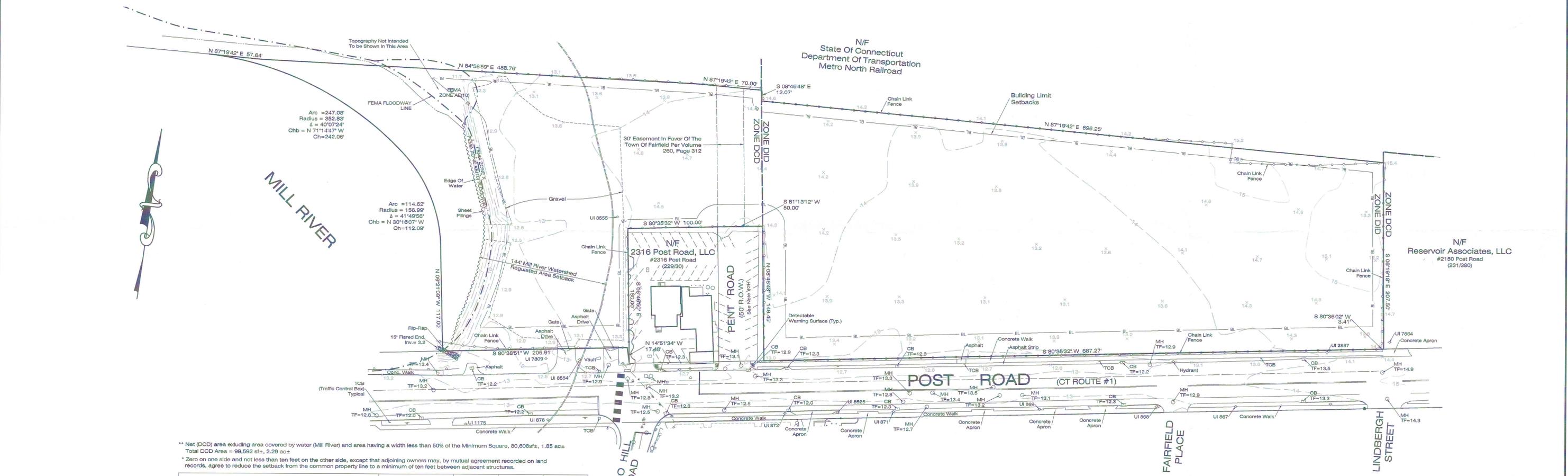


LOCATION MAP
1" = 500'

NOTES:

- This survey and map has been prepared in accordance with the Sections 20-300b-1 through 20-300b-20 of the Regulations of Connecticut State Agencies - "Minimum Standards for Survey and Maps in the State of Connecticut" as endorsed by the Connecticut Association of Land Surveyors, Inc. It is An Improvement Location Survey based upon a Resurvey and conforms to Horizontal Accuracy Class A-2, Topographic Accuracy Class T-2.
 - RM #413 - "Connecticut State Highway Department Right Of Way Map, Town Of Fairfield, Boston Post Road From Granville St. Westerly About 2900 Feet, Route U.S. 1." Scale: 1"=40'; Dated: May 28, 1929.
 - RM #175 - "Property Of Miller & Jordan, Situated In Fairfield, Conn.; Scale: 1"=40'; Dated: May, 1918" prepared by Palmer & Goodell.
 - RM #375 - "Map Of Property In Fairfield, Conn. For The United States Aluminum Co.; Scale: 1"=40'; Dated: September 15, 1928" prepared by A.D. Fuller. Civil Engineer.
 - RM #399 - "The New York, New Haven & Hartford Railroad Co. Real Estate & Right Of Way Department, Land In Fairfield, Conn., To Be Acquired Of The United States Aluminum Company; Scale: 1"=100'; Dated: Nov. 1928".
 - RM #552 - "Map Of Property Of Louis Weldlich, Andrew Kowalski, And St. Johns Benevolent Society, Fairfield, Conn.; Scale: 1"=40'; Dated: June 30, 1930" prepared by Andrew S. Huntington - Civil Engineer.
- Reference is made to the following documents on file in the Fairfield Town Clerk's Office:
 - Volume 260, Page 312 - Easement in favor of The Town Of Fairfield.
 - Volume 4463, Page 185 - Pent Road.
- The underground utilities shown, if any, have been located from visible field survey information. The surveyor makes no guarantees that the underground utilities shown comprise all such utilities in the area either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, unless specifically noted as such. It is the Contractor's responsibility to contact CALL BEFORE YOU DIG (CBYD) prior to commencement of any excavation, Dial 811 or 1-800-922-4455.
- Property is located in FEMA Zone X & Zone AE(10). Per Flood Insurance Rate Map #09001C0419G, Effective Date: July 8, 2013; Panel 419 of 626.
- Vertical Datum: NAVD 88. (GPS Derived).
- North Arrow Bearing is based on State of Connecticut Grid NAD 83 (GPS Derived).
- According to map F-17 of the "Designated Inland Wetlands & Water Courses of the Town of Fairfield" this property does contain inland wetland "Regulated Area" as defined in Section 2.1.27 of the Inland Wetlands and Watercourses Regulations of the Town of Fairfield.
- It is the owner's and/or contractor's responsibility to obtain any and all required permits and/or variances that may be required prior to any construction activity.
- Reference is hereby made to a Title Commitment issued by CATIC. File No. ST 32872 / Effective Date: July 30, 2019.
- Developmental area located within the building limit setbacks = 199,948 sq±, 4.59 ac±
No build area due to 30' Town of Fairfield easement = 3,662 sq±, 0.08 ac±
Total development area = 196,286 sq±, 4.51 ac±
- Total Parcel Area = 271,327 sq±, 6.23 ac±.

