channel 16 and Channel 99 at 10:00 a.m., 2:00 p.m., 7:00 p.m., and 11:00 p.m. following the live broadcast. Questions regarding the broadcast schedules or internet viewing should be directed to Kathy Jones, Community Relations Manager, at 972-230-9648. These taped broadcasts are also available to view on the City's website (www.desototexas.gov) at your convenience.

Zoning Board of Adjustments

D. a.

Meeting Date: 01/18/2024

Submitted For: Trent Carroll, Planning Technician
Phone: 972.230.9622

Contact: Trent Carroll, Planning Technician
Phone: 972.230.9622

AGENDA ITEM:

Consider approval of minutes for Zoning Board of Adjustments regular meeting of June28, 2023.

Attachments

06.28.23 ZBOA Minutes



ZONING BOARD OF ADJUSTMENTS BOARD
MINUTES OF REGULAR MEETING
TOWN CENTER - COUNCIL CHAMBERS
Tuesday, June 22, 2023

Present: Vice Chairperson LaShonda Burnette
Board Member Debrah North
Board Member Lisa Speaks
Board Member Carol Holmes

Staff Present: Bester Munyaradzi, Planning Manager
Juanara Jordan-Williams, Planner

A. **WORK SESSION AGENDA:**

Present members include: LaShonda Burnette, Debrah North, Lisa Speaks and Carol Holmes.

Work session began at 6:05pm.

1. Oath of Office: Carol Holmes

Board Member Carol Holmes was sworn into office.

2. Discuss all agenda items.

Planning Manager led discussion on ZBOA Case B23-03.

Work Session ended at 6:37pm.

B. **REGULAR SESSION - CALL TO ORDER**

C. **PLEDGE OF ALLEGIANCE**

The Pledge was led by Board Member Debrah North.

D. **CONSENT AGENDA**

Any item may be withdrawn from the consent agenda and acted on separately. Approval of the Consent Agenda authorizes the approval of each item in accordance with Staff Recommendations.

1. **Approval of Minutes**

a. 2.23.23 ZBOA Meeting Minutes

Motion by Vice Chairperson LaShonda Burnette, with second by Board Member Debrah North to approve meeting minutes for Thursday, Feb 23, 2023.

AYE: Vice Chairperson LaShonda Burnette
Board Member Debrah North
Board Member Lisa Speaks
Board Member Carol Holmes

E. **PUBLIC HEARING**

1. Conduct a public hearing and consider variance requests from Section 29.4.B.4 Minimum Rear Yard (to allow a canopy to encroach the required 25 feet rear yard setback) and Section 39.7.H. (to allow a 5 feet landscape setback along the east property line instead of the required 10 feet landscape setback) of the City of DeSoto's Zoning Ordinance. The applicant is Priya Archaya from Wier & Associates and the owner is SECBW Partners, LLC. (**Case #B23-02**).

Planning Manager Bester Munyaradzi gave staff report with a recommendation of approval.

Vice Chairperson LaShonda Burnette opens the Public Hearing at 7:24 pm.

Priya Acharya identified herself as the representative for Wier & associates Inc. and made herself available for any questions the board may have.

The public Hearing closed at 7:26pm

F. **ADJOURNMENT**

Motion by Board Member Debrah North, with second by Board Member Lisa
Speaks to adjourn the Zoning Board of Adjustment meeting on Thursday, June
22, 2023.

AYE: Vice Chairperson LaShonda Burnette
Board Member Debrah North
Board Member Lisa Speaks
Board Member Carol Holmes

LaShonda Burnette
Vice Chairperson Zoning Board of Adjustments

Juanara Jordan-Williams
Planning Technician

Date

Zoning Board of Adjustments

E. 1.

Meeting Date: 01/18/2024

Submitted For: Charles Brewer, Development Services Director

Phone: (469) 503-7565

COUNCIL ACTION

AGENDA ITEM:

Conduct Public Hearing and consider applicant's request for variance from Section 38 "Off-Street Parking and Loading Requirements", Subsection 38.3C "Nonresidential and MF Districts - Special Off-Street Parking Provisions" of the City's Comprehensive Zoning Ordinance in order to use gravel or flex base material instead of reinforced Portland Cement Concrete for a new outdoor storage equipment area at the recently reconstructed Oncor Lancaster Distribution Center located at 1220 E. Pleasant Run Road, DeSoto, Texas. The property owner is Texas Utilities Electric Company and the applicant is Oncor Electric Delivery. (ZBA Case No. B23-04)

BACKGROUND:

In association with Oncor proposing to demolish their existing 10,114 square foot service center building and replacing it with a new 15,100 square foot building (within their 17.83-acre tract of land located at 1220 E. Pleasant Run Road), a public hearing was conducted before the City Council on November 2, 2021 in order to consider Oncor's request to obtain a Specific Use Permit (SUP) as required by the City of DeSoto's Zoning Ordinance. This site was initially developed in 1969 with an office building, warehouse and automotive uses. With Oncor proposing to demolish the existing buildings within this 17.83-acre tract of land, the City's Zoning Ordinance required Oncor to obtain an SUP in order to re-establish an electric substation at this location. The Site Plan submitted to the City Council for consideration during the public hearing identified the reconstruction work within this 17.83-acre tract of land would not only include the construction of a new 15,100 square foot Service Center building but also the construction of 2 covered parking/storage areas, a fenced storage yard area and a future yard expansion area. Following the public hearing, a motion unanimously prevailed (by a vote of 6-0) to approve Oncor's SUP request.

Prior to completing the reconstruction of their new service center in 2023, Oncor began the process of submitting plans to the City's Development Services/Engineering Division in association with their plans to construct the future yard expansion area (i.e. proposed storage yard area as shown within their approved SUP Site Plan). *Oncor's plan for the expanded storage yard area was that the surface of this storage yard area was to be gravel or flex base.* No buildings were to be constructed within this storage yard area. The area would be fenced, lighted and secured. The proposed storage yard would not be visible from the public roads and would be partially surrounded by the existing trees within that section of their property. Oncor needs this additional space in order to store electrical poles and equipment onsite in order to better serve the city of DeSoto and surrounding communities.

On September 25, 2023 a virtual meeting was conducted between representatives of Oncor and the City's Development Services Department (DSD) in order to discuss the status of DSD completing its review of Oncor's construction plans for their Service Center Storage Yard Expansion Project at 1220 E. Pleasant Run Road. During the virtual meeting, DSD's Director

Brewer questioned the representatives of Oncor whether they were aware that: 1) the City's Zoning Ordinance establishes the requirement for all off-street parking, loading and storage areas to be paved with reinforced concrete pavement; and 2) the City's Floodplain Management Regulations establishes the requirement for new development within a Special Flood Hazard Area (SFHA) to meet the "2-foot Free-Board" requirement.

In response to Director Brewer's question about being aware of the City's Zoning Ordinance requiring off-street parking, loading and storage areas to be paved with reinforced concrete pavement, the representatives from Oncor responded that they were not aware....and they had not been informed of this City requirement since submitting their plans to the City several months prior.

In order to utilize gravel or flex base material as the paving surface for Oncor's proposed Service Center storage yard expansion area instead of with reinforced concrete pavement (which is a Zoning requirement), Oncor has submitted an Application For Appeal to Zoning Board of Adjustment (ZBOA) to staff requesting to obtain a variance from Section 38 "Off-Street Parking and Loading Requirements", Subsection 38.3 "Nonresidential and MF Districts - Special Off-Street Parking Provisions", Subsection C.

Public Hearing notices were mailed to all property owners within 200 feet of Oncor's property and a notice of public hearing was published in the December 31, 2023 edition of the City's paper of general circulation (FOCUS Daily News).

FINDINGS:

Section 38.3(C) of the City's Zoning Ordinance states:

All required off-street parking, maneuvering, loading and storage areas shall be paved in accordance with the parking lot requirements in the City's Code of Ordinances. Parking spaces shall be permanently and clearly identified by stripes, buttons, tiles, curbs, farriers, or other approved methods. Non-permanent type marking, such as paint, shall be regularly maintained to ensure continuous clear identification of the space.

Section 3.903 "Parking Lots", Subsection E of the City's Code of Ordinances states:

Pavement Surface. The parking lot surface shall be of reinforced Portland Cement Concrete in accordance with the City of DeSoto Standard Specifications for Public Works Construction.

FINANCIAL IMPACT:

NA

RECOMMENDATION:

Staff recommends approval of the applicant's request for variance as presented.

MANAGEMENT REVIEW



Attachments

Applicant's Application and Written Narrative

DCAD Map

FEMA FIRMette Map

Oncor Reconstruction Site Plan - Approved by SUP

Oncor Storage Yard Expansion Construction Plan Cover Sheet

Oncor Storage Yard Expansion Demolition Plan Sheet C2.0

Oncor Storage Yard Expansion Paving Plan Sheet C3.0

Oncor Storage Yard Expansion Site Plan Sheet C3.1

Zoning Ordinance - Section 38

Code of Ordinances - Section 3.903 Parking Lots



APPLICATION FOR APPEAL TO ZONING BOARD OF ADJUSTMENT (ZBOA)

Variance No.: _____

Meeting Date: _____

2006

Applicant: Oncor Electric Delivery – DeSoto Service Center Phone No.: 682-216-1932

Address: 1220 E. Pleasant Run Rd. DeSoto, TX 75115

Fax & Email Address: mindy.jameson@oncor.com

Applicant's Interest in Property (Check one):

Owner: ☒ Agent: _____ Lease: _____ Option/ Etc.: _____

Request is made herewith to the Board of Adjustment for a determination on the following appeal which was denied by the Administrative Official on the 19th day of September, 2023, for the reason indicated below.

It is requested that the Board:

- Hear and decide the question of an alleged error in an order of the Administrative Official involving: _____
- Grant a variance to Article _____, Section _____, Paragraph _____ of the Zoning Ordinance relating to: Area _____, Height _____, Parking _____, Yard X _____, Coverage _____, and/or Exterior Wall Standards _____.
- Permit the extension or rebuilding of a non-conforming use according to Section 9, Paragraph 9.3(B), of the Zoning Ordinance.
- Determine the discontinuance of a non-conforming use according to Section 9, Paragraph 9.6 (D), of the Zoning Ordinance.

**Requesting variance to use gravel/flex base in lieu of concrete for storage yard located at the Oncor Service Center property. Also requesting to fence the area without landscape screening.*

Location of property involved in Request: East of I-35E and south of Pleasant Run Rd.

Fee: Non-refundable Fee of \$1,000 per application

Application must include:

- A site plan showing this request (22 *folded* copies on ledger size paper – 24 x 36).
- Written narrative of why the Board of Adjustment should approve this request.
- Receipt showing that all City of DeSoto property taxes has been paid.

Present improvement on Land: New Building, pavement, fencing/gates, covered/non-covered parking areas, above ground fuel station and utilities

Present use of Premises: Oncor Service Center

Has a previous application or appeal been filed on these premises? _____ Yes ☒ No

I hereby certify that all the above information, and information contained in any supporting documents submitted herewith are true and accurate to the best of my knowledge and belief.

DocuSigned by:

Mindy Jameson
Owner Signature
D146259A2338405.. *Mindy Jameson*

11-28-23
Date

Mindy Jameson
Owner Name (Print)

11-28-23
Date

Received by the City of DeSoto in the amount of \$ _____
City Receipt No.: _____ Dated: _____

Agent for City of DeSoto



Application for Appeal to Zoning Board of Adjustment (ZBOA) – Oncor DeSoto Storage Yard Narrative

Oncor recently built a new service center at our existing property at 1220 E. Pleasant Run Rd. in DeSoto, TX. The previous building dated back to 1970, and Oncor has invested over \$10M to rebuild in DeSoto. This location will service more than 150,000 customers in DeSoto and surrounding cities. As we were building the service center, it became clear the current site would not allow enough space to store needed poles and equipment to support this growing location. Oncor began submitting plans for a storage yard in June of 2022. This property is located east of I-35E and south of Pleasant Run Rd. The plans included our intent to use gravel/flex base for the yard.

Below is a brief timeline of events that will show Oncor should be allowed to proceed as planned:

6-16-22: First Submittal to the City of DeSoto

8-11-22: Second Submittal to the City of DeSoto

9-22-22: Third Submittal to the City of DeSoto

6-29-23: Fourth Submittal to the City of DeSoto

7-12-23: Submitted CLOMR letter to be ran in the Focus News for the following 2 Sundays

7-12-23: Received email from City Engineer, John Creer, stating he would commence the review of the civil plans for the storage yard (also copied on the email: Moazzem Hossain, from the City of DeSoto).

8-01-23: John Creer responded that a 3rd party reviewer had been brought in to look at the plans.

The 3rd party reviewer had 2 questions regarding the CLOMR, which were answered promptly by our civil engineer (BGE) and drainage consultant (KCE Engineering):

1. Assuming the CLOMR has already been submitted to FEMA, the Engineer needs to provide signed/sealed MT-2 forms, along with a FEMA Case Number for the submitted CLOMR.

MT-2 forms were provided. CLOMR case # 22-06-2981R.

2. Has the Engineer received any comments back from FEMA? Specifically, we would like to see any FEMA comments related to the design, and therefore caused design changes.

FEMA review comments and responses were provided. Although there were some minor modeling comments that were addressed, the construction plans and overall design did not change as a result of any FEMA comments.

8-08-23: Approved CLOMR from FEMA was provided to City of DeSoto personnel including: John Creer, Moazzam Hossain, and Mohammed Howlader.

8-10-23: Received email from John Creer with a link to the 1st review submission. Mr. Creer asked civil engineer (BGE) to review and reply with a review response letter as well as with the revised full plan set (Mohammed Howlader is copied on this email).

8-17-23: Fifth Submittal to City of DeSoto. Mr. Creer emails the submittal is received and submitted to 3rd party for review (Mohammed Howlader is copied on this email).

8-23-23: Civil Engineer (BGE) asks Mr. Creer when we will get final comments.

8-30-23: Engage Kenneth Govan (Area Manager, Oncor) as we are not moving forward or getting responses back from the City of DeSoto.

8-31-23: John Creer responds via email to civil engineer (BGE). Mohammed Howlader is also copied on the email. Mr. Creer provided the 1st review red-line PDF plan set and letter. Mr. Creer asks that we address, provide a response letter and a revised full set.

9-05-23: Sixth Submittal to City of DeSoto – response to Mr. Creer’s email on 8-31-23 – all issues are addressed and sent back.

9-15-23: Phone call between Charles Brewer (City of DeSoto), Kenneth Govan (Oncor Area Manager), and Mindy Jameson (Oncor Project Mgr.). Mr. Brewer informs Oncor we still need to go through several departments for approval.

Civil Engineer mentions this to Mr. Creer, who informs us the current review process is covering all items associated with a civil review, which includes the drainage. Mr. Creer asks civil engineer (BGE) to “provide clarification on the presumption that there are additional reviews as well as whom noted to you/your colleagues that there were additional review requirements so we can make sure on our end all is covered?”.

9-18-23: John Creer sends the 2nd review red-line PDF plan set and letter. Again, Mr. Creer asks that BGE/Oncor address, provide a response letter and a revised full set.

9-18-23: Seventh Submittal to City of DeSoto.

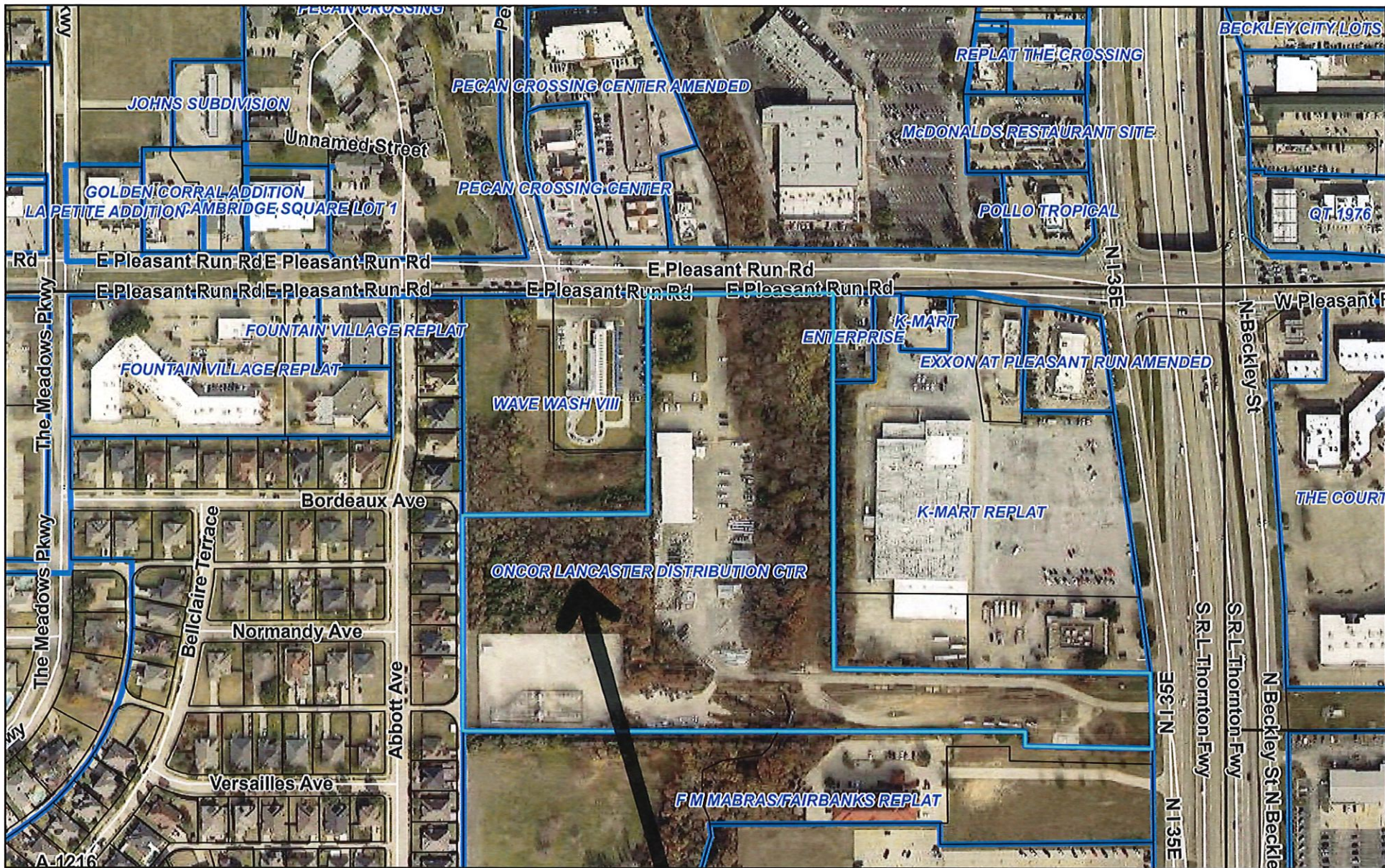
9-18-23: Moazzem Hossain responds to submittal. He states, “To my knowledge, civil / engineering review is completed. John will share the comments”.

