

**SUPPLEMENT NO. 4
FAIRFIELD SCHOOLS – HVAC UPGRADES & RELATED WORK
GILBANE JOB NO. J10191.000**

**FAIRFIELD WOODS MIDDLE SCHOOL
STATE PROJECT NO. 051-002 HVAC
NORTH STRATFIELD ELEMENTARY SCHOOL
STATE PROJECT NO. 051-003 HVAC
STATE PROJECT NO. 051-0155 RR
OSBORN HILL ELEMENTARY SCHOOL
STATE PROJECT NO. 051-004 HVAC**

Bid Packages: 02A – Demolition, 05A – Structural Steel, 07A – Roofing, 09A – General Trades, 09B – Ceilings, 21A – Fire Protection, 23A – Plumbing & HVAC, 26A – Electrical, 31A - Sitework

Note: Use the below link to access the complete supplement including all attachments:

<https://securecc.smartinsight.co/#/PublicBidProject/741349>

The following items are hereby made part of the bid documents for the Fairfield Schools – HVAC Upgrades & Related work Project in Fairfield, CT:

GENERAL

1. Bid RFI log dated 02/26/2024 has been issued.
2. The Bid Due date has **CHANGED** for the **below Bid Packages** only. All other bid due dates remain as previously published.

Bid Package Name & No.	Proposal Due Date	Proposal Due Time
02A – Demolition	3/4/2024	1:00PM
05A – Structural Steel	3/4/2024	1:00PM
07A – Roofing	3/4/2024	1:00PM
09A – General Trades	3/4/2024	1:00PM
09B – Ceilings	3/4/2024	1:00PM
21A – Fire Protection	3/4/2024	1:00PM
23A – Plumbing and HVAC	3/4/2024	1:00PM
26A – Electrical	3/4/2024	1:00PM
31A – Sitework	3/4/2024	1:00PM

SPECIFIC

BP 02A – Demolition

1. Reference Proposal Form Section L – Scope of Work:
 - a. DELETE Specific Scope of Work Item #16:
~~16. Provide all interior saw cutting, trenching, and excavating.~~

BP 07A – Roofing

1. Reference Proposal Form Section J – Allowances:
 - a. REVISE Allowance No. OH-07A-2 (A/E Allowance No. 4) as follows:

Allowance No. OH-07A-2 (A/E Allowance No.4): Include Ten Thousand Dollars (\$10,000.00) **at the Osborn Hill Elementary School for additional unforeseen** existing roof patching work at the existing penetrations and openings as directed by the Construction Manager., ~~reference BL-Companies Contract documents added 1/15/2024. This allowance will be utilized in conjunction with the HVAC scope of work, and it is in addition to the entire roof replacement scope of work at North Stratfield Elementary School, indicated on Silver Petrucelli + Associates Contract Documents. This Allowance will be utilized above and beyond work included in the base bid.~~

- b. REVISE Allowance No. FW-07A-2 (A/E Allowance No.4) as follows:

Allowance No. FW-07A-2 (A/E Allowance No.4): Include Ten Thousand Dollars (\$10,000.00) **at the Fairfield Woods Middle School for additional unforeseen** for existing roof patching work at the existing penetrations and openings as directed by the Construction Manager., ~~reference BL-Companies Contract documents added 1/15/2024. This allowance will be utilized in conjunction with the HVAC scope of work, and it is in addition to the entire roof replacement scope of work at North Stratfield Elementary School, indicated on Silver Petrucelli + Associates Contract Documents. This Allowance will be utilized above and beyond work included in the base bid.~~

2. Reference Proposal Form Section L – Scope of Work:
 - a. REVISE Specific Scope of Work Item #27 as follows:

27. Provide all cutting of existing roofs for the installation of all new duct, pipe supports, and other penetrations installed by others. Patch the roof daily as required to ensure a watertight system that is covered under the roof warrantee. All existing roof repairs, patches and replacements shall follow existing manufacturer guidelines in order to avoid voiding warrantees. This trade contractor is responsible for correcting all deficiencies. **All cutting and patching at the existing roofs at Osborn Hill Elementary and Fairfield Woods Middle School shall be included in the base bid, the Allowances (OH-07A-2 and FW-07A-2) in Section J shall not be utilized for this work. However,** all cutting and patching of the existing roof at the North Stratfield Elementary School shall be completed under Allowance ~~#2~~ **NS-07A-2**, Section J, this patching is required as a temporary measure in order to address existing roof penetrations and openings as a result of the HVAC work at this building.

- b. ADD Specific Scope of Work Item #45:

45. Detail K found on Drawing A3 of the SP+A North Stratfield Roof drawings will be performed by BP 09A. This Trade Contractor shall coordinate the work with BP 09A Trade Contractor.

BP 09A – General Trades

1. Reference Proposal Form Section L – Scope of Work:
 - a. REVISE Specific Scope of Work Item #2 as follows:
 2. Provide all work as specified in the following Specification Sections and as shown on the drawings (all drawings). The work specified in the following specification sections is the sole responsibility of this Trade Contractor unless modified below:

Gilbane Project Manual
BL Companies Specifications – HVAC Upgrades dated 01/15/2024
All Division 00 and 01 Documents
Section 03 30 00 Cast-In-Place Concrete
Section 04 20 00 Unit Masonry Assemblies
Section 06 10 00 Rough Carpentry
Section 07 21 00 Building Insulation
Section 07 92 00 Joint Sealants
Section 08 11 13 Hollow metal doors and frames
Section 08 31 00 Access doors and panels
Section 08 71 00 Door Hardware
Section 09 29 00 Gypsum board assemblies
Section 09 90 00 Painting (Allowance)

In addition, the Trade Contractor shall provide work specified elsewhere in the Specifications and specifically listed within this scope of work.

- b. DELETE Specific Scope of Work Item #22:
~~22. Provide and form all openings for MEP penetrations through CMU walls and slabs in accordance with the contract documents. Coordinate the work with MEP trade contractors.~~
- c. ADD Specific Scope of Work Item #37:
37. This Trade Contractor shall provide the scope required to complete Detail K on A3 of the SP+A North Stratfield roof drawings.

BP 21A – Fire Protection

- 1. Reference Proposal Form Section J – Allowances:
 - a. REVISE Allowance No. OH-21A-2 (A/E Allowance No.3) as follows:

Allowance No. OH-21A-2 (A/E Allowance No.3): ~~Include Two Thousand Five Hundred Dollars (\$2,500.00) for unistrut support as required to support any flex head sprinkler which needs to remain operational without ceilings during construction. Include Seventy-Five Thousand Dollars (\$75,000.00) for the work associated with changing the existing sprinkler heads (whether hard piped or flex) to upright heads at Osborn Hill Elementary School as directed by the Construction Manager. Contractor to note that the final re-setting of the sprinkler heads back in the permanent, complaint position is part of the base bid, this to include draining, filling, testing and inspecting the system as required.~~

- b. REVISE Allowance No. NS-21A-2 (A/E Allowance No.3) as follows:

Allowance No. NS-21A-2 (A/E Allowance No.3): ~~Include Two Thousand Five Hundred Dollars (\$2,500.00) for unistrut support as required to support any flex head sprinkler which needs to remain operational without ceilings during construction. Include Seventy-Five Thousand Dollars (\$75,000.00) for the work associated with changing the existing sprinkler heads (whether hard piped or flex) to upright heads at North Stratfield Elementary School as directed by the Construction Manager. Contractor to note that the final re-setting of the sprinkler heads back in the permanent, complaint position is part of the base bid, this to include draining, filling, testing and inspecting the system as required.~~

c. REVISE Allowance No. FW-21A-2 (A/E Allowance No.3) as follows:

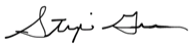
Allowance No. FW-21A-2 (A/E Allowance No.3): ~~Include Ten Thousand Dollars (\$10,000.00) for unistrut support as required to support any flex head sprinkler which needs to remain operational without ceilings during construction.~~ **Include Seventy-Five Thousand Dollars (\$75,000.00) for the work associated with changing the existing sprinkler heads (whether hard piped or flex) to upright heads at Fairfield Woods Middle School as directed by the Construction Manager. Contractor to note that the final re-setting of the sprinkler heads back in the permanent, complaint position is part of the base bid, this to include draining, filling, testing and inspecting the system as required.**

REMINDERS

1. **Proposal Forms:** Bid must be submitted on the Gilbane Proposal Form dated 01/15/2024 included in the Gilbane Project Manual.
2. **Bid Bond:** Each Bid shall be accompanied by a bid security in the form of a Bid Bond in an amount not less than Ten Percent (10%) of the total amount of the base bid drawn in favor of Gilbane Building Company. Said surety shall be issued by a surety that is licensed to do business in the State of Connecticut and is rated A-(VII) or better by A.M. Best. Bids received without such bid bond will be considered non-responsive and therefore rejected, no exceptions.
3. **P&P Bonds:** Bidders shall INCLUDE the cost of 100% Payment and Performance Bonds in their base bid.
4. **Bidder's DAS Construction Contractor Prequalification Update Statement:**
 - a. Bidders, at the time the bid is submitted, must be prequalified with the State of Connecticut Department of Administrative Services (DAS) in accordance with C.G.S §4b-91, for the bid packages listed in the 00 11 13 Advertisement for Bids. In accordance with C.G.S. §4a-100, §4b-91, and §4b-101, any trade contractor submitting a bid is required to submit their DAS Update Statement with their bid. Failure to submit this item with the bid will result in rejection of the bid.
 - b. The Bidder's DAS Construction Contractor Prequalification Certificate is NOT a substitute for the Bidder's Contractor Prequalification Update Statement.

All other terms and conditions remain unchanged. Acknowledge your receipt and inclusion of this Supplement on the proposal form in the space provided.

Sincerely,
GILBANE BUILDING COMPANY



Stephanie Greenman
Chief Purchasing Agent

Cc: Project Team – Gilbane
File

-----End of Supplement #4 -----

Fairfield Public Schools - HVAC Upgrades & Related Work
Gilbane Job No. J10191.000
Bid RFI Log
Bid Supplement #4 - 02/26/2024



Bid RFI #	Date Submitted	Discipline	Drawing / Spec Reference	School	Question	Open/Closed	Date Answered	Answer	Responsible Party	Issued to Trades
1	1/25/2024	Civil / Electrical	9/E401	All	Reference detail 9/E401 for typical reinforced concrete encased conduit banks. Where is this detail used?	Closed	2/16/2024	Detail9/E401 is a typical encasement detail to be used when conduits can not be installed at the correct depth per code. This work if required will be covered by an Owner Allowance and not by the Trade Contractors. Treated as a change order and to be excluded from base bid.	BL	Supplement #2
2	1/29/2024	Civil / Electrical	E101.1A & E601	Osborn / NS	For both Osborn Hill and North Stratfield, the one-line riser diagram 2/E601 indicates that the secondary conduit pathway from the transformer to the switchgear is to be underground. Notes on the partial electrical site plan 3/E601 and partial first floor power plan for Area A E101.1A indicate that the secondary pathway is to rise up the exterior of the building, pass through exterior wall and then tie into the switchgear from above. Please confirm the correct routing and configuration is for the secondary conduit pathway to feed overhead and into top of gear as shown on the plans. Please revise drawings accordingly.	Closed	2/13/2024	One-Line Diagram has been updated in revision dated 2/14/24 "Addendum 1" to show feeders entering the top of the new switchboard MDP2 for both Osborn and North Stratfield	BL	Supplement #2
3	1/29/2024	Civil / Electrical	2/E601	Osborn	The one-line riser diagram 2/E601 indicates that the existing Main Switch C/T Cabinet and Fire Pump C/T Cabinet are to be re-fed underground. 1. Please confirm that the underground conduits from the new transformer vault are to rise up on the building exterior, entering the space through the exterior wall. Please provide details for the power distribution back feed connection components. 2. Please confirm existing C/T cabinets can be tied in from overhead routing.	Closed	2/9/2024	Contractor shall determine best way to refeed existing equipment which complies with existing conditions, equipment, and project schedule. Contractor will most likely need to intercept conduits going into existing main disconnect and existing fire pump main disconnect as equipment cannot be top fed unless otherwise allowed by manufacturer of equipment. The existing conduits will most likely be intercepted on the exterior of the building in the parking lot, but if the contractor determines a more effective pathway to gain entry into the boiler and fire pump rooms for each service, this will be acceptable as well. Conduits will need to be reworked as necessary.	BL	Supplement #2
4	1/29/2024	Civil / Electrical	1/E601	Woods	The riser diagram on drawing 1/E601 indicates that the existing Main Switch C/T Cabinet is to be re-fed underground. 1. Please confirm that the underground conduits from the new transformer vault are to rise up on the building exterior, entering the space through the exterior wall. Please provide details for the power distribution back feed connection components. 2. Please confirm existing C/T cabinet can be tied in from overhead routing.	Closed		The existing switchboard for North Stratfield is currently fed from the top from the transformer vault room in the adjacent room. The new feed from the new pad mounted transformer will still be a "top feed". These feeders shall start underground from the transformer and rise up on the exterior of the building, similar to the new service, and then penetrate into the building and enter the equipment through the existing holes in the top. See revised detail 3/E601 dated 2/14/24 "Addendum 1".	BL	Supplement #2
5	1/29/2024	Civil / Electrical	2/E601	Woods	Reference Detail 2/E601. For the pad mounted tap box, please provide this utility pad requirements, depth, size, and reinforcement.	Closed	2/13/2024	Contractor shall coordinate utility pad requirements with utility company. Refer to attached documents in addendum #1.	BL	Supplement #2
6	1/29/2024	Civil	SP-1	Woods	Drawing SP-1 indicates three bollards to be installed in what appears to be a drive lane, located at 4'-0" on center and centered on the double door opening for the proposed new utility room. Please provide a distance from face of wall to locate these bollards and confirm it is correct to be installing bollards in the apparent drive lane.	Closed	2/9/2024	SP-1 will be updated to include four bollards located closer to the proposed new utility room. Please include pricing for four bollards in bids. Documents to be issued at a later date with dimensions.	BL	Supplement #2
7	1/29/2024	Civil / Structural / Electrical	SP-1	Woods	Drawing SP-1 shows existing primary service and tele-data conduits passing through the new foundation walls for the proposed new utility room. Please advise if these utility conduits should be concrete encased where running below the new concrete slab and provide through-wall penetration details.	Closed	2/13/2024	See 5/5001 for Existing Conduit Thru New Foundation detail. Addendum #1.	BL	Supplement #2
8	1/29/2024	Electrical	SP-1 & E601	All	Reference drawings SP-1 & E601. 1. At the primary service pathway, the drawings state "Proposed...electrical primary conduits. First 150 feet of primary wiring from top of utility pole provided and installed by Utility Company. Remainder of primary wiring to transformer provided by Contractor and installed by Utility Company." Primary service wiring is typically run from the street to a tap box or directly to the transformer without interruption. The distance on the plans from the pole to the tap box or transformer is in excess of 150'. Please clarify how the primary service wire is to be carried. 2. Furthermore, conduit designations on E601 designate symbol (A) for the primary service conduit. Symbol (A) within the One-line Power Riser Diagram Feeder Key Notes does not contain wire specifications. Please provide wire size.	Closed	2/9/2024	Primary electrical wiring in its entirety with Utility Company is by others.	BL	Supplement #2
9	1/29/2024	Structural / Architectural	S101.3D & A301	Woods	1. Reference roof edge details 18/A301 & 4/S101.3D at the new electrical room. Structural detail 4/S101.3D indicates that the structural roof framing end condition is to have 2x blocking with a cont. bent plate secured with lag screws fastened horizontally into blocking at 24" o.c. Architectural detail 18/A301 shows back to back bent plates fastened vertically into bond beam. These details conflict with one another. Please confirm which detail is correct and revise the drawings accordingly. 2. Reference roof edge details 2/A301 & 4A/S101.3D. Architectural detail 2/A301 shows a similar roof edge condition to 18/A301 with back-to-back bent plates fastened vertically into bond beam. However, structural detail 4/S101.3D does not show any bent plate support of the roof edge. Please coordinate architectural and structural drawings at this roof edge condition.	Closed	2/9/2024	Architectural details to change and coordinate with Structural drawings. (Note in Detail 4A the deck is in the strong direction thus an angle support is not required.) Structural drawings take precedent for this condition.	BL	Supplement #2

