

City of Elmhurst
Minimum Construction Requirements for:
A Typical Detached Frame Garage

Planning

Area of Private Garages The floor area of private detached garages shall not exceed 720 sq. ft.

Setback requirements will vary with lot zoning. Check with the City for requirements.

Drainage. If downspouts are planned they shall discharge onto your own property. Garages shall be built at existing grade and it shall not be elevated unless permission is received from City Engineer.

Topographic Survey and Grading Plan shall be required for all additions and garages. (detailed information available)

The **side walls** of a private garage shall not exceed 10' in height and the highest point of the roof shall not be more than 21' above the finished grade.

In a private garage having a **storage space** above the main story, such storage space shall contain no more than 50% of the cubic volume of the main story. (graphic information available)

Roof

240# Shingles Class A fire rated, over 15# bldg. felt on 5/8" plywood roof sheathing. (Particle board and OSB are not permitted for roof sheathing.)

2 x 8 ridge board (min.) w/ 2 x 6 rafters @ 16" O.C.) Provide span tables used to determine

2 x 6 collar ties @ 4' O.C. and 2 x 6 cross ties @ 4' O.C.) grade, species and span.

Walls

Double Top Plate (2 - 2 x 4's) **Triple Corners** (3 - 2 x 4's) **All Framing** 16" O.C.

1 x 4 sway braces, "let in" plate to plate on outside of studs or full sheet 1/2" plywood at corners (particle board is not permitted for corner bracing).

1/2" **wall sheathing** on 2 x 4 studs 16" O.C. (Particle board is not permitted for sheathing).

Single bottom plate - 2 x 4 **Treated Lumber** (min).

Siding (wood, metal, vinyl) over 15# building felt or building wrap when applicable.

Double 2 x 8 headers over windows (min)

Double 2 x 6 over service door (min)

Double 2 x 4 under window - @ sill

Double 2 x 12 w/ 1/2" plywood flitch plate @ overhead door(s) 7'-0" to 9'-0" wide.

Double 2 x 12 w/ 1/8" steel flitch plate @ overhead doors greater than 9'-0" wide.

LVL or microlans may be utilized as designed by an architect.

Concrete

Concrete slab with grade beam shall be a monolithic pour (see figure). Concrete slab shall be a 6 bag mix, 5" thick with 6" x 6" w2.1 x w2.1 W.W.F. on 5" gravel. (Remove sod and other organic material before placing grade. An inspection of the "prep area" before the gravel is placed shall be required.) Provide 1/2" diam. X 10" long anchor bolts at 4'-0" O.C., also locate the anchor bolts 1'-0" from each corner (both directions). If clay is not found when digging the perimeter footing, then provide 8" diameter post holes on 5' centers around outside perimeter down to clay. (All extra fill and vegetation to be removed from the site and properly disposed of.)

