



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

Award Recommendation Resolution:

On Monday, 10th July 2023, the Purchasing Authority recommended an award of Bid 2023-153 Fitts House HVAC RTU Replacement Project – FWHS to Sav-Mor Cooling & Heating Inc., Southington, CT to perform removal and proper disposal, and installation of three (3) new rooftop HVAC units at Fitts House – Fairfield Warde High School as well as the Add Alternate for Commissioning Services.

Base Bid:	\$1,080,000.00
Add Alternate: Commissioning Services:	\$ <u>9,900.00</u>
Total Cost:	\$1,089,900.00

The award of the contract to Sav-Mor Cooling & Heating, Inc. may be subject to the review and approval of the Board of Selectmen.


Brenda L. Kupchick, First Selectwoman


Adam B. Tulin, Director of Purchasing

RFP #2023-153 DESC: Fitts House HVAC RTU Replacement Project - FWHS DATE: 15th June 2023 TIME: 11:00 AM	Town of Fairfield Bid Proposal Summary	
	Blizzard Mechanical, LLC Derby, CT	Sav-Mor Cooling & Heating Inc. Southington, CT
<u>Base Bid - Total Lump Sum</u>	\$1,190,000.00	\$1,080,000.00
<u>Add Alternate - Commissioning Services</u>	\$10,000.00	\$9,900.00
<u>Total</u>	\$1,200,000.00	\$1,089,900.00
<u>Bid Bond</u>	Yes	Yes



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

BID #2023-153

Fitts House HVAC RTU Replacement Project
Fairfield Warde High School
State Project No. 051-001 HVAC

TOWN OF FAIRFIELD
PURCHASING AUTHORITY
725 OLD POST ROAD
INDEPENDENCE HALL
FAIRFIELD, CT 06824.

Date Submitted June 14, 2023

SEALED BIDS are subject to the standard instructions set forth on the attached sheets. Any modifications must be specifically accepted by the Town of Fairfield, Purchasing Authority.

Bidder:

Sav-Mor Cooling & Heating Inc.
Doing Business As (Trade Name)

231 Captain Lewis Drive
Address

Southington, CT 06489
Town, State, Zip

Mr. Troy Karwowski, President
(Mr. / Ms.) Name and Title, Printed

TJ
Signature

860-621-9959 860-621-9919
Telephone Fax

troy@savmorct.com
E-mail

Thomas R. Re
First Selectwoman

John B. Zeln
Director of Purchasing

5/18/2023
Date

Sealed bids will be received by the Purchasing Authority at the office of the Director of Purchasing, First Floor, Independence Hall, 725 Old Post Road, Fairfield, Connecticut 06824, up to:

11:00 am, Thursday, 15th June, 2023

To provide labor, materials, equipment and all else necessary to complete the rooftop HVAC unit replacement project at Fitts House - Fairfield Warde High School as detailed in the attached specifications and project documents prepared by van Zelm Engineers.

NOTES:

1. Bidders are to complete all requested data in the upper right corner of this page and must return this page and the Proposal page with their submission.
2. No bid shall be accepted from, or contracts awarded to, any person/company/affiliate or entity under common control who is in arrears to the Town of Fairfield upon debt, or contract or who has been within the prior five (5) years, a defaulter as surety or otherwise upon obligations to the Town of Fairfield, and shall be determined by the Town.
3. Bids are to be submitted in a sealed envelope and clearly marked "BID #2023-153" on the outside of the envelope, including all outer packaging, such as, DHL, FedEx, UPS, etc.
4. It is the sole responsibility of the bidder to see that the bid is received by the Fairfield Purchasing Department prior to the time and date noted above. Bids are not to be submitted via email or fax.
5. Bids are not to be submitted with plastic binders or covers, nor may the bid contain any plastic inserts or pages.



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

ADDENDUM #1
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School

18th May 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:

1. The Town has elected to change the pre-bid date for this bid solicitation from Tuesday, May 30th at 11:00 am to **Thursday, June 1st at 10:00 am.**

End of Addendum #1

Company: Sav-Mor Cooling & Heating Inc. Name: Troy Karwowski Signature:  Date: 6/14/23



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

**ADDENDUM #2
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School**

7th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:

1. Please see attached Addendum #1 issued by van Zelm Engineers.

End of Addendum #2

Company: Sav-Mor Cooling & Heating Inc. Name: Troy Karwowski Signature:  Date: 6/14/23



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

**ADDENDUM #3
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School**

12th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

Questions:

1. Are there Liquidated Damages and Retainage? If so, what is the amount?

Response: No liquidated damages, 5% retainage.

2. How many copies of our proposal do you require us to provide?

Response: Please submit one (1) original document two (2) copies of your bid submission.

3. Are permit fees waived?

Response: The Town will waive its application and permit fees for Town of Fairfield projects.

4. Will Maintenance be required once the project is complete? (i.e.: 1 year)

Response: One (1) year warranty as required by law. A maintenance contract after the final acceptance is not required.

End of Addendum #3

Company: Sav-Mor Cooling & Heating Inc. Name: Troy Karwowski Signature:  Date: 6/14/23

BID PROPOSAL FORM

PROPOSAL TO: Town of Fairfield, Purchasing Department
First Floor, Sullivan Independence Hall
725 Old Post Road, Fairfield, Connecticut 06824

I, Sav-Mor Cooling & Heating Inc. have received the following contract documents,

1. BID Document #2023-153
2. Addenda 1 through 3 posted at www.fairfieldct.org/purchasing
3. Documents prepared by van Zelm Engineers

and have included their provisions in my proposal. I shall supply all labor, materials and equipment necessary in accordance with all of the contract documents as required for the replacement of three (3) HVAC RTU at Fitts House - Fairfield Warde High School, 755 Melville Avenue, Fairfield, Connecticut as specified.

BASE BID - TOTAL LUMP SUM

(\$ 1,080,000.00) /LS One Million Eighty Thousand Dollars
(Written Amount)

Per Addendum #2 - Add / Alt. for Commissioning Assitance: \$9,900.00

Lump Sum amount shall include the cost of all necessary labor, materials, equipment, disposal, delivery, mobilization, insurances, taxes (except taxes from which the Owner is exempt) and permits, including all overhead and profit, based on the total estimated hours to perform the work, per the specification documents prepared by van Zelm Engineers.


CHECKLIST

The following must be submitted with proposal:

- ☒ Cover page, completed and signed.
- ☒ Addenda acknowledged per Item 2 on Bid Proposal Form, or signed and submitted with modified pricing.
- ☒ Bid Bond or equal security for five (5) percent of the total estimated bid.
- ☒ List of references where projects performed within the past five years of comparable size and scope.
- ☒ Contractor and/or Subcontractor is a certified installer for all manufacturers stated in the bid document.
- ☒ List and details of all sub-contractors, identifying each trade, hourly rates and Tax ID numbers.
- ☒ Bid Proposal Form.

The Bidder hereby certifies that any and all defects, errors, inconsistencies or omissions of which he/she is aware, either directly or by notification from any sub-bidder or material supplier found in the Contract Documents are listed herewith in this Bid Form.

Troy Karwowski, President
Name and Title


Signature

6/14/23
Date

Document A310™ – 2010

Conforms with The American Institute of Architects AIA Document 310

Bid Bond

CONTRACTOR:

(Name, legal status and address)

Sav-Mor Cooling & Heating, Inc.
231 Captain Lewis Drive
Southington, CT 06489

SURETY:

(Name, legal status and principal place of business)

Swiss Re Corporate Solutions America Insurance
Corporation

1200 Main Street, Suite 800
Kansas City, MO 64105
Mailing Address for Notices

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Any singular reference to Contractor, Surety, Owner or other party shall be considered plural where applicable.

OWNER:

(Name, legal status and address)

Town of Fairfield
725 Old Post Road - Independence Hall
Fairfield, CT 06824

BOND AMOUNT: 5% Five Percent of Amount Bid

PROJECT:

(Name, location or address, and Project number, if any)

Bid # 2023-153 - Fitts House HVAC RTU Replacement Project at Fairfield Warde High School, State Project # 051-001 HVAC

The Contractor and Surety are bound to the Owner in the amount set forth above, for the payment of which the Contractor and Surety bind themselves, their heirs, executors, administrators, successors and assigns, jointly and severally, as provided herein. The conditions of this Bond are such that if the Owner accepts the bid of the Contractor within the time specified in the bid documents, or within such time period as may be agreed to by the Owner and Contractor, and the Contractor either (1) enters into a contract with the Owner in accordance with the terms of such bid, and gives such bond or bonds as may be specified in the bidding or Contract Documents, with a surety admitted in the jurisdiction of the Project and otherwise acceptable to the Owner, for the faithful performance of such Contract and for the prompt payment of labor and material furnished in the prosecution thereof; or (2) pays to the Owner the difference, not to exceed the amount of this Bond, between the amount specified in said bid and such larger amount for which the Owner may in good faith contract with another party to perform the work covered by said bid, then this obligation shall be null and void, otherwise to remain in full force and effect. The Surety hereby waives any notice of an agreement between the Owner and Contractor to extend the time in which the Owner may accept the bid. Waiver of notice by the Surety shall not apply to any extension exceeding sixty (60) days in the aggregate beyond the time for acceptance of bids specified in the bid documents, and the Owner and Contractor shall obtain the Surety's consent for an extension beyond sixty (60) days.

If this Bond is issued in connection with a subcontractor's bid to a Contractor, the term Contractor in this Bond shall be deemed to be Subcontractor and the term Owner shall be deemed to be Contractor.

When this Bond has been furnished to comply with a statutory or other legal requirement in the location of the Project, any provision in this Bond conflicting with said statutory or legal requirement shall be deemed deleted herefrom and provisions conforming to such statutory or other legal requirement shall be deemed incorporated herein. When so furnished, the intent is that this Bond shall be construed as a statutory bond and not as a common law bond.

Signed and sealed this 15th day of June, 2023.

Melissa Famosi
(Witness) Melissa Famosi

Nicole Plourde
(Witness) Nicole Plourde

Sav-Mor Cooling & Heating, Inc.

(Principal)

(Seal)

By:

(Title) Troy Karwowski, President

Swiss Re Corporate Solutions America Insurance Corporation

(Surety)

(Seal)

By:

(Title) Craig H. Meeker, Attorney-in-Fact



SWISS RE CORPORATE SOLUTIONS

SWISS RE CORPORATE SOLUTIONS AMERICA INSURANCE CORPORATION ("SRCSAIC")
SWISS RE CORPORATE SOLUTIONS PREMIER INSURANCE CORPORATION ("SRCSPIC")

GENERAL POWER OF ATTORNEY

KNOW ALL MEN BY THESE PRESENTS, THAT SRCSAIC, a corporation duly organized and existing under laws of the State of Missouri, and having its principal office in the City of Kansas City, Missouri, and SRCSPIC, a corporation organized and existing under the laws of the State of Missouri and having its principal office in the City of Kansas City, Missouri, each does hereby make, constitute, and appoint: Craig H. Meeker

Principal: Sav-Mor Cooling & Heating, Inc.

Obligee: Town of Fairfield

Bond Description: Bid # 2023-153 - Fitts House HVAC RTU Replacement Project at Fairfield Warde High School, State Project # 051-001 HVAC

Bond Number: Bid Bond

Bond Amount: See Bond Form

Its true and lawful Attorney(s)-in-Fact, to make, execute, seal and deliver, for and on its behalf and as its act and deed, bonds or other writings obligatory in the nature of a bond on behalf of each of said Companies, as surety, on contracts of suretyship as are or may be required or permitted by law, regulation, contract or otherwise, provided that no bond or undertaking or contract or suretyship executed under this authority shall exceed the amount of:

FIFTY MILLION (\$50,000,000.00) DOLLARS

This Power of Attorney is granted and is signed by facsimile under and by the authority of the following Resolutions adopted by the Boards of Directors of both SRCSAIC and SRCSPIC at meetings duly called and held on the 9th of May 2012:

"RESOLVED, that any two of the President, any Managing Director, any Senior Vice President, any Vice President, the Secretary or any Assistant Secretary be, and each or any of them hereby is, authorized to execute a Power of Attorney qualifying the attorney named in the given Power of Attorney to execute on behalf of the Corporation bonds, undertakings and all contracts of surety, and that each or any of them hereby is authorized to attest to the execution of any such Power of Attorney and to attach therein the seal of the Corporation; and it is

FURTHER RESOLVED, that the signature of such officers and the seal of the Corporation may be affixed to any such Power of Attorney or to any certificate relating thereto by facsimile, and any such Power of Attorney or certificate bearing such facsimile signatures or facsimile seal shall be binding upon the Corporation when so affixed and in the future with regard to any bond, undertaking or contract of surety to which it is attached."



By

Erik Janssens, Senior Vice President of SRCSAIC & Senior Vice President of SRCSPIC

By

Gerald Jagrowski, Vice President of SRCSAIC & Vice President of SRCSPIC

IN WITNESS WHEREOF, SRCSAIC and SRCSPIC have caused their official seals to be hereunto affixed, and these presents to be signed by their authorized officers this 10TH day of NOVEMBER, 20 22

State of Illinois
County of Cook

SS

Swiss Re Corporate Solutions America Insurance Corporation
Swiss Re Corporate Solutions Premier Insurance Corporation

On this 10TH day of NOVEMBER, 20 22, before me, a Notary Public personally appeared Erik Janssens, Senior Vice President of SRCSAIC and Senior Vice President of SRCSPIC and Gerald Jagrowski, Vice President of SRCSAIC and Vice President of SRCSPIC, personally known to me, who being by me duly sworn, acknowledged that they signed the above Power of Attorney as officers of and acknowledged said instrument to be the voluntary act and deed of their respective companies.



Christina Manisco, Notary

I, Jeffrey Goldberg, the duly elected Senior Vice President and Assistant Secretary of SRCSAIC and SRCSPIC, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney given by said SRCSAIC and SRCSPIC, which is still in full force and effect.

IN WITNESS WHEREOF, I have set my hand and affixed the seals of the Companies this 15th day of June, 20 23.

Jeffrey Goldberg, Senior Vice President &
Assistant Secretary of SRCSAIC and
SRCSPIC

REFERENCES

Provide reference details of most recent similar scope projects performed.