10	1/30/2024	General	012100	All	Reference specification section 012100 Allowances. 1. Article 1.6, Paragraphs B and C call for overhead, profit and related costs to be included in each allowance. This is in conflict with Section J of the Gilbane bid package proposal forms which call for allowance amounts to "exclude overhead and profit" and "all other costs associated with completing the work" unless specifically noted for inclusion. The language on the proposal forms shall prevail. Please amend this specification section to remove all conflicting language. 2. Article 3.3 provides a Schedule of A/E Allowances. Allowance No. 1 refers specifically to a detail the Osborn Hill drawings. Please confirm these A/E-specified allowances are for the entire Fairfield Schools - HVAC Upgrades & Related Work project and not for EACH school.	Closed	2/16/2024	1. Article 1.6, Paragraph B has been revised: "For Trade Contractor's overhead and profit related costs please refer to the Gilbane Project Manual Section J. Allowances." Article 1.6, Paragraph C has been removed. 2. Allowance No.1 is for a total of \$150,000 for all three schools combined. For example, Allowance #1 requires \$50,000 for Osborn Hill School, \$50,000 for North Stratfield School, and \$50,000 for Fairfield Woods School, resulting in a total combined Allowance #1 of \$150,000. GBCo: Refer to Gilbane Proposal Form for the appropriate breakdown of allowances to be included in the lump sum bid amount.	BL / Gilbane	Supplement #2
11	1/30/2024	Mechanical	238129, 11/M502, M601 (Osborn) / M602	All	Specification Section 238129, 2.3E states: "Isolation of Equipment: Provide isolation valves to isolate each HRCU, indoor and outdoor unit for service, removal, and replacement without interrupting system operation." The VRF Branch Controller Schedule on M602 (M601 for Osborn Hill) calls for full port ball valves; however, the VRF Indoor Fan Coil Unit Schedule on M602 (M601 for Osborn Hill) and mounting detail 11/M502 do not show isolation valves at the units. Please review and advise if ball valves are required at each FCU in addition to the VRF branch controller.	Closed	2/9/2024	Ball valves are not required at each FCU, only required at the branch controller.	BL	Supplement #2
12	1/31/2024	Mechanical	M502	All	The typical piping detail for the indirect condensate connection detail 12 on M502 for all three schools states to connect to existing sink waste. Please confirm that this piping connection will require a "T" to be installed within the sink drain ahead of the sink P trap. Please revise this detail to show complete assembly with all components of integration.	Closed	2/9/2024	Condensate drain to be indirectly connected thru air gap to tailpiece ahead of sink P-trap of adequate size. If condensate is to be connected after P-trap of sink, air gap and P-trap to be provided for the condensate drain.	BL	Supplement #2
13	2/7/2024	Architectural	A102.1	NS	Reference drawing A102.1 in the North Stratfield ES HVAC Upgrades drawings. Detail 4 (Chase Detail at Condensate Piping) and drawing keynotes 2.16 & 2.17 call for condensate piping running down the wall to be concealed within an enclosure. This conflicts with mechanical key note 2 on the first floor mechanical piping/controls plans (M101.1A & M102.1B), which calls for condensate piping to run exposed on wall. Please confirm condensate piping shall run exposed on wall as per the mechanical drawings and update the architectural drawings accordingly.	Closed	2/9/2024	Architectural drawings to be updated to follow Mechanical drawings in a forthcoming conformed set.	BL	Supplement #2
14	2/12/2024	Architectural	00 93 19	All	Reference 00 93 19 Clarification Drawings page 1 detail 7 shows wood blocking and a sheet metal enclosure for a mechanical pipe is by the roofer, this is typically done with a goose neck or multi-pipe penetration provided by the mechanical contractors. Please advise if this is by the roofer or the mechanical contractor.	Closed	2/16/2024	This has been modified to be shown by Mechanical contractor. Please refer to updated Scope clarifications package in Supplement #2.	Gilbane	Supplement #2
15	2/12/2024	Architectural	00 93 19	All	Reference 00 93 19 Clarification drawings page 1 detail 2 shows wood blocking for the curbs of condensing units is by the roofer, this is typically done with pre-fab curbs also provided by the mechanical trades. Note 2 on Det 5 states the curbs should go directly to the steel not on wood blocking. Please advise if this is by the roofer or the mechanical contractor.	Closed	2/16/2024	This curb is not a prefabricated curb and is built in place. This scope will stay with package 07A. This Trade Contractor to coordinate with 23A Trade Contractor for sizing and locations.	Gilbane	Supplement #2
16	2/12/2024	Architectural	00 93 19	All	Reference 00 93 19 Clarification drawings page 1 detail 8 shows the foil faced jacket insulation covering the ductwork by the roofer, this is also typically done by the associated trade, this is not roofing material. This detail also calls for the pre-fab curb to be by the roofer, we have no idea of the different sizes needed nor do we typically provided pre-fab curb. Please advise which bid package is responsible for this scope.	Closed	2/16/2024	This has been modified to be shown by Mechanical contractor. Please refer to updated Scope clarifications package in Supplement #2.	Gilbane	Supplement #2
17	2/12/2024	Architectural	23 31 13	All	Reference specification section 23 31 13-16 Item 3.9 for Duct cleaning. Please advise on which existing ductwork is to be cleaned. Please provide clarification for all three schools.	Closed	2/21/2024	Existing and new ductwork which is located in the areas in scope (i.e. the areas that are not greyed out on the plans) shall be cleaned prior to testing and balancing.	BL	Supplement #3
18	2/13/2024	Architectural		All	Please provide a spec for type C-3 ceilings.	Closed	2/21/2024	Per Specification 095100-2 24"x48" ACT called out to be Cortega Minaboard #769 by Armstrong Industries.	BL	Supplement #3
19	2/13/2024	Architectural		All	Is acoustical ceiling type C-2 the same as ACT-2 in the specs?	Closed	2/21/2024	Yes C-2 is same as ACT-2 24"x24" Cortega Minaboard #770 by Armstrong Industries.	BL	Supplement #3
20	2/13/2024	Architectural		All	The spec calls for ACT-2 ceilings to be installed in Armstrong Clean Room gasketed grid. Is this correct?	Closed	2/21/2024	Confirmed. ACT-2 to be installed in Armstrong Clean Room with integral gasket system.	BL	Supplement #3
21	2/13/2024	Architectural	09 51 00	All	Please provide locations and quantities for the F-SORB acoustical panels in section 095100 2.4.	Open			BL	
22	2/15/2024	Architectural		NS	Will the permit for the reroofing at North Stratfield be covered under the CM's general permit?	Closed	2/21/2024	Yes. Confirmed.	Gilbane	Supplement #3
23	2/15/2024	Architectural		All	Is there test cut information on what the makeup of the roof systems are at each school?	Closed	2/21/2024	See attached photos of roofing system at each school.	BL	Supplement #3
24	2/16/2024	Architectural		NS	Please advise on which details take precedence for flashing of the mechanical equipment on North Stratfield, BL Details or SP+A details?	Closed	2/21/2024	SP+A Drawings will take precedence.	BL	Supplement #3
25	2/16/2024	Architectural		Woods & Osborn	Can you please clarify what is required for safety on the roof and by whom for both Fairfield Woods and Osborn Hill? Also locations where it is required.	Closed	2/21/2024	Please refer to roof perimeter protection plan.	Gilbane	Supplement #3