DESIGNED INDUSTRIAL DISTRICT	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	10,000	171,734±	-	-
Minimum Square On Lot	75	75±	-	-
Minimum Lot Frontage	75	687.27'	-	-
MINIMUM SETBACK				
Setback From Street Line	25	-	-	-
Setback From Side Property Lines	24	-	-	-
Setback From One Side Property Line	12	-	-	-
Setback From Rear Property Lines	12	-	-	-
Maximum Height For A Building Or Structure	40	-	-	-
Maximum Number Of Stories Per Building	4	-	-	-
Building Lot Coverage	-	-	-	-
Maximum Building Lot Coverage As A Percentage Of Lot Area	50%	-	-	-
Maximum Floor Area - (Includes Items in 31.2.15 Paragraph 2)	-	-	-	-
Maximum Building Floor Area As A Percentage Of Lot Area	100%	-	-	-
Minimum First Floor Elevation	-	-	-	-



** Net (DCC) area excluding area covered by water (Mill River) and area having a width less than 50% of the Minimum Square, 80,608sq±, 1.85 ac±
Total DCC Area = 99,592 sq±, 2.29 ac±
* Zero on one side and not less than ten feet on the other side, except that adjoining owners may, by mutual agreement recorded on land records, agree to reduce the setback from the common property line to a minimum of ten feet between adjacent structures.

DESIGNED COMMERCIAL DISTRICT	MINIMUM REQUIRED MAXIMUM ALLOWED	EXISTING CONDITIONS	PROPOSED CONDITIONS	AS-BUILT CONDITIONS
Minimum Lot Area	10,000	80,608± **	-	-
Minimum Square On Lot	75	75	-	-
Minimum Lot Frontage	30	223.39	-	-
MINIMUM SETBACK				
Setback From Street Line	25	-	-	-
Setback From Side Property Lines - One Story	-	-	-	-
Setback From Side Property Lines - More Than One Story	-	-	-	-
Setback From One Side Property Lines	-	-	-	-
Setback From Rear Property Lines	10	-	-	-
Setback From Street Line On A Corner Lot - One Story	N/A	-	-	-
Setback From Street Line On A Corner Lot - More Than One Story	N/A	-	-	-
MINIMUM FLOOR AREA				
Floor Area - One Story Building	800	-	-	-
Floor Area - Split Level Building	800	-	-	-
Floor Area - Two Or More Story Building Total Floor Area	800	-	-	-
Floor Area - Two Or More Story Building Ground Floor Area	800	-	-	-
Maximum Height For A Building Or Structure	40	-	-	-
Maximum Number Of Stories Per Building	4	-	-	-
Building Lot Coverage	-	-	-	-
Maximum Building Lot Coverage As A Percentage Of Lot Area	75%	-	-	-
Maximum Floor Area - (Includes Items in 31.2.15 Paragraph 2)	-	-	-	-
Maximum Building Floor Area As A Percentage Of Lot Area	150%	-	-	-
Minimum First Floor Elevation	-	-	-	-

- LEGEND**
- HYDRANT
 - MANHOLE
 - GAS VALVE
 - UTILITY POLE
 - WATER VALVE
 - LAMP POST
 - CATCH BASIN
 - ELECTRIC BOX
 - SIGN
 - MAILBOX
 - EXISTING IRON PIN
 - EXISTING CONCRETE MONUMENT
 - STONE BOUND
 - HEDGE
 - STONEWALL
 - INLAND WETLANDS
 - METAL FENCE
 - WOOD FENCE
 - EXISTING CONTOUR LINE
 - EXISTING SPOT ELEVATION