REFERENCE #1:

Name of Company Town of Windsor Phone 860-285-1870
Contact Person Whit Przech Cell _____
Company Address 275 Broad St. Windsor CT 06095 Email przech@townofwindsorct.com
Project, Location, & Date Completed John F. Kennedy School and Poquonock School
Windsor CT - Completed April 2019 and October 2019

REFERENCE #2:

Name of Company Regional District 8 Phone 860-922-2941
Contact Person Michael Schlehofer Cell _____
Company Address 85 Wall St. Hebron CT 06248 Email michael.schlehofer@rhamschools.org
Project, Location, & Date Completed RHAM High School, Hebron CT - Completed June 2022

REFERENCE #3:

Name of Company Town of Guilford Phone 203-458-0001
Contact Person Cliff Gurnham Cell _____
Company Address 31 Park St. Guilford CT 06437 Email gurnhamc@guilfordschools.org
Project, Location, & Date Completed Melissa Jones Elementary School, Guilford CT
Completed August 2020

REFERENCE #4:

Name of Company CT State Colleges & Universities Phone 860-244-7732
Contact Person Yolanda Hacia Cell _____
Company Address 61 Woodland St. Hartford CT 06105 Email yhacia@commnet.edu
Project, Location, & Date Completed Three Rivers Community College, Norwich CT
Completed September 2020

REFERENCE #5:

Name of Company Town of West Hartford Phone 860-570-6500
Contact Person Michael Longo Cell _____
Company Address 50 South Main St. West Hartford CT 06107 Email mike.longo@westhartford.org
Project, Location, & Date Completed Sedgwick Middle School - West Hartford CT.
Completed January 2022

**** Please see attached Major Projects List for more References ****

SAV-MOR Cooling & Heating Inc.							
Completed Major Projects Past 5 Years							
NAME / Owner	TYPE OF WORK DONE	Completion Date	% of work performed by us	Contract Value	Representative	Phone Number	Email Address
INSTALLATIONS FOR 2017							
Norwalk City Hall	HVAC Unit Replacement	1/14/2017	75.00%	\$134,744.00	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Enfield Housing Authority	Boiler Replacement	1/14/2017	85.00%	\$698,476.57	Bill Dufour	(860) 745-7493	bdufour@enfieldha.org
Hartford Regional Center	Roof Top HVAC Replacement	1/21/2017	90.00%	\$202,902.00	John Massicotte	(860) 263-2486	John.Massicotte@ct.gov
Easter Seals	Packaged Gas / Electric Roof Top Units and Duct Work	2/10/2017	100.00%	\$67,100.00	Jeff Raboin	(203) 754-5141	Jraboin@eswct.com
Hubbell Elementary School	HVAC Equipment Replacement	3/11/2017	95.00%	\$162,853.25	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
Alcott Elementary School	HVAC and Controls Upgrades	3/18/2017	95.00%	\$77,400.00	Wayne Natzel	(203) 879-8180	w.natzel@wolcottps.org
Broad Brook Elementary School	Air Conditioning Installation	3/25/2017	85.00%	\$182,329.46	Joseph Sauerhoefer	(860) 292-7073	Jsauerhoefer@eastwindsorct.com
Gemini Building	Air Conditioning Revisions	4/8/2017	95.00%	\$154,890.00	Mike Longo	(860) 561-7520	Mike.Longo@WestHartfordCT.gov
Branford High School	Heating and Cooling Roof Top Units	4/17/2017	100.00%	\$78,000.00	Joe Carbone	(203) 315-7803	jcarbone@branfordschools.org
Skinner Road School	Roof Top Unit / Gas Heat	6/14/2017	100.00%	\$63,000.00	William Peluso	(860) 870-6000	wpeluso@vernon-ct.gov
Simsbury Schools	Air Conditioning Upgrades - multiple locations	8/18/2017	90.00%	\$732,732.63	Steven Twitchell	(860) 408-5448	stwitchell@simsbury.k12.ct.us
Amity High School	Air Handling Unit Replacement	8/25/2017	75.00%	\$514,400.00	Jim Saisa	(203) 397-4818	jim.saisa@reg5.k12.ct.us
Town of Middlebury/Shepardson	HVAC and Electrical Upgrades	10/24/2017	90.00%	\$77,500.00	Paul Vaccarelli	(203) 577-4170	pvaccarelli@middlebury-ct.org
Town of Bolton	Boiler Conversion - multiple locations	10/27/2017	90.00%	\$63,700.00	John Butrymovich	(860) 846-8152	jbutrymovich@boltonct.org
City of Bristol/Chippens Hill	HVAC Replacement	12/20/2017	90.00%	\$1,086,306.68	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
INSTALLATIONS FOR 2018							
Town of Hebron	Natural Gas Conversion Project - multiple locations	3/14/2018	90.00%	\$555,004.04	Andrew Tierne	(860) 228-5971	atierney@hebronct.com
Dept. of Energy & Environ Prot.	Natural Gas Conversion	3/5/2018	90.00%	\$66,700.00	Mark Sulik	(860) 424-3949	mark.sulik@ct.gov
Dept. of Energy & Environ Prot.	Hot Water Heater Replacement	3/6/2018	90.00%	\$50,000.00	Mark Sulik	(860) 424-3949	mark.sulik@ct.gov
Dept. of Mental Health / Bridgeport MHC	Auditorium Renovation	3/9/2018	90.00%	\$97,930.35	Lane Coppola	(203) 988-0733	lance.coppola@ct.gov
Reg. School Dist. 8 / RHAM High Sch	HVAC Upgrades	3/9/2018	75.00%	\$106,000.00	Michael Schlehofer	(860) 922-2941	Michael.schlehofer@rhamschools.org
Town of Tolland / Recreation Center	Air Conditioning and Boiler Replacements	3/9/2018	90.00%	\$192,329.52	Scott Lappen	(860) 871-3694	slappen@tolland.org
City of Bristol Hubbell School	Mechanical Improvements	3/15/2018	90.00%	\$117,107.53	Peter Fusco	(860) 584-7097	PeterFusco@ci.bristol.ct.us
City of Norwalk / City Hall IT Rooms	Cooling and Fire Suppression Upgrades	6/22/2018	75.00%	\$158,514.63	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Team Inc. / Slocum Building	Heating and Air Conditioning Upgrades	10/19/2018	90.00%	\$429,780.00	Edward Leavy	(203) 929-0546	edwrdlv@sbccglobal.net
Department of Developmental Ser.	Roof Top HVAC Replacement	2/1/2019	95.00%	\$53,900.00	David Elwell	(203) 805-7465	David.Elwell@ct.gov
INSTALLATIONS FOR 2019							
Town of Mansfield	HVAC Replacement for Town Hall Vault	1/24/2019	75.00%	\$51,700.00	Bill Trietch	(860) 234-1854	trietchwj@mansfieldct.org
Town of Windsor / JFK School	HVAC Equipment Replacements & Improvements	4/10/2019	80.00%	\$2,577,697.99	Whit Przech	(860) 285-1870	przech@townofwindsorct.com
City of Norwalk / Norwalk Historical	Chiller Replacement	5/1/2019	95.00%	\$47,489.00	Dan Miller	(203) 854-7940	dmiller@norwalkct.org
Newtown BOE / Hawley School	Ductless Split Air Conditioning Units	5/1/2019	95.00%	\$78,800.00	Rick Spreyer	(203) 270-6131	rick.spreyer@newtown-ct.gov
Town of Waterford Public Buildings	Design/Installation of HVAC Systems	5/31/2019	90.00%	\$1,882,578.12	Abby Piersall	(860) 444-5813	apiersall@waterfordct.org
Town of Woodbridge / Library	HVAC Upgrades	6/1/2019	75.00%	\$174,400.00	Anthony Genovese	(203) 389-3482	agenovese@woodbridgect.org
PAC Group/Parker School Elderly Housing	HVAC Upgrades	7/29/2019	95.00%	\$746,000.00	Rome Santilli	(860) 485-9363	rsantilli@PACGROUPLLC.com
Town of Stratford/Eli Whitney Elem. School	HVAC Upgrades	9/13/2019	80.00%	\$151,731.52	Brian Snyder	(203) 243-3346	brian@snyderarchitects.com
Town of Windsor / Poquonock Elem. School	Air Conditioning Upgrades	10/16/2019	90.00%	\$1,523,217.47	Whit Przech	(860) 285-1870	przech@townofwindsorct.com
City of Norwalk / Norwalk Fire Dept. Station #4	Boiler Replacement	11/22/2019	80.00%	\$83,200.00	James Hines	(203) 858-7198	jim@imkconstructiongroup.com
City of Norwalk / Norwalk Fire Dept. Station #1	Boiler Replacement	11/27/2019	80.00%	\$70,900.00	James Hines	(203) 858-7198	jim@imkconstructiongroup.com
Town of Manchester / Manchester Fire House #2	Roof Top Replacement	12/9/2019	75.00%	\$167,800.00	Scott Shanley	(860) 674-3123	sshanley@manchestercct.gov
INSTALLATIONS FOR 2020							
Town of Tolland/Tolland Rec Center	New Air Conditioning and Boiler Replacement	1/21/2020	80.00%	\$212,000.00	Scott Lappen	(860) 871-3694	slappen@tolland.org
Team Inc, Derby	Furnace Replacement	2/26/2020	100.00%	\$48,000.00	Edward Leavy	(203)-736-5420	edwrdlv@sbccglobal.net
Town of Cheshire / Cheshire Fire Headquarters	Boiler Replacement	2/27/2020	80.00%	\$133,800.00	George Noewatne	(203) 271-6650	gnoewatne@cheshirect.org
Fischer Technologies	HVAC Upgrades	2/28/2020	95.00%	\$257,000.00	Yves Oullette	(203) 537-7641	Y.Oullette738@gmail.com

NAME / Owner	TYPE OF WORK DONE	Completion Date	% of work performed by us	Contract Value	Representative	Phone Number	Email Address
Klingberg Family Centers	HVAC & Boiler Replacement	4/30/2020	95.00%	\$110,000.00	Joseph M. Milke	(860) 832-5540	joem@klingberg.org
Town of West Hartford/Hall High School	Cooling Tower Replacement	5/20/2020	100.00%	\$59,900.00	Mike Longo	860-538-7732	mike.longo@westhartfordct.gov
Town of Guilford / Abraham Baldwin	HVAC Upgrades - Phase 2	6/23/2020	100.00%	\$1,665,503.60	Cliff Gumham	(203)-458-0001	gumhamc@guilfordschools.org
Town of Southington / Southington High School	Boiler Replacement	8/28/2020	100.00%	\$153,126.00	Peter Romano	(860)-628-3200	promano@southingtonschools.org
Town of Bristol-HA Cambridge Park	Boiler Replacement	12/6/2020	80.00%	\$197,700.00	Carl R. Johnson	(860) 585-2028	cjohnson@bristolhousing.org
CT State Colleges / Three Rivers	HVAC Upgrades	9/2/2020	100.00%	\$75,732.48	Yolanda Hacia	(860)-244-7732	yhacia@commnet.edu
Town of Farmington / West Woods Elementary	HVAC Dehumidification Modifications	7/30/2020	100.00%	\$147,000.00	Tim Harris	(860)-673-8270x7050	harrist@fpsct.org
CT State Colleges / Norwalk Comm. College	West Campus Mechanical Upgrades	8/31/2020	100.00%	\$638,988.68	Yolanda Hacia	(860)-244-7732	yhacia@commnet.edu
Town of Stratford / Lordship Fire Station	HVAC Upgrades	9/19/2020	100.00%	\$94,615.69	Phil Ryan	(203)-385-4044	pryan@townofstratford.com
New Britain Housing Authority / Arthur D'Amato Apts	Electric Water Heater Replacement	10/13/2020	100.00%	\$73,900.00	John Hamilton		
DAS / Franklin Square - New Britain	Boiler Replacement	12/4/2020	100.00%	\$98,000.00	Nick Garcia	860-713-5678	Nicholas.Garcia@ct.gov
New Britain Housing Authority	Boiler Replacement		100.00%	\$69,350.00	Margaret Malinowski	860-826-3430	
INSTALLATIONS FOR 2021							
City of Bridgeport / Aquaculture School	School Office AHU Relocation			\$66,500.00	Rick Paz	203-331-2694	rpaz@bridgeportedu.net
Town of Guilford / Melissa Jones	HVAC and Electrical Upgrades	8/20/2020	80.00%	\$1,414,147.46	Cliff Gumham	203-458-0001	gumhamc@guilfordschools.org
DAS / Rocky Hill Library for the Blind	HVAC Replacement	7/28/2020	80.00%	\$193,806.68	Steven Udeh	860-714-5730	
Town of Woodbridge / Amity Reg Sr High School	Replacement of five (5) Air Handling Units	10/21/2020	75.00%	\$651,952.72	Steve Martoni	203-397-4818	
Town of Fairfield / Roger Sherman Elementary School	Mechanical Alterations and Upgrades	11/17/2020	80.00%	\$947,222.33	Lee Flaherty		lflaherty@fairfieldct.org
Town of Newington / Indian Hill Country Club	HVAC Replacement	12/2/2020	80.00%	\$206,400.00	Keith Chapman	860-666-5447	
Town of Chester / Cherry Hill Apartments	Heat Pump Heating and AC Systems	3/31/2021	100.00%	\$56,472.00	Doug Williams	869-526-9724	
City of Waterbury / Water Department	Replacement of Central Cooling System	5/17/2021	80.00%	\$64,750.00	Kevin McCaffery	203-5746740	
WSCU Suite Mechanical Renovations	Mechanical Renovations and new HVAC System	8/20/2021	100.00%	\$298,000.00	Daniel Casinelli	203-837-8660	casinellid@wscu.edu
Town of Manchester / Manchester High School	Rooftop Heating/Cooling Units Replacement	8/30/2021	100.00%	\$72,000.00	Karen Clancy	860-647-3444	
Carl E Allgrove Elementary School	Design and Installation of new Air Conditioning System	10/12/2021	100.00%	\$86,400.00	Ray Carlson	860-653-2505	rayc@egtownhall.com
Stratford Housing Authority	Boiler Replacements	10/25/2021	100.00%	\$564,000.00	Nile Scala	203-375-4483	nscala@jdamella.com
Town of Coventry / Captain Nathan Hale School	Design/Build Services for Replacement of HVAC equipment	11/19/2021	100.00%	\$119,065.00	Joe Salamone	203-281-6895	
New Fairfield DPW & Town Hall	Design/Build Renovation and Upgrade of HVAC System	12/14/2021	100.00%	\$158,000.00	Patty Mota	203-312-5653	pmota@newfairfield.org
INSTALLATIONS FOR 2022							
Noah Webster House	Installation of new HVAC system	1/31/2022	100.00%	\$54,000.00	John Vigneri	860-894-1170	johnv@kronenbergersons.com
Sedgwick Middle School / Town of West Hartford	Air Handling Unit Replacement	1/31/2022	100.00%	\$361,286.86	Michael Longo	860-570-6500	mike.longo@westhartford.org
Willimantic Housing Authority	Heating Replacement and Oil Tank Removal	1/31/2022	100.00%	\$590,859.66	Kim Haddad	860-456-1413	khaddad@willimantichousingauthority.org
Southington Town Hall	Boiler Replacement	1/31/2022	100.00%	\$61,400.00	Annette Turquist	860-276-6231	turquista@southington.org
Town of Woodbridge / Amity Reg Sr High School	Air Handling Unit Replacements and Upgrades	2/15/2022	100.00%	\$1,221,486.00	Lucian Dragulski	860-667-3233 x 113	luciad@bemisassociates.com
New Horizons Village / CORE	HVAC Installations and Upgrades	2/28/2022	80.00%	\$350,000.00	Nicholas Matarazzo	860-678-0663	nick@corebuilds.com
Town of West Hartford / Hall High School	Roof (Exhaust) Fan Replacement	3/31/2022	90.00%	\$132,162.90	Tammy Bradley	860-561-7472	tammyb@westhartford.org
Lebanon Fire Safety Complex	Installation of complete new HVAC system	4/15/2022	100.00%	\$78,000.00	Dean Hunniford	860-642-7565	dhunniford@lebanonct.gov
Lebanon Town Hall	Installation of complete new HVAC system	4/15/2022	100.00%	\$53,000.00	Dean Hunniford	860-642-7565	dhunniford@lebanonct.gov
Brookfield Volunteer Fire Company	HVAC Upgrades	7/31/2022	100.00%	\$78,000.00	Julian Capadose	203-775-7323	purchasing@brookfieldct.gov
Bethel High School	AHU Replacements	8/31/2022	100.00%	\$274,000.00	Sebbie Preston	203-794-8513	prestons@bethel-ct.gov
Regional School District 8 / RHAM High School	HVAC Upgrades	6/30/2022	100.00%	\$234,800.00	Michael Schlehofer	860-922-2941	Michael.schlehofer@rhamschools.org
Army Aviation Support Facility - CT Military	Boiler Replacement	10/1/2022	100.00%	\$248,400.00	Ervin Caminero	860-548-3277	ervin.d.caminero.nfg@mail.mil
The Academy School	Boiler Replacement	10/1/2022	100.00%	\$148,000.00	Fred Bialka	203-783-3225	fbialka@milfordct.gov