							2/21/2024	F. Woods: (EX) RTU-01: Trane TSD300G4R0A0R0 (EX) RTU-02: Trane YHC120F4RHA0RD (EX) RTU-03: Lennox KGA120H4BH1G (EX) RTU-04: Trane YSC060G4RH04D (EX) RTU-05: Trane YSD150G4RHA0VD (EX) RTU-06: Trane YSD180G4RHA0RD (EX) RTU-07: Trane THC120F4ROA26D (EX) RTU-08: Venmar EnergyPack-W-2-06e-WB-HW-CS202-X-P (EX) RTU-09: McQuay RWS800BA (EX) RTU-10: Aeon RN-020-3-0-EA09-389 (EX) RTU-11: McQuay RWS800BA (EX) RTU-12: McQuay RWS800BA (EX) RTU-13: Trane YSC048G4RH04D (EX) RTU-14: Venmar 5WC-4-60x46x2-8AL (EX) RTU-15: Lennox LCH102H48N1G (EX) RTU-16: McQuay RPS079D (EX) RTU-17: Lennox LCH060H4EN1G (EX) RTU-18: McQuay OAH006GHAC (EX) RTU-19: Lennox LCH048S4TN1G (EX) RTU-20: Lennox LCH060S4TN1G (EX) RTU-21: Lennox LCH048S4TN1G (EX) RTU-22: Lennox LCH048S4TN1G OHill: (EX) RTU-1: Trane YSC090H3RHA0 (EX) RTU-2: Trane YSC060G3RLB04		
26	2/16/2024	Demolition		All	For the existing RTUs, what is the make and model number of each unit?	Closed			BL	Supplement #3
27	2/16/2024	Demolition		All	What type of freon is charged?	Closed	2/21/2024	R-22 and R-410A, varies per piece of equipment.	BL	Supplement #3
28	2/16/2024	Demolition		All	Are there any locations around the school perimeter where we cannot locate a crane for the RTUs?	Closed	2/21/2024	Contractor to utilize existing paved driveways and parking lots to pick RTUs and avoid landscaped areas for crane setup.	Gilbane	Supplement #3
29	2/16/2024	Demolition		All	Where will the dumpsters be staged for the ceiling debris?	Closed	2/21/2024	Please refer to the Phasing plan in the Gilbane Project Manual.	Gilbane	Supplement #3
30	2/16/2024	Demolition		All	How many square feet of hallways or rooms will be allowed to be removed per shift?	Closed	2/21/2024	Contractor to assume two classrooms per shift per school. We can adjust this once we are onsite and review actual conditions and timing.	Gilbane	Supplement #3
31	2/16/2024	Demolition		All	Which trade will be responsible to install and remove the floor protection daily?	Closed	2/21/2024	Bid Package 02A will be responsible to protect the floor daily.	Gilbane	Supplement #3
32	2/16/2024	Demolition		All	Can the electrician support the lights on the shift prior the ceiling demolition?	Closed	2/21/2024	No. Both trades have to coordinate the work together.	Gilbane	Supplement #3
33	2/16/2024	Architectural		All	Please clarify the schedule for the roofing? Will any roofing work be required on 2nd shift at any of the schools?	Closed	2/21/2024	Roofing will not take place on second shift. Roofing operations will be performed primarily during School summer break 2024 and 2025.	Gilbane	Supplement #3
34	2/19/2024	Architectural	00 93 19 / M503	NS	Please confirm RFI 15 regarding detail 2 on page 1 that all condensers will have a wood blocking curb in lieu of a pre-fab curb. All details shown on M503 of the North Stratfield drawings show them to be pre-fab curbs which is typically done and less costly.	Closed	2/21/2024	Condensing units shall be installed with pre-fabricated equipment curbs see 5/M503 on North Stratfield for example.	BL	Supplement #3
35	2/19/2024	Architectural	00 93 19	All	On the Scope Clarification drawings issued in supplement 2, detail 16 on Pg3 is calling for the roof to include the pre-fab curb?? There is no way for us to know every size needed, please revise to be by the mechanical trade.	Closed	2/21/2024	This is corrected in Supplement #3 issuance of the scope clarification drawings.	Gilbane	Supplement #3
36	2/19/2024	Architectural		All	What is the Connecticut state reimbursement percentage on this project?	Closed		Estimated to be approximately 26%.	Gilbane	Supplement #3
37	2/19/2024	Architectural		All	General Scope of work #1 notes that all individuals assigned to the Project site are required to undergo a background check by the Fairfield Police Department (FPD). Does the contractor have to pay a fee for this background check? If so, provide the cost.	Closed	2/21/2024	Background checks are free by the Fairfield Police department. Trade Contractor has to ensure employees are provided with proper time to have background checks performed to not affect schedule.	Gilbane	Supplement #3
38	2/19/2024	Architectural	12 36 23.13	All	Security Vestibule Spec 123623.13 calls for AWI QCP fabrication and installation. Given the small scope of work limiting the bidder potential, please confirm the AWI QCP will be waived if the cabinets are fabricated and installed to AWI Standards.	Open			BL	
39	2/19/2024	Architectural		Woods	Reference Detail 2,3/A101.1 and 2/A101.2 (and similar) – please confirm that new chase walls do NOT need to be rated shaftwall.	Closed	2/22/2024	new chase walls do not require ratings of any kind	BL	Supplement #3
40	2/19/2024	Architectural		Woods	Reference Detail 2,3/A101.1 and 2/A101.2 (and similar) – please confirm that BP09A is providing new 4” vinyl cove wall base at these new walls. We find no spec for resilient.	Closed	2/22/2024	Yes 4” vinyl base is to be provided	BL	Supplement #3
41	2/19/2024	Architectural		Woods	Reference A102.1 Room A117 & A122 – please confirm these GWB ceilings are existing.	Closed	2/22/2024	These and all sand hatch ceilings on this sheet should be new and not existing	BL	Supplement #3
42	2/19/2024	Architectural		Woods	Drawing A302 has soffit details 2 & 3, but we do not find these called out on the drawings. Please confirm there are NONE.	Closed	2/22/2024	Provide these soffits per the gypsum board sand hatch shown on A102.1 in classrooms A148, A150, A140, and the vestibule entrance at science A134.	BL	Supplement #3
43	2/19/2024	Architectural		NS	A102.1 – Detail 4 calls for a painted metal stud and drywall chase (by BP09A). Key Note 2.16 calls for a painted metal enclosure (by which BP?). Please clarify the materials and the Bid Package assignment.	Closed	2/22/2024	No chase is required here	BL	Supplement #3
44	2/19/2024	Architectural		NS	Drawing A102.1 has soffit details 2 & 3, but we do not find these called out. Please confirm there is NONE.	Closed	2/22/2024	This is confirmed, no new soffits	BL	Supplement #3
45	2/19/2024	Architectural		OH	Drawing A102.1 has soffit details 2 & 3, but we do not find these called out. Please confirm there is NONE.	Closed	2/22/2024	This is confirmed, no new soffits	BL	Supplement #3
46	2/19/2024	Architectural	08 11 77 08 41 13 08 56 57 088853	All	BP 09A General Trades excludes the following specs for Alternates #3,4,5. a. Section 08 11 77 Bullet Resistant Steel Doors b. Section 08 41 13 Aluminum Framed Storefronts c. Section 08 56 57 Bullet Resistant Steel Transom Windows d. Section 08 88 53 Security Glazing 1. Please confirm the “Aluminum Storefront” subcontractor will furnish hardware for their openings, and not BP09A. 2. Please confirm the “Aluminum Storefront” subcontractor will install hardware for their openings, and not BP09A.	Closed	2/26/2024	BP 09A shall furnish and install the hardware for the aluminum storefront openings. BP 09A to coordinate with the Trade Contractor performing the Aluminum Storefront openings.	Gilbane	Supplement #4
47	2/19/2024	Architectural		NA	NS Drawing A601V calls for School Guard Glass at Door 204B. Please confirm the “Aluminum Storefront” subcontractor will furnish and install this school guard glazing, and not BP09A.	Closed	2/26/2024	Confirmed.	Gilbane	Supplement #4
48	2/19/2024	Architectural		OH	OH Drawing A601V calls for School Guard Glass at Door 106. Please confirm the “Aluminum Storefront” subcontractor will furnish and install this school guard glazing, and not BP09A.	Closed	2/26/2024	Confirmed.	Gilbane	Supplement #4