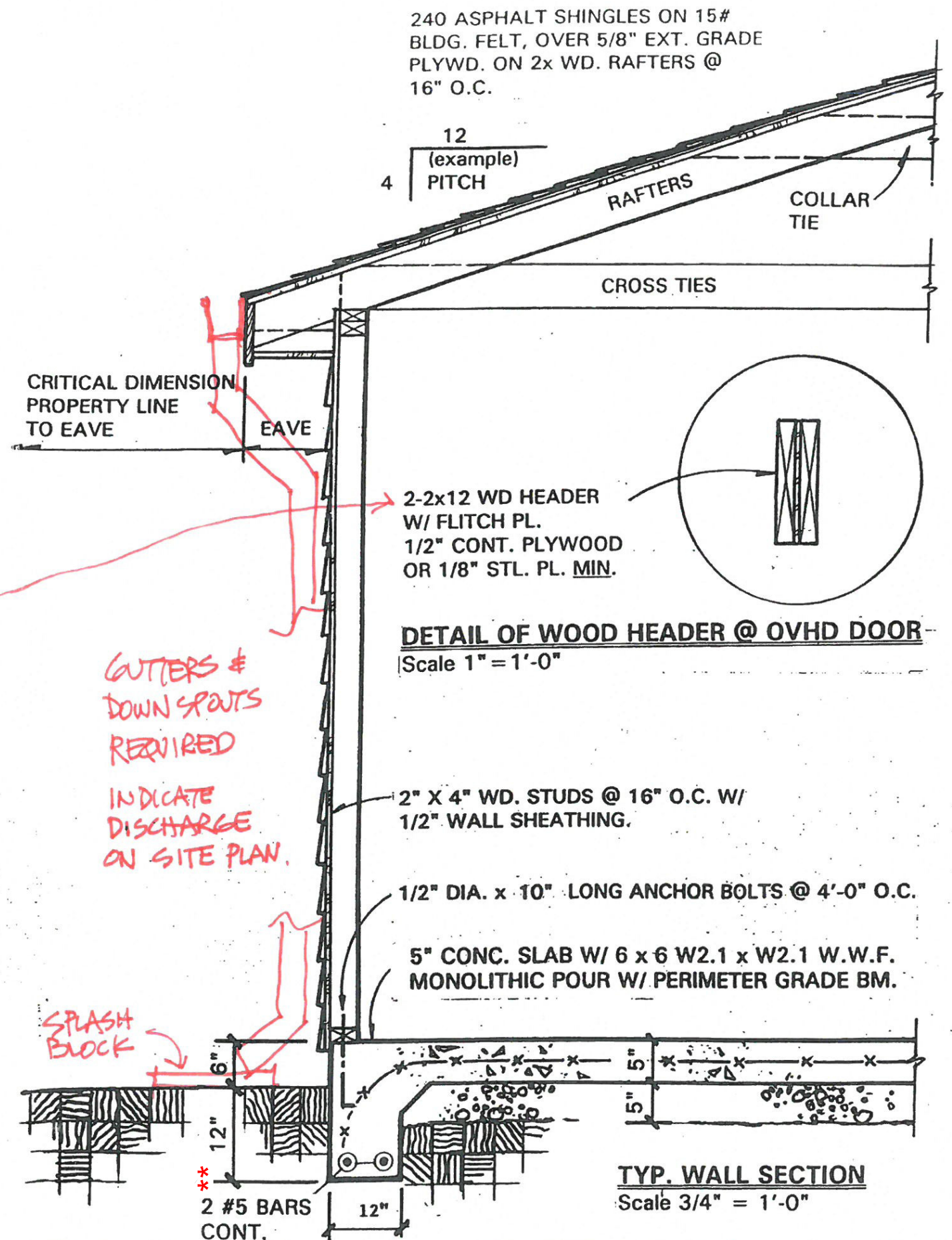
**** NOTE: GRADE BEAM IS NOT PERMITTED FOR GARAGES OF 600 SF OR GREATER IRC. R403.1.4 AND R403.1.4.1**

Electric conduit through the garage slab and into the house must be rigid metal. Conduit from the house to the garage may be rigid metal 6" deep, PVC 18" deep, or underground cable 24" deep. All garages shall have a minimum of two (2) wall outlet receptacles plus one (1) additional outlet in the ceiling for each overhead garage door. All wall outlets in the garage shall be GFCI protected. At least one (1) ceiling light is required for each bay, plus one (1) outside light at each exterior service door and one (1) light on each side of the overhead doors.

Contractor must make application for building permit. All contractors must be bonded and registered with the City.

Revised: 4/12/2021

Building/minimum cons req for detached garage.doc





CITY OF ELMHURST

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www.elmhurst.org
Community Development – 630-530-3030
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NOTICE

regarding

ADDITIONS AND GARAGES

Effective: August 15, 2005

**A Topographic Survey and Grading Plan shall be required
for all Additions and Garages.
Scale shall be 1 inch = 10 feet**

****Effective August 15, 2005****

A Topographic Survey and Grading Plan shall be for all additions, garages and any structure that requires a footing. All downspouts and sump discharges shall be connected to the storm sewer system to avoid the increase of run off onto adjacent property.

**Bruce Dubiel, LA/CBO
Building Commissioner
City of Elmhurst**



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CITY OF ELMHURST STANDARD SITE PLAN NOTES

City of Elmhurst – Standard Notes

1. Connect downspouts and sump pump to City storm sewer. Contractor shall use a minimum 6" PVC, SDR 26 Pipe. Downspouts and sump pump discharge shall have an air gap at connection to conveyance pipe.
2. Maintain existing drainage pattern. You shall not cause storm water runoff to run on neighbor's property.
3. All excavated material not used to backfill around foundation shall be removed from site.
4. All new service connections are required at mains. Existing utility services shall be disconnected at main.
5. A stabilized construction entrance is required for the site prior to any excavation. Minimum of 3" rock shall be used to construct entrance.
6. Install 2" PVC, Schedule 8- conduit under the driveway for future street lighting. Pipe shall be two feet behind the curb, approximately 18" deep and should extend two feet past the edge of pavement. Both ends should be capped.
7. The proposed driveway section should be noted as 6" PCC on a 6" compacted aggregate base or 3" bituminous surface on a 6" compacted aggregate base.
8. The parkway tree diameter should be shown on the site plan and tree protection zone should be drawn. The zone shall be noted as "Tree Protection Zone: No trenching or excavation within area." The tree protection zone radius is dependent on the diameter of the trunk 4.5 feet above grade.