STREET ADDRESS #2190 POST ROAD
ASSESSORS MAP# 231 PARCEL# 381
ZONE DESIGNED INDUSTRIAL
OWNER EXCID GROUP INCORPORATED
C/O LIMA VALE-ANA
2060 FLAVELLE BOULEVARD
MISSISSAUGA, ON, CA, M5K 1Z9
PROPOSAL EXISTING CONDITIONS
DATE 09.16.2019 SCALE 1"=50'

The intent of this survey is to correct an annotation error on Map #7926 filed on the Fairfield Land Records.

IMPROVEMENT LOCATION SURVEY
PREPARED FOR
INVEST II
#2190 POST ROAD
FAIRFIELD, CONNECTICUT



NOT VALID UNLESS EMBOSSED WITH SEAL OR FIXED WITH THE LIVE STAMP OF THE SIGNATORY
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON

Jason T. Spath Sr., L.S. #70136

NO.	DATE	DESCRIPTION	DATE	SCALE	DRAFTER	JOB NUMBER	PROJECT #
2	04-21-20	Correct Annotation	SEPTEMBER 16, 2019	1"=50'	SJR	7319	7319
1	12-18-19	Zones / Zone Line					

THE HUNTINGTON COMPANY, LLC
Consulting Engineers & Surveyors
303 Linwood Avenue, Fairfield, CT
203.259.1091

SITE DEVELOPMENT PLANS FOR A PROPOSED PORSCHE DEALERSHIP



PORSCHE

ASSESSORS MAP: # 231
PARCEL NUMBER: 381
ZONING DISTRICT: DID / DCD

APPLICANT:
ANDY SOUMELIDIS, PE
LANDTECH
518 RIVERSIDE AVENUE
WESTPORT, CT 06880
203-454-2110

OWNER OF RECORD:
2190 POST ROAD LLC
P.O. BOX 320128
FAIRFIELD, CT 06825
203-334-9222

PROJECT DESCRIPTION:
CAR DEALERSHIP AND RELATED
IMPROVEMENTS.

REVISION DATE ISSUE

LANDTECH

SITE/CIVIL • ENVIRONMENTAL • SURVEYING • PLANNING
518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

COVER SHEET

PROJECT No. 23296-01

DATE 05/24/2024 DESIGNED BY: RW CHECKED BY: AS

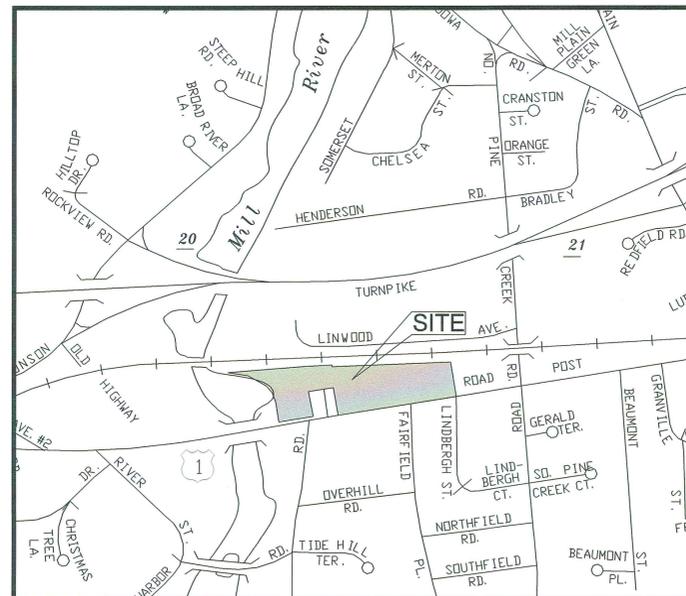
SCALE: N.T.S.

