

20 YEAR

A RESOLUTION AMENDING AND RESTATING A RESOLUTION ENTITLED “A RESOLUTION APPROPRIATING \$22,701,443 FOR THE COSTS ASSOCIATED WITH PHASE I OF THE AIR CONDITIONING UPGRADE PROJECT AT VARIOUS SCHOOLS, AUTHORIZING GRANTS TO REIMBURSE \$1,116,320 OF SUCH APPROPRIATION AND AUTHORIZING THE ISSUANCE OF BONDS TO FINANCE THE REMAINING PORTION OF SUCH APPROPRIATION” TO INCREASE THE APPROPRIATION BY \$16,402,557 TO \$39,104,000 AND THE BOND AUTHORIZATION FROM \$21,585,123 TO \$37,987,680

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WHEREAS, on May 23, 2022, the Representative Town Meeting (“RTM”) of the Town of Fairfield, Connecticut (the “Town”) approved a resolution for an air conditioning upgrade project (the “Project”) entitled: “A RESOLUTION APPROPRIATING \$22,701,443 FOR THE COSTS ASSOCIATED WITH PHASE I OF THE AIR CONDITIONING UPGRADE PROJECT AT VARIOUS SCHOOLS, AUTHORIZING GRANTS TO REIMBURSE \$1,116,320 OF SUCH APPROPRIATION AND AUTHORIZING THE ISSUANCE OF BONDS TO FINANCE THE REMAINING PORTION OF SUCH APPROPRIATION” (the “Resolution”); and

WHEREAS, the Resolution included: i) an authorization to appropriate funds in the total amount of \$22,701,443, ii) an authorization to issue bonds in the amount of \$21,585,123 to fund the Project; and iii) an authorization to reimburse the balance of the appropriation in the amount of \$1,116,320 with grant funds (the “Grant Funds”); and

WHEREAS, due to overall increased costs of the Project, the cost of the Project will be \$16,402,557 more than originally anticipated for a total cost of \$39,104,000; and

WHEREAS, the Town seeks to: i) increase the total appropriation for the Project from \$22,701,443 to \$39,104,000 (the “Amended Appropriation”), ii) increase the bond authorization for the Project from \$21,585,123 to \$37,987,680 (the “Amended Bond Authorization”); and iii) authorize the Grant Funds to reimburse the balance of the appropriation (the “Grant Authorization”); and

WHEREAS, it is necessary for the Town to amend and restate the Resolution to reflect the Amended Appropriation, the Amended Bond Authorization and the Grant Authorization; and

NOW THEREFORE, BE IT RESOLVED, that the Resolution is hereby amended and restated to provide as follows:

1. As recommended by the Board of Selectmen and the Board of Finance, the Town of Fairfield appropriates Thirty-Nine Million One Hundred Four Thousand and 00/100 (\$39,104,000) Dollars to fund Phase I of the Air Conditioning Upgrade Project at North Stratfield Elementary School, Osborn Hill Elementary School and Fairfield Woods

Middle School, for costs associated with completing the air-conditioning systems, including, but not limited to, planning, equipment, installation, including all alterations, repairs and improvements in connection therewith, as well as, all administrative, financing, legal, contingency and other soft costs related thereto (the "Project").

2. The First Selectman is hereby authorized and directed to negotiate and accept the terms of federal grants received by the Town and the Town's Board of Education through the American Rescue Plan Act, as previously approved by the Town boards, in the amount of One Million One Hundred Sixteen Thousand Three Hundred Twenty and 00/100 (\$1,116,320) Dollars to fund a portion of the Project (collectively, the "Grants"). The First Selectman is also hereby authorized to enter into, on behalf of the Town, agreements for the Grants or other document memorializing the terms of the Grants and to take all action necessary or reasonably required to carry out, give effect and consummate such Grants including executing on behalf of the Town such documents, agreements, contracts and certificates as deemed to be necessary or advisable by the First Selectman.
3. As recommended by the Board of Finance and the Board of Selectmen, the Town shall borrow a sum not to exceed Thirty-Seven Million Nine Hundred Eighty-Seven Thousand Six Hundred Eighty and 00/100 (\$37,987,680) Dollars and issue bonds for such indebtedness under its corporate name and seal and upon the full faith and credit of the Town in an amount not to exceed said sum for the purpose of financing the portion of the appropriation for the Project not paid for by the Grants.
4. The Board of Selectmen, the Treasurer and the Chief Fiscal Officer of the Town are hereby appointed a committee (the "Committee") with full power and authority to cause said bonds to be sold, issued and delivered; to determine their form and terms, including provisions for redemption prior to maturity; to determine the aggregate principal amount thereof within the amount hereby authorized and the denominations and maturities thereof; to fix the time of issue of each series thereof and the rate or rates of interest thereon as herein provided; to determine whether the interest rate on any series will be fixed or variable and to determine the method by which the variable rate will be determined, the terms of conversion, if any, from one interest rate mode to another or from fixed to variable; to set whatever other terms of the bonds they deem necessary, desirable or appropriate; to designate the bank or trust company to certify the issuance thereof and to act as transfer agent, paying agent and as registrar for the bonds, and to designate bond counsel. The Committee shall have all appropriate powers under the Connecticut General Statutes, as amended (the "Statutes") including Chapter 748 (Registered Public Obligations Act), and Chapter 109 (Municipal Bond Issues) to issue, sell and deliver the bonds and, further, shall have full power and authority to do all that is required under the Internal Revenue Code of 1986, as amended, and under rules of the Securities and Exchange Commission, and other applicable laws and regulations of the United States, to provide for issuance of the bonds in tax exempt form and to meet all requirements which are or may become necessary in and subsequent to the issuance and delivery of the bonds in order that the interest on the bonds be and remain exempt from

Federal income taxes, including, without limitation, to covenant and agree to restriction on investment yield of bond proceeds, rebate of arbitrage earnings, expenditure of proceeds within required time limitations, the filing of information reports as and when required, and the execution of Continuing Disclosure Agreements for the benefit of the holders of the bonds and notes.

5. The First Selectman and Treasurer or Chief Fiscal Officer, on behalf of the Town, shall execute and deliver such bond purchase agreements, reimbursement agreements, line of credit agreement, credit facilities, remarketing agreement, standby marketing agreements, bond purchase agreement, standby bond purchase agreements, and any other commercially necessary or appropriate agreements which the Committee determines are necessary, appropriate or desirable in connection with or incidental to the sale and issuance of bonds, and if the Committee determines that it is necessary, appropriate, or desirable, the obligations under such agreements shall be secured by the Town's full faith and credit.
6. The First Selectman and Treasurer or Chief Fiscal Officer shall execute on the Town's behalf such interest rate swap agreements or similar agreements related to the bonds for the purpose of managing interest rate risk which the Committee determines are necessary, appropriate or desirable in connection with or incidental to the carrying or selling and issuance of the bonds, and if the Committee determines that it is necessary, appropriate or desirable, the obligations under such interest rate swap agreements shall be secured by the Town's full faith and credit.
7. The bonds may be designated "Public Improvement Bonds of the Town of Fairfield," series of the year of their issuance and may be issued in one or more series, and may be consolidated as part of the same issue with other bonds of the Town; shall be in serial form maturing in not more than twenty (20) annual installments of principal, the first installment to mature not later than three (3) years from the date of issue and the last installment to mature not later than twenty (20) years from the date of issuance or as otherwise provided by statute. The bonds may be sold at an aggregate sales price of not less than par and accrued interest at public sale upon invitation for bids to the responsible bidder submitting the bid resulting in the lowest true interest cost to the Town, provided that nothing herein shall prevent the Town from rejecting all bids submitted in response to any one invitation for bids and the right to so reject all bids is hereby reserved, and further provided that the Committee may sell the bonds on a negotiated basis, as provided by statute. Interest on the bonds shall be payable semi- annually or annually. The bonds shall be signed on behalf of the Town by at least a majority of the Board of Selectmen and the Treasurer, and shall bear the seal of the Town. The signing, sealing and certification of the bonds may be by facsimile as provided by statute.
8. The Committee is further authorized to make temporary borrowings as authorized by the Statutes and to issue temporary notes of the Town in anticipation of the receipt of proceeds from the sale of the bonds to be issued pursuant to this resolution or in

anticipation of the receipt of the Grants. Such notes shall be issued and renewed at such time and with such maturities, requirements and limitations as provided by the Statutes. Notes evidencing such borrowings shall be signed by the First Selectman and Treasurer or the Chief Fiscal Officer, have the seal of the Town affixed, which signing and sealing may be by facsimile as provided by statute, be certified by and payable at a bank or trust company incorporated under the laws of this or any other state, or of the United States, be approved as to their legality by bond counsel, and may be consolidated with the issuance of other Town bond anticipation notes. The Committee shall determine the date, maturity, interest rates, form and manner of sale, including negotiated sale, and other details of said notes consistent with the provisions of this resolution and the Statutes and shall have all powers and authority as set forth above in connection with the issuance of bonds and especially with respect to compliance with the requirements of the Internal Revenue Code of 1986, as amended, and regulations thereunder in order to obtain and maintain issuance of the notes in tax exempt form.

9. Pursuant to Section 1.150-2, as amended, of the Federal Income Tax Regulations the Town hereby declares its official intent to reimburse expenditures (if any) paid for the Project from its General or Capital Funds, such reimbursement to be made from the proceeds of the sale of bonds and notes authorized herein and in accordance with the time limitations and other requirements of said regulations.
10. The First Selectman, the Chief Fiscal Officer and Town Treasurer are hereby authorized, on behalf of the Town, to enter into agreements or otherwise covenant for the benefit of bondholders to provide information on an annual or other periodic basis to the Municipal Securities Rulemaking Board (the "MSRB") and to provide notices to the MSRB of material events as enumerated in Securities and Exchange Commission Exchange Act Rule 15c2-12, as amended, as may be necessary, appropriate or desirable to effect the sale of the bonds and notes authorized by this resolution.
11. The Committee is hereby authorized to take all action necessary and proper for the sale, issuance and delivery of the bonds and notes in accordance with the provisions of the Statutes and the laws of the United States.
12. The First Selectman or other proper Town official is authorized to apply for and accept any available State or Federal grant, in addition to the Grants as defined in paragraph 2 herein, in aid of the financing of the Project, and to take all action necessary and proper in connection therewith. Any such grants or contribution received prior to the issuance of the Bonds authorized herein shall be applied to the costs of the Project or to pay at maturity the principal of any outstanding bond anticipation notes issued pursuant this resolution and shall reduce the amount of the Bonds that can be issued pursuant to this resolution. If such grants and contributions are received after the issuance of the Bonds, they shall be applied to pay the principal on the Bonds or as otherwise authorized by the Board of Selectmen, Board of Finance and Representative Town Meeting provided such application does not adversely affect the tax-exempt status of the Bonds or the Town's receipt of such grant or contribution.

# Town of Fairfield

## HVAC IAQ - North Stratfield - Fairfield Woods - Osborn Hill

### Summary of Total Project Budgets

Date: **November 20, 2023**

\$(000) except \$/GSF

		North Stratfield	Fairfield Woods	Osborn Hill	Total
	HVAC Upgrades				
	Square footage	47,920	77,515	32,886	
I.	Building Construction	\$ 9,804.7	\$ 15,484.8	\$ 7,596.5	\$ 32,886.0
II.	Related Construction	w/ construction	w/ construction	w/ construction	
III.	Escalation	w/ construction	w/ construction	w/ construction	
	<b>Total Construction - Gilbane</b>	<b>\$ 9,804.7</b>	<b>\$ 15,484.8</b>	<b>\$ 7,596.5</b>	<b>\$ 32,886.0</b>
IV.	Furniture, Fixtures & Equipment (FF&E)	\$ 50.0	\$ 60.0	\$ 40.0	\$ 150.0
V.	Fees and Expenses	\$ 875.0	\$ 985.3	\$ 691.7	\$ 2,552.1
VI.	Contingency	\$ 830.6	\$ 1,291.0	\$ 644.3	\$ 2,765.9
VII.	Hazardous Materials Abatement Allowance	\$ 250.0	\$ 250.0	\$ 250.0	\$ 750.0
	<b>Total Project</b>	<b>\$ 11,810.4</b>	<b>\$ 18,071.2</b>	<b>\$ 9,222.5</b>	<b>\$ 39,104.0</b>
	Allocated / Available Funding	\$ 9,404.8	\$ 7,344.0	\$ 5,952.6	\$ 22,701.4
	<b>Variance</b>	<b>\$ 2,405.5</b>	<b>\$ 10,727.2</b>	<b>\$ 3,269.9</b>	<b>\$ 16,402.6</b>

Notes:

1. Financing and Bond Costs are included, based on 52K/11M
2. Construction Budget based on Gilbane Building Company Construction Documents Estimate
3. Allocated/Available funding approved at May 23, 2022 RTM Meeting

DRAFT BUDGET

# PROJECT BUDGET



Project Leaders

## Town of Fairfield North Stratfield - HVAC Upgrades

### Total Project Budget

Date: **November 20, 2023**

Project Budget 11/20/2023	
\$(000) except \$/GSF	
New Construction GSF	
Renovation GSF	
<b>Total GSF</b>	<b>47,920</b>
New Construction \$/GSF - Current	\$ -
Renovation \$/GSF - Current	\$ -
New Construction \$/GSF - Escalated	\$ -
Renovation \$/GSF - Escalated	\$ -
Total Construction w/ site \$/GSF	\$ 204.61
<b>Total Project \$/GSF</b>	<b>\$ 241.24</b>
<b>I. Building Construction</b>	
A. New Building Construction	\$ 9,804.7
B. Existing Building Renovations	\$ -
C. Other Construction	
<b>Total Building Construction</b>	<b>9,804.7</b>
<b>II. Related Construction</b>	
A. Sitework	w/ construction
1 Earthwork / Site Prep	-
2 Exterior Improvements	
a. Paving - Asphalt / Concrete / Other	-
b. Sidewalks / Paths	-
c. Wetlands Mitigation	-
d. Landscape & Planting	-
e. Athletic / Recreational Surfaces	-
f. Fencing / Gates	-
g. Retaining Walls	-
h. Misc Site Improvements	-
B. Site Utility Systems	
1 Water & Wells	-
a. Fire Protection	-
2 Sanitary Sewage	-
3 Storm Drainage	-
4 Gas	-
5 Steam	-
6 Chilled Water	-
7 Electric	-
8 Data & Communications	-
9 Site Lighting	-
<b>Total Site Construction</b>	<b>-</b>
C. Building Demolition	-
D. Hazardous Materials Removal	-
E. Sustainable Elements	
1 Solar Panels / PV Array	-
2 Wind Power Generation	-
3 Geothermal Wells	-
4 Rain Garden	-
5 Waste Water Treatment Plants	-
F. GC / CM Mark-ups	w/ construction
<b>Total Related Construction</b>	<b>-</b>
<b>Subtotal Construction - Current \$</b>	<b>9,804.7</b>
<b>III. Escalation (2024 Construction)</b>	w/ construction
<b>Total Construction - Escalated</b>	<b>\$ 9,804.7</b>
<b>IV. Furniture, Fixtures &amp; Equipment (FF&amp;E)</b>	
A. Loose Furnishings	-
B. Program Related Equipment	-
C. Data / Telecomm Equipment	10.0
1. Cabling / Wall Jack / Devices	w/ construction
D. Audio/Visual Equipment	40.0
E. Security Equipment	-
1. Cabling / Wall Jack / Devices	w/ construction
F. Specialty Signage	-
<b>Total FF &amp; E</b>	<b>\$ 50.0</b>

# PROJECT BUDGET



Project Leaders

## Town of Fairfield North Stratfield - HVAC Upgrades

### Total Project Budget

Date: November 20, 2023

\$(000) except \$/GSF		Project Budget 11/20/2023
<b>V. Fees and Expenses</b>		
<b>A. Fees</b>		
1 Existing Conditions & Space Program		-
2 Architect		339.6
a Civil Engineering		w/ architect
b Landscape Architect		w/ architect
c Structural Engineering		w/ architect
d MEP/FP Engineering		w/ architect
e Interior / Furniture Designer		w/ architect
f Lighting Consultant		w/ architect
g Acoustical Consultant		w/ architect
h Signage Consultant		w/ architect
i LEED Designer		w/ architect
j Referendum Services		w/ architect
k Code Consultant		w/ architect
l Designer's Cost Estimator		w/ architect
3 Special Consultants		
a Haz. Mat. Consultant		100.0
b Audio / Visual		w/ architect
c Technology / Security Systems Design		w/ architect
d Geo-Tech Engineering		-
e Traffic Engineer		-
f Ecologist / Soil Sample		-
g Peer Reviews		-
h Green Building Consultant		w/ architect
i Storm Water Monitoring		-
4 Project Management		116.9
5 Building Commissioning		49.0
6 Owner's Cost Estimator		-
7 CM Preconstruction Fee		34.5
8 Owner's Legal Fees		5.0
9 Site Survey		-
10 Utility Assessment		25.0
Sub-total Fees		670.0
<b>B. Expenses</b>		
1 Owner's Insurance		14.7
2 Permits		2.5
a. Building		w/ Construction
b. Town / Site		-
3 Printing		1.5
4 Construction Utilities Use		w/ Construction
5 Site Borings		-
6 Materials Testing		10.0
7 Special Inspections		5.0
8 Consultant Reimbursables		5.0
9 Moving / Relocation		75.0
10 Temporary Space / Operations		-
11 Advertising		2.0
12 Physical Plant Expenses		20.0
13 Misc. Expenses		25.0
14 Financing Costs / Bond Origination		44.3
15 Site Acquisition		-
a. Real Estate Fees		-
b. Closing Costs		-
Sub-total Expenses		205.0
<b>Total Fees and Expenses</b>		<b>875.0</b>
<b>V. Contingency</b>		
A. Construction		294.1
B. Owner's Project		536.5
<b>Total Contingency</b>		<b>830.6</b>
<b>Total Project</b>		<b>\$ 11,560.4</b>
Construction Cost vs. Total Project Cost		85%
Soft Cost vs. Total Project Cost		15%

# PROJECT BUDGET



Project Leaders

## Town of Fairfield Fairfield Woods - HVAC Upgrades

### Total Project Budget

Date: **November 20, 2023**

Project Budget 11/20/2023	
\$(000) except \$/GSF	
New Construction GSF	
Renovation GSF	
<b>Total GSF</b>	<b>77,515</b>
New Construction \$/GSF - Current	\$ -
Renovation \$/GSF - Current	\$ -
New Construction \$/GSF - Escalated	\$ -
Renovation \$/GSF - Escalated	\$ -
Total Construction w/ site \$/GSF	\$ 199.77
<b>Total Project \$/GSF</b>	<b>\$ 229.91</b>
<b>I. Building Construction</b>	
A. New Building Construction	\$ 15,484.8
B. Existing Building Renovations	\$ -
C. Other Construction	
<b>Total Building Construction</b>	<b>15,484.8</b>
<b>II. Related Construction</b>	
A. Sitework	w/ construction
1 Earthwork / Site Prep	-
2 Exterior Improvements	
a. Paving - Asphalt / Concrete / Other	-
b. Sidewalks / Paths	-
c. Wetlands Mitigation	-
d. Landscape & Planting	-
e. Athletic / Recreational Surfaces	-
f. Fencing / Gates	-
g. Retaining Walls	-
h. Misc Site Improvements	-
B. Site Utility Systems	
1 Water & Wells	-
a. Fire Protection	-
2 Sanitary Sewage	-
3 Storm Drainage	-
4 Gas	-
5 Steam	-
6 Chilled Water	-
7 Electric	-
8 Data & Communications	-
9 Site Lighting	-
<b>Total Site Construction</b>	-
C. Building Demolition	-
D. Hazardous Materials Removal	-
E. Sustainable Elements	
1 Solar Panels / PV Array	-
2 Wind Power Generation	-
3 Geothermal Wells	-
4 Rain Garden	-
5 Waste Water Treatment Plants	-
F. GC / CM Mark-ups	w/ construction
<b>Total Related Construction</b>	-
<b>Subtotal Construction - Current \$</b>	<b>15,484.8</b>
<b>III. Escalation (2024 Construction)</b>	
<b>Total Construction - Escalated</b>	<b>w/ construction \$ 15,484.8</b>
<b>IV. Furniture, Fixtures &amp; Equipment (FF&amp;E)</b>	
A. Loose Furnishings	-
B. Program Related Equipment	-
C. Data / Telecomm Equipment	10.0
1. Cabling / Wall Jack / Devices	w/ construction
D. Audio/Visual Equipment	50.0
E. Security Equipment	-
1. Cabling / Wall Jack / Devices	w/ construction
F. Specialty Signage	-
<b>Total FF &amp; E</b>	<b>\$ 60.0</b>