49	2/19/2024	Architectural		FW	FW Drawing A601V Door #100A & 100B call for an aluminum door in a hollow metal frame with school guard glass. i.Please confirm the "Aluminum Storefront" subcontractor will furnish and install the HM frame for these openings, and not BP09A. ii.Please confirm the "Aluminum Storefront" subcontractor will furnish and install the aluminum door for these openings, and not BP09A. iii.Please confirm the "Aluminum Storefront" subcontractor will furnish and install the hardware for these openings, and not BP09A. iv.Please confirm the "Aluminum Storefront" subcontractor will furnish and install the school guard glazing for these openings, and not BP09A.	Closed	2/26/2024			i. CONFIRMED. ii. CONFIRMED. iii. BP 09A shall furnish and install Hardware for the openings. iv. CONFIRMED.	Gilbane	Supplement #4
50	2/19/2024	Architectural		NS	Can you please clarify which detail is correct for the duct supports, Detail 6 or 10 on M503 of the North Stratfield Drawings?	Closed	2/21/2024			Detail 6 is for condensing units support. Detail 10 is for duct supports.	BL	Supplement #3
51	2/19/2024	Architectural	03 30 00	All	Spec 03 30 00 for Cast-In-Place Concrete seems to be missing, from the HVAC Spec Book, please provide.	Closed	2/22/2024			Please see attached 03 30 00 Specification for HVAC Spec Book.	BL	Supplement #3
52	2/19/2024	Architectural	07 21 00	All	Which Bid Package is responsible for spec 07 21 00 Building insulation, from the HVAC Spec Book? I don't see it assigned to 09A General Trades.	Closed	2/26/2024			BP-09A is responsible for Spec Section 07 21 00 for the HVAC spec book.	Gilbane	Supplement #4
53	2/19/2024	Architectural		All	Is there one contractor who is solely responsible for all the firestopping work?	Closed	2/26/2024			BP-09A, BP23A and BP26A will be responsible for Fire stopping their scope of work.	Gilbane	Supplement #4
54	2/19/2024	Architectural	08 21 00 08 31 00	All	Spec 08 21 00 Access Doors and Hardware seems to be missing, from the HVAC Spec Book. However, there is a spec 08 31 00 Access Doors and Panels, are we correct in assuming this is the spec we are to use for all work relating to the alternates?	Closed	2/22/2024			Correct, 08 31 00 is the specification to be used.	BL	Supplement #3
55	2/19/2024	Mechanical	23 09 93 23 72 00 23 74 16	All	The RTU/DOA control system as specified on M-700 series drawings and sequence of operations (230993) are not consistent with the RTU/DOA control system as specified in the RTU/DOA Equipment Specification (237200 and 237416) and note 4 on RTU schedule. Shall the RTU/DOA control system be furnished and provided as noted on RTU/DOA control detail on M-700 series control drawings and sequence of operations (230993)?	Closed	2/21/2024			RTU/DOAS controls shall be based on the M700 controls drawings.	BL	Supplement #3
56	2/19/2024	Mechanical		All	Mechanical piping drawings show ATC furnished space temperature sensor, VRF furnished room thermistors, ATC furnished perimeter heat control valve and perimeter heat pipe thermister. Where existing to remain walls are noted on architectural drawings, should control wiring serving ATC furnished space temperature sensor, VRF furnished room thermistors and perimeter heat control valve / pipe thermister be mounted in EMT conduit or steel base wire-mold or PVC base wire mold?	Closed	2/21/2024			Control wiring for surface mounted applications shall be mounted in steel base wire-mold raceways.	BL	Supplement #3
57	2/19/2024	Mechanical		All	Drawing M701 / Detail 4 shows occupancy sensor interface. For several rooms, we could not locate lighting controls and associated occupancy sensors on division 26 drawings. Is it the design intent to have the ATC contractor provide the occupancy sensors for DDC interface?	Closed	2/21/2024			Yes, ATC shall furnish and install occupancy sensors.	BL	Supplement #3
58	2/19/2024	Mechanical		All	Several rooms utilize multiple VRF fan coil units. Drawing M701 / Detail 4 indicates that ATC shall install (1) VRF thermister per VRF Fan Coil Unit. T1 and T2 symbol on mechanical piping drawings indicates that ATC shall install (1) VRF thermister per room. Is it the design intent for ATC to install (1) VRF thermister per VRF fan coil unit or (1) VRF thermister per room?	Closed	2/21/2024			ATC shall install one VRF thermister per fan coil unit, and one thermostat room controller per room.	BL	Supplement #3
59	2/19/2024	Mechanical	23 0923-2.4	All	Specification section 230923-2.4-A (Page 22) indicates that each DDC controller shall have a dedicated UPS. This is not consistent with any of the existing Fairfield School District DDC controller applications. Please confirm if UPS devices are required for each DDC controller.	Closed	2/21/2024			UPS devices are not required for each DDC controller.	BL	Supplement #3
60	2/19/2024	Mechanical	2309 23-2.29	All	Specification section 230923-2.29 (Page 69) indicates that each UPS shall be provided with DDC interface with low battery dry contacts, front panel with: power switch, power indicator, battery indicator, fault indicator, temp indicator, audible alarm. The specified UPS is consistent with Major IT central computer systems. Typical UPS requirements for HVAC applications utilizes (1) dry contact for service power and (1) dry contact for battery power. Please confirm if UPS DDC interface scope can be limited to (1) dry contact for service power and (1) dry contact for battery power and no front panel visual indicators or audible alarms.	Closed	2/21/2024			Typical HVAC UPS requirements of (1) dry contact for service power and (1) dry contact for battery power and no visual panel/alarms are acceptable	BL	Supplement #3
61	2/19/2024	Mechanical	23 09 93-2.4 H-4	All	Specification section 230993-2.4-H-4 indicates 2% RH for space humidity. 3% RH is consistent with the existing space sensors. Please confirm if 3% RH sensors are acceptable.	Closed	2/21/2024			3% RH sensors are acceptable.	BL	Supplement #3
62	2/19/2024	Mechanical	2309 23.27	All	Specification section 230923.27 indicates 1000-ohm RTD sensor. 10K-type II thermistor is consistent with the existing sensors. Please confirm if 10K-type II sensors are acceptable.	Closed	2/21/2024			10K-type II sensors are acceptable.	BL	Supplement #3
63	2/19/2024	Architectural	07 27 26 07 84 13	OH	For the vestibule work at Osborn Hill you have spec sections 072726 Liquid Air And Vapor Barriers and 178413 Penetration Firestopping, both are typically done by other trades that are licensed to install the products where the roofers are not, can this be reassigned please?	Closed	2/21/2024			This will be deleted from the 07A Scope.	Gilbane	Supplement #3
64	2/19/2024	Architectural	09 90 00	All	General Trades Specific Items Number 2 for Base Bid and Number 36 for the Alternates, 099000 Painting has Allowance in parenthesis. i.Is all painting on the project whether called for or not on drawings to be part of the allowance? ii.Is there a separate allowance associated with the alternates?	Closed	2/22/2024			All painting on the base bid is handled under the Allowance. Painting for the Vestibule Alternates is to be included in the cost for the Alternates.	Gilbane	Supplement #3
65	2/19/2024	Architectural		All	Where drawings call for the demolition of gyp board ceilings, does that include all the framing as well?	Open					BL	
66	2/19/2024	Architectural		FW	Drawings show details for different types of soffits. However, only the two toilet rooms at Fairfield Woods have a section tag for a soffit detail. Are these the only soffits to be built? If not, please identify all other required soffits.	Closed	2/22/2024			The toilets and any other room with the sand hatch on A102.1 are to receive a new gypsum ceiling. No soffits are required at this school.	BL	Supplement #3
67	2/19/2024	Architectural	Vestibule Alternate	FW	Fairfield Woods indicates there is an existing window being removed. The elevations within the lobby show toothing in new brick below, above, and on the sides of new window but no wall removals are indicated on the demo plans. i.Please advise extent of wall work around new window. ii.Are there any available pictures of the existing brick that is to be matched?	Closed	2/22/2024			Please see revised Drawing A101-V attached for this RFI response.	BL	Supplement #3
68	2/19/2024	Architectural	Vestibule Alternate	NS	North Stratfield demo drawings indicate a new opening being created for the lobby window and for it to be saw-toothed. Elevations show block for the office side and brick for the vestibule side but, do not indicate any toothing. The head and jamb details show only block. i.Please confirm if there is only block or, brick and block. ii.What, if any, are the toothing requirements?	Closed	2/22/2024			Confirmed this is only brick and block with no cavity see RFI 67.	BL	Supplement #3