Trunk Diameter

1" to 9"
10" to 14"
15" to 19"
Over 19"

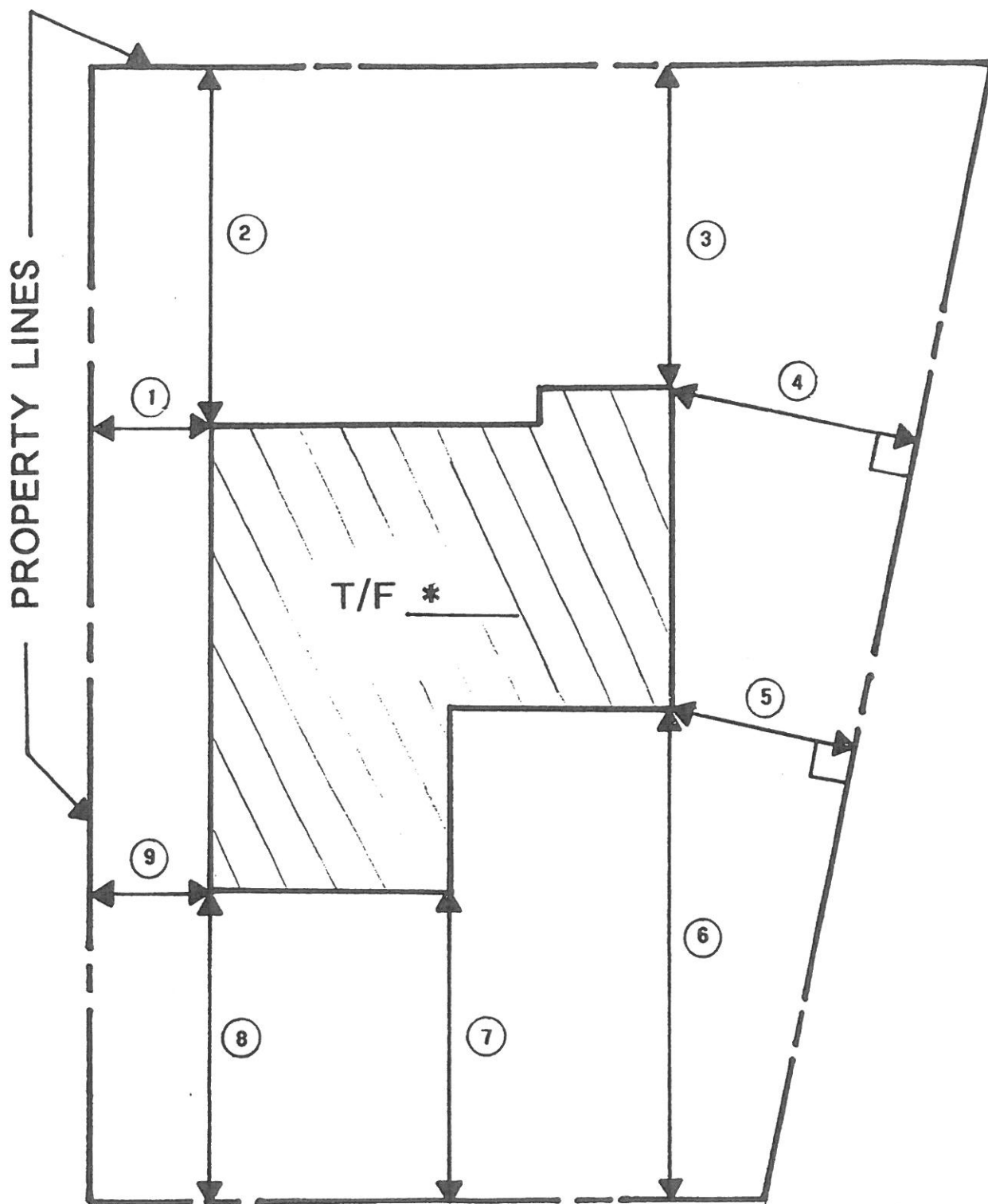
Tree Protection Zone Radius

5 Feet
10 Feet
12 Feet
15 Feet

City of Elmhurst – Erosion Control Notes

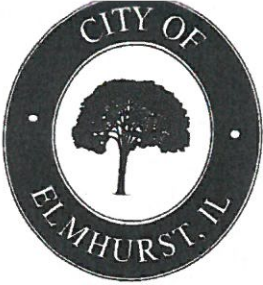
1. Sediment and erosion control devices shall be installed and functional before the site is otherwise disturbed.
2. If a stockpile is to remain in place for more than seven days, it shall be surrounded by silt fence. If a stockpile is to remain in place for more than fourteen days, it shall be protected with temporary seeding.
3. All flared end sections shall be protected by sediment settling basins and/or straw bales until ground cover has been established.
4. Water pumped or otherwise discharged from the site as part of construction dewatering shall be filtered.
5. All soil, mud and debris washed, tracked or deposited onto the street pavement shall be removed at the end of each work day.
6. Vehicular access to the site shall be restricted to a gravel drive after the foundation has been backfilled. The gravel drive shall be installed within seven days of the foundation backfilling and prior to the start of any construction above the top of foundation.
7. Ground cover (seed and mulch or sod) shall be placed on all disturbed areas within fourteen days of the completion of topsoil placement and final grading. If weather conditions preclude the placement of seed and mulch or sod, all disturbed areas shall be protected with an erosion control blanket.

SPOT SURVEY AND TOP OF FOUNDATION ELEVATION REQUIRED INFORMATION



* INDICATE THE LOCATIONS AND ELEVATIONS FOR ALL STEPS IN THE TOP OF FOUNDATION.

INDICATE ALL DIMENSIONS FROM THE FOUNDATION TO THE PROPERTY LINES.



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209 North York Street
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Building Department: 630-530-3030 Ph 630-530-3127 Fax

Effective January 29, 2001

Site Development Plan Submittal Requirements (Signed and Sealed by a Professional Engineer)

1. Creation of drainage swales or installation of drainage system to keep runoff from affecting neighboring properties.
2. Show proposed building, garage, or addition location and dimensions.
3. Indicate top of foundation elevations for proposed construction and structures adjacent to property.
4. Silt fence shall be installed along property lines and at inlets, to prevent soil erosion during construction.