# PROJECT BUDGET



Project Leaders

## Town of Fairfield Fairfield Woods - HVAC Upgrades

### Total Project Budget

Date: **November 20, 2023**

\$ (000) except \$/GSF		Project Budget 11/20/2023
<b>V. Fees and Expenses</b>		
<b>A. Fees</b>		
1 Existing Conditions & Space Program		-
2 Architect		317.5
a Civil Engineering		w/ architect
b Landscape Architect		w/ architect
c Structural Engineering		w/ architect
d MEP/FP Engineering		w/ architect
e Interior / Furniture Designer		w/ architect
f Lighting Consultant		w/ architect
g Acoustical Consultant		w/ architect
h Signage Consultant		w/ architect
i LEED Designer		w/ architect
j Referendum Services		w/ architect
k Code Consultant		w/ architect
l Designer's Cost Estimator		w/ architect
3 Special Consultants		
a Haz. Mat. Consultant		100.0
b Audio / Visual		w/ architect
c Technology / Security Systems Design		w/ architect
d Geo-Tech Engineering		-
e Traffic Engineer		-
f Ecologist / Soil Sample		-
g Peer Reviews		-
h Green Building Consultant		w/ architect
i Storm Water Monitoring		-
4 Project Management		171.5
5 Building Commissioning		77.4
6 Owner's Cost Estimator		-
7 CM Preconstruction Fee		50.5
8 Owner's Legal Fees		5.0
9 Site Survey		-
10 Utility Assessment		25.0
Sub-total Fees		746.9
<b>B. Expenses</b>		
1 Owner's Insurance		23.2
2 Permits		4.0
a. Building		w/ Construction
b. Town / Site		-
3 Printing		1.5
4 Construction Utilities Use		w/ Construction
5 Site Borings		-
6 Materials Testing		10.0
7 Special Inspections		5.0
8 Consultant Reimbursables		5.0
9 Moving / Relocation		75.0
10 Temporary Space / Operations		-
11 Advertising		2.0
12 Physical Plant Expenses		20.0
13 Misc. Expenses		25.0
14 Financing Costs / Bond Origination		67.7
15 Site Acquisition		-
a. Real Estate Fees		-
b. Closing Costs		-
Sub-total Expenses		238.4
<b>Total Fees and Expenses</b>		<b>985.3</b>
<b>V. Contingency</b>		
A. Construction		464.5
B. Owner's Project		826.5
<b>Total Contingency</b>		<b>1,291.0</b>
<b>Total Project</b>		<b>\$ 17,821.2</b>
Construction Cost vs. Total Project Cost		87%
Soft Cost vs. Total Project Cost		13%

# PROJECT BUDGET



Project Leaders

## Town of Fairfield Osborn Hill - HVAC Upgrades

### Total Project Budget

Date: **November 20, 2023**

Project Budget 11/20/2023	
\$(000) except \$/GSF	
New Construction GSF	
Renovation GSF	
<b>Total GSF</b>	<b>32,886</b>
New Construction \$/GSF - Current	\$ -
Renovation \$/GSF - Current	\$ -
New Construction \$/GSF - Escalated	\$ -
Renovation \$/GSF - Escalated	\$ -
Total Construction w/ site \$/GSF	\$ 230.99
<b>Total Project \$/GSF</b>	<b>\$ 272.84</b>
<b>I. Building Construction</b>	
A. New Building Construction	\$ 7,596.5
B. Existing Building Renovations	\$ -
C. Other Construction	
<b>Total Building Construction</b>	<b>7,596.5</b>
<b>II. Related Construction</b>	
A. Sitework	w/ construction
1 Earthwork / Site Prep	-
2 Exterior Improvements	
a. Paving - Asphalt / Concrete / Other	-
b. Sidewalks / Paths	-
c. Wetlands Mitigation	-
d. Landscape & Planting	-
e. Athletic / Recreational Surfaces	-
f. Fencing / Gates	-
g. Retaining Walls	-
h. Misc Site Improvements	-
B. Site Utility Systems	
1 Water & Wells	-
a. Fire Protection	-
2 Sanitary Sewage	-
3 Storm Drainage	-
4 Gas	-
5 Steam	-
6 Chilled Water	-
7 Electric	-
8 Data & Communications	-
9 Site Lighting	-
<b>Total Site Construction</b>	<b>-</b>
C. Building Demolition	-
D. Hazardous Materials Removal	-
E. Sustainable Elements	
1 Solar Panels / PV Array	-
2 Wind Power Generation	-
3 Geothermal Wells	-
4 Rain Garden	-
5 Waste Water Treatment Plants	-
F. GC / CM Mark-ups	w/ construction
<b>Total Related Construction</b>	<b>-</b>
<b>Subtotal Construction - Current \$</b>	<b>7,596.5</b>
<b>III. Escalation (2024 Construction)</b>	w/ construction
<b>Total Construction - Escalated</b>	<b>\$ 7,596.5</b>
<b>IV. Furniture, Fixtures &amp; Equipment (FF&amp;E)</b>	
A. Loose Furnishings	-
B. Program Related Equipment	-
C. Data / Telecomm Equipment	10.0
1. Cabling / Wall Jack / Devices	w/ construction
D. Audio/Visual Equipment	30.0
E. Security Equipment	-
1. Cabling / Wall Jack / Devices	w/ construction
F. Specialty Signage	-
<b>Total FF &amp; E</b>	<b>\$ 40.0</b>

# PROJECT BUDGET



Project Leaders

## Town of Fairfield Osborn Hill - HVAC Upgrades

### Total Project Budget

Date: **November 20, 2023**

\$(000) except \$/GSF		Project Budget 11/20/2023
<b>V. Fees and Expenses</b>		
<b>A. Fees</b>		
1 Existing Conditions & Space Program		-
2 Architect		241.3
a Civil Engineering		w/ architect
b Landscape Architect		w/ architect
c Structural Engineering		w/ architect
d MEP/FP Engineering		w/ architect
e Interior / Furniture Designer		w/ architect
f Lighting Consultant		w/ architect
g Acoustical Consultant		w/ architect
h Signage Consultant		w/ architect
i LEED Designer		w/ architect
j Referendum Services		w/ architect
k Code Consultant		w/ architect
l Designer's Cost Estimator		w/ architect
3 Special Consultants		
a Haz. Mat. Consultant		100.0
b Audio / Visual		w/ architect
c Technology / Security Systems Design		w/ architect
d Geo-Tech Engineering		-
e Traffic Engineer		-
f Ecologist / Soil Sample		-
g Peer Reviews		-
h Green Building Consultant		w/ architect
i Storm Water Monitoring		-
4 Project Management		70.3
5 Building Commissioning		38.0
6 Owner's Cost Estimator		-
7 CM Preconstruction Fee		20.7
8 Owner's Legal Fees		5.0
9 Site Survey		-
10 Utility Assessment		25.0
Sub-total Fees		500.3
<b>B. Expenses</b>		
1 Owner's Insurance		11.4
2 Permits		2.0
a. Building		w/ Construction
b. Town / Site		-
3 Printing		1.5
4 Construction Utilities Use		w/ Construction
5 Site Borings		-
6 Materials Testing		10.0
7 Special Inspections		5.0
8 Consultant Reimbursables		5.0
9 Moving / Relocation		75.0
10 Temporary Space / Operations		-
11 Advertising		2.0
12 Physical Plant Expenses		20.0
13 Misc. Expenses		25.0
14 Financing Costs / Bond Origination		34.6
15 Site Acquisition		-
a. Real Estate Fees		-
b. Closing Costs		-
Sub-total Expenses		191.4
<b>Total Fees and Expenses</b>		691.7
<b>V. Contingency</b>		
A. Construction		227.9
B. Owner's Project		416.4
<b>Total Contingency</b>		644.3
<b>Total Project</b>		\$ 8,972.5

Construction Cost vs. Total Project Cost  
Soft Cost vs. Total Project Cost

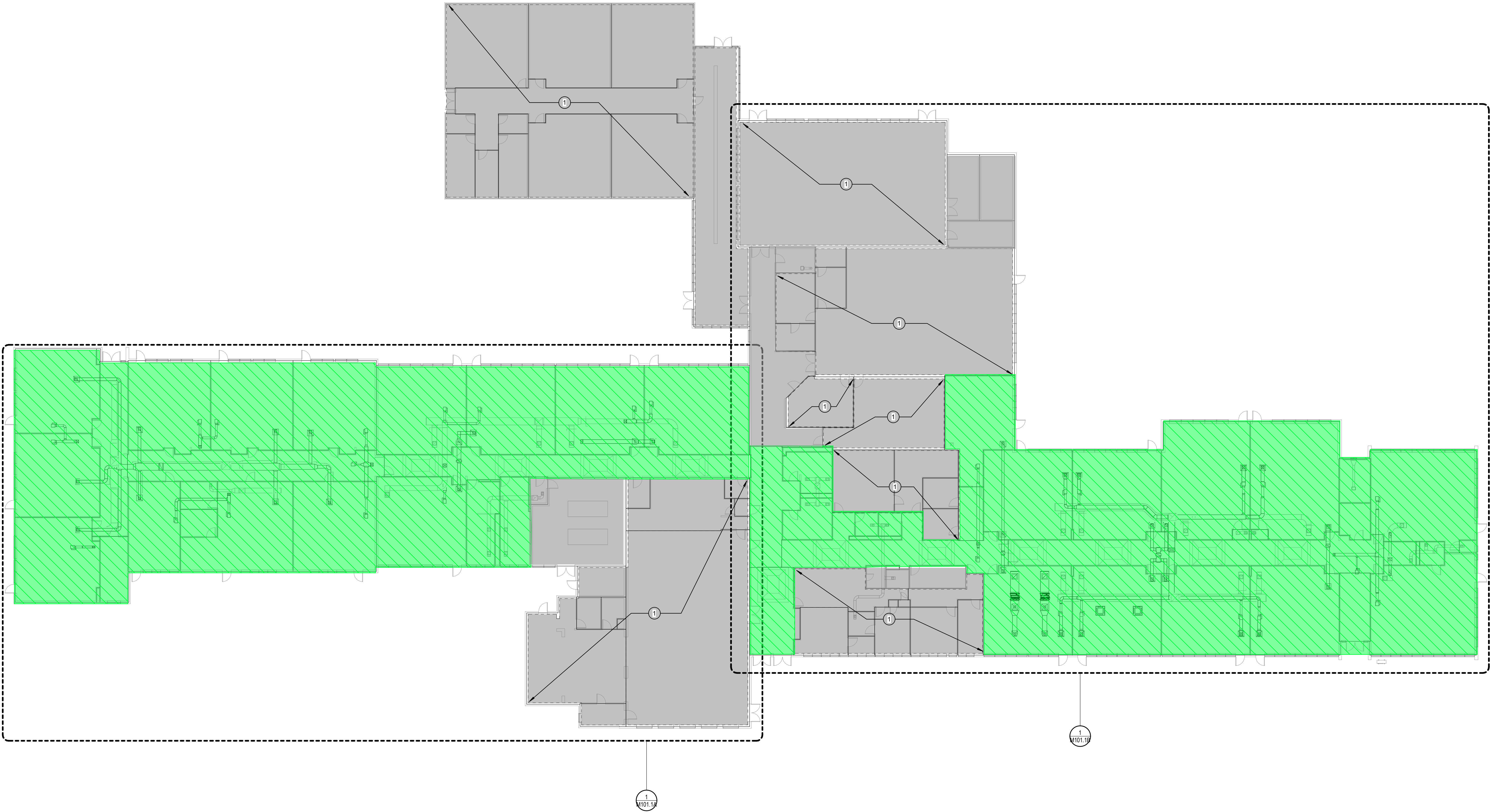
85%  
15%

**North Stratfield, Osborn Hill & Fairfield Woods HVAC Upgrades  
SD to CD Estimate Variance Summary**

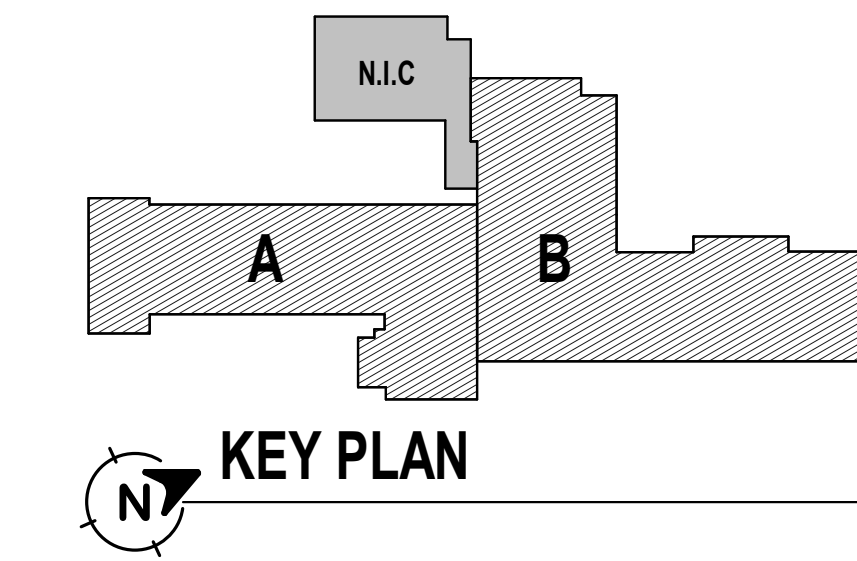
Trade Summary		North Stratfield Elementary School HVAC Upgrades			Fairfield Woods Middle School HVAC Upgrades			Osborn Hill Elementary School HVAC Upgrades			Total Costs			Variance Notes
Design Phase:		SD	CD	Variance	SD	CD	Variance	SD	CD	Variance	SD	CD	Overall Variance	
Work Area GSF:		54,544	47,920	-6,624	80,044	77,515	-2,529	32,846	32,886	40	167,434	158,321	-9,113	
MF	Description	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	
01	Site Services	\$379,875	\$377,615	(\$2,259.97)	\$545,383	\$595,686	\$50,302.94	\$227,432	\$256,210	\$28,778.03	\$1,152,690	\$1,229,511	\$76,821.00	Revised per schedule & scope changes
02	Existing Conditions	\$291,266	\$284,274	(\$6,992.00)	\$519,343	\$447,461	(\$71,882.00)	\$280,615	\$269,026	(\$11,589.00)	\$1,091,224	\$1,000,761	(\$90,463.00)	Overall area demolition assumption reductions
03	Concrete	\$26,108	\$73,528	\$47,420.00	\$54,964	\$49,792	(\$5,172.00)	\$23,679	\$72,421	\$48,742.00	\$104,751	\$195,741	\$90,990.00	Increased due to feeder routes and repairs required at new electrical rooms
04	Masonry	\$79,000	\$59,477	(\$19,523.00)	\$142,500	\$138,367	(\$4,133.00)	\$84,500	\$62,202	(\$22,298.00)	\$306,000	\$260,046	(\$45,954.00)	Added misc. metals allowances for supporting rooftop infrastructure (conduit, duct, pipe)
05	Metals	\$152,846	\$156,419	\$3,573.00	\$224,304	\$275,711	\$51,407.00	\$92,044	\$158,322	\$66,278.92	\$469,194	\$590,452	\$121,258.92	Added casework modifications for condensate pipe discharge
06	Wood, Plastics, & Composites	\$27,272	\$37,960	\$10,688.00	\$40,022	\$41,758	\$1,735.50	\$16,423	\$21,443	\$5,020.00	\$83,717	\$101,161	\$17,443.50	Additional rooftop supports requiring flashing/patching
07	Thermal & Moisture Protection	\$135,000	\$36,920	(\$98,080.00)	\$216,000	\$296,629	\$80,628.75	\$100,000	\$221,332	\$121,331.50	\$451,000	\$554,880	\$103,880.25	Additional doors to access new electrical rooms
08	Openings	\$5,500	\$11,000	\$5,500.00	\$5,500	\$18,500	\$13,000.00	\$5,500	\$11,000	\$5,500.00	\$16,500	\$40,500	\$24,000.00	Ceiling demolition & replace assumption reductions
09	Finishes	\$871,346	\$681,568	(\$189,777.65)	\$1,278,712	\$947,477	(\$331,234.99)	\$524,717	\$522,114	(\$2,602.65)	\$2,674,775	\$2,151,160	(\$523,615.29)	Toilet partitions requiring replacement for ductwork installation
10	Specialties	\$0	\$350	\$350.00	\$0	\$62,350	\$62,350.00	\$0	\$350	\$350.00	\$0	\$63,050	\$63,050.00	
11	Equipment	\$27,272	\$23,960	(\$3,312.00)	\$40,022	\$50,000	\$9,978.00	\$16,423	\$16,443	\$20.00	\$83,717	\$90,403	\$6,686.00	
12	Furnishings	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
13	Special Construction	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
14	Conveying Systems	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
21	Fire Suppression	\$201,084	\$177,900	(\$23,184.00)	\$300,094	\$288,643	(\$11,451.50)	\$121,091	\$121,231	\$140.00	\$622,269	\$587,774	(\$34,495.50)	Gas piping roof length increases compared to SD \$/SF alw.
22	Plumbing	\$70,750	\$115,236	\$44,486.00	\$113,828	\$162,044	\$48,216.00	\$42,606	\$69,260	\$26,654.00	\$227,184	\$346,540	\$119,356.00	Vendor quotes and quantity surveys vs. SD \$/SF alw.
23	Heating, Ventilating & AC	\$3,334,279	\$3,447,998	\$113,719.00	\$4,608,946	\$4,846,592	\$237,645.50	\$1,970,515	\$2,311,441	\$340,926.00	\$9,913,740	\$10,606,031	\$692,290.50	Vendor quotes and quantity surveys vs. SD \$/SF alw.
26/27/28	Electrical, Communications, Security	\$1,483,927	\$1,727,292	\$243,364.50	\$2,877,192	\$3,201,861	\$324,669.41	\$1,045,279	\$1,411,358	\$366,078.56	\$5,406,398	\$6,340,510	\$934,112.47	Additional site demo & repairs based on feeder routes
31/32/33	Site Construction	\$122,500	\$136,750	\$14,250.00	\$156,000	\$182,375	\$26,375.00	\$73,750	\$169,120	\$95,370.00	\$352,250	\$488,245	\$135,995.00	
<b>Total Trade Cost</b>		<b>\$7,208,025</b>	<b>\$7,348,247</b>	<b>\$140,221.88</b>	<b>\$11,122,810</b>	<b>\$11,605,245</b>	<b>\$482,434.61</b>	<b>\$4,624,573</b>	<b>\$5,693,273</b>	<b>\$1,068,699.36</b>	<b>\$22,955,409</b>	<b>\$24,646,764</b>	<b>\$1,691,355.85</b>	
Design / Estimating Contingency		\$1,081,204	\$551,119	(\$530,085.23)	\$1,668,422	\$870,393	(\$798,028.16)	\$693,686	\$426,995	(\$266,690.56)	\$3,443,311	\$1,848,507	(\$1,594,803.95)	Design contingency reduction
Escalation		\$391,526	\$315,975	(\$75,550.95)	\$604,169	\$499,026	(\$105,143.38)	\$251,198	\$244,811	(\$6,386.89)	\$1,246,892	\$1,059,811	(\$187,081.22)	Affected by trade costs and design contingency reduction
CM Contingency		\$310,845	\$294,142	(\$16,703.15)	\$477,287	\$464,544	(\$12,743.34)	\$198,193	\$227,895	\$29,702.05	\$986,325	\$986,581	\$255.56	Affected by trade costs and design contingency reduction
CM P&P Bond (.65%)		\$67,350	\$63,731	(\$3,619.02)	\$103,412	\$100,651	(\$2,761.06)	\$42,942	\$49,377	\$6,435.44	\$213,704	\$213,759	\$55.37	Affected by trade costs and design contingency reduction
General Liability (.997%)		\$103,304	\$97,753	(\$5,551.01)	\$158,619	\$154,384	(\$4,235.04)	\$65,866	\$75,737	\$9,870.98	\$327,789	\$327,874	\$84.93	Affected by trade costs and design contingency reduction
General Conditions - Studied		\$738,778	\$685,686	(\$53,091.87)	\$1,084,166	\$1,082,919	(\$1,247.07)	\$444,887	\$531,256	\$86,368.94	\$2,267,830	\$2,299,860	\$32,030.00	Revised per schedule & scope changes
Field Office Support - Studied		\$205,742	\$208,519	\$2,777.11	\$301,929	\$329,319	\$27,389.80	\$123,896	\$161,557	\$37,660.08	\$631,568	\$699,395	\$67,827.00	Revised per schedule & scope changes
Preconstruction Services - Studied		\$34,433	\$31,514	(\$2,919.34)	\$50,531	\$49,770	(\$760.80)	\$20,736	\$24,416	\$3,680.14	\$105,700	\$105,700	\$0.00	
CM Fee (2.1%)		\$217,591	\$205,899	(\$11,692.21)	\$334,101	\$325,181	(\$8,920.33)	\$138,735	\$159,526	\$20,791.43	\$690,428	\$690,606	\$178.89	Affected by trade costs and design contingency reduction
Building Permit - By Owner		\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
State Education Fee (\$5.26/\$1000)		\$2,694	\$2,136	(\$558.00)	\$4,136	\$3,373	(\$763.08)	\$1,718	\$1,655	(\$62.75)	\$8,548	\$7,164	(\$1,383.83)	Affected by trade costs and design contingency reduction
Builders Risk Insurance - Not Included		\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
<b>Total Construction Cost</b>		<b>\$10,361,491</b>	<b>\$9,804,719</b>	<b>(\$556,771.80)</b>	<b>\$15,909,582</b>	<b>\$15,484,805</b>	<b>(\$424,777.83)</b>	<b>\$6,606,430</b>	<b>\$7,596,498</b>	<b>\$990,068.23</b>	<b>\$32,877,503</b>	<b>\$32,886,022</b>	<b>\$8,518.60</b>	