69	2/19/2024	Architectural		OH	Osborn Hill; 4 on S101.2A indicates to infill with masonry after installation of steel and coordinate with architectural drawings. However, architectural drawings indicate this area with Keynote 2.10 which goes to detail 9 on A301.1. Per the Scope Clarifications drawing 9 on A301.1 is part of the allowance. a.Please confirm these infills are by the allowance. b.If not, confirm if these infills are to be masonry or gypsum board assembly and what size the infills are to be.	Closed	2/22/2024	A. Confirmed these infills are allowance items. B. Not applicable since allowance for Detail 9/A301.1 is used.	BL	Supplement #3
70	2/20/2024	Architectural		All	It is unclear looking at the schedule how long the temp stair will be needed, Can you please provide a schedule for all three schools showing the duration for the stair?	Closed	2/21/2024	Provide 12 month duration at each school.	Gilbane	Supplement #3
71	2/20/2024	Mechanical		All	Please provide the fire alarm vendor information for each school.	Closed	2/21/2024	Fire Tech	BL	Supplement #3
72	2/20/2024	General			In Bid Package 09A Scope note #9 calls for BP09A to patch of all openings in CMU walls after MEP demolition under Allowance #1. Note 15 on North Stratford A103.1 calls to infill openings where prior demo occurred and refers to detail 12/A301 for the infill. Are we to assume these infills will be done as part of the allowance? If not, please provide sizes of the existing items being removed so we can quantify the size of these infills.	Closed	2/26/2024	Yes assume part of the allowance.	Gilbane	Supplement #4
73	2/20/2024	General			In Bid Package 09A Scope note #22 calls for BP09A to provide and form openings for MEP penetrations through CMU walls and slabs. a.Are we to assume all demising walls in all school buildings are CMU that extent fully up to the deck? b.Are we to assume creating larger openings for ductwork only? Smaller cores for pipe and conduit will be by the trade requiring the penetration? c.What is the minimum width opening that will require a lintel? All lintels to be provided by BP05A Steel, correct? d.Who is making penetrations in the concrete slabs? That is also listed in the demo scope.	Closed	2/26/2024	BP 02A, 23A, and 26A. will be responsible for all necessary MEP penetrations. Scope will be revised to remove this item from 09A. a. Cannot confirm that at this time. This work is being performed from Allowance No.1 in the specifications. b. This work will not be performed by BP 09A. c. For MEP penetrations, this is not applicable for this Scope of Work for BP 09A. d. BP 02A will make any necessary penetrations in the slabs.	Gilbane	Supplement #4
74	2/20/2024	General	SP Drawing A3	NS	North Stratfield Roof Drawing A3 Detail K – Please define scope responsibility for this detail. Typically the mason will demo the brick, provide temporary support, F&I the new thru wall flashing and accessories, install the metal receiver (provided by the roofer), and then will F&I new brick, mortar & accessories.	Closed	2/26/2024	Confirmed. This detail will be by BP09A.	Gilbane	Supplement #4
75	2/20/2024	General		All	Please further define the scope required at new openings in existing masonry walls. Confirm if lintels will need to be cut in before the openings are created or if the wall will need to be shored.	Open			BL	
76	2/20/2024	General		All	BP09A specific Scope #6 asks for 8' High plywood enclosure around stairs towers. Is this for one school, if so which one or is this needed at all three schools.	Closed	2/22/2024	This is needed at all three schools.	Gilbane	Supplement #3
77	2/20/2024	Architectural	A302	FW	BP09A Specific Scope #8- Cannot find details 2& 3 on A302 Fairfield Woods. Where are they required?	Open			BL	
78	2/20/2024	Architectural	A102.1	OH	BP09A Specific Scope #16- Cannot find details 2&3/A102.1 for Osborn Hill. Where are they required?	Open			BL	
79	2/20/2024	Architectural	A102.1	NS	BP09A Specific Scope #18- Cannot find details 2&3/A102.1 for North Stratfield. Where are they required?	Open			BL	
80	2/20/2024	General		FW	Gilbane Scope of Work drawing page 3 details 2 & 18 note the metal decking is provided by General Trades 09A. Drawing page 5 details 4 & 4A note the metal decking is provided by Structural Steel 05A. Please clarify which BP is furnishing and installing metal decking.	Closed	2/22/2024	Metal Decking is with Bid Package 05A. Scope Clarification drawings to be updated.	Gilbane	Supplement #3
81	2/20/2024	Architectural	AD101-V	FW	Drawing AD101-V Demolition Keynote 5 calls for a relocated counter, approx. 14' long. Drawing A101-V Construction Keynote 12 calls for a relocated counter, approx. 10' long. a.Is this relocated counter the same AND cut in the field? b.What is supporting this 14' counter in the middle of the room? Does this have 14' of cabinets underneath? c.What supports the relocated 10' counter? Existing relocated cabinets? Other?	Open			BL	
82	2/20/2024	Architectural	A101-V & A301-V	FW	RCP 2/A101-V and section 1/A301-V do not agree regarding the Vestibule A100 ceiling. RCP 2/A101-V calls for ceiling C-1 north of Storefront SF4 and abutting the ACT in a circulate arc pattern. Section 1/A301-V shows the ACT abutting SF4. Please confirm the Vestibule A100 ceiling is ACT per 1/A301-V.	Open			BL	
83	2/20/2024	Architectural	A301-V	All	Section S4/A301-V calls for a corian sill with brackets on the non-secure side of the window and a square on the secure side. (There are similar details on North Stratfield & Orchard Hills) a.What is the square on the secure side provided with the window? b.Is the corian sill with brackets provided with the window? Or provided by c.Is the square on the secure side provided with the window?	Open			BL	
84	2/20/2024	Architectural	A101-V	NS	Plan 1/A101-V shows a curved desk in the waiting area. This same desk is shown on AD-101-V implying the desk is not loose furniture AND is not being relocated for construction. a.Is the intent for this desk not to move, be protected and have flooring installed around it? b.Or should it be temporarily removed and then reset after the flooring installation?	Open			BL	
85	2/20/2024	Architectural	A101-V	OH	Plan 1/A101-V shows an (assumed) reception desk in the Office 48. This same desk is NOT shown on AD-101-V implying the desk is new loose furniture or new millwork. a.Please clarify this assumed reception desk. b.If new millwork, provide details for construction.	Open			BL	
86	2/20/2024	Architectural	06 61 16	All	Reference Spec 066116 Para 1.01A1 - please clarify what windows get a window sill.	Open			BL	
87	2/20/2024	Architectural	12 32 23.13	All	Reference Spec 123223.13 – please provide a spec for the counter bracket.	Open			BL	
88	2/20/2024	Architectural	A001-V	All	Reference Drawing A001-V Partition Types - please verify the intended height of the ballistic panels, full height or to above ceiling.	Open			BL	
89	2/20/2024	Architectural	10 26 41	All	Spec 102641 Para calls for Ballistic Level 4 panels, which are approx. 1-3/16" thick. Drawing A001-V notes the ballistic panels are only 3/8" thick. Please verify the ballistic level/thickness.	Open			BL	
90	2/20/2024	Architectural		All	A local door supplier for the ballistic rated door openings suggested that the hardware for these opened as considered and "assembly" would have to be provided by the ballistic door supplier to maintain the 'assembly'. Please confirm this assumption is correct.	Open			BL	
91	2/20/2024	Architectural	07 27 26 & A301-V	All	07 27 26 Liquid Air and Vapor Barriers is assigned to BP 09A for the Vestibule alternate. a. We do not find AVB (or exterior sheathing) in Fairfield Woods detail 3/A301-V, North Stratfield detail 5/A301-v or Osborn Hills 2/A301-V. b. We do find AVB in the base bid for the Fairfield Woods electrical room additions detailed on A301, and the Gilbane Scope drawings note this AVB is by BP 09A. c. Please confirm the only AVB work is in base bid at Fairfield Woods.	Open			BL	