SUBCONTRACTORS

Provide subcontractor details if any are to be employed as part of this contract, including labor rates:

SUBCONTRACTOR #1:

Name of Company Masotti Electric LLC Fed ID # 06-1404912
Contact Person Jim Doucette Jr. Title Project Manager
Company Address 120 Industrial Dr. Southington, CT 06489 Phone 860-276-0097
Trade Electrical Email jim@masottieletric.net

Rates: Supervisor \$ 120.00 /hr Foreman \$ 115.00 /hr Journeyman \$ 110.00 /hr Apprentice \$ 105.00 /hr

SUBCONTRACTOR #2:

Name of Company Silktown Roofing, Inc. Fed ID # 06-1350674
Contact Person Sean Morrissey Title Project Manager
Company Address 27 Pleasant St. Manchester, CT 06040 Phone 860-647-0198
Trade Roofing Email sean@silktownroofing.com

*EXCLUDES contract allowed OH&P

Rates: Supervisor \$ 100.00 /hr Foreman \$ 92.28 /hr Journeyman \$ 87.43 /hr Apprentice \$ 80.33 /hr

SUBCONTRACTOR #3:

Name of Company Excel Steel Fed ID # 83-2403734
Contact Person Jeff Tracey Title Owner
Company Address 424 Berlin St. East Berlin, CT 06023 Phone 860-828-5496
Trade Steelwork Email jeff@excel-steel.com

Rates: Supervisor \$ 125.00 /hr Foreman \$ 110.00 /hr Journeyman \$ 105.00 /hr Apprentice \$ 95.00 /hr

SUBCONTRACTOR #4:

Name of Company KMK Insulation, Inc. Fed ID # 06-1289677
Contact Person Michael Visnic Title Vice President
Company Address 1907 Hartford Tpke. North Haven, CT 06473 Phone 203-671-2553
Trade Mechanical Insulation Email mvisnic@kmkinsulation.com

Rates: Supervisor \$ 135.00 /hr Foreman \$ 127.33 /hr Journeyman \$ 119.86 /hr Apprentice \$ 119.86 /hr

NOTE: All sub-Contractors are subject to approval by the Town of Fairfield and are required to provide Fed ID #.

State of Connecticut

Department of Administrative Services Construction Contractor Prequalification Program

This certifies

Sav-Mor Cooling & Heating, Inc.

231 Captain Lewis Dr., Southington, CT 06489

As a

Prequalification Construction Contractor

March 12, 2023 through March 11, 2024

CONTACT INFORMATION

Name: Brian Karwowski

Phone: 860-621-9959

Fax: 860-621-9919

Email: brian@savmorct.com

Name: Cindy Tessman

Phone: (860) 621-9959 ext. 204

Fax: (860) 621-9919

Email: cindy@savmorct.com

Effective Date

3/12/2023

Aggregate Work Capacity (AWC)

\$30,000,000.00

Single Limit (SL)

\$15,000,000.00

Classifications

CONSTRUCTION MANAGER AT RISK
(GROUP A), CONSTRUCTION
MANAGER AT RISK (GROUP B),
CONSTRUCTION MANAGER AT RISK
(GROUP C), ENERGY MANAGEMENT
SYSTEMS, GENERAL BUILDING
CONSTRUCTION (GROUP A),
GENERAL BUILDING
CONSTRUCTION (GROUP B),
GENERAL BUILDING
CONSTRUCTION (GROUP C), HVAC,
MECHANICAL INSULATION, SHEET
METAL WORK

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.

Name: Jay Harvey
Phone: 860-621-9959
Fax: 860-621-9919
Email: jay@savmorct.com

Name: Jennifer Albert
Phone: 860-621-9959 ext. 209
Fax: 860-621-9919
Email: jen@savmorct.com

Name: Troy Karwowski
Phone: (860) 621-9959
Fax: (860) 621-9919
Email: troy@savmorct.com

Classification Name

CONSTRUCTION MANAGER
AT RISK (GROUP A)

Description

The undertaking of general contracts for the construction of buildings; for example, new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes those designs that are repetitive, conventional in character, require minimum design based on pre-engineered systems/components, and that pose minimum effort by the design professional. Examples include repetitive designs, dormitories, warehouses, basic building structures without interior finishes, ceiling replacement, pre-engineered components, recreation facilities etc. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.

CONSTRUCTION MANAGER AT RISK (GROUP B) The undertaking of general contracts for the construction of buildings; for example, new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes most of the structures that normally house State functions. These all require normal mechanical/electrical systems for today's standards of operation for quality space, security and environmental comfort. Examples include office buildings, general classroom and administrative offices, college buildings, auditoriums, maintenance buildings. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: If you are prequalified for Construction Manager at Risk under Group B, you are automatically prequalified for Group A. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are no longer required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.

CONSTRUCTION MANAGER AT RISK (GROUP C)	The undertaking of general contracts for the construction of buildings; for example; new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes buildings that are truly custom, requiring extensive detailing, or that have large amounts of integrated scientific or complex mechanical/electrical equipment in order for them to function. Examples include hospitals, chemistry buildings, special collections buildings, historic preservation to a landmark structure, and/or any other structure that is truly one of a kind within the State's inventory. The construction manager at risk serves as a general contractor and provides consultation regarding construction during the design of the building and through the construction. Note: If you are prequalified for Construction Manager at Risk under Group C, you are automatically prequalified for Group A and Group B. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.
ENERGY MANAGEMENT SYSTEMS	The design and installation of systems or maintenance programs to conserve energy use within a building. This category includes shared savings programs.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.

GENERAL BUILDING CONSTRUCTION (GROUP A) The undertaking of general contracts for the construction of buildings(i.e. new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes those designs that are repetitive, conventional in character, require minimum design based on pre-engineered components/systems, and that pose minimum effort by the design professional. Examples include repetitive designs, dormitories, warehouses, basic building structures without interior finishes, ceiling replacement, pre-engineered components, recreation facilities, etc.Note: If you are prequalified for General Building Construction under Group B and or Group C, you are automatically prequalified for Group A. ALSO If you are prequalified for General Building Group A you will automatically be prequalified for GENERAL TRADES.Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection.

GENERAL BUILDING CONSTRUCTION (GROUP B) The undertaking of general contracts for the construction of buildings i.e. new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes most of the structures that normally house State functions. These all require normal mechanical/electrical systems for today's standards of operation for quality space, security and environmental comfort. Examples include office buildings, general classroom and administrative offices, college buildings, auditoriums and maintenance buildings.Note: If you are prequalified for General Building Construction under Group B, you are automatically prequalified for Group A. Also If you are prequalified for General Building Group B you will automatically be prequalified for General Trades.Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection.Projects that are threshold buildings may require a Major Contractor Registration.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.

GENERAL BUILDING CONSTRUCTION (GROUP C)	The undertaking of general contracts for the construction of buildings i.e. new construction, renovation, rehabilitation, alteration, addition, etc. The contract must include a variety of construction practices and supervision of a minimum of three sub-trades. Includes buildings that are truly custom, requiring extensive detailing, or that have large amounts of integrated scientific or complex mechanical/electrical equipment in order for them to function. Examples include hospitals, chemistry buildings, special collections buildings, historic preservation to a landmark structure, and/or any other structure that is truly one of a kind within the State's inventory. Note: If you are prequalified for General Building Construction under Group C, you are automatically prequalified for Group A and Group B. Also if you are prequalified for General Building Group C you will automatically be prequalified for General Trades. Note: For the purposes of DAS Construction Contractor Prequalification, contractors in this classification are not required to be registered as a major contractor with the Department of Consumer Protection. However, there may be specific projects within this classification that require a major contractor registration from the Department of Consumer Protection. Projects that are threshold buildings may require a Major Contractor Registration.
HVAC	Installation, renovation, repair and maintenance of the systems and apparatus required, collectively or individually, to provide comfort heating, ventilation and/or cooling within or associated with a building, including such incidental or related work as is customarily performed by those in the HVAC trade. This category does not include sheet metal work by itself. To prequalify for HVAC you must have a Heating, Piping & Cooling Contractor License through the State of Connecticut Department of Consumer Protection.
MECHANICAL INSULATION	Includes the installation, replacement, repair or alteration of insulation of duct-work systems associated with heating, air conditioning and ventilation.
SHEET METAL WORK	Includes the installation, erection, replacement, repair or alteration of duct-work systems, both ferrous and nonferrous and includes but is not limited to warm and cool air, ventilation, exhaust, pneumatic conveyance and hood exhaust. To prequalify for Sheet Metal Work you must have a Sheet Metal Work Contractor License through the State of Connecticut Department of Consumer Protection.

This certificate prequalifies the named company to bid. It is not a statement of the Contractor's capacity to perform a specific project. That responsibility lies with the awarding authority.

Company Licenses/Registrations: It is the Contractor's responsibility to update their license information by editing their electronic application. Licenses are confirmed by the Department of Administrative Services (DAS) at the time of initial application and at each renewal.

For information regarding the DAS Contractor Prequalification Program visit <http://portal.ct.gov/dasprequal> or call (860) 713-5280.



SAVMO-1

OP ID: JS

CERTIFICATE OF LIABILITY INSURANCE

DATE (MM/DD/YYYY)

06/06/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER Associated Insurance Services 106 West Main Street P.O. Box 630 Plainville, CT 06062-0630 Associated Insurance Services	860-793-9601	CONTACT NAME: Associated Insurance Services PHONE (A/C, No, Ext): 860-793-9601 FAX (A/C, No): 860-747-3580 E-MAIL ADDRESS:																					
INSURED Sav-Mor Cooling & Heating, Inc. 231 Captain Lewis Drive Southington, CT 06489		<table border="1"><thead><tr><th colspan="2">INSURER(S) AFFORDING COVERAGE</th><th>NAIC #</th></tr></thead><tbody><tr><td>INSURER A :</td><td>Employers Mutual Casualty Co.</td><td>21415</td></tr><tr><td>INSURER B :</td><td>The Hartford</td><td>29424</td></tr><tr><td>INSURER C :</td><td></td><td></td></tr><tr><td>INSURER D :</td><td></td><td></td></tr><tr><td>INSURER E :</td><td></td><td></td></tr><tr><td>INSURER F :</td><td></td><td></td></tr></tbody></table>	INSURER(S) AFFORDING COVERAGE		NAIC #	INSURER A :	Employers Mutual Casualty Co.	21415	INSURER B :	The Hartford	29424	INSURER C :			INSURER D :			INSURER E :			INSURER F :		
INSURER(S) AFFORDING COVERAGE		NAIC #																					
INSURER A :	Employers Mutual Casualty Co.	21415																					
INSURER B :	The Hartford	29424																					
INSURER C :																							
INSURER D :																							
INSURER E :																							
INSURER F :																							

COVERAGES**CERTIFICATE NUMBER:****REVISION NUMBER:**

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR LTR	TYPE OF INSURANCE	ADDL INSD	SUBR WVD	POLICY NUMBER	POLICY EFF (MM/DD/YYYY)	POLICY EXP (MM/DD/YYYY)	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY <input type="checkbox"/> CLAIMS-MADE <input type="checkbox"/> OCCUR <input checked="" type="checkbox"/> Owner/Cont Prot. GEN'L AGGREGATE LIMIT APPLIES PER: <input type="checkbox"/> POLICY <input checked="" type="checkbox"/> PROJECT <input type="checkbox"/> LOC OTHER:	X	X	3D45746	10/13/2022	10/13/2023	EACH OCCURRENCE \$ 1,000,000 DAMAGE TO RENTED PREMISES (Ea occurrence) \$ 300,000 MED EXP (Any one person) \$ 5,000 PERSONAL & ADV INJURY \$ 1,000,000 GENERAL AGGREGATE \$ 2,000,000 PRODUCTS - COMP/OP AGG \$ 2,000,000
A	AUTOMOBILE LIABILITY <input type="checkbox"/> ANY AUTO OWNED AUTOS ONLY <input checked="" type="checkbox"/> HIRED AUTOS ONLY <input checked="" type="checkbox"/> SCHEDULED AUTOS <input checked="" type="checkbox"/> NON-OWNED AUTOS ONLY	X	X	3E45746	10/13/2022	10/13/2023	COMBINED SINGLE LIMIT (Ea accident) \$ 1,000,000 BODILY INJURY (Per person) \$ BODILY INJURY (Per accident) \$ PROPERTY DAMAGE (Per accident) \$
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE DED <input checked="" type="checkbox"/> RETENTION \$ 10000	X	X	3J45746	10/13/2022	10/13/2023	EACH OCCURRENCE \$ 5,000,000 AGGREGATE \$ 5,000,000
B	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) <input type="checkbox"/> Y/N If yes, describe under DESCRIPTION OF OPERATIONS below	N/A	X	02WECAH7ZRE	10/13/2022	10/13/2023	PER STATUTE <input type="checkbox"/> OTH-ER <input type="checkbox"/> E.L. EACH ACCIDENT \$ 1,000,000 E.L. DISEASE - EA EMPLOYEE \$ 1,000,000 E.L. DISEASE - POLICY LIMIT \$ 1,000,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

Town of Fairfield & The Board of Education including their respective officers, agents, servants, officials, employees, volunteers, boards and commissions are included as Additional Insured. Waiver of subrogation in favor of the Town is included in all policies. 30 Day notice of cancellation will be endorsed if bid is awarded.

CERTIFICATE HOLDER**CANCELLATION**

Town of Fairfield
611 Old Post Rd
Fairfield, CT 06824

SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS.