OSBORN HILL

 SCOPE OF NEW HVAC WORK



1 OVERALL FIRST FLOOR MECHANICAL DUCTWORK PLAN  
1/16" = 1'-0"  
0 8' 16' 32'  
Scale: 1/16" = 1'-0"



REVISIONS		DESCRIPTION
NO	DATE	
Designed	RF/EX	
Drawn	EX	
Reviewed	J/RP	
Project No.:	2303053	
Date:	4/26/2023	
Issued for:	PROGRESS	

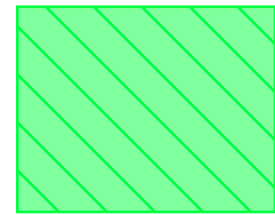
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OVERALL FIRST FLOOR  
MECHANICAL DUCTWORK  
PLAN

Sheet No.  
M101.1

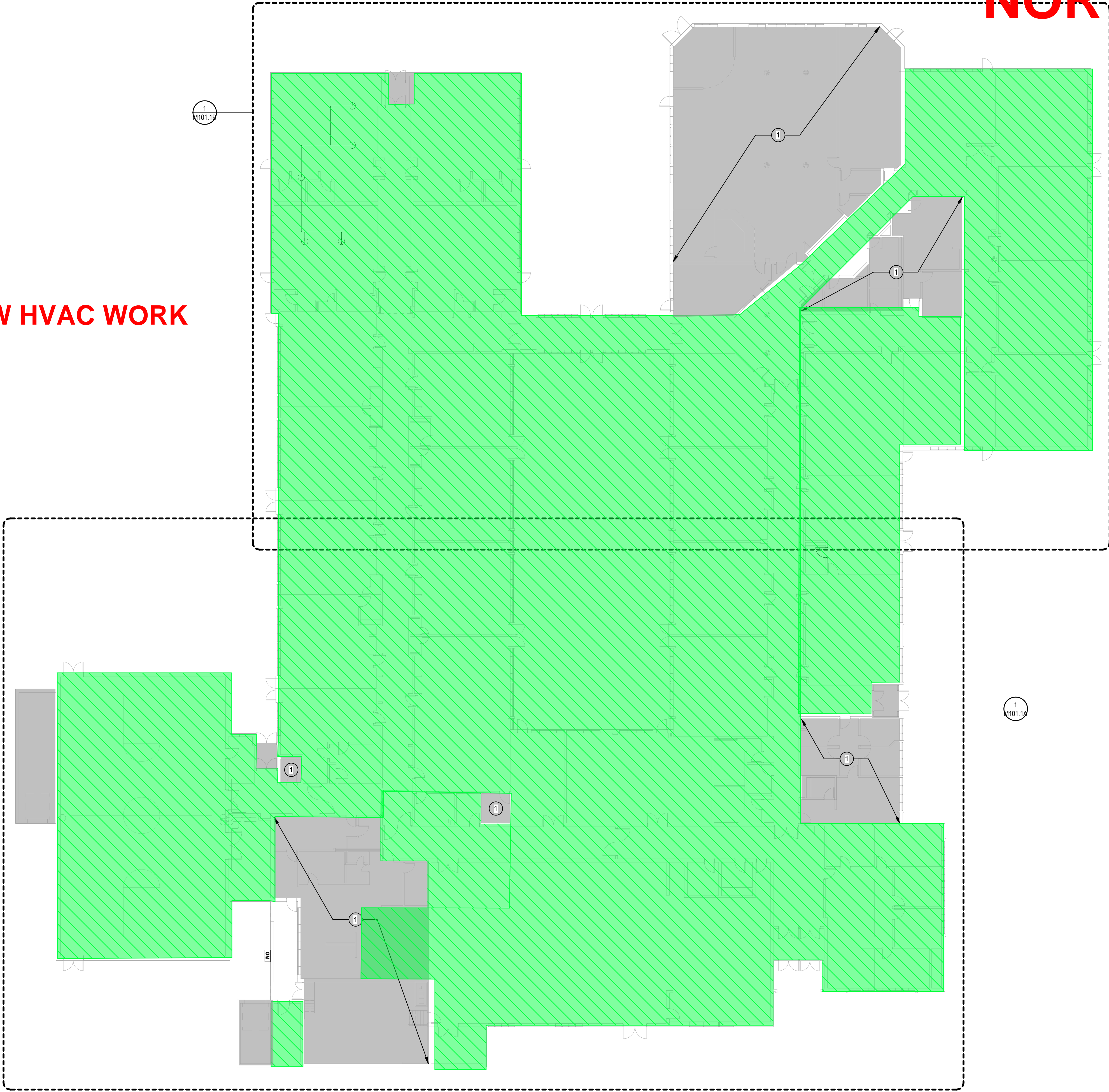


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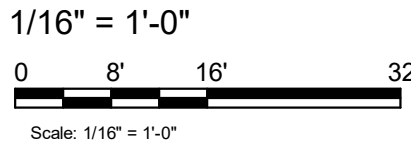
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SCOPE OF NEW HVAC WORK



1 OVERALL FIRST FLOOR MECHANICAL DUCTWORK PLAN



MECHANICAL GENERAL NOTES:

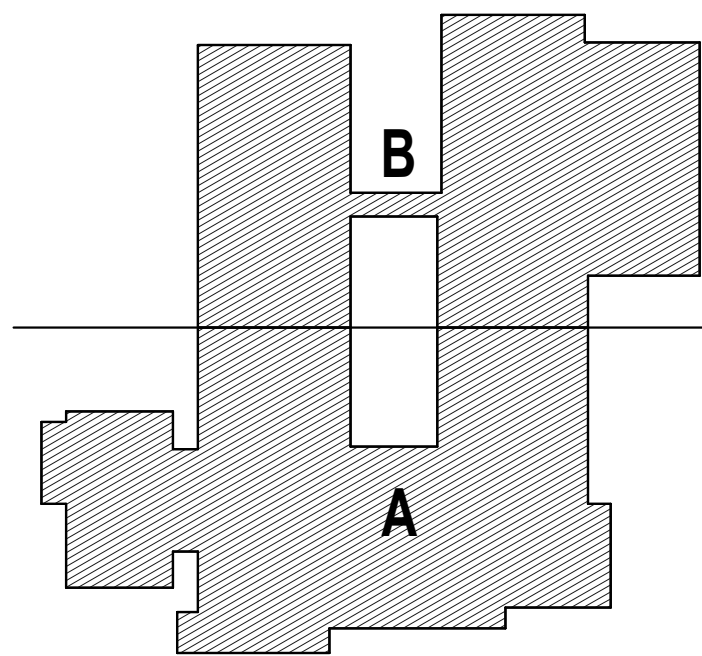
- ALL COMBINATION FIRE/SMOKE AND FIRE DAMPERS SHALL BE PROVIDED WITH DUCT ACCESS DOORS OF ADEQUATE SIZE TO PROVIDE SERVICE AND MAINTENANCE. WHERE THE DAMPERS ARE IN INACCESSIBLE LOCATIONS, COORDINATE THE LOCATIONS OF THE DAMPERS AND THEIR RESPECTIVE DUCT ACCESS DOORS WITH THE GENERAL CONTRACTOR TO PROVIDE ACCESS DOORS IN FINISHED SURFACES - MIN. 18\"X18\". WHERE THE CONSTRUCTION ASSEMBLY HAS A FIRE RATING, THE ACCESS DOORS SHALL BE RATED TO MATCH.
- PROVIDE CABLE OPERATED VOLUME DAMPERS (COV) AT ALL LOCATIONS WHERE THE DAMPER IS LOCATED BEHIND AN INACCESSIBLE ASSEMBLY. THE MECHANICAL CONTRACTOR SHALL COORDINATE THE LOCATION OF THE OPERATORS TO ALLOW FOR CONVENIENT OPERATION. INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL SIDEWALL VENT TERMINATIONS SHALL BE NO LESS THAN 3 FEET FROM ALL OPERABLE BUILDING OPENINGS. VERIFY DISTANCE IN FIELD. COORDINATE ALL SIDEWALL VENT LOCATIONS WITH ARCHITECT'S ELEVATIONS.
- PROVIDE NECESSARY LOW VOLTAGE WIRING, POWER SUPPLIES TO CONTROLLER, & TRANSFORMERS TO SUPPLY POWER TO THE REMOTE SENSORS AS REQUIRED BY MANUFACTURER.
- MOUNT THERMOSTATS AT 60\" AFF. ALLOW FOR A LOOP OF EXTRA WIRING TO ALLOW THE MOVEMENT OF THE THERMOSTAT TO 48\" AFF FOR FUTURE.
- ALL DUCTWORK SHALL BE RUN IN BETWEEN THE JOISTS (BJ) OR THROUGH THE JOISTS (TJ). COORDINATE ALL DUCTWORK WITH THE PIPING OF DIV. 21 & DIV. 22 AND THE ELEC. CONDUITS OF DIV. 26.
- UPON ALL VERTICAL AHU UNITS SHALL BE SECURED TO THE FINISHED WALL SURFACE. PROVIDE NEOPRENE TYPE BUSHINGS AT ALL MOUNTING POINTS. MOUNT UNITS IN ACCORDANCE WITH THE UNIT MANUFACTURER'S WRITTEN INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS.

MECHANICAL KEY NOTES:

(NOT ALL KEY NOTES APPEAR ON ALL SHEETS)

- PITCH CD 1/4\" PER FOOT IN DIRECTION OF FLOW. SIZE AS FOLLOWS: 3/4\" UP TO 2 TONS, 1\" UP TO 5 TONS, 1-1/4\" UP TO 30 TONS. WHERE PITCH IS LESS THAN ABOVE, INCREASE THE ABOVE VALUES ONE PIPE SIZE. PROVIDE INSULATION WHERE VAPOR BARRIER. REFER TO SPECS. FOR ADDITIONAL INFORMATION.
- RUN THE CONDENSATE DOWN TO A FLOOR DRAIN, MOP SINK OR INDIRECT SANITARY CONNECTION (REFER TO PLAN FOR DEVICE). RUN PIPING EXPOSED AND SECURE TO THE WALL. INSULATE PIPING CONSISTENT WITH PIPING CONVEYING FLUIDS THAT ARE BELOW AMBIENT TEMPERATURE. PROVIDE WITH A CONTINUOUS VAPOR BARRIER. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION. TERMINATE DRAIN OVER THE DEVICE AND MAINTAIN A MINIMUM 1\" AIR GAP PER CODE.
- RUN THE CONDENSATE DOWN TO APPROX. 6\" AFG AND RUN TO ATMOSPHERE. TERMINATE DISCHARGE WITH A 45\" ELB ANGLED DOWNWARD AND SPILL TO GRADE. RUN INDOOR PIPING EXPOSED AND SECURE TO THE WALL. INSULATE PIPING CONSISTENT WITH PIPING CONVEYING FLUIDS THAT ARE BELOW AMBIENT TEMPERATURE. PROVIDE WITH A CONTINUOUS VAPOR BARRIER. REFER TO SPECIFICATIONS FOR ADDITIONAL INFORMATION.
- THE MECHANICAL CONTRACTOR SHALL SIZE ALL REFRIGERANT (I.E. SUCTION, LIQUID, HOT GAS, ETC.) LINES IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS AND RECOMMENDATIONS. INSULATE ALL PIPING. REFER TO SPECS FOR ADDITIONAL INFO.
- SUSPEND EQUIPMENT ON GALV. THREADED STEEL WITH SPRING TYPE VIBRATION ISOLATORS. LOCATE RISERS AT ALL UNIT MOUNTING LOCATIONS IN ACCORDANCE WITH THE MANUF. WRITTEN INSTALLATION INSTRUCTIONS. ALL SUPPORTS SHALL BE SECURELY CONNECTED TO THE BUILDING STRUCTURAL STEEL. PROVIDE ADDITIONAL MISC. GALV. STEEL SUPPORTS TO ACCOMMODATE INSTALLATION AS REQUIRED. REFER TO DETAIL, ON THE M-SERIES DWGS.
- EXHAUST FAN MOUNTED ON ROOF ON A 18\" HIGH PRE-FAB. ALUMINUM CURB. REFER TO DETAIL, ON THE M-SERIES DWGS.

KEY PLAN



KEY PLAN

REVISIONS	NO	DATE	DESCRIPTION
Designed			RF/EX
Drawn			EK
Reviewed			JH/P
Project No.:			2300053
Date:			4/26/2023
Issued for:			PROGRESS

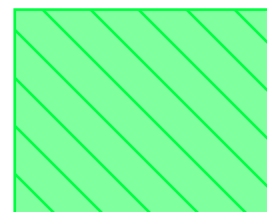
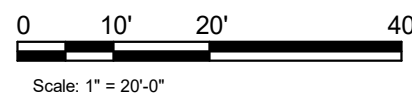
Title:  
OVERALL FIRST FLOOR  
MECHANICAL DUCTWORK  
PLAN

Sheet No.

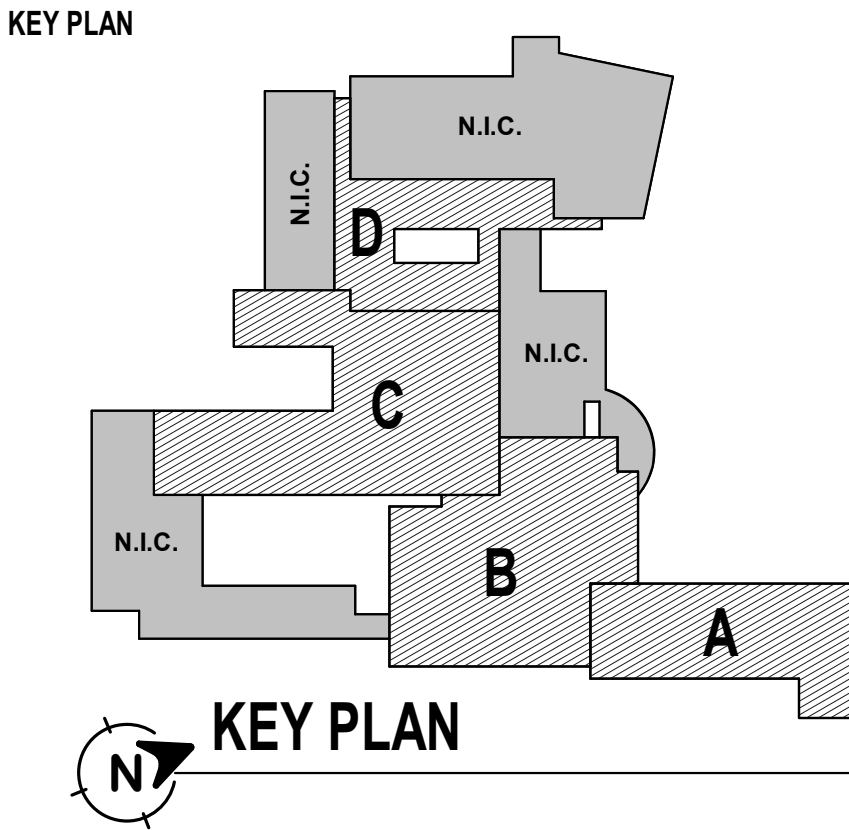
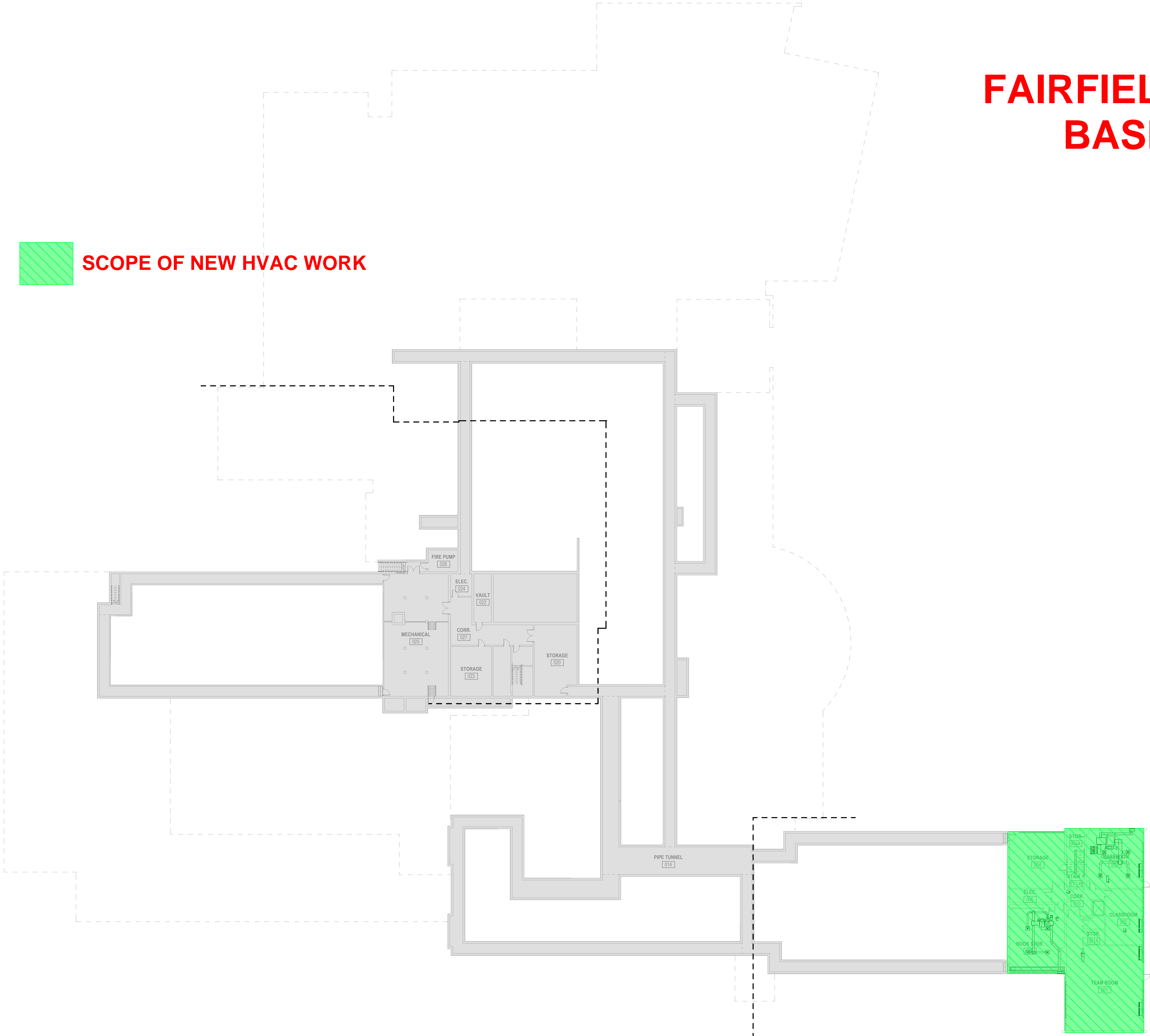
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1 OVERALL BASEMENT MECHANICAL DUCTWORK PLAN  
1" = 20'-0"



SCOPE OF NEW HVAC WORK



FAIRFIELD WOODS  
BASEMENT



355 Research Parkway  
Meriden, CT 06460  
(203) 635-1600  
(203) 635-2915 Fax

FAIRFIELD WOODS MIDDLE SCHOOL  
1115 FAIRFIELD WOODS ROAD  
FAIRFIELD, CT 06825

REVISIONS	NO	DATE	DESCRIPTION
Designed:			PRA
Drawn:			PRA
Reviewed:			JVP
Project No.:			200055
Date:			4/26/2023
Issued for:			PROGRESS

Title:  
OVERALL BASEMENT  
MECHANICAL DUCTWORK  
PLAN

Sheet No.