PROJECT STATUS:

DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION



T-1.0



LOCATION MAP
(NTS)



AERIAL MAP
(NTS)

SHEET NO.	SHEET TITLE
T-1.0	COVER SHEET
C-1.0	OVERALL SITE LAYOUT PLAN
C-1.1	SITE LAYOUT PLAN (EAST)
C-1.2	SITE LAYOUT PLAN (WEST)
C-2.0	OVERALL GRADING AND DRAINAGE PLAN
C-2.1	GRADING AND DRAINAGE PLAN (EAST)
C-2.2	GRADING AND DRAINAGE PLAN (WEST)
C-3.0	UTILITY PLAN (EAST)
C-4.0	SOIL EROSION AND SEDIMENT CONTROL PLAN
C-4.1	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS
C-5.0	NOTES AND DETAILS
C-5.1	NOTES AND DETAILS
C-5.2	NOTES AND DETAILS
TM-1.0	TURNING MOVEMENT PLAN
L-1.0	LANDSCAPE PLAN
L-2.0	LIGHTING PLAN
L-3.0	LIGHTING DETAILS

DRAWING SHEET INDEX

LANDTECH

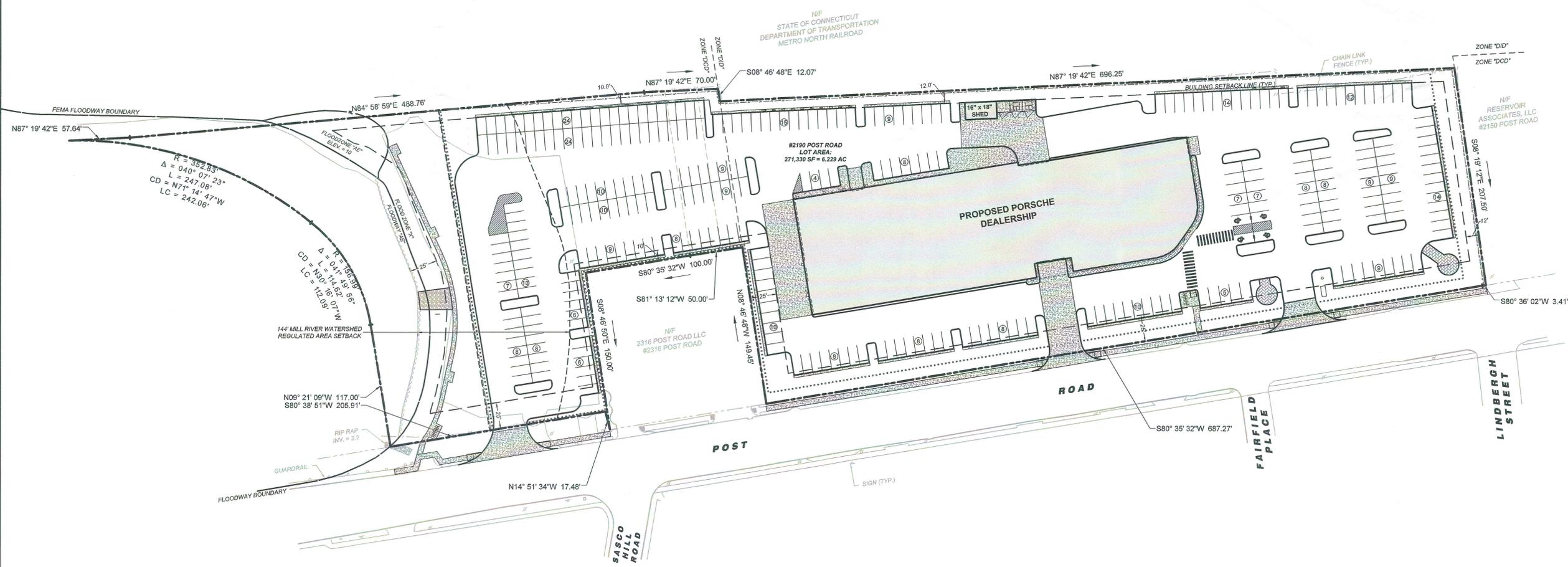
V:\2024\11\APPROVALS\ACTIVE PROJECTS\2024\11\PORSCHE - 2190 POST RD. - FAIRFIELD\DWG\PORSCHE - 2190 POST RD. - SITE PLAN.DWG

