

Fairfield, Connecticut 06824 Purchasing Department

(203) 256·3060 FAX (203) 256·3080

Award Recommendation Resolution:

On Monday, 10th July 2023, the Purchasing Authority recommended an award of Bid 2023-153 Fitts House HVAC RTU Replacement Project – FWHS to Sav-Mor Cooling & Heating Inc., Southington, CT to perform removal and proper disposal, and installation of three (3) new rooftop HVAC units at Fitts House – Fairfield Warde High School as well as the Add Alternate for Commissioning Services.

Base Bid: \$1,080,000.00

Add Alternate: Commissioning Services: \$ 9,900.00

Total Cost: \$1,089,900.00

The award of the contract to Sav-Mor Cooling & Heating, Inc. may be subject to the review and approval of the Board of Selectmen.

Brenda L. Kupchick, First Selectwoman

dam B. Tulin, Director of Purchasing

RFP #2023-153 DESC: Fitts House HVAC RTU Replacement Project - FWHS DATE: 15th June 2023 TIME: 11:00 AM	Town of Fairfield Bid Proposal Summary					
9	Blizzard Mechanical, LLC Derby, CT	Sav-Mor Cooling & Heating Inc. Southington, CT				
Base Bid - Total Lump Sum	\$1,190,000.00	\$1,080,000.00				
Add Alternate - Commissioning Services	\$10,000.00	\$9,900.00				
<u>Total</u>	\$1,200,000.00	\$1,089,900.00				
Bid Bond	Yes	Yes				



Fairfield, Connecticut 06824 **Purchasing Department**

 $(203)\ 256 \cdot 3060$ FAX (203) 256-3080

BID #2023-153

Fitts House HVAC RTU Replacement Project Fairfield Warde High School State Project No. 051-001 HVAC

TOWN OF FAIRFIELD PURCHASING AUTHORITY 725 OLD POST ROAD INDEPENDENCE HALL FAIRFIELD, CT 06824.

SEALED BIDS are subject to the standard instructions set forth on the attached sheets. Any modifications must be specifically accepted by the Town of Fairfield, Purchasing Authority.

Bidder:

Date Submitted

Say-Mor Cooling & Heating Inc. Doing Business As (Trade Name)

June 14, 2023

231 Captain Lewis Drive

Southington, CT 06489

Town, State, Zip

Mr. Troy Karwowski, President (Mr. / Ms.) Name and Title, Printed

Signature

860-621-9959 Telephone

troy@savmorct.com E-mail

Sealed bids will be received by the Purchasing Authority at the office of the Director of Purchasing, First Floor, Independence Hall, 725 Old Post Road, Fairfield, Connecticut 06824, up to:

11:00 am, Thursday, 15th June, 2023

To provide labor, materials, equipment and all else necessary to complete the rooftop HVAC unit replacement project at Fitts House - Fairfield Warde High School as detailed in the attached specifications and project documents prepared by van Zelm Engineers.

NOTES:

- 1. Bidders are to complete all requested data in the upper right corner of this page and must return this page and the Proposal page with their submission.
- 2. No bid shall be accepted from, or contracts awarded to, any person/company/affiliate or entity under common control who is in arrears to the Town of Fairfield upon debt, or contract or who has been within the prior five (5) years, a defaulter as surety or otherwise upon obligations to the Town of Fairfield, and shall be determined by the Town.
- 3. Bids are to be submitted in a sealed envelope and clearly marked "BID #2023-153" on the outside of the envelope, including all outer packaging, such as, DHL, FedEx, UPS, etc.
- 4. It is the sole responsibility of the bidder to see that the bid is received by the Fairfield Purchasing Department prior to the time and date noted above. Bids are not to be submitted via email or fax.
- 5. Bids are not to be submitted with plastic binders or covers, nor may the bid contain any plastic inserts or pages.



Fairfield, Connecticut 06824 Purchasing Department (203) 256·3060 FAX (203) 256·3080

ADDENDUM #1 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

18th May 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:

1. The Town has elected to change the pre-bid date for this bid solicitation from Tuesday, May 30th at 11:00 am to Thursday, June 1st at 10:00 am.

End of Addendum #1

Company: Sav-Mor Cooling & Heating Inc. Name: Troy	y Karwowski Signature:	Date:6/14/23
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Fairfield, Connecticut 06824 Purchasing Department (203) 256·3060 FAX (203) 256·3080

ADDENDUM #2 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

7th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information: 1. Please see attached Addendum #1 issued by van Zelm Engineers. End of Addendum #2 Company: Sav-Mor Cooling & Heating Inc. Name: Troy Karwowski Signature: Date: 6/14/23



Fairfield, Connecticut 06824 Purchasing Department

(203) 256·3060 FAX (203) 256·3080

ADDENDUM #3 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

12th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

Questions:

1. Are there Liquidated Damages and Retainage? If so, what is the amount?

Response: No liquidated damages, 5% retainage.

2. How many copies of our proposal do you require us to provide?

Response: Please submit one (1) original document two (2) copies of your bid submission.

3. Are permit fees waived?

Response: The Town will waive its application and permit fees for Town of Fairfield projects.

4. Will Maintenance be required once the project is complete? (i.e.: 1 year)

Response: One (1) year warranty as required by law. A maintenance contract after the final acceptance is not required.

End of Addendum #3

				11	
Company: Sav-Mor Cooling & Heating Inc.	Name:	Troy Karwowski	Signature:	, _	Date: 6/14/23

BID PROPOSAL FORM

PROPOSAL TO:

PROPOSA	AL TO:	First Floor, Sullivan	Purchasing Department Independence Hall Fairfield, Connecticut 0	6824		
<i>I</i> ,	Sav-Mo	or Cooling & Heat	ing Inc.	have received th	he following contract d	locuments,
2. A	ID Document # ddenda 1_ thr ocuments prep		ww.fairfieldct.org/purch gineers			
3, 1.10	der documents	rovisions in my propo as required for the re l, Connecticut as spec	osal. I shall supply all la eplacement of three (3) i ified.	bor, materials and e HVAC RTU at Fitts	quipment necessary in House - Fairfield War	accordance with all de High School, 755
BASE BID	– TOTAL LI	UMP SUM				
The second secon	endum #2 - A amount shall in es from which	Add / Alt. for Com aclude the cost of all n the Owner is exempt	One Million Eighty tten Amount) amissioning Assitance ecessary labor, materials and permits, including nts prepared by van Zeln	e: \$9,900.00 s, equipment, disposa	Dollars Al, delivery, mobilization rofit, based on the total	
CHECKLI						
The following	ng must be sub	mitted with proposal:				
	Addenda ackr Bid Bond or e List of referen Contractor an	qual security for five (ces where projects per d/or Subcontractor is s of all sub-contractors	on Bid Proposal Form, or (5) percent of the total est formed within the past fir a certified installer for a s, identifying each trade,	imated bid. ve years of comparab Il manufacturers stat	ble size and scope.	
The Bidder I	nereby certifies from any sub-b	that any and all defe	cts, errors, inconsistenci plier found in the Contra	es or omissions of w ct Documents are lis	which he/she is aware, ested herewith in this Bi	either directly or by
	y Karwowsk					
Name and Titl	e	i, r residelit	Signature		6/14/23 Date	_

Document A310[™] - 2010

Conforms with The American Institute of Architects AIA Document 310

Bid Bond

CONTRACTOR:

(Name, legal status and address)

Sav-Mor Cooling & Heating, Inc. 231 Captain Lewis Drive Southington, CT 06489

OWNER:

(Name, legal status and address)

Town of Fairfield 725 Old Post Road - Independence Hall Fairfield, CT 06824 SURETY:

(Name, legal status and principal place of husiness)
Swiss Re Corporate Solutions America Insurance
Corporation

1200 Main Street, Suite 800 Kansas City, MO 64105 Malling Address for Notices

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

BOND AMOUNT:

Five Percent of Amount Bid

PROJECT:

(Name, location or address, and Project number, if any)

Bid # 2023-153 - Fitts House HVAC RTU Replacement Project at Fairfield Warde High School, State Project # 051-001 HVAC

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

(Principal)

Signed and scaled this

15th

day of June, 2023.

(Wilmess) Melissa Famosi

(Wilmess) Melissa Famosi

(Wilmess) Nicole Plourde

By:

(Title) Troy Karwowski, President

Swiss Re Corporate Solutions America Insurance (Surety)

(Seul)

By: Craig H. Meeker, Attorney-in-Fact

Sav-Mor Cooling & Heating, Inc.

SEAL 1973 Ssou

(Seal)

SWISS RE CORPORATE SOLUTIONS

SWISS RE CORPORATE SOLUTIONS AMERICA INSURANCE CORPORATION ("SRCSAIC") SWISS RE CORPORATE SOLUTIONS PREMIER INSURANCE CORPORATION ("SRCSPIC")

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT SRCSAIC, a corporation duly organized and existing under laws of the State of Missouri, and having its principal office in the City of Kansas City, Missouri, and SRCSPIC, a corporation organized and existing under the laws of the State of Missouri and having its principal office in the City of Kansas City, Missouri, each does hereby make, constitute, and appoint: Craig H. Meeker

Principal: Sav-Mor Cooling & Heating, Inc.

Obligee: Town of Fairfield

Bond Description: Bid # 2023-153 - Fitts House HVAC RTU Replacement Project at Fairfield Warde High School, State Project # 051-001 HVAC

Bond Number: Bid Bond Bond Amount: See Bond Form

Its true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, bonds or other writings obligatory in the nature of a bond on behalf of each of said Companies, as surety, on contracts of suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract or suretyship executed under this authority shall exceed the amount of:

FIFTY MILLION (\$50,000,000.00) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both SRCSAIC and SRCSPIC at meetings duly called and held on the 9th of May 2012:

"RESOLVED, that any two of the President, any Managing Director, any Senior Vice President, any Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is, authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Corporation bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Corporation; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Corporation may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Corporation when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached."

SEAL 1973



By

Erik Janssens, Senior Vice President of SRCSAIC & Senior Vice President of SRCSPIC

By Gerald Jagrowski, Vice President of SRCSAIC & Vice President of SRCSPIC

IN WITNESS WHEREOF, SRCSAIC and SRCSPIC have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 10TH day of NOVEMBER, 20 22

Swiss Re Corporate Solutions America Insurance Corporation Swiss Re Corporate Solutions Premier Insurance Corporation

State of Illinois County of Cook

SS

On this 10TH day of NOVEMBER, 20 22, before me, a Notary Public personally appeared Erik Janssens, Senior Vice President of SRCSAIC and Senior Vice President of SRCSPIC and Gerald Jagrowski, Vice President of SRCSAIC and Vice President of SPCSPIC, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.

CHRISTINA MANISCO
NOTARY PUBLIC STATE OF BLINOIS
NY Commission Expires Manch 28, 2026
Christing Malues, Roles

I, <u>Jeffrey Goldberg</u>, the duly elected <u>Senior Vice President and Assistant Secretary</u> of SRCSAIC and SRCSPIC, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said SRCSAIC and SRCSPIC, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this <u>15th</u> day of <u>June</u>, 2023.

Jeffrey Goldberg, Senior Vice President & Assistant Secretary of SRCSAIC and

SRCSPIC

REFERENCES

Provide reference details of most recent similar scope projects performed.

REFERENCE #1:	
Name of Company Town of Windsor	Phone 860-285-1870
Contact Person Whit Przech	Cell
Company Address 275 Broad St. Windsor CT 06095	Email przech@townofwindsorct.com
Project, Location, & Date Completed John F. Kennedy School and	Poquonock School
Windsor CT - Completed Ap	ril 2019 and October 2019
REFERENCE #2:	
Name of Company Regional District 8	Phone <u>860-922-2941</u>
Contact Person Michael Schlehofer	Cell
Company Address <u>85 Wall St. Hebron CT 06248</u>	Email michael.schlehofer@rhamschools.o
Project, Location, & Date Completed RHAM High School, Hebro	on CT - Completed June 2022
REFERENCE #3:	
Name of Company Town of Guilford	Phone <u>203-458-0001</u>
Contact Person Cliff Gurnham	Cell
Company Address 31 Park St. Guilford CT 06437	Email gurnhamc@guilfordschools.org
Project, Location, & Date Completed Melissa Jones Elementary Sci	hool, Guilford CT
Completed August 2020	
REFERENCE #4:	
Name of Company CT State Colleges & Universities	Phone 860-244-7732
Contact PersonYolanda Hacia	Cell
Company Address 61 Woodland St. Hartford CT 06105	Email <u>yhacia@commnet.edu</u>
Project, Location, & Date Completed Three Rivers Community C	ollege, Norwich CT
Completed September 2020	
REFERENCE #5:	
Name of Company Town of West Hartford	Phone <u>860-570-6500</u>
Contact Person Michael Longo	Cell
Company Address 50 South Main St. West Hartford CT 06107	Email mike.longo@westhartford.org
Project, Location, & Date Completed Sedgwick Middle School - We	est Hartford CT.
Completed January 2022	CHELL CONTINUES TO SERVICE CON