9-18-23: John Creer responds to the email from Moazzem Hossain stating, “The civil review was not yet completed as of 9/18/23. However, we submitted comments to Justin this morning and he has since returned the 3rd review response package. We will have the 3rd party consultant review the 2-3 outstanding items towards all comments on the civil side being addressed. However, Charles may still need a/the meeting to ensure the acceptance of the civil plans towards the project being released”.

9-19-23: Kenneth Govan (Area Manager Oncor) sets up meeting with City of DeSoto’s Development Services Team. We are told the storage yard cannot have gravel or flex base, and Oncor must use concrete. This is the first time this is mentioned, and the storage yard is on hold pending ZBOA review. We also learned there is an ordinance requiring landscape screening around fenced yards. This was also something never mentioned before this meeting.

Oncor intends to continue our partnership with the City of DeSoto. We think using gravel or flex base is best for our location. Please consider allowing us to continue the construction of the storage yard as planned in order to better serve the City of DeSoto and surrounding communities.

DCAD Map - 1220 E. Pleasant Run Road (Oncor Distribution Center)



9/19/2023, 1:57:05 PM

 Parcels Subdivision Dallas County Boundary

 Abstracts Street Centerline

1:4,514

0 0.03 0.07 0.13 mi

0 0.05 0.1 0.2 km

Esri Community Maps Contributors, Baylor University, Texas Parks & Wildlife, © OpenStreetMap, Microsoft, CONANP, Esri, HERE, Garmin,

Dallas County Appraisal District, BIS Consulting - www.bisconsulting.com

Disclaimer: This product is for informational purposes only and has not been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of boundaries.

Proposed
Storage Yard
Area: 65,691 ft²

National Flood Hazard Layer FIRMette

96°49'53"W 32°36'25"N



Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99
	With BFE or Depth Zone AE, AO, AH, VE, AR
	Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
	Future Conditions 1% Annual Chance Flood Hazard Zone X
	Area with Reduced Flood Risk due to Levee. See Notes. Zone X
	Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X
	Effective LOMRs
	Area of Undetermined Flood Hazard Zone
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer
	Levee, Dike, or Floodwall

OTHER FEATURES	20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
	17.5 Coastal Transect
	Base Flood Elevation Line (BFE)
	Limit of Study
	Jurisdiction Boundary
	Coastal Transect Baseline
	Profile Baseline
	Hydrographic Feature

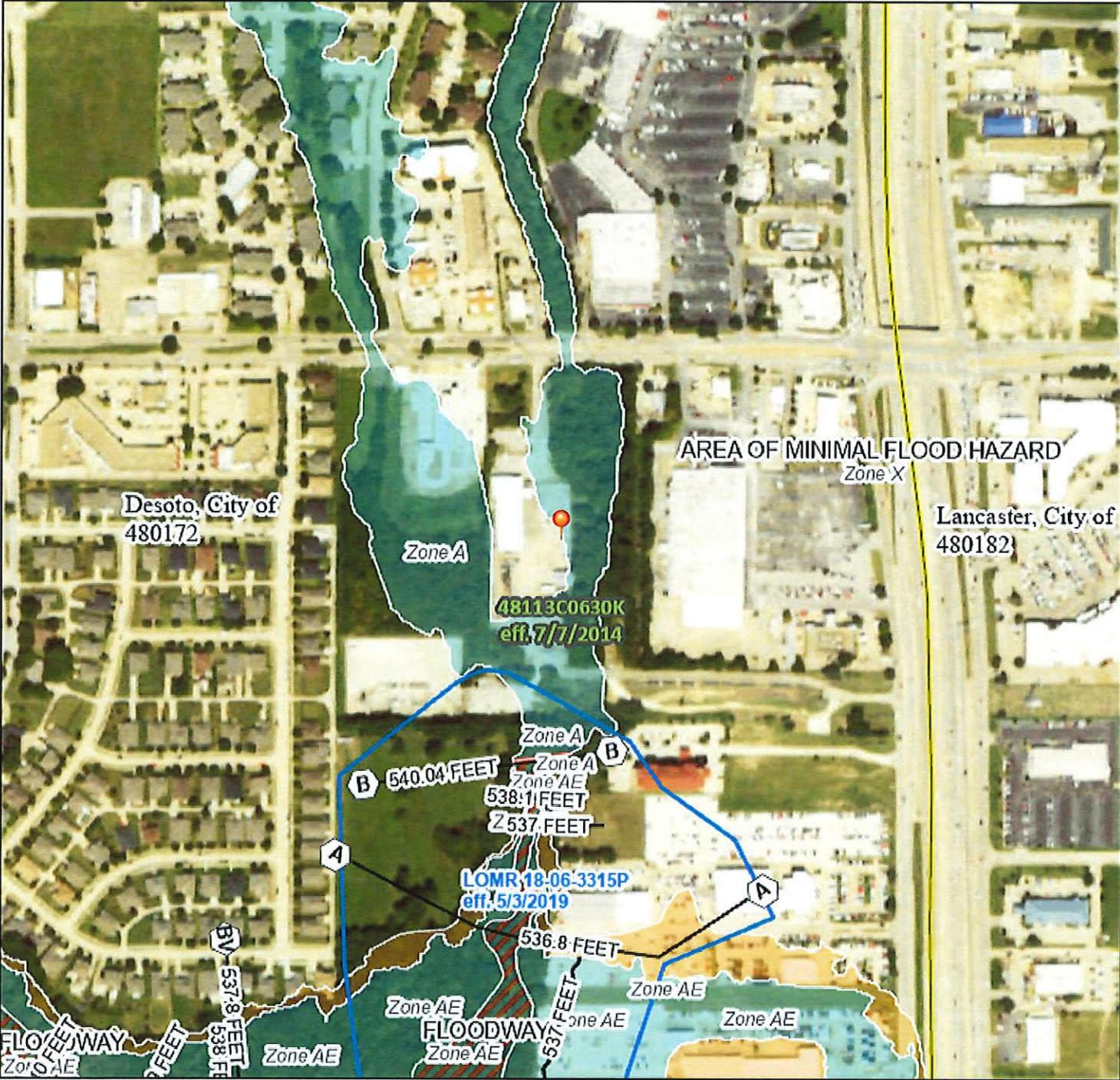
MAP PANELS	Digital Data Available
	No Digital Data Available
	Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 9/19/2023 at 6:40 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



0 250 500 1,000 1,500 2,000 Feet 1:6,000

96°49'15"W 32°35'55"N

PLEASANT RUN ROAD
(APPROXIMATE NORTH ARROW OF ROAD)

ONCOR SERVICE CENTER
1061 SF
15100 SF

LEGEND

KEY

NOTES

TABLE OF DIMENSIONS

NOTES

BEFORE YOU DO, CALL DOW TESS 1-800-DO-TESS

<p>BCE</p> <p>BCE, Inc. 2555 Dallas Parkway, Suite 601 Frisco, TX 75034 Tel: 972-454-4300 • www.bceinc.com TSP# Registration No. FV0436 Copyright ©</p> <p>OWNER/DEVELOPER JLL 8143 DOWLAND AVENUE DALLAS, TEXAS 75223 CONTACT: KATHY AUGUSTA Tel: 214-438-6342</p> <p>ARCHITECT MEFFMAN ANDERSON ARCHITECTS 200 W. HARRIS STREET DALLAS, TEXAS 75202 CONTACT: DEBRA KATZ Tel: 214-647-1058</p>	<p>ONCOR ELECTRIC CO.</p> <p>SITE PLAN</p> <p>ONCOR ELECTRIC CO.</p>	<p>FOR THE RELEASE AND DISSEMINATION OF THE INFORMATION CONTAINED HEREIN, THE FOLLOWING INFORMATION IS REQUIRED TO BE RELEASED TO THE PUBLIC:</p> <p>1. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED.</p> <p>2. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.</p> <p>3. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.</p> <p>4. THE INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE.</p>	<p>REVISIONS</p> <table border="1"> <thead> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>10/1/2011</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>2</td> <td>10/1/2011</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>3</td> <td>10/1/2011</td> <td>ISSUED FOR PERMIT</td> </tr> <tr> <td>4</td> <td>10/1/2011</td> <td>ISSUED FOR PERMIT</td> </tr> </tbody> </table>	NO.	DATE	DESCRIPTION	1	10/1/2011	ISSUED FOR PERMIT	2	10/1/2011	ISSUED FOR PERMIT	3	10/1/2011	ISSUED FOR PERMIT	4	10/1/2011	ISSUED FOR PERMIT
NO.	DATE	DESCRIPTION																
1	10/1/2011	ISSUED FOR PERMIT																
2	10/1/2011	ISSUED FOR PERMIT																
3	10/1/2011	ISSUED FOR PERMIT																
4	10/1/2011	ISSUED FOR PERMIT																

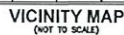
Future YAnd Expansion

ONCOR DESOTO SERVICE CENTER
BCT PROJECT NO. 0006-00

SARAH REAM ABSTRACT NO. 1216, PAGE 280
CITY OF DESOTO, DALLAS COUNTY, TEXAS

SUBMITTAL LOG

FIRST CITY SUBMITTAL	06/16/2022
SECOND CITY SUBMITTAL	08/11/2022
THIRD CITY SUBMITTAL	09/22/2022



Sheet Number	Sheet Title
C0.0	COVER SHEET
--	PLAT
C1.0	GENERAL NOTES
C2.0	DEMOLITION PLAN
C3.0	SITE, DIMENSION CONTROL, AND PAVING PLAN
C3.1	DESOTO YARD SITE PLAN
C4.0	EROSION CONTROL PLAN
C5.0	GRADING PLAN
C6.0	EXISTING DRAINAGE AREA MAP
C7.0	PROPOSED DRAINAGE AREA MAP
C8.0	CONSTRUCTION DETAILS

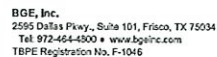
JLL
8343 DOUGLAS AVENUE
DALLAS, TEXAS 75225
CONTACT: MATT ABUSAMRA
TEL: 214-438-6352

MERRIMAN ANDERSON ARCHITECTS
300 N. FIELD STREET
DALLAS, TEXAS 75202
CONTACT: DEREK DIZON
TEL: 214-347-7058

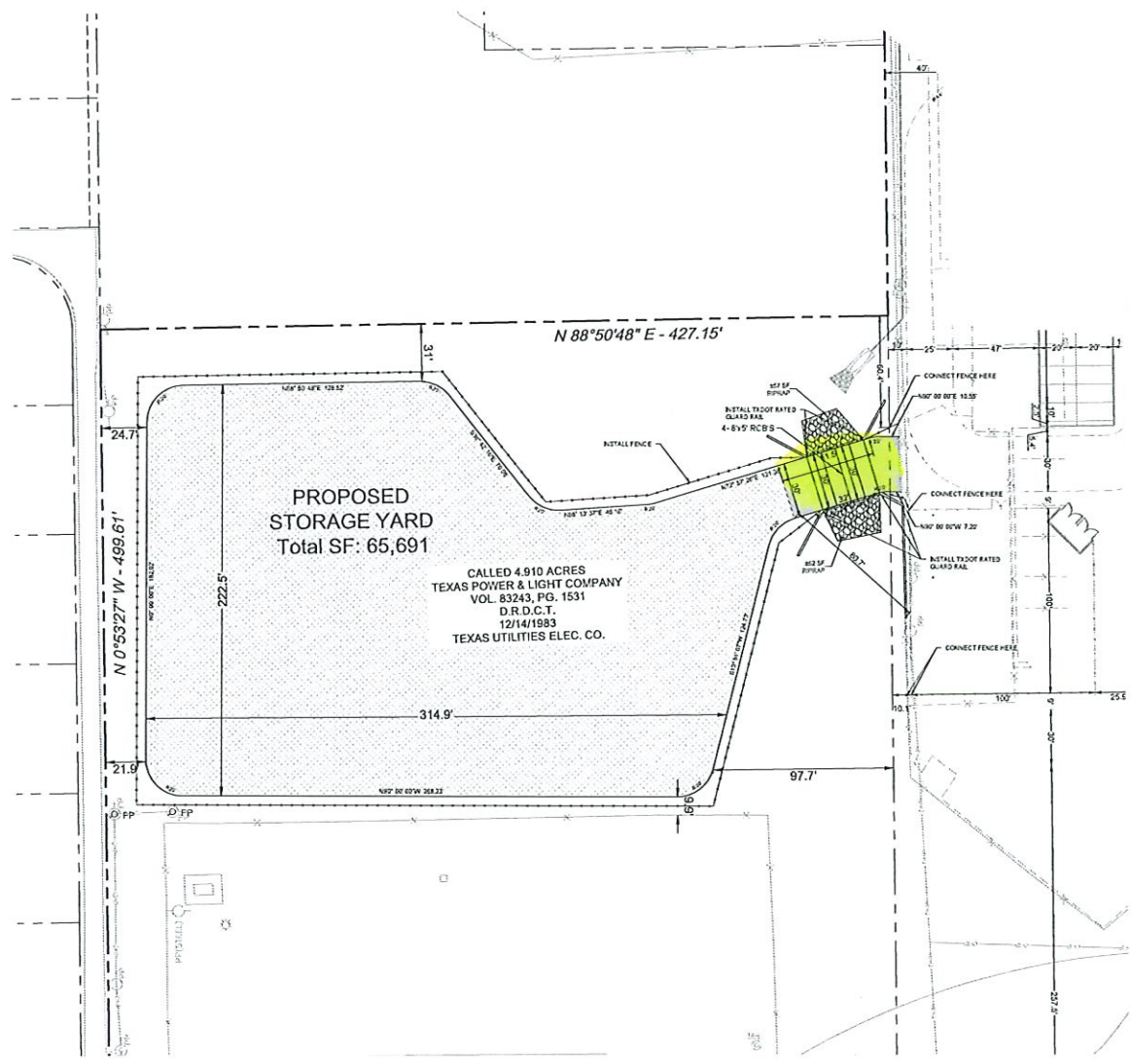


SITE BENCHMARK NO. 1 = TOP OF THE CENTER OF A SANITARY SEWER
MANHOLE LID, LOCATED APPROX. 20' NORTHEAST FROM THE MOST
NORTHEASTLY NORTHEAST CORNER OF THE SUBJECT PROPERTY
ELEVATION = 557.46'

SITE BENCHMARK NO. 2 = TOP OF THE CENTER OF A SANITARY SEWER
MANHOLE LID, LOCATED APPROX. 250' NORTHEAST FROM THE MOST
EASTERLY NORTHEAST CORNER OF THE SUBJECT PROPERTY
ELEVATION = 558.82'



Copyright 2023



- LEGEND**
- PROPERTY LINE
 - EASEMENT LINE
 - EXISTING MANHOLE
 - EXISTING FIRE HYDRANT
 - BARRIER FREE RAMP
 - POWER POLE
 - PROPOSED MANHOLE
 - PROPOSED IRRIGATION METER
 - PROPOSED DOMESTIC METER
 - PROPOSED GATE VALVE
 - FIRE DEPARTMENT CONNECTION
 - PROPOSED FIRE HYDRANT ASSEMBLY
 - PROPOSED AVE INLET
 - PROPOSED CURB INLET
 - BIKE RACKS

- KEY**
- TOP TYPICAL
 - BARRIER FREE RAMP
 - FF POWER POLE
 - FF EASEMENT
 - FF FIRE HYDRANT
 - FF FIRE HYDRANT
 - FF SEWER MANHOLE
 - FF STOP MANHOLE
 - FF LIGHT POLE
 - FF WIRE INLET
 - FF CURB INLET
 - FF FIRE DEPARTMENT CONNECTION

- NOTES:**
1. CONTRACTOR TO VERIFY ENGINEER'S EXISTING CONDITIONS SURVEY FROM THESE RECORDS.
 2. ALL WORK AND MATERIALS SHALL COMPLY WITH CITY AND COUNTY REGULATIONS AS WELL AS DRAINAGE STANDARDS.
 3. ALL DIMENSIONS ARE TO THE FACE UNLESS OTHERWISE NOTED.
 4. ALL FIRE LANE RACKS ARE 24 FEET MINIMUM.
 5. ALL FIRE LANE RACKS ARE 24 FEET MINIMUM.
 6. ALL FIRE LANE RACKS AND WARRING SHALL BE IN ACCORDANCE WITH ADA STANDARDS.
 7. REFER TO CITY OF DESOTO CONSTRUCTION DETAILS AND SPECIFICATIONS.
 8. ALL IF PARKING SPACES SHALL PROVIDE A 2' OVERHANG PER CITY OF DESOTO REQUIREMENTS.
 9. ALL SCREENING SHALL BE IN ACCORDANCE WITH CITY OF DESOTO REQUIREMENTS.
 10. CONTRACTOR TO COORDINATE WITH CITY TRAFFIC ENGINEER PRIOR TO INSTALLING ROAD SIGNS OR PAVEMENT MARKINGS.
 11. REFER TO LANDSCAPE AND ARCHITECTURAL PLANS FOR FINAL LANDSCAPE LAYOUT.
 12. CONTRACTOR TO COORDINATE WITH RESPECTIVE COMPANY FOR ANY NECESSARY PERMITS INCLUDING POWER POLES, LIGHT POLES AND ELECTRICAL RACKS.
 13. REFERENCE GEOTECHNICAL REPORT FOR BUILDING PAD AND PAVING SURFACE PREPARATION.