GENERAL NOTES

- LOT LINE & TOPOGRAPHIC INFORMATION FOR 2190 POST ROAD FAIRFIELD CT TAKEN FROM IMPROVEMENT LOCATION SURVEY PREPARED FOR INVEST # 2190 POST ROAD FAIRFIELD, CONNECTICUT PREPARED BY THE HUNTINGTON COMPANY, LLC DATED 9/18/2019, REVISED TO 4/21/2020.
- DATUM: NAVD 88
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UNDERGROUND PIPING, UTILITIES, AND OTHER FEATURES ARE TAKEN FROM EXISTING AS-BUILT MAPPING AND OTHER SOURCES OF INFORMATION AND ARE APPROXIMATE. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. IN ADDITION, THERE MAY BE OTHER UNDERGROUND PIPING, UTILITIES, AND OTHER FEATURES PRESENT THAT ARE NOT SHOWN. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 48 HOURS BEFORE EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE PRESENCE OF ANY OF THESE EXISTING ELEMENTS BY WHATEVER MEANS NECESSARY AND PROTECTING THESE ELEMENTS AS REQUIRED OR RELOCATING THEM IF THEY ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO CALL "CALL BEFORE YOU DIG," 1-800-922-4455, THREE FULL WORKING DAYS PRIOR TO ANY EXCAVATION WORK ON THE PROPERTY.
- SUBJECT PROPERTY IS LOCATED IN FEMA FLOOD HAZARD ZONE "AE (ELV 10') & ZONE "X" AS SHOWN ON FEMA FIRM PANEL No 09001C0419G, EFFECTIVE JULY 6 2013.
- A NEW BENCHMARK SHALL BE SET PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- ALL EROSION AND SEDIMENT CONTROL MEASURES SPECIFIED IN THE PLAN SHALL BE MAINTAINED UNTIL DISTURBED AREAS.

ZONING DATA				
ZONING DISTRICT: DESIGNED COMMERCIAL DISTRICT/DESIGNED INDUSTRIAL DISTRICT				
PROPOSED USE: CAR DEALERSHIP				
DIMENSIONAL	REQUIRED/ALLOWED	EXISTING	PROVIDED	CONFORMS
MINIMUM LOT AREA	10,000 SF (0.230 AC.) ¹	271,327 SF (6.23 A.C.)	271,327 SF (6.23 A.C.)	Y
MINIMUM SQUARE ON LOT	75' ²	75'	>75'	Y
MINIMUM LOT FRONTAGE	30'	223.39'	223.39'	Y
MINIMUM SETBACK				
STREET LINE	25' ³	-	75.9'	Y
SIDE PROPERTY LINE	12', OR 25' FROM ZONE BOUNDARY ⁴	-	55.0', 250.1'	Y
REAR PROPERTY LINE	10' ¹ 12', OR 25' FROM ZONE BOUNDARY ²	-	54.5'	Y
MINIMUM FLOOR AREA				
MAX. HEIGHT FOR A BUILDING OR STRUCTURE	40' ⁵	-	33' 4"	Y
MAX. NUMBER OF STORES PER BUILDING	4 STORES ⁵	-	3 STORES	Y
MAX. BUILDING LOT COVERAGE AS A PERCENTAGE OF LOT AREA	75% ¹	-	14.8% (40,099 SF)	Y
MAX. BUILDING FLOOR AREA AS A PERCENTAGE OF LOT AREA	150% ²	-	17.5% (47,487 SF)	Y
PARKING REQUIREMENTS	100% ²	-	320 TOTAL SPACES (40 CUSTOMER)	Y
PARKING REQUIREMENTS CAR DEALERSHIP	SEE TRAFFIC REPORT	-		

NOTES:
 * ZERO ON ONE SIDE AND NOT LESS THAN TEN FEET ON THE OTHER SIDE, EXCEPT THAT ADJOINING OWNERS MAY BE MUTUAL AGREEMENT RECORDED ON LAND RECORDS, AGREE TO REDUCE THE SETBACK FROM THE COMMON PROPERTY LINE TO MINIMUM OF TEN FEET BETWEEN ADJACENT STRUCTURES.
 1. REQUIREMENT FOR DESIGNED COMMERCIAL DISTRICT.
 2. REQUIREMENT FOR DESIGNED INDUSTRIAL DISTRICT.
 3. REQUIREMENT IS CONSISTANT FOR BOTH ZONING DISTRICTS.



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06425
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED
 IMPROVEMENTS LOCATION MAP
 (NTS)

REVISION DATE: _____ ISSUE: _____

LANDTECH
 SITE/CIVIL • ENVIRONMENTAL • SURVEYING • PLANNING
 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:
 2190 POST ROAD LLC.

PROJECT LOCATION:
 2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:
 SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:
 OVERALL SITE LAYOUT PLAN

PROJECT No. 23296-01
 DATE: 05/24/2024 DESIGNED BY: RW CHECKED BY: AS
 SCALE: 1" = 50'

IN FEET
 0 50 100 150

PROJECT STATUS:
 DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION

STATE OF CONNECTICUT
 ANDY SOUMELIDIS
 27803
 LICENSED PROFESSIONAL ENGINEER

C-1.0

LANDTECH

WWW.LANDTECH.COM



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED
 IMPROVEMENTS.