** Please see attached Major Projects List for more References **

	CAV MOD Cooling & Hapting Inc						
	SAV-MOR Cooling & Heating Inc. Completed Major Projects Past 5 Years						
NAME / Owner	TYPE OF WORK DONE	Completion Date	% of work performed by us	Contract Value	Representative	Phone Number	Email Address
	INSTALLATIONS FOR 2017						
Norwalk City Hall	HVAC Unit Replacement	1/14/2017	75.00%	\$134,744.00	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Enfield Housing Authority	Boiler Replacement	1/14/2017	85.00%	\$698,476.57	Bill Dufour	(860) 745-7493	bdufour@enfieldha.org
Hartford Regional Center	Roof Top HVAC Replacement	1/21/2017	90.00%	\$202,902.00	John Massicotte	(860) 263-2486	John.Massicotte@ct.gov
Easter Seals	Packaged Gas / Electirc Roof Top Units and Duct Work	2/10/2017	100,00%	\$67,100.00	Jeff Raboin	(203) 754-5141	Jraboin@eswct.com
Hubbell Elementary School	HVAC Equipment Replacement	3/11/2017	95.00%	\$162,853.25	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
Alcott Elementary School	HVAC and Controls Upgrades	3/18/2017	95.00%	\$77,400.00	Wayne Natzel	(203) 879-8180	w.natzel@wolcottps.org
Broad Brook Elementary School	Air Conditioning Installation	3/25/2017	85.00%	\$182,329.46	Joseph Sauerhoefer	(860) 292-7073	Jsauerhoefer@eastwindsorct.com
Gernini Building	Air Conditioning Revisions	4/8/2017	95.00%	\$154,890.00	Mike Longo	(860) 561-7520	Mike.Longo@WestHartfordCT.gov
Branford High School	Heating and Cooling Roof Top Units	4/17/2017	100.00%	\$78,000.00	Joe Carbone	(203) 315-7803	jcarbone@branfordschools.org
Skinner Road School	Roof Top Unit / Gas Heat	6/14/2017	100.00%	\$63,000.00	William Peluso	(860) 870-6000	wpeluso@vernon-ct.gov
Simsbury Schools	Air Conditioning Upgrades - multiple locations	8/18/2017	90.00%	\$732,732.63	Steven Twitchell	(860) 408-5448	stwitchell@simsbury.k12.ct.us
Amity High School	Air Handling Unit Replacement	8/25/2017	75.00%	\$514,400.00	Jim Saisa	(203) 397-4818	jim.saisa@reg5.k12.ct.us
Town of Middlebury/Shepardson	HVAC and Electrical Upgrades	10/24/2017	90.00%	\$77,500.00	Paul Vaccarelli	(203) 577-4170	pvaccarelli@middlebury-ct.org.
Town of Bolton	Boiler Conversion - multiple locations	10/27/2017	90.00%	\$63,700.00	John Butrymovich	(860) 646-8152	jbutrymovich@boltonct.org
City of Bristol/Chippens Hill	HVAC Replacement	12/20/2017	90.00%	\$1,086,306.68	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
	INSTALLATIONS FOR 2018						
Town of Hebron	Natural Gas Conversion Project - mutliple locations	3/14/2018	90.00%	\$555,004.04	Andrew Tierne	(860) 228-5971	atierney@hebronct.com
Dept. of Energy & Environ Prot.	Natural Gas Conversion	3/5/2018	90.00%	\$66,700.00	Mark Sulik	(860) 424-3949	mark.sulik@ct.gov
Dept. of Energy & Environ Prot.	Hot Water Heater Replacement	3/6/2018	90.00%	\$50,000.00	Mark Sulik	(860) 424-3949	mark.sulik@ct.gov
Dept. of Mental Health / Bridgeport MHC	Auditorium Renovation	3/9/2018	90.00%	\$97,930,35	Lane Coppola	(203) 988-0733	lance.coppola@ct.gov
Reg. School Dist. 8 / RHAM High Sch	HVAC Upgrades	3/9/2018	75.00%	\$106,000.00	Michael Schlehofer	(860) 922-2941	Michael.schlehofer@rhamschools.org
Town of Tolland / Recreation Center	Air Conditioning and Boiler Replacements	3/9/2018	90.00%	\$192,329.52	Scott Lappen	(860) 871-3694	slappen@tolland.org
City of Bristol Hubbell School	Mechanical Improvements	3/15/2018	90.00%	\$117,107.53	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
City of Norwalk/ City Hall IT Rooms	Cooling and Fire Suppression Upgrades	6/22/2018	75.00%	\$158,514.63	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Team Inc. / Slocum Building	Heating and Air Conditioning Upgrades	10/19/2018	90.00%	\$429,780.00	Edward Leavy	(203) 929-0546	edwrdivy@sbcglobal.net
Department of Developmental Ser.	Roof Top HVAC Replacement	2/1/2019	95.00%	\$53,900.00	David Elwell	(203) 805-7465	David.Elwell@ct.gov
	INSTALLATIONS FOR 2019						
Town of Mansfield	HVAC Replacement for Town Hall Vault	1/24/2019	75.00%	\$51,700.00	Bill Trietch	(860) 234-1854	trietchwj@mansfieldct.org
Town of Windsor / JFK School	HVAC Equipment Replacements & Improvements	4/10/2019	80.00%	\$2,577,697.99	Whit Przech	(860) 285-1870	przech@townofwindsorct.com
City of Norwalk / Norwalk Historical	Chiller Replacement	5/1/2019	95.00%	\$47,489.00	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Newtown BOE / Hawley School	Ductless Split Air Conditioning Units	5/1/2019	95.00%	\$78,800.00	Rick Spreyer	(203) 270-6131	rick.spreyer@newtown-ct.gov
Town of Waterford Public Buildings	Design/Installation of HVAC Systems	5/31/2019	90.00%	\$1,882,578.12	Abby Piersall	(860) 444-5813	apiersall@waterfordct.org
Town of Woodbridge / Library	HVAC Upgrades	6/1/2019	75.00%	\$174,400.00	Anthony Genovese	(203) 389-3482	agenovese@woodbridgect.org
PAC Group/Parker School Elderly Housing	HVAC Upgrades	7/29/2019	95.00%	\$746,000.00	Rome Santilli	(860) 485-9363	rsantilll@PACGROUPLLC.com
Town of Stratford/Eli Whitney Elem. School	HVAC Upgrades	9/13/2019	80.00%	\$151,731.52	Brian Snyder	(203) 243-3346	brian@snyderarchitects.com
Town of Windsor / Poquonock Elem. School	Air Conditioning Upgrades	10/16/2019	90.00%	\$1,523,217.47		(860) 285-1870	przech@townofwindsorct.com
City of Norwalk / Norwalk Fire Dept. Station #4	Boiler Replacement	11/22/2019	80.00%	\$83,200.00	James Hines	(203) 858-7198	jim@jmkconstructiongroup.com
City of Norwalk / Norwalk Fire Dept. Station #1	Boiler Replacement	11/27/2019	80.00%	\$70,900.00	James Hines	(203) 858-7198	jim@jmkconstructiongroup.com
Town of Manchester / Manchester Fire House #2	Roof Top Replacement	12/9/2019	75.00%	\$167,800.00	Scott Shanley	(860) 674-3123	sshanley@manchesterct.gov
	INSTALLATIONS FOR 2020						
Town of Tolland/Tolland Rec Center	New Air Conditioning and Boiler Replacement	1/21/2020	80.00%	\$212,000.00	Scott Lappen	(860) 871-3694	slappen@tolland.org
Team Inc, Derby	Furnace Replacement	2/26/2020	100.00%	\$48,000.00	Edward Leavy	(203)-736-5420	edwrdlvy@sbcglobal.net
Town of Cheshire / Cheshire Fire Headquarters	Boiler Replacement	2/27/2020	80.00%	\$133,800.00	George Noewatne	(203) 271-6650	gnoewatne@cheshirect.org
Fischer Technologies	HVAC Upgrades	2/28/2020	95.00%	\$257,000.00	Yves Oullette	(203) 537-7641	Y.Ouellette738@gmail.com

NAME / Owner	TYPE OF WORK DONE	Completion Date	% of work performed by us	Contract Value	Representative	Phone Number	Email Address
Klingberg Family Centers	HVAC & Boiler Replacement	4/30/2020	95,00%	\$110,000.00	Joseph M. Milke	(860) 832-5540	joem@klingberg.org
Town of West Hartford/Hall High School	Cooling Tower Replacement	5/20/2020	100.00%	\$59,900.00	Mike Longo	860-538-7732	mike.longo@westhartfordct.gov
Town of Guilford / Abraham Baldwin	HVAC Upgrades - Phase 2	6/23/2020	100.00%	\$1,665,503.60	Cliff Gumham	(203)-458-0001	gumhamc@guilfordschools.org
Town of Southington / Southington High School	Boiler Replacement	8/28/2020	100.00%	\$153,126.00	Peter Romano	(860)-628-3200	promano@southingtonschools.org
Town of Bristol-HA Cambridge Park	Boiler Replacement	12/6/2020	80.00%	\$197,700.00	Carl R. Johnson	(860) 585-2028	ciohnson@bristolhousing.org
CT State Colleges / Three Rivers	HVAC Upgrades	9/2/2020	100.00%	\$75,732.48	Yolanda Hacia	(860)-244-7732	yhacia@commnet.edu
Town of Farmington / West Woods Elementary	HVAC Dehumdification Modifications	7/30/2020	100.00%	\$147,000.00	Tim Harris	(860)-673-8270x7050	harrist@fpsct.org
CT State Colleges / Norwalk Comm. College	West Campus Mechanical Upgrades	8/31/2020	100.00%	\$638,988.68	Yolanda Hacia	(860)-244-7732	yhacia@commnet.edu
Town of Stratford / Lordship Fire Station	HVAC Upgrades	9/19/2020	100.00%	\$94,615.69	Phil Ryan	(203)-385-4044	prvan@townofstratford.com
New Britain Housing Authority / Arthur D'Amato Apts	Electric Water Heater Replacement	10/13/2020	100.00%	\$73.900.00	John Hamilton		
DAS / Franklin Square - New Britain	Boiler Replacement	12/4/2020	100.00%	\$98,000.00	Nick Garcia	860-713-5678	Nicholas.Garcia@ct.gov
New Britain Housing Authority	Boiler Replacement		100.00%	\$69,350,00	Margaret Malinowski	860-826-3430	,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,
* *				,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	3		
	INSTALLATIONS FOR 2021	1					
City of Bridgeport / Aquaculture School	School Office AHU Relocation			\$66,500.00	Rick Paz	203-331-2694	rpaz@bridgeportedu.net
Town of Guilford / Melissa Jones	HVAC and Electrical Upgrades	8/20/2020	80.00%	\$1,414,147,46	Cliff Gumham	203-458-0001	gumhamc@guilfordschools.org
DAS / Rocky Hill Library for the Blind	HVAC Replacement	7/28/2020	80,00%	\$193,806,68	Steven Udeh	860-714-5730	garrine garrier accipiosis is
Town of Woodbridge / Amity Reg Sr High School	Replacement of five (5) Air Handling Units	10/21/2020	75.00%	\$651,952.72	Steve Martoni	203-397-4818	
Town of Fairfield / Roger Sherman Elementary School	Mechanical Alterations and Upgrades	11/17/2020	80.00%	\$947,222,33	Lee Flaherty	200-007 4010	Iflaherty@fairfieldct.org
Town of Newington / Indian Hill Country Club	HVAC Replacement	12/2/2020	80.00%	\$206,400.00	Keith Chapman	860-666-5447	manery what helder org
Town of Chester / Cherry Hill Apartments	Heat Pump Heating and AC Systems	3/31/2021	100.00%	\$56,472.00	Doug Williams	869-526-9724	
City of Waterbury / Water Department	Replacement of Central Cooling System	5/17/2021	80.00%	\$64,750.00	Kevin McCaffery	203-5746740	
WSCU Suite Mechanical Renovations	Mechanical Renovations and new HVAC System	8/20/2021	100.00%	\$298,000,00	Daniel Casinelli	203-837-8660	casinellid@wscu.edu
Town of Manchester / Manchester High School	Rooftop Heating/Cooling Units Replacement	8/30/2021	100.00%	\$72,000.00	Karen Clancy	860-647-3444	casineiliu@wscu.euu
Carl E Aligrove Elementary School	Design and Installation of new Air Conditioning System	10/12/2021	100.00%	\$86,400.00	Ray Carlson	860-653-2505	rayc@egtownhall.com
Stratford Housing Authority	Boiler Replacements	10/25/2021	100.00%	\$564,000.00	Nile Scala	203-375-4483	nscala@idamelia.com
Town of Coventry / Captain Nathan Hale School	Design/Build Services for Replacement of HVAC equipment	11/19/2021	100.00%	\$119.065.00	Joe Salamone	203-281-6895	hscala@joaniella.com
New Fairfield DPW & Town Hall	Design/Build Renovation and Upgrade of HVAC System	12/14/2021	100.00%	\$158,000,00	Patty Mota	203-261-6695	pmota@newfairfield.org
New Families Dr W & Fount Hair	Design build Neriovation and obgrade of HVAC System	12/14/2021	100:00%	\$156,000.00	Patty Mota	203-312-3033	priota@newrainleid.org
	INSTALLATIONS FOR 2022						
Noah Webster House	Installation of new HVAC system	1/31/2022	100.00%	\$54,000,00	John Vigneri	860-894-1170	johnv@kronenbergersons.com
Sedgwick Middle School / Town of West Hartford	Air Handling Unit Replacement	1/31/2022	100.00%	\$361,286.86	Michael Longo	860-570-6500	mike.longo@westhartford.org
Willimantic Housing Authority	Heating Replacement and Oil Tank Removal	1/31/2022	100.00%	\$590,859,66	Kim Haddad	860-456-1413	khaddad@willimantichousingauthority.org
Southington Town Hall	Boiler Replacement	1/31/2022	100.00%	\$61,400,00	Annette Turnquist	860-276-6231	turnquista@southington.org
Town of Woodbridge / Amity Reg Sr High School	Air Handling Unit Replacements and Upgrades	2/15/2022	100.00%	\$1,221,486,00	Lucian Dragulski	860-667-3233 x 113	luciand@bemisassociates.com
New Horizons Village / CORE	HVAC Installations and Upgrades	2/28/2022	80.00%	\$350,000,00	Nicholas Matarazzo	860-678-0663	nick@corebuilds.com
Town of West Hartford / Hall High School	Roof (Exhaust) Fan Replacement	3/31/2022	90,00%	\$132,162.90	Tammy Bradley	860-561-7472	tammyb@westhartford.org
Lebanon Fire Safety Complex	Installation of complete new HVAC system	4/15/2022	100.00%	\$78,000,00	Dean Hunniford	860-642-7565	dhunniford@lebanonct.gov
Lebanon Town Hall	Installation of complete new HVAC system	4/15/2022	100.00%	\$53,000.00	Dean Hunniford	860-642-7565	dhunniford@lebanond.gov
Brookfield Volunteer Fire Company	HVAC Upgrades	7/31/2022	100.00%	\$78,000.00	Julian Capadose	203-775-7323	purchasing@brookfieldct.gov
Bethel High School	AHU Replacements	8/31/2022	100.00%	\$274,000.00	Sebbie Preston	203-775-7523	prestons@bethel-ct.gov
Regional School District 8 / RHAM High School	HVAC Upgrades	6/30/2022	100.00%	\$234.800.00	Michael Schlehofer	860-922-2941	Michael.schlehofer@rhamschools.org
Army Aviation Support Facility - CT Military	Boiler Replacement	10/1/2022	100.00%	\$248,400.00	Ervin Caminero	860-548-3277	
The Academy School	Boiler Replacement	10/1/2022	100.00%	\$148,000.00	Fred Bialka	203-783-3225	ervin.d.caminero.nfg@mail.mil
	Polici Mediacement	10/1/2022	100.00%	3140,000.00	Lied Digikg	203-103-3225	fbialka@milfordct.gov

SUBCONTRACTORS

Provide subcontractor details if any are to be employed as part of this contract, including labor rates:

SUBCONTRACTOR #1:

Name of CompanyMasotti Electric LLC	Fed ID #06-1404912
Contact Person Jim Doucette Jr.	Title Project Manager
Company Address 120 Industrial Dr. Southington, CT 06489	Phone860-276-0097
TradeElectrical	Email jim@masottielectric.net
Rates: Supervisor \$_120.00 /hr Foreman \$_115.00 /hr Journeyman \$_1	110.00 /hr Apprentice \$_105.00 /hr
SUBCONTRACTOR #2:	
Name of Company Silktown Roofing, Inc.	Fed ID #06-1350674
Contact Person Sean Morrissey	Title Project Manager
Company Address 27 Pleasant St. Manchester, CT 06040	Phone 860-647-0198
Trade Roofing *EXCLUDES contract allowed OH&P	Email sean@silktownroofing.com
Rates: Supervisor \$ 100.00 /hr Foreman \$ 92.28 /hr Journeyman \$ 8	87.43 /hr Apprentice \$ 80.33 /hr
SUBCONTRACTOR #3:	
Name of Company Excel Steel	Fed ID # 83-2403734
Contact PersonJeff Tracey	Title Owner
Company Address 424 Berlin St. East Berlin, CT 06023	Phone 860-828-5496
Trade Steelwork	Email jeff@excel-steel.com
Rates: Supervisor \$ 125.00 /hr Foreman \$ 110.00 /hr Journeyman \$ 1	05.00 /hr Apprentice \$ 95.00 /hr
SUBCONTRACTOR #4:	
Name of Company KMK Insulation, Inc.	Fed ID #06-1289677
Contact Person Michael Visnic	Title Vice President
Company Address 1907 Hartford Tpke. North Haven, CT 06473	Phone 203-671-2553
Trade Mechanical Insulation	Email <u>mvisnic@kmkinsulation</u> .com
Rates: Supervisor \$ 135.00 /hr Foreman \$ 127.33 /hr Journeyman \$ 1	19.86 /hr Apprentice \$119.86 /hr
NOTE: All sub-Contractors are subject to approval by the Town of Fairfi	ield and are required to provide Fed ID#.