GEOTECH REPORT BY:
ECS SOUTHWEST, LLP
PROJECT NO.: 19-0530
DATE: DECEMBER 2, 2021
*INCLUDES ALL REVISIONS AND ADDENDUMS AFTER LISTED DATE



VERTICAL DATUM: NORTH AMERICAN
VERTICAL DATUM (NAVD 83)



BENCHMARK LIST

1	TOP OF THE CENTER OF A SANITARY SEWER MANHOLE LOCATED APPROX. 25' NORTH-EAST FROM THE MOST NORTH-EAST CORNER OF THE SUBJECT PROPERTY	ELEVATION = 557.46'
2	TOP OF THE CENTER OF A SANITARY SEWER MANHOLE LOCATED APPROX. 25' NORTH-WEST FROM THE MOST EAST-NORTH-EAST CORNER OF THE SUBJECT PROPERTY	ELEVATION = 558.87'

BEFORE YOU DIG, CALL DIG TESS 1-800-DIG-TESS

BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-454-4500 • www.bgeinc.com
TBE Registration No. F-1045
Copyright © 2020

OWNER/DEVELOPER
JLL
8343 DOUGLAS AVENUE
DALLAS, TEXAS 75225
Contact: MATT ABUSAMRA
Tel: 214-438-6552

ARCHITECT
MERRIMAN ANDERSON ARCHITECTS
300 NORTH FIELD STREET
DALLAS, TEXAS 75202
Contact: DEREK DIZON
Tel: 214-347-7068

SITE, DIMENSION CONTROL, AND PAVING PLAN
ONCOR ELECTRIC CO.
1220 EAST PLEASANT RUN ROAD
CITY OF DESOTO, DALLAS COUNTY, TEXAS

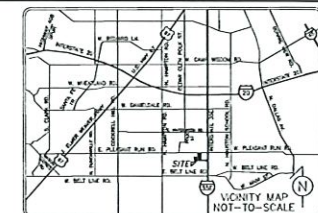
CAUTION!!
Contractor to verify exact location & depth of all utilities prior to any construction.

CAUTION!!
Contractor to verify exact location & depth of all utilities prior to any construction.

REVISION	DATE	DESCRIPTION

CHECKED BY: JFL
DESIGNED BY: TWC
DATE: JUNE 29, 2023
PROJECT NUMBER: 19-0530

SHEET NO.
C3.0



BGE, Inc.
2595 Dallas Parkway, Suite 101
Frisco, TX 75034
Tel: 972-454-4500 • www.bgeinc.com
TBPE Registration No. F-1046
Copyright 2000

OWNER/DEVELOPER

JLL
8343 DOUGLAS AVENUE
DALLAS, TEXAS 75225
Contact: MATT ABUSAMRA
Tel: 214.438.6352

ARCHITECT

MERRIMAN ANDERSON ARCHITECTS
300 NORTH FIELD STREET
DALLAS, TEXAS 75202
Contact: DEREK DIZON
Tel. 214-347-7068

STORAGE YARD EXPANSION

DESOTO YARD SITE PLAN

ONCOR ELECTRIC CO.

1220 EAST PLEASANT RUN ROAD
CITY OF DESOTO, DALLAS COUNTY, TEXAS



CAUTION !!

**Contractor to Verify exact location & Depth of
Exist Facilities Prior to any Construction**

CAUTION !!!
CONTACT: 1-800-DE

48 HOURS PRIOR TO CONSTRUCTION

REVISIONS		
REV NO	DATE	DESCRIPTION

CHECKED BY JFL
 DESIGNED BY TAG
 DATE JUNE 29th, 2023
 PROJECT NUMBER 8305-00

SLEEPING

C3.1

BEFORE YOU DIG, CALL DIG TESS
1-800-DIG-TESS

VERTICAL DATUM, NORTH AMERICA
VERTICAL DATUM (NAVD 88)



BENCH MARK LIST

BENCH MARK LIST

SITE BENCHMARK NO. 1 = TOP OF THE CENTER OF A SANITARY SEWER MANHOLE I.D. LOCATED APPROX. 20' NORTH-EAST FROM THE MOST NORTHERLY NORTH-EAST CORNER OF THE SUBJECT PROPERTY
ELEVATION = 557.44'

SITE BENCHMARK NO. 2 = TOP OF THE CENTER OF A SANITARY SEWER MANHOLE I.D. LOCATED APPROX. 250' NORTH-WEST FROM THE MOST EASTERLY NORTH-EAST CORNER OF THE SUBJECT PROPERTY
ELEVATION = 568.87'

SECTION 38

OFF-STREET PARKING AND LOADING REQUIREMENTS

38.1 PURPOSE:

To secure safety from fire, panic, and other dangers; to lessen congestion on public streets; to facilitate the adequate provision of transportation; to conserve the value of buildings; and to encourage the most appropriate use of land. Minimum off-street parking and loading shall be provided as set forth in the following schedules and provisions.

38.2 RESIDENTIAL DISTRICTS - SPECIAL OFF-STREET PARKING PROVISIONS

- A. Required off-street parking shall be provided on the same site as the use it is to serve.
- B. No parking shall be allowed except on a paved concrete parking space. All driveways and approaches to required parking spaces shall be similarly paved except in the SF-CE and SF-E district on lots three (3) acres or larger.
- C. No required parking space, garage, carport, or other automobile storage space shall be used for the storage of any heavy load vehicle (see definitions for heavy load vehicle). In the SF-8, SF-9, SF-10, SF-12, SF-15, SF-20 and SF-A Districts, a boat or recreational vehicle including a motor home or travel trailer may be parked or stored on the residential premises of the owner provided that such boat, vehicle or motor home may be parked or stored only within that portion of the residential lot which is located to the rear of the required front yard line.
- D. In the SF-CE, SF-E, SF-20, SF-15, SF-12, SF-10, SF-9, SF-8 and 2F Districts, all garage driveway connections shall be from an alley and no garage opening/entrance shall face the front of the lot unless a waiver is granted pursuant to DeSoto Subdivision Ordinance. In areas where no alley is available, garage driveway connections may be from the street; however, no garage opening/entrance shall face the front of the lot. A garage that is front facing (entrance to garage faces the front of the lot), which sits to the back of the house and is accessed through a porte cochere or breeze way is permitted provided, a wrought iron or tubular steel gate is erected across the porte cochere opening to provide screening. For the purpose of this section a porte cochere is defined as a covered entrance leading through a building into an inner courtyard located behind the building. (Amended July 3, 2007 Ordinance 1732-07)
- E. For lots that are on a corner, access must be provided from the more minor street of the two adjoining streets. (Added May 6, 2008 Ordinance 1781-08)

38.3 NONRESIDENTIAL AND MF DISTRICTS - SPECIAL OFF-STREET PARKING PROVISIONS

- A. To prevent nuisance situations, all parking area lighting shall be designed and operated so as not to reflect or shine on adjacent properties and in accordance with the standards established in Section 44.
- B. For safety and fire-fighting purposes, free access through to adjacent nonresidential parking areas shall be provided in accordance with Section 38.10.
- C. All required off-street parking, maneuvering, loading and storage areas shall be paved in accordance with the parking lot paving requirements in the City's Code of Ordinances.

Parking spaces shall be permanently and clearly identified by stripes, buttons, tiles, curbs, barriers, or other approved methods. Non-permanent type marking, such as paint, shall be regularly maintained to ensure continuous clear identification of the space.

- D. Each standard off-street surface parking space size shall be in accordance with the design standards as shown on Illustration 10 for space size and design. Specific parking space sizes, exclusive of aisles, driveways and maneuvering areas shall be in accordance with the following minimum sizes:
1. Standard: Nine feet (9') by eighteen feet (18')
 2. Compact: Nine feet (9') by sixteen feet (16')
 3. Parallel: Eight feet (8') by twenty-two feet (22')
- E. All parking and loading spaces, and vehicle sales areas on private property shall have a vehicle stopping device installed so as to prevent parking of motor vehicles in any required landscaped areas, to prevent vehicles from hitting buildings, and to prevent any parked vehicle from overhanging a public right-of-way line, public sidewalk, or adjacent private property. An extra-wide sidewalk on private property may be permitted so as to allow encroachment of vehicle overhang while maintaining an unobstructed three-foot (3') minimum sidewalk width. The requirement shall apply only where spaces are adjacent to the walks, right-of-way, and required landscaping. Parking shall not be permitted to encroach upon the public right-of-way in any case. All vehicle maneuvering shall take place on-site. No public right-of-way shall be used for backing or maneuvering into or from a parking space, or for circulation within the parking lot.
- F. In all nonresidential and multi-family zoning districts, the perimeter of all parking lots and driveways shall be provided with concrete curbs or other means to control traffic; all interior parking lots or areas shall provide a six-foot (6') landscaped median at a minimum of every four (4) lanes unless otherwise approved on the site plan by the Planning and Zoning Commission. (Revised May 6, 2008 Ordinance 1781-08)
- G. Refuse storage facilities placed in a parking lot shall not be located in a designated parking or loading space. Each refuse facility shall be located so as to facilitate pickup by refuse collection agencies. Adequate reinforced paved areas shall be provided for refuse facilities and their approaches for loading and unloading.
- H. Handicap parking space(s) shall be provided according to State and Federal regulations.
- I. In all nonresidential and multi-family zoning categories, designated parking and loading areas shall not be used for the repair, storage, dismantling or servicing (except for normal maintenance of a private vehicle) of vehicles or equipment; or for the storage of materials or supplies, or for any other use in conflict with the designated parking and loading areas (i.e., advertising or open storage of raw materials).
- J. To ensure that all requirements set forth in this section are carried forward, it will be the responsibility of the owner of the parking area to adequately maintain the facility. All off-street parking areas shall be kept free of trash, debris, vehicle repair operation or display and advertising uses. At no time after initial approval of the parking area layout can changes be made in the location and number of provided spaces without approval of the Planning and Zoning Manager.
- K. Off-street stacking requirements for drive-through facilities.
1. A stacking space shall be an area on a site measuring eight feet (8') by twenty feet (20') with direct forward access to a service window or station of a drive-through facility which does not constitute space for any other circulation driveway, parking space, or maneuvering area.
 2. For financial institutions with drive-through facilities, each teller window or station, human or mechanical, shall be provided with a minimum of five (5) stacking spaces.
 3. For each service window of a drive-through restaurant, a minimum of six (6) spaces shall be provided from the location of the order window.

4. For kiosks, a minimum of two (2) stacking spaces for each service window shall be provided.
5. For each full service car wash, vacuum or gas pump lane, a minimum of seven (7) stacking spaces shall be provided.
6. For each self-service (drive-through/automated) wash bay, a minimum of three (3) stacking spaces in addition to the wash bay shall be provided.
7. For each self-service (open bay), a minimum of two (2) stacking spaces in addition to the wash bay shall be provided.
8. For automobile quick lube facilities, a minimum of three (3) stacking spaces in addition to the service bay shall be provided.
9. Kindergartens, elementary schools, day schools, and similar child training and care establishments shall provide one (1) paved off-street pedestrian loading and unloading space for an automobile on a through "circular" drive for each ten (10) students cared for excluding child care in a residence. An additional lane shall also be required to allow pass by or through traffic to move while automobiles waiting or parked to pick up children occupy loading/unloading areas.

38.4 OFF-STREET LOADING SPACE - ALL DISTRICTS

- A. All retail, commercial, industrial and service structures shall provide and maintain off-street facilities for receiving and loading merchandise, supplies and materials within a building or on the lot or tract. All drives and approaches shall provide adequate space and clearances to allow for the maneuvering of trucks off-street. Each site shall provide a designated on-site maneuvering area for trucks (see Illustration 2). Such off-street loading space may be adjacent to a public alley or private service drive or may consist of a truck berth within the structure. Such off-street loading space or truck berth shall consist of a minimum area of ten by forty-five feet (10' X 45') and such spaces or berths shall be provided in accordance with the following schedule:

<u>SQUARE FEET OF GROSS FLOOR AREA IN STRUCTURE</u>	<u>MINIMUM REQUIRED SPACES OR BERTHS</u>
0 to 10,000	None
10,001 to 50,000	1
50,001 to 100,000	2
100,001 to 200,000	3
Each additional 100,000	1 additional

- B. Along major thoroughfares, loading docks or overhead rolling steel doors shall not be constructed facing the front of the lot, unless such loading dock or overhead rolling steel doors are set back a minimum of seventy-five feet (75') from the right-of-way line of the street or highway on which said loading dock fronts and is visually screened from "line of sight" measured from a vertical height of five feet (5') from such major thoroughfare, see Section 38.4. E for industrial district setback reductions. Screening shall be subject to the following standards:
1. Screening shall be equivalent to a brick masonry wall six feet (6') in height.
 2. A living screen or living screen and berm of equal height may be substituted upon approval of the Planning and Zoning Commission. Living screen materials shall be in accordance with the City of DeSoto's approved plant list.
 3. Screening shall be provided for a linear distance equal to the length of the area where the loading docks are exposed to the public street.
- C. Loading docks on streets other than major thoroughfares shall not be constructed facing the front of the lot, unless a minimum setback of seven-five feet (75') is provided from the right-of-way line of the street or highway on which said loading dock fronts (see Illustration 2), see Section 38.4. E for industrial district setback reductions.

- D. Loading docks for any establishment which customarily receives goods between the hours of 9:00 p.m. and 8:00 a.m. and is adjacent to a residential use or district shall be designed and constructed so as to enclose the loading operation on three sides, in order to reduce the effects of the noise of the operation on adjacent residences.
- E. Properties located within the Light Industrial (LI) or Industrial (I) Districts may reduce the required seventy-five foot (75') setback established in Section 38.4.B or Section 38.4.C to fifty feet (50'). Setbacks and standards within Section 43.9, referring to Wintergreen Road, shall not be reduced.

38.5 PARKING ACCESS FROM A PUBLIC STREET - ALL DISTRICTS

- A. In the approval of a Detailed Site Plan, design consideration shall be given to providing entrance/exit drives which extend into the site to provide adequate queuing of vehicles on the site.
- B. In all Districts (except all Single-Family and Duplex Zoning Districts) building plans shall provide for entrance/exit drive(s) appropriately designed and located to minimize traffic congestion or conflict within the site and with adjoining public streets as approved by the Managing Director of Development Services or designated representative.
 - 1. Based upon analysis by the City, if projected volumes of traffic entering or leaving a development are likely to interfere with the projected peak traffic flow volumes on adjoining streets, additional right-of-way and paving in the form of a deceleration lane or turn lane may be required of a developer in order to reduce such interference.
 - 2. The determination of additional right-of-way or paving requirements shall be made at the time the final site plan is submitted for approval.
- C. Vehicular access to non-residential uses shall not be permitted from alleys serving residential areas.
- D. Parking space configuration, location, arrangement, size and circulation in all Districts shall be constructed according to Illustration 10.
- E. No parking shall be permitted on grass, landscaped or other permeable surface.

38.6 PARKING REQUIREMENTS BASED ON USE:

In all Districts, there shall be provided at the time any building or structure is erected or structurally altered, or change of use, off-street parking spaces in accordance with the following requirements:

- 1. Adult Day Care Center: One (1) space per ten (10) participants plus one (1) space per caregiver, plus one (1) space for each bus or van. (Revised 5/6/08 Ordinance 1781-08)
- 2. Assisted living: 0.7 spaces per dwelling unit or room intended for occupancy, plus one space per three hundred (300) square feet of office or similar space.
- 3. Auto repair, major and auto repair minor: Three (3) spaces per service bay and one (1) parking space per employee, but in no case shall there be fewer than five (5) parking spaces. No service bay shall serve as a required parking space.
- 4. Auto Glass and Seat Covers/ Upholstery: Three (3) spaces per service bay and one (1) parking space per employee, but in no case shall there be fewer than five (5) parking services. No service bay shall serve as a required parking space.
- 5. Automobile parts sales (indoors): One (1) space per five hundred (500) square feet of indoor floor area plus one (1) space for each 2,000 square feet of outside sales area. A service bay shall serve as a required parking space.