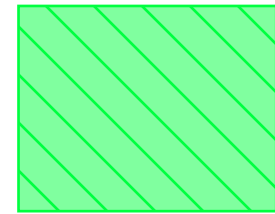
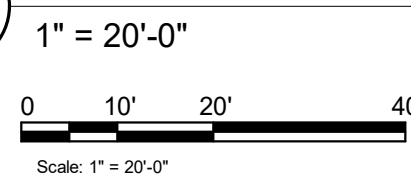
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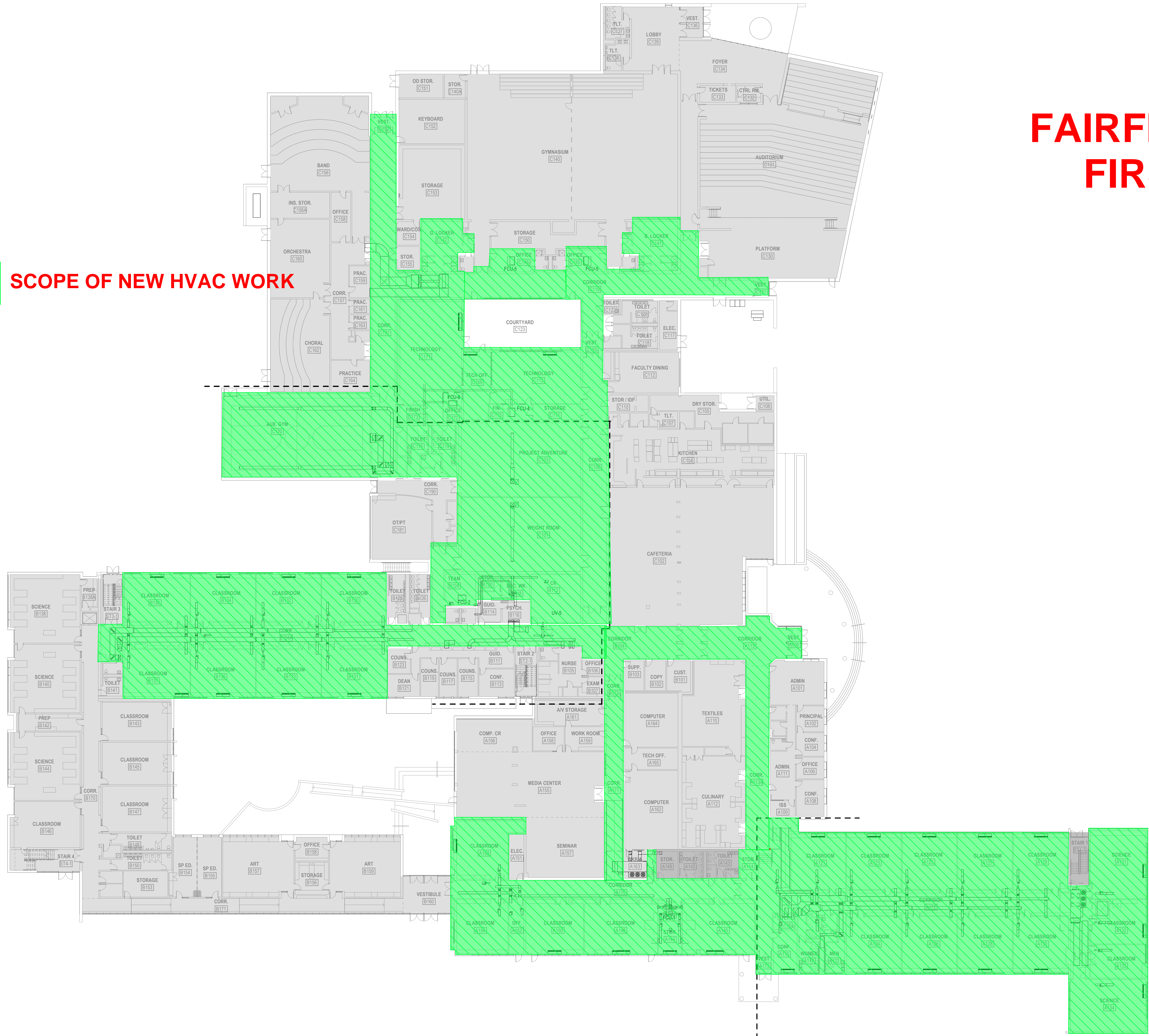
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OVERALL FIRST FLOOR MECHANICAL DUCTWORK PLAN

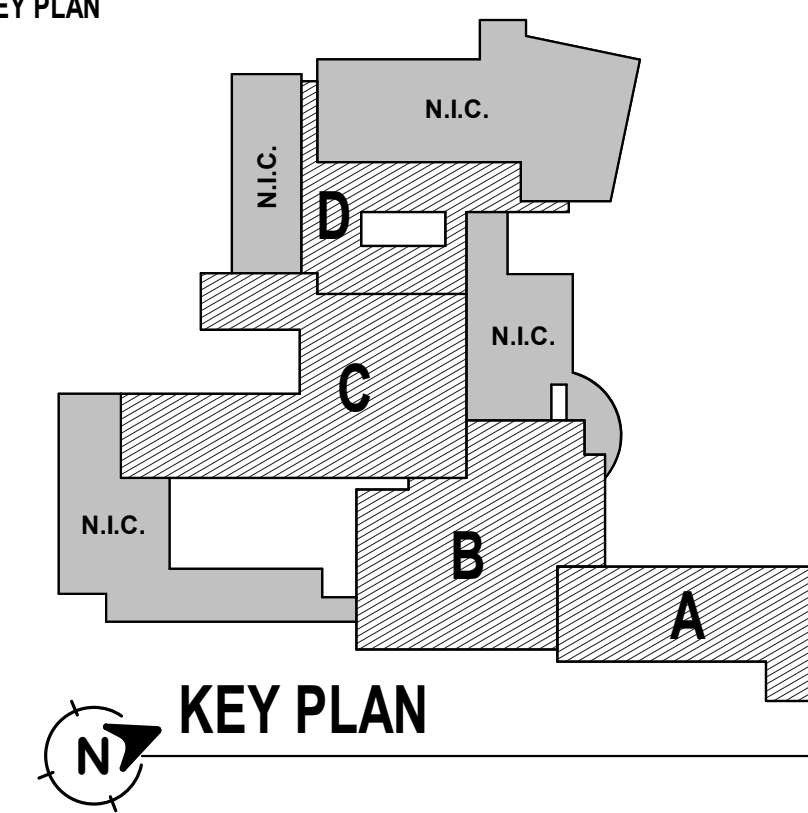


SCOPE OF NEW HVAC WORK



# FAIRFIELD WOODS FIRST FLOOR

KEY PLAN

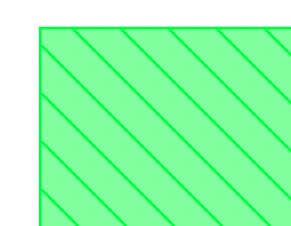




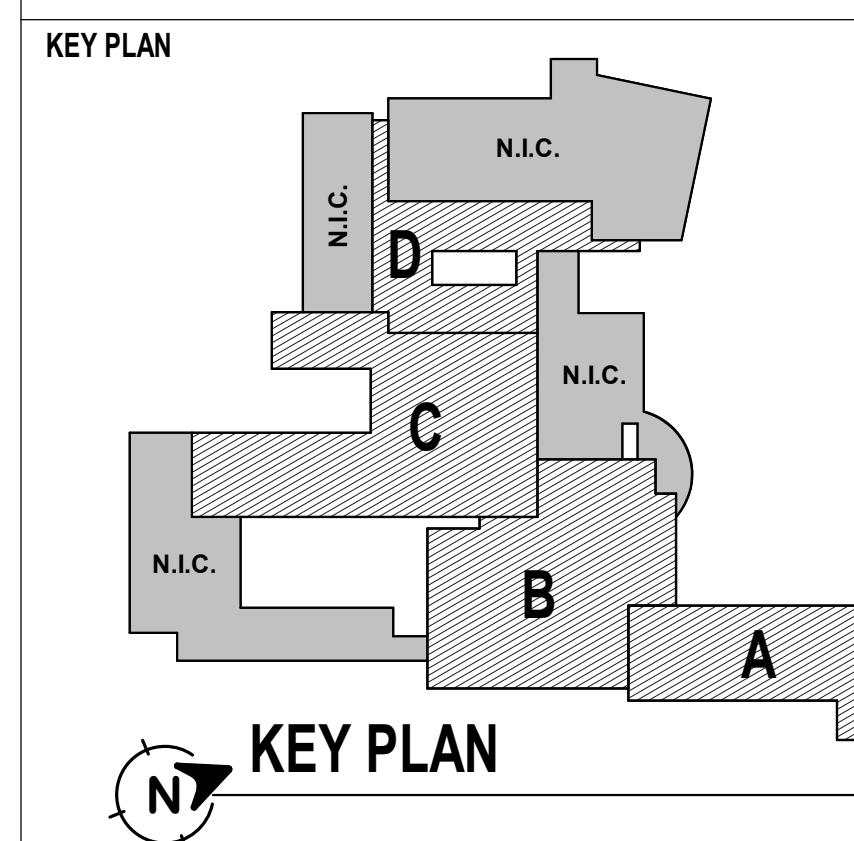
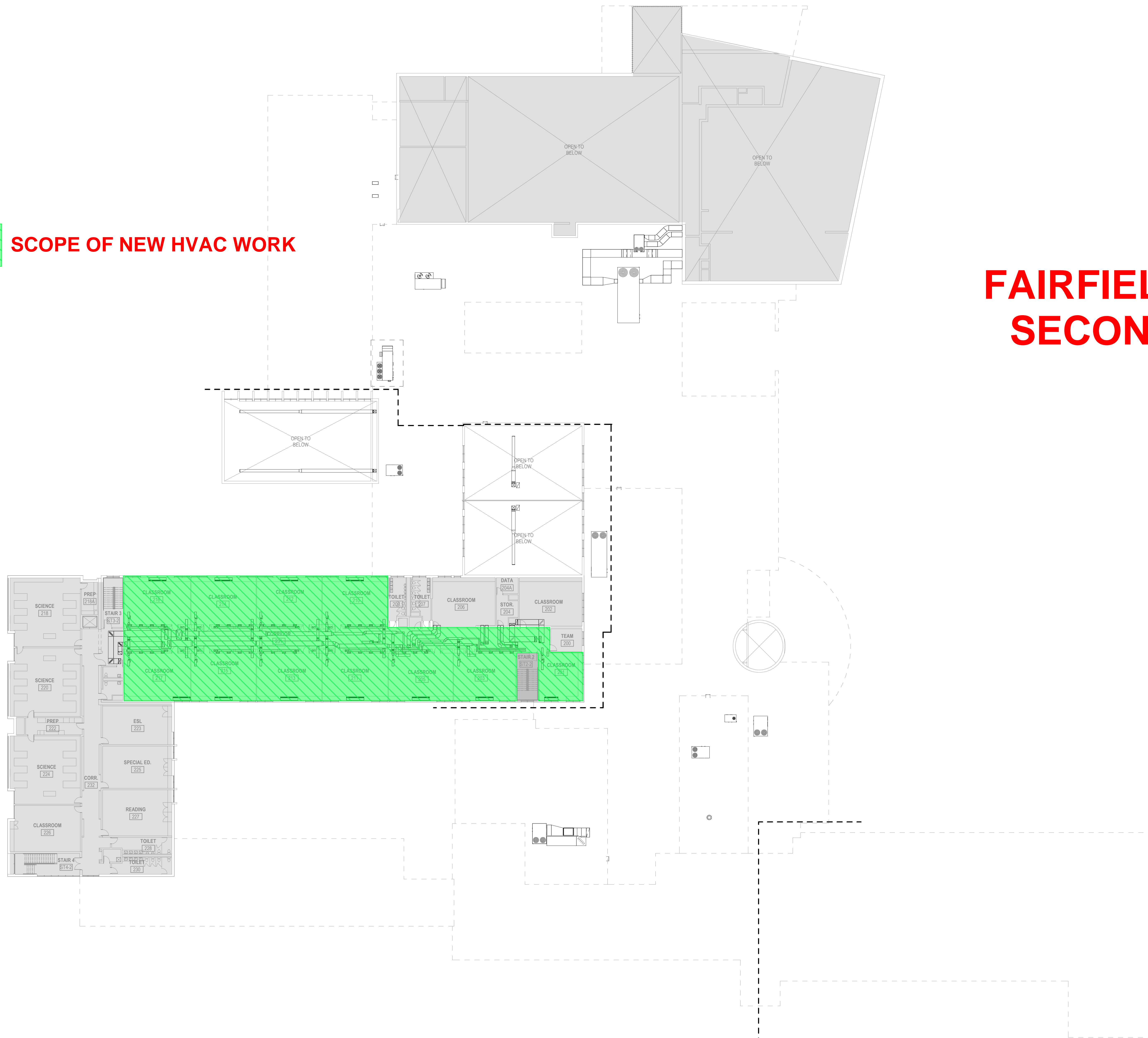
**FAIRFIELD WOODS MIDDLE SCHOOL**  
1115 FAIRFIELD WOODS ROAD  
FAIRFIELD, CT 06825

REVISED	NO	DATE	DESCRIPTION
Designed:			PRB
Drawn:			PRB
Reviewed:			JVR/MS
Project No.:		230005	
Date:		4/26/2002	
Issued for:			
PROGRESS			
Title:			
OVERALL SECOND FLOOR MECHANICAL DUCTWORK PLAN			
Sheet No:			

M101.2



## SCOPE OF NEW HVAC WORK



## 1 OVERALL SECOND FLOOR MECHANICAL DUCTWORK PLAN

0 10' 20' 40'

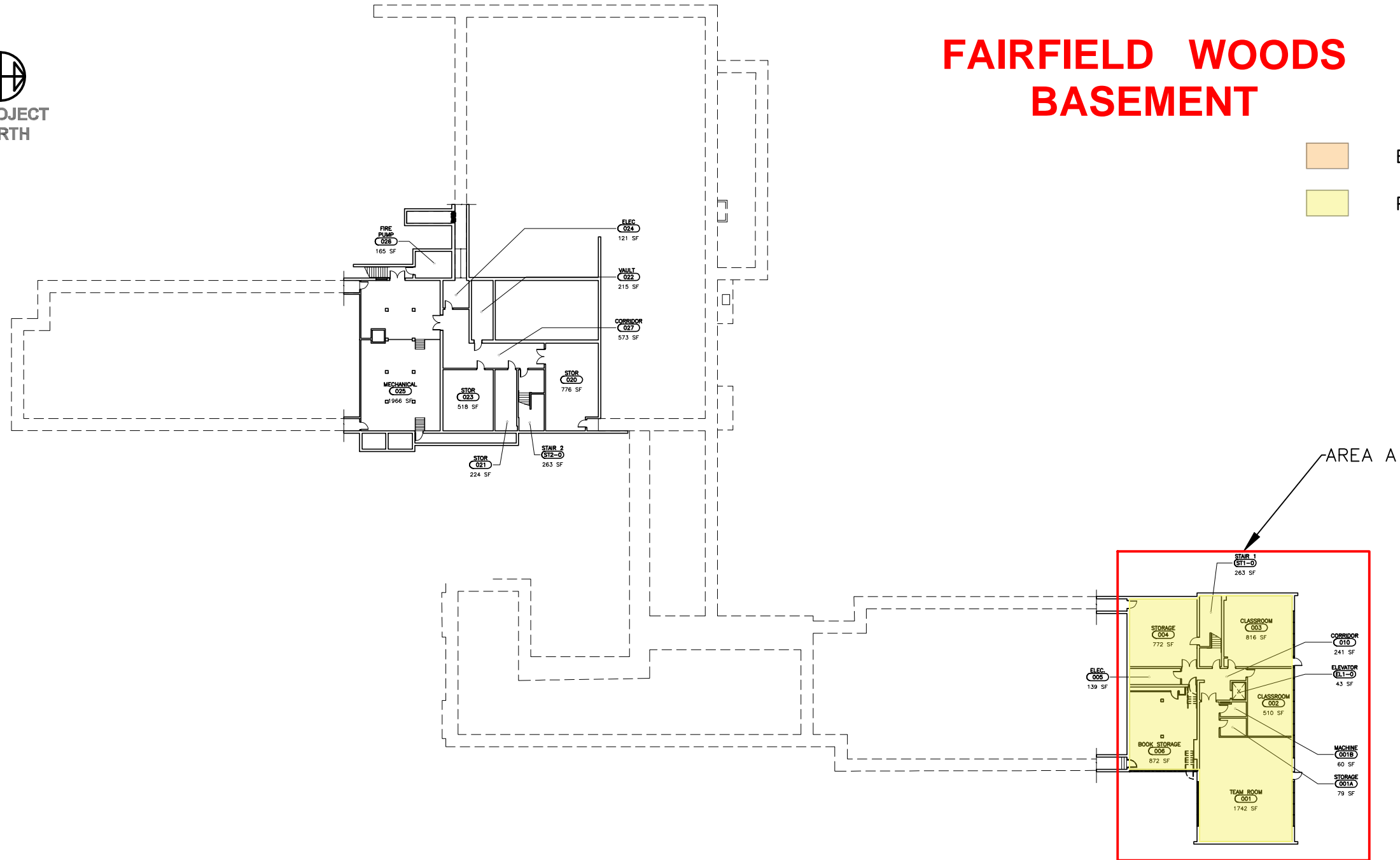
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**FAIRFIELD WOODS**  
**SHOWING ADDITIONAL AREAS OF SCOPE**



# FAIRFIELD WOODS BASEMENT

EXISTING A/C  
PROPOSED A/C



650 Central Avenue, Unit 3  
Sarasota, FL 34236  
Ph: 941 554 2035  
Fax: 203 234 7376  
www.teamdtc.com

DTC PROJECT NUMBER: 20-250  
DTC DRAWING FILE: ...Fairfield Woods LY  
SCALE: NTS DRAWN BY: AS  
DATE: 08-20-2021 CHECKED BY: GC

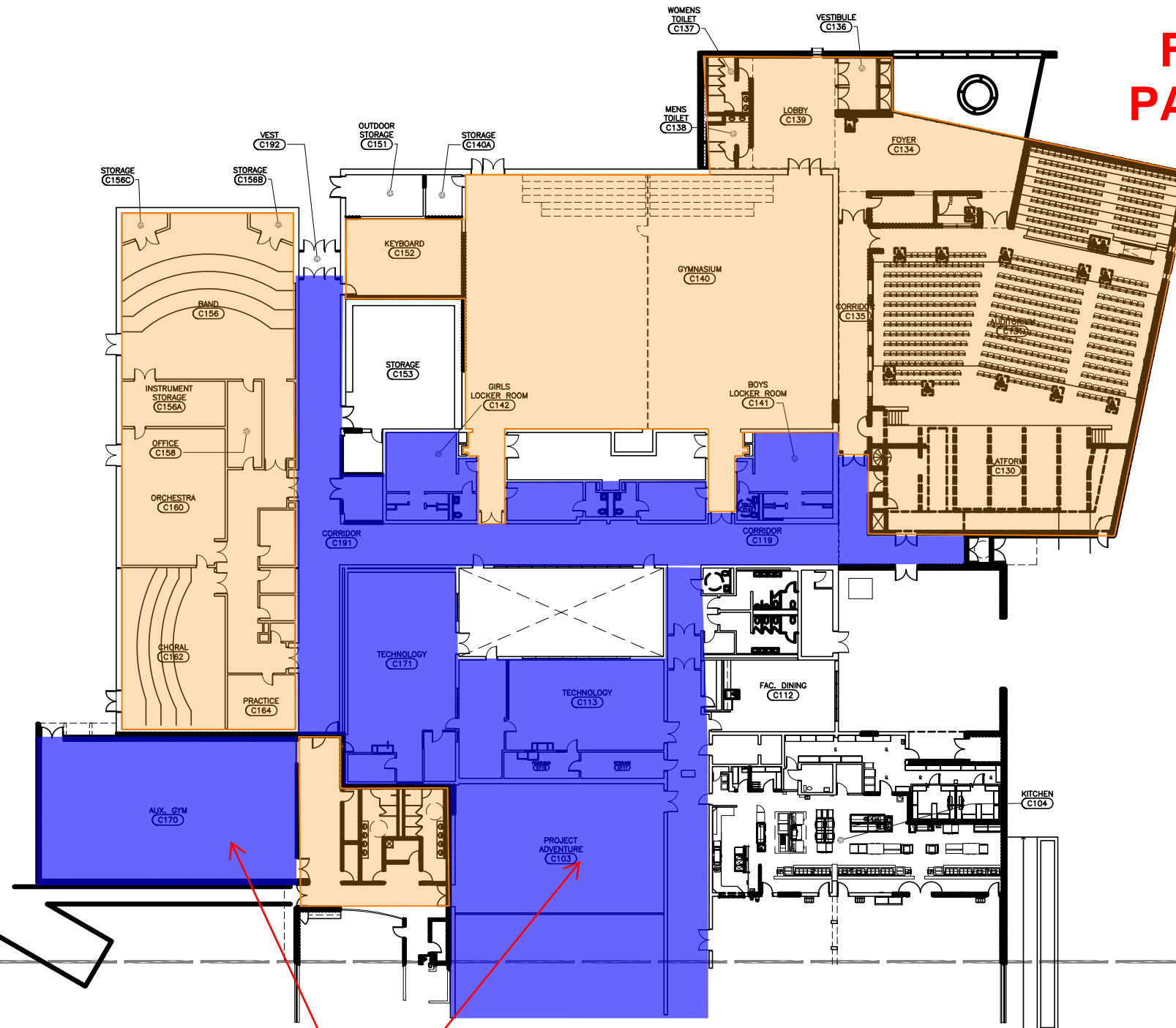
EXISTING BASEMENT PLAN  
FAIRFIELD WOODS

FAIRFIELD  
CONNECTICUT

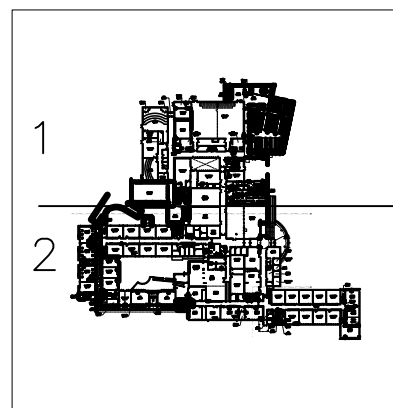



# FAIRFIELD WOODS PARTIAL FIRST FLOOR

EXISTING A/C  
PROPOSED A/C



DTC plans do not show anything for these areas. New AC and ventilation required. Approx 16,300 SF.