REVISION DATE: _____ ISSUE: _____

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 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

SITE LAYOUT PLAN
 (EAST)

PROJECT No. 23296-01

DATE: 05/24/2024 DESIGNED BY: RW CHECKED BY: AS

SCALE: 1" = 30'

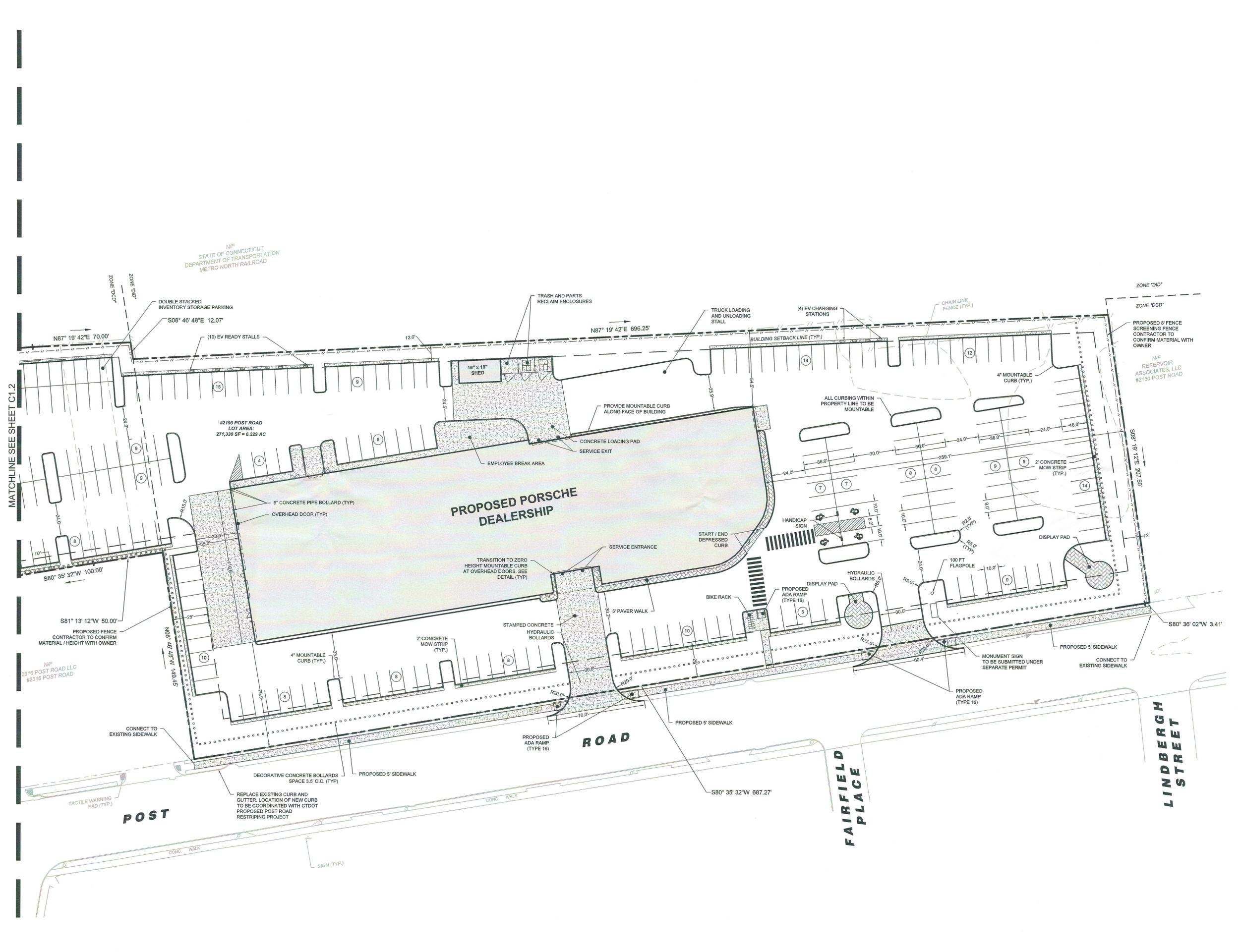


PROJECT STATUS:

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-1.1



LANDTECH

DATE PLOTTED: 05/24/2024 10:58:10 AM PROJECT: 23296-01 SHEET: C-1.1



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED
 IMPROVEMENTS.