6. Automobile sales or service: See Motor - Vehicle Sales
7. Auto Muffler Shop: Three (3) spaces per service bay and one (1) parking space per employee, but in no case shall there be fewer than five (5) parking spaces. No service bay shall serve as a required parking space.
8. Bail Bond Services: One (1) space for each three hundred (300) square feet of floor area. (Added October 17, 2006 Ordinance No. 1690-06)
9. Bank, Savings and Loan, or similar institution: One (1) space per two hundred (200) square feet of gross floor area
10. Bed and breakfast facility: One (1) space per guest room in addition to the requirements for a normal residential use. Guest parking areas must be screened from all streets. No parking shall be allowed in the front yard area.
11. Beer and Wine Package Sales Establishment: One (1) space for each two hundred (200) square feet of floor area. (Added October 6, 2009 Ordinance 1832-09)
12. Bike (bicycle) Sales and Service: One (1) parking space for each three hundred (300) square feet of floor area, excluding the service and repair area, and one (1) parking space for each 1000 square feet used for service and repair, or fraction thereof. (Added April 15, 2003 Ordinance No. 1526-03)
13. Bowling alley or center: Six (6) parking spaces for each alley or lane
14. Bus or truck repair, storage area, or garage: One (1) space for each five hundred (500) square feet of floor area and repair garage with a minimum of five (5) spaces
15. Business or professional office (general): One (1) space per three hundred (300) square feet of gross floor area except as otherwise specified herein
16. Car wash (self serve): One (1) space per washing bay or stall in addition to the washing area or stall themselves; Car wash (full service): One (1) space per one hundred fifty (150) square feet of floor area.
17. Cash for Gold Establishment: One (1) parking space for each three hundred (300) square feet of floor area. (Added 7/17/12 Ordinance 1921-12)
18. Child Care Center/ Day Care Center: One (1) space per ten (10) pupils plus one (1) space per teacher, plus one (1) space for each bus or van. (Revised 5/20/08 Ordinance 1782-08)
19. Church, rectory, or other place of worship: One (1) parking space for each three (3) seats in the main auditorium/sanctuary or number of people who regularly attend worship services if the church does not have an auditorium or sanctuary.
20. Cigar Lounge: One (1) space for each 200 square feet contained in the retail area and one (1) parking space for each thirty (30) square feet of gross floor area within the lounge or one (1) space for every two (2) persons under maximum capacity in the lounge, whichever is greater. (Added 7/20/10 Ordinance 1854-10)
21. College or University: One (1) space per three (3) day students
22. Community Center, Library, Museum, or Art Gallery: Ten (10) parking spaces plus one (1) additional space for each three hundred (300) square feet of floor area in excess of two thousand (2,000) square feet. If an auditorium is included as a part of the building, its floor area shall be deducted from the total and additional parking provided on the basis of one (1) space for each four (4) seats that it contains
23. Commercial Amusement (indoor): One (1) space per one-hundred (100) square feet of gross floor area, or as follows:
 - a. Racquetball or handball courts - Three (3) spaces for each court
 - b. Indoor tennis courts - Six (6) spaces for each court
 - c. Gymnasium, skating rinks, and martial arts schools - One (1) space for each three (3) seats at a maximum seating capacity, plus one (1) space for each two hundred (200) square feet
 - d. Swimming pool - One (1) space for each one hundred (100) square feet of gross water surface and deck area
 - e. Weight lifting or exercise areas - One (1) space for each one hundred (100) square feet
 - f. Bingo parlors - One (1) space for three (3) seats (design capacity) or one (1) per one hundred (100) square feet of total floor area, whichever is greater

- g. Indoor jogging or running tracks - One (1) space for each one hundred (100) linear feet
 - h. Motion picture theaters (which do not include live performances): a) one (1) space per three and one-half (3½) seats for single-screen theaters; b) one (1) space per five (5) seats for motion picture theaters with two (2) or more screens.
 - i. Amusement Center - One (1) space for each game table and one (1) space for each amusement device
 - j. All areas for subsidiary uses not listed above or in other parts of this section (such as restaurants, office, etc.), shall be calculated in with the minimum specified for those individual uses
19. Commercial amusement (outdoor) - Ten (10) spaces plus one (1) space for each five hundred (500) square feet over five thousand (5,000) square feet of building and recreational area.
 20. Commercial Use - One (1) space per two hundred fifty (250) square feet of floor area
 21. Continuing Care Retirement Home: One (1) space for each dwelling unit
 22. Contractor's Shop With or Without Outdoor Storage: One (1) space for each five thousand (5000) square feet of warehouse use, one (1) space for each three hundred (300) square feet of non-warehouse use, except in no case shall there be fewer than five (5) spaces. (Revised May 20, 2008 Ordinance 1782-08)
 23. Convenience store (with gasoline pumps): One (1) space per two hundred (200) square feet of floor area plus one (1) space for each three (3) gasoline pump units (a unit may have up to six (6) nozzles for gasoline disbursement). Spaces in pump areas qualify as spaces for the parking requirement. If no gasoline sales are provided, then the parking requirements shall be the same as for a retail store.
 24. Dance Hall, Aerobics, Assembly or Exhibition Hall Without Fixed Seats: One (1) parking space for each one hundred (100) square feet of floor area thereof
 25. Defensive Driving School/Class: One (1) space for each classroom seat.
 26. Entertainment Venue: One (1) parking space for fifty (50) square feet of gross floor area or one (1) space for every three (3) persons under maximum capacity, whichever is greater; plus one parking space for each employee on shift for the shift with the most employees. (Added 7/6/10 Ordinance 1852-10)
 27. Firewood Sales: One (1) space for each 1,000 square foot of area that is being used to store and display the firewood. This does not mean a calculation of the exact spot where the wood is resting on the ground, but rather a calculation of the general rectangular area or areas in which the piles of firewood are located. A minimum of five (5) parking spaces is required for customers, plus one (1) parking space for each employee. (Added 6/19/12 Ordinance)
 28. Flea Market: One (1) space for each two hundred (200) square feet of floor or sales area. Dirt or gravel parking lots are not permitted.
 29. Fraternity, Sorority, or Dormitory: One (1) parking space for each two (2) beds on campus, and one and one-half (1½) spaces for each two beds in off campus projects.
 30. Furniture or Appliance Store, Hardware Store, Wholesale Establishments, Clothing or Shoe Repair or Service: Two (2) parking spaces plus one (1) additional parking space for each three hundred (300) square feet of floor area over one thousand (1,000).
 31. Gasoline Station: One (1) space per two hundred (200) square feet of floor area. Adequate space shall be provided for waiting, stacking, and maneuvering automobiles for refueling.
 32. Golf Course: Four (4) parking spaces per hole or green plus requirements for retail, office, and club house areas and one (1) space per each two (2) employees
 33. Golf Driving Range: One and one-half (1½) spaces for each driving tee
 34. Health Club, Health Spa or Exercise Club: One (1) space per one hundred fifty (150) square feet of floor area
 35. Hospital: One (1) space for each two (2) beds or examination room whichever is applicable
 36. Hotel: One (1) space per room for the first two hundred fifty (250) rooms and .75 space per room for each room over two hundred fifty (250), plus one (1) space per

- five (5) restaurant/lounge area seats, plus one (1) space per one hundred twenty-five (125) square feet of meeting/conference areas. One and one-tenth (1.1) spaces per room which contains kitchenette facilities, plus parking for restaurant and meeting areas per ratio stated in this paragraph. Two (2) spaces per guest room provided with kitchen facilities plus parking for restaurant and meeting areas per the ratio stated in this paragraph.
37. Industrial (Light) Uses: One (1) space for each one thousand (1,000) square feet of floor area
 38. Institutions of a Philanthropic Nature: Ten (10) spaces plus one (1) space for each employee.
 39. Library or Museum: Ten (10) spaces plus one (1) space for every three hundred (300) square feet
 40. Lodge or Fraternal Organization: One (1) space per two hundred (200) square feet
 41. Long Term Care Facility: One (1) space for each two (2) beds or examination room, whichever is applicable. (Added 11/4/2008 Ordinance No. 1809-08)
 42. Lumber Yard: One (1) space per four hundred (400) square feet display area, plus one (1) space per one thousand (1,000) square feet of warehouse
 43. Machinery or Heavy Equipment Sales: One (1) space per five hundred (500) square feet of gross floor area
 44. Manufacturing, Processing or Repairing: One (1) space for each two (2) employees or one (1) space for each one thousand (1,000) square feet of total floor area, whichever is greater.
 45. Medical or Dental Office: One (1) space per two hundred (200) square feet of floor area. Facilities over 20,000 square feet shall use the parking standards set forth for hospitals.
 46. Mini-Warehouse: Four (4) spaces per establishment plus (1) one additional space per ten thousand (10,000) square feet of storage area
 47. Multi-Family Residential Uses: See specific criteria given in Section 24.4(E).
 48. Mobile Home or Mobile Home Park: Two (2) spaces for each mobile home plus additional spaces as required herein for accessory uses
 49. Mortuary or Funeral Home: One (1) space for each employee, plus one (1) parking space for each 300 square feet or portion thereof of the buildings total square footage used for offices and waiting/ seating areas, and one (1) parking space for each (3) three seats under maximum seating in each room used for services, public viewing, or other rooms used for similar purposes. (Revised 6/19/12 Ordinance)
 50. Motel: One (1) parking space for each sleeping room or suite plus one (1) additional space for each two hundred (200) square feet of office or retail floor area contained therein
 51. Motor Freight Company: One space for each 300 square feet of office space and one (1) space for five thousand (5000) square feet of gross floor area, or one (1) space for each employee with a minimum of five (5) spaces, whichever is greater. (Added 11/18/2008 Ordinance No. 1811-08)
 52. Motor-Vehicle Sales and New or Used Car Lots: One (1) parking space for each five hundred (500) square feet of sales floor for indoor uses, or one (1) parking space for each one thousand (1,000) square feet of lot area for storage, sales and parking area, whichever is greater
 53. Office (administrative or professional): One (1) space for each three hundred (300) square feet of floor area
 54. Outdoor Display: One (1) space for each six hundred (600) square feet of open sales/display area
 55. Places of Public Assembly Not Listed: One (1) space for each three (3) seats provided
 56. Race track, horses or dogs: One (1) for each three (3) seats plus one (1) space for each employee. Stable areas shall provide storage areas for horse trailers according to Section 38.4.
 57. Real Estate Office: One (1) space for each two hundred (200) square feet.
 58. Retail or Personal Service Establishment, Except as Otherwise Specified Herein: One (1) space per two hundred (200) square feet of gross floor area

59. Retail Tobacco Store: One (1) space for each two hundred (200) square feet of floor area. (Added 8/18/2009 Ordinance 1826-09)
60. Restaurant, Private Club, Night Club, Cafe or Similar Recreation or Amusement Establishment: One (1) parking space for each one hundred (100) square feet of seating or waiting area or one (1) space for every three (3) seats under maximum seating arrangement, whichever is greater
61. Rooming or Boarding House: One (1) parking space for each sleeping room
62. School, Elementary (grades K-6): One (1) parking space for each fifteen (15) students (design capacity)
63. School, Secondary, or Middle (grades 7-8): One (1) parking space for each twelve (12) students (design capacity)
64. School, High School (grades 9-12): One space for each three (3) students, faculty and staff (design capacity)
65. Skilled Nursing Facility: One (1) space per six (6) beds and one (1) parking space for each one thousand (1,000) square feet of lot area for outdoor uses
66. Sports Facility (Indoor): Parking for this use is based on the different facilities that may be provided, as contained below. If a proposed business believes the parking requirements denoted are more than is needed for their proposed use or uses, less parking may be required if a Parking Analysis is completed by a qualified Professional Engineer, which has experience in completing parking analysis, which delineates the need for less parking. (Added August 19, 2008, Ordinance 1793-08)

If staff cannot concur with the Parking Analysis provided, this decision can be appealed to the Planning & Zoning Commission. If the Planning Commission cannot support the Parking Analysis, this decision can be appealed to the City Council.

Prior to receiving a Building Permit or a Certificate of Occupancy, a business proposing this use must provide detailed information that denotes how each portion of the facility will be used and how it will be operated.

- a. Office Space: One (1) space for each three hundred (300) square feet of office area.
- b. Gymnastic Center: One (1) space for each one hundred (100) square feet of area. Parking spaces required, based on area, can be applied toward the parking spaces needed for spectators; if there will be meets and competitions as part of the use.
- c. Wrestling/ Martial Arts: One (1) space for each one hundred (100) square feet of area.
- d. Basketball/ Volleyball Courts: One (1) space for each one hundred & fifty (150) square feet of area.
- e. Hockey/ Skating Rink: One (1) space for each two hundred (200) square feet of area. Parking Spaces required, based on the area, can be applied toward the parking spaces needed for spectators; if there will be meets and competitions as part of the use, except for 40 spaces.
- f. Soccer/ Football Field: One (1) space for each three hundred (300) square feet of area.
- g. Tennis Courts: Six (6) spaces for each court.
- h. Swimming Pool: One (1) space for each one hundred (100) square feet of gross water area. Parking spaces required, based on area, can be applied toward the parking spaces needed for spectators; if there will be meets and competitions as part of the use.
- i. Racquetball/ Handball Courts: Three (3) spaces per court.
- j. Health and Fitness Facility: One (1) space for each one hundred (100) square feet of area.
- k. Jogging or Running Track: One (1) space for each one hundred (100) linear feet.
- l. Batting Cages: One and one-half (1 ½) parking spaces per batting cage.
- m. Meeting and Conference Rooms: One (1) space for each three (3) seats provided; based on maximum seating capacity.

- n. Snack Bar and Lounge Area: One (1) parking space for each one hundred (100) square feet of seating area or one (1) space for every three (3) seats under maximum seating arrangement, whichever is greater.
- o. Party Facility: One (1) space per one hundred (100) square feet of area or one (1) space for each three (3) seats provided, whichever is greater.
- p. The parking for any use not stated above shall be one (1) space for each one hundred (100) square feet of area.

If the areas that will house any of the sports listed above will also be used for competition or meets, additional parking must be provided for spectators as follows: one (1) space for each three (3) seats and one (1) space for each four (4) seats of bench seating. All spectator areas must be provided with adequate seating. No event is permitted which can not provide adequate seating and on-site parking. Meets and competitions must be planned and scheduled in such a manner so that parking demand is not greater than the parking provided. If there is no competition or meets and only training or practice, the seating provided for the participants or those who brought the participants shall not be considered as spectator seating that requires parking.

- 67. Smoking Paraphernalia Establishment: One (1) space for each two hundred (200) square feet of floor area. (Added 8/18/2009 Ordinance 1826-09)
- 68. Storage or Warehousing: One (1) space for each two (2) employees or one (1) space for each one thousand (1,000) square feet of total floor area, whichever is greater
- 69. Studio (Dance, Music or Drama): One (1) space for each one hundred fifty (150) square feet of gross floor area, excluding locker rooms. (Added 12/16/08 Ordinance No. 1813-08)
- 70. Surgical Out-Patient Facility: One (1) parking space for patient bed and one (1) parking space for each employee (Added 11/4/2008 Ordinance No. 1809-08)
- 71. Teen Club: One (1) parking space for each three (3) persons at maximum capacity. (Added 4/1/08 Ordinance No. 1776-08)
- 72. Telemarketing: One (1) space for each 250 square feet of space
- 73. Theater, Indoor or Outdoor (live performances), Sports Arena, Stadium, Gymnasium or Auditorium (except school auditorium): One (1) parking space for each four (4) seats or bench seating spaces.
- 74. Truck stops: One (1) truck parking space for each ten thousand (10,000) square feet of site area plus one (1) vehicle parking space per two hundred (200) square feet of building area
- 75. Veterinarian Clinic: One (1) space per three hundred (300) square feet of gross floor space.
- 76. Warehouse or Wholesale Type Uses: One (1) space for five thousand (5,000) square feet of gross floor area.
- 77. Wedding, Banquet & Party Facility (Indoor) – One space for every 100 square feet of floor area. (Added 2/4/03 Ordinance No. 1514-03)
- 78. Wedding, Banquet & Party Facility (Indoor/Outdoor) - One space for every 100 square feet of indoor area, plus one space for every 2,000 square feet of usable site area. (Added 2/4/03 Ordinance No. 1514-03)

38.7 RULES FOR COMPUTING NUMBER OF PARKING SPACES:

In computing the number of parking spaces required for each of the above uses, the following rules shall govern:

- A. "Floor Area" shall mean the gross floor area of the specific use.
- B. Where fractional spaces result, the parking spaces required shall be constructed up to the next whole number.

- C. The parking space requirements for a new or unlisted use not specifically mentioned herein shall be the same as required for a use of similar nature. If the proposed use is not similar to any of the uses listed herein, a determination shall be made by the Planning and Zoning Manager in accordance with the requirements for the most closely related use specified in this section.
- D. Whenever a building or use is changed or enlarged in floor area, number of employees, number of dwelling units, seating capacity or otherwise, to create a need for an increase of ten percent (10%) or more in the number of existing parking spaces, such spaces shall be provided on the basis of the enlargement or change.
- E. For buildings which have mixed uses within the same structure (such as retail and office), the parking requirement shall be calculated for the most intensive use. In cases where the design of the interior of the structure is not practical for alteration, the parking requirement may be calculated for each use within a structure for buildings over forty thousand (40,000) square feet.
- F. Shared parking may be allowed in the case of mixed uses (different buildings) under the following conditions. Up to fifty percent (50%) of the parking spaces required for a theater or other place of evening entertainment (after 6:00 p.m.), or for a church, may be provided and used jointly by banks, offices, and similar uses not normally open, used, or operated during evening hours. Shared parking must be on the same parking lot. Reduction due to shared parking shall be determined by the Planning and Zoning Manager. To assure retention of the shared parking spaces, each property owner shall properly draw and execute a document expressing the same and shall file this agreement with the Planning Department of the City of DeSoto.
- G. Compact Car Spaces - In the O-1, O-2, NS, GR, C-1, C-2, I and LI Districts, compact car parking spaces may be permitted when approved as part of a detailed site plan by the Planning and Zoning Commission, providing one of the following conditions apply:
 - 1. Where it is necessary to preserve the natural landscape and native trees, a maximum of ten percent (10%) of required parking may be designed for compact cars.
 - 2. On parking lots larger than fifty (50) spaces involving large industrial buildings or large offices and where there is only one tenant, a maximum of twenty-five percent (25%) of the required parking may be for compact cars.
 - 3. On parking lots larger than fifty (50) spaces involving a shopping center, a maximum of ten percent (10%) of the required parking may be for compact cars.

38.8 LOCATION OF PARKING SPACES:

All parking spaces required herein shall be located on the same lot with the building or use served, except as follows:

- A. Where an increase in the number of spaces is required by a change or enlargement of use or where such spaces are provided collectively or used jointly by two (2) or more buildings or establishments, the required spaces may be located not to exceed six hundred (600) feet from any nonresidential building served.
- B. In any case where the required parking spaces are not located on the same lot with the building or use served, or where such spaces are collectively or jointly provided and used, approval by the Planning and Zoning Commission and City Council is required according to the following criteria:
 - 1. Off-site parking may be permitted on an immediately contiguous lot or tract, or on a lot or tract within one hundred fifty feet (150') of such building or structure providing:

- a. That a permanent easement of the parking facilities in favor of the premises to be benefited shall be dedicated and recorded as a condition of such use, or
 - b. That a long-term Remote Parking Lease Agreement be provided upon approval by the City as a condition of such use.
- C. All overnight parking for Major and Minor Auto Repair shall be located behind or in the building.