State of Connecticut

Department of Administrative Services
Construction Contractor Prequalification Program

This certifies

Sav-Mor Cooling & Heating, Inc.

231 Captain Lewis Dr., Southington, CT 06489

As a

Prequalification Construction Contractor March 12, 2023 through March 11, 2024

\$30,000,000.00

CONTACT INFORMATION

Name: Brian Karwowski Phone: 860-621-9959 Fax: 860-621-9919

Email: brian@savmorct.com

Name: Cindy Tessman

Phone: (860) 621-9959 ext. 204

Fax: (860) 621-9919

Email: cindy@savmorct.com

Effective Date

3/12/2023

Aggregate Work Capacity (AWC)

Single Limit (SL) \$15,000,000.00 Classifications

CONSTRUCTION MANAGER AT RISK (GROUP A), CONSTRUCTION MANAGER AT RISK (GROUP B), CONSTRUCTION MANAGER AT RISK (GROUP C), ENERGY MANAGEMENT SYSTEMS, GENERAL BUILDING CONSTRUCTION (GROUP A), GENERAL BUILDING

CONSTRUCTION (GROUP B),

GENERAL BUILDING

CONSTRUCTION (GROUP C), HVAC, MECHANICAL INSULATION, SHEET

METAL WORK

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit http://portal.ct.gov/dasprequal or call (860) 713-5280.

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Name: Jay Harvey Phone: 860-621-9959 860-621-9919 Fax:

Email: jay@savmorct.com

Name: Jennifer Albert

Phone: 860-621-9959 ext. 209

860-621-9919 Fax:

Email: jen@savmorct.com

Name: Troy Karwowski Phone: (860) 621-9959 (860) 621-9919 Fax:

Email: troy@savmorct.com

Classification Name

AT RISK (GROUP A)

Description

CONSTRUCTION MANAGER The undertaking of general contracts for the construction of buildings; for example, new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes those designs that are repetitive, conventional in character, require minimum design based on pre-engineered systems/components, and that pose minimum effort by the design professional. Examples include repetitive designs, dormitories, warehouses, basic building structures without interior finishes, ceiling replacement, pre-engineered components, recreation facilities etc. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: For the purposes of DAS Construction Contractor Pregualification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

AT RISK (GROUP B)

CONSTRUCTION MANAGER The undertaking of general contracts for the construction of buildings; for example, new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes most of the structures that normally house State functions. These all require normal mechanical/electrical systems for today's standards of operation for quality space, security and environmental comfort. Examples include office buildings, general classroom and administrative offices, college buildings, auditoriums, maintenance buildings. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: If you are prequalified for Construction Manager at Risk under Group B, you are automatically prequalified for Group A.Note: For the purposes of DAS Construction Contractor Pregualification, contractors in this classification are no longer required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

AT RISK (GROUP C)

CONSTRUCTION MANAGER The undertaking of general contracts for the construction of buildings; for example; new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes buildings that are truly custom, requiring extensive detailing, or that have large amounts of integrated scientific or complex mechanical/electrical equipment in order for them to function. Examples include hospitals, chemistry buildings, special collections buildings, historic preservation to a landmark structure, and/or any other structure that is truly one of a kind within the State's inventory. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: If you are pregualified for Construction Manager at Risk under Group C, you are automatically pregualified for Group A and Group B. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

ENERGY MANAGEMENT SYSTEMS

The design and installation of systems or maintenance programs to conserve energy use within a building. This category includes shared savings programs.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal. Page 4 of 6 **GENERAL BUILDING**

The undertaking of general contracts for the construction of buildings(i.e. CONSTRUCTION (GROUP A) new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes those designs that are repetitive, conventional in character, require minimum design based on pre-engineered components/systems, and that pose minimum effort by the design professional. Examples include repetitive designs, dormitories, warehouses, basic building structures without interior finishes, ceiling replacement, preengineered components, recreation facilities, etc. Note: If you are prequalified for General Building Construction under Group B and or Group C, you are automatically pregualified for Group A. ALSO If you are prequalified for General Building Group A you will automatically be pregualified for GENERAL TRADES. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection, However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection.

GENERAL BUILDING

The undertaking of general contracts for the construction of buildings i.e. CONSTRUCTION (GROUP B) new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes most of the structures that normally house State functions. These all require normal mechanical/electrical systems for today's standards of operation for quality space, security and environmental comfort. Examples include office buildings, general classroom and administrative offices, college buildings, auditoriums and maintenance buildings. Note: If you are prequalified for General Building Construction under Group B, you are automatically prequalified for Group A. Also If you are prequalified for General Building Group B you will automatically be prequalified for General Trades.Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

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Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal. Page 5 of 6

GENERAL BUILDING

The undertaking of general contracts for the construction of buildings i.e. CONSTRUCTION (GROUP C) new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes buildings that are truly custom, requiring extensive detailing, or that have large amounts of integrated scientific or complex mechanical/electrical equipment in order for them to function. Examples include hospitals, chemistry buildings, special collections buildings, historic preservation to a landmark structure, and/or any other structure that is truly one of a kind within the State's inventory. Note: If you are prequalified for General Building Construction under Group C, you are automatically prequalified for Group A and Group B. Also if you are pregualified for General Building Group C you will automatically be prequalified for General Trades.Note: For the purposes of DAS Construction Contractor Pregualification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

HVAC

Installation, renovation, repair and maintenance of the systems and apparatus required, collectively or individually, to provide comfort heating, ventilation and/or cooling within or associated with a building, including such incidental or related work as is customarily performed by those in the HVAC trade. This category does not include sheet metal work by itself. To prequalify for HVAC you must have a Heating, Piping & Diging & Dig Contractor License through the State of Connecticut Department of Consumer Protection.

SHEET METAL WORK

MECHANICAL INSULATION Includes the installation, replacement, repair or alteration of insulation of duct-work systems associated with heating, air conditioning and ventilation. Includes the installation, erection, replacement, repair or alteration of ductwork systems, both ferrous and nonferrous and includes but is not limited to warm and cool air, ventilation, exhaust, pneumatic conveyance and hood exhaust. To pregualify for Sheet Metal Work you must have a Sheet Metal Work Contractor License through the State of Connecticut Department of Consumer Protection.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal. Page 6 of 6

For information regarding the DAS Contractor Prequalification Program visit http://portal.ct.gov/dasprequal or call (860) 713-5280.

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CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY) 06/06/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER. AND THE CERTIFICATE HOLDER.

REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on

-	this certificate does not confer rights t	o the			ich en	dorsement(s)			
PR	ODUCER sociated Insurance Services		86	0-793-9601	CONTACT Associated Insurance Services					
106	6 West Main Street				PHONE (A/C, N	o, Ext): 860-79	93-9601	(A/C, No):	860-7	747-3580
). Box 630 inville, CT 06062-0630				E-MAIL ADDRE	SS:				
	sociated Insurance Services				INSURER(S) AFFORDING COVERAGE					NAIC#
				// 21	INSURE	RA: Employ	ers Mutual	Casualty Co.		21415
INS	URED Carling & Marking Inc				INSURE	RB. The Ha	rtford			29424
231	URED /-Mor Cooling & Heating, Inc. I Captain Lewis Drive uthington, CT 06489				INSURE					
Soi	uthington, CT 06489				INSURE					
					INSURE				-	
U.					INSURE					
CC	OVERAGES CER	TIFI	CATI	E NUMBER:				REVISION NUMBER:		
U E	THIS IS TO CERTIFY THAT THE POLICIES NDICATED. NOTWITHSTANDING ANY RECERTIFICATE MAY BE ISSUED OR MAY EXCLUSIONS AND CONDITIONS OF SUCH	EQUIF PERT POLI	REME TAIN, CIES.	INT, TERM OR CONDITION THE INSURANCE AFFORDI LIMITS SHOWN MAY HAVE	OF AN ED BY	Y CONTRACT THE POLICIE REDUCED BY	OR OTHER S DESCRIBEI PAID CLAIMS	DOCUMENT WITH RESPE	CT TO	WHICH THIS
INSR LTR	TYPE OF INSURANCE	ADDL	SUBR	POLICY NUMBER		POLICY EFF (MM/DD/YYYY)	POLICY EXP	LIMIT	S	
Α	X COMMERCIAL GENERAL LIABILITY							EACH OCCURRENCE	s	1,000,000
	CLAIMS-MADE OCCUR	X	X	3D45746		10/13/2022	10/13/2023	DAMAGE TO RENTED PREMISES (Ea occurrence)	\$	300,000
	X Owner/Cont Prot.							MED EXP (Any one person)	s	5,000
							,	PERSONAL & ADV INJURY	\$	1,000,000
	GEN'L AGGREGATE LIMIT APPLIES PER:		1					GENERAL AGGREGATE	\$	2,000,000
	POLICY X PRO-							PRODUCTS - COMP/OP AGG	s	2,000,000
	OTHER:								s	
Α	AUTOMOBILE LIABILITY							COMBINED SINGLE LIMIT (Ea accident)	\$	1,000,000
	ANY AUTO	x	x	3E45746		10/13/2022	10/13/2023	BODILY INJURY (Per person)	s	
	OWNED AUTOS ONLY X SCHEDULED AUTOS							BODILY INJURY (Per accident)		
	X HIRED AUTOS ONLY X NON-OWNED AUTOS ONLY							PROPERTY DAMAGE (Per accident)	\$	
	ACTOC CITET							() or deductify	s	
Α	X UMBRELLA LIAB X OCCUR							EACH OCCURRENCE	s	5,000,000
	EXCESS LIAB CLAIMS-MADE	х	х	3J45746		10/13/2022	10/13/2023	AGGREGATE	s	5,000,000
	DED X RETENTIONS 10000							NOONEONIE	\$	
В	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY							PER OTH-		
			Х	02WECAH7ZRE		10/13/2022	10/13/2023	E.L. EACH ACCIDENT	\$	1,000,000
	(Mandatory in NH)	N/A						E.L. DISEASE - EA EMPLOYEE		1,000,000
	If yes, describe under DESCRIPTION OF OPERATIONS below							E.L. DISEASE - POLICY LIMIT		1,000,000
									-	
DES Tovoffi con fave will	cription of operations / Locations / Vehicle with of Fairfield & The Board of Edu cers, agents, servants, officials, e nmissions are included as Additio or of the Town is included in all p be endorsed if bid is awarded.	ES (A Cation mple onal olice	on ir oyee Insu es. 3	o 101, Additional Remarks Schedul ncluding their respectives, volunteers, boards a red. Waiver of subroga O Day notice of cancel	le, may b ve and ation i lation	e attached If mor	e space is requir	red)		
CE	RTIFICATE HOLDER				CANC	ELL ATION				
UE	KIII IOATE HOLDER				CANC	ELLATION				
Town of Fairfield 611 Old Post Rd Fairfield, CT 06824					THE	EXPIRATION	DATE THE	ESCRIBED POLICIES BE C EREOF, NOTICE WILL I EY PROVISIONS.		
	1				ASSO	RIZED REPRESEI ciated Insu	NTATIVE Fance Serv	ices show		





To whom it may concern,

Sav-Mor Cooling and Heating, Inc. is a family-owned and operated business established in 1983. We are dedicated to providing our customers with the highest quality HVAC service available. At Sav-Mor we are committed to creating a partnership with our customers, thereby earning their trust and confidence. You can count on us to deliver quality service on time and at a reasonable cost. We pride ourselves in meeting and exceeding all our customers' expectations.

Sav-Mor's customer base includes homeowners, builders, business owners, municipalities, local /federal agencies and general contractors. We've built long term relationships that have resulted in repeat business, confident referrals and a reputation for quality workmanship and service.

Services We Provide Include:

- HVAC Service, Including Preventative Maintenance Contracts
- HVAC Design and Engineering
- HVAC Installation
- Custom Ductwork Fabrication
- Energy Conservation Programs
- Emergency Response

Our skilled technicians are fully licensed and take pride in every aspect of their trade. Currently we employ fifteen State of Connecticut licensed technicians and installers as well as nine registered apprentices. You can always expect a dependable air conditioning and/or heating system that provides you with value as well as comfort.

Our Certifications Include:

- OSHA 10
- Lead Safe Certified Company
- Class III Asbestos Certified
- Licensed Journeyman and Connecticut Registered Apprentice
- Small Business Enterprise
- Equal Opportunity Employer / Affirmative Action
- NATE Certified
- Mitsubishi Diamond Contractor and Designers
- State of Connecticut Pre-Qualified Vendor
- Air Conditioning Contractors of America (ACCA) Quality Assurance Accreditation

We look forward to the opportunity of providing our services for any of your current or future needs.

Please feel free to contact me with any questions regarding our services, or if you would like more information on our company.

Sincerely,

7roy Karwowski

Troy Karwowski President

SAV-MOR Cooling & Heating Inc.

231 Captain Lewis Drive

Southington CT 06489

Organizational Chart

Troy Karwowski (President/Project Executive) troy@savmorct.com

Gary Karwowski (Vice President) gary@savmorct.com

Brian Karwowski (Secretary/Project Manager) brian@savmorct.com

Jen Albert (Human Resources) jen@savmorct.com Jason Harvey (Senior Project Manager/Estimator) jay@savmorct.com

Debbie Hungerford (Service Manager) service@savmorct.com

Melissa Famosi (Clerical Project Administrator/Receptionist) office@savmorct.com

Robert Kerwin (Shop Foreman/Manager) shop@savmorct.com

Cindy Tessman (Office Manager) cindy@savmorct.com

- (15) State of CT Licensed Journeymen
- (8) State of CT Registered Apprentices

Founded 1983

Hours of Operation and Staff Availability

Monday through Friday 7:00 A.M. - 4:30 P.M.

Weekends for Emergencies

Troy Karwowski 144 Valley View Court Southington, CT 06489 troy@savmorct.com

Professional Experience

SAV-MOR COOLING & HEATING, INC PRESIDENT

Southington, CT 1997 – Present

- Helped develop the business, growing to 17 fulltime employees and developed a successful Business Plan.
- Implemented a successful apprenticeship program.
- Constructed new 4000 square foot facility in 2005, and completed a 3200 square foot addition in the past couple years.
- Business has continued to grow each year, with last year's revenue exceeding 4 million dollars.
- Specializing in residential and commercial remodeling, service/troubleshooting work and replacements.
- Established and administered annual budget with effective controls to prevent overages, minimize burn rate and support sustainability objectives.
- Assessed financial reports and statements regularly to update processes and operations for greater profitability.
- Operated with safety and skill to avoid accidents and delays.
- Developed and nurtured lasting customer relationships by projecting professional corporate image and responding quickly to issues.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Review and understand all of the project bid documents.
- Locate, notify and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile and finalize the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Prepare value engineering analysis in anticipation of the customer's best interest.
- Develop the scope of work narrative and anticipate requirements of producing estimates with little information given.
- Able to see the overall requirements of customer, state, town, and subcontractor satisfaction without losing sight of the details.