5. Location, dimension, and composition of the proposed driveway shall be shown. Show all trees, light poles, and fire hydrants in the City parkway.
6. If new driveway is proposed, top of curb and back of sidewalk elevations shall be shown. Show all trees, light poles, and fire hydrants in the City parkway.
7. Provide accurate dimensions for front and side yard setbacks for the proposed construction and the adjacent property structures, including any building cantilevers or projections into all yards. (SHOW ACTUAL BUILDING LINE AND THE BUILDING LINE THAT REPRESENTS THE AVERAGE OF ADJACENT).
8. Show all utility service lines and connections at their respective mains.
9. Indicate the City utilities and their sizes.
10. Show proposed ground grades at building corners.
11. Show size and location of all improvements including sidewalks, patios, and decks.
12. Provide a clear and detailed legend.
13. The scale shall be 1 inch = 10 feet.
14. Detail all removal and restoration work within the City R.O.W.

The following must be shown on a separate Plat of Survey, submitted with the Site Development Plan. (SIGNED AND SEALED BY A LICENSED SURVEYOR)

1. Show existing contours in one-foot increments, extending through adjacent properties.
2. Provide legal description.
3. Structures on adjacent properties must be accurately located and elevation shown.
4. Tie benchmark elevations to the USGS Datum (NGVD).
5. Show all easements and encumbrances.

Original Development Plan and Plat of Survey to be submitted free of any and written changes or marks.

Building/forms/site development plan submittal requirements



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NOTICE

Spot Survey and Top of Foundation Elevation Requirements

Effective: April 15, 2005

- ✓ A Spot Survey and Top of Foundation Elevation information will be required for all foundations of New Single Family Residences and Townhouses poured after April 15, 2005.
- ✓ All new garages and additions constructed after May 15, 2007 shall be required to provide a spot survey and top of elevation submittal.
- ✓ Completed spot survey and elevation information shall be submitted to the Building Department.
- ✓ Spot survey and elevation submittal **MUST BE** signed and sealed by a Professional Engineer or a Registered Land Surveyor.
- ✓ Backfilling may **NOT** begin until the Building Department approves the spot survey and top of foundation elevation.