38.9 USE OF REQUIRED PARKING SPACES, NON-RESIDENTIAL DISTRICTS:

Required off-street parking and loading spaces shall be used only for these respective purposes and shall not be used for refuse containers, cart corrals, storage or permanent display of boats, trailers, campers, motor vehicles or other goods, materials, or products for sale.

38.10 FIRE LANES

- A. Fire lanes shall be provided in all multi-family and nonresidential areas as required by the adopted Fire Code of the City.

§ 3.903. Parking Lots.

- (a) The term "parking lot" as used in this article shall mean an area over which vehicles are parked, driven or stored, which directly serves a non-single family structure and which shall be constructed in accordance with City of DeSoto standards and requirements, such area excluding public streets, alleys, and rights-of-way.
- (b) Construction in Compliance with Article.
 - (1) Construction and maintenance of any parking lot in this city shall be in compliance with this article and the Standard Specifications for Public Works Construction.
 - (2) Enlargement of any existing parking lot as defined herein for the purpose of meeting additional minimum parking space requirements for a building expansion and non-required parking lot enlargements shall be constructed in compliance with this article.
 - (3) The city council may authorize a permit, not to exceed six (6) months, for the temporary storage or temporary parking of vehicles on surfaces other than required by this section.
 - (4) One (1) extension of the permit to a maximum of six (6) additional months may be granted by the city council.
 - (5) It shall be unlawful for the owner of a premise to allow parking on surfaces not in compliance with this section.
- (c) Permit.
 - (1) No parking lot shall be constructed, altered or maintained within the city unless a permit has been obtained from the building official. When parking lot construction or enlargement is in conjunction with construction or enlargement of a building, the building permit will constitute the permit for the parking lot and no additional permit will be required.
 - (2) The fee for a permit for the construction or enlargement of a parking lot shall be as set forth in the fee schedule found in the appendix of this code.
- (d) Subgrade Preparation. Prior to placement of the parking lot pavement, the subgrade, subbase or existing base shall be stabilized to a non-plastic condition by the addition of lime, or an alternative method approved by the city engineer, compacted and graded in accordance with the City of DeSoto Standard Specifications for Public Works Construction.
- (e) Pavement Surface. The parking lot surface shall be of reinforced Portland Cement Concrete in accordance with the City of DeSoto Standard Specifications for Public Works Construction.

Category	Compressive Strength	Thickness
Parking lots (including drives) supporting only passenger vehicles	3000 PSI	5"
Parking lots (including drives) supporting truck loads and loading areas	3000 PSI	6"
Fire lanes	3000 PSI	6"

Exception

- (1) Existing parking lots constructed of asphalt may be repaired, maintained and overlaid with asphalt.
 - (2) Reconstruction of less than 60% of the original parking lot may be in asphalt.
 - (3) Sports fields, open space and park land parking areas may use alternate pavement surface materials.
- (1995 Code of Ordinances, Chapter 3, Article 3.900, Section 3.903)

Zoning Board of Adjustments

E. 2.

Meeting Date: 01/18/2024

Phone: (469) 503-7565

COUNCIL ACTION

AGENDA ITEM:

Conduct Public Hearing and consider applicant's request for variance from Section 38 "Off-Street Parking and Loading Requirements", Subsection 36.6 "Parking Requirements Based On Use", Subsection 34 "Health Club, Health Spa or Exercise Club" of the City's Zoning Ordinance in order for the new occupant (EOS Fitness) to utilize the existing number of parking spaces as approved for the previous tenant (Albertsons Grocery Store) at the existing 56,014 square foot building located at 1300 W. Belt Line Road, DeSoto, Texas. This 4.976-acre tract of land is legally described as being Crystal Creek Ridge Replat, Block H, Lot 1A. The applicant and property owner is BBD DeSoto, LLC.

BACKGROUND:

In October 2021, Kyle Cowan of NAI Wheelhouse (representing BBD DeSoto, LLC) began communications with the City's ex-Planning and Zoning staff in connection with his client preparing to close on the property at 1300 W. Beltline Road (in November 2021). In an email to the City's ex-Planner dated October 27, 2021, Mr. Cowan states that while his client's redevelopment plans for this property were not finalized at that time: 1) his client was likely to lease the existing building (previously occupied by Albertsons) within this property to EOS Fitness; 2) he believed that the use (i.e. Health Club, Health Spa or Exercise Club) was permitted in the Planned Development (PD) zoning at this location; and 3) he wanted to confirm that staff didn't foresee any issues related to the use being permitted or with parking.

In the initial response email from the City's ex-Planner to Mr. Cowan dated October 27, 2021, the City's ex-Planner: 1) identified that DCAD records showed the square footage for the existing building at 1300 W. Beltline Road as being 55,000 square feet; 2) inquired as to what his client's proposed square footage within the existing building would be; and 3) stated that if the proposed square footage with all amenities would be around 25,000 to 30,000 square feet...then the current on-site parking would be OK.

In Mr. Cowan's response email to the City's ex-Planner dated October 27, 2021, Mr. Cowan informed the City's ex-Planner that his client's proposed tenant (EOS Fitness) would occupy the entire 55,000 square feet of the existing building.

Following some additional emails between the City's ex-Planner and Mr. Cowan dated October 27, 2021, the City's ex-Planning and Zoning Manager sent Mr. Cowan an email dated October 29, 2021 stating that in regard to a health club at that location: 1) the City's parking requirements would be 1 space per 150 square foot for the floor area (the gross floor area of the use); 2) the existing Certificate of Occupancy for the space (for Albertsons) shows the number of parking spaces as being 292; 3) 292 parking spaces would allow for a total "floor area" of 44,000 square feet; and 4) she believed that there might be the possibility of adding a few more spaces to the site.

In Mr. Cowan's follow up email to the City's ex-Planning and Zoning Manager dated October 29, 2021, Mr. Cowan wrote: *For further clarity, "floor area" will only be the square footage dedicated to exercise/fitness, correct.....and so this would exclude locker rooms/bathrooms, kids club, offices, massage, and any other space not directly dedicated to exercise?*

In the ex-Planning and Zoning Manager's response email to Mr. Cowan dated October 29, 2021, the City's ex-Planning and Zoning Manager responded..... *Yes, correct.*

On July 22, 2022, the City's Building Inspection and Permitting Office issued a Commercial Remodel permit in order for renovation work to be performed within the existing building.

On November 16, 2023, the City's Building Inspection and Permitting Office issued a Conditional Certificate of Occupancy permit to EOS Fitness which officially allowed access and use within the building except within the outside workout and pool areas.

In December 2022, Mr. Cowan contacted the City's Planning and Zoning Division in order to obtain a Zoning Compliance letter. During the telephone conversation between Mr. Cowan and the City's new Planning and Zoning Manager, Mr. Cowan was informed that with the City's Zoning Ordinance establishing the requirement that for a "Health Club, Health Spa or Exercise Club", the required number of parking spaces would be one (1) space per one hundred fifty (150) square feet of floor area.....which for the building sized at 56,014 square feet would be 373 parking spaces.

With the available number of parking spaces within the existing parking lot at 1300 W. Beltline Road being 257, property owner BBD DeSoto, LLC officially submitted an Application For Appeal To Zoning Board Of Adjustment (ZBOA) in order to request a variance from Section 38" Off-Street Parking and Loading Requirements", Subsection 36.6 "Parking Requirements Based on Use", Subsection 34 "Health Club, Health Spa or Exercise Club" of the City's Zoning Ordinance in order for the new occupant (EOS Fitness) to utilize the existing number of parking spaces (i.e. 257) as approved for the previous tenant (Albertsons Grocery Store) at 1300 W. Beltline Road.

FINDINGS:

Section 38.6(34) "Health Club, Health Spa or Exercise Club" of the City's Zoning Ordinance establishes the parking requirement for this use as being "One (1) space per one hundred fifty (150) square feet of floor area.

Section A-3 Definitions of the City's Zoning Ordinance establishes the definition of Floor Area as being...."the total gross square feet of floor space within the outside dimensions of a building including each floor level, but excluding carports, residential garages and breezeways".

With all areas within the existing parking lot having been striped and painted for parking spaces.....and with this total number of parking spaces being 257.....staff supports the applicant's request for variance.

FINANCIAL IMPACT:

NA

RECOMMENDATION:

Staff recommends that the Zoning Board of Adjustment conduct a public hearing and approve the applicant's request for variance in order for the new occupant (EOS Fitness) to utilize the existing number of parking spaces (i.e. 257) as approved for the previous tenant (Albertsons Grocery Store) at the existing 56,014 square foot building located at 1300 W. Beltline Road (Case No. B-23-05).

MANAGEMENT REVIEW

A handwritten signature in black ink, appearing to read "A. Cowan", is written over a horizontal line.

Attachments

DCAD Map 1
DCAD Map 2
Emails between Mr. Cowan and ex-Planning staff
Zoning Ordinance - Section 38.6 (34)
Zoning Ordinance - Appendix A-3 Definitions (Floor Area)
Applicant's Application
Applicant's Letter of Intent
Surveyor's Certified Land Title Survey Map
Parking Lot Layout Map and Site Data Summary Table
Photo 1
Photo 2
Photo 3
Photo 4
Photo 5
Photo 6
Photo 7
Photo 8
Photo 9
Photo 10
Photo 11
Photo 12
Photo 13
Photo 14
Photo 15
Photo 16
Photo 17
Photo 18
Photo 19

Photo 20

Photo 21

Photo 22

Photo 23

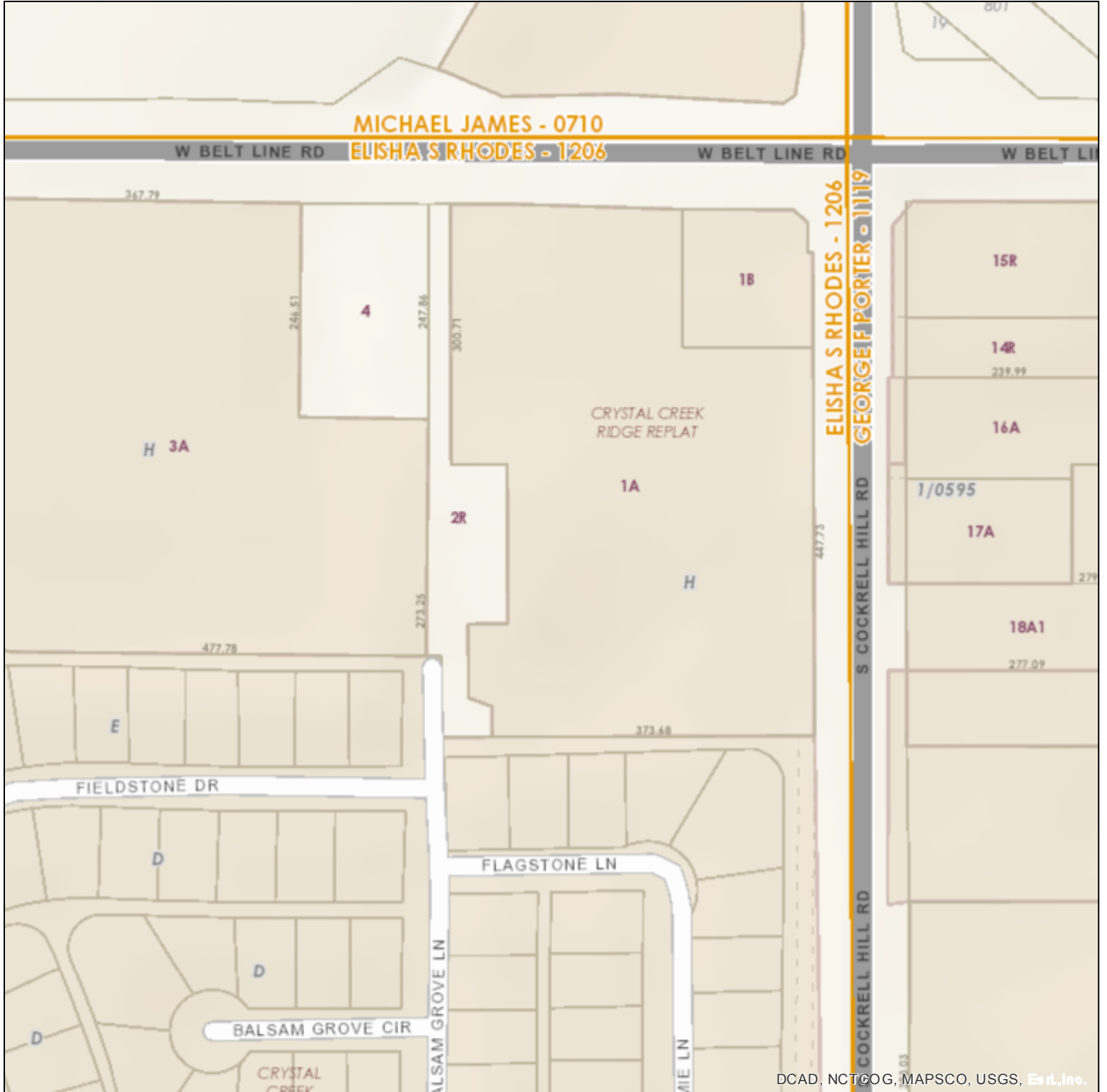
Photo 24

Applicant's PowerPoint Presentation

DCAD - Crystal Creek Ridge Replat, Blk. H, Lot 1A

Date of copy: 1/10/2024

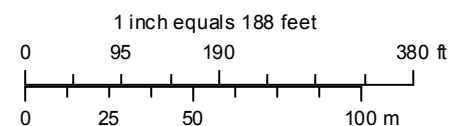
DCAD Tax Account: 200297000A01A0000



This product is for INFORMATIONAL purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Dallas Central Appraisal District
2949 N Stemmons Freeway
Dallas, TX 75247-6195
(214) 631-1342
www.dallascad.org



DCAD, NCTCOG, USGS, Esri, Inc

DCAD - 1300 W. Belt Line Road

Date of copy: 1/10/2024

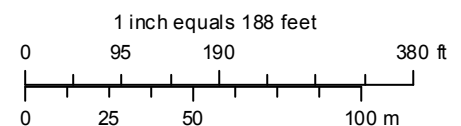
DCAD Tax Account: 200297000A01A0000



This product is for INFORMATIONAL purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. It does not represent an on-the-ground survey and represents only the approximate relative location of property boundaries.



Dallas Central Appraisal District
2949 N Stemmons Freeway
Dallas, TX 75247-6195
(214) 631-1342
www.dallascad.org



DCAD, NCTCOG, USGS, Esri, Inc

Brewer, Charles

From: Cameron, Isom
Sent: Friday, December 22, 2023 12:03 PM
To: Brewer, Charles
Subject: FW: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Friday, December 22, 2023 10:51 AM
To: Cameron, Isom <ICameron@desototexas.gov>
Subject: FW: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

See below correspondence.

From: Mathews, Amy <AMathews@desototexas.gov>
Sent: Friday, October 29, 2021 3:01 PM
To: Kyle Cowan <kyle@naiwheelhouse.com>; Ravande, Shilpa <SRavande@desototexas.gov>
Subject: RE: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

Yes, correct.

Amy Mathews, AICP
Planning & Zoning Manager | Development Services
211 E. Pleasant Run Road
DeSoto, Texas 75115
972-230-9624
amathews@desototexas.gov

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Friday, October 29, 2021 1:27 PM
To: Mathews, Amy <AMathews@desototexas.gov>; Ravande, Shilpa <SRavande@desototexas.gov>
Subject: RE: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

Amy,

Thanks for the email below. For further clarity, "floor area" will only be the square footage dedicated to exercise/fitness, correct? So this would exclude locker rooms/bathrooms, kids club, offices, massage, and any other space not directly dedicated to exercise?

Please confirm I have that right and I will forward along to the potential tenant.

Regards,

Kyle Cowan
Principal

NAI Wheelhouse
6502 Slide Rd. Ste 202
Lubbock, TX 79424

Mobile 972.979.8602
Office 806.722.1204
www.NAIwheelhouse.com



[Texas Law Required IABS Form](#)

From: Mathews, Amy <AMathews@desototexas.gov>
Sent: Friday, October 29, 2021 12:07 PM
To: Kyle Cowan <kyle@naiwheelhouse.com>; Ravande, Shilpa <SRavande@desototexas.gov>
Subject: RE: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

Kyle,

It was nice speaking to you this morning. Regarding a health club at this location, our parking requirements would be 1 space per 150 sf for the floor area (the gross floor area of the use). The existing Certificate of Occupancy for the space in 292 parking spaces, which would allow for 44,000 sf of "floor area". I also believe there might be the possibility of adding a few more spaces to the site. Please let us know if we can be of further assistance or if you have any questions.

Sincerely,

Amy Mathews, AICP
Planning & Zoning Manager | Development Services
211 E. Pleasant Run Road
DeSoto, Texas 75115
972-230-9624
amathews@desototexas.gov

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Thursday, October 28, 2021 1:00 PM
To: Ravande, Shilpa <SRavande@desototexas.gov>; Mathews, Amy <AMathews@desototexas.gov>
Cc: Jordan-Williams, Juanara <JJordan-Williams@desototexas.gov>
Subject: RE: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

What time are you available for the zoom call? I can provide invite and link when you give the time.