Troy Karwowski 144 Valley View Court Southington, CT 06489

troy@savmorct.com

Licenses and Certificates

State of CT SM1 Limited Sheet	State of CT S1 Unlimited	Asbestos Operations and	EPA Type II
Metal Journeyperson	Heating, Piping &	Maintenance Certification	
	Cooling Contractor		
Aerco Boiler Training	Buderus Blue Flame	Mitsubishi Diamond	OSHA 10/30
	Certified	Dealer / Designer	

STATE OF CONNECTICUT * DEPARTMENT OF CONSUMER PROTECTION

Be it known that

TROY R KARWOWSKI

231 Captain Lewis Dr. Southington, CT 06489

has been certified by the Department of Consumer Protection as a licensed

HEATING, PIPING & COOLING UNLIMITED CONTRACTOR

License # HTG.0393997-S1

Effective: 09/01/2022

Expiration: 08/31/2023

Michelle Seagull, Commissioner

Mile Legell

Jason Harvey 107 Summit Wood Drive Berlin, Connecticut 06037 jay@savmorct.com

Professional Experience	
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SAV-MOR COOLING & HEATING, INC. Project Manager

Southington, CT 2002-Present

- Senior Project Manager
- Provide training and instruction to apprentices and licensed HVAC technicians.
- Monitor work in progress to ensure completion within allotted time limits and ensure quality and efficient outcome. Attend weekly progression meetings and prepare all daily reporting as needed.
- Follow blueprints, design specification and manufacturer's instructions to supervise the installation of large and small heating and cooling equipment.
- Strictly adheres to environmental regulations to conserve, recover and recycle refrigerants.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Review and understand all of the project bid documents.
- Locate, notify and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile and finalize the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Prepare value engineering analysis in anticipation of the customer's best interest.
- Develop the scope of work narrative.
- Anticipates requirements of producing estimates with little information given.
- Able to see the overall requirements of customer satisfaction without losing sight of the details.

Jason Harvey 107 Summit Wood Drive Berlin, Connecticut 06037

jay@savmorct.com

Licenses and Certificates

State of CT S1 Unlimited Heating, Piping & Cooling Contractor	OSHA 30	Aerco Boiler Training	Air Systems Cleaning Specialist (NADCA)	Mitsubishi City Multi Application & Dimaond Dealer Certfication
EPA Type Universal	Lead Renovator Certification	Riello Gas Burner Certification	North American Technician Excellence Certification (NATE)	Asbetos Operations and Mainteance Certification

STATE OF CONNECTICUT * DEPARTMENT OF CONSUMER PROTECTION

Be it known that

JASON R HARVEY 107 Summit Wood Dr

BERLIN, CT 06037-2123

has been certified by the Department of Consumer Protection as a licensed

HEATING, PIPING & COOLING UNLIMITED CONTRACTOR

License # HTG.0405073-S1

Effective: 09/01/2022

Expiration: 08/31/2023

Mikelle Legell

Michelle Seaguil, Commissioner

Brian Karwowski 11 Sagamore Lane, Unit 106 Rocky Hill, CT 06067-3847 brian@savmorct.com

TO () 1	•
Professional	Experience
T I OI ODDIOIIMI	LAPOTICHEC

SAV-MOR COOLING & HEATING, INC. Project Manager

Southington, CT 2002-Present

- Project Manager
- Provide training and instruction to apprentices and licensed HVAC technicians.
- Monitor work in progress to ensure completion within allotted time limits and ensure quality and efficient outcome. Attend weekly progression meetings and prepare all daily reporting as needed.
- Follow blueprints, design specification and manufacturer's instructions to supervise the installation of large and small heating and cooling equipment.
- Strictly adheres to environmental regulations to conserve, recover and recycle refrigerants.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Proficient in reviewing and understanding project bid documents.
- Locate, notify, and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Develop the scope of work narrative.
- Anticipates requirements of producing estimates with little information given.
- Able to see the overall requirements of customer satisfaction without losing sight of the details.

Brian Karwowski 11 Sagamore Lane, Unit 106 Rocky Hill, CT 06067-3847

brian@savmorct.com

Licenses and Certificates

State of CT S1 Unlimited Heating, Piping & Cooling Contractor	OSHA 30	Aerco Boiler Training	Air Systems Cleaning Specialist (NADCA)	Mitsubishi City Multi Application & Dimaond Dealer Certfication
EPA Type Universal	Lead Renovator Certification	Riello Gas Burner Certification	North American Technician Excellence Certification (NATE)	Asbetos Operations and Mainteance Certification

STATE OF CONNECTICUT + DEPARTMENT OF CONSUMER PROTECTION

Be it known that

BRIAN D KARWOWSKI 11 SAGAMORE LN UNIT 106 ROCKY HILL, CT 06067-3847

has been certified by the Department of Consumer Protection as a licensed

HEATING, PIPING & COOLING UNLIMITED CONTRACTOR

License # HTG.0409457-S1

Effective: 09/01/2022

Expiration: 08/31/2023

Mihille Loyell



Fairfield, Connecticut 06824 Purchasing Department

(203) 256·3060 FAX (203) 256·3080

ADDENDUM #1 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

 18^{th} May 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:			
1. The Town has elected to <u>Ist at 10:00 am.</u>	change the pre-bid date for this	bid solicitation from Tuesday, May	30 th at 11:00 am to Thursday, Jun
	End of A	ddendum #1	
Company	Nama	Signatura	Data



Fairfield, Connecticut 06824 **Purchasing Department**

(203) 256-3060 FAX (203) 256·3080

ADDENDUM #2 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

7th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and

clarifications become part of the	Contract Documents, including	g pricing as submitted.	,
New Information:			
1. Please see attached Adde	ndum #1 issued by van Zelr	n Engineers.	
	End of A	ddendum #2	
Company:	Name:	Signature:	Date:

10 TALCOTT NOTCH FARMINGTON, CT 06032-1800
P: 860.284.5064 F: 860.284.5098
Connecticut | Massachusetts | North Carolina

ADDENDUM #1

Issue Date: June 6, 2023

Project Name: RTU 1, 2, & 4 Replacements

Fitts House 755 Melville Ave Fairfield Ct.

Project No.: 2020194.00

GENERAL:

Modifications described herein as Addendum items supersede specific parts of the Contract Documents for the above-named project. All bids and the construction contract shall be based on the inclusion of these modifications.

REVISIONS TO DRAWINGS

ITEM 1: On Drawing #M300, Mechanical Specifications, Contractor to carry ALC number for

controls as follows. The bid Document shall have installed Automated Logic BACnet controllers in the control section of the Trane RTU and utilizing its factory installed sensors, actuators, and flow stations. This allows Fairfield staff flexibility with customizing programing during pandemic times, able to adapt to new ASHRAE Guideline 36 present control strategies and future changes and accommodate downstream equipment/renovation changes. The Fairfield staff have been trained in this hardware, software applications, and are able to replace components if failure occurs without

controls vendor being present.

ITEM 2: Clarification: FSP is considering Commissioning of these three new RTU's. Contractors

are requested to provide a separate add-alternate price carried for additional cost for

commissioning services for all three new RTU's.

ITEM 3: Clarification: 2004 remedial work has been performed within Fitts House. It is believed

that there is no asbestos within the Fitts House renovation area. Should any Asbestos be

found, FPS shall be notified immediately before work shall commence.

ITEM 4: Clarification: It is belonght that solar collectors are not in conflict for new installation.

Solar representative for this project is James Bullock, asset manager from MN Energy

contact information (512) 470-9193. E-mail james.bullock@mn8energy.com

ITEM 5: Clarification: Silk town roofing is the existing roofing contractor.

END OF ADDENDUM #1

T:\2020\2020094.00\Addenda\FPS Walk through Addendum #1.docx



Fairfield, Connecticut 06824 Purchasing Department

(203) 256·3060 FAX (203) 256·3080

ADDENDUM #3 BID #2023-153 Fitts House HVAC RTU Replacement Fairfield Warde High School

12th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

Questions:
1. Are there Liquidated Damages and Retainage? If so, what is the amount?
Response: No liquidated damages, 5% retainage.
2. How many copies of our proposal do you require us to provide?
Response: Please submit one (1) original document two (2) copies of your bid submission.
3. Are permit fees waived?
Response: The Town will waive its application and permit fees for Town of Fairfield projects.
4. Will Maintenance be required once the project is complete? (i.e.: 1 year)
Response: One (1) year warranty as required by law. A maintenance contract after the final acceptance is not required.
End of Addendum #3
Company: Name: Signature: Date:





CT: 860.284.5064

MA: 617.218.9976

10 TALCOTT NOTCH, FARMINGTON, CT 06032 - 1800 Connecticut | Massachusetts | North Carolina

PROJECT NO.: 2020094.00

FAIRFIELD WARDE HIGH SCHOOL FITTS HOUSE RTU-1, 2, & 4 REPLACEMENT

755 MELVILLE AVENUE FAIRFIELD, CT

BID DOCUMENTS
April 18, 2023
State Project Number 051-001 HVAC

DRAWING LIST

LEGEND NOTE THESE ARE THE GENERAL LEGENCS OF SYMBOLS AND ABBREWATIONS, AND SHALL BE USED AS A DECIDIOMBY TO DETINE ITEMS REDICATED ON DRAWNOS. NOT ALL SYMBOLS ABBREWATIONS DEFINED ARE NECESSARRY USED ON THIS PROJECT.

MECHANICAL LEGEND APPDEVIATIONS &

AE	BEREVIATIONS &
GE	NERAL SYMBOLS
SYMBOL	DESCRIPTION
AFF	ABOVE FINISHED FLOOR
AHU	AIR HANDLING UNIT
OA.	COMBUSTION AIR
CUH	CABINET UNT HEATER
EA	EXHAUST AIR
EF .	EXHAUST FAN
FOU	FAN COIL UNIT
FTR	FINNED TUBE RADIATION
HRU	HEAT RECOVERY UNIT
HWC	HOT MATER COIL
MAU	MAKE-UP AIR UNIT
OA .	OUTSIDE AIR
RA	RETURN AIR
RHC	REHEAT COL
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SATT	SOUND ATTEMUATOR
UH	UNIT HEATER
WFD	WARMELE FREQUENCY DRIVE
•	DEMOLITION WORK: POINT OF REMOVAL NEW WORK: POINT OF ATTACHMENT

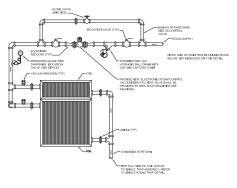
MEC	HANICAL LEGEND
Р	IPING SYSTEMS
SYMBOL	DESCRIPTION
- 6	BALL VALVE
	BUTTERFLY VALVE
- 8	BALANCE VALVE
<u> </u>	CHECK VALVE
7	STRAINER
- 184	MULTI-PURPOSE WALVE
	GATE VALVE
Δ	OUTSIDE SCREW & YOKE GATE VALVE (OSMY)
101	PUMP
- Q	THERMOMETER
	PRESSURE GWIGE
超	PRESSURE RELIEF VALVE
- №	PRESSURE REDUCING WILVE
-O	FLOAT & THERMOSTATIC TRAP ASSEMBLY
1001	INVERTED BUCKET TRAP ASSEMBLY
φ	AR VENT (MANUAL OR AUTO.)
£	BRANCH OFF TOP OF MAIN
	BRANCH OFF BOTTOM OF MAIN
G	ELBOW, TURNED DOWN
<u>⊸</u>	ELBOW, TURNED UP
—RL—	REFRIGERANT LIQUID
RG	REPROCESSANT HOT GAS
——RS——	REFRIGERANT SUCTION
	CONDENSATE DRAIN LINE
	MEDIUM PRESSURE CONDENSATE
—- ич в —	LOW PRESSURE STEAM
urc	LOW PRESSURE CONDENSATE
CP0	CONDENSATE PUMP DISCHARGE
EXP	EXPANSION COMPENSATOR
	EXPANSION GLIDE
-	PIPE ANCHOR
I	1

MECHANICAL GENERAL NOTES

- A. PROVIDE NEW DUCTWORK, DIFFUSERS AND ORILLES WHERE SHOWN, SEE SPECIFICATIONS COORDINATE NEW DIFFUSER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.
- COORDINATE NEW DUCTWORK WITH STRUCTURAL STEEL, PLUMBING PIPMS, LIGHTS, ETC. OFFSET NEW DUCTWORK AS REQUIRED. CONTRACTOR SHALL FIELD YERFY AVAILABLE CELING CLEANAGE PROR TO BED.
- C. DICT SIZING SHOWN INDICATES CLEAR INSIDE DIMENSIONS OF DUCT AND INSULATION.

 D. THIS PILM IS GENERALLY SCHEMATIC IN HATURE. EVERY ELBOW, FITTING, ETC. IS NOT SHOWN. PROVIDE SUCH COMPONERS AN REQUIRED FOR COMPLETE INSTALLATION, PROFITENT COGNINATION WITH ALL PROFILE.
- E. PROVIDE VOLUME DAMPERS IN ALL SUPPLY, RETURN, OUTSIDE AR AND EXHAUST BRANCH DUCTS AS REQUIRED TO PROPERLY BALANCE THE ENTIRE AR SYSTEM.
- F. FLEXBLE DUCT RUNDUTS TO SUPPLY DIFFUSERS ARE SAME SIZE AS DIFFUSER INLET UNLESS INDICATED OTHERWISE. REFER TO FLEX DUCT SCHEDULE.
- G. INSTALL ACCESS DOORS AT ALL COLD, DAMPERS AND CONTROL DEVICES.

 H. ALL MITERALS, METHOR AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE COORS AND REDULATIONS.
- L. PROVIDE SESSIC RESTRAINTS ON ALL EQUIPMENT AND PIPPING IN COMPLIANCE WITH PROJECT SPECIFICATIONS AND APPLICABLE CODES.
- J. CONTRACTOR TO RE-INSULATE STEMM AND CONDENSATE PIPPING BELOW ROOF LINE AT ALL CONNECT TO EXISTING LOCATIONS.



2) SINGLE STEAM TRAP AND END OF MAIN DETAIL

MSTE: COORDINATE STEAM COLPPINS TO ALLOW NEW CONTROL VALVE WITHIN RTU UNIT, PIPING SHALL ACCOMMODATE SINGLE TRAP ASSEMBLY INSTALLATION, TRAPS TO BE LOCATED IN WARM CRUING SPACE BELOW.