AUTHORIZED REPRESENTATIVE
Associated Insurance Services

To whom it may concern,

Sav-Mor Cooling and Heating, Inc. is a family-owned and operated business established in 1983. We are dedicated to providing our customers with the highest quality HVAC service available. At Sav-Mor we are committed to creating a partnership with our customers, thereby earning their trust and confidence. You can count on us to deliver quality service on time and at a reasonable cost. We pride ourselves in meeting and exceeding all our customers' expectations.

Sav-Mor's customer base includes homeowners, builders, business owners, municipalities, local /federal agencies and general contractors. We've built long term relationships that have resulted in repeat business, confident referrals and a reputation for quality workmanship and service.

Services We Provide Include:

- HVAC Service, Including Preventative Maintenance Contracts
- HVAC Design and Engineering
- HVAC Installation
- Custom Ductwork Fabrication
- Energy Conservation Programs
- Emergency Response

Our skilled technicians are fully licensed and take pride in every aspect of their trade. Currently we employ fifteen State of Connecticut licensed technicians and installers as well as nine registered apprentices. You can always expect a dependable air conditioning and/or heating system that provides you with value as well as comfort.

Our Certifications Include:

- OSHA 10
- Lead Safe Certified Company
- Class III Asbestos Certified
- Licensed Journeyman and Connecticut Registered Apprentice
- Small Business Enterprise
- Equal Opportunity Employer / Affirmative Action
- NATE Certified
- Mitsubishi Diamond Contractor and Designers
- State of Connecticut Pre-Qualified Vendor
- Air Conditioning Contractors of America (ACCA) Quality Assurance Accreditation

We look forward to the opportunity of providing our services for any of your current or future needs.

Please feel free to contact me with any questions regarding our services, or if you would like more information on our company.

Sincerely,

Troy Karwowski

Troy Karwowski
President

SAV-MOR Cooling & Heating Inc.

231 Captain Lewis Drive Southington CT 06489

Organizational Chart

Troy Karwowski (President/Project Executive)
troy@savmorct.com

Gary Karwowski (Vice President)
gary@savmorct.com

Brian Karwowski (Secretary/Project Manager)
brian@savmorct.com

Jen Albert (Human Resources)
jen@savmorct.com

Jason Harvey (Senior Project
Manager/Estimator)
jay@savmorct.com

Debbie Hungerford (Service Manager)
service@savmorct.com

Melissa Famosi (Clerical
Project Administrator/Receptionist)
office@savmorct.com

Robert Kerwin (Shop Foreman/Manager)
shop@savmorct.com

Cindy Tessman (Office Manager)
cindy@savmorct.com

(15) State of CT Licensed Journeymen

(8) State of CT Registered Apprentices

Founded 1983

Hours of Operation and Staff Availability

Monday through Friday 7:00 A.M. - 4:30 P.M.

Weekends for Emergencies

Troy Karwowski
144 Valley View Court
Southington, CT 06489
troy@savmorct.com

Professional Experience

SAV-MOR COOLING & HEATING, INC PRESIDENT

Southington, CT
1997 – Present

- Helped develop the business, growing to 17 fulltime employees and developed a successful Business Plan.
- Implemented a successful apprenticeship program.
- Constructed new 4000 square foot facility in 2005, and completed a 3200 square foot addition in the past couple years.
- Business has continued to grow each year, with last year's revenue exceeding 4 million dollars.
- Specializing in residential and commercial remodeling, service/troubleshooting work and replacements.
- Established and administered annual budget with effective controls to prevent overages, minimize burn rate and support sustainability objectives.
- Assessed financial reports and statements regularly to update processes and operations for greater profitability.
- Operated with safety and skill to avoid accidents and delays.
- Developed and nurtured lasting customer relationships by projecting professional corporate image and responding quickly to issues.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Review and understand all of the project bid documents.
- Locate, notify and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile and finalize the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Prepare value engineering analysis in anticipation of the customer's best interest.
- Develop the scope of work narrative and anticipate requirements of producing estimates with little information given.
- Able to see the overall requirements of customer, state, town, and subcontractor satisfaction without losing sight of the details.

Troy Karwowski
144 Valley View Court
Southington, CT 06489
troy@savmorct.com

Licenses and Certificates

State of CT SM1 Limited Sheet Metal Journeyperson	State of CT S1 Unlimited Heating, Piping & Cooling Contractor	Asbestos Operations and Maintenance Certification	EPA Type II
Aerco Boiler Training	Buderus Blue Flame Certified	Mitsubishi Diamond Dealer / Designer	OSHA 10/30



Jason Harvey
107 Summit Wood Drive
Berlin, Connecticut 06037
jay@savmorct.com

Professional Experience

SAV-MOR COOLING & HEATING, INC. **Project Manager**

Southington, CT
2002-Present

- Senior Project Manager
- Provide training and instruction to apprentices and licensed HVAC technicians.
- Monitor work in progress to ensure completion within allotted time limits and ensure quality and efficient outcome. Attend weekly progression meetings and prepare all daily reporting as needed.
- Follow blueprints, design specification and manufacturer's instructions to supervise the installation of large and small heating and cooling equipment.
- Strictly adheres to environmental regulations to conserve, recover and recycle refrigerants.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Review and understand all of the project bid documents.
- Locate, notify and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile and finalize the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Prepare value engineering analysis in anticipation of the customer's best interest.
- Develop the scope of work narrative.
- Anticipates requirements of producing estimates with little information given.
- Able to see the overall requirements of customer satisfaction without losing sight of the details.

Jason Harvey
107 Summit Wood Drive
Berlin, Connecticut 06037
jay@savmorct.com

Licenses and Certificates

State of CT S1 Unlimited Heating, Piping & Cooling Contractor	OSHA 30	Aerco Boiler Training	Air Systems Cleaning Specialist (NADCA)	Mitsubishi City Multi Application & Dimaond Dealer Certification
EPA Type Universal	Lead Renovator Certification	Riello Gas Burner Certification	North American Technician Excellence Certification (NATE)	Asbetos Operations and Mainteance Certification



Brian Karwowski
11 Sagamore Lane, Unit 106
Rocky Hill, CT 06067-3847
brian@savmorct.com

Professional Experience

SAV-MOR COOLING & HEATING, INC. **Project Manager**

Southington, CT
2002-Present

- Project Manager
- Provide training and instruction to apprentices and licensed HVAC technicians.
- Monitor work in progress to ensure completion within allotted time limits and ensure quality and efficient outcome. Attend weekly progression meetings and prepare all daily reporting as needed.
- Follow blueprints, design specification and manufacturer's instructions to supervise the installation of large and small heating and cooling equipment.
- Strictly adheres to environmental regulations to conserve, recover and recycle refrigerants.
- Attend pre-bid or team scope review meetings and understand the complete scope of work required, with sometimes-limited information.
- Proficient in reviewing and understanding project bid documents.
- Locate, notify, and send bid information to subcontractors and vendors for quotations on outsourced work.
- Complete the estimate takeoff, using on-screen computer estimating, within time deadlines.
- Work as a team with other estimators, company divisions and departments.
- Compile the estimate within time deadline and participate in team reviews with management on bid day.
- Evaluate bids of subcontractors and vendors for completeness of scope of work, schedule, compliance with specifications, or other bid requirements.
- Develop the scope of work narrative.
- Anticipates requirements of producing estimates with little information given.
- Able to see the overall requirements of customer satisfaction without losing sight of the details.

Brian Karwowski
11 Sagamore Lane, Unit 106
Rocky Hill, CT 06067-3847
brian@savmorct.com

Licenses and Certificates

State of CT S1 Unlimited Heating, Piping & Cooling Contractor	OSHA 30	Aerco Boiler Training	Air Systems Cleaning Specialist (NADCA)	Mitsubishi City Multi Application & Diamond Dealer Certification
EPA Type Universal	Lead Renovator Certification	Riello Gas Burner Certification	North American Technician Excellence Certification (NATE)	Asbestos Operations and Maintenance Certification





Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

**ADDENDUM #1
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School**

18th May 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:

*1. The Town has elected to change the pre-bid date for this bid solicitation from Tuesday, May 30th at 11:00 am to **Thursday, June 1st at 10:00 am.***

End of Addendum #1

Company: _____ Name: _____ Signature: _____ Date: _____



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

ADDENDUM #2
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School

7th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

New Information:

1. Please see attached Addendum #1 issued by van Zelm Engineers.

End of Addendum #2

Company: _____ Name: _____ Signature: _____ Date: _____

ADDENDUM #1

Issue Date: June 6, 2023

**Project Name: RTU 1, 2, & 4 Replacements
Fitts House 755 Melville Ave Fairfield Ct.**

Project No.: 2020194.00

GENERAL:

Modifications described herein as Addendum items supersede specific parts of the Contract Documents for the above-named project. All bids and the construction contract shall be based on the inclusion of these modifications.

REVISIONS TO DRAWINGS

- ITEM 1: On Drawing #M300, Mechanical Specifications, Contractor to carry ALC number for controls as follows. The bid Document shall have installed Automated Logic BACnet controllers in the control section of the Trane RTU and utilizing its factory installed sensors, actuators, and flow stations. This allows Fairfield staff flexibility with customizing programing during pandemic times, able to adapt to new ASHRAE Guideline 36 present control strategies and future changes and accommodate downstream equipment/renovation changes. The Fairfield staff have been trained in this hardware, software applications, and are able to replace components if failure occurs without controls vendor being present.
- ITEM 2: Clarification: FSP is considering Commissioning of these three new RTU's. Contractors are requested to provide a separate add-alternate price carried for additional cost for commissioning services for all three new RTU's.
- ITEM 3: Clarification: 2004 remedial work has been performed within Fitts House. It is believed that there is no asbestos within the Fitts House renovation area. Should any Asbestos be found, FPS shall be notified immediately before work shall commence.
- ITEM 4: Clarification: It is bthought that solar collectors are not in conflict for new installation. Solar representative for this project is James Bullock, asset manager from MN Energy contact information (512) 470-9193. E-mail james.bullock@mn8energy.com
- ITEM 5: Clarification: Silk town roofing is the existing roofing contractor.

END OF ADDENDUM #1

T:\2020\2020094.00\Addenda\FPS Walk through Addendum #1.docx



Town of Fairfield

Sullivan Independence Hall
725 Old Post Road

Fairfield, Connecticut 06824
Purchasing Department

(203) 256-3060
FAX (203) 256-3080

**ADDENDUM #3
BID #2023-153
Fitts House HVAC RTU Replacement
Fairfield Warde High School**

12th June 2023 – It is intended that this Addendum incorporating the following corrections, revisions, additions, deletions and clarifications become part of the Contract Documents, including pricing as submitted.

Questions:

1. Are there Liquidated Damages and Retainage? If so, what is the amount?

Response: No liquidated damages, 5% retainage.

2. How many copies of our proposal do you require us to provide?

Response: Please submit one (1) original document two (2) copies of your bid submission.

3. Are permit fees waived?

Response: The Town will waive its application and permit fees for Town of Fairfield projects.

4. Will Maintenance be required once the project is complete? (i.e.: 1 year)

Response: One (1) year warranty as required by law. A maintenance contract after the final acceptance is not required.

End of Addendum #3

Company: _____ Name: _____ Signature: _____ Date: _____



VAN ZELM HEYWOOD & SHADFORD, INC.

CT: 860.284.5064 MA: 617.218.9976

10 TALCOTT NOTCH, FARMINGTON, CT 06032 - 1800
Connecticut | Massachusetts | North Carolina

PROJECT NO.: 2020094.00

STRUCTURAL ENGINEER:
SZEWCAK ASSOCIATES
CONSULTING ENGINEERS

FAIRFIELD WARDE HIGH SCHOOL FITTS HOUSE RTU-1, 2, & 4 REPLACEMENT

755 MELVILLE AVENUE FAIRFIELD, CT

BID DOCUMENTS
April 18, 2023
State Project Number 051-001 HVAC

DRAWING LIST

M000	MECHANICAL LEGENDS AND GENERAL NOTES	NTS
M101	MECHANICAL ROOF PLAN	1/4" = 1'-0"
M300	MECHANICAL SPECIFICATIONS	NTS
E101	ELECTRICAL ROOF PLAN	1/4" = 1'-0"
E102	ELECTRICAL BASEMENT AND FIRST FLOOR PART PLAN	1/4" = 1'-0"
E200	ELECTRICAL SPECIFICATIONS	NTS
S101	PARTIAL EXISTING ROOF FRAMING PLAN	1/8" = 1'-0"
S102	STRUCTURAL SECTIONS	3/4" = 1'-0"

STRUCTURAL ENGINEER:
SZEWCZAK ASSOCIATES
CONSULTING ENGINEERS

**FAIRFIELD WARDE HIGH SCHOOL
FITTS HOUSE RTU-1, 2, & 4
REPLACEMENT**
755 MELVILLE AVENUE
FAIRFIELD, CT 06825

REV. NO.	DATE	DESCRIPTION

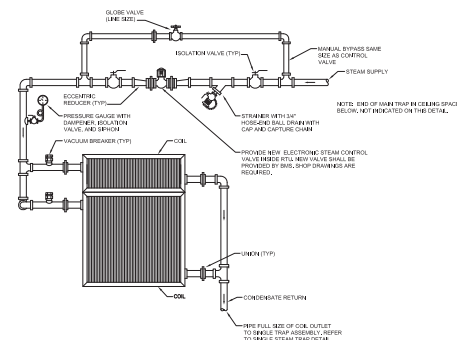
MECHANICAL LEGENDS
GENERAL NOTES
DETAILS AND
SCHEDULES

1100

SYMBOL	DESCRIPTION
ATF	ABOVE FINISHED FLOOR
AVU	AIR HANDLING UNIT
CA	COMBUSTION AIR
CHU	CHILLER UNIT HEATER
EA	EXHAUST AIR
EF	EXHAUST FAN
FCU	FAN COIL UNIT
FTF	FINISHED FINE FANCTION
HRI	HEAT RECOVERY UNIT
HWC	HOT WATER COIL
MAU	MAKE-UP AIR UNIT
OA	OUTSIDE AIR
RA	RETURN AIR
RWC	REHEAT COIL
RTU	ROOFTOP UNIT
SA	SUPPLY AIR
SATI	SOUND ATTENUATION
UH	UNIT HEATER
VFD	VARIABLE FREQUENCY DRIVE
W	DEMOLITION WORK; POINT OF REMOVAL NEW WORK; POINT OF ATTACHMENT

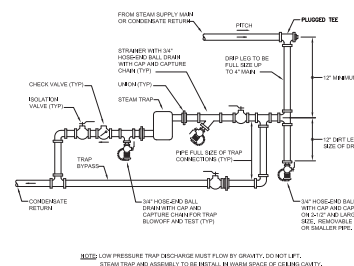
SYMBOL	DESCRIPTION
	BALL VALVE
	BUTTERFLY VALVE
	BRANDED VALVE
	CHECK VALVE
	STRAINER
	MULTI-PURPOSE VALVE
	GATE VALVE
	SCREW AND YOKE VALVE (S&Y)
	PUMP
	THERMOMETER
	PRESSURE GAUGE
	PRESSURE RELIEF VALVE
	PRESSURE REDUCING VALVE
	FLOAT & THERMOSTATIC TRAP ASSEMBLY
	INVERTED BUCKET TRAP ASSEMBLY
	AIR VENT (MANUAL OR AUTO)
	BRANCH OFF TOP OF MAIN
	BRANCH OFF BOTTOM OF MAIN
	ELBOW, TURNED DOWN
	ELBOW, TURNED UP
	REFRIGERANT LIQUID
	REFRIGERANT HOT GAS
	REFRIGERANT SUCTION
	CONDENSATE DRAIN LINE
	MEDIUM PRESSURE CONDENSATE
	LOW PRESSURE STEAM LINE
	LOW PRESSURE CONDENSATE
	CONDENSATE PUMP DISCHARGE
	EXPANSION COMPENSATOR
	EXPANSION GLOSS
	PIPE ANCHOR