Regards,

Kyle Cowan
Principal

NAI Wheelhouse
6502 Slide Rd. Ste 202
Lubbock, TX 79424

Mobile 972.979.8602
Office 806.722.1204
www.NAIwheelhouse.com



[Texas Law Required IABS Form](#)

From: Ravande, Shilpa <SRavande@desototexas.gov>
Sent: Thursday, October 28, 2021 10:54 AM
To: Kyle Cowan <kyle@naiwheelhouse.com>; Mathews, Amy <AMathews@desototexas.gov>
Cc: Jordan-Williams, Juanara <JJordan-Williams@desototexas.gov>
Subject: RE: Albertsons to Health Club -1300 W Beltline Road - Letter of Intent

We don't have a standard template for the Letter of Intent, but please include the following:

1. Site address
2. Vacant or Existing building (square footage and parking)
3. Proposed use – square footage or acres
4. Additional information from applicant about the proposed development that adds value to the community/city.
Refer Comprehensive plan and other long range/area plans.

Thank you!

Yes, Amy and I can set up a zoom call to discuss on Friday.

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Wednesday, October 27, 2021 10:47 PM
To: Ravande, Shilpa <SRavande@desototexas.gov>; Mathews, Amy <AMathews@desototexas.gov>
Subject: Re: Former Albertsons -1300 W Beltline Road

Shilpa,

Is it possible to schedule a call with your and Amy tomorrow or Friday to discuss? Please let me know what times work.

I will work on getting a sample floor plan from the tenant, but we aren't final on the space.

When you ask for a letter of intent in this context I am not sure what I need to provide you.

Our goal is to close on the acquisition of the property next week, but we need to understand our ability to use the entire 55,000sf as a fitness center. The parking is far beyond what our tenant requires and appears sufficient per cities objectives as well, but we need clarity around that before we can close.

Thanks again for your help!

-Kyle Cowan
972.979.8602

Get [Outlook for iOS](#)

From: Ravande, Shilpa <SRavande@desototexas.gov>
Sent: Wednesday, October 27, 2021 1:04 PM
To: Kyle Cowan; Mathews, Amy
Subject: RE: Former Albertsons -1300 W Beltline Road

We can discuss parking reductions, but please send a list of all amenities with square footage. I see the amenities on the website, but need it as a Letter of Intent as our first step for approval.

Thank you!

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Wednesday, October 27, 2021 12:55 PM
To: Ravande, Shilpa <SRavande@desototexas.gov>; Mathews, Amy <AMathews@desototexas.gov>
Subject: RE: Former Albertsons -1300 W Beltline Road

Our proposed tenant, EoS Fitness, would occupy the entire 55,000sf.

From: Ravande, Shilpa <SRavande@desototexas.gov>
Sent: Wednesday, October 27, 2021 12:49 PM
To: Kyle Cowan <kyle@naiwheelhouse.com>; Mathews, Amy <AMathews@desototexas.gov>
Subject: RE: Former Albertsons -1300 W Beltline Road

Hi Kyle,

The Albertsons on DCAD (see below) is 55,000 sq. ft. What's your proposed square footage? If it's around 25,000-30,000 square feet with all amenities, then the current on-site parking is okay.

Location (Current 2022)

Address: 1300 W BELTLINE RD
Market Area: 0
Mapscot: 82-H (DALLAS)

DCAD Property Map

View Photo

2021 Appraisal Notice

Electronic Documents (ENS)



Print Homestead Exemption Form

Owner (Current 2022)

ABS TX INVESTOR LP
 P O BOX 990
 MINNEAPOLIS, MINNESOTA 554400990

Multi-Owner (Current 2022)

Owner Name	Ownership %
ABS TX INVESTOR LP	100%

Legal Desc (Current 2022)

- 1: CRYSTAL CREEK RIDGE REPLAT
 - 2: BLK H LT 1A ACS 4.976
 - 3:
 - 4: INT200600259905 DD06022006 CO-DC
 - 5: 0265200H01A00 5C50265200H
- Deed Transfer Date:** 5/1/2003

Improvements

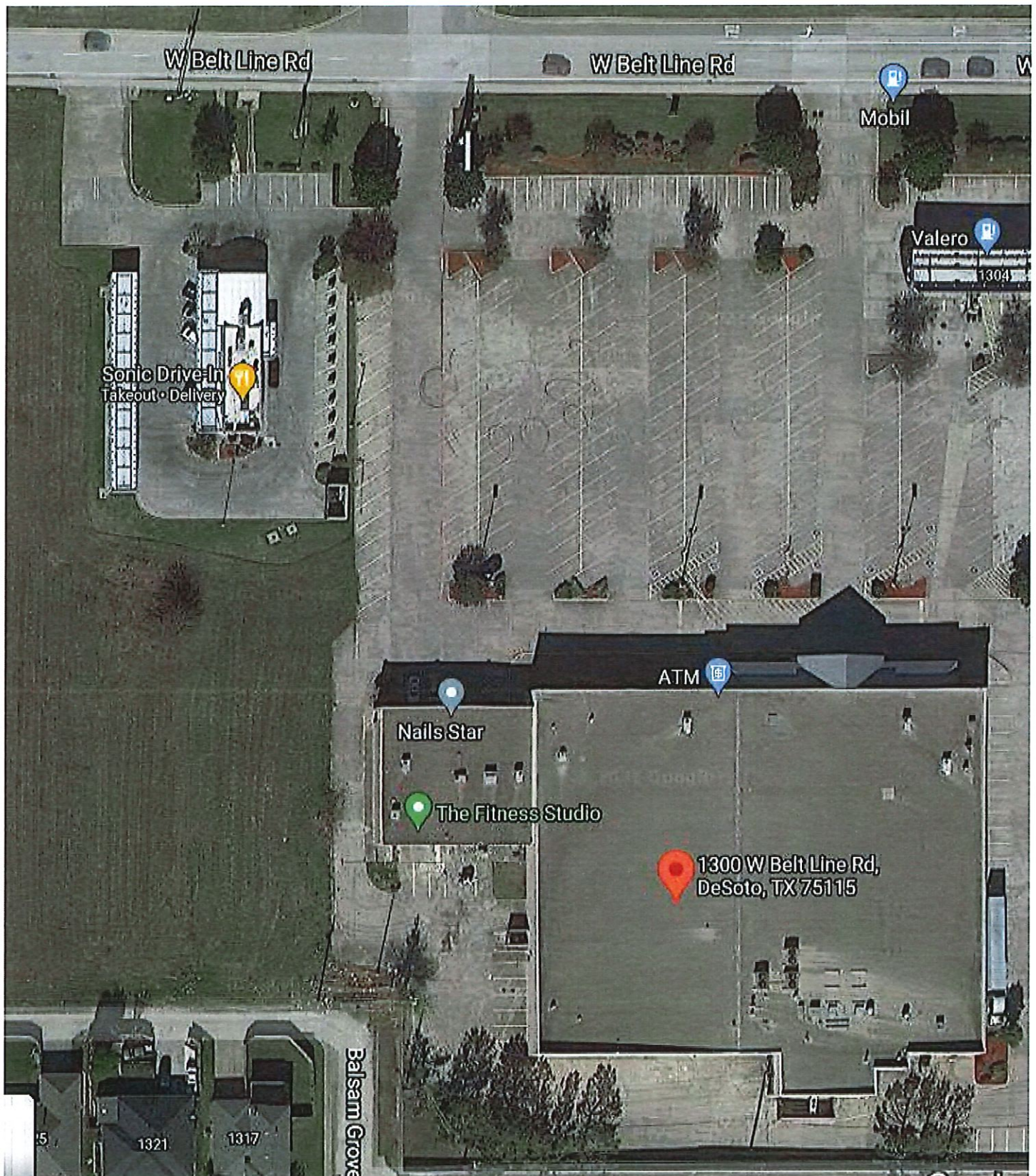
#	Desc: SUPERMARKET	Total Area
1	Construction Construction: C-MASONRY, BLOCK, TILT-WALL Foundation (Area): CONCRETE SLAB (55,500 sqft) Net Lease Area : 55,500 sqft # Stories: 1 # Units: 0 Basement (Area): NONE Heat: CENTRAL HEAT A/C: CENTRAL A/C	

From: Kyle Cowan <kyle@naiwheelhouse.com>
Sent: Wednesday, October 27, 2021 11:42 AM
To: Mathews, Amy <AMathews@desototexas.gov>; Ravande, Shilpa <SRavande@desototexas.gov>
Subject: Former Albertsons -1300 W Beltline Road

Shilpa,

Thank you for the time on the call and Amy, I look forward to connecting with you as well.

We plan to close on 1300 W Beltline Road early next month and while our redevelopment plans are not final, we are likely to lease the building to EoS Fitness (<https://eosfitness.com/>). I believe the use is permitted in the PD zoning and the parking is sufficient, but I wanted to confirm that you don't foresee any issues related to the use being permitted or parking. Please send me an email confirming that is the case and if you have any additional questions, please let me know!



Kyle Cowan

Principal

NAI Wheelhouse

6502 Slide Rd. Ste 202

Lubbock, TX 79424

Mobile 972.979.8602
Office 806.722.1204
www.NAIwheelhouse.com



[Texas Law Required IABS Form](#)

Zoning Ordinance, Section 38.6 "Parking Requirements Based on Use"

- g. Indoor jogging or running tracks - One (1) space for each one hundred (100) linear feet
 - h. Motion picture theaters (which do not include live performances): a) one (1) space per three and one-half (3½) seats for single-screen theaters; b) one (1) space per five (5) seats for motion picture theaters with two (2) or more screens.
 - i. Amusement Center - One (1) space for each game table and one (1) space for each amusement device
 - j. All areas for subsidiary uses not listed above or in other parts of this section (such as restaurants, office, etc.), shall be calculated in with the minimum specified for those individual uses
-
- 19. Commercial amusement (outdoor) - Ten (10) spaces plus one (1) space for each five hundred (500) square feet over five thousand (5,000) square feet of building and recreational area.
 - 20. Commercial Use - One (1) space per two hundred fifty (250) square feet of floor area
 - 21. Continuing Care Retirement Home: One (1) space for each dwelling unit
 - 22. Contractor's Shop With or Without Outdoor Storage: One (1) space for each five thousand (5000) square feet of warehouse use, one (1) space for each three hundred (300) square feet of non-warehouse use, except in no case shall there be fewer than five (5) spaces. (Revised May 20, 2008 Ordinance 1782-08)
 - 23. Convenience store (with gasoline pumps): One (1) space per two hundred (200) square feet of floor area plus one (1) space for each three (3) gasoline pump units (a unit may have up to six (6) nozzles for gasoline disbursement). Spaces in pump areas qualify as spaces for the parking requirement. If no gasoline sales are provided, then the parking requirements shall be the same as for a retail store.
 - 24. Dance Hall, Aerobics, Assembly or Exhibition Hall Without Fixed Seats: One (1) parking space for each one hundred (100) square feet of floor area thereof
 - 25. Defensive Driving School/Class: One (1) space for each classroom seat.
 - 26. Entertainment Venue: One (1) parking space for fifty (50) square feet of gross floor area or one (1) space for every three (3) persons under maximum capacity, whichever is greater; plus one parking space for each employee on shift for the shift with the most employees. (Added 7/6/10 Ordinance 1852-10)
 - 27. Firewood Sales: One (1) space for each 1,000 square foot of area that is being used to store and display the firewood. This does not mean a calculation of the exact spot where the wood is resting on the ground, but rather a calculation of the general rectangular area or areas in which the piles of firewood are located. A minimum of five (5) parking spaces is required for customers, plus one (1) parking space for each employee. (Added 6/19/12 Ordinance)
 - 28. Flea Market: One (1) space for each two hundred (200) square feet of floor or sales area. Dirt or gravel parking lots are not permitted.
 - 29. Fraternity, Sorority, or Dormitory: One (1) parking space for each two (2) beds on campus, and one and one-half (1½) spaces for each two beds in off campus projects.
 - 30. Furniture or Appliance Store, Hardware Store, Wholesale Establishments, Clothing or Shoe Repair or Service: Two (2) parking spaces plus one (1) additional parking space for each three hundred (300) square feet of floor area over one thousand (1,000).
 - 31. Gasoline Station: One (1) space per two hundred (200) square feet of floor area. Adequate space shall be provided for waiting, stacking, and maneuvering automobiles for refueling.
 - 32. Golf Course: Four (4) parking spaces per hole or green plus requirements for retail, office, and club house areas and one (1) space per each two (2) employees
 - 33. Golf Driving Range: One and one-half (1½) spaces for each driving tee
 - 34. Health Club, Health Spa or Exercise Club: One (1) space per one hundred fifty (150) square feet of floor area
 - 35. Hospital: One (1) space for each two (2) beds or examination room whichever is applicable
 - 36. Hotel: One (1) space per room for the first two hundred fifty (250) rooms and .75 space per room for each room over two hundred fifty (250), plus one (1) space per

Zoning Ordinance, A-3 Definitions

bulldozers, trenching machines, sky lifts, tractors, and dump trucks. This equipment can be self-propelled or because of its size must be hauled or towed. The equipment is generally stored outside. This use can involve the starting and running of machinery. (Definition Added February 19, 2002 Ordinance 1462-02)

EQUIPMENT SALES (NEW OR USED) - An establishment which sells large, new or used, equipment and machinery such as compressors, backhoes, front-end loaders, roller compactors, generators, tree chippers, trailers, bulldozers, trenching machines, sky lifts, tractors, and dump trucks. The equipment is generally displayed outside. This use can involve the starting and running of machinery on site. (Definition added May 6, 2003 Ordinance 1527-03)

FAIRGROUNDS OR EXHIBITION AREA - An area or space either outside or within a building for the display of topic-specific goods or information.

FAMILY - One or more persons related by blood, marriage, or adoption; or a group not to exceed four (4) persons not all related by blood or marriage, adoption or guardianship, occupying a dwelling unit.

FAMILY HOME (Child Care in Place of Residence) - Establishment registered with the State of Texas that regularly provides care in the caretaker's own single-family detached residence for not more than six (6) children under fourteen (14) years of age, excluding the caretaker's own children. No outside employment is allowed at the facility. This facility shall conform to Chapter 42 of the Human Resources Code of the State of Texas, as amended, and in accordance with such standards as may be promulgated by the Texas Department of Human Resources. (Amended August 15, 2000 Ordinance 1369-00)

FARM, RANCH, GARDEN, CROPS OR ORCHARD - An area used for growing usual farm products, vegetables, fruits, trees, and grain and for the raising thereon of the usual farm animals such as horses, cattle, and sheep and including the necessary accessory uses for raising, treating, and storing products raised on the premises, but not including the commercial feeding of offal or garbage to swine or other animals and not including any type of agriculture or husbandry specifically prohibited by ordinance or law.

FEED AND GRAIN STORE - An establishment for the selling of corn, grain and other food stuffs for animals and livestock, and including implements and goods related to agricultural processes, but not including farm machinery.

FIRE, POLICE OR MUNICIPAL BUILDING - Any public service building of the municipal government including a library or City Hall, but excluding storage yards, utility shops and equipment centers.

FIREWOOD SALES - A business whose primary business is the sale of firewood, which is stored and displayed in the open on the lot or tract. This Use may also include the cutting of wood on-site. (Added June 19, 2012 Ordinance 1918-12)

FLEA MARKET (INDOOR) - An indoor premise where the main use is the sale of new and used household goods, personal effects, tools, art work, small household appliances, and similar merchandise, objects, or equipment, in small quantities, in broken stalls, lots or parcels, not in bulk, for the use or consumption by the immediate purchaser in a building, open air, or partly enclosed booths or stalls not within a wholly enclosed building. The term flea market shall not be deemed to include wholesale sales establishments or rental services establishments, but shall be deemed to include personal service establishments, food services establishments, retail services establishments, and auction establishments.

Note: This definition does not pertain to retail sidewalk sales or garage sales. Arts and crafts shows or sales held by non-profit organizations are also not included under this definition.

FLOOD PLAIN - An area of land subject to inundation by a 100-year frequency flood as determined using standard engineering practices and generally as shown on the Flood Insurance Rate Map (FIRM) of the City of DeSoto.

FLOOR AREA - The total gross square feet of floor space within the outside dimensions of a building including each floor level, but excluding carports, residential garages, and breezeways.



APPLICATION FOR APPEAL TO ZONING BOARD OF ADJUSTMENT (ZBOA)

Variance No.: B23-05Meeting Date: 11/18/2024Applicant: BBD DESOTO, LLCPhone No.: 9729798602Address: 999 Douglas Avenue, Ste 3328, Altamonte Springs, FL 32714Fax & Email Address: kyle@naiwheelhouse.com**Applicant's Interest in Property (Check one):**Owner: ☒ Agent: _____ Lease: _____ Option/ Etc.: _____

Request is made herewith to the Board of Adjustment for a determination on the following appeal which was denied by the Administrative Official on the 14 day of September, 20 , for the reason indicated below.

It is requested that the Board:

1. Hear and decide the question of an alleged error in an order of the Administrative Official involving: _____
2. Grant a variance to Article _____, Section 38, Paragraph 6 of the Zoning Ordinance relating to: Area _____, Height _____, Parking ☒, Yard _____, Coverage _____, and/or Exterior Wall Standards _____.
3. Permit the extension or rebuilding of a non-conforming use according to Section 9, Paragraph 9.3(B), of the Zoning Ordinance.
4. Determine the discontinuance of a non-conforming use according to Section 9, Paragraph 9.6 (D), of the Zoning Ordinance.

Location of property involved in Request: 1300 W Bellline Road, DeSoto, TX 75115**Fee: Non-refundable Fee of \$1,000 per application****Application must include:**

1. A site plan showing this request (22 *folded* copies on ledger size paper – 24 x 36).
2. Written narrative of why the Board of Adjustment should approve this request.
3. Receipt showing that all City of DeSoto property taxes has been paid.

Present improvement on Land: 56,014sf Retail Box**Present use of Premises:** Health Club - EoS Fitness - Formerly Albertson's Grocery StoreHas a previous application or appeal been filed on these premises? _____ Yes ☒ No

I hereby certify that all the above information, and information contained in any supporting documents submitted herewith are true and accurate to the best of my knowledge and belief.