STEAM COIL PIPING DETAILS



																		RC	OFT	OP /	AIR H	ANE	DLIN	G UI	V I T S	CHE	DULE																										
		AIR H	ANDLING	UNIT DA	TA			SUPF	LY FAI	N DATA				E	XHAUS	T FAN	DATA	cc	ONDEN	ISER F	AN DAT	Α .	COMP	RESSO	OR DAT	Ά			EVAF	PORAT	OR CO	IL DAT	Α					s	TEAM	COIL DA	ATA					F	FILTERS	.S	ELF	ECTRO	CAL DA	TΑ	REMARKS
UNIT NO.	LOCATION	N SE	ERVING	MAN	MODEL & SIZE	TOTAL C	IN FAN	E.S.P.	T.S.P.	SPEEL	DL BH	P MHP	FAN TYPE	TOTAL	E.S.P.	RPM	SPEED CONTROL	MHP TY	PE HP	CYCL	PHASE	e on	MODI	L % CA	AP COM	P RLA	GROSS TOTAL CAPACITY	SENS. COOL	LAT	E.D.B.	E.W.B. I	LD.B. L		ROWS / MAT.	SIZE E.D SF F	B. L.D.E	B. PRE P.S	SS. MBH	ROWS	в Б	av .	APD "WC	VELOCIT FPM	TY FP	TYPE	FIL	.TER XNESS	FILTER EFFICIENCY	, VOLTS	з РН	мор	MCA	
RTU-F-1	ROOF • F	BTTS	'S 1ST FLR.	TRANE	SSHMF 30E3	10,000 2	.000 (2) DEF	C 1,0	2.5	VFD	9,7	5 10	AF	9,000	0,5	616	VFD	3,0 PR	OP (2) 1	5 60	3	2	9090	LL 15-1	00 52,3	.41,3	SEE MBH	265 MBH	1 103 MB	3H 80	67	54,6	54,5	5/O#N	25,5 54	103	5	538.0	1	66"	Y30"	0.3	727	96	THROWA	AAY .	4"	MERV, 13	208	3	219	167	SEE NOTES BELOW
RTU-F-2	ROOF • F	FITTS	8 2NO FLR.	TRANE	SSHMF 40E4	13,000 2	.600 (2) DIF	C 1,5	2,705	VFD	11.	16	AF	11,700	0,25	377	VFD	5,0 PR	OP (4) 1	5 60	3	3	90R0	LL 15-1	00 52-2.3	64,364	467 MBH	347,9 MB	H 119 MB	3H 80	67	55.3	99.2	5/OHN	32,5 54	117		729.6	1	(1) 66×30	(1) 98x12	0.28	675	96	THROWA	AAY .	4"	MERV. 13	208	3	273	221	SEE NOTES BELOW
RTUF4	ROOF • F	BITTS	S 1ST FLR.	TRANE	55HMF 30E3	10,000 2	.000 (2) DEF	C 1,0	2.5	VFD	9.7	5 10	AF	11,700	0,5	616	VFD	3,0 PR	OP (2) 1	5 60	3	3	5070	15-7	00 52,3	41,3	368 MBH	265 MBH	1 103 MB	80	67	54.6	54.5	5/OHN	25,5 54	103		538.0	- 1	66"	30°	0.3	727	96	THROWAL	AAY .	4"	MERV, 13	208	3	219	167	SEE NOTES BELOW

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STRUCTURAL ENGINEER: SZEWCZAK ASSOCIATES CONSULTING ENGINEERS

Bid # 051-001-HVAC

FAIRFIELD WARDE HIGH SCHOOL
FITTS HOUSE RTU- 1, 2, & 4
REPLACEMENT
755 MELVILLE AVENUE
FAIRFIELD, CT 06825

CONSTRUCTION **DOCUMENTS** 4-18-23

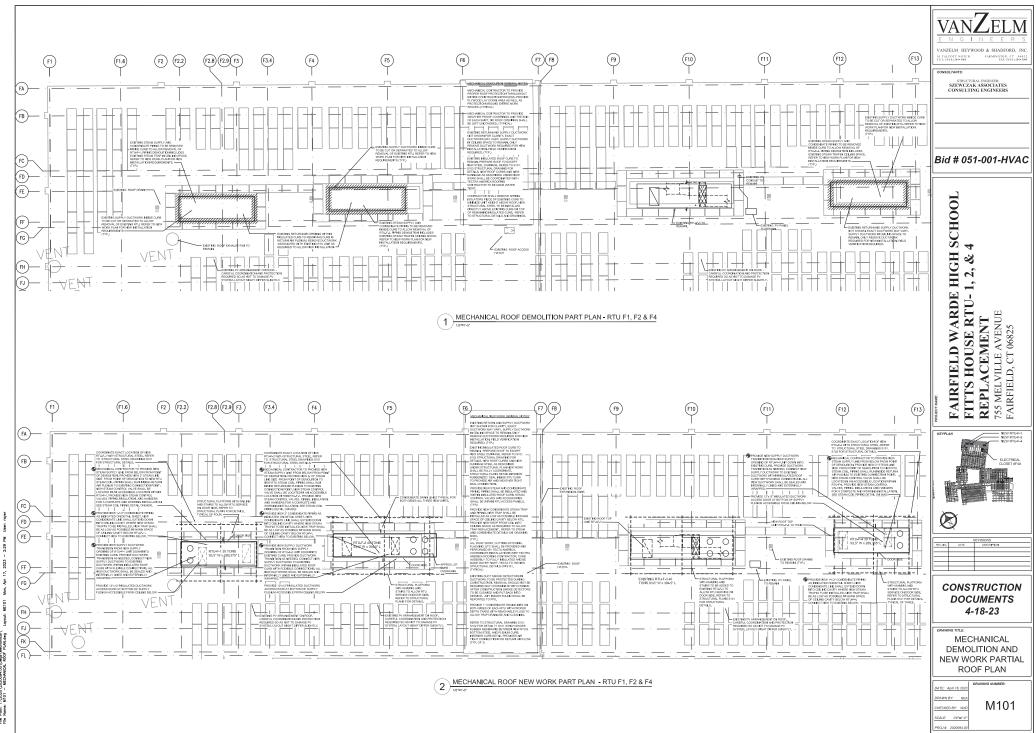
DRAWING TITLE: MECHANICAL LEGENDS **GENERAL NOTES** DETAILS AND **SCHEDULES**

DATE: April 18, 202

SCALE: NO SCALE

WOJ #: 2020094.00

M000



Path: T:\2020\2020094.00\Dwgs\Mechanical\ Name: M101 - MECHANICAL ROOF PLAN.dwg

PART 1- GENERAL	Value: 1. Gate (2-1/2" and onaller: Mbco #T-111. Societam #100.
1.1 GBNERAL	1. Gate (2" and larger); Misco #F-017-0, Spoolman W100. 2. Gate (3" and larger); Misco #F-017-0, Spoolman #G-023.
A. All work shall be done in stidl accordance with all applicable. Orders and Regulations of local and State Agendas and all ty comparies. This Contractor shall bear the cost of different, permits, denote and tisses and sine skip company disagrees incomposition with the work. All opplication of installed shall be UL block. B. All Occurred in 2019-2017 (Research Coordance of the Contract for Constantion's In tempty ranging part of these Specifications.)	3 (Autor Mann 87, 205 Stockhorn 89, 22
Alk Document A201-2007 'General Conditions of the Contract for Construction' is hereby made part of these Specifications.	Check (2" and smaller): Naco 91-435-Y, Narryand ABSH5. Check (2-12" and larger): Hammond IRR1124.
C. Prime Contractor shall be the Mechanisas Contractor who shall arrange and be responsible for all work in Contract Documents including any subcontracted work.	5. Ball Values Applio 670-100. Jamesbury 6A11TT.
1.2 SCOPE	7. Butterfty: Stockham #LO-711, Keystone WAR-2.
A. Provide a complete HVAC system and at other equipment as shown on the Drawings and herein specified, including but not limited to:	B. Balancing Ametrong CBV or Bell & Gossett 'Cloub Setter'.
 Dendition and removal of all equipment shall be the responsibility of the Mechanical Contractor. Dendition shall include disposal to allow new installation. System shall be complete in all respects, tested, accepted and ready to operate at the end of this project. 	Hose Blids Draft (Naco 974, Central Brisis 9546, Detivion):
 Complete removal and replacement of rooftop air conditioning until with DX cooling and steam heat with new unit of shelfer size as indicated on document schedule sheats. 	 All dischook and accessories shall be constructed, febricated and installed in accordance with the latest SMACNA Standards manuals for low pressure clocks, the damper installations and facility dischook.
sheets. 4. Controls upgrade to allow fully functional HNNC equipment.	dumper installations and facility ductions. 2. All air conditioning, supply and return ductivent shall be galvertend sheet metal, free [27] both static pressures disself-tailors, Seal Class 107. Return air ductivent to be one [17] inch databolishibin.
 Colling grid demolition/serviced under RTU's shall be provided Mechanical Contractor. After completion. G4d and celling this shall be retirefuled and made to station of improve existing celling above. See Section 1216 for more celling details. 	be one (1°) inch disselfasion. D. Insulation Systems:
1.3 SUBMITIALS A Submit manufacturer's desertion of the State-in to the Engineer for approved.	 Piping systems shall be installed in accordance with the following schedule (all conforming to ASHRAE Standard 90.1): Steen Piping: Steen Piping: Steen Piping:
1. Submit electronic shop drawings on all equipment to be used, RTU's, steam and condensate piping, ductivork, Insulation etc.	2) 2.12" through 6" pipe: 2" fiberglass
 Submit electronic shop drawings of ductwork shop drawings showing clearances with structural members and major equipment of other trades including structural should. 	1) 34"through 2" pipe: 1" Berglins
3. Provide shop drawings of Spring inclation curb and coordination with new structural steet.	c. Sourt Vert Philip Indoors: All stem - 1" therefore
4. Provide structural steel stop dowlings for review prior to installation.	 d. A Findoor Renglates piping insulation shall have all service justed and zeston covers on all Ritings, valves, strainers etc. e. Piping healaften shall nun continuous through all pipe hangers. Protect Insulation with 12' long sheet metal Insulation protection saddles. Under saddles of
1.4 QUARANTEE	pilitig 1-10" or larger, substitute rigitifications attacked installation and of the same thickness as the specified installation. Makester the kneedy of all placing vapor barriers. Should condensation develop on any place, filting, etc., the Contractor shall correct the vapor barrier break and
A. Metaluli, equipment and workmanding shall have standard warranty against defects in material and workmanding. Any falure due to defects or improper material, equipment, workmanding or design shall be made good, forthwish, by and at the expense of the Contended, including any damage done to areas, materials and other systems need but for not to fallow. Countrate pools of all calculation or one pair from the Date of Acceptance.	replace any treatation damaged by motiture. g. All new steam and condensate plaking shall be knowated as stated above from point of connect to new from existing.
systems resulting from the EMURE. Countrates period shall entend for one year from the Date of Acceptance. B. The HVAC Contractor shall provide a guarantee covering all material and sockmannish for 1 year following the Date of Acceptance as determined by the owner.	1. The species while Industries according the Industry should be placed receiving the Service Studies (1972). 2. The species of the Service Studies (1972) and the Service Studies (1972)
1.5 DEFINITION	b. Insulate exposed all conditioning supply air ductivors with 1-12" thisi, right foll-faced fiberglass duct insulation.
A. As used on Contract Documents, the term "to provide" shall mean "to furnish, install and connect completely in the specified or approved manner the liem or material described."	c. New Supply and Petern air ductives within Insulated roof curb shall be additionally lead with 1-1/2" Plancing glass, Type I accounted therefuses duct lear habbe duct with proper push phrilastering with lead edges protected by metal stilp to ensure longerity of kneets insulation.
	 d. Install either capacitie-flackunge-weld pins and speed washers or capped-head, capacitie-discharge-end pins on all ables and bottom of horizontal ducts and sides of verified ducts.
1.6 OPERATING AND INNERTENDANCE INSTRUCTIONS A Upon competition of the project, the HWAC Contractor shall fully instruct the Owner in the operation, adjustment and militeriance of all equipment and systems furnished.	 On duct sides with dimensions 18 Inches and smaller, place plus a long longitudinal centerline of duct. Space 3 Inches resolution from Insulation and joints, and 16 Inches o.c.
turkhes.	 On dust sides with dimensions larger than 16 kohes, place pike 16 kohes out, each way, and 3 kohes maximum from lesslation joins, lestell additional pikes to half insulation sjointy against surface at cross brackets.
 The HNAC Contractor shall greater the Owner with times (3) sets of complete maintenance and operating trainscitons, and technical data, in booklet form, of all equipment and devices furnished in the Contract. 	2.2 AUTOWATIC TEMPERATURE CONTROLS
1.7 CONTRACTOR'S INSPECTION	A. Packaged not top air handleg until shall be provided with SACret Integration option and factory installed controls package by not top unit manufacturer. See speciation section 23 0000 PART 3 - PACKAGED ROOFTOP AIR CONDITIONING UNITS for additional information.
A. Contract Drowlegs are diagrammets and do HOT show every required fitting, etc. The Contractor shall for Barter Nime# with the existing site conditions, prior to water-thing a list, and shall include all equipment and accommodate recomments for complete and operational systems.	Controls contractor shall include a Habor, materials, and expenses to fully integrate into the rooftop soft controls to provide as a minimum:
Description of the control and adjustment of controlled in declaracy of control and experience of control and adjustment o	Occupied impocupied mode changeover
and become familiar with the project and local conditions before submitting a BIAS. Drawlings are diagrammatic and indicate the general arrangement of systems and work included in the Contract, if so, directed by the Engineer, the HYVAC Contractor shall, without entry change, make reasonable modifications in the layout to prevent	Heatingleconomitericooling mode changeover Supply at 1 Compinitive selption
conflict with those of other trades and for proper histalistics of work. The Contractor shall coordinate locations of equipment with all trades before starting construction. Any modifications to the equipment layout required for installation shall be performed at no additional cost to the Cover.	 Fan-speed and ductwork static pressure control with add setpoint.
1.8. ARRANGEMENT OF WORK	Outside all clamper minimum position and CO2 based demand-controlled verification.
A. Work shall be coordinated between trades to prevent unnecessary interference. Work shall present a next coordinated appearance. Intell work as necessary to provide reasoning model to be provide a prevent and the provider	Compassive enthalpy changeover Duct Smoke detection and Safety Interaction
Who shall be concluded between brafts is present executing between, their shall present a run concluded appearance. Finall seek as executing to provide manifestion products between concepts and provide manifestions and region designation appearance, the interesting and region of the interestions and region of the interesting appearance in the concept to the provided and provided and participal shall govern advantage to the label and the responsibility of the Medical Conference and the Conference and	Duct or one a description and particles Emergency shaldown mode
1.9 IMSURANCE	Coyld response mode changepyer
A. Furtifit Insurance certificates required by the Owner.	Filter monitoring and alarming Monitoring, hand alarming all inputious put controllocal and unit points
1,10 PERMITS, LAWS, ORDINANCES, CODES AND STANDARDS	C. Controls shall be an extension of the existing Schools Automated Logis WEBCTRL system reskiling on the same network with Intalities graphical user Interface.
A Cities red got yearsh. Insertine forms and ordinate regions, that if it Content the next contract accepted eithers of the State Makin Cities. The Price Market Content and the State Makin Cities. The Price Market Content and Content Cont	 Controls contractor shall be responsible for all low voltage communications and control wideg. Ine voltage panel wideg, and the-starm wideg to classed ZAM module or FACP.
National Pre-Protection Association (600); National Pre-Protection (600); National Pre-Pr	FACE. E. Provide a milkimum of 4-hours of owner demonstration and training on system installation and operation.
	F. Provide a militrum of 1-year labor and material warranty coverage and software/ferrivaire updates as they become available.
1.11 FLTERS AND STRANERS	PART 3- PAGNAGED ROOFTOP AIR CONDITIONING UNITS
A. Any equipment which operates with their or stratums shall have their and stratums installed at all times.	A. WARRANTY B. Provide a full parts warranty for one year from start-up or 18 months from ablamment, whichever occurs that (ALL EQUIPMENT).
1.12 WORK BY OTHERS	 Provide a full parts warranty for one year from start-up or 10 months from abhoment, whichever occurs that (ALL EQUIPMENT). Provide 5-year entended warranty for compressors including Plants.
A. The PAVIC Contractor shall hashful another provided used the PAVIC Content ready for white by the Besthall Contractor and shall familiar bus distance to the Besthall Contractor within disparses to all many states by installation and visit from the MCC Contractor and Services restored and sufficient to the Electrical Contractor for Installation and visiting. The PAVIC Contractor shall perform all economies, bed-fill chases, openings, cutting printing and this time.	12 SUMMARY
control equipment to the Electrical Contractor for Installation and Willing. The HVAC contractor shall perform all exception, backful, chasses, openings, cutting, patching and Print york.	A. The contractor shall femals and install packaged recitop air conditioning untils) as shown and as scheduled on the contract documents. The untils) shall be installed in accordance with this specification and perform at the conditions specified, scheduled or as shown on the contract drawlays.
1.13 FELD MEASUREMENTS	3.3 MANUFACTURERS
A. The HVAC Contractor shall verify in the field all measurements necessary for the work.	A General
B. The HVAC Contractor shall coordinate supply and return ductivoril locations with structure, condults and piping of other trades.	A. General 1. Manufacturer of packaged unkny conting products shall have had a relation of the years accounted experience in the manufacture and service support of the continuous accounts account account of the continuous accounts account accoun
A. The MIXC Contracts with only in the Malf annuarment recessory for the work. The MIXC Contracts with condrawing your form incident collection of immunities, conclude and plats of other trades. C. Were instituted support shall not be included on internated plans and be high concluded with MTVL and existing destinant, plats, with plan to principles you hand conceptions within the option plats plans and provide contract conceptions.	 Manufacturer of packaged unlary contrap products shall have had a reference of the years accountal experience in the manufacture and service support of the roothyp packages specified herein. Manufacturers with less than five years' experience in the production of notifice units of the glass and types specified shall not be acceptable.
B. The VIAC Contract mis Londonse signly not entim actives bothward in manifer conduct and (Alliger Order trades). C. Here intended apport statel shall be included in Industried or Manifer and the file conducted with VIIVs and working dischool. Again, etc., piler to installation. All studend conspicients will be for dispersighted without a greater content for outdoor applications. All successions.	 Mesubstate of packaged of they conflag posters that have had a reference for your accounted expension in the resolutions and surface expose of the conflag posterior benefit. Mesubstates with seat from the year's expension in the production of noting units of the sizes and types specified that exit is acceptable. Autorean Month of the resolution.
8. The HIVAC Contractor shall conclude supply and return disclosed boardons with structure, conclude and piloting of other trades. C. New instructural support stated that the traded are instructed or advantage after an of the first considerant with RTEVs and exhibiting disclosed, piloting to instructural conductions of the contraction of the c	 Manufacture of pulsaged other making profess shall have had a deletion of the year account experience in the emobilishment of whice support of the colory postpaces according from; Manufactures with two from the year's experience in the production of costop units of the date and year specified and not be exceptable. Approved Michaellanian Transact Intelligian Replacement URI
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 Steam and Condensate piping shall pitch downward in the direction of law. Take-offs shall be made from the top of the main or at 45 degrees from the bottom of the maks. Provide drain solves at all low points; manual air vents at all high points. Use econetic reducers on horizontalities, faith to top of the pipe. ner man, visible aim a eas ut an au promit visible aim au rignijens, the content solenes on reconstitutes, two to go on pipe.