92	2/20/2024	Architectural	A101.1	FW	A101.1 detail 4 calls for the Electrical Room doors to be painted HM. However, the door hardware has several parts that are indicated to be by aluminum door supplier. Please confirm material of this door and frame.	Open			BL	
93	2/20/2024	Architectural		FW	Electrical door hardware indicates a removable mullion but none appear to be shown. Please confirm if required.	Open			BL	
94	2/20/2024	Architectural		FW	Electrical door hardware calls for pivot hinges. Please confirm these are correct.	Open			BL	
95	2/20/2024	General	A102.1	NS	Regarding the condensate line covers; 4 on A102.1 calls for a gypsum board cover. However, keynote 2.16 calls for a metal enclosure. Please confirm keynote is the correct material and this will be installed by the HVAC bid package.	Closed	2/22/2024	These condensate covers have been eliminated. See RFI No.43	Gilbane	Supplement #3
96	2/20/2024	Architectural	A103.1	NS	Door 102B on A103.1 detail 2 indicates several hardware items are to be by aluminum door supplier while door is called out as hollow metal. Please confirm material of this door and frame.	Open			BL	
97	2/20/2024	Architectural		NS	Electrical Room door hardware indicates a removable mullion but there are no paired doors. Please advise.	Open			BL	
98	2/20/2024	Architectural		NS	Electrical Room door hardware calls for pivot hinges. Please confirm these are correct.	Open			BL	
99	2/20/2024	Architectural	Vestibule Alternate	All	Door and Frame Schedule identifies all frames as F1 or F2. However, the floor plans call out SF _ elevations. Please confirm the frames shown on the floor plans are the correct designation that is to be used for the frames.	Open			BL	
100	2/20/2024	General	Vestibule Alternate	All	Hardware for the aluminum doors is by others, NOT General Trades. Please confirm.	Closed	2/26/2024	BP-09A is to provide hardware for the aluminum doors found in alternates 3, 4 and 5.	Gilbane	Supplement #4
101	2/20/2024	Architectural		OH	The door hardware has several parts that are indicated to be by aluminum door supplier. Please advise.	Open			BL	
102	2/20/2024	Architectural		OH	Electrical door hardware indicates a removable mullion but none appear to be shown. Please confirm if required.	Open			BL	
103	2/20/2024	Architectural		OH	Electrical door hardware calls for pivot hinges. Please confirm these are correct.	Open			BL	
104	2/20/2024	Architectural			All Schools, where hardware is called out as new on an existing door, are the existing locksets mortise or cylindrical.	Open			BL	
105	2/21/2024	General		OH & FW	Can you please advise if there are existing roof warranties in place at both Osborn and Woods schools? If so please advise on who that manufacturer is.	Closed	2/22/2024	There are existing warranties at Osborn Hill and Fairfield Woods. North Stratfield Roof expires 2024.	Gilbane	Supplement #3
106	2/21/2024	General		All	Please confirm all material and labor for all cutting and patching work will be performed under the allowances for all three schools.	Closed	2/22/2024	Yes confirmed all material and labor is covered under the allowance for all three schools.	Gilbane	Supplement #3
107	2/21/2024	Architectural	10 26 41	All	Spec 102641 Armortex Bullet resistant sheets, only seem to be apart of Osborn vestibule package, is this correct or is it needed on all 3 schools? If so please confirm locations.	Open			BL	
108	2/21/2024	Architectural		All		Open			BL	
109	2/22/2024	General		All	Are there any liquidated damages on this project?	Closed	2/26/2024	No liquidated damages.	Gilbane	Supplement #4
110	2/22/2024	General		NS	Which Bid Package owns the replacement roof drains at the North Stratfield School?	Closed	2/26/2024	Bid Package 07A is responsible for the replacement of the roof drains into existing plumbing.	Gilbane	Supplement #4
111	2/22/2024	General		All	Which Bid Package owns the masonry work in detail K/A3 of SP+A Drawing Set.	Closed	2/26/2024	Bid Package 09A is responsible for detail K on A3.	Gilbane	Supplement #4
112	2/22/2024	General		All	BP02A Specific scope #46 is requiring our bid package to restore the sidewalk during new construction. This should not be in BP 02A scope. Please provide clarification.	Open			Gilbane	
113	2/22/2024	Demolition		All	Please confirm if shoring at new roof openings is required.	Open			BL	
114	2/22/2024	General		All	BP02A specific scope #16 notes "sawcutting, trenching and excavation" by this package. Please clarify which drawing is this shown?	Closed	2/26/2024	This scope of work item has been removed from the specific scope.	Gilbane	Supplement #4
115	2/22/2024	Architectural	A102.1	OH	Drawing A102.1 Door 184A – Keynote 2.03 refers to hardware per 8/A102.1. The hardware set described in 7/A102.1 is for a paired aluminum door. Plan 4/A102.1 calls out a list of hardware items that seems more appropriate for this opening. Please clarify the hardware for Door 184A.	Open			BL	
116	2/22/2024	Architectural	A102.1	OH	Drawing A102.1 – please confirm the infilling of existing walls for Keynote 2.10 is also included in the allowance. If not in the allowance, please provide the height of the extension.	Open			BL	
117	2/22/2024	General			Reference proposal form for BP09A Specific scope Item 6 – Please confirm there are three total stair towers, one per school.	Closed	2/23/2024	Yes confirmed. Three stair towers total. One per school.	Gilbane	Supplement #4
118	2/22/2024	General			Reference proposal form BP 09A Item 7: a.Please provide approx wall lengths per trailer. b.Please confirm one DFH per trailer.	Closed	2/26/2024	This is not for a trailer, but for a storage space that includes an existing roll down door. Assume proper framing and installation of a 7'-0" x 6'-0" HM door. One at Osborn Hill and one at North Stratfield.	Gilbane	Supplement #4
119	2/22/2024	General			Reference proposal form BP09A Items 11,12 – Please confirm the wall painting is included in the allowance.	Closed	2/23/2024	Yes. Confirmed all painting is covered in the allowance.	Gilbane	Supplement #4
120	2/22/2024	General			Reference BP09A proposal form, specific scope Item 32 – This is a potential large, open ended scope work item, especially given the nature of this job, 3 schools, phased, multiple shifts. Please provide some more information about the expectations for this scope of work item. a.Are other trades NOT responsible to clean up after themselves? b.Where are we controlling dust? c.Is the daily cleaning for all trades, or only BP09A? d.Is the daily sweeping for all areas, all shifts? e.Are you looking for a full time, 1st shift, cleaning laborer between certain dates that Gilbane can define? Maybe for both entire summers? f.Are you looking for a full time, 2nd shift, cleaning laborer between certain dates that Gilbane can define? Maybe for X days before and after the summers?	Closed	2/26/2024	a. All trades are responsible for their own daily cleanup, refer to General Scope of Work Item #4. b. If you are making dust while performing your scope it is expected that you control the dust with proper means and methods and clean up the dust after work is completed. c. All trades are responsible for their own daily cleanup, refer to General Scope of Work Item #4. d. Each trade is responsible for their own daily sweeping throughout and at the end of each shift in the areas where each trades work was performed. e. No this is not the intent, see above. f. No this is not the intent, see above.	Gilbane	Supplement #4
121	2/22/2024	Architectural	A101.1	FW	Reference A101.1 - Please confirm the hardware set for Door C194. The Door Hardware set listed on A101.1 seems to be for a paired aluminum opening.	Open			BL	