- A. PROVIDE NEW DUCTWORK, DIFFUSERS AND GRILLES SHOWING SPECIFICATIONS. COORDINATE NEW DIFFUSER LOCATIONS WITH ARCHITECT'S REFLECTED CEILING PLAN.
- B. COORDINATE NEW DUCTWORK WITH STRUCTURAL, STEEL, PLUMBING PIPING, LIGHTS, ETC. IF NOT REQUIRED, CONTRACTOR SHALL FIND VERY HANDSOME CEILING CLEARANCE PLOT TO BE.
- C. DUCT SIZE SHOWS INDICATES CLEAR INSIDE DIMENSIONS OF DUCT AND INSULATION. THIS PLAN IS GENERALLY SHOWN IN INSIDE, EVERY ELBOW, FITTING, ETC. IS NOT SHOWN. CONTRACTOR SHALL PROVIDE SUFFICIENT CLEARANCE TO INSULATE PROPERLY COORDINATED WITH ALL TRADES.
- D. PROVIDE RETURN, EXHAUST, OUTSIDE AIR AND EXHAUST BRINGS DUCTS AS REQUIRED TO PROPERTY, BALANCE THE ENTIRE AIR SYSTEM.
- E. FLEXIBLE DUCT HANGOUTS TO SUPPLY DIFFUSERS ARE SAME SIZE AS DIFFUSER HANGOUTS. CONTRACTOR SHALL PROVIDE SUFFICIENT CLEARANCE TO INSULATE PROPERLY COORDINATED WITH ALL TRADES.
- F. INSTALL ACCESS DOORS AT COL COLS, DAMPERS AND CONTROL DEVICES.
- G. ALL MATERIALS, METHODS AND EQUIPMENT INSTALLED UNDER THIS CONTRACT SHALL BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS.
- I. PROVIDE INSTALLATION OF ALL EQUIPMENT AND PIPING IN COMPLIANCE WITH PROJECT SPECIFICATIONS AND APPLICABLE CODES AND REGULATIONS.
- J. COORDINATIONS TO RE-INSULATE STEAM AND CONDENSATE PIPING BELOW ROOF LINE AT ALL ROOFS.



NOTE: COORDINATE STEAM/COIL PIPING TO ALLOW NEW CONTROL VALVE WITHIN RTU LIMIT. PIPING SHALL ACCOMMODATE SINGLE TRAP ASSEMBLY INSTALLATION TRAPS TO BE LOCATED IN WARM CHASE AND SPACE BELOW.

1 STEAM COIL PIPING DETAILS
SCALE: NOT TO SCALE



2 SINGLE STEAM TRAP AND END OF MAIN DETAIL
SCALE: NOT TO SCALE

ROOFTOP AIR HANDLING UNIT SCHEDULE																																																						
AIR HANDLING UNIT DATA				SUPPLY FAN DATA				EXHAUST FAN DATA				CONDENSER FAN DATA				COMPRESSOR DATA				EVAPORATOR COIL DATA								STEAM COIL DATA								FILTERS		ELECTRICAL DATA		REMARKS														
UNIT NO.	LOCATION	SERVING	MAN.	MODEL & SER.	TOTAL CFM	HRA CFM	FAN TYPE	E.S.P.	S.P.R.	W.P.	SPEED CONTROL	HP	AMP	FAN TYPE	TOTAL CFM	E.S.P.	S.P.R.	W.P.	SPEED CONTROL	HP	TYPE	HP	CYCLE	PHASE	QTY	MODEL	% CAP	COMP. RLA	GRASS TOTAL CAPACITY	SER. COIL	LAAT COIL	E.D.B. °F	E.W.B. °F	L.B.W. °F	R.O.W. / M.V.	SIZE SH	E.D.B. °F	L.O.B. °F	PRESS. PSIG		AMH	RONH	LAW	APD °F	VELOCITY FPM	FR	TYPE	FILTER THICKNESS	FILTER EFFICIENCY	VOLTS	PH	AMP	WVA	
RTU04	ROOFTOP	INTS 1ST FL.	THANE	SDHAF 4650	10,000	2,000	20104T	5.0	2.0	VFD	5/25	10	AT	8,000	5.0	0.9	VFD	3.0	PROP	20.15	NO	3	2	3	SDH0LL	15-100	52.3	4.0	388.96W	285.96W	101.00W	80	67	56.8	54.2	51.0-54.0	25.5	34	100	5	590.0	1	8P103"	0.3	727	90	THP0000000	4"	MERV-13	200	3	219	107	SEE NOTES BELOW
RTU05	ROOFTOP	INTS 2ND FL.	THANE	SDHAF 4650	10,000	2,000	20104T	5.0	2.20	VFD	5/25	10	AT	11,700	5.0	0.9	VFD	3.0	PROP	20.15	NO	3	2	3	SDH0LL	15-100	52.3	4.0	388.96W	285.96W	101.00W	80	67	56.8	54.2	51.0-54.0	25.5	34	100	5	590.0	1	8P103"	0.3	727	90	THP0000000	4"	MERV-13	200	3	219	107	SEE NOTES BELOW
RTU06	ROOFTOP	INTS 3RD FL.	THANE	SDHAF 4650	10,000	2,000	20104T	5.0	2.2	VFD	5/25	10	AT	11,700	5.0	0.9	VFD	3.0	PROP	20.15	NO	3	2	3	SDH0LL	15-100	52.3	4.0	388.96W	285.96W	101.00W	80	67	56.8	54.2	51.0-54.0	25.5	34	100	5	590.0	1	8P103"	0.3	727	90	THP0000000	4"	MERV-13	200	3	219	107	SEE NOTES BELOW

NOTES:

1. CONDENSER DATA
2. PROVIDE UNIT WITH FACTORY INSTALLED, 1800V VFD.
3. UNIT TO BE TESTED ON SITE, PROCEED TO PULL.
4. UNIT IS PROVIDED WITH TWO EXHAUSTS WITH INTRINSIC AND DEMAND CONTROL VENTILATION DOG.
5. PROVIDE EXHAUST DRAIN PUMP ELECTRICAL, MAIN POWER CONNECTION.
6. UNIT SHALL BE SPECIAL DESIGN UNIT WITH FLUENT MATERIALS CONSTRUCTION TO PROVIDE ONE ADDITIONAL SET OF CLEAN FILTERS.
7. UNIT SHALL BE SPECIAL DESIGN UNIT WITH FLUENT MATERIALS CONSTRUCTION TO PROVIDE ONE ADDITIONAL SET OF CLEAN FILTERS.
8. STEAM COIL RETENTION SHALL BE SUPPORTED BY PUMP FACTORY AND UNIT OVER HEAT, COORDINATE WITH MECHANICAL GROUP FOR RETENTION.

1. REFRIGERANT 241A/10.
2. PROVIDE UNIT WITH FACTORY MOUNTED WIRING W/LOG.
3. UNIT TO SIT ON STRUCTURAL STEEL PROVIDED BY M/C.
4. ALL RTUS FURNISHED WITH 100% ECONOMIZERS (INTERSTRATIC AND DEMAND CONTROL VENTILATION DCV).
5. FURNISH RTU WITH SINGLE POLE FOR 120V/240V ELECTRICAL MAIN POWER CONNECTION.
6. ALL RTUS SHALL BE FURNISHED WITH FACTORY HOT GAS REHEAT.
7. ALL RTUS SHALL BE SPECIFICALLY DESIGNED WITH # 2 FILTER RACK WITH FILTERS INSTALLED. CONTRACTOR TO PROVIDE ONE ADDITIONAL SET OF CLEAN FILTERS.
8. ALL RTU INSTALLATIONS SHALL BE SUPERVISED BY TRANE FACTORY AUTHORIZED PERSONNEL. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL INSTALLATION



ARDE HIGH SCHOOL
RTU-1, 2, & 4
NT
NUE
5

[illegible]

**CONSTRUCTION
DOCUMENTS
4-18-23**

DRAWING TITLE:
MECHANICAL
DEMOLITION AND
NEW WORK PARTIAL
ROOF PLAN

DATE: April 18, 2023	DRAWING NUMBER: M101
DRAWN BY: REA	
CHECKED BY: WJD	
SCALE: 1/8"=1'-0"	
PROJECT: 2020094.00	

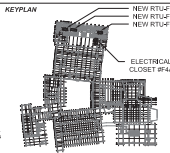
DRAWING NUMBER:

M101

Bid # 051-001-HVAC

**FAIRFIELD WARDE HIGH SCHOOL
FITT'S HOUSE RTU-1, 2, & 4
REPLACEMENT**
755 MELVILLE AVENUE
FAIRFIELD, CT 06425

PROJECT NAME

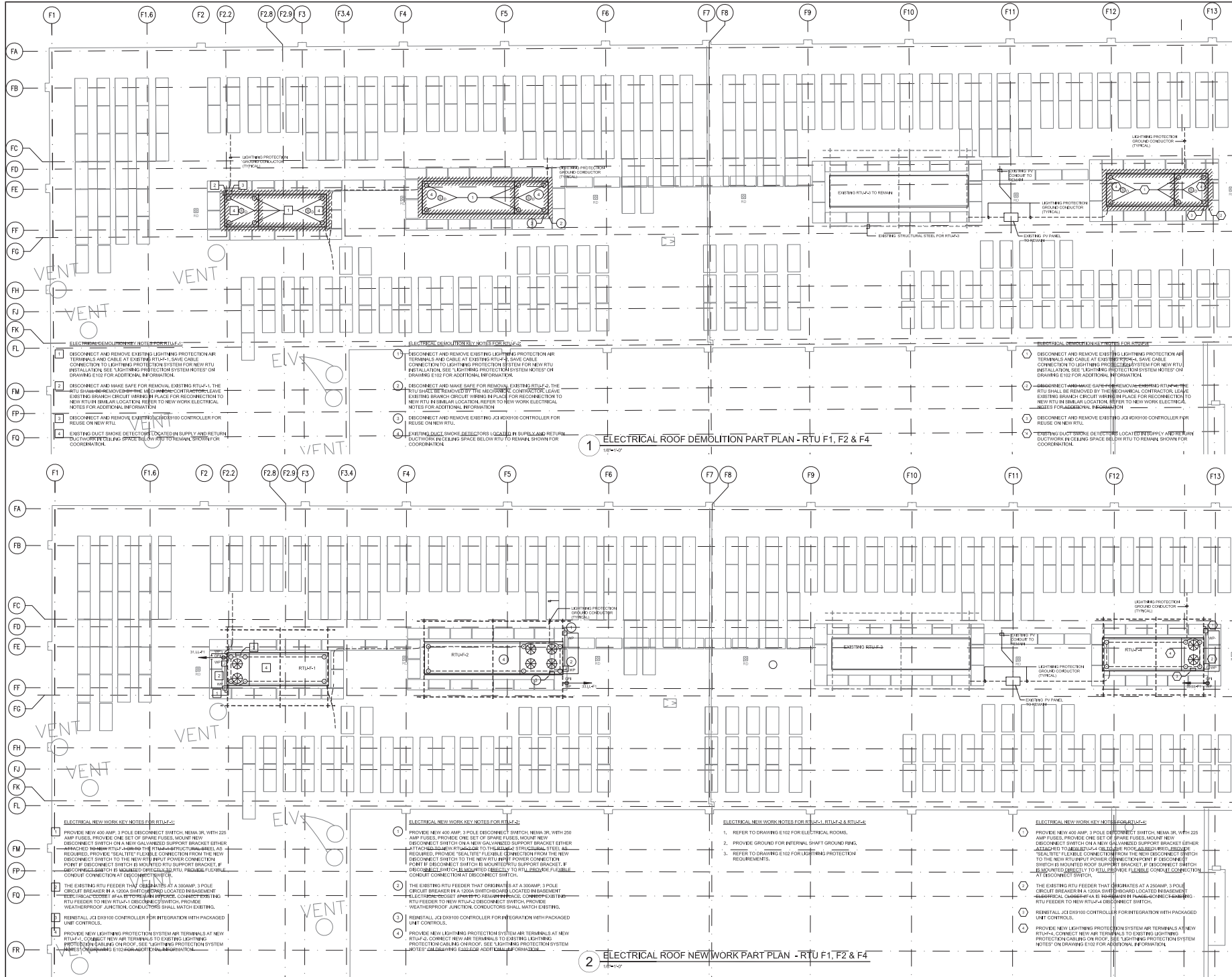


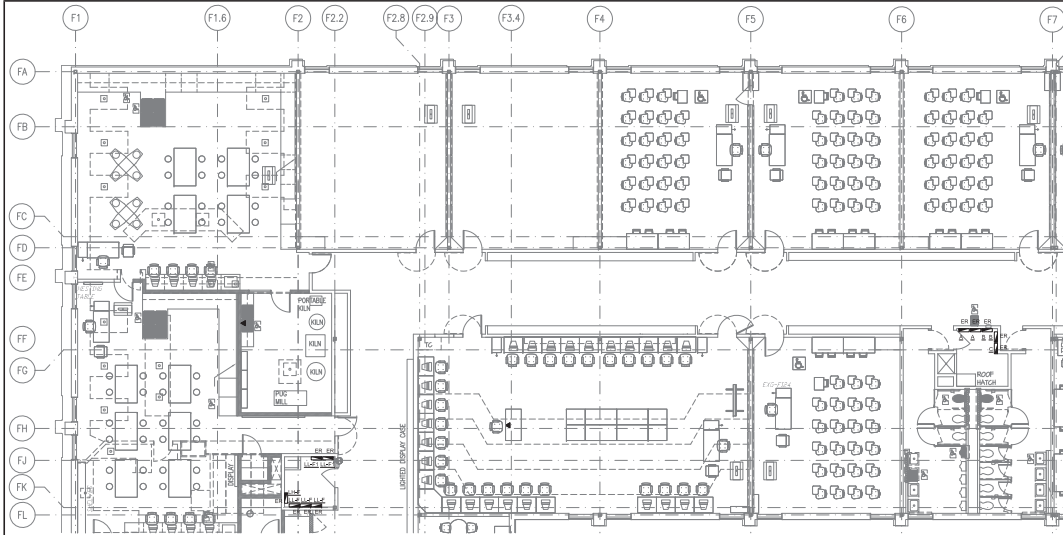
REV.	DATE	REVISION

**CONSTRUCTION
DOCUMENTS
4-18-23**

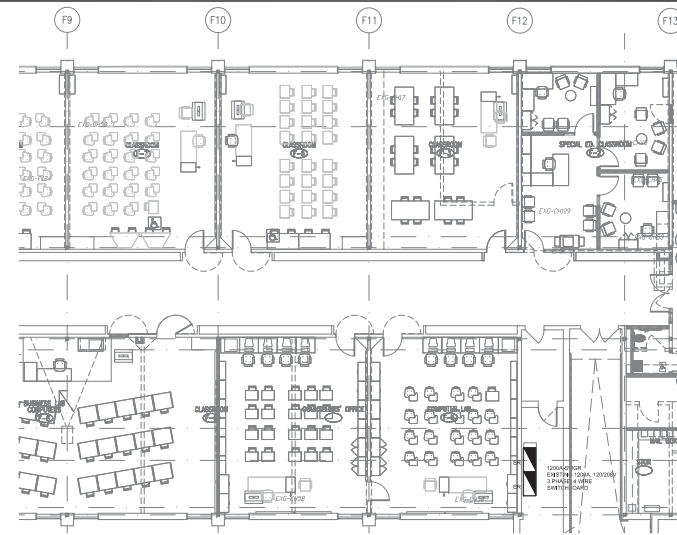
DRAWING TITLE:
**ELECTRICAL
DEMOLITION AND
NEW WORK PARTIAL
ROOF PLAN**

DATE: April 18, 2023
DRAWN BY: SEL
CHECKED BY: MJD
SCALE: 1/8"=1'-0"
PROJ. #: 2020084.01
DRAWING NUMBER:
E101





1 ELECTRICAL SECOND FLOOR PLAN
1/8" = 1'-0"



2 ELECTRICAL FIRST FLOOR PLAN
1/8" = 1'-0"

ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	GROUND FAULT CIRCUIT INTERRUPTER-STYLE DUPLEX RECEPTACLE WITH WEATHER-PROOF IN-BOUSE HOUSING
	ELECTRICAL PANEL 208 / 120 VOLT
	FUSED DISCONNECT SWITCH
	JUNCTION BOX
	LIGHTNING ARTERIAL
	LIGHTNING GROUNDING CONDUCTOR
	BRANCH CIRCUIT WIRING
	HOME RUN, 3/4" CONDUIT, 2P/2 AND 1P/2 GROUND, UNLESS OTHERWISE NOTED
	DUCT MOUNTED SMOKE DETECTOR
	AMPERE
	ABOVE FINISHED FLOOR
	ABOVE FINISHED GRADE
	CONDUIT
	CIRCUIT BREAKER
	CIRCUIT
	EXISTING TO REMAIN
	ELECTRIC METALLIC TUBING
	FUSED
	FIRE ALARM
	GROUND
	GROUND FAULT INTERRUPTER
	POLE (SPACE IN PANELBOARD)
	REMOVE EXISTING
	ROOFTOP UNIT
	WEATHER-PROOF

GENERAL ELECTRICAL DEMOLITION NOTES	
A.	REMOVE ALL EXISTING ELECTRICAL EQUIPMENT AS SHOWN ON RFP PLAN, EXCEPT WHERE MARKED OTHERWISE. ALL ASSOCIATED WIRING BACK TO SOURCE OR TO LAST ACTIVE DEVICE, CONDUIT, ETC. IN PREPARATION FOR NEW WORK UNLESS NOTED OTHERWISE. THIS WORK INCLUDES SELECTIVE DEMOLITION TO ACCOMMODATE HVAC SYSTEM MODIFICATIONS.
B.	DISCONNECT AND REMOVE EXISTING WIRING, CONDUIT, BOXES, ETC. SERVING ALL EQUIPMENT BEING REMOVED BY MECHANICAL TRADE. REFER TO MECHANICAL DRAWINGS FOR COORDINATION OF REQUIRED WORK. REMOVALS SHALL BE BACK TO SOURCE PANEL, COMPLETE UNLESS NOTED OTHERWISE.
C.	EXISTING ELECTRICAL ITEMS THAT ARE BEING DISCONNECTED AND REMOVED AND NOT BEING REUSED SHALL BE DISPOSED OF PROPERLY.
D.	ALL ABANDONED ELECTRICAL WIRING AND DEVICES SHALL BE REMOVED.
E.	IF CONTINUITY OF WIRING TO EXISTING ELECTRICAL ITEMS IS INTERRUPTED BY REMOVAL OF DEVICES, CONTRACTOR SHALL INSTALL ALL NECESSARY WIRING AND RACEWAY TO MAINTAIN THE CONTINUITY OF CIRCUITS IN OTHER AREAS.
F.	WIRING FOR ITEMS BEING REMOVED SHALL BE REMOVED BACK TO POWER SOURCE OR LAST DEVICE TO REMAIN ACTIVE UNLESS NOTED OTHERWISE.
G.	NOTIFY CONSTRUCTION MANAGER OR GENERAL CONTRACTOR OF OPENINGS CAUSED BY REMOVAL OF EXISTING EQUIPMENT NOT BEING REPLACED. ENSURE THE PATCHING IS COMPLETE.
H.	THE BUILDING WILL BE OCCUPIED DURING DEMOLITION. COORDINATE PHASING OF DEMOLITION WORK WITH CONSTRUCTION MANAGER OR GENERAL CONTRACTOR. ENSURE CONTINUITY OF SERVICES.

MOTOR CIRCUIT SCHEDULE											
EQUIPMENT	LOCATION	CIRCUIT / SOURCE PANEL	OCF DEVICE	FEEDER	LOCAL DISC SWITCH	MOTOR STARTER	LOAD	HP	PH	VOLT	REMARKS
RTU-1	ROOF - F	120A-SWGR	EXISTING 300A-3P	EXISTING / MATCH EXISTING	400A / 225A	VFD	-	3	208	SEE NOTES	
RTU-2	ROOF - F	120A-SWGR	EXISTING 300A-3P	EXISTING / MATCH EXISTING	400A / 225A	VFD	-	3	208	SEE NOTES	
RTU-4	ROOF - F	120A-SWGR	EXISTING 300A-3P	EXISTING / MATCH EXISTING	400A / 225A	VFD	-	3	208	SEE NOTES	

- MOTOR CIRCUIT SCHEDULE REFERENCED NOTES:**
1. EXISTING THE FEEDER FROM SWITCHGEAR TO RTU TO REMAIN. PROVIDE NEW CONDUCTORS FROM NEW JUNCTION BOX TO DISCONNECT SWITCH. PROVIDE FEEDER FROM DISCONNECT SWITCH TO VFD LOCATED IN ROOF TOP UNIT.
 2. DISCONNECT SWITCH TO HAVE MICRO SWITCH FOR SIGNALING VFD SHUTDOWN PRIOR TO OPENING OF MOTOR FEEDER BLADES.
 3. VFD FURNISHED AND INSTALLED BY DIV. 23. POWER WIRING FROM SOURCE TO VFD BY DIV. 26. POWER WIRING BETWEEN VFD AND MOTORS BY DIV. 26. CABLES WIRING BY DIVISION 26.
 4. VFD IS PROVIDED TO MOTORS AND FURNISHED BY DIV. 23.
 5. CIRCUIT BREAKER (OCF DEVICES) SHALL BE SHUNT TRIP TYPE FOR EMERGENCY ELEVATOR SHUTDOWN.
 6. LOCAL DISCONNECT SWITCH FURNISHED BY DIVISION 26 AS AN INTEGRAL COMPONENT OF THE EQUIPMENT.
- MOTOR CIRCUIT SCHEDULE GENERAL NOTES:**
- A. REFER TO SPECIFICATIONS FOR STANDARD FEATURES.
 - B. ABBREVIATIONS:
 - VFD - VARIABLE FREQUENCY DRIVE
 - FVFD - FULL VOLTAGE, NON-REVERSING
 - RVR - REDUCED VOLTAGE, NON-REVERSING
 - FVMS - FRACTIONAL HORSEPOWER MOTOR STARTER
 - 2SPD - TWO-SPEED, NON-REVERSING
 - MAN - MANUAL STARTER (TOGGLE SWITCH WITH THERMAL OVERLOADS)
 - C. OCF DEVICES AND LOCAL DISC SWITCHES ARE THREE POLE UNLESS OTHERWISE NOTED.
 - D. LOCAL DISCONNECT SWITCH SIZE INDICATES SWITCH FRAME FOLLOWED BY FUSE SIZE (E.G. 300A/250 REPRESENTS 300A FRAME SWITCH WITH 250A FUSES).
 - E. PROVIDE WEATHER-PROOF FUSED DISCONNECT SWITCHES WHERE LOCATED OUTSIDE OR IN VET LOCATIONS.
 - F. STARTERS, DISCONNECT SWITCHES, CIRCUIT BREAKERS, BRANCH CIRCUIT WIRING, ETC. INDICATED IN THE MOTOR CIRCUIT SCHEDULE SHALL BE FURNISHED AND INSTALLED BY DIVISION 26 UNLESS OTHERWISE NOTED.
 - G. THE "OCF DEVICE" SHALL BE A CIRCUIT BREAKER UNLESS OTHERWISE NOTED.

GENERAL ELECTRICAL NOTES	
A.	ALL HOMERUNS/CIRCUITS TO BE 2012, 1810S, 34°C TO A 20A-1P CIRCUIT BREAKER IN DESIGNATED PANEL, UNLESS NOTED OTHERWISE. NUMBERS SHOWN AT EACH DEVICE/HOMERUN REPRESENT CIRCUIT NUMBER IN PANEL(S).
B.	WIRE AND RACEWAY SIZES INDICATED ON HOMERUNS/CIRCUITS SHALL BE CONTINUOUS FOR ENTIRE LENGTH, UNLESS NOTED OTHERWISE.
C.	ALL WIRING (CONDUITS, ETC.) TO BE CONCEALED. NO SURFACE WIRING SHALL BE INSTALLED IN FINISHED AREAS.
D.	ALL WIRING ABOVE CEILING THAT IS NOT IN CONDUIT AND IS LOCATED IN A PLENUM SPACE SHALL BE PLENUM RATED. REFER TO MECHANICAL PLANS FOR PLENUM AREAS.
E.	ELECTRICAL CONDUITS, WIRING, BOXES, ETC. SHALL NOT PENETRATE STAIR ENCLOSURES, UNLESS THEY ARE FESSEING DEVICES LOCATED WITHIN THE STAIR ENCLOSURE.
F.	PROVIDE ELECTRICAL OUTLET PLATE GASKET SEALS AT RECEPTACLES, SWITCHES AND OTHER ELECTRICAL BOXES ON EXTERIOR WALLS AND INTERIOR WALLS BETWEEN CONDITIONED AND NON-CONDITIONED SPACES.
G.	ALL INDIVIDUAL OR GENERAL PURPOSE BRANCH 120 VOLT CIRCUITS OVER 100A IN CONDUCTOR LENGTH SHALL BE INCREASED ONE WIRE SIZE (SA FROM 100A TO 125A) AND CIRCUITS OVER 125A IN CONDUCTOR LENGTH SHALL BE INCREASED TWO WIRE SIZES (SA FROM 125A TO 150A) UNLESS NOTED OTHERWISE.
H.	PROVIDE UNIVERSAL, BLANK PLUGS ON ALL SPARE CONDUITS.
I.	SEAL ALL CONDUITS AT THE LAST STRUCTURE PRIOR TO CONDUITS ENTERING A BUILDING. REFER TO SPECIFICATIONS AND DETAILS. ALL SPARE CONDUITS SHALL HAVE VET OR PLUMB STOPPING AND FOOTAGE TAP.
J.	ALTHOUGH ALL FEEDER AND BRANCH CIRCUIT WIRE AND CONDUIT IS NOT SPECIFICALLY SHOWN, IT IS THE INTENT OF THESE DOCUMENTS THAT A COMPLETE FEEDER AND BRANCH CIRCUIT WIRING SYSTEM BE INSTALLED.
K.	ENSURE THAT NO PIPING, OUTCROW, LEAK PROTECTION APPARATUS OR OTHER EQUIPMENT FORBORN TO THE ELECTRICAL TRADE PASSES THROUGH THE SPACE EQUAL TO THE WIDTH AND DEPTH OF THE ELECTRICAL DISTRIBUTION EQUIPMENT AND EXTENDING FROM THE FLOOR TO THE STRUCTURAL CEILING.

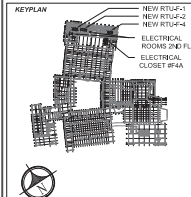
- LIGHTNING PROTECTION SYSTEM NOTES:**
1. PROVIDE MODIFICATIONS TO THE EXISTING LIGHTNING PROTECTION SYSTEM AS SHOWN ON ROOF PLAN.
 2. THE COMPLETED MODIFICATIONS SHALL MEET THE REQUIREMENTS OF THE CURRENT EDITIONS OF UL96A AND NFPA 780. A CERTIFICATE OF COMPLETION FROM AN AUTHORITY HAVING JURISDICTION SHALL BE FURNISHED TO THE OWNER UPON COMPLETION OF WORK.
 3. ALL NEW LIGHTNING PROTECTION SYSTEM EQUIPMENT/CABLES SHALL MATCH EXISTING IN TYPE AND MATERIAL.
 4. METAL RODS WITHIN -P OF THE LIGHTNING PROTECTION SYSTEM SHALL BE BONDED TO THE SYSTEM IN ACCORDANCE WITH UL96A.
 5. LOCATE AIR TERMINALS ON NEW ROOF TOP HVAC EQUIPMENT AS REQUIRED. IF THE METAL THICKNESS OF AN OBJECT IS 3/16" OR GREATER, AIR TERMINALS MAY BE ELIMINATED IF THE OBJECT IS PROPERLY CONNECTED TO THE SYSTEM.
 6. NEW AIR TERMINALS ARE TO BE LOCATED A MINIMUM OF 24" FROM THE PROTECTED EDGE AND PROJECT A MINIMUM OF 12" ABOVE THE PROTECTED EDGE. THE SPACING BETWEEN AIR TERMINALS IS NOT TO EXCEED 20 FEET. AIR TERMINALS THAT EXTEND 24" ABOVE THE PROTECTED EDGE ARE NOT TO EXCEED A SPACING GREATER THAN 25' EXCEPT FOR MID-ROOF AIR TERMINALS (50 MAX SPACING).
 7. ALL LIGHTNING PROTECTION SYSTEM CONDUCTORS ARE TO MAINTAIN A MINIMUM 6" OR DOWNWARD PATH. ALL BENDS IN THE CONDUCTORS SHALL HAVE A RADIUS OF 6" INCHES OR GREATER AND SHALL HAVE AN ANGLE BEND OF 90° OR GREATER.
 8. EACH INDIVIDUAL ITEM OF THE LIGHTNING PROTECTION SYSTEM IS NOT SHOWN ON THE DRAWINGS FOR CLARITY. NEW ITEMS ARE INDICATED AT APPROXIMATE LOCATION ONLY.
 9. ALL MODIFICATIONS TO THE EXISTING LIGHTNING PROTECTION SYSTEM SHALL BE PROVIDED TO MEET MASTER LABEL REQUIREMENTS.