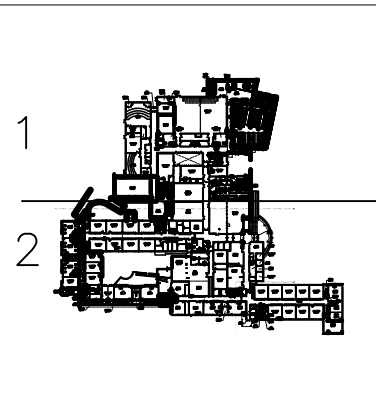
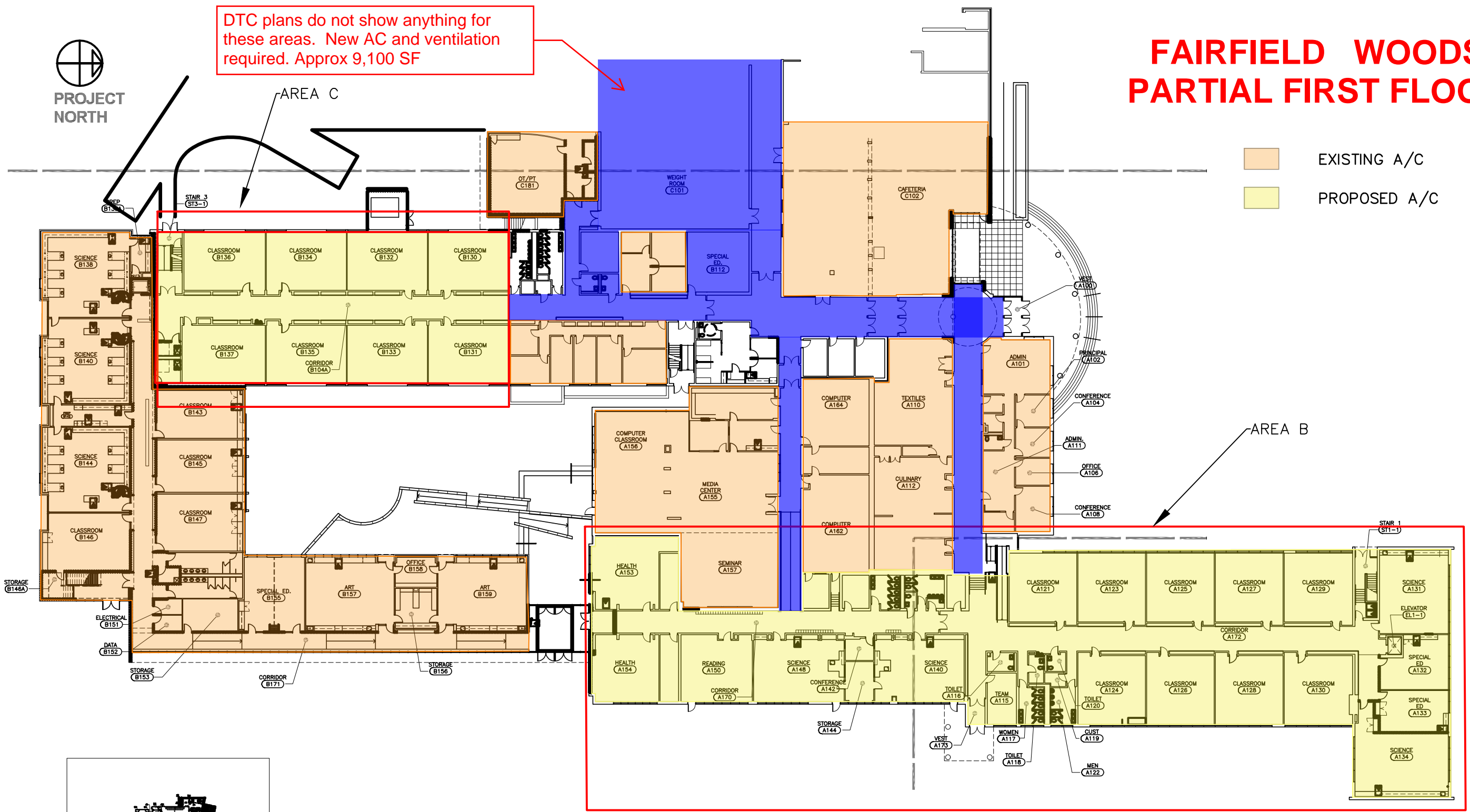


 650 Central Avenue, Unit 3 Sarasota, FL 34236 Ph: 941 554 2035 Fax: 203 234 7376 www.teamdttc.com	DTC PROJECT NUMBER: 20-250 DTC DRAWING FILE: ...Fairfield Woods LY	<b>EXISTING FIRST FLOOR PLAN FAIRFIELD WOODS</b>  SECTION 1  FAIRFIELD CONNECTICUT	
	SCALE: NTS DATE: 08-20-2021		DRAWN BY: AS CHECKED BY: GC

# FAIRFIELD WOODS PARTIAL FIRST FLOOR

EXISTING A/C  
PROPOSED A/C

DTC plans do not show anything for these areas. New AC and ventilation required. Approx 9,100 SF



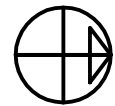
650 Central Avenue, Unit 3  
Sarasota, FL 34236  
Ph: 941 554 2035  
Fax: 203 234 7376  
www.teamdct.com

DTC PROJECT NUMBER: 20-250  
DTC DRAWING FILE: ...Fairfield Woods LY  
SCALE: NTS DRAWN BY: AS  
DATE: 08-20-2021 CHECKED BY: GC

## EXISTING FIRST FLOOR PLAN FAIRFIELD WOODS

SECTION 2

FAIRFIELD  
CONNECTICUT



PROJECT  
NORTH

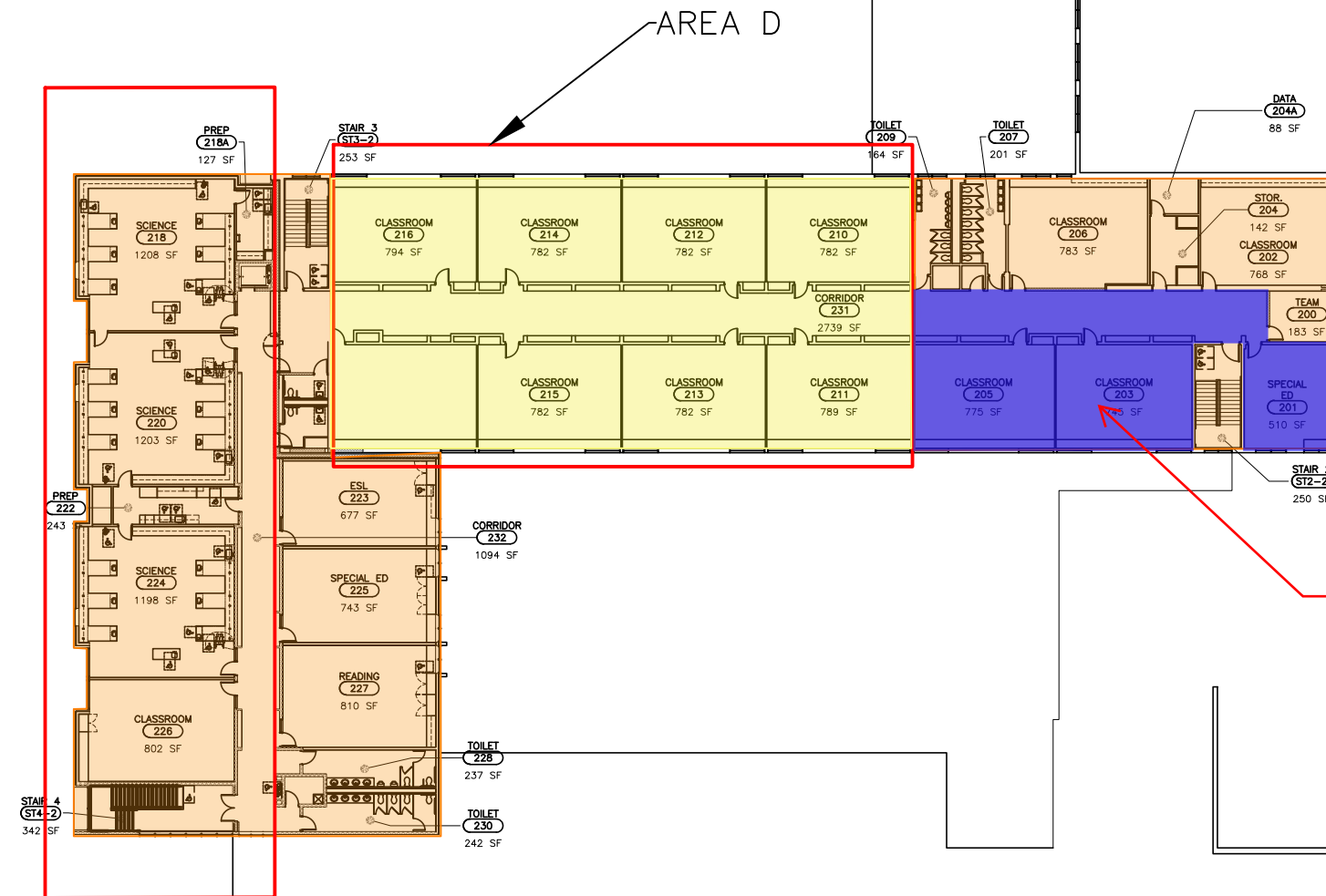
# FAIRFIELD WOODS SECOND FLOOR



EXISTING A/C



PROPOSED A/C



Existing AC to remain per DTC.  
Same exiting conditions as classrooms  
to left. New AC and ventilation required.  
Approx 500 SF.



650 Central Avenue, Unit 3  
Sarasota, FL 34236  
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DTC PROJECT NUMBER: 20-250  
DTC DRAWING FILE: ...Fairfield Woods LY  
SCALE: NTS DRAWN BY: AS  
DATE: 08-20-2021 CHECKED BY: GC

EXISTING SECOND FLOOR PLAN  
FAIRFIELD WOODS

FAIRFIELD  
CONNECTICUT

# **GILBANE CONSTRUCTION ESTIMATE**



**Fairfield Schools  
HVAC Upgrades**  
CD Estimate  
Revision 1  
Published 10/26/23





October 26, 2023

Town of Fairfield / Colliers  
HVAC Upgrades Projects  
Fairfield, CT

**Dear Colliers & The Town of Fairfield:**

Gilbane Building Company is pleased to provide the enclosed estimate for the Fairfield Public Schools HVAC Upgrades located in Fairfield, CT. This estimate represents the work associated with the CD Documents dated 09/29/23 by BL Companies. Our team is eager and excited for this opportunity, and we look forward to working with the Colliers Team and the Town of Fairfield.

Sincerely,

Michael Parent

**Gilbane Building Company**  
Chief Estimator

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Project Cost

- Summary
- Detail

Basis of Estimate

- Qualifications Breakdown



**Town of Fairfield**  
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School Cost Breakdown	Quantity	Unit Cost	Total Cost
OSBORN HILL	158,321 SF	\$35.96 / SF	\$5,693,273
NORTH STRATFIELD	158,321 SF	\$46.41 / SF	\$7,348,247
FAIRFIELD WOODS	158,321 SF	\$73.30 / SF	\$11,605,245
Subtotal Direct Cost		\$155.68 /SF	\$24,646,764
Indirect Costs	Amount		Total Cost
Design Contingency (7.5%)	7.50%		\$1,848,507
<b>Subtotal 1</b>			<b>\$26,495,272</b>
Escalation (4%)	4.00%		\$1,059,811
<b>Subtotal 2</b>			<b>\$27,555,083</b>
GL Insurance (.997%)	1.00%		\$327,874
CM P&P Bond (.65%)	0.65%		\$213,759
Builders Risk - Not Included			\$0
<b>Subtotal 3 - Insurances</b>			<b>\$28,096,715</b>
State Eduction Fee (.026%)	0.03%		\$7,164
CM Contingency (3%)	3.00%		\$986,581
Building Permits - By Owner			\$0
CM General Conditions			\$2,299,860
Field Office Support			\$699,395
PreConstruction Services			\$105,700
CM Fee (2.1%)	2.10%		\$690,606
<b>Total Construction Cost</b>			<b>\$32,886,022</b>
North Stratfield Roof Replacement			\$3,713,095
<b>Total Construction Cost w/Roof Replacement</b>			<b>\$36,599,117</b>
Vestibules - Provided Budget			\$2,019,500
<b>Total Construction Cost w/Vestibules &amp; Roof Replacement</b>			<b>\$38,618,617</b>
Total Construction Cost		\$243.93 /SF	\$38,618,617

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Masterformat Level 1	Quantity	Unit Cost	Total Cost
01 SITE SERVICES	158,321 SF	\$7.77 / SF	\$1,229,511
02 EXISTING CONDITIONS	158,321 SF	\$6.32 / SF	\$1,000,761
03 CONCRETE	158,321 SF	\$1.24 / SF	\$195,741
04 MASONRY	158,321 SF	\$1.64 / SF	\$260,046
05 METALS	158,321 SF	\$3.73 / SF	\$590,452
06 WOOD, PLASTICS, & COMPOSITES	158,321 SF	\$0.64 / SF	\$101,161
07 THERMAL & MOISTURE PROTECTION	158,321 SF	\$3.50 / SF	\$554,880
08 OPENINGS	158,321 SF	\$0.26 / SF	\$40,500
09 FINISHES	158,321 SF	\$13.59 / SF	\$2,151,160
10 SPECIALTIES	158,321 SF	\$0.40 / SF	\$63,050
11 EQUIPMENT	158,321 SF	\$0.57 / SF	\$90,403
21 FIRE SUPPRESSION	158,321 SF	\$3.71 / SF	\$587,774
22 PLUMBING	158,321 SF	\$2.19 / SF	\$346,540
23 HEATING, VENTILATING, & AIR CONDITIONING (HVAC)	158,321 SF	\$66.99 / SF	\$10,606,031
26 ELECTRICAL	158,321 SF	\$37.09 / SF	\$5,871,836
27 COMMUNICATIONS	158,321 SF	\$1.10 / SF	\$174,153
28 ELECTRONIC SAFETY & SECURITY	158,321 SF	\$1.86 / SF	\$294,521
31 EARTHWORK	158,321 SF	\$1.04 / SF	\$165,025
32 EXTERIOR IMPROVEMENTS	158,321 SF	\$1.05 / SF	\$165,770
33 UTILITIES	158,321 SF	\$0.99 / SF	\$157,450
Subtotal Direct Cost		\$155.68 /SF	\$24,646,764
Indirect Costs	Amount		Total Cost
Design Contingency (7.5%)	7.50%		\$1,848,507
<b>Subtotal 1</b>			<b>\$26,495,272</b>
Escalation (4%)	4.00%		\$1,059,811
<b>Subtotal 2</b>			<b>\$27,555,083</b>
GL Insurance (.997%)	1.00%		\$327,874
CM P&P Bond (.65%)	0.65%		\$213,759
Builders Risk - Not Included			\$0
<b>Subtotal 3 - Insurances</b>			<b>\$28,096,715</b>
State Education Fee (.026%)	0.03%		\$7,164
CM Contingency (3%)	3.00%		\$986,581
Building Permits - By Owner			\$0

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CM General Conditions		\$2,299,860
Field Office Support		\$699,395
PreConstruction Services		\$105,700
CM Fee (2.1%)	2.10%	\$690,606

<b>Total Construction Cost</b>	<b>\$32,886,022</b>
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North Stratfield Roof Replacement	\$3,713,095
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<b>Total Construction Cost w/Roof Replacement</b>	<b>\$36,599,117</b>
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Vestibules - Provided Budget	\$2,019,500
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<b>Total Construction Cost w/Vestibules &amp; Roof Replacement</b>	<b>\$38,618,617</b>
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Total Construction Cost	\$243.93 /SF	\$38,618,617
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## 01 SITE SERVICES

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>01 00 00 Site Services</b>	<b>158,321 SF</b>	<b>\$7.77 / SF</b>	<b>\$1,229,511</b>
<b>01 01 00 Site Services</b>		<b>\$7.77 / SF</b>	<b>\$1,229,511</b>
Site Services	1.00 ls	\$377,615.00 /ls	\$377,615
Site Services	1.00 ls	\$595,686.00 /ls	\$595,686
Site Services	1.00 ls	\$256,210.00 /ls	\$256,210
<b>Total 01 SITE SERVICES</b>		<b>\$7.77 / SF</b>	<b>\$1,229,511</b>



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## 02 EXISTING CONDITIONS

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>02 40 00 Demolition &amp; Structure Moving</b>	<b>158,321 SF</b>	<b>\$4.42 / SF</b>	<b>\$699,951</b>
<b>02 41 00 Demolition</b>		<b>\$4.42 / SF</b>	<b>\$699,951</b>
Interior Demo - Remove Ceiling Grid	21,905 sf	\$1.00 /sf	\$21,905
Interior Demo - Remove Ceiling Tile & Grid	52,731 sf	\$3.00 /sf	\$158,193
Interior Demo - Remove Ceiling Tile & Grid (Areas Not Called Out)	24,022 sf	\$3.00 /sf	\$72,066
Interior Demo - Remove Existing Metal Deck & Structure	2,414 sf	\$10.00 /sf	\$24,140
Interior Demo - Remove Exterior Wall at New Electrical Room	2.00 ls	\$10,000.00 /ls	\$20,000
Interior Demo - Remove Exterior Wall at New Electrical Room	1.00 ls	\$15,000.00 /ls	\$15,000
Interior Demo - Remove GWB Ceilings	895 sf	\$7.50 /sf	\$6,713
Interior Demo - Remove GWB Partitions	93 sf	\$7.50 /sf	\$698
Interior Demo - Remove MEPs Dropped By Others	158,321 sf	\$2.00 /sf	\$316,642
Interior Demo - Sawcut SOD at MEP Chase Locations	2.00 ea	\$2,500.00 /ea	\$5,000
Premium Time Allowance - Fairfield Woods	1.00 allw	\$29,178.00 /allw	\$29,178
Premium Time Allowance - North Stratfield	1.00 allw	\$18,038.00 /allw	\$18,038
Premium Time Allowance - Osborn	1.00 allw	\$12,379.00 /allw	\$12,379
<b>02 80 00 Facility Remediation</b>	<b>158,321 SF</b>	<b>\$1.90 / SF</b>	<b>\$300,810</b>
<b>02 82 00 Asbestos Remediation</b>		<b>\$1.90 / SF</b>	<b>\$300,810</b>
Abatement Allowance	1.00 ls	\$50,000.00 /ls	\$50,000
Abatement Allowance	1.00 ls	\$100,000.00 /ls	\$100,000
R&D Asbestos Ceiling, incl suspension system, plaster, lath -allw	25,135 sf	\$6.00 /sf	\$150,810
<b>Total 02 EXISTING CONDITIONS</b>		<b>\$6.32 / SF</b>	<b>\$1,000,761</b>

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03 CONCRETE

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>03 30 00 Cast-in-Place Concrete</b>	<b>158,321 SF</b>	<b>\$1.24 / SF</b>	<b>\$195,741</b>
<b>03 31 00 Structural Concrete</b>		<b>\$1.24 / SF</b>	<b>\$195,741</b>
SOG Complete \$/sf - 5", Reinforcing, Trowel Finish	239 sf	\$15.00 /sf	\$3,585
Connect to Existing Foundations	2.00 ea	\$2,500.00 /ea	\$5,000
Continuous Footings & Frost Wall Complete \$/lf	31 lf	\$500.00 /lf	\$15,500
Premium Time Allowance - Fairfield Woods	1.00 allw	\$5,707.00 /allw	\$5,707
Premium Time Allowance - North Stratfield	1.00 allw	\$3,528.00 /allw	\$3,528
Premium Time Allowance - Osborn	1.00 allw	\$2,421.00 /allw	\$2,421
Sawcut SOG and Foundation Wall at New Electrical Room	2.00 ls	\$50,000.00 /ls	\$100,000
SOG - Equipment Pads Complete	3.00 ls	\$20,000.00 /ls	\$60,000
<b>Total 03 CONCRETE</b>		<b>\$1.24 / SF</b>	<b>\$195,741</b>

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04 MASONRY

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>04 20 00 Unit Masonry</b>	<b>158,321 SF</b>	<b>\$1.64 / SF</b>	<b>\$260,046</b>
<b>04 21 00 Clay Unit Masonry</b>		<b>\$0.31 / SF</b>	<b>\$49,620</b>
Exterior Brick Veneer	827 sf	\$60.00 /sf	\$49,620
<b>04 22 00 Concrete Unit Masonry</b>		<b>\$1.33 / SF</b>	<b>\$210,426</b>
Exterior Condensate Penetrations	16 ea	\$750.00 /ea	\$12,000
Interior CMU Penetrations	240 ea	\$500.00 /ea	\$120,000
Premium Time Allowance - Fairfield Woods	1.00 allw	\$7,582.00 /allw	\$7,582
Premium Time Allowance - North Stratfield	1.00 allw	\$4,687.00 /allw	\$4,687
Premium Time Allowance - Osborn Hill	1.00 allw	\$3,217.00 /allw	\$3,217
Wall Type - Interior CMU - 8"	735 sf	\$35.00 /sf	\$25,725
Exterior Wall Backup Wall CMU	210 sf	\$45.00 /sf	\$9,450
Exterior Wall CMU (16'-3")	617 sf	\$45.00 /sf	\$27,765
<b>Total 04 MASONRY</b>		<b>\$1.64 / SF</b>	<b>\$260,046</b>