DocuSigned by:

Brian Hibbard11/15/2023Brian Hibbard11/15/2023

Owner Signature

Date

Owner Name (Print)

Date

Received by the City of DeSoto in the amount of \$ 1,000.00City Receipt No.: 635983 Dated: 12-28-23Hearts Carroll
Agent for City of DeSoto



December 13, 2023

To the Zoning Board of Adjustments,

The purpose of this application is to request a variance as it relates to the parking requirements.

Big Box Development closed on the acquisition of 1300 W Beltline Road on November 8, 2021. This was done in partnership with EoS Fitness with the goal of converting the former Albertson's into a fitness facility.

Prior to closing the transaction, Big Box Development communicated with the city of DeSoto and the city's planning department on the zoning requirements and feasibility of this conversion. As we always do, we worked very closely with the City to make sure all boxes are checked prior to closing on the property. One of the many items was parking and we worked closely with Amy Mathews, the City of Desoto planning and zoning manager at the time for review and approval. Through discussions and verified by Ms. Mathews via email, the parking was approved based on using the 44,000SF of fitness floor area. Gym floor area, for clarification does not include items like storage rooms, offices, mechanical rooms, locker rooms, etc.. but only the space specifically utilized for fitness and exercise by members. These calculations were verified and used by Ms. Mathews. The information attained from Ms. Matthews on October 29th, 2021 was relayed to EoS Fitness and they submitted their plans for permit with the fitness floor area of the premises to be 42,640sf, within the 44,000sf allowable. As expected, this was then approved by the City and EOS fitness was issued a permit for construction and proceeded construct the \$10 million dollar facility. Also, as expected, they received the certificate of occupancy November 16th and opened December 13th.

This would normally be the end of our needs from planning, however, in September 2023, a potential investor and their lenders in the property ordered a zoning report from the City of DeSoto as part of their due diligence and corresponded with the new planning and zoning manager, Bester Munyaradzi. Ms. Munyaradzi communicated to the firm that was handling the zoning report that the site is required to have 371 parking spaces, based on the calculation of the full building, 55,513sf and 1 space per 150 square feet. Additionally, Ms. Munyaradzi suggested we seek a parking variance from the Zoning Board of Adjustment. Due to this discrepancy, despite being previously approved, our investors and lenders are now requiring us to have this memorialized in the form of a variance.

This inconsistency in interpretation of the city code has jeopardized the relationship with our investor and likely impacted a multimillion-dollar investment in this property. While 283 parking spots are more than sufficient for this type of facility, the critical issue is that we moved forward with this opportunity and \$10,000,000+ investment into DeSoto based on multiple approvals from the City of Desoto.

While this seems to be just a misunderstanding and formality, it is very time sensitive on our end. We have a deadline of January 19th with our investor to solve this issue. With that in mind we are asking for your help to quickly address this issue and grant a variance in accordance with the original interpretation of the parking code to allow for fitness use.

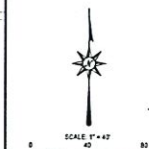
Respectfully,

A handwritten signature in black ink, appearing to read 'B. Hibbard', with a stylized flourish at the end.

Brian Hibbard

Owner

BBD DeSoto, LLC



TITLE COMMITMENT INFORMATION
The Title Description and Schedule "B" items are the same as shown on the title commitment provided by FIDELITY NATIONAL TITLE INSURANCE COMPANY, Commitment No. FT-44123-0051222051205-LE, issued JUNE 26, 2023 with an effective date and time of JUNE 21, 2023 AT 8:00 AM.

TRACT B
Lot 1A, Block H, Crystal Creek Ridge Addition, an addition to the City of DeSoto,
Dallas County, Texas according to the legal description recorded under Clerk's File No.
20070427647, Map Records, Dallas County, Texas.

TRACT B
Non-Exclusive Easement Estate as created in Operating Agreement recorded in

UTILITY NOTE

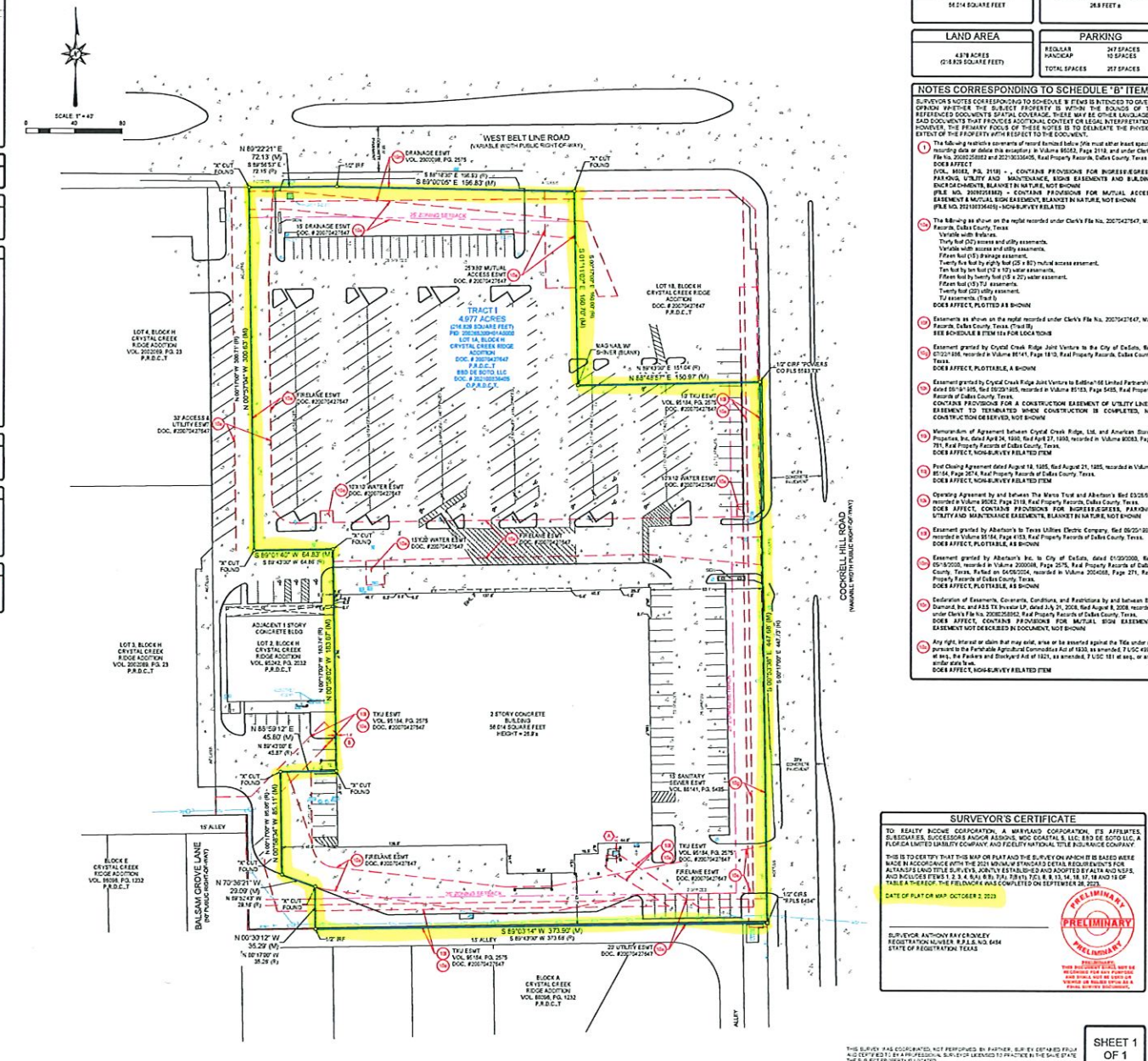
THE SURVEY SHOWS THE LOCATION OF UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY AS DETERMINED BY OBSERVED EVIDENCE COLLECTED PURSUANT TO ALTA SECTION 5 & 6/

CHAUVE FLOODPLAIN	
SIGNIFICANT OBSERVATIONS	
(A)	ELECTRIC TRANSFORMER FALLS OUTSIDE OF THE EASEMENT UP TO 3.3 FEET
(B)	BUILDING IS IN ELECTRIC EASEMENT UP TO 1.4 FEET

LEGNED

1. **FILE**
1.1. **FILE NAME**
1.2. **FILE TYPE**
1.3. **FILE PERMISSION**
1.4. **FILE LOCATION**
1.5. **FILE SIZE**
1.6. **FILE DATE**
1.7. **FILE OWNER**
1.8. **FILE GROUP**
1.9. **FILE MODE**
1.10. **FILE TYPE**
1.11. **FILE PERMISSION**
1.12. **FILE LOCATION**
1.13. **FILE SIZE**
1.14. **FILE DATE**
1.15. **FILE OWNER**
1.16. **FILE GROUP**
1.17. **FILE MODE**
1.18. **FILE TYPE**
1.19. **FILE PERMISSION**
1.20. **FILE LOCATION**
1.21. **FILE SIZE**
1.22. **FILE DATE**
1.23. **FILE OWNER**
1.24. **FILE GROUP**
1.25. **FILE MODE**
1.26. **FILE TYPE**
1.27. **FILE PERMISSION**
1.28. **FILE LOCATION**
1.29. **FILE SIZE**
1.30. **FILE DATE**
1.31. **FILE OWNER**
1.32. **FILE GROUP**
1.33. **FILE MODE**
1.34. **FILE TYPE**
1.35. **FILE PERMISSION**
1.36. **FILE LOCATION**
1.37. **FILE SIZE**
1.38. **FILE DATE**
1.39. **FILE OWNER**
1.40. **FILE GROUP**
1.41. **FILE MODE**
1.42. **FILE TYPE**
1.43. **FILE PERMISSION**
1.44. **FILE LOCATION**
1.45. **FILE SIZE**
1.46. **FILE DATE**
1.47. **FILE OWNER**
1.48. **FILE GROUP**
1.49. **FILE MODE**
1.50. **FILE TYPE**
1.51. **FILE PERMISSION**
1.52. **FILE LOCATION**
1.53. **FILE SIZE**
1.54. **FILE DATE**
1.55. **FILE OWNER**
1.56. **FILE GROUP**
1.57. **FILE MODE**
1.58. **FILE TYPE**
1.59. **FILE PERMISSION**
1.60. **FILE LOCATION**
1.61. **FILE SIZE**
1.62. **FILE DATE**
1.63. **FILE OWNER**
1.64. **FILE GROUP**
1.65. **FILE MODE**
1.66. **FILE TYPE**
1.67. **FILE PERMISSION**
1.68. **FILE LOCATION**
1.69. **FILE SIZE**
1.70. **FILE DATE**
1.71. **FILE OWNER**
1.72. **FILE GROUP**
1.73. **FILE MODE**
1.74. **FILE TYPE**
1.75. **FILE PERMISSION**
1.76. **FILE LOCATION**
1.77. **FILE SIZE**
1.78. **FILE DATE**
1.79. **FILE OWNER**
1.80. **FILE GROUP**
1.81. **FILE MODE**
1.82. **FILE TYPE**
1.83. **FILE PERMISSION**
1.84. **FILE LOCATION**
1.85. **FILE SIZE**
1.86. **FILE DATE**
1.87. **FILE OWNER**
1.88. **FILE GROUP**
1.89. **FILE MODE**
1.90. **FILE TYPE**
1.91. **FILE PERMISSION**
1.92. **FILE LOCATION**
1.93. **FILE SIZE**
1.94. **FILE DATE**
1.95. **FILE OWNER**
1.96. **FILE GROUP**
1.97. **FILE MODE**
1.98. **FILE TYPE**
1.99. **FILE PERMISSION**
2. **FILE**
2.1. **FILE NAME**
2.2. **FILE TYPE**
2.3. **FILE PERMISSION**
2.4. **FILE LOCATION**
2.5. **FILE SIZE**
2.6. **FILE DATE**
2.7. **FILE OWNER**
2.8. **FILE GROUP**
2.9. **FILE MODE**
2.10. **FILE TYPE**
2.11. **FILE PERMISSION**
2.12. **FILE LOCATION**
2.13. **FILE SIZE**
2.14. **FILE DATE**
2.15. **FILE OWNER**
2.16. **FILE GROUP**
2.17. **FILE MODE**
2.18. **FILE TYPE**
2.19. **FILE PERMISSION**
2.20. **FILE LOCATION**
2.21. **FILE SIZE**
2.22. **FILE DATE**
2.23. **FILE OWNER**
2.24. **FILE GROUP**
2.25. **FILE MODE**
2.26. **FILE TYPE**
2.27. **FILE PERMISSION**
2.28. **FILE LOCATION**
2.29. **FILE SIZE**
2.30. **FILE DATE**
2.31. **FILE OWNER**
2.32. **FILE GROUP**
2.33. **FILE MODE**
2.34. **FILE TYPE**
2.35. **FILE PERMISSION**
2.36. **FILE LOCATION**
2.37. **FILE SIZE**
2.38. **FILE DATE**
2.39. **FILE OWNER**
2.40. **FILE GROUP**
2.41. **FILE MODE**
2.42. **FILE TYPE**
2.43. **FILE PERMISSION**
2.44. **FILE LOCATION**
2.45. **FILE SIZE**
2.46. **FILE DATE**
2.47. **FILE OWNER**
2.48. **FILE GROUP**
2.49. **FILE MODE**
2.50. **FILE TYPE**
2.51. **FILE PERMISSION**
2.52. **FILE LOCATION**
2.53. **FILE SIZE**
2.54. **FILE DATE**
2.55. **FILE OWNER**
2.56. **FILE GROUP**
2.57. **FILE MODE**
2.58. **FILE TYPE**
2.59. **FILE PERMISSION**
2.60. **FILE LOCATION**
2.61. **FILE SIZE**
2.62. **FILE DATE**
2.63. **FILE OWNER**
2.64. **FILE GROUP**
2.65. **FILE MODE**
2.66. **FILE TYPE**
2.67. **FILE PERMISSION**
2.68. **FILE LOCATION**
2.69. **FILE SIZE**
2.70. **FILE DATE**
2.71. **FILE OWNER**
2.72. **FILE GROUP**
2.73. **FILE MODE**
2.74. **FILE TYPE**
2.75. **FILE PERMISSION**
2.76. **FILE LOCATION**
2.77. **FILE SIZE**
2.78. **FILE DATE**
2.79. **FILE OWNER**
2.80. **FILE GROUP**
2.81. **FILE MODE**
2.82. **FILE TYPE**
2.83. **FILE PERMISSION**
2.84. **FILE LOCATION**
2.85. **FILE SIZE**
2.86. **FILE DATE**
2.87. **FILE OWNER**
2.88. **FILE GROUP**
2.89. **FILE MODE**
2.90. **FILE TYPE**
2.91. **FILE PERMISSION**
2.92. **FILE LOCATION**
2.93. **FILE SIZE**
2.94. **FILE DATE**
2.95. **FILE OWNER**
2.96. **FILE GROUP**
2.97. **FILE MODE**
2.98. **FILE TYPE**
2.99. **FILE PERMISSION**
3. **FILE**
3.1. **FILE NAME**
3.2. **FILE TYPE**
3.3. **FILE PERMISSION**
3.4. **FILE LOCATION**
3.5. **FILE SIZE**
3.6. **FILE DATE**
3.7. **FILE OWNER**
3.8. **FILE GROUP**
3.9. **FILE MODE**
3.10. **FILE TYPE**
3.11. **FILE PERMISSION**
3.12. **FILE LOCATION**
3.13. **FILE SIZE**
3.14. **FILE DATE**
3.15. **FILE OWNER**
3.16. **FILE GROUP**
3.17. **FILE MODE**
3.18. **FILE TYPE**
3.19. **FILE PERMISSION**
3.20. **FILE LOCATION**
3.21. **FILE SIZE**
3.22. **FILE DATE**
3.23. **FILE OWNER**
3.24. **FILE GROUP**
3.25. **FILE MODE**
3.26. **FILE TYPE**
3.27. **FILE PERMISSION**
3.28. **FILE LOCATION**
3.29. **FILE SIZE**
3.30. **FILE DATE**
3.31. **FILE OWNER**
3.32. **FILE GROUP**
3.33. **FILE MODE**
3.34. **FILE TYPE**
3.35. **FILE PERMISSION**
3.36. **FILE LOCATION**
3.37. **FILE SIZE**
3.38. **FILE DATE**
3.39. **FILE OWNER**
3.40. **FILE GROUP**
3.41. **FILE MODE**
3.42. **FILE TYPE**
3.43. **FILE PERMISSION**
3.44. **FILE LOCATION**
3.45. **FILE SIZE**
3.46. **FILE DATE**
3.47. **FILE OWNER**
3.48. **FILE GROUP**
3.49. **FILE MODE**
3.50. **FILE TYPE**
3.51. **FILE PERMISSION**
3.52. **FILE LOCATION**
3.53. **FILE SIZE**
3.54. **FILE DATE**
3.55. **FILE OWNER**
3.56. **FILE GROUP**
3.57. **FILE MODE**
3.58. **FILE TYPE**
3.59. **FILE PERMISSION**
3.60. **FILE LOCATION**
3.61. **FILE SIZE**
3.62. **FILE DATE**
3.63. **FILE OWNER**
3.64. **FILE GROUP**
3.65. **FILE MODE**
3.66. **FILE TYPE**
3.67. **FILE PERMISSION**
3.68. **FILE LOCATION**
3.69. **FILE SIZE**
3.70. **FILE DATE**
3.71. **FILE OWNER**
3.72. **FILE GROUP**
3.73. **FILE MODE**
3.74. **FILE TYPE**<

GOVERNMENT AND OTHER RIGHTS RESERVED. USE OF THIS FORM
IS LIMITED TO DISSEMINATION OF INFORMATION AND NOT FOR REPRODUCTION.