VANZELM
ENGINEERS
VANZELM HEYWOOD & SHADFORD, INC.
18 TALCOTT NOTCH FARMINGTON, CT 06032
TEL: (860) 254-5064 FAX: (860) 254-5068

CONSULTANTS:
STRUCTURAL ENGINEER:
SZEWCAK ASSOCIATES
CONSULTING ENGINEERS

Bid # 051-001-HVAC

**FAIRFIELD WARDE HIGH SCHOOL
FITT'S HOUSE RTU-1, 2, & 4
REPLACEMENT**
755 MELVILLE AVENUE
FAIRFIELD, CT 06425



REV.	DATE	DESCRIPTION

**CONSTRUCTION DOCUMENTS
4-18-23**

DRAWING TITLE:
ELECTRICAL FIRST AND SECOND FLOOR PLAN, SCHEDULES, LEGENDS AND NOTES

DATE: April 18, 2023
DRAWN BY: SEL
CHECKED BY: MJD
SCALE: 1/8"=1'-0"
PROJ. #: 2020084.01
E102

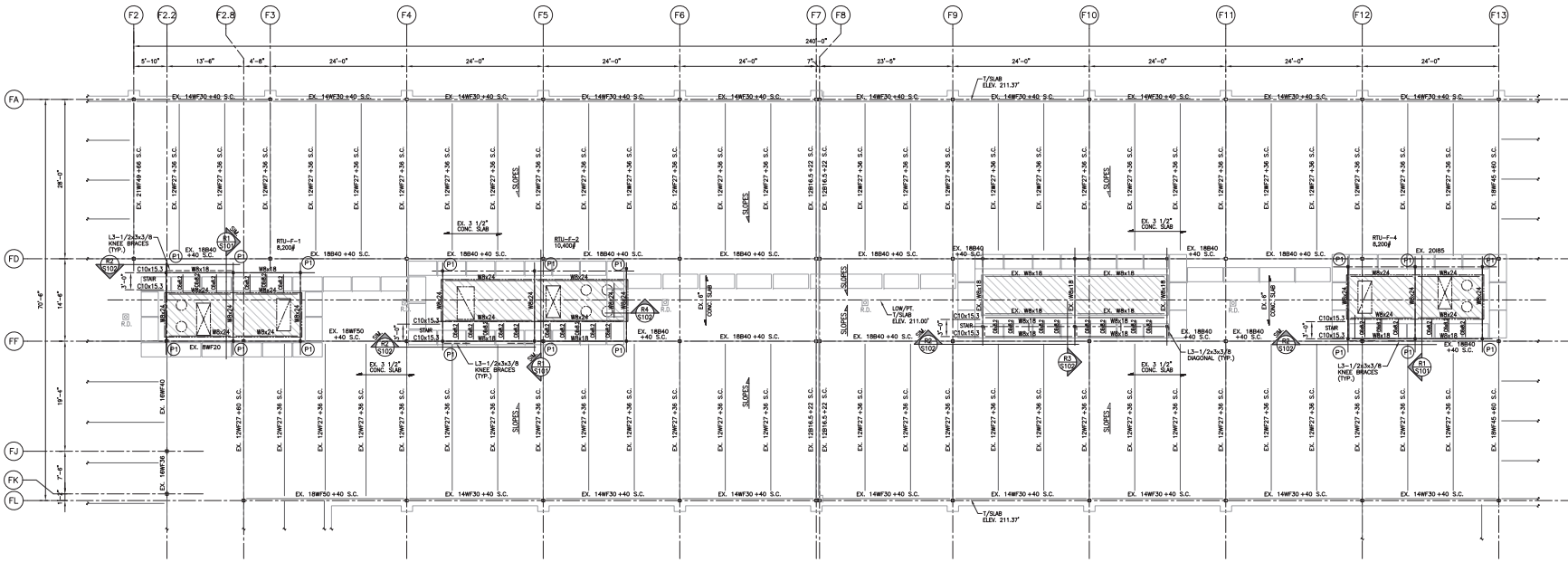
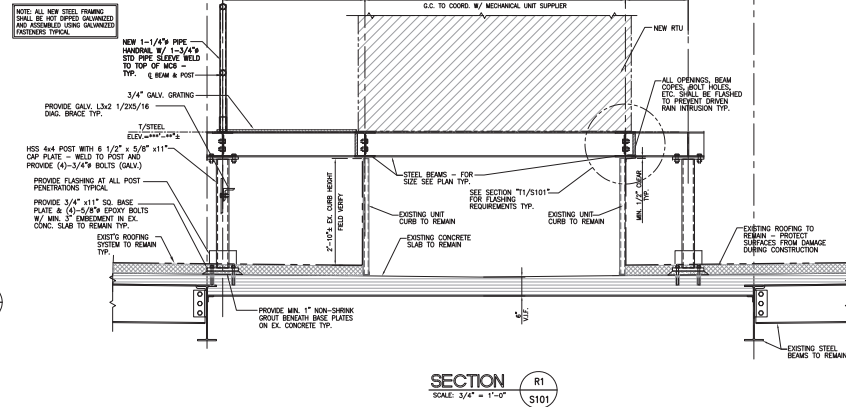
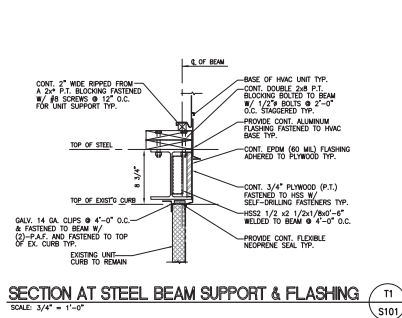
STRUCTURAL GENERAL NOTES

- GENERAL
 - SEE ARCHITECTURAL, MECHANICAL, AND ELECTRICAL DRAWINGS FOR ADDITIONAL INFORMATION AND DETAILS. ALSO, SEE STRUCTURAL SPECIFICATIONS.
- DESIGN AND LOADING
 - ALLOWABLE UNIT STRESSES AND DESIGN CRITERIA ARE IN ACCORDANCE WITH THE FOLLOWING:
 - "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" AISC 360-16.
 - "CONNECTICUT STATE BUILDING CODE" 2022 (INTERNATIONAL BUILDING CODE 2015).
- DESIGN STRESSES AND MATERIALS
 - MISCELLANEOUS STRUCTURAL STEEL

ASTM A572, Fy = 50 KSI
ASTM A572, Fy = 50 KSI
ASTM A-36, GRADE B, Fy = 36 KSI
ASTM A-36
 - WELDING ELECTRODES

E-70XX

- STEEL
 - ALL STRUCTURAL STEEL SHALL BE FABRICATED AND ERECTED IN ACCORDANCE WITH THE LATEST EDITION OF THE AISC SPECIFICATIONS FOR THE DESIGN FABRICATION AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS.
 - FABRICATE AND ERECT ALL BEAMS WITH MILL CHAMFER UP.
 - PROVIDE WELD STIFFENER PLATES FOR BEAMS CONTINUOUS OVER COLUMNS OR BEAM SUPPORTED COLUMNS.
 - WHenever welding is employed, either in fabrication or erection, ALL SUCH WELDING SHALL BE PERFORMED BY QUALIFIED WELDERS IN COMPLETE ACCORD WITH THE "STRUCTURAL WELDING CODE - STEEL" OF THE AMERICAN WELDING CODE.
 - PROVIDE ANGLE FRAMES FOR ROOF DRAIN SUMP PANS AND ALL OTHER NEW FLOOR AND ROOF OPENINGS 12-INCHES OR GREATER. ANGLE FRAMES TO BE 15 x 5-1/2 x 1/4" - TYPICAL.
 - PROVIDE SHOP COAT OF PAINT.
 - SUBMIT SHOP DRAWINGS, INCLUDING LISTED SCHEDULE AND SHOP PAINT.
- FIELD MEASUREMENTS
 - CONTRACTOR SHALL VERIFY IN THE FIELD ALL MEASUREMENTS, CONDITIONS AND ELEVATIONS NECESSARY FOR HIS WORK AND SHALL ASSUME RESPONSIBILITY FOR THEIR ACCURACY.



PARTIAL EXISTING ROOF FRAMING PLAN

- NOTES:
- G.C. SHALL VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, ELEVATIONS, ETC. IN FIELD PRIOR TO PROCEEDING WITH NEW WORK. NOTIFY ENGINEER OF ANY DISCREPANCIES FOR ANY FURTHER INSTRUCTIONS IF REQUIRED.
 - TOP OF EXISTING STEEL ELEVATION VARIES - VERIFY ALL EXISTING STEEL ELEVATION IN FIELD PRIOR TO PROCEEDING WITH NEW WORK.
 - ALL NEW STEEL EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED.
 - Ⓢ INDICATES HSS 4x4x3/8 STEEL PIPE POST. G.C. COORDINATE EXACT POST LOCATIONS WITH EXISTING FRAMING AND MECHANICAL REQUIREMENTS.
 - ALL ROOF WORK SHALL BE PROVIDED AND PERFORMED BY TECTA AMERICA. SEE MECHANICAL DRAWINGS FOR INFORMATION.

Bid # 051-001-HVAC

**FAIRFIELD WARDE HIGH SCHOOL
FITT'S HOUSE RTU-1, 2, & 4
REPLACEMENT**
755 MELVILLE AVENUE
FAIRFIELD, CT 06425

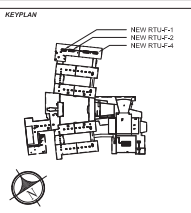
KEYPLAN

REV.	DATE	DESCRIPTION

CONSTRUCTION DOCUMENTS 4-18-23

PARTIAL EXISTING ROOF FRAMING PLAN

FAIRFIELD WARDE HIGH SCHOOL
FITT'S HOUSE RTU-1, 2, & 4
REPLACEMENT
755 MELVILLE AVENUE
FAIRFIELD, CT 06825

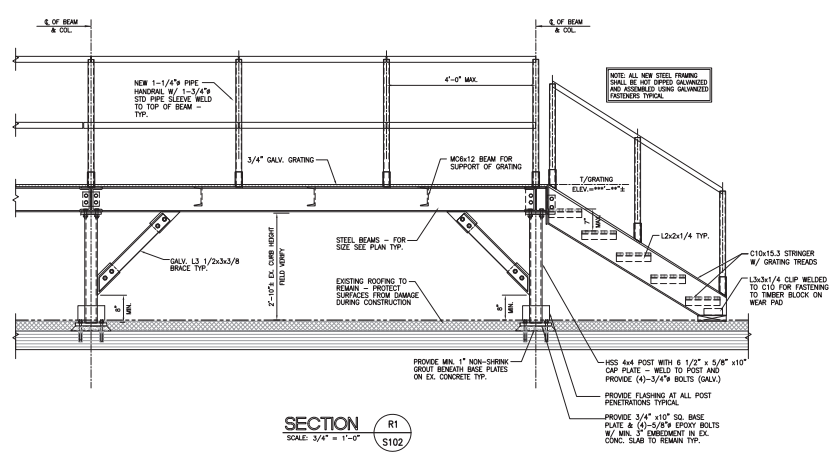
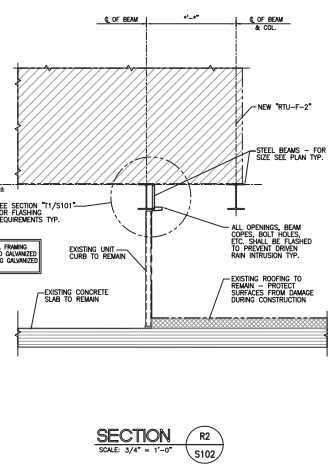
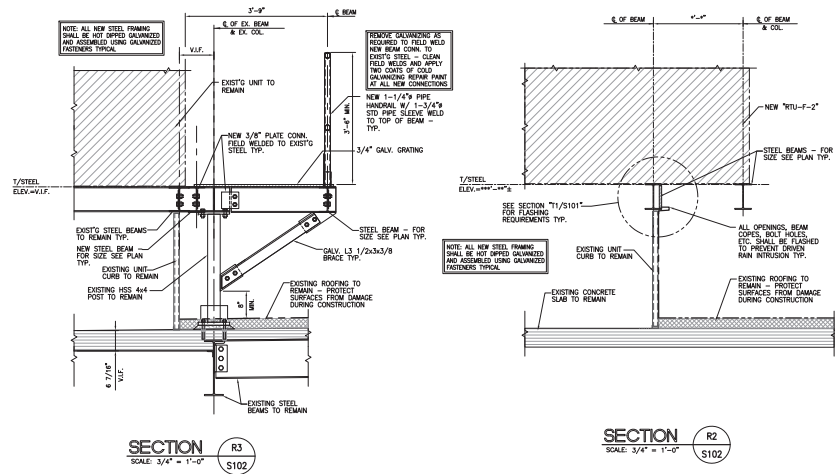


REVISIONS		
NO.	DATE	DESCRIPTION

**CONSTRUCTION
DOCUMENTS
4-18-23**

DRAWING TITLE:
**STRUCTURAL
SECTIONS**

DATE: APR. 18, 2023	DRAWING NUMBER:
DRAWN BY: NDB	S102
CHECKED BY: ARC	
SCALE: AS NOTED	
PROJ. #: 2020284.01	



DRAFT AIA® Document A101® – 2017

Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum

AGREEMENT made as of the « » day of « » in the year «2023»
(In words, indicate day, month and year.)

BETWEEN the Owner:
(Name, legal status, address and other information)

« »
« Town of Fairfield »
« 725 Old Post Road »
« Fairfield, CT 06824 »

and the Contractor:
(Name, legal status, address and other information)

« »
« SAV-MOR Cooling and Heating, Inc. »
« 231 Captain Lewis Drive »
« Southington, CT 06489 »

for the following Project:
(Name, location and detailed description)

« Fitts House – Fairfield Warde High School »
« 755 Melville Avenue »
« Fairfield, CT 06825 »

The Architect:
(Name, legal status, address and other information)

« »
« van Zelm Heywood & Shadford, Inc. »
« 10 Talcott Notch Road, Ste. 102 »
« Farmington, CT 06032 »

The Owner and Contractor agree as follows.

ADDITIONS AND DELETIONS:
The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

The parties should complete A101®-2017, Exhibit A, Insurance and Bonds, contemporaneously with this Agreement. AIA Document A201®-2017, General Conditions of the Contract for Construction, is adopted in this document by reference. Do not use with other general conditions unless this document is modified.

ELECTRONIC COPYING of any portion of this AIA® Document to another electronic file is prohibited and constitutes a violation of copyright laws as set forth in the footer of this document.