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**05 METALS**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>05 10 00 Structural Metal Framing</b>	<b>158,321 SF</b>	<b>\$1.18 / SF</b>	<b>\$186,762</b>
<b>05 12 00 Structural Steel Framing</b>		<b>\$1.18 / SF</b>	<b>\$186,762</b>
Premium Time Allowance - Fairfield Woods	1.00 allw	\$17,215.00 /allw	\$17,215
Premium Time Allowance - North Stratfield	1.00 allw	\$10,643.00 /allw	\$10,643
Premium Time Allowance - Osborn Hill	1.00 allw	\$7,304.00 /allw	\$7,304
Steel Beams - Roof Framing (Beams)	6.04 ton	\$15,000.00 /ton	\$90,600
Steel Beams - Roof Framing (Misc. Connections/Base Plates/Anchors)	6.04 ton	\$2,000.00 /ton	\$12,080
CFMF Studs at Electrical Room Roof Framing	8.00 ea	\$1,300.00 /ea	\$10,400
Steel Supports @ Equipment	321 lf	\$120.00 /lf	\$38,520
<b>05 30 00 Metal Decking</b>	<b>158,321 SF</b>	<b>\$0.20 / SF</b>	<b>\$32,364</b>
<b>05 31 00 Steel Decking</b>		<b>\$0.20 / SF</b>	<b>\$32,364</b>
Metal Decking - Electrical Room Roof	283 sf	\$12.00 /sf	\$3,396
Metal Decking - Roof Deck Patching	1,100 sf	\$12.00 /sf	\$13,200
Metal Decking - Roof, Type	1,314 sf	\$12.00 /sf	\$15,768
<b>05 50 00 Metal Fabrications</b>	<b>158,321 SF</b>	<b>\$2.35 / SF</b>	<b>\$371,326</b>
<b>05 50 00 Metal Fabrications</b>		<b>\$2.19 / SF</b>	<b>\$347,392</b>
Metal Fabrications Interior, Not Shown on Docs (Owner's Allowance)	158,321 sf	\$2.00 /sf	\$316,642
Rooftop Feeder Framed Openings	3.00 ea	\$2,000.00 /ea	\$6,000
Rooftop Pipe Supports	0.00 lf		\$0
Support Steel - Lintels	9.00 ea	\$2,750.00 /ea	\$24,750
<b>05 59 00 Metal Specialties</b>		<b>\$0.15 / SF</b>	<b>\$23,934</b>
C.M.U. Stabilizer Clips-Galv. @ Interior Partitions	184 lf	\$130.08 /lf	\$23,934
<b>Total 05 METALS</b>		<b>\$3.73 / SF</b>	<b>\$590,452</b>

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06 WOOD, PLASTICS, & COMPOSITES

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>06 10 00 Rough Carpentry</b>	<b>158,321 SF</b>	<b>\$0.50 / SF</b>	<b>\$79,161</b>
<b>06 10 10 Miscellaneous Rough Carpentry</b>		<b>\$0.50 / SF</b>	<b>\$79,161</b>
Rough Carpentry Roofing Complete \$/sf	158,321 sf	\$0.50 /sf	\$79,161
<b>06 20 00 Finish Carpentry</b>	<b>158,321 SF</b>	<b>\$0.14 / SF</b>	<b>\$22,000</b>
<b>06 22 00 Millwork</b>		<b>\$0.14 / SF</b>	<b>\$22,000</b>
Misc. Casework Modifications for Condensate Drain Piping	44 ea	\$500.00 /ea	\$22,000
<b>Total 06 WOOD, PLASTICS, &amp; COMPOSITES</b>		<b>\$0.64 / SF</b>	<b>\$101,161</b>

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**07 THERMAL & MOISTURE PROTECTION**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>07 40 00 Roofing &amp; Siding Panels</b>	<b>158,321 SF</b>	<b>\$0.25 / SF</b>	<b>\$40,000</b>
<b>07 46 00 Siding</b>		<b>\$0.25 / SF</b>	<b>\$40,000</b>
Patch Siding at Louver Demo Locations	4.00 ea	\$2,500.00 /ea	\$10,000
Patch Siding at Louver Demo Locations	4.00 ea	\$7,500.00 /ea	\$30,000
<b>07 50 00 Membrane Roofing</b>	<b>158,321 SF</b>	<b>\$3.00 / SF</b>	<b>\$475,300</b>
<b>07 53 00 Elastomeric Membrane Roofing</b>		<b>\$3.00 / SF</b>	<b>\$475,300</b>
Patch Roof at New Metal Deck Locations	1,916 sf	\$55.00 /sf	\$105,380
Temp. Protection at New Steel Locations	2,414 sf	\$30.00 /sf	\$72,420
Flashing at New Penetrations	17 ea	\$1,250.00 /ea	\$21,250
Roof Patching & Flashing - Assume Not Required	0.00 ea		\$0
Flashing and Roof Patching at Roof Top HVAC Duct Supports	118 ea	\$1,250.00 /ea	\$147,500
Patching at Existing MEP Penetrations	34 ea	\$1,250.00 /ea	\$42,500
Patching at MEP Curb Demo Locations	23 ea	\$2,500.00 /ea	\$57,500
Patching at MEP Demo Locations	23 ea	\$1,250.00 /ea	\$28,750
<b>07 80 00 Fire &amp; Smoke Protection</b>	<b>158,321 SF</b>	<b>\$0.00 / SF</b>	<b>\$0</b>
<b>07 81 00 Applied Fireproofing</b>		<b>\$0.00 / SF</b>	<b>\$0</b>
Fireproofing - Spray Applied - N/A	0.00 sf		\$0
Fireproofing - Spray Applied - N/A	0.00 sf		\$0
Fireproofing - Spray Applied - N/A	0.00 sf		\$0
<b>07 84 00 Firestopping</b>		<b>\$0.00 / SF</b>	<b>\$0</b>
Firestopping / Safing @ Building Perimeter	0.00 lf		\$0
Firestopping / Safing @ Building Perimeter	0.00 lf		\$0
<b>07 90 00 Joint Protection</b>	<b>158,321 SF</b>	<b>\$0.25 / SF</b>	<b>\$39,580</b>
<b>07 92 00 Joint Sealants</b>		<b>\$0.25 / SF</b>	<b>\$39,580</b>
Interior Sealants Complete	158,321 sf	\$0.25 /sf	\$39,580
<b>Total 07 THERMAL &amp; MOISTURE PROTECTION</b>		<b>\$3.50 / SF</b>	<b>\$554,880</b>

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08 OPENINGS

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>08 10 00 Doors &amp; Frames</b>	<b>158,321 SF</b>	<b>\$0.26 / SF</b>	<b>\$40,500</b>
<b>08 11 00 Metal Doors &amp; Frames</b>		<b>\$0.26 / SF</b>	<b>\$40,500</b>
HM DR & Frame - Exterior - Double - Flush Rated	1.00 ea	\$9,500.00 /ea	\$9,500
HM DR & Frame - Exterior - Single - Flush Rated	3.00 ea	\$5,500.00 /ea	\$16,500
HM DR & Frame - Interior - Single - Flush	2.00 ea	\$4,500.00 /ea	\$9,000
HM DR & Frame - Interior - Single - Flush Rated	1.00 ea	\$5,500.00 /ea	\$5,500
<b>Total 08 OPENINGS</b>		<b>\$0.26 / SF</b>	<b>\$40,500</b>

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**09 FINISHES**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>09 20 00 Plaster &amp; Gypsum Board</b>	<b>158,321 SF</b>	<b>\$4.68 / SF</b>	<b>\$740,205</b>
<b>09 21 00 Plaster &amp; Gypsum Board Assemblies</b>		<b>\$4.68 / SF</b>	<b>\$740,205</b>
Ceiling - Soffits Not Yet Shown	158,321 sf	\$3.00 /sf	\$474,963
Premium Time Allowance - Fairfield Woods	1.00 allw	\$62,719.00 /allw	\$62,719
Premium Time Allowance - North Stratfield	1.00 allw	\$38,773.00 /allw	\$38,773
Premium Time Allowance - Osborn Hill	1.00 allw	\$26,609.00 /allw	\$26,609
Ceiling - GWB - Locker Rooms (Not Noted On DWGs)	726 sf	\$20.00 /sf	\$14,520
Ceiling - GWB - Type C-1a	895 sf	\$20.00 /sf	\$17,900
Ceiling - Soffit	143.00 lf		\$19,410
Ceiling - Soffit	41 lf	\$150.00 /lf	\$6,150
Miscellaneous GWB Patching	158,321 sf	\$0.50 /sf	\$79,161
<b>09 50 00 Ceilings</b>	<b>158,321 SF</b>	<b>\$6.31 / SF</b>	<b>\$999,562</b>
<b>09 51 00 Acoustical Ceilings</b>		<b>\$6.31 / SF</b>	<b>\$999,562</b>
Ceiling Tile - Classroom Ceilings 24" x 24"	23,296 sf	\$10.00 /sf	\$232,960
Ceiling Tile - Plain - 2 x 2 - Tile & Grid	55,377 sf	\$10.00 /sf	\$553,770
Ceiling Tile - Type C-2 - 24" x 24"	107 sf	\$10.00 /sf	\$1,070
Ceiling Tile - Type C-3 - 24" x 48"	19,152 sf	\$8.00 /sf	\$153,216
Ceiling Tile - Plain - 2 x 2 - Tile Only	3,677 sf	\$6.50 /sf	\$23,901
Remove and Replace Media Center Ceilings	2,665 sf	\$13.00 /sf	\$34,645
<b>09 60 00 Flooring</b>	<b>158,321 SF</b>	<b>\$1.59 / SF</b>	<b>\$251,597</b>
<b>09 64 00 Wood Flooring</b>		<b>\$1.59 / SF</b>	<b>\$251,597</b>
Floor Protection at All Hallways / Classrooms	158,321 sf	\$1.50 /sf	\$237,482
Floor Protection at Cafetorium & Stage	2,823 sf	\$5.00 /sf	\$14,115
<b>09 90 00 Painting &amp; Coating</b>	<b>158,321 SF</b>	<b>\$1.01 / SF</b>	<b>\$159,797</b>
<b>09 91 00 Painting</b>		<b>\$1.01 / SF</b>	<b>\$159,797</b>
Interior Paint - GWB Soffits	184.00 lf		\$1,472
Interior Paint - Touch-Ups Only	158,321 sf	\$1.00 /sf	\$158,325
<b>Total 09 FINISHES</b>		<b>\$13.59 / SF</b>	<b>\$2,151,160</b>



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10 SPECIALTIES

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>10 10 00 Information Specialties</b>	<b>158,321 SF</b>	<b>\$0.01 / SF</b>	<b>\$1,050</b>
<b>10 14 00 Signage</b>		<b>\$0.01 / SF</b>	<b>\$1,050</b>
Electrical Room Signage	3.00 ls	\$350.00 /ls	\$1,050
<b>10 20 00 Interior Specialties</b>	<b>158,321 SF</b>	<b>\$0.39 / SF</b>	<b>\$62,000</b>
<b>10 28 00 Toilet, Bath, &amp; Laundry Accessories</b>		<b>\$0.39 / SF</b>	<b>\$62,000</b>
Remove and Replace Toilet Room Partitions & Accessories	4.00 ea	\$15,500.00 /ea	\$62,000
<b>Total 10 SPECIALTIES</b>		<b>\$0.40 / SF</b>	<b>\$63,050</b>

## 11 EQUIPMENT

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>11 60 00 Entertainment &amp; Recreation Equipment</b>	<b>158,321 SF</b>	<b>\$0.57 / SF</b>	<b>\$90,403</b>
<b>11 61 00 Broadcast, Theater, &amp; Stage Equipment</b>		<b>\$0.57 / SF</b>	<b>\$90,403</b>
Ceiling Equipment Relocation Allowance	80,806 sf	\$0.50 /sf	\$40,403
Ceiling Equipment Relocation Allowance (Owner Allowance)	1.00 ls	\$50,000.00 /ls	\$50,000
<b>Total 11 EQUIPMENT</b>		<b>\$0.57 / SF</b>	<b>\$90,403</b>

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## 21 FIRE SUPPRESSION

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D4010 Sprinklers</b>	<b>158,321 SF</b>	<b>\$3.52 / SF</b>	<b>\$556,524</b>
<b>D4011 Wet Sprinkler System</b>		<b>\$3.52 / SF</b>	<b>\$556,524</b>
Sprinkler - Turn Heads Upright, Turn Back Down	158,321 sf	\$3.50 /sf	\$554,124
Wet System at New Electrical Room 2 - Heads	2.00 ea	\$1,200.00 /ea	\$2,400
<b>D4090 Other Fire Protection Systems</b>	<b>158,321 SF</b>	<b>\$0.20 / SF</b>	<b>\$31,250</b>
<b>D4096 Fire Protection Misc Items</b>		<b>\$0.20 / SF</b>	<b>\$31,250</b>
Relocations Allowance	1.00 allw	\$4,904.00 /allw	\$4,904
Relocations Allowance	1.00 allw	\$8,144.00 /allw	\$8,144
Relocations Allowance	1.00 allw	\$11,952.00 /allw	\$11,952
Hours for Premium Time to Accelerate Sprinkler Work as Directed	1.00 allw	\$1,226.00 /allw	\$1,226
Hours for Premium Time to Accelerate Sprinkler Work as Directed	1.00 allw	\$2,036.00 /allw	\$2,036
Hours for Premium Time to Accelerate Sprinkler Work as Directed	1.00 allw	\$2,988.00 /allw	\$2,988
<b>Total 21 FIRE SUPPRESSION</b>		<b>\$3.71 / SF</b>	<b>\$587,774</b>

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## 22 PLUMBING

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D2020 Sanitary Drainage</b>	<b>158,321 SF</b>	<b>\$0.33 / SF</b>	<b>\$52,900</b>
<b>D2026 Sanitary Drain Piping - AG</b>		<b>\$0.33 / SF</b>	<b>\$52,900</b>
Floor Drain & Sanitary Tie-In for New Electrical Room	1.00 ea	\$5,000.00 /ea	\$5,000
Relocate Roof Vents	6.00 ea	\$650.00 /ea	\$3,900
Sink Modifications	44 ea	\$1,000.00 /ea	\$44,000
<b>D2070 Rain Water Drainage</b>	<b>158,321 SF</b>	<b>\$0.02 / SF</b>	<b>\$3,500</b>
<b>D2072 Storm Drain Piping - AG</b>		<b>\$0.02 / SF</b>	<b>\$3,500</b>
Roof Drian and Storm Drain Allowance	1.00 allw	\$3,500.00 /allw	\$3,500
<b>D2080 Other Plumbing Systems</b>	<b>158,321 SF</b>	<b>\$1.21 / SF</b>	<b>\$191,070</b>
<b>D2080 Natural Gas Piping</b>		<b>\$1.21 / SF</b>	<b>\$191,070</b>
1-1/2"	170 lf	\$46.00 /lf	\$7,820
2"	1,120 lf	\$55.00 /lf	\$61,600
2-1/2"	265 lf	\$80.00 /lf	\$21,200
3"	485 lf	\$100.00 /lf	\$48,500
4"	150 lf	\$125.00 /lf	\$18,750
PRVs, Tie-Ins & Fittings at Service	1.00 ls	\$4,500.00 /ls	\$4,500
PRVs, Tie-Ins & Fittings at Service	1.00 ls	\$5,000.00 /ls	\$5,000
PRVs, Tie-Ins & Fittings at Service	1.00 ls	\$7,500.00 /ls	\$7,500
RTU/DOAS Connections	14.00 ea	\$1,000.00 /ea	\$14,000
Vent Piping	40 lf	\$55.00 /lf	\$2,200
<b>D2090 Misc. Plumbing Systems</b>	<b>158,321 SF</b>	<b>\$0.63 / SF</b>	<b>\$99,070</b>
<b>D2090 Plumbing Misc Items</b>		<b>\$0.63 / SF</b>	<b>\$99,070</b>
Relocations Allowance	1.00 allw	\$4,904.00 /allw	\$4,904
Relocations Allowance	1.00 allw	\$8,144.00 /allw	\$8,144
Relocations Allowance	1.00 allw	\$11,952.00 /allw	\$11,952
Hours for Temporary Work	1.00 allw	\$3,139.00 /allw	\$3,139
Hours for Temporary Work	1.00 allw	\$5,212.00 /allw	\$5,212
Hours for Temporary Work	1.00 allw	\$7,649.00 /allw	\$7,649
Hours for Premium Time to Accelerate Plumbing Work as Directed	1.00 allw	\$1,717.00 /allw	\$1,717
Hours for Premium Time to Accelerate Plumbing Work as Directed	1.00 allw	\$2,850.00 /allw	\$2,850
Hours for Premium Time to Accelerate Plumbing Work as Directed	1.00 allw	\$4,183.00 /allw	\$4,183
Coring for Relocated Roof Vents	288 ea	\$15.00 /ea	\$4,320
Management, Mobilization, Coordination, Startup, Testing	1.00 ls	\$10,000.00 /ls	\$10,000
Management, Mobilization, Coordination, Startup, Testing	1.00 ls	\$15,000.00 /ls	\$15,000
Management, Mobilization, Coordination, Startup, Testing	1.00 ls	\$20,000.00 /ls	\$20,000
<b>Total 22 PLUMBING</b>		<b>\$2.19 / SF</b>	<b>\$346,540</b>

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**23 HEATING, VENTILATING, & AIR CONDITIONING (HVAC)**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D3020 Heat Generating Systems</b>	<b>158,321 SF</b>	<b>\$2.13 / SF</b>	<b>\$336,450</b>
<b>D3022 Heating Water Piping</b>		<b>\$2.13 / SF</b>	<b>\$336,450</b>
Control Valves - Install Only	135 ea	\$450.00 /ea	\$60,750
New Branch UV Isolation Valves	6.00 ea	\$350.00 /ea	\$2,100
Piping Replacement Allowance at New Control Valves (30' Per VLV)	4,140 lf	\$65.00 /lf	\$269,100
UV Hookup Assemblies	3.00 ea	\$1,500.00 /ea	\$4,500
<b>D3040 HVAC Major Equipment</b>	<b>158,321 SF</b>	<b>\$23.71 / SF</b>	<b>\$3,753,051</b>
<b>D3040 HVAC Major Equipment</b>		<b>\$23.71 / SF</b>	<b>\$3,753,051</b>
Condensate Pump	1.00 ea	\$1,000.00 /ea	\$1,000
Unit Ventilators	3.00 ea	\$3,750.00 /ea	\$11,250
Air Handling Unit Package (Trane)	1.00 ls	\$332,330.00 /ls	\$332,330
Air Handling Unit Package (Trane)	1.00 ls	\$662,140.00 /ls	\$662,140
Air Handling Unit Package (Trane)	1.00 ls	\$1,021,050.00 /ls	\$1,021,050
Energy Recovery Ventilator - Quoted	1.00 ls	\$22,051.00 /ls	\$22,051
2 Module Condensing Unit Allowance	1.00 allw	\$20,000.00 /allw	\$20,000
Kitchen AC Equipment Allowance	1.00 ls	\$20,000.00 /ls	\$20,000
VRF System - LG - Quoted	1.00 ls	\$328,490.00 /ls	\$328,490
VRF System - LG - Quoted	1.00 ls	\$482,150.00 /ls	\$482,150
VRF System - LG - Quoted	1.00 ls	\$806,260.00 /ls	\$806,260
Split AC System	2.00 ls	\$8,930.00 /ls	\$17,860
Split AC System	1.00 ls	\$28,470.00 /ls	\$28,470
<b>D3050 Facility HVAC Distribution Systems</b>	<b>158,321 SF</b>	<b>\$15.16 / SF</b>	<b>\$2,399,436</b>
<b>D3053 HVAC Air Distribution</b>		<b>\$15.16 / SF</b>	<b>\$2,399,436</b>
Board Insulation w/ Al. Jacket & Ventureclad	11,512 sf	\$27.00 /sf	\$310,824
Blanket Insulation	32,682 sf	\$5.50 /sf	\$179,751
Lining	10,576 sf	\$5.00 /sf	\$52,880
Reinsulate Media Center Ductwork	1.00 allw	\$10,000.00 /allw	\$10,000
Ductwork - Flat Oval	4,999 lb	\$26.00 /lb	\$129,974
Ductwork - Galvanized	58,756 lb	\$16.00 /lb	\$940,096
Ductwork - Round	1,850 lb	\$20.00 /lb	\$37,000
Roof Duct Supports	199 ea	\$500.00 /ea	\$99,500
Air-Handler Sound Attenuators	38.00 ea	\$1,200.00 /ea	\$45,600
Duct-Smoke Detectors - Install Only	28.00 ea	\$200.00 /ea	\$5,600
Exhaust Fans EF-53/54	1.00 ls	\$11,000.00 /ls	\$11,000
VAV Boxes w/ Sound Attenuators	127 ea	\$1,350.00 /ea	\$171,450
Volume Damper & Accessory Balance	158,321 sf	\$0.50 /sf	\$79,161
Connection to Existing Louvers	75 lb	\$25.00 /lb	\$1,875
Diffusers 12x12	32 ea	\$275.00 /ea	\$8,800
Diffusers 24x24	245 ea	\$400.00 /ea	\$98,000
Drip Pan	10 lb	\$25.00 /lb	\$250