NOTES CORRESPONDING TO SCHEDULE "B" ITEM
 SURVEYOR'S NOTES CORRESPONDING TO SCHEDULE B ITEMS IS INTENDED TO GIVE
 OPINION WHETHER THE SUBJECT PROPERTY IS WITHIN THE BOUNDS OF THE
 REFERENCED DOCUMENT'S SPATIAL COVERAGE. THERE MAY BE OTHER LANGUAGE
 SAID DOCUMENTS THAT PROVIDES ADDITIONAL CONTEXT OR LEGAL INTERPRETATION.
 HOWEVER, THE PRIMARY FOCUS OF THESE NOTES IS TO DELINEATE THE PHYSICAL

DOES AFFECT
(VOL. 3802, PG. 2158) - CONTAINS PROVISIONS FOR INGRESS/EGRESS
PARKING, UTILITY AND MAINTENANCE, SIGN EASEMENTS AND BUILDING
ENCROACHMENTS, BLANKET IN NATURE, NOT SHOWN
(FILE NO. 2010275182) - CONTAINS PROVISIONS FOR MUTUAL ACCESS
EASEMENT & MUTUAL SIGN EASEMENT, BLANKET IN NATURE, NOT SHOWN
(FILE NO. 20210073405) - MOW-SURVEY RELATED

Twenty-five foot by eighty foot (25 x 80) mutual access easement.
Ten foot by ten foot (10 x 10) water easements.
Fifteen foot by twenty foot (15 x 20) water easement.
Fifteen foot (15) T/U easements.
Twenty foot (20) utility easement.
T/U easements. (Tract 6)

DOES AFFECT, PLOTTED AS SHOWN

10 **DOES AFFECT, PLOTTABLE, A SHOWN**

Exemption granted by Crystal Creek Ridge Joint Venture to Edlinville 66 Limited Partnership dated 10/19/2005, filed 10/23/2005, recorded in Volume 85183, Page 5425, Real Property Records of Dallas County, Texas.

CONTAINS PROVISIONS FOR A CONSTRUCTION EASEMENT OF UTILITY LINE

12a Operating Agreement by and between The Maritz Trust and Abertson's Red 63256 recorded in Volume 96062, Page 2119, Real Property Records, Dallas County, Texas.

Exemption granted by Abertson's Inc. to City of Dallas, dated 01/29/2000, Bk 05-5/2000, recorded in Volume 2000048, Page 2575, Real Property Records of Dallas County, Texas. Referred on 04/08/2004, recorded in Volume 2004068, Page 271, Real Property Records of Dallas County, Texas.

DOES AFFECT, PLOTTABLE, AS SHOWN

Cedation of Easements, Covenants, Conditions, and Restrictions by and between R

DOES AFFECT, NON-SURVEY RELATED ITEM

IT IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE IN ACCORDANCE WITH THE 2011 MINIMUM STANDARD DETAIL REQUIREMENTS FOR TRANSFERS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NEFS, INCLUDES FEWS 1, 2, 3, 4, 5(A), 6(B), 7(A), 7(B)(1), 7(C), 8, 9, 13, 14, 15, 17, 18 AND 19 OF ALTA THEREOF. THE FIELDWORK WAS COMPLETED ON SEPTEMBER 28, 2023.

REGISTRATION NUMBER R.P.A.S. NO. 6434
STATE OF REGISTRATION TEXAS

PRELIMINARY
PRELIMINARY
THIS DOCUMENT IS NOT BE
RECORDED FOR ANY PURPOSE
AND SHOULD NOT BE USED OR
VERIFIED OR RECORDED AS A
FINAL OFFICIAL DOCUMENT.

SHEET 1
OF 1

ALL STATEMENTS WITHIN THE CERTIFICATION, AND OTHER REFERENCES LOCATED ELSEWHERE HEREON, RELATIVE TO THE STRUCTURAL BUILDINGS, INCLUDING BUT NOT LIMITED TO, THE PARTIAL WALLS, EAVESTILES, SERVICE/USE FOUNDATIONS AND POSSIBLE EXISTING FOUNDATIONS, ARE BASED SOLELY ON ABOVE GROUND VISUAL EVIDENCE, UNLESS ANOTHER SOURCE OF INFORMATION IS SPECIFICALLY CITED.

SUBJECT TRACT HAS DIRECT PHYSICAL SHOW/NO ACCESS TO WEST RAIL LINE ROAD AND COTTAGE/HILL ROAD. DEGRADED/SEEK RIGHT-OF-WAYS.

THE DIMENSIONS AND AREA OF THE BUILDINGS SHOWN ARE BASED ON THE BUILDERS EXTERIOR FOOTPRINT AT GROUND LEVEL.

THE POINT OF HEAD/MEASUREMENT IS IDENTIFIED ON THE SURVEY AND WAS TAKEN FROM THE TOP OF THE EXTERIOR WALL AT THE BUILDING POINT. THIS POINT REPRESENTS THE HEIGHT OF THE STRUCTURE, AS OBSERVED FROM GROUND LEVEL.

NO UNDERGROUND UTILITIES HAVE BEEN LOCATED OR SHOWN ON THIS SURVEY. ONLY VISIBLE AND APPARENT ABOVE GROUND UTILITY APPEARANCES ARE SHOWN.

8. ALL RECIPROCAL EASEMENT AGREEMENTS ("REAS") THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDOR HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON. THE LIMITS OF ANY OFFSITE APPURTENANT EASEMENTS THAT HAVE BEEN REPORTED BY THE TITLE REPORT PROVIDOR HAVE BEEN DENOTED ON THE SURVEY AND ARE SHOWN HEREON.

11. UNLESS SHOWN OTHERWISE, THE SURVEYED BOUNDARY SHOWN HEREON ARE CONTIGUOUS WITH ADJOINING PROPERTIES AND/OR RIGHTS OF WAY WITHOUT ANY GAPS, GORES OR OVERLAPS.

12. UNLESS SHOWN OTHERWISE, NO VISIBLE EVIDENCE OF SUBSTANTIAL AREAS OF REFUSE WERE OBSERVED AT THE TIME THE FIELDWORK WAS PERFORMED.

15. THE LOCATION OF EACH EASEMENT, RIGHT OF WAY, SERVITUDE, AND OTHER MATTER

17. THE SUBJECT PROPERTY APPEARS TO DRAIN INTO A PUBLIC RIGHT OF WAY.

ZONING INFORMATION			
FEW	REQUIRED	CONTACT:	PARTNER
ZONING DESIGNATION	SO PLANNED TO ELIGIBLE	REPORT DATE:	OCTOBER 4, 2023

MAX BUILDING HEIGHT	2 STORIES	1 SPACE PER 150 SQUARE FEET OF FLOOR AREA
MINIMUM SETBACKS	7 FRONT 25 FEET	
	STREET 25 FEET	REQUIRED = 373 SPACES
	SIDE NONE REQUIRED	EXISTING = 237 SPACES

EOS FITNESS - DESOTO
SITE ADDRESS
1300 WEST BELT LINE ROAD

COORDINATED BY

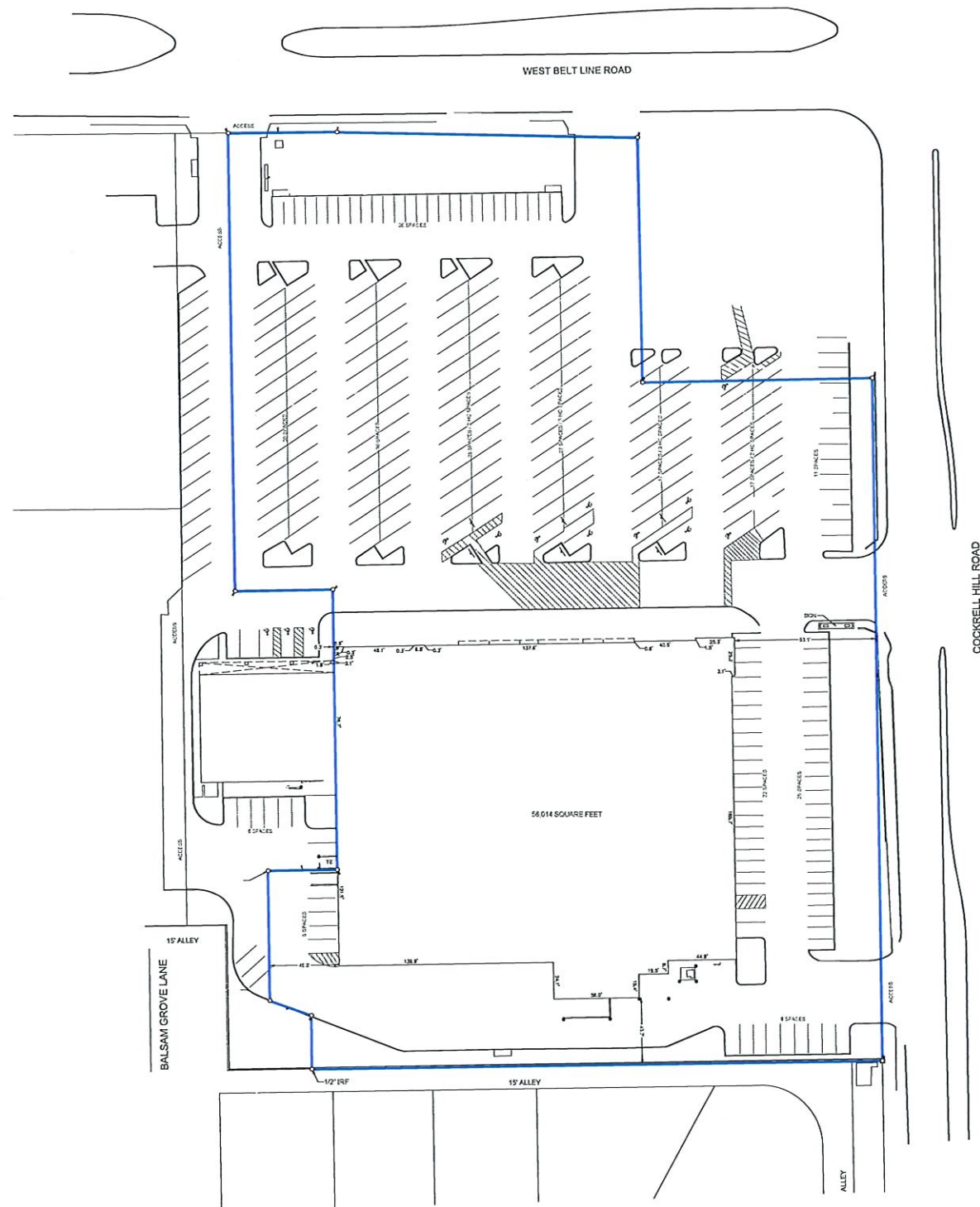
PARTNER

CORPORATE OFFICE
2154 Torrance Boulevard
Torrance, CA 90501
Torrance 310-564-3600

DATE	REVISIONS	DRAWN BY: EAG	DRAWING SCALE: 1"=40'
10/3/2023	COMMENTS	CHECKED BY: ARC	JOB NO.: 23-0000648
10/4/2023	CHANGED	FILENAME: PARTNER 1300 W BELT LINE RD. DESOTO_23-000064.DWG	

CROWLEY SURVEYING
FRN 10046500
117 WEST ARCHER STREET
117

JACKSBORO, TEXAS 76458
(409) 850-CPLS(2157)
aaronley@crowleysurveying.com



CRYSTAL CREEK RIDGE ADDITION

LEGAL DESCRIPTION: LOT 1A, BLOCK H, CRYSTAL CREEK RIDGE ADDITION, AN ADDITION TO THE CITY OF DESOTO, DALLAS COUNTY, TEXAS ACCORDING TO THE REPLAT THEREOF RECORDED UNDER CLERK'S FILE NO. 20070427647, MAP RECORDS, DALLAS COUNTY, TEXAS.

SITE DATA SUMMARY TABLE

BUILDING AREA	56,014 SF
BUILDING HEIGHT	26.9 FEET ±
LAND AREA	4.978 ACRES (216,829 SQUARE FEET)
PARKING	REGULAR: 247 SPACES HANDICAP: 10 SPACES CROSS PARKING: 33 SPACES TOTAL SPACES: 290 SPACES
FLOOR AREA BREAKOUTS	GYM: 40,140 SF OTHER: 15,874 SF TOTAL: 56,014 SF

> 257 spaces



Equinox

Equinox FITNESS

NOW OPEN



E6S FITNESS



E6S FITNESS

NOW OPEN

OPEN 24/7



Mobil













**FITNESS
NUTRITION**

1308

NAILS *Studio*

































BIG BOX
DEVELOPMENT

EōS FITNESS

ENROLLMENT CENTER
NOW OPEN!
JOIN NOW AND SAVE!
\$9.99
/MO



ENROLLMENT CENTER
NOW OPEN!
JOIN NOW AND SAVE!
\$9.99
/MO

EōS FITNESS

DESOTO, TX

Representative Photo

EoS Development

JUNE 7, 2021

- Contract for Big Box Development (BBD) to purchase the property agreed upon
- Due diligence begins

OCTOBER 29, 2021

- Zoom Call with P&Z to discuss EōS Fitness plans, parking, zoning, & more.
- Email from City of Desoto confirming that parking is sufficient
- BBD moves forward with purchase

OCTOBER 2022

- EōS Fitness receives permit from the City of DeSoto for construction

NOVEMBER – DECEMBER '23

- **11/16:** EōS Fitness received temp certificate of occupancy
- **12/13:** EōS Fitness opens to the public



EōS FITNESS IMPACT

1300 W BELT LINE ROAD, DESOTO, TX



- Albertson's closed in 2018 & the building sat vacant for 5 years
- More than \$5mm has been invested into the redevelopment of the building



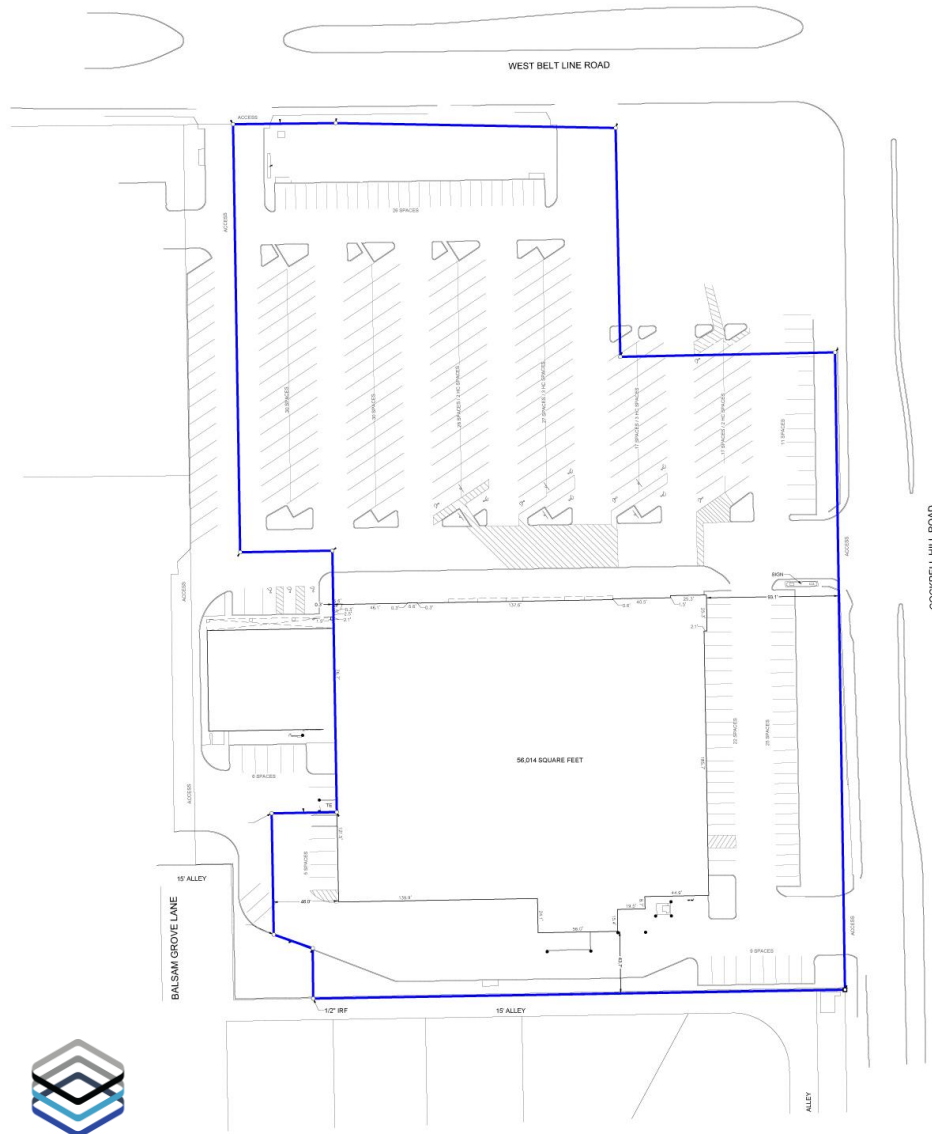
EōS FITNESS IMPACT

POSITIVE IMPACT ON THE COMMUNITY:

- Easy access to an affordable, high-quality Health and Wellness option for the residents of Desoto
- Creation of jobs in the Desoto community for a diverse set of employment seekers
- EōS Fitness strives to be a good community partner! In the past, EōS Fitness gyms have been involved in local races, charities, fundraisers, silent auctions, retail partnerships, sponsorships, community events, & more!



PARKING FEASIBILITY



EÖS FITNESS PARKING:

- Parking Spots: 257
- Additional Cross Parking: 33
- Total Parking Available: 290

PARKING STUDY:

Traffic Data provided by Placer.ai

- Grocery vs Gym Weekly Visits Nationwide:
 - Albertson's (AVG): 11,250
 - Fitness Competitor (AVG): 8,961
- Grocery vs Gym Weekly Visits in Desoto:
 - Kroger I-35 & Pleasant Run (AVG): 14,128
 - Tom Thumb N Hampton & Pleasant Run (AVG): 13,092
 - Planet Fitness I-35 & Pleasant Run (AVG): 8,155