Nother them and reconstituted where aid telephone colon, its

6. Aut playly and be supported to amore in present shouths or oughly. In or case shall the hanger quoding exceed the distances laked in the current accepted without of the inferent aid formation.

7. Refer to steen and condensity playly growth for actifical supplements and frimedure.

A. All piping systems shall be thoroughly cleaned before placing in operation to rid the system of dist, piping compound, mill scale, oil and any and all other material feedan to the system.

4.3 BALANCIES AR EXTENSE.
A This controls for Millator, consists and equipment required for the displaces.
5. This controls for Millator, consists and equipment required for the displaces.
6. All potents are labellated in the control of conducting and <u>EMERGERS</u>, Educas need at force as worlded for each unit. The Educating Controls and

VANZELM HEYWOOD & SHADFORD, INC. 0 TALCOTT NOTCH FARMINGTON, CT 08-032 ELL: (800)284-3064 FAX: (800)284-3096 Bid # 051-001-HVAC FAIRFIELD WARDE HIGH SCHOOL FITTS HOUSE RTU-1, 2, & 4
REPLACEMENT
755 MELVILLE AVENUE
FAIRFIELD, CT 06825

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C. The Sharkey Contractive all attents a construction meeting with the INVIC cerebitaty Contractive to condition a wave fundation.

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4.6 START UP AND ADJUSTMENT

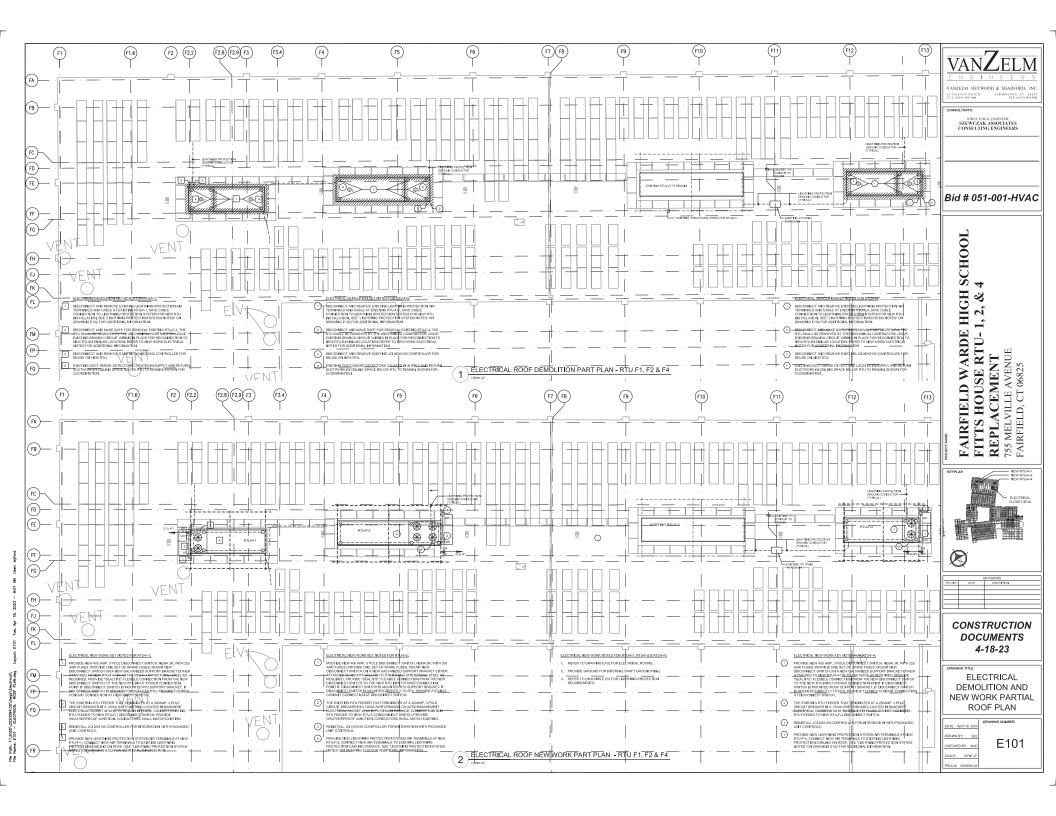
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END OF SECTION

CONSTRUCTION **DOCUMENTS** 4-18-23

MECHANICAL SPECIFICATIONS

DRAWN BY: REA M300 HECKED BY: WUD



	ELECTRICAL LEGEND
SYMBOL	DESCRIPTION
Φ WP GFI	GROUND FAULT CIRCUIT INTERRUPTER STYLE DUPLEX RECEPTACLE WITH WEATHER-PROOF IN USE HOUSING
	ELECTRICAL PANEL 208 / 120 VOLT
F	FUSED DISCONNECT SWITCH
U	JUNCTION BOX
0	LIGHTNING ARTERIAL
	LIGHTNING GROUNDING CONDUCTOR
	BRANCH CIRCUIT WIRING
_	HOME RUN, 34" CONDUIT, 2#12 AND 1#12 GROUND, UNLESS OTHERWISE NOTED.
® ₀	DUCT MOUNTED SMOKE DETECTOR
A	AMPERE
AFF	ABOVE FINISHED FLOOR
AFG	ABOVE FINISHED GRADE
С	CONDUIT
C/B	CIRCUIT BREAKER
CIR	CIRCUIT
ER	EXISTING TO REMAIN
EMT	ELECTRIC METALLIC TUBING
F	FUSED
FA	FIRE ALARM
G / GND	GROUND
GFI / GFCI	GROUND FAULT INTERRUPTER
P	POLE (SPACE IN PANELBOARD)
RE	REMOVE EXISTING
RTU	ROOFTOP UNIT

	MOTOR CIRCUIT SCHEDULE											
EQUIPMENT	LOCATION	CIRCUIT / SOURCE PANEL	OCP DEVICE	FEEDER	LOCAL DISC SWITCH			DR STARTER LOCATION	HP	PH	VOLT	REMARKS
RTU-F-1	ROOF - F	1200A-SWGR	EXISTING 300A-3P	EXISTING / MATCH EXISTING	400A / 225A	VFD		IN UNIT	-	3	208	SEE NOTES
RTU-F-2	ROOF - F	1200A-SWGR	EXISTING 300A-3P	EXISTING / MATCH EXISTING	400A / 250A	VFD		IN UNIT		3	208	SEE NOTES
RTU-F-4	ROOF - F	1200A-SWGR	EXISTING 250A-3P	EXISTING / MATCH EXISTING	400A / 225A	VFD		IN UNIT		3	208	SEE NOTES

MOTOR CIRCUIT SCHEDULE REFERENCED NOTES:

- EXISTING THE FEEDER FROM SWITCHGEAR TO RTU TO REMAIN, PROVIDE NEW CONDUCTORS FROM NEW JUNCTION BOX TO DISCONNECT SWITCH, PROVIDE FEEDER FROM DISCONNECT SWITCH TO VFE LOCATED IN ROCE TOP URIT.
- VFD FURNISHED AND INSTALLED BY DIV. 23. POWER WIRING FROM SOURCE TO VFD BY DIV. 28. POWER WIRING BETWEEN VFD AND MOTORS BY DIV. 26. CONTROL WIRING BY DIVISION 23.
- 4. VFD IS PREWIRED TO MOTORS AND FURNISHED BY DIV. 23.
- 5. CIRCUIT BREAKER (OCP DEVICE) SHALL BE SHUNT TRIP TYPE FOR EMERGENCY ELEVATOR SHUTDOWN.

MOTOR CIRCUIT SCHEDULE GENERAL NOTES: A. REFER TO SPECIFICATIONS FOR STANDARD FEATURES.

- B. ABBREVATIONS:

 VFD VARABUE FREQUENCY CRIVE
 FYMR. FOLL VOTAGE, INCN-REVERSING
 RWIN- REDUCED VOLTAGE, HON-REVERSING
 FHAS: FREAT TOWN ENDERSONS
 FOR THE VARIABLE OF THE VARI
- C. OCP DEVICES AND LOCAL DISC SWITCHES ARE THREE POLE UNLESS OTHERWISE NOTED.
- PROVIDE WEATHERPROOF FUSED DISCONNECT SWITCHES WHERE LOCATED OUTSIDE OR IN WET LOCATIONS.
- F. STARTERS, DISCONNECT SWITCHES, CIRCUIT BREAKERS, BRANCH CIRCUIT WIRING, ETC. INDICATED IN THE MOTOR CIRCUIT SCHEDULE SHALL BE FURNISHED AND INSTALLED BY DIVISION 25 UNLESS OTHERMISE NOTED.
- G. THE "OCP DEVICE" SHALL BE A CIRCUIT BREAKER UNLESS OTHERWISE NOTED.

GENERAL ELECTRICAL **DEMOLITION NOTES**

- REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AS SHOWN ON ROOF PLAN, EXCEPT WHERE MARKED OTHERWISE, I.A. ASSOCIATED WIRING BACK TO SOURCE OR TO LAST ACTIVE DEVICE, CONDUCT, IF CR. IN PREPARATION FOR NEW WORK UNLESS MOTED OTHERWISE. THIS WORK WOLDDES SELECTIVE DEMOLITION TO ACCOMMODATE HAVE SYSTEM MORE WORK OF THE WORK OF
- DISCONNECT AND REMOVE EXISTING WIRING, CONDUIT, BOXES, ETC, SERVING ALL EQUIPMENT BEING REMOVED BY MECHANICAL TRADE, REFER TO MECHANICAL DEVANINGS FOR COORDINATION OF REQUIPMED WORK, REMOVAL S SHALL BE BACK TO SOURCE PANEL COMPLETE UNLESS NOTED OTHERWISE.
- ALL ABANDONED ELECTRICAL WIRING AND DEVICES SHALL BE REMOVED.
- IF CONTINUITY OF WIRING TO EXISTING ELECTRICAL ITEMS IS INTERRUPTED BY REMOVAL OF DEVICES, CONTRACTOR SHALL INSTALL ALL NECESSARY WIRING AND RACEWAY TO ENSURE THE CONTINUITY OF CIRCUITRY IN OTHER ABELS.

- THE BUILDING WILL BE OCCUPIED DURING DEMOLITION, COO PHASING OF DEMOLITION WORK WITH CONSTRUCTION MANA GENERAL CONTRACTOR, ENSURE CONTINUITY OF SERVICES.

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Path: Name:

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GENERAL ELECTRICAL NOTES

- ALL HOMERUNISCIRCUITS TO BE 2812, 1#12G., 34°C TO A 204-1P CIRCUIT BREAKER IN DESIGNATE! PANEL UNLESS NOTED OTHERWISE. NUMBERS SHOWN AT EACH DEMOGRHOMERUN REPRESENT CIRCUIT NUMBER IN PANEL BOORD.
- ALL WIRING (CONDUITS, ETC.) TO BE CONCEALED, NO SURFACE WIRING SHALL BE INSTALLED IN FINISHED AREAS

- ELECTRICAL CONDUITS, WIRINS, BOXES, ETC. SHALL NOT PENETRATE STAIR ENCLOSURE, UNLESS THEY ARE FEEDING DEVICES LOCATED WITHIN THE STAIR ENCLOSURE.
- PROVIDE ELECTRICAL OUTLET PLATE GASKET SEALS AT RECEPTACLES, SMITCHES AND OTHER ELECTRICAL BOXES ON EXTERIOR WALLS AND INTERIOR WALLS SETWEEN CONDITIONED SPACES.
- PROVIDE UNIVERSAL BLANK PLUGS ON ALL SPARE CONDUITS.
- SEAL ALL CONDUITS AT THE LAST STRUCTURE PRIOR TO CONDUITS ENTERING A BUILDING PER SPECIFICATIONS AND DETAILS. ALL SPARE CONDUITS SHALL HAVE NYLON PULL STRING AND FOOTAGE TAPE.