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May 10, 2007

RE: Spot Survey and Top of foundation Elevation Requirements

To Whom It May Concern:

Beginning May 10, 2007, a Spot Survey and Top of Foundation Elevation Submittal will be required for all New Single Family Residences, Townhouses, additions and garages constructed after May 15, 2007. A completed Spot Survey and Top of Foundation Elevation submittal will need to be delivered to the Building Department at City Hall. The submittal must be signed and sealed by a Professional Engineer or a Registered Land Surveyor. Framing may not begin until the Building Department approves the Spot Survey and Top of Foundation Elevation.

Please abide by the following procedure to ensure a prompt response:

1. Complete the foundation pour.
2. Registered Land Surveyor/Professional Engineer performs the survey of the top of foundation and any steps in the foundation, as well as measures the distance from the foundation to the property lines as shown on the attached sheet.
3. Registered Land Surveyor/Professional Engineer provides the Spot Survey and Top of Foundation Elevation information including date, signature and professional seal.
4. Builder/Engineer/Surveyor uploads the survey information to the on-line permit portal.
5. City of Elmhurst Building Department reviews the submittal.
6. City of Elmhurst Building Department notifies the Builder (or applicant of permit) via the on-line permit portal if the spot survey is approved or denied.
7. If submittal is approved, the builder can begin framing. If the spot survey or top of foundation elevation is disapproved, the builder must address/correct the error.

If you have any further questions regarding this matter, please contact the Building Department at 630-530-3030.

Sincerely,

Building Department and
Engineering Division
City of Elmhurst

City of Elmhurst

50% Cubic Volume

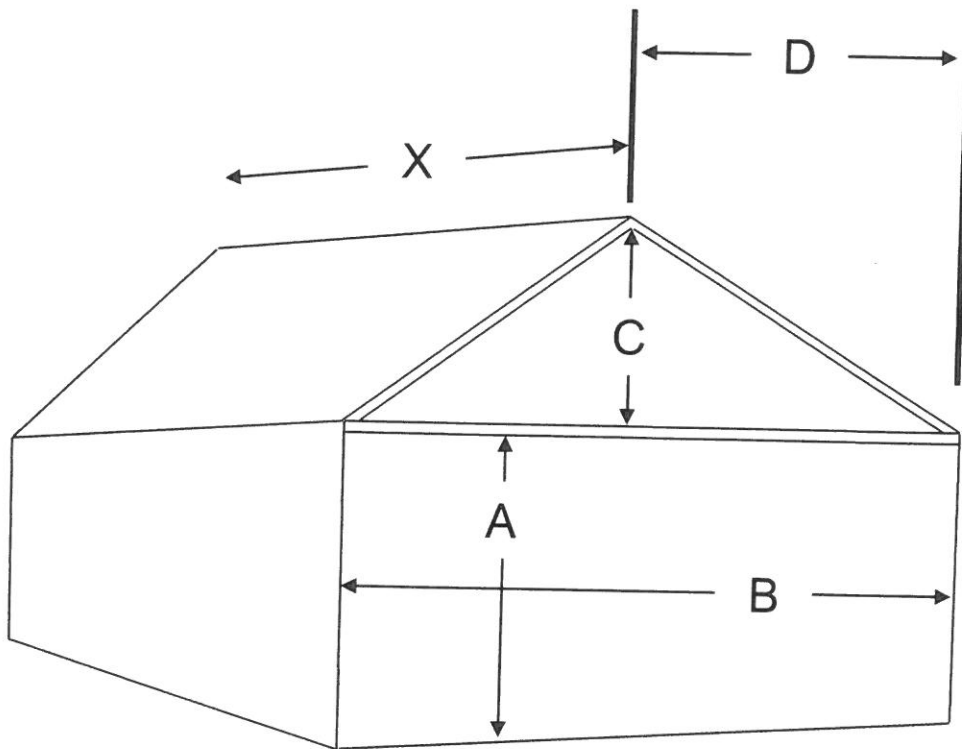
Calculation Formula

For Detached Garages

$A \times B \times X = \text{volume of 1st Floor}$

$C \times D \times X = \text{volume of Attic}$

(A – cannot exceed 10 feet)



**Attic Volume Must Not
Exceed 50% of the 1st Floor**