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**23 HEATING, VENTILATING, & AIR CONDITIONING (HVAC)**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
Fire Dampers	7.00 ea	\$1,500.00 /ea	\$10,500
Flex Connectors	13 ea	\$500.00 /ea	\$6,500
GIH Tie-Ins	75 lb	\$25.00 /lb	\$1,875
Motorized Dampers	3.00 ea	\$2,000.00 /ea	\$6,000
Sidewall Grilles	74 ea	\$200.00 /ea	\$14,800
Wire Mesh Screens	2.00 ea	\$200.00 /ea	\$400
Ductwork Cleaning - New Duct Only	69,400 cfm	\$1.50 /cfm	\$104,100
Roof Opening Weatherproof Enclosures	49 ea	\$1,500.00 /ea	\$73,500
<b>D3060 Controls &amp; Instrumentation</b>	<b>158,321 SF</b>	<b>\$11.02 / SF</b>	<b>\$1,745,125</b>
<b>D3061 Automatic Temperature Controls</b>		<b>\$11.02 / SF</b>	<b>\$1,745,125</b>
Controls System Upgrades - Quoted - ABS/Alerton	1.00 ls	\$433,780.00 /ls	\$433,780
Controls System Upgrades - Quoted - ABS/Alerton	1.00 ls	\$557,175.00 /ls	\$557,175
Controls System Upgrades - Quoted - ABS/Alerton	1.00 ls	\$754,170.00 /ls	\$754,170
<b>D3070 Special Purpose HVAC Systems</b>	<b>158,321 SF</b>	<b>\$8.88 / SF</b>	<b>\$1,405,486</b>
<b>D3075 Refrigerant Piping</b>		<b>\$6.33 / SF</b>	<b>\$1,001,504</b>
From Branch Controller to ACCUs - Copper Type ACR	5,028 lf	\$58.00 /lf	\$291,624
Branch Box Connections	41 ea	\$2,500.00 /ea	\$102,500
Fan-Coil Connections	247 ea	\$500.00 /ea	\$123,500
Heat Pump & Condenser Connections	31.00 ea	\$1,000.00 /ea	\$31,000
From AHU-1 to HP-1 - Tubing Kit / Lineset	1.00 ls	\$4,000.00 /ls	\$4,000
From FCU to ACCU - Split Unit - Tubing Kit / Lineset	575 lf	\$40.00 /lf	\$23,000
From FCU to Branch Controller - Tubing Kit / Lineset	10,647 lf	\$40.00 /lf	\$425,880
<b>D3076 Condensate Drain Piping</b>		<b>\$2.55 / SF</b>	<b>\$403,982</b>
1" - PVC	5,270 lf	\$48.00 /lf	\$252,960
1-1/4" - PVC	1,336 lf	\$52.00 /lf	\$69,472
AHU Connections & Run-Outs	15.00 ea	\$1,000.00 /ea	\$15,000
Fan-Coil Connections	247 ea	\$250.00 /ea	\$61,750
Splash Blocks w/ 45 Degree Elbow	16 ea	\$300.00 /ea	\$4,800
<b>D3090 Other HVAC Systems &amp; Equip</b>	<b>158,321 SF</b>	<b>\$6.10 / SF</b>	<b>\$966,483</b>
<b>D3091 HVAC Misc Items</b>		<b>\$6.10 / SF</b>	<b>\$966,483</b>
Balancing - New Ductwork Only	1.00 ls	\$7,500.00 /ls	\$7,500
Balancing - New Ductwork Only	1.00 ls	\$12,094.00 /ls	\$12,094
Balancing - New Ductwork Only	1.00 ls	\$33,300.00 /ls	\$33,300
Management, Mobilization, Rigging, Startup, Testing	1.00 ls	\$100,000.00 /ls	\$100,000
Management, Mobilization, Rigging, Startup, Testing	1.00 ls	\$150,000.00 /ls	\$150,000
Management, Mobilization, Rigging, Startup, Testing	1.00 ls	\$225,000.00 /ls	\$225,000
Coordination	2.00 ls	\$10,400.00 /ls	\$20,800
Coordination	1.00 ls	\$15,600.00 /ls	\$15,600
Relocations Allowance	1.00 allw	\$9,809.00 /allw	\$9,809
Relocations Allowance	1.00 allw	\$16,288.00 /allw	\$16,288
Relocations Allowance	1.00 allw	\$23,903.00 /allw	\$23,903

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**23 HEATING, VENTILATING, & AIR CONDITIONING (HVAC)**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
Hours for Temporary Work	1.00 allw	\$3,767.00 /allw	\$3,767
Hours for Temporary Work	1.00 allw	\$6,255.00 /allw	\$6,255
Hours for Temporary Work	1.00 allw	\$9,179.00 /allw	\$9,179
Demolish - Coring For Ref. & Condensate	4,968 ea	\$15.00 /ea	\$74,520
Demolish AHUs in Ceiling	10 ea	\$220.00 /ea	\$2,200
Demolish Ductwork (Cut, Cap, Drop)	2,458 lf	\$22.00 /lf	\$54,076
Demolish Ductwork (Cut, Cap, Drop)	1,030 lf	\$32.50 /lf	\$33,475
Demolish Exhaust Fans	8.00 ea	\$220.00 /ea	\$1,760
Demolish Exhaust Fans & Gravity Ventilators	35 ea	\$220.00 /ea	\$7,700
Demolish Hot Water Piping (Cut, Cap, Drop)	120 lf	\$24.00 /lf	\$2,880
Demolish Hot Water Piping (Cut, Cap, Drop)	241 lf	\$60.00 /lf	\$14,460
Demolish Louvers & H&V Unit	9.00 ea	\$660.00 /ea	\$5,940
Demolish Pneumatic Valves & Pipe	66 ea	\$650.00 /ea	\$42,900
Demolish Pneumatic Valves & Pipe	69 ea	\$673.00 /ea	\$46,437
Demolish RTU	1.00 ea	\$880.00 /ea	\$880
Demolish Split Units	17 ea	\$370.00 /ea	\$6,290
Demolish Unit Ventilators	4.00 ea	\$440.00 /ea	\$1,760
Demolish VRF Equipment	64 ea	\$295.00 /ea	\$18,880
Demolish VRF Equipment	10 ea	\$370.00 /ea	\$3,700
Hours for Premium Time to Accelerate HVAC Work	1.00 allw	\$2,403.00 /allw	\$2,403
Hours for Premium Time to Accelerate HVAC Work	1.00 allw	\$3,991.00 /allw	\$3,991
Hours for Premium Time to Accelerate HVAC Work	1.00 allw	\$5,856.00 /allw	\$5,856
Rebalance Exhaust Fan & Cap Duct	1.00 ea	\$1,500.00 /ea	\$1,500
Relocate Exhaust Fan	1.00 ea	\$1,380.00 /ea	\$1,380
<b>Total 23 HEATING, VENTILATING, &amp; AIR CONDITIONING (HVAC)</b>		<b>\$66.99 / SF</b>	<b>\$10,606,031</b>

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**26 ELECTRICAL**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D5020 Electrical Service &amp; Distribution</b>	<b>158,321 SF</b>	<b>\$20.92 / SF</b>	<b>\$3,311,568</b>
<b>D5023 Large Power &amp; Distribution</b>		<b>\$4.42 / SF</b>	<b>\$699,748</b>
Disconnect Switch- Install Only	1.00 ea	\$1,500.00 /ea	\$1,500
Meter Can	3.00 ea	\$1,500.00 /ea	\$4,500
Transformers - Install Only	4.00 ea	\$1,760.00 /ea	\$7,040
Panelboards - Install Only	9.00 ea	\$2,248.89 /ea	\$20,240
Panelboards - Install Only	4.00 ea	\$2,420.00 /ea	\$9,680
Panelboards - Install Only	2.00 ea	\$2,640.00 /ea	\$5,280
1200A MDP2 - Install Only	1.00 ea	\$3,520.00 /ea	\$3,520
1600A MDP1 - Install Only	1.00 ea	\$4,400.00 /ea	\$4,400
2000A MDP2 - Install Only	1.00 ea	\$5,720.00 /ea	\$5,720
Gear Package - Quoted - Eaton	1.00 ls	\$180,027.00 /ls	\$180,027
Gear Package - Quoted - Eaton	1.00 ls	\$195,012.00 /ls	\$195,012
Gear Package - Quoted - Eaton	1.00 ls	\$242,829.00 /ls	\$242,829
Transformer & Switch Pads	4.00 ea	\$5,000.00 /ea	\$20,000
<b>D5024 Large Power Feeder Conduit</b>		<b>\$11.00 / SF</b>	<b>\$1,741,375</b>
400A From XFMR to Existing FP Main Switch & CT Cabinet - UGD	200 lf	\$215.00 /lf	\$43,000
1 1600A From XFMR to MDP1 - UGD	50 lf	\$825.00 /lf	\$41,250
2 800A From MDP1 to HA3 - Exterior	535 lf	\$600.00 /lf	\$321,000
400A From MDP2 to MA1 - Exterior	100 lf	\$305.00 /lf	\$30,500
400A From MDP2 to MA2 - Exterior	370 lf	\$305.00 /lf	\$112,850
400A From XFMR to Existing FP Main Switch & CT Cabinet	50 lf	\$230.00 /lf	\$11,500
7 600A From MDP2 to MA1 - Exterior - Exterior	130 lf	\$390.00 /lf	\$50,700
8 600A From MDP2 to MA2 - Exterior - - Exterior	210 lf	\$390.00 /lf	\$81,900
Expansion Fittings	3.00 ea	\$750.00 /ea	\$2,250
Meter Conduit & Wire	105 lf	\$22.00 /lf	\$2,310
Pull-Box for MDP Tie-In (Note 6)	1.00 ea	\$5,000.00 /ea	\$5,000
1 2000A From XFMR to MDP2 - UGD	35 lf	\$1,000.00 /lf	\$35,000
1200A From XFMR to MDP2	35 lf	\$695.00 /lf	\$24,325
1200A From XFMR to MDP2 - UGD	45 lf	\$640.00 /lf	\$28,800
2 1200A From XFMR to Exist. MDP - UGD	40 lf	\$640.00 /lf	\$25,600
3 800A From MDP1 to HA4 - Exterior	630 lf	\$600.00 /lf	\$378,000
4 800A From MA2 to MA2A(100A) - Exterior	190 lf	\$600.00 /lf	\$114,000
10 100A From TX-MA1 to MA1	35 lf	\$45.00 /lf	\$1,575
1000A From XFMR to Existing Main Switch & CT Cabinet - UGD	215 lf	\$450.00 /lf	\$96,750
11 100A From TX-MA3 to MA3	35 lf	\$45.00 /lf	\$1,575
12 70A From HA1 to TX-MA2	35 lf	\$38.00 /lf	\$1,330
13 70A From HA4 to TX-MA4	35 lf	\$38.00 /lf	\$1,330
14 50A From HA1 to TX-MA1	35 lf	\$25.00 /lf	\$875
15 50A From HA3 to TX-MA3	35 lf	\$25.00 /lf	\$875
3 2000A From XFMR to MDP2 - Indoor	35 lf	\$1,150.00 /lf	\$40,250
4 1200A From XFMR to Exist. MDP - Indoor	35 lf	\$695.00 /lf	\$24,325
5 225A From MA1 to MA3 - Exterior - Exterior	180 lf	\$145.00 /lf	\$26,100



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**26 ELECTRICAL**

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
5 250A From Disconnect to MA2 - Exterior	310 lf	\$165.00 /lf	\$51,150
6 225A From MA2 to MA4 - Exterior - - Exterior	245 lf	\$145.00 /lf	\$35,525
6 250A From TX-MA2 to Disconnect for MA2	35 lf	\$125.00 /lf	\$4,375
7 250A From TX-MA4 to MA4	35 lf	\$125.00 /lf	\$4,375
8 400A from HA3 to HA3A - Exterior	180 lf	\$305.00 /lf	\$54,900
9 400A From MDP1 to HA1	35 lf	\$240.00 /lf	\$8,400
5" PVC Conduit	1,660 lf	\$48.00 /lf	\$79,680
<b>D5027 Mechanical Equipment Connections</b>		<b>\$4.39 / SF</b>	<b>\$694,318</b>
Power For BMS J-Boxes	1,180 lf	\$18.39 /lf	\$21,700
Power For BMS J-Boxes	950 lf	\$18.58 /lf	\$17,651
Power For BMS J-Boxes	251 lf	\$23.77 /lf	\$5,965
Power for Fan Coils	8,795 lf	\$15.00 /lf	\$131,925
Power for Split Units	130 lf	\$21.15 /lf	\$2,750
Power for Split Units	170 lf	\$25.06 /lf	\$4,260
Power for Split Units	660 lf	\$25.29 /lf	\$16,691
Power to DOAS-1	70 lf	\$22.00 /lf	\$1,540
Power to DOAS-1	60 lf	\$70.00 /lf	\$4,200
Power to DOAS-1	260 lf	\$130.00 /lf	\$33,800
Power to AHU-1	60 lf	\$17.00 /lf	\$1,020
Power to DOAS-2	200 lf	\$62.00 /lf	\$12,400
Power to DOAS-2	345 lf	\$150.00 /lf	\$51,750
Power to DOAS-2	555 lf	\$185.00 /lf	\$102,675
Power to DOAS-3	55 lf	\$46.00 /lf	\$2,530
Power to DOAS-4	485 lf	\$85.00 /lf	\$41,225
Power to DOAS-5	275 lf	\$24.00 /lf	\$6,600
Power to ERV-1	185 lf	\$25.00 /lf	\$4,625
Power to RTU-1	260 lf	\$130.00 /lf	\$33,800
Power to RTU-18	135 lf	\$35.00 /lf	\$4,725
Power to RTU-2	115 lf	\$65.00 /lf	\$7,475
Power to RTU-9A/B	195 lf	\$26.00 /lf	\$5,070
Power to VRF Condensers	1,645 lf	\$27.27 /lf	\$44,861
Power to VRF Condensers	615 lf	\$44.03 /lf	\$27,080
Power to VRF Condensers	546 lf	\$48.02 /lf	\$26,219
Offset Allowance For MA4 Feeds to Rooftop	1.00 allw	\$7,500.00 /allw	\$7,500
Power to Exhaust Fans	355 lf	\$24.00 /lf	\$8,520
Power to Unit Ventilators	330 lf	\$15.00 /lf	\$4,950
Power to VAV Boxes	3,954 lf	\$15.00 /lf	\$59,310
Expansion Fittings	3.00 ea	\$500.00 /ea	\$1,500
<b>D5029 Small Power Devices &amp; Wiring</b>		<b>\$1.11 / SF</b>	<b>\$176,128</b>
Duplex Outlet w/ Circuit	3.00 ea	\$371.00 /ea	\$1,113
GFCI Outlet - Mounted on DOAS	17 ea	\$350.00 /ea	\$5,950
Relocate Outlets & Switches	4.00 ea	\$371.00 /ea	\$1,484
Utility Pedestals with GFCI Outlet & Lightposite unit	22 ea	\$1,500.00 /ea	\$33,000
Branch Circuit Re-Work Allowance	158,321 gsf	\$0.50 /gsf	\$79,161

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## 26 ELECTRICAL

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
Power to Rooftop Receptacles	2,485 lf	\$22.00 /lf	\$54,670
Power to Rooftop Receptacles - Interior	50 lf	\$15.00 /lf	\$750
<b>D5040 Lighting</b>	<b>158,321 SF</b>	<b>\$13.04 / SF</b>	<b>\$2,064,250</b>
<b>D5042 Light Fixtures</b>		<b>\$13.04 / SF</b>	<b>\$2,064,250</b>
Electrical Room Light Switch	1.00 ea	\$425.00 /ea	\$425
Emergency Exit Light	2.00 ea	\$525.00 /ea	\$1,050
Electrical Room Lighting	2.00 ea	\$675.00 /ea	\$1,350
Emergency Power Feed Allowance to ELPA-3	1.00 allw	\$1,800.00 /allw	\$1,800
Light Switch & Light in Electrical Room	2.00 ea	\$675.00 /ea	\$1,350
Balance of Building Controls Upgrades Allowance	99,058 gsf	\$1.00 /gsf	\$99,058
Balance of Building Controls Upgrades Allowance	21,990 gsf	\$1.50 /gsf	\$32,985
Balance of Building Controls Upgrades Allowance	13,190 gsf	\$2.00 /gsf	\$26,380
Lighting System - Fixtures & Controls	158,321 gsf	\$12.00 /gsf	\$1,899,852
<b>D5090 Other Electrical Systems</b>	<b>158,321 SF</b>	<b>\$3.13 / SF</b>	<b>\$496,018</b>
<b>D5094 Grounding &amp; Lightning Protection Sys.</b>		<b>\$0.10 / SF</b>	<b>\$16,500</b>
MDP1 Grounding	1.00 allw	\$5,000.00 /allw	\$5,000
MDP2 Grounding	2.00 allw	\$5,000.00 /allw	\$10,000
Transformer Grounding	2.00 ea	\$750.00 /ea	\$1,500
<b>D5095 Miscellaneous Electrical Systems</b>		<b>\$3.03 / SF</b>	<b>\$479,518</b>
De-Energize, Cut, Cap, Make-Safe, Drop	1.00 ls	\$25,420.00 /ls	\$25,420
De-Energize, Cut, Cap, Make-Safe, Drop	1.00 ls	\$27,080.00 /ls	\$27,080
De-Energize, Cut, Cap, Make-Safe, Drop	1.00 ls	\$42,768.00 /ls	\$42,768
Relocations Allowance	1.00 allw	\$9,809.00 /allw	\$9,809
Relocations Allowance	1.00 allw	\$16,288.00 /allw	\$16,288
Relocations Allowance	1.00 allw	\$23,903.00 /allw	\$23,903
Hours for Additional Work as Directed Due to TCO Requirements	1.00 allw	\$5,885.00 /allw	\$5,885
Hours for Additional Work as Directed Due to TCO Requirements	1.00 allw	\$9,773.00 /allw	\$9,773
Hours for Additional Work as Directed Due to TCO Requirements	1.00 allw	\$14,342.00 /allw	\$14,342
Hours for Premium Time to Accelerate Electric Work	1.00 allw	\$2,403.00 /allw	\$2,403
Hours for Premium Time to Accelerate Electric Work	1.00 allw	\$3,991.00 /allw	\$3,991
Hours for Premium Time to Accelerate Electric Work	1.00 allw	\$5,856.00 /allw	\$5,856
Hours for Temporary Work	1.00 allw	\$2,354.00 /allw	\$2,354
Hours for Temporary Work	1.00 allw	\$3,909.00 /allw	\$3,909
Hours for Temporary Work	1.00 allw	\$5,737.00 /allw	\$5,737
Coordination, Management, Testing, Etc	1.00 ls	\$40,000.00 /ls	\$40,000
Coordination, Management, Testing, Etc	1.00 ls	\$65,000.00 /ls	\$65,000
Coordination, Management, Testing, Etc	1.00 ls	\$120,000.00 /ls	\$120,000
Temporary Light & Power	1.00 ls	\$10,000.00 /ls	\$10,000
Temporary Light & Power	1.00 ls	\$20,000.00 /ls	\$20,000
Temporary Light & Power	1.00 ls	\$25,000.00 /ls	\$25,000
<b>Total 26 ELECTRICAL</b>		<b>\$37.09 / SF</b>	<b>\$5,871,836</b>

## 27 COMMUNICATIONS

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D6010 Communications &amp; Security</b>	<b>158,321 SF</b>	<b>\$1.10 / SF</b>	<b>\$174,153</b>
<b>D6013 Tel/Data System</b>		<b>\$1.10 / SF</b>	<b>\$174,153</b>
Low Voltage Systems Relocation Allowance	158,321 sf	\$1.10 /sf	\$174,153
<b>Total 27 COMMUNICATIONS</b>		<b>\$1.10 / SF</b>	<b>\$174,153</b>

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28 ELECTRONIC SAFETY & SECURITY

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>D6010 Communications &amp; Security</b>	<b>158,321 SF</b>	<b>\$1.86 / SF</b>	<b>\$294,521</b>
<b>D6011 Fire Alarm System</b>		<b>\$1.86 / SF</b>	<b>\$294,521</b>
CO Detectors	145 ea	\$750.00 /ea	\$108,750
Smoke Detectors	3.00 ea	\$750.00 /ea	\$2,250
Duct Smoke Detectors	28 ea	\$850.00 /ea	\$23,800
Speaker Strobe	1.00 ea	\$750.00 /ea	\$750
Pull Station	1.00 ea	\$650.00 /ea	\$650
Fire Alarm - Ceiling Device Re-Work, Etc	158,321 gsf	\$1.00 /gsf	\$158,321
<b>Total 28 ELECTRONIC SAFETY &amp; SECURITY</b>		<b>\$1.86 / SF</b>	<b>\$294,521</b>

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## 31 EARTHWORK

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>31 10 00 Site Clearing</b>	<b>158,321 SF</b>	<b>\$0.93 / SF</b>	<b>\$148,000</b>
<b>31 11 00 Clearing &amp; Grubbing</b>		<b>\$0.93 / SF</b>	<b>\$148,000</b>
Clear Site, Demo Bituminous Walkways & Parking Areas	5,300 sf	\$10.00 /sf	\$53,000
Mobilization and Demobilization	3.00 ls	\$25,000.00 /ls	\$75,000
Tree Removal Allowance	4.00 ea	\$5,000.00 /ea	\$20,000
<b>31 20 00 Earth Moving</b>	<b>158,321 SF</b>	<b>\$0.11 / SF</b>	<b>\$17,025</b>
<b>31 23 00 Excavation &amp; Fill</b>		<b>\$0.06 / SF</b>	<b>\$9,075</b>
Excavate, Prep & Grade SOG	239 sf	\$25.00 /sf	\$5,975
Excavate Continuous Footings & Frost Wall	31 lf	\$100.00 /lf	\$3,100
<b>31 25 00 Erosion &amp; Sedimentation Controls</b>		<b>\$0.05 / SF</b>	<b>\$7,950</b>
Erosion & Sedimentation Controls Complete	5,300 sf	\$1.50 /sf	\$7,950
<b>Total 31 EARTHWORK</b>		<b>\$1.04 / SF</b>	<b>\$165,025</b>