- PROVIDE MODIFICATIONS TO THE EXISTING LIGHTNING PROTECTION SYSTEM AS SHOWN ON ROOF PLANS.
- THE COMPLETED MODIFICATIONS SHALL MEET THE "REQUIREMENTS OF THE CURRENT EDITIONS OF LUSRA AND MEPA 780. A CERTIFICATE COMPLETION FROM AN AUTHORITY HAVING JURISDICTION SHALL BE FURTISHED TO THE OWNER UPON COMPLETION OF WORK.
- ALL NEW LIGHTNING PROTECTION SYSTEM EQUIPMENT/CABLING SHALL MATCH EXISTING IN TYPE AND MATERIAL.
- METAL BODIES WITHIN 6" 0" OF THE LIGHTNING PROTECTION SYSTEM SHALL BE BONDED TO THE SYSTEM IN ACCORDANCE WITH UL96A.
- 5. LOCATE AR TERMINALS ON NEW ROOF TOP HVAC EQUIPMENT AS REQUIRED. IF THE METAL THICKNESS OF AN OBJECT IS \$195" OR GREATER, AIR TERMINALS MAY BE ELIMINATED IF THE OBJECT IS PROPERLY CONNECTED TO THE SYSTEM.
- MEW AIR TERMINALS ARE TO BE LOCATED A MAXIMUM OF 24" FROM THE PROTECTED EDGE AND PROJECT A INTIMALM OF 10" ABOVE THE TOT TO EXCEED DO FEEL ARE TERMINAS THAT EXTENDED AN ABOVE THE PROTECTED EDGE ARE NOT TO EXCEED A SPACING GREATER THAN 25", EXCEPT FOR IMPACOP, AIR TERMINALS (50" MAX SPACING).
- ALL LIGHTHING PROTECTION SYSTEM CONDUCTORS ARE TO MAINTAIN A HORIZONTAL OR DOWNWARD PATH. ALL BEINDS IN THE CONDUCTORS SHALL HAVE A RADIUS OF 8 INCHES OR GREATER AND SHALL HAVE AN ANGLE BEND OF 90" OR GREATER.
- EACH INDIVIDUAL ITEM OF THE LIGHTINING PROTECTION SYSTE SHOWN ON THE DRAWINGS FOR FOR CLARITY. NEW ITEMS ARE INDICATED AT APPROXIMATE LOCATIONS ONLY.

VANZELM HEYWOOD & SHADFORD, INC

STRUCTURAL ENGINEER: SZEWCZAK ASSOCIATES CONSULTING ENGINEERS

Bid # 051-001-HVAC

SCHOOL 4 HIGH 1, 2, & ∙ FAIRFIELD WARDE F FITTS HOUSE RTU- 1, REPLACEMENT





CONSTRUCTION **DOCUMENTS** 4-18-23

ELECTRICAL FIRST AND SECOND FLOOR PLAN, SCHEDULES, LEGENDS AND NOTES

RAWW BY: HECKED BY: WUI

CALE: 1/8°=1'-

E102

PART 1 GENERAL A. All work shall be done in stillar accordance with all applicable Codes and Regulations of local and State Agencies. This Contractor shall bear the cost of all less, permis, it comes and traces and any utility company changes in connection with the work. All equipment installed shall be till traces. C. THE PROJECT WILL BE CONSIDERED. REFER TO COMMISSIONING SPECIFICATION SECTIONS FOR COMMISSIONING SPECIFICATION SECTIONS FOR COMMISSIONING INCOMESSIONING SPECIFICATION SECTIONS FOR COMMISSIONING SPECIES WILL RECORM ADDITIONAL LABOR. MATERIAL ADDITIONAL CONTRACTOR AS PART OF THIS PROJECT. Evising excelor materials shall HOT be reused untess so indicated on the Drawings.
 All materials removed under this Difelion and not scheduled for reuse or requested by the Overse, shall be deposed of off size. Provide complete electrical lighting, power, the starm and special systems as indicated on the Contract Drawkins. Provide all electrical work reconsury to power Center-supplied equipment. Provide all receptables, power wing, core data, etc., necessary for a compare installation. 3. Systems shall be complete in all respects, tested, approved and ready for operation. Other Trade Contractors and Owner's equipment vendors shall finite! all motors for equipment provided under their trade work contractor restors shall be needy for willing by the Electical Contractor. Control Controls.

Other Trade Controlsors and Owner's equipment vendors shall funds and old ser to the Election Controlsor wing dispares for all electrically operated equipment. Other Trade Controlsors will Amerita Register and south equipment for the Electrical Controlsors who shall read and vide those devices. The Electrical Controlsor shall provide motor starters and discontrol controls reliefs offered noted. The Mechanical Contractor shall provide chases, openings, cutting, patching, painting and fish noti. 1.3 SHOP DRAWING SUBVITTALS Statistic beginning on experient and materials. In sexuplet (8 copies), to the Architect for opposed. The Drawleys shall foliate safety, performance Harmathic operating data and copylarized and produced the statistic safety performance beginning to perform and copylarized capital tests but to large-service of an appeal copylarized capital tests but to large-service of an appeal copylarized capital tests but to large-service of an appeal copylarized capital tests of the speciment of the spe 1.4 RECORD DRAWINGS A. Neatly and accurately record all changes to Coetnot Documents on record set of develope furnished by the General Contractor. These record "in-bull" develops shall include southers of specific terms as Basic in the various Specification DNEOVEL, Upon project completion, these record diversitys shall be trained over to the Displace. 1.9 PERMITS LAWS, ORDINANCES, CODES AND STANDARDS 13 PERMITS, LAWS, DORGANIZES, CODES AND STANDARDS.
A COSIA and spin by complex Supposed as beases and conflicture regulard, Work of 16s Codes and the Standards of the 1,10 ARRANGEMENT OF WORK A. Work shall be coordinated between trades to prevent interference. Work shall present a next coordinate appearance. Install work as necessary to provide maturas possible headcoors, adequate cleanance and ready course for thipsother, prepared and Code conformation, where space appears fundequate, consult the Architect before proceeding with installation. Equipment and materials shall be new, of first quality, selected and arranged to fit properly into spaces indicated. Hotall equipment and materials in accordance with manufacturers recommendation. 1.12 COORDINATION WITH OWNER.
A. Work shall be scheduled with the Owner. Interruptions in Owner's access to the site shall be subject to Owner britalisms of date and duration. 1.13 OPERATION OF SERVICES AND UTILITIES 1.46 LUBRICATION A. Cutting and potating to be performed by the Mechanical Contractor. Pointing of finished surfaces interpretating shall match adjacent finishes. 1 19 WATERPROOFING A. Provide necessary sleeves, cauthing and flashing required to make openings waterproof.

A. At dealing of each working day, opening cut between floors and through fire-rated perfitors shall be provided with UL approved, Class A "tensormbushle", firestopping with ratings equal to that of adjacent constantation.

A. The Mechanical Contractor shall provide necessary supports, pack, bases and plens for explanent. Explanent shall be securely stituted to be along structure in acceptable manner. Attachments shall be of strong and dupole engine, so depended by the Owere.

Provide adequately sized access doors, for access to conceiled equipment and components requiring servicing or inspection. Doors shall have the sixings equal to construction in which they are located.

1,24 SYSTEMS OPERATION AND MAINTENANCE

PART - PRODUCTS

WIRE CABLE AND RACEMAYS
 Right galverted shell conduit (RGS) shall be used for all saledor witing and where subject to derromese, except as reliable before or as specifically related on the Develops. Convection and couplings that the galantized earlier models Ope to the Traffic use.

Electrical Metallic Tubing (EMT) shall be used for feeders run above ground in thy areas.
 Connectors and couplings shall be gallanized steel, other compression ope or heavy-staty set some-love. Ideal for EMT use. Indeed or or chine-love commiscions are NOT allawed.

2. Flexible Metal Conduit: 97

a. Introduce 4.2. A processor of the Control of Equilibrium feetile records (EFAC) that be used for connections to storate quadwards and furnises pattions. Connection, things and during the PRC set has beginned used used to PRC use. On the Control of the Con Creyban Type LA Equid-light fleeble metal conduit (LFMC) shall be used for final connections to alterdisp coulament.

consections to disable qualitative. Consideration for the experimental production of the control of the control

H. All condults and witing shall be non-concealed inside water where possible. Exposed condults where placed chief be non-nearly in lines parallel or perpendicular to building walls.

 All aptices for 910 or smaller shall be made with "Scotchiot" spring connectors or equal.
 Spaces for 88 or targer shall be made with UL approved compression connectors. J. Provide nylon pull lines for all empty condults.

Grounding shall be installed and tested in accordance with NFPA 70 (NEC) and to salidaction of local electrical inspector and Architect.

If excessive ground current lows, main breakers and/or circuit breakers with ground fault sending shall tilp to protect applies arching ground faults.

Abovegoods and exposed connections that I be forming or acceptable equilation.
 When shall be smoothed beare ougspore in character oppore, and influende on Connect Disorderys.
 Bus shall be copper bus as leducated on Content Ormelyps.
 Boardings and Pressums Liquis while be by TASS, CLE-Disordery or acceptable equilations.
 Play charges shall be by CLE-Dosingy or acceptable equilations.

A. Safety sultables shall be fused, 600 VAC, heavy-duty type in HEMA endissures suitable for the endocrared to within they shall be leatified. Safethes shall be Square D, General Electric or Cutter-Harmer equilated to the following Square D type:

A. Fuses for droid protection shall be UL listed, non-receivable, low peak, dust-server, time delay fuses. Business Type FR94RK (200 Voll) or FR54RK (600 Voll) UL Class RKS or approved equal.

 Provide starters for all motors unless noted otherwise. Starters shall be Allen-Bradley or equal by Square D. General Bectifs or Culter-Hammer, as follows: 1. Manual for 120 Volt or 205 volt. Hohase: Allen Bradley Bulletin 600.

2. Magnetic agross the line; Allen Bradley Bulletin 506,

Magnetic accessing the Machine Alem Brailey Guiden Lote,
 Combination starter chacomatic Allem Brailey Builetin 512.
 Manual starters shall have MEWA 1 enchause.
 Magnetic starters shall have the following features:
 MEMA 1 enchause.

2. Two N.O. and two N.C. acollary contact

4. Neon run pest Baht

5. Three overload heater

6 Control power insteadymen

2.6 OUTLET AND JUNCTION BOXES A. Amotor bases shall be alred in accordance with Code regularments

B. Junction and outlet boxes where exposed to the weather and wet locations shall be threaded but type and provided with waterlight some-on covern and gailets.

2.7 DECEDTACIOS AND DIATES

A. The alarm components shall be competite with esteing building system. Refer to drawing notes.

All new circuit breakers shall match existing in style, manufacturer and interrupting rating for panel in which they are being treatable, unless noted otherwise.

PART 3 - EXECUTION

3.1 GENERAL WIRING TESTS

Insulation resistance for low voltage cobies and witing shall be performed at 1000 Volt 0.C. for one (1) reliate. When Insulation resistance must be determined, availablearis, panel boards

2 GROUNDING SYSTEM TESTS

A. Test and Inspect the main grounding electrode system in accordance with Section 7.13 of the NETA Handbook for Electrical Teering Procedures. Perform a resistance to ground test and bases that esistances is no guarter than 5 (Five) others. Investigate and supplement grounding system refere resistance exceeds recommended visions and next as required. 3.3 OPERATIONAL TESTS

A. Each piece of electrical equipment, including fighting features, motors and controls shall be operated confined by for mildraum test period of one hour.

Demonstrate by operating equipment that circuits and devices are te good operating condition.
 Each item of control equipment shall be operated miximum of the times. Demonstration shall be performed after visiting term.

3,4 MECHANICAL SYSTEM ADJUSTMENT AND TESTING

A. Be present during experiment period and that besting of mechanical systems. Take readings necessary to ensure that electrical systems are operating properly. Tests for mechanical work, are detailed under DR1500 15, MECHALCAL WORD.

 Take ampere readings with true RMS reading amender at each electrical component, such as motor and healthg cd. to determine proper operation. C. Record readings and submit from in this case to the Engineer for review

A. Fire alarm witing shall be run in EMT: devices shall be securely alfibed to building surface

Junction boxes, pull boxes, outlet boxes and covers in the fire alarm receivey system shall be painted red.

A. Latel all new disconnects, statters, motors, furniture feeder boxes, in a manner acceptable to the Architect, Provide updated panel schedules in all panelscands within the scope of work.

B. As manufacturer's namecrates shall be least dean and free of paint. C. Data/communications willing done under this Contract shall be recorded on cable management downings. Each outset shall be assigned a number which shall be liveyed to its punchdown location.

b. Provide private, cotaved, adhesive labels for all electrical equipment, such as but not limited to substituctures, parelibrarille, motor control centers, disconnect substitute, meter sociois enclosures, etc. to sum qualified personnel of potential electric arc fash hazards. Label shall be a migrature of 4"35" and each of Schore.

VANZELM

VANZELM HEYWOOD & SHADFORD, INC

Bid # 051-001-HVAC

SCHOOL 4 HIGH 1, 2, & FITTS HOUSE RTU- 1,
REPLACEMENT
75S MELVILLE AVENUE
FAIRFIELD, CT 06825 755 MELVILLE / FAIRFIELD, CT (

KEYPLAN

REVISIONS
REV. NO. DATE DESCRIPTION

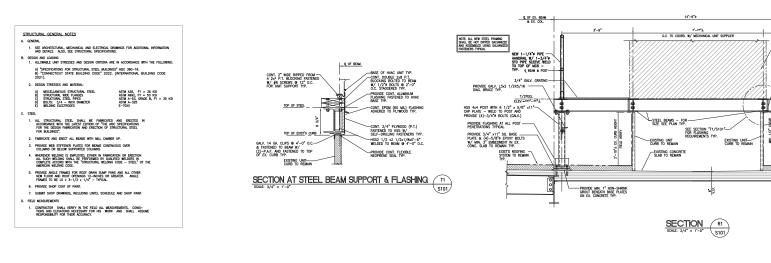
CONSTRUCTION **DOCUMENTS** 4-18-23

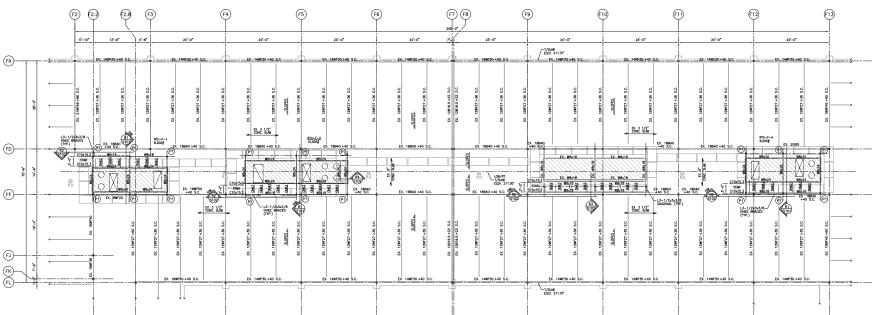
DRAWING TITLE:

ELECTRICAL **SPECIFICATIONS**

RAWN BY: RLC HECKED BY: WUD CALE: NO SCAL

E200





PARTIAL EXISTING ROOF FRAMING PLAN

NOTES:

- TOP OF EXISTING STEEL ELEVATION WARIES VERIFY ALL EXISTING STEEL ELEVATION IN FIELD PRIOR TO PROCEEDING WITH NEW WORK.
- 3. ALL NEW STEEL EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED
- P1 INDICATES HSS 4x4x3/8 STEEL PIPE POST, G.C. COORDINATE EXACT POST LOCATIONS WITH EXISTING FRAMING AND MECHANICAL REQUIREMENTS.
- ALL ROOF WORK SHALL BE PROVIDED AND PERFORMED BY TECTA AMERICA. SEE MECHANICAL DRAWINGS FOR INFORMATION.