TABLE OF ARTICLES

- 1 THE CONTRACT DOCUMENTS
- 2 THE WORK OF THIS CONTRACT
- 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION
- 4 CONTRACT SUM
- 5 PAYMENTS
- 6 DISPUTE RESOLUTION
- 7 TERMINATION OR SUSPENSION
- 8 MISCELLANEOUS PROVISIONS
- 9 ENUMERATION OF CONTRACT DOCUMENTS

EXHIBIT A INSURANCE AND BONDS

ARTICLE 1 THE CONTRACT DOCUMENTS

The Contract Documents consist of this Agreement, Conditions of the Contract (General, Supplementary, and other Conditions), Drawings, Specifications, Addenda issued prior to execution of this Agreement, other documents listed in this Agreement, and Modifications issued after execution of this Agreement, all of which form the Contract, and are as fully a part of the Contract as if attached to this Agreement or repeated herein. The Contract represents the entire and integrated agreement between the parties hereto and supersedes prior negotiations, representations, or agreements, either written or oral. An enumeration of the Contract Documents, other than a Modification, appears in Article 9.

ARTICLE 2 THE WORK OF THIS CONTRACT

The Contractor shall fully execute the Work described in the Contract Documents, except as specifically indicated in the Contract Documents to be the responsibility of others.

ARTICLE 3 DATE OF COMMENCEMENT AND SUBSTANTIAL COMPLETION

§ 3.1 The date of commencement of the Work shall be:

(Check one of the following boxes.)

☒ The date of this Agreement.

☐ A date set forth in a notice to proceed issued by the Owner.

☐ Established as follows:
(Insert a date or a means to determine the date of commencement of the Work.)

☐

If a date of commencement of the Work is not selected, then the date of commencement shall be the date of this Agreement.

§ 3.2 The Contract Time shall be measured from the date of commencement of the Work.

§ 3.3 Substantial Completion

§ 3.3.1 Subject to adjustments of the Contract Time as provided in the Contract Documents, the Contractor shall achieve Substantial Completion of the entire Work:

(Check one of the following boxes and complete the necessary information.)

[« »] Not later than « » (« ») calendar days from the date of commencement of the Work.

[« X »] By the following date: «August 20, 2024 »

§ 3.3.2 Subject to adjustments of the Contract Time as provided in the Contract Documents, if portions of the Work are to be completed prior to Substantial Completion of the entire Work, the Contractor shall achieve Substantial Completion of such portions by the following dates:

Portion of Work	Substantial Completion Date

§ 3.3.3 If the Contractor fails to achieve Substantial Completion as provided in this Section 3.3, liquidated damages, if any, shall be assessed as set forth in Section 4.5.

ARTICLE 4 CONTRACT SUM

§ 4.1 The Owner shall pay the Contractor the Contract Sum in current funds for the Contractor's performance of the Contract. The Contract Sum shall be « One Million Eighty Thousand Dollars » (\$ «1,080,000.00 »), subject to additions and deductions as provided in the Contract Documents.

§ 4.2 Alternates

§ 4.2.1 Alternates, if any, included in the Contract Sum:

Item	Price
-Add Alternate #1 – Commissioning Services	\$9,900.00

§ 4.2.2 Subject to the conditions noted below, the following alternates may be accepted by the Owner following execution of this Agreement. Upon acceptance, the Owner shall issue a Modification to this Agreement. (Insert below each alternate and the conditions that must be met for the Owner to accept the alternate.)

Item	Price	Conditions for Acceptance

§ 4.3 Allowances, if any, included in the Contract Sum:
(Identify each allowance.)

Item	Price

§ 4.4 Unit prices, if any:

(Identify the item and state the unit price and quantity limitations, if any, to which the unit price will be applicable.)

Item	Units and Limitations	Price per Unit (\$0.00)

§ 4.5 Liquidated damages, if any:

(Insert terms and conditions for liquidated damages, if any.)

« If the Contractor neglects, fails or refuses to achieve substantial completion by 11:59 pm by the date stipulated in the Contractor's bid form for each of the bid components requiring durations or deadlines, liquidated damages of One Thousand Dollars (\$1,000.00) per day or part thereof shall be due for each bid component to the Owner and subtracted from the unpaid contract amount or bond held by the Owner. "Substantial completion" is as defined in the General Conditions of the Contract for Construction, AIA Document A201 included in this project manual. "Substantial completion" is further defined as the date at which the local authorities with jurisdiction over this project grant a temporary or permanent certificate of occupancy (if required for occupancy) for each project area. »

§ 4.6 Other:

(Insert provisions for bonus or other incentives, if any, that might result in a change to the Contract Sum.)

<< >>

ARTICLE 5 PAYMENTS

§ 5.1 Progress Payments

§ 5.1.1 Based upon Applications for Payment submitted to the Architect by the Contractor and Certificates for Payment issued by the Architect, the Owner shall make progress payments on account of the Contract Sum to the Contractor as provided below and elsewhere in the Contract Documents.

§ 5.1.2 The period covered by each Application for Payment shall be one calendar month ending on the last day of the month, or as follows:

<< >>

§ 5.1.3 Provided that an Application for Payment is received by the Architect not later than the «25th» day of a month, the Owner shall make payment of the amount certified to the Contractor not later than the «last» day of the «following» month. If an Application for Payment is received by the Architect after the application date fixed above, payment of the amount certified shall be made by the Owner not later than «forty-five» («45») days after the Architect receives the Application for Payment.

(Federal, state or local laws may require payment within a certain period of time.)

§ 5.1.4 Each Application for Payment shall be based on the most recent schedule of values submitted by the Contractor in accordance with the Contract Documents. The schedule of values shall allocate the entire Contract Sum among the various portions of the Work. The schedule of values shall be prepared in such form, and supported by such data to substantiate its accuracy, as the Architect may require. This schedule of values shall be used as a basis for reviewing the Contractor's Applications for Payment.

§ 5.1.5 Applications for Payment shall show the percentage of completion of each portion of the Work as of the end of the period covered by the Application for Payment.

§ 5.1.6 In accordance with AIA Document A201™–2017, General Conditions of the Contract for Construction, and subject to other provisions of the Contract Documents, the amount of each progress payment shall be computed as follows:

§ 5.1.6.1 The amount of each progress payment shall first include:

- .1 That portion of the Contract Sum properly allocable to completed Work;
- .2 That portion of the Contract Sum properly allocable to materials and equipment delivered and suitably stored at the site for subsequent incorporation in the completed construction, or, if approved in advance by the Owner, suitably stored off the site at a location agreed upon in writing; and
- .3 That portion of Construction Change Directives that the Architect determines, in the Architect's professional judgment, to be reasonably justified.

§ 5.1.6.2 The amount of each progress payment shall then be reduced by:

- .1 The aggregate of any amounts previously paid by the Owner;
- .2 The amount, if any, for Work that remains uncorrected and for which the Architect has previously withheld a Certificate for Payment as provided in Article 9 of AIA Document A201–2017;
- .3 Any amount for which the Contractor does not intend to pay a Subcontractor or material supplier, unless the Work has been performed by others the Contractor intends to pay;
- .4 For Work performed or defects discovered since the last payment application, any amount for which the Architect may withhold payment, or nullify a Certificate of Payment in whole or in part, as provided in Article 9 of AIA Document A201–2017; and
- .5 Retainage withheld pursuant to Section 5.1.7.

§ 5.1.7 Retainage

§ 5.1.7.1 For each progress payment made prior to Substantial Completion of the Work, the Owner may withhold the following amount, as retainage, from the payment otherwise due:

(Insert a percentage or amount to be withheld as retainage from each Application for Payment. The amount of retainage may be limited by governing law.)

«Retainage of five percent (5%) »

§ 5.1.7.1.1 The following items are not subject to retainage:

(Insert any items not subject to the withholding of retainage, such as general conditions, insurance, etc.)

«None »

§ 5.1.7.2 Reduction or limitation of retainage, if any, shall be as follows:

(If the retainage established in Section 5.1.7.1 is to be modified prior to Substantial Completion of the entire Work, including modifications for Substantial Completion of portions of the Work as provided in Section 3.3.2, insert provisions for such modifications.)

« None »

§ 5.1.7.3 Except as set forth in this Section 5.1.7.3, upon Substantial Completion of the Work, the Contractor may submit an Application for Payment that includes the retainage withheld from prior Applications for Payment pursuant to this Section 5.1.7. The Application for Payment submitted at Substantial Completion shall not include retainage as follows:

(Insert any other conditions for release of retainage upon Substantial Completion.)

« If not agreed to by the Owner (Town) »

§ 5.1.8 If final completion of the Work is materially delayed through no fault of the Contractor, the Owner shall pay the Contractor any additional amounts in accordance with Article 9 of AIA Document A201–2017.

§ 5.1.9 Except with the Owner's prior approval, the Contractor shall not make advance payments to suppliers for materials or equipment which have not been delivered and stored at the site.

§ 5.2 Final Payment

§ 5.2.1 Final payment, constituting the entire unpaid balance of the Contract Sum, shall be made by the Owner to the Contractor when

- .1 the Contractor has fully performed the Contract except for the Contractor's responsibility to correct Work as provided in Article 12 of AIA Document A201–2017, and to satisfy other requirements, if any, which extend beyond final payment; and
- .2 a final Certificate for Payment has been issued by the Architect.

§ 5.2.2 The Owner's final payment to the Contractor shall be made no later than 30 days after the issuance of the Architect's final Certificate for Payment, or as follows:

« »

§ 5.3 Interest

Payments due and unpaid under the Contract shall bear interest from the date payment is due at the rate stated below, or in the absence thereof, at the legal rate prevailing from time to time at the place where the Project is located.

(Insert rate of interest agreed upon, if any.)

« » % « »

ARTICLE 6 DISPUTE RESOLUTION

§ 6.1 Initial Decision Maker

The Architect will serve as the Initial Decision Maker pursuant to Article 15 of AIA Document A201–2017, unless the parties appoint below another individual, not a party to this Agreement, to serve as the Initial Decision Maker.

(If the parties mutually agree, insert the name, address and other contact information of the Initial Decision Maker, if other than the Architect.)

« None »

« »

« »

« »

§ 6.2 Binding Dispute Resolution

For any Claim subject to, but not resolved by, mediation pursuant to Article 15 of AIA Document A201–2017, the method of binding dispute resolution shall be as follows:

(Check the appropriate box.)

[☐] Arbitration pursuant to Section 15.4 of AIA Document A201–2017

[☒] Litigation in a court of competent jurisdiction

[☐] Other (Specify)

« »

If the Owner and Contractor do not select a method of binding dispute resolution, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, Claims will be resolved by litigation in a court of competent jurisdiction.

ARTICLE 7 TERMINATION OR SUSPENSION

§ 7.1 The Contract may be terminated by the Owner or the Contractor as provided in Article 14 of AIA Document A201–2017.

§ 7.1.1 If the Contract is terminated for the Owner’s convenience in accordance with Article 14 of AIA Document A201–2017, then the Owner shall pay the Contractor a termination fee as follows:

(Insert the amount of, or method for determining, the fee, if any, payable to the Contractor following a termination for the Owner’s convenience.)

« None »

§ 7.2 The Work may be suspended by the Owner as provided in Article 14 of AIA Document A201–2017.

ARTICLE 8 MISCELLANEOUS PROVISIONS

§ 8.1 Where reference is made in this Agreement to a provision of AIA Document A201–2017 or another Contract Document, the reference refers to that provision as amended or supplemented by other provisions of the Contract Documents.

§ 8.2 The Owner’s representative:

(Name, address, email address, and other information)

« Adam B. Tulin, Director of Purchasing »

« Town of Fairfield »

« 725 Old Post Road »

« Fairfield, CT 06824 »

« »

« »

§ 8.3 The Contractor’s representative:

(Name, address, email address, and other information)

« Troy Karwowski, President »

« SAV-MOR Cooling and Heating, Inc. »

« 231 Captain Lewis Drive »

« Southington, CT 06489 »

«860-621-9959 »
« troy@savmorct.com »

§ 8.4 Neither the Owner's nor the Contractor's representative shall be changed without ten days' prior notice to the other party.

§ 8.5 Insurance and Bonds

§ 8.5.1 The ~~Owner and the~~ Contractor shall purchase and maintain insurance as set forth ~~in AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor where the basis of payment is a Stipulated Sum, Exhibit A, Insurance and Bonds, and elsewhere in the Contract Documents~~in the Town's invitation to bid documents.

§ 8.5.2 The Contractor shall provide ~~bonds as set forth in AIA Document A101™-2017 Exhibit A, and elsewhere in the Contract Documents~~a performance and payment bond as set forth in the Town's invitation to bid documents.

§ 8.6 ~~Notice in electronic format, pursuant to Article 1 of AIA Document A201-2017, may be given in accordance with AIA Document E203™-2013, Building Information Modeling and Digital Data Exhibit, if completed, or as otherwise set forth below:~~

~~(If other than in accordance with AIA Document E203-2013, insert requirements for delivering notice in electronic format such as name, title, and email address of the recipient and whether and how the system will be required to generate a read receipt for the transmission.)~~This section intentionally omitted.

« »

§ 8.7 Other provisions:

« None »

ARTICLE 9 ENUMERATION OF CONTRACT DOCUMENTS

§ 9.1 This Agreement is comprised of the following documents:

- .1 AIA Document A101™-2017, Standard Form of Agreement Between Owner and Contractor
- .2 AIA Document A101™-2017, Exhibit A, Insurance and Bonds
- ~~.3 AIA Document A201™-2017, General Conditions of the Contract for Construction~~
- ~~.4 AIA Document E203™-2013, Building Information Modeling and Digital Data Exhibit, dated as indicated below:
(Insert the date of the E203-2013 incorporated into this Agreement.)~~

« »

.5 Drawings

Number

Drawings and Specifications
provided by van Zelm Heywood &
Shadford, Inc. (van Zelm
Engineers)

Title

Date

.6 Specifications

Section

-Town of Fairfield Bid Document
Wage Rate Information

Title

Date

Pages

.7 Addenda, if any:

Number

1
2

Date

5/18/2023
6/7/2023

Pages

1
2

Portions of Addenda relating to bidding or proposal requirements are not part of the Contract Documents unless the bidding or proposal requirements are also enumerated in this Article 9.

.8 Other Exhibits:

(Check all boxes that apply and include appropriate information identifying the exhibit where required.)

[☐] AIA Document E204™–2017, Sustainable Projects Exhibit, dated as indicated below:
(Insert the date of the E204-2017 incorporated into this Agreement.)

<< >>

[☐] The Sustainability Plan:

Title	Date	Pages

[☐] Supplementary and other Conditions of the Contract:

Document	Title	Date	Pages

.9 Other documents, if any, listed below:

(List here any additional documents that are intended to form part of the Contract Documents. AIA Document A201™–2017 provides that the advertisement or invitation to bid, Instructions to Bidders, sample forms, the Contractor's bid or proposal, portions of Addenda relating to bidding or proposal requirements, and other information furnished by the Owner in anticipation of receiving bids or proposals, are not part of the Contract Documents unless enumerated in this Agreement. Any such documents should be listed here only if intended to be part of the Contract Documents.)

<< >>

This Agreement entered into as of the day and year first written above.

 OWNER (Signature)

<< >><< >>

 (Printed name and title)

 CONTRACTOR (Signature)

<< >><< >>

 (Printed name and title)