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## 32 EXTERIOR IMPROVEMENTS

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>32 10 00 Bases, Ballasts, &amp; Paving</b>	<b>158,321 SF</b>	<b>\$0.66 / SF</b>	<b>\$104,000</b>
<b>32 12 00 Flexible Paving</b>		\$0.66 / SF	\$104,000
Asphalt Paving - Roadway	5,200 sf	\$20.00 /sf	\$104,000
<b>32 30 00 Site Improvements</b>	<b>158,321 SF</b>	<b>\$0.36 / SF</b>	<b>\$57,750</b>
<b>32 33 00 Site Furnishings</b>		\$0.36 / SF	\$57,750
Metal Pipe Bollards - Exterior	33.00 ea	\$1,750.00 /ea	\$57,750
<b>32 90 00 Planting</b>	<b>158,321 SF</b>	<b>\$0.03 / SF</b>	<b>\$4,020</b>
<b>32 92 00 Turf &amp; Grasses</b>		\$0.03 / SF	\$4,020
Patch Grass Areas	402 sf	\$10.00 /sf	\$4,020
<b>Total 32 EXTERIOR IMPROVEMENTS</b>		<b>\$1.05 / SF</b>	<b>\$165,770</b>

### 33 UTILITIES

DESCRIPTION	QUANTITY	UNIT COST	TOTAL COST
<b>33 70 00 Electrical Utilities</b>	<b>158,321 SF</b>	<b>\$0.99 / SF</b>	<b>\$157,450</b>
<b>33 71 00 Electrical Utility Transmission &amp; Distribution</b>		<b>\$0.99 / SF</b>	<b>\$157,450</b>
Trench Excav/Bkfl for Primary Electrical	660 lf	\$75.00 /lf	\$49,500
Trench Excav/Bkfl for Primary Electrical	154 lf	\$100.00 /lf	\$15,400
Trench Excav/Bkfl up for Secondary Electrical	146 lf	\$75.00 /lf	\$10,950
Encase Electrical Service	960 lf	\$85.00 /lf	\$81,600
<b>Total 33 UTILITIES</b>		<b>\$0.99 / SF</b>	<b>\$157,450</b>

**North Stratfield, Osborn Hill & Fairfield Woods HVAC Upgrades  
SD to CD Estimate Variance Summary**

Trade Summary		North Stratfield Elementary School HVAC Upgrades			Fairfield Woods Middle School HVAC Upgrades			Osborn Hill Elementary School HVAC Upgrades			Total Costs			Variance Notes
Design Phase:		SD	CD	Variance	SD	CD	Variance	SD	CD	Variance	SD	CD	Overall Variance	
Work Area GSF:		54,544	47,920	-6,624	80,044	77,515	-2,529	32,846	32,886	40	167,434	158,321	-9,113	
MF	Description	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	Subtotal	
01	Site Services	\$379,875	\$377,615	(\$2,259.97)	\$545,383	\$595,686	\$50,302.94	\$227,432	\$256,210	\$28,778.03	\$1,152,690	\$1,229,511	\$76,821.00	Revised per schedule & scope changes
02	Existing Conditions	\$291,266	\$284,274	(\$6,992.00)	\$519,343	\$447,461	(\$71,882.00)	\$280,615	\$269,026	(\$11,589.00)	\$1,091,224	\$1,000,761	(\$90,463.00)	Overall area demolition assumption reductions
03	Concrete	\$26,108	\$73,528	\$47,420.00	\$54,964	\$49,792	(\$5,172.00)	\$23,679	\$72,421	\$48,742.00	\$104,751	\$195,741	\$90,990.00	Increased due to feeder routes and repairs required at new electrical rooms
04	Masonry	\$79,000	\$59,477	(\$19,523.00)	\$142,500	\$138,367	(\$4,133.00)	\$84,500	\$62,202	(\$22,298.00)	\$306,000	\$260,046	(\$45,954.00)	Added misc. metals allowances for supporting rooftop infrastructure (conduit, duct, pipe)
05	Metals	\$152,846	\$156,419	\$3,573.00	\$224,304	\$275,711	\$51,407.00	\$92,044	\$158,322	\$66,278.92	\$469,194	\$590,452	\$121,258.92	Added casework modifications for condensate pipe discharge
06	Wood, Plastics, & Composites	\$27,272	\$37,960	\$10,688.00	\$40,022	\$41,758	\$1,735.50	\$16,423	\$21,443	\$5,020.00	\$83,717	\$101,161	\$17,443.50	Additional rooftop supports requiring flashing/patching
07	Thermal & Moisture Protection	\$135,000	\$36,920	(\$98,080.00)	\$216,000	\$296,629	\$80,628.75	\$100,000	\$221,332	\$121,331.50	\$451,000	\$554,880	\$103,880.25	Additional doors to access new electrical rooms
08	Openings	\$5,500	\$11,000	\$5,500.00	\$5,500	\$18,500	\$13,000.00	\$5,500	\$11,000	\$5,500.00	\$16,500	\$40,500	\$24,000.00	Ceiling demolition & replace assumption reductions
09	Finishes	\$871,346	\$681,568	(\$189,777.65)	\$1,278,712	\$947,477	(\$331,234.99)	\$524,717	\$522,114	(\$2,602.65)	\$2,674,775	\$2,151,160	(\$523,615.29)	Toilet partitions requiring replacement for ductwork installation
10	Specialties	\$0	\$350	\$350.00	\$0	\$62,350	\$62,350.00	\$0	\$350	\$350.00	\$0	\$63,050	\$63,050.00	
11	Equipment	\$27,272	\$23,960	(\$3,312.00)	\$40,022	\$50,000	\$9,978.00	\$16,423	\$16,443	\$20.00	\$83,717	\$90,403	\$6,686.00	
12	Furnishings	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
13	Special Construction	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
14	Conveying Systems	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
21	Fire Suppression	\$201,084	\$177,900	(\$23,184.00)	\$300,094	\$288,643	(\$11,451.50)	\$121,091	\$121,231	\$140.00	\$622,269	\$587,774	(\$34,495.50)	Gas piping roof length increases compared to SD \$/SF alw.
22	Plumbing	\$70,750	\$115,236	\$44,486.00	\$113,828	\$162,044	\$48,216.00	\$42,606	\$69,260	\$26,654.00	\$227,184	\$346,540	\$119,356.00	Vendor quotes and quantity surveys vs. SD \$/SF alw.
23	Heating, Ventilating & AC	\$3,334,279	\$3,447,998	\$113,719.00	\$4,608,946	\$4,846,592	\$237,645.50	\$1,970,515	\$2,311,441	\$340,926.00	\$9,913,740	\$10,606,031	\$692,290.50	Vendor quotes and quantity surveys vs. SD \$/SF alw.
26/27/28	Electrical, Communications, Security	\$1,483,927	\$1,727,292	\$243,364.50	\$2,877,192	\$3,201,861	\$324,669.41	\$1,045,279	\$1,411,358	\$366,078.56	\$5,406,398	\$6,340,510	\$934,112.47	Additional site demo & repairs based on feeder routes
31/32/33	Site Construction	\$122,500	\$136,750	\$14,250.00	\$156,000	\$182,375	\$26,375.00	\$73,750	\$169,120	\$95,370.00	\$352,250	\$488,245	\$135,995.00	
<b>Total Trade Cost</b>		<b>\$7,208,025</b>	<b>\$7,348,247</b>	<b>\$140,221.88</b>	<b>\$11,122,810</b>	<b>\$11,605,245</b>	<b>\$482,434.61</b>	<b>\$4,624,573</b>	<b>\$5,693,273</b>	<b>\$1,068,699.36</b>	<b>\$22,955,409</b>	<b>\$24,646,764</b>	<b>\$1,691,355.85</b>	
Design / Estimating Contingency		\$1,081,204	\$551,119	(\$530,085.23)	\$1,668,422	\$870,393	(\$798,028.16)	\$693,686	\$426,995	(\$266,690.56)	\$3,443,311	\$1,848,507	(\$1,594,803.95)	Design contingency reduction
Escalation		\$391,526	\$315,975	(\$75,550.95)	\$604,169	\$499,026	(\$105,143.38)	\$251,198	\$244,811	(\$6,386.89)	\$1,246,892	\$1,059,811	(\$187,081.22)	Affected by trade costs and design contingency reduction
CM Contingency		\$310,845	\$294,142	(\$16,703.15)	\$477,287	\$464,544	(\$12,743.34)	\$198,193	\$227,895	\$29,702.05	\$986,325	\$986,581	\$255.56	Affected by trade costs and design contingency reduction
CM P&P Bond (.65%)		\$67,350	\$63,731	(\$3,619.02)	\$103,412	\$100,651	(\$2,761.06)	\$42,942	\$49,377	\$6,435.44	\$213,704	\$213,759	\$55.37	Affected by trade costs and design contingency reduction
General Liability (.997%)		\$103,304	\$97,753	(\$5,551.01)	\$158,619	\$154,384	(\$4,235.04)	\$65,866	\$75,737	\$9,870.98	\$327,789	\$327,874	\$84.93	Affected by trade costs and design contingency reduction
General Conditions - Studied		\$738,778	\$685,686	(\$53,091.87)	\$1,084,166	\$1,082,919	(\$1,247.07)	\$444,887	\$531,256	\$86,368.94	\$2,267,830	\$2,299,860	\$32,030.00	Revised per schedule & scope changes
Field Office Support - Studied		\$205,742	\$208,519	\$2,777.11	\$301,929	\$329,319	\$27,389.80	\$123,896	\$161,557	\$37,660.08	\$631,568	\$699,395	\$67,827.00	Revised per schedule & scope changes
Preconstruction Services - Studied		\$34,433	\$31,514	(\$2,919.34)	\$50,531	\$49,770	(\$760.80)	\$20,736	\$24,416	\$3,680.14	\$105,700	\$105,700	\$0.00	
CM Fee (2.1%)		\$217,591	\$205,899	(\$11,692.21)	\$334,101	\$325,181	(\$8,920.33)	\$138,735	\$159,526	\$20,791.43	\$690,428	\$690,606	\$178.89	Affected by trade costs and design contingency reduction
Building Permit - By Owner		\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
State Education Fee (\$5.26/\$1000)		\$2,694	\$2,136	(\$558.00)	\$4,136	\$3,373	(\$763.08)	\$1,718	\$1,655	(\$62.75)	\$8,548	\$7,164	(\$1,383.83)	Affected by trade costs and design contingency reduction
Builders Risk Insurance - Not Included		\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	\$0	\$0	\$0.00	
<b>Total Construction Cost</b>		<b>\$10,361,491</b>	<b>\$9,804,719</b>	<b>(\$556,771.80)</b>	<b>\$15,909,582</b>	<b>\$15,484,805</b>	<b>(\$424,777.83)</b>	<b>\$6,606,430</b>	<b>\$7,596,498</b>	<b>\$990,068.23</b>	<b>\$32,877,503</b>	<b>\$32,886,022</b>	<b>\$8,518.60</b>	



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# Basis of Estimate

## Clarifications

### General

1. This cost estimate for the North Stratfield Elementary School, Osborn Hill Elementary School and Fairfield Woods Middle School HVAC Upgrades projects is based on CD drawings dated 09/29/23 and prepared by BL Companies.
2. The estimate assumes construction starting April 2024 with substantial completion by August 2025. Gilbane's general conditions, site services and escalation allocations reflect this.
3. The pricing is based upon open, competitive bidding by prequalified subcontractors and suppliers.
4. Professional service fees and reimbursables (Architect, Engineering, Consulting, Owner's Representative) are not included.
5. Permit fees are not included.
6. This estimate does not include police detail for work adjacent to the street.
7. This estimate includes Colliers and The Town of Fairfield provided budgets for new security vestibules at each school.

### Insurance and Taxes

Insurance and taxes are clarified as follows:

Insurance and Taxes	Included	Not Included
General Liability Insurance is included at a rate of .997%	•	
A CM P&P Bond is included at a rate of .65%	•	
Builder's Risk Insurance		•

### Contingency

1. A 7.5% design contingency is included for the project. As design progresses the design/estimating contingency will be adjusted to reflect the level of the plans and specifications. Contingency varies depending on level of design and building complexity.
2. A 3% construction contingency is included for the project. This is intended for Gilbane's exclusive use for any items constituting Cost of the Work which are not the basis of a Change Order.
3. Escalation is based on the project schedule and is included in the estimate. In the event of phasing changes, the project start is postponed, or the construction duration is extended, pricing should be adjusted accordingly to account for cost escalation and local market conditions.

### Project Indirect Costs

Project indirect costs are clarified as follows:

Project Indirect Costs	Included	Not Included
Land acquisition		•
Permit fees		•
Impact fees, approval fees, licensing fees		•
Off-site improvements other than those indicated on the document set (Adjacent roadway improvements, traffic lights, turn lanes, public utility mains, etc.)		•
Geotechnical Surveys and testing		•
Independent material testing during construction		•
3rd Party Commissioning (In House Commissioning included w/ construction)		•

Environmental testing and remediation costs (Asbestos, contaminated soils, USTs, etc.)		•
Operating supplies and expenses.		•
Owner required furniture, fixtures and equipment – Including but not limited to loose equipment, furniture, workstations, computers, phones, voice/data/security equipment, indoor plantings and artwork.		•
Utility Infrastructure and Connection Fees (power, gas, telephone, data...)		•
Offsite utility infrastructure and connection fees (Power, gas, telephone, data, etc.)		•

## Building Metrics

Floor Area		
Fairfield Woods Work Area GSF	77,515	SF
Osborn Hill Work Area GSF	32,886	SF
North Stratfield Work Area GSF	47,920	SF

## Assumptions – CSI

### 01 General Requirements & Existing Conditions

- General Requirements are included to cover costs associated with general temporary construction required for a complete construction estimate. This includes but is not limited to temporary walkways and partitions, safety, protection of occupied areas, shared scaffolding / hoisting, traffic control, dumpsters, temporary toilets, construction way finding, interim and final cleaning, etc.
- This estimate assumes scope is limited to the areas requiring new HVAC unless otherwise noted. The work areas are above.
- This estimate assumes that the projects can occur simultaneously. Gilbane's general conditions, general requirements and preconstruction costs assume this. In Gilbane's summary sheet, the costs are weighted by building size for the building breakouts. If one project were to go on hold, these costs would need to be re-studied and re-allocated. The trade allowances are also under this assumption and broken out based on building size. The overall values are listed below:

CSI	Discipline	Description	Value
02A	Demo	Include 160 hrs. of misc. additional demo as directed	\$ 16,000
02A	Demo	Include 240 hrs. of additional temp protection and cleanup as directed.	\$ 24,000
03A	Concrete	Include 100 hrs. of additional temp protection and cleanup as directed.	\$ 10,000
03A	Concrete	Include 350 hrs. of Premium time to accelerate Steel Work as directed.	\$ 8,750
05A	Misc. Metals	Include 350 hrs. of Premium time to accelerate Steel Work as directed.	\$ 8,750
09A	General Trades	Include 350 hrs. of additional temp protection and temp rails as directed	\$ 20,000
09A	General Trades	Include 250 hrs. of Premium time to accelerate windows installation as directed	\$ 6,250
09B	Acoustical Ceilings	Provide (80) hours to install ceiling tiles at substantial completion	\$ 8,000
09B	Acoustical Ceilings	Include 250 hrs. of Premium time to accelerate windows installation as directed	\$ 6,250
09C	Painting	Provide (160) hours and material for painting touch up	\$ 12,800
09D	Flooring	Include 250 hrs. of Premium time as directed	\$ 6,250
09D	Flooring	Include 350 hrs. of additional temp protection as directed	\$ 20,000
21A	Fire protection	Include 250 hrs. of Premium time to accelerate as directed	\$ 6,250
22A	Plumbing	Provide (200) hours for Temporary work	\$ 16,000
22A	Plumbing	Include 250 hrs. of Premium time to accelerate as directed	\$ 8,750
23A	HVAC	Provide (200) hours for Temporary work	\$ 19,200
23A	HVAC	Include 350 hrs. of Premium time to accelerate as directed	\$ 12,250
26A	Electrical	Provide (100) hours for Temporary work	\$ 12,000
26B	Electrical	Include 350 hrs. of Premium time to accelerate as directed	\$ 12,250
26B	Electrical	Include 250 hrs. of additional work as directed due to TCO requirements.	\$ 30,000

4. This estimate includes premium time allowances for the general trades we well totaling \$250,000.

## **02 Existing Conditions**

1. This estimate includes the cost to abate PCBs at all ceilings to be removed in Osborne Hill. We have not included abatement in spaces outside of the areas of work defined in the documents.
2. This estimate includes an allowance of \$50,000 for miscellaneous abatement at North Stratfield.
3. This estimate includes an allowance of \$100,000 for miscellaneous abatement at Fairfield Woods.

## **03 Concrete**

1. This estimate includes an allowance for new equipment pads and select repairs around openings for new piping and ductwork.
2. This estimate includes sawcutting and patching the existing slab on grade and foundation for secondary electrical feed installation.

## **04 Masonry**

1. This estimate includes an allowance for CMU and brick repairs only as a result of new ductwork and pipe penetrations.

## **05 Metals**

1. This estimate includes an allowance for supplemental steel for new ductwork openings only. It is assumed that the existing structure can support new equipment on the roof. No costs have been included for structural reinforcements.
2. This estimate does not include framed openings at all roof penetrations. This estimate includes framed openings at roof penetrations only as shown on the structural drawings.
3. This estimate does not include miscellaneous metal support for rooftop piping / ductwork. We have only included steel framing / supports at locations as drawn on the structural plans.

## **06 Wood, Plastics & Composites**

1. This estimate does not include new millwork or casework. An allowance has been carried for select rough carpentry scope associated with blocking for new panelboards and roof penetrations.
2. This estimate includes casework modifications at classroom casework locations to facilitate tying in new condensate drains.

## **07 Thermal & Moisture Protection**

1. This estimate does not include a new roof system as a result of new equipment going in. Allowances have been included for select "rip and replace" where new penetrations are required for new equipment, ductwork, curbs, piping & supports.
2. This estimate does not include upgrading existing conditions to meet code. Firestopping of existing infrastructure, for example is excluded.
3. This estimate does not include roof patching and repairs for North Stratfield and assumed that the roof will be replaced in its entirety.

## **08 Openings**

1. This estimate only includes new doors where a new electrical room is required.

## **09 Finishes**

1. This estimate includes an allowance to replace Act ceilings only in the new work areas. Allowances have been included for touch up paint, repairs and drywall repairs/modifications. No new drywall ceilings are included.
2. This estimate includes an allowance for new soffits to accommodate the HVAC system upgrades.
3. This estimate assumes wall mounted condensate piping tying into existing classroom sinks where applicable, per information gathered at the site visits.

4. This estimate includes removing and replacing all ACT ceilings at classroom locations in Fairfield Woods to accommodate new HVAC equipment. Removal and replacement was not shown documents.

## **10 Specialties**

1. This estimate includes new toilet accessories and partitions in Fairfield Woods only as a result of ceiling demolition and ductwork installation.

## **11 Equipment**

1. This estimate includes an allowance for relocating owner equipment to access and install the new mechanical systems.

## **12 Furnishings**

1. This estimate does not include new furnishings.

## **13 Special Construction**

1. This estimate does not include new special construction items.

## **14 Conveying Equipment**

1. This estimate does not include elevator work.

## **21 Fire Protection**

1. This estimate assumes turning heads upright then replacing them with concealed heads at the new areas of work only.
2. This estimate does not include a specialty sprinkler system for the new electrical rooms.

## **22 Plumbing**

1. This estimate assumes tying in to the existing gas system.
2. This estimate assumes standard schedule 40 steel pipe for rooftop gas distribution.
3. This estimate assumes that condensate piping can be PVC.
4. This estimate includes an allowance for roof drainage and a floor drain in the new electrical room at Fairfield Woods.
5. This estimate assumes that condensate tie-ins to sinks can be done externally to the wall and piped to the back of the classroom sinks. No sanitary work is associated with the scope per the walk throughs.

## **23 Heating, Ventilating, & Air Conditioning**

1. This estimate assumes duct lining only as shown.
2. This estimate does not include cleaning of existing ductwork.
3. This estimate does not include balancing of existing systems.
4. This estimate assumes Alerton controls for all 3 schools.
5. This estimate does not include weatherproof enclosures or pipe portals for refrigerant piping penetrations.

## **26/27/28 Electrical**

1. This estimate assumes new lighting only in the areas that are receiving new HVAC systems.
2. This estimate assumes re-using existing lighting circuits for the new fixtures.
3. This estimate does not include utility company transformers, primary cabling and utility switchgear.
4. This estimate does not include electrifying new mechanical equipment until the new switchgear is live.

## **31/32/33 Sitework**

1. This estimate includes an allowance for sitework associated with new electrical conduits if they end up being required.
2. This estimate assumes concrete encasement at primary and secondary electrical locations.
3. This estimate does not include the removal of hazardous or contaminated soils.
4. This estimate does not include rock or ledge removal to install the new underground electrical service.

5. This estimate does not include any landscaping and / or site improvements.

Document Enumeration

The following documents were used in the preparation of this Schematic Design Estimate.

Plans & Other Documents

BL Companies SD Documents dated 09-29-23



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