122	2/22/2024	Architectural	Vestibule Alternate	FW	Reference BP09A General Trades, please review the scope related to the existing exterior ceiling and "new" exterior soffit. a.Demo RCP drawing 2/AD101V calls out note 11 to remove the existing plaster ceiling furring and components. This implies that the framing will be fully removed. This ceiling removal makes sense give the new work for the vestibule. b.RCP Drawing 2/A101V calls out Note 16 exterior soffit to be replaced and match existing. c.Wall Sections 5 & 6/A301-V show and note the existing exterior soffit (plaster ceiling) remaining, neatly cut abutting the new storefront. d.QUESTION: Given the demo plans calls for the entire exterior plaster ceiling and all support framing to be removed, please provide spec and details for the (assumed) new plaster soffit.	Open				BL	
123	2/22/2024	General			Please confirm that BP09A is not performing the final cleaning for the project.	Closed	2/26/2024	Confirmed.		Gilbane	Supplement #4
124	2/22/2024	General			Please confirm that BP09A is not responsible to wash/wax VCT.	Closed	2/26/2024	Confirmed.		Gilbane	Supplement #4
125	2/22/2024	General			Please confirm that BP09A is not cleaning/sealing the ceramic floor tile.	Closed	2/26/2024	Confirmed.		Gilbane	Supplement #4
126	2/22/2024	Architectural	Vestibule Alternate		Spec 093000 Para 2.1B call for ceramic wall tile. We do not find this on the drawings. Please confirm there is no ceramic wall tile in scope.	Open				BL	
127	2/22/2024	Architectural	Vestibule Alternate		Spec 093000 Para 2.1C8 call for ceramic cove base. Drawings call for RWB-2 at ceramic floors. Please confirm the intended base.	Open				BL	
128	2/22/2024	General			BP09A Specific scope of work Item Note 32 on page 20 of 23 regarding dust containment and the requirement for daily sweeping and cleanup. In reviewing other bid packages this specific note only appears in the Demolition and General Trades packages. However, General Note 4 of ALL packages indicate each trade is responsible for daily cleanup (including sweeping and debris removal) of their work to the dumpster. Please clarify the intent of the General Trades Note 32.	Closed	2/26/2024	Please see response to RFI#120 above.		Gilbane	Supplement #4
129	2/23/2024	Mechanical		FW	We are unable to locate the drawings listed in Addendum 1 (G0.05, G0.06, AS1.01, AS1.01a, M0.01, M0.04, M0.05, M1.01, M1.01A,B,C,D, M2.01, M2.02, M5.01, M5.02) for Fairfield Woods Middle School. Please advise.	Closed	2/26/2024	This was an error in the Narrative by BL. Confirming the only new drawing issued is S001.		Gilbane	Supplement #4
130	2/23/2024	Architectural		All	Can the location of the stair tower be identified at the three schools? Per Line Item 6 of Specific Items of Bid Package 07A- Roofing.	Closed	2/26/2024	Not at this time, due to coordination with the school and accessibility concerns.		Gilbane	Supplement #4
131	2/23/2024	Architectural		All	In response to RFI #36, can the percentage be provided for this project?	Closed	2/26/2024	Refer to RFI #36 response.		Gilbane	Supplement #4
132	2/23/2024	Architectural		FW	In response to Pre Bid RFIs 42 & 66, these RFIs are in conflict about whether soffits are new or there are none. a.Please clarify if the soffits on Drawing A102.1 in Room A150, A148, A140 are new or existing. b.Further, we find some other untagged soffits in corridors with sand hatch. Are these untagged new or existing.	Open				BL	
133	2/23/2024	Architectural		FW	In response to Pre Bid RFI 42, it was noted that Detail 2/A102.1 is in scope and to be used in classrooms A148, A150, A140. Detail 2/A102.1 calls for 5/8" FRGP on the wall. The only gypsum wall scope we find is the enlarged plans 2,3,4/A101.1 & 2/A101.2 and these do not include detail 2/A102.1. Please confirm there is no gypsum wall scope referred to in Detail 2/A102.1	Open				BL	
134	2/23/2024	Architectural		FW	In response to Pre Bid RFIs 40 & 66, please confirm the ceiling types for the untagged rooms on A102.1 with the sand hatch. c.Type C1a i.Vestibule south of Classroom B137 ii.Vestibule south of Fitness Center C101 iii.Custodian C177 d.Type C1b i.Room A117 ii.Room A122 iii.Room C141 iv.Room C142 v.Room C144	Open				BL	