& OF EX. BEAM

—EXISTING ROOFING TO REMAIN — PROTECT SURFACES FROM DAMAGE DURING CONSTRUCTION

Bid # 051-001-HVAC

HIGH SCHOOL 1, 2, & 4 FAIRFIELD WARDE F FITTS HOUSE RTU-1, REPLACEMENT



755 MELVILLE AVENUE FAIRFIELD, CT 06825



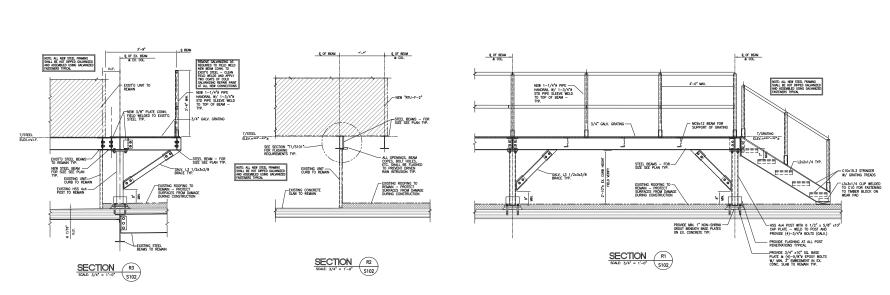
CONSTRUCTION **DOCUMENTS** 4-18-23

DRAWING TITLE:

PARTIAL EXISTING ROOF FRAMING PLAN

RAWN BY: NO HECKED BY: ARC

S101 CALE: AS NOTE





STRUCTURAL ENGINEER: SZEWCZAK, KILTY & FLUHR STRUCTURAL ENGINEERS



Bid # 051-001-HVAC

FAIRFIELD WARDE HIGH SCHOOL FITTS HOUSE RTU-1, 2, & 4
REPLACEMENT
755 MELVILLE AVENUE
FAIRFIELD, CT 06825

REVISIONS							
MEV. NO.	DATE	DESCRIPTION					

CONSTRUCTION **DOCUMENTS** 4-18-23

STRUCTURAL SECTIONS

S102

HECKED BY: ARC

RAFT AIA Document A101 - 2017

Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum

AGREEMENT made as of the « » day of « » in the year «2023 » (In words, indicate day, month and year.)

BETWEEN the Owner:

(Name, legal status, address and other information)

```
« »« »
« Town of Fairfield »
« 725 Old Post Road »
«Fairfield, CT 06824 »
```

and the Contractor:

(Name, legal status, address and other information)

```
«SAV-MOR Cooling and Heating, Inc. »
«231 Captain Lewis Drive »
«Southington, CT 06489 »
```

for the following Project:

(Name, location and detailed description)

```
«Fitts House - Fairfield Warde High School »
« 755 Melville Avenue »
« Fairfield, CT 06825 »
```

The Architect:

(Name, legal status, address and other information)

```
« van Zelm Heywood & Shadford, Inc. »
« 10 Talcott Notch Road, Ste. 102 »
« Farmington, CT 06032»
```

The Owner and Contractor agree as follows.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An Additions and Deletions Report that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

The parties should complete A101@-2017, Exhibit A, Insurance and Bonds, contemporaneously with this Agreement. AIA Document A201®-2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.



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TABLE OF ARTICLES

- 1 THE CONTRACT DOCUMENTS
- 2 THE WORK OF THIS CONTRACT
- 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- 4 CONTRACT SUM
- 5 PAYMENTS
- 6 DISPUTE RESOLUTION
- 7 TERMINATION OR SUSPENSION
- 8 MISCELLANEOUS PROVISIONS
- 9 ENUMERATION OF CONTRACT DOCUMENTS

EXHIBIT A INSURANCE AND BONDS

ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement, and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be:

(Check one of the following boxes.)

[$\langle X \rangle$] The date of this Agreement.

[« »] A date set forth in a notice to proceed issued by the Owner.

[« »] Established as follows:

(Insert a date or a means to determine the date of commencement of the Work.)

« »

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of this Agreement.

§ 3.2 The Contract Time shall be measured from the date of commencement of the Work.

§ 3.3 Substantial Completion

§ 3.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Contractor shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

[« X »] By the following date: «August 20, 202	<u>24</u> »						
§ 3.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Contractor shall achieve Substantial Completion of such portions by the following dates:							
Portion of Work	Substantial Completion Date						
§ 3.3.3 If the Contractor fails to achieve Substantial Completion as provided in this Section 3.3, liquidated damages, if any, shall be assessed as set forth in Section 4.5.							
ARTICLE 4 CONTRACT SUM § 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be « One Million Eighty Thousand Dollars » (\$ «1,080,000.00 »), subject to additions and deductions as provided in the Contract Documents.							
§ 4.2 Alternates§ 4.2.1 Alternates, if any, included in the Contract Sur	n:						
-Add Alternate #1 – Commissioning Services	Price \$9,900.00						
§ 4.2.2 Subject to the conditions noted below, the follow execution of this Agreement. Upon acceptance, the Ox (Insert below each alternate and the conditions that me	wner shall issue a Modification to	this Agreement.					
ltem	Price	Conditions for Acceptance					
§ 4.3 Allowances, if any, included in the Contract Sum: (Identify each allowance.)							
Item	Price						
§ 4.4 Unit prices, if any: (Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.) Item Units and Limitations Price per Unit (\$0.00)							
CAFY: :1. 11							
§ 4.5 Liquidated damages, if any: (Insert terms and conditions for liquidated damages, if any.)							
« If the Contractor neglects, fails or refuses to achieve the Contractor's bid form for each of the bid compone One Thousand Dollars (\$1,000.00) per day or part the subtracted from the unpaid contract amount or bond he General Conditions of the Contract for Construction, a "Sustantial completion" is further defined as the date a grant a temporary or permanent certificate of occupan	nts requiring durations or deadline reof shall be due for each bid comp eld by the Owner. "Substantial cor AIA Document A201 included in that that which the local authorities with	es, liquidated damages of conent to the Owner and impletion" is as defined in the this project manual.					

[« »] Not later than « » (« ») calendar days from the date of commencement of the Work.

§ 4.6 Other:

3

« »

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

§ 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

« »

§ 5.1.3 Provided that an Application for Payment is received by the Architect not later than the $<\!\!<\!\!25th$ » day of a month, the Owner shall make payment of the amount certified to the Contractor not later than the $<\!\!<\!\!15th$ » day of the $<\!\!<\!\!$ following » month. If an Application for Payment is received by the Architect after the application date fixed above, payment of the amount certified shall be made by the Owner not later than $<\!\!<\!\!$ forty-five » ($<\!\!<\!\!45$ ») days after the Architect receives the Application for Payment.

(Federal, state or local laws may require payment within a certain period of time.)

- § 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form, and supported by such data to substantiate its accuracy, as the Architect may require. This schedule of values shall be used as a basis for reviewing the Contractor's Applications for Payment.
- § 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.
- § 5.1.6 In accordance with AIA Document A201TM–2017, General Conditions of the Contract for Construction, and subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:
- § 5.1.6.1 The amount of each progress payment shall first include:
 - .1 That portion of the Contract Sum properly allocable to completed Work;
 - .2 That portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction, or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing; and
 - .3 That portion of Construction Change Directives that the Architect determines, in the Architect's professional judgment, to be reasonably justified.
- § 5.1.6.2 The amount of each progress payment shall then be reduced by:
 - .1 The aggregate of any amounts previously paid by the Owner;
 - .2 The amount, if any, for Work that remains uncorrected and for which the Architect has previously withheld a Certificate for Payment as provided in Article 9 of AIA Document A201–2017;
 - .3 Any amount for which the Contractor does not intend to pay a Subcontractor or material supplier, unless the Work has been performed by others the Contractor intends to pay;
 - .4 For Work performed or defects discovered since the last payment application, any amount for which the Architect may withhold payment, or nullify a Certificate of Payment in whole or in part, as provided in Article 9 of AIA Document A201–2017; and
 - .5 Retainage withheld pursuant to Section 5.1.7.

§ 5.1.7 Retainage

§ 5.1.7.1 For each progress payment made prior to Substantial Completion of the Work, the Owner may withhold the following amount, as retainage, from the payment otherwise due:

(Insert a percentage or amount to be withheld as retainage from each Application for Payment. The amount of retainage may be limited by governing law.)

«Retainage of five percent (5%) »

§ 5.1.7.1.1 The following items are not subject to retainage:

(Insert any items not subject to the withholding of retainage, such as general conditions, insurance, etc.)

«None »

§ 5.1.7.2 Reduction or limitation of retainage, if any, shall be as follows:

(If the retainage established in Section 5.1.7.1 is to be modified prior to Substantial Completion of the entire Work, including modifications for Substantial Completion of portions of the Work as provided in Section 3.3.2, insert provisions for such modifications.)

« None »

§ 5.1.7.3 Except as set forth in this Section 5.1.7.3, upon Substantial Completion of the Work, the Contractor may submit an Application for Payment that includes the retainage withheld from prior Applications for Payment pursuant to this Section 5.1.7. The Application for Payment submitted at Substantial Completion shall not include retainage as follows:

(Insert any other conditions for release of retainage upon Substantial Completion.)

« If not agreed to by the Owner (Town) »

- § 5.1.8 If final completion of the Work is materially delayed through no fault of the Contractor, the Owner shall pay the Contractor any additional amounts in accordance with Article 9 of AIA Document A201–2017.
- § 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 5.2 Final Payment

- § 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when
 - .1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Article 12 of AIA Document A201–2017, and to satisfy other requirements, if any, which extend beyond final payment; and
 - .2 a final Certificate for Payment has been issued by the Architect.

§ 5.2.2 The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

« »

§ 5.3 Interest

Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

(Insert rate of interest agreed upon, if any.)

« » % « »

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Initial Decision Maker

The Architect will serve as the Initial Decision Maker pursuant to Article 15 of AIA Document A201–2017, unless the parties appoint below another individual, not a party to this Agreement, to serve as the Initial Decision Maker. (If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

«	None »
«	»
«	»
«	»

§ 6.2 Binding Dispute Resolution

For any Claim subject to, but not resolved by, mediation pursuant to Article 15 of AIA Document A201–2017, the method of binding dispute resolution shall be as follows:

(Check the appropriate box.)

[« »] Arbitration pursuant to Section 15.4 of AIA Document A201–2017

[« X »] Litigation in a court of competent jurisdiction

[« »] Other (Specify)

If the Owner and Contractor do not select a method of binding dispute resolution, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201-2017.

§ 7.1.1 If the Contract is terminated for the Owner's convenience in accordance with Article 14 of AIA Document A201–2017, then the Owner shall pay the Contractor a termination fee as follows:

(Insert the amount of, or method for determining, the fee, if any, payable to the Contractor following a termination for the Owner's convenience.)

« None »

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2017.

MISCELLANEOUS PROVISIONS ARTICLE 8

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A201–2017 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 The Owner's representative:

(Name, address, email address, and other information)

- «Adam B. Tulin, Director of Purchasing » « Town of Fairfield »
- « 725 Old Post Road » «Fairfield, CT 06824 »

§ 8.3 The Contractor's representative:

(Name, address, email address, and other information)

- « Troy Karwowski, President »
- « SAV-MOR Cooling and Heating, Inc.»
- « 231 Captain Lewis Drive »
- « Southington, CT 06489 »

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6

« <u>860-621-99</u> « troy@savm						
	the Owner's nor the Contractor's repres	sentative shall be changed wi	thout ten days' prior notice to the			
§ 8.5.1 The € 2017, Standa	oce and Bonds Owner and the Contractor shall purchase and Form of Agreement Between Owner surance and Bonds, and elsewhere in the	and Contractor where the bas	sis of payment is a Stipulated Sum,			
	Contractor shall provide bonds as set fort Documentsa performance and payment l					
with AIA Do otherwise set (If other than	in electronic format, pursuant to Article cument E203 TM 2013, Building Information forth below: in accordance with AIA Document E20 as name, title, and email address of the results.	nation Modeling and Digital E 03–2013, insert requirements	Oata Exhibit, if completed, or as for delivering notice in electronic			
	ad receipt for the transmission.) This sect		v the system will be required to			
« » § 8.7 Other p « None»	provisions:					
ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS § 9.1 This Agreement is comprised of the following documents: .1 AIA Document A101 TM -2017, Standard Form of Agreement Between Owner and Contractor .2 AIA Document A101 TM -2017, Exhibit A, Insurance and Bonds .3 AIA Document A201 TM 2017, General Conditions of the Contract for Construction .4 AIA Document E203 TM -2013, Building Information Modeling and Digital Data Exhibit, dated as indicated below: (Insert the date of the E203 2013 incorporated into this Agreement.) « »						
.5	Drawings Number Drawings and Specifications provided by van Zelm Heywood & Shadford, Inc. (van Zelm Engineers)	Title	Date			
.6	Specifications					
	Section -Town of Fairfield Bid Document Wage Rate Information	Title	Date Pages			
.7	Addenda, if any:					
	Number	Date 5/18/2023	Pages			

6/7/2023

<u>3</u>	6/12/23	<u>1</u>

Portions of Addenda relating to bidding or proposal requirements are not part of the Contract Documents unless the bidding or proposal requirements are also enumerated in this Article 9.

.8	.8 Other Exhibits: (Check all boxes that apply and include appropriate information identifying the exhibit where required.)							
	[« »]	AIA Document E204 TM –2017, Sustainable Projects Exhibit, dated as indicated (Insert the date of the E204-2017 incorporated into this Agreement.)						
		« »						
	[« »] The Sustainability Plan:							
	Title	e	Date)	Pages	П		
	[«»]	Supplementary and other Co.	nditions o	f the Contract:				
	Do	cument	Title		Date	Pages		
	(List he Docume sample requirer proposa docume « »	ocuments, if any, listed below: re any additional documents the ent A201 TM –2017 provides that forms, the Contractor's bid or ments, and other information fals, are not part of the Contractorts should be listed here only to the contractor should be listed here only to the contractor that should be listed here only to the contractor that should be listed here only to the contractor that should be listed here only to the contractor that should be listed here only to the contractor that should be listed here only the contractor that should be listed here.	hat are int tt the adve r proposal furnished t tt Docume if intended	rtisement or invitation, portions of Addenda by the Owner in anticipants unless enumerated to be part of the Conduction above.	n to bid, Ins relating to pation of re I in this Agn tract Docun	tructions to Bidders, bidding or proposal eceiving bids or reement. Any such		
OWNER (S	ignature)			CONTRACTOR (Signal	iture)			
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