REVISION DATE: ISSUE

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SITE/CIVIL • ENVIRONMENTAL • SURVEYING • PLANNING
 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

SITE LAYOUT PLAN
 (WEST)

PROJECT No. 23296-01

DATE: 05/24/2024	DESIGNED BY: RW	CHECKED BY: AS
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SCALE: 1" = 30'

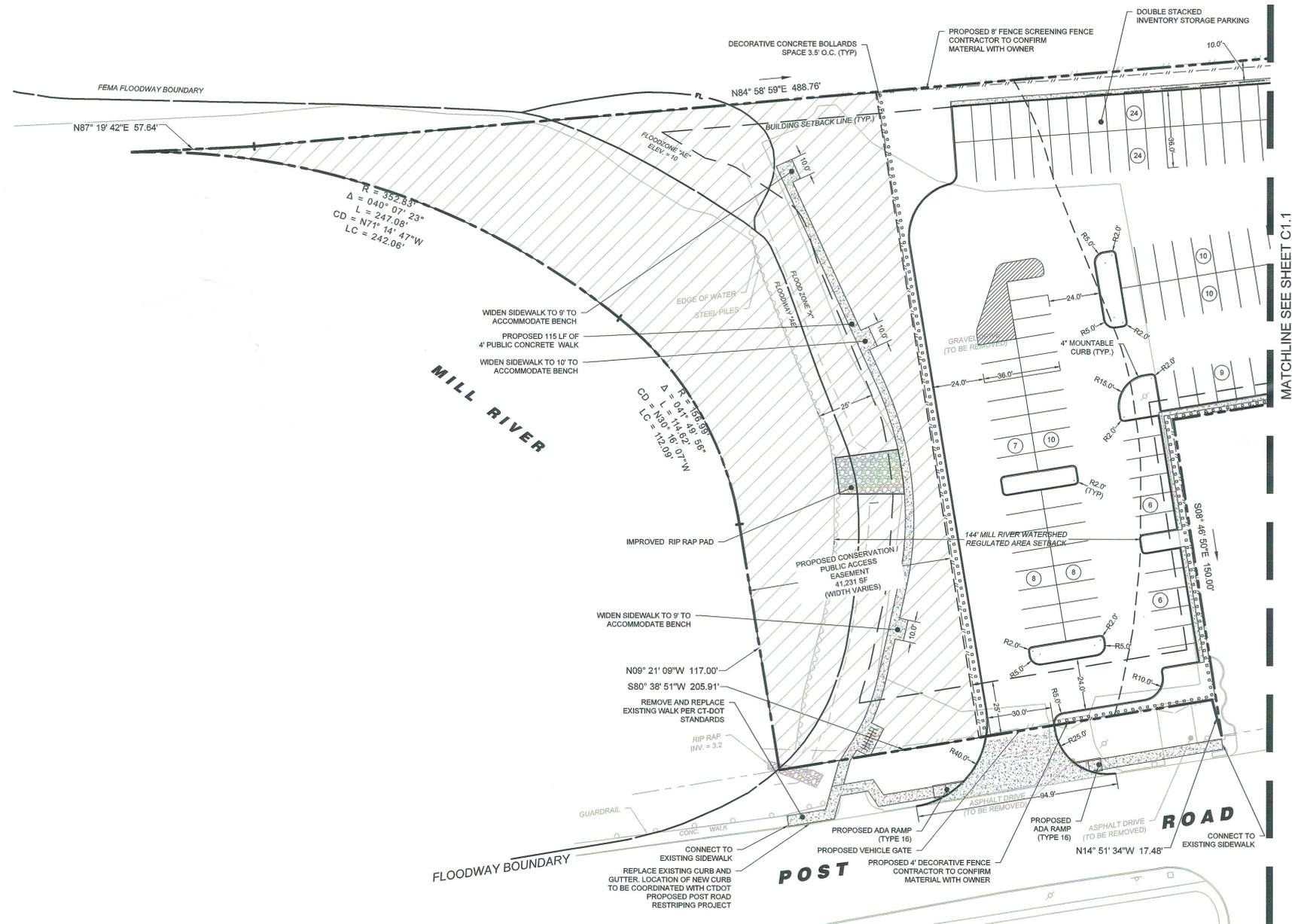


PROJECT STATUS:

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-1.2



LANDTECH

2190 POST RD, FAIRFIELD, CT 06825
 TEL: 203-454-2110
 WWW.LANDTECHCONSULT.COM

EXCAVATION/FILL NOTES:

1. NO PROCESSING OF EARTH OF ANY KIND SHALL BE CONDUCTED ON THE SITE EXCEPT FOR MATERIAL THAT IS EXCAVATED DIRECTLY FROM THE PROJECT SITE FOR USE ON THE PROJECT SITE.
2. THERE SHALL BE NO SHARP DECLIVITIES, PITS OR DEPRESSIONS.
3. PROPER SURFACE DRAINAGE SHALL BE PROVIDED AND GROUNDWATER SHALL NOT BE POLLUTED.
4. AFTER EXCAVATION OR FILLING, THE PREMISES SHALL BE CLEARED OF DEBRIS AND TEMPORARY STRUCTURES WITHIN THE TIME PROVIDED IN THE PERMIT.
5. FILL MATERIAL SHALL NOT INCLUDE ORGANIC (FOR EXAMPLE TREE STUMPS, LEAVES, BRUSH OR OTHER MATERIALS THAT DECOMPOSE, ETC.) OR PETROLEUM BASED PRODUCTS OR MATERIALS.



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED IMPROVEMENTS.

REVISION DATE: _____ ISSUE: _____

LANDTECH

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 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

OVERALL GRADING AND
 DRAINAGE PLAN

PROJECT No. 23296-01

DATE: 05/24/2024 DESIGNED BY: RW CHECKED BY: AS

SCALE: 1" = 50'



PROJECT STATUS:

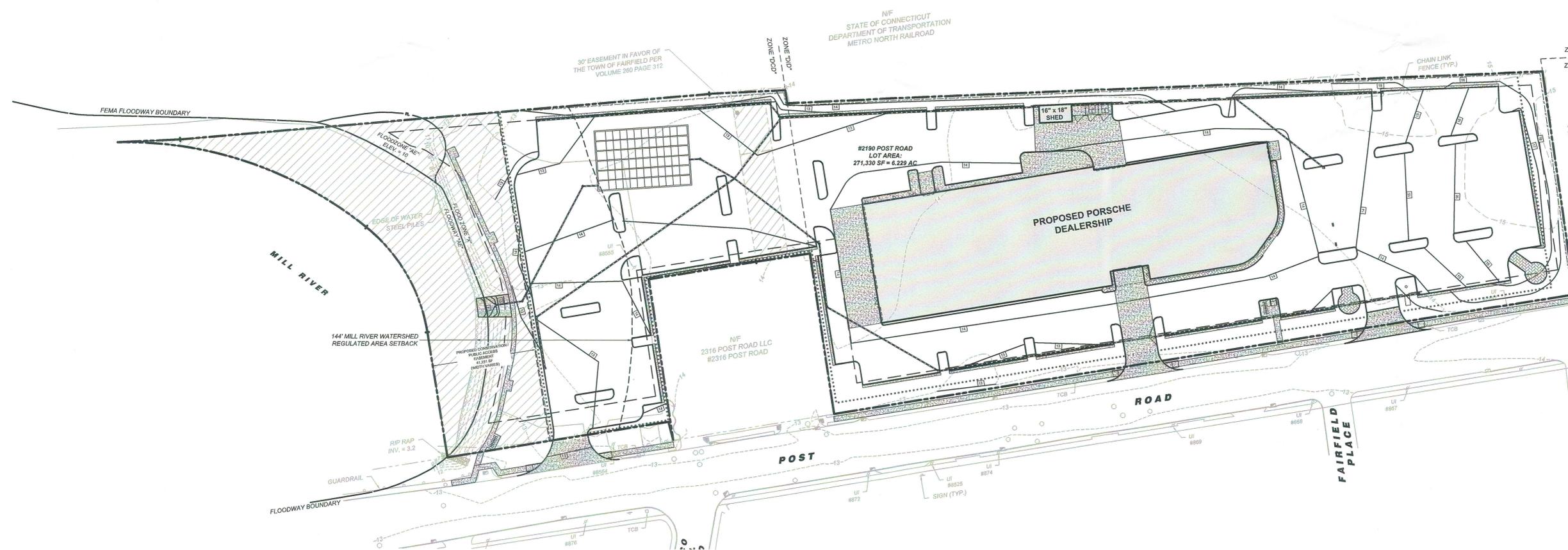
DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-2.0

LANDTECH

05/24/2024 11:41 AM PROJECT: 23296-01 FOR SCHE: 23296-01.DWG USER: ANDY.SOUMELIDIS





ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED
 IMPROVEMENTS.

REVISION DATE: _____ ISSUE: _____

LANDTECH

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 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:
 2190 POST ROAD LLC.

PROJECT LOCATION:
 2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:
 SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:
 GRADING AND DRAINAGE PLAN
 (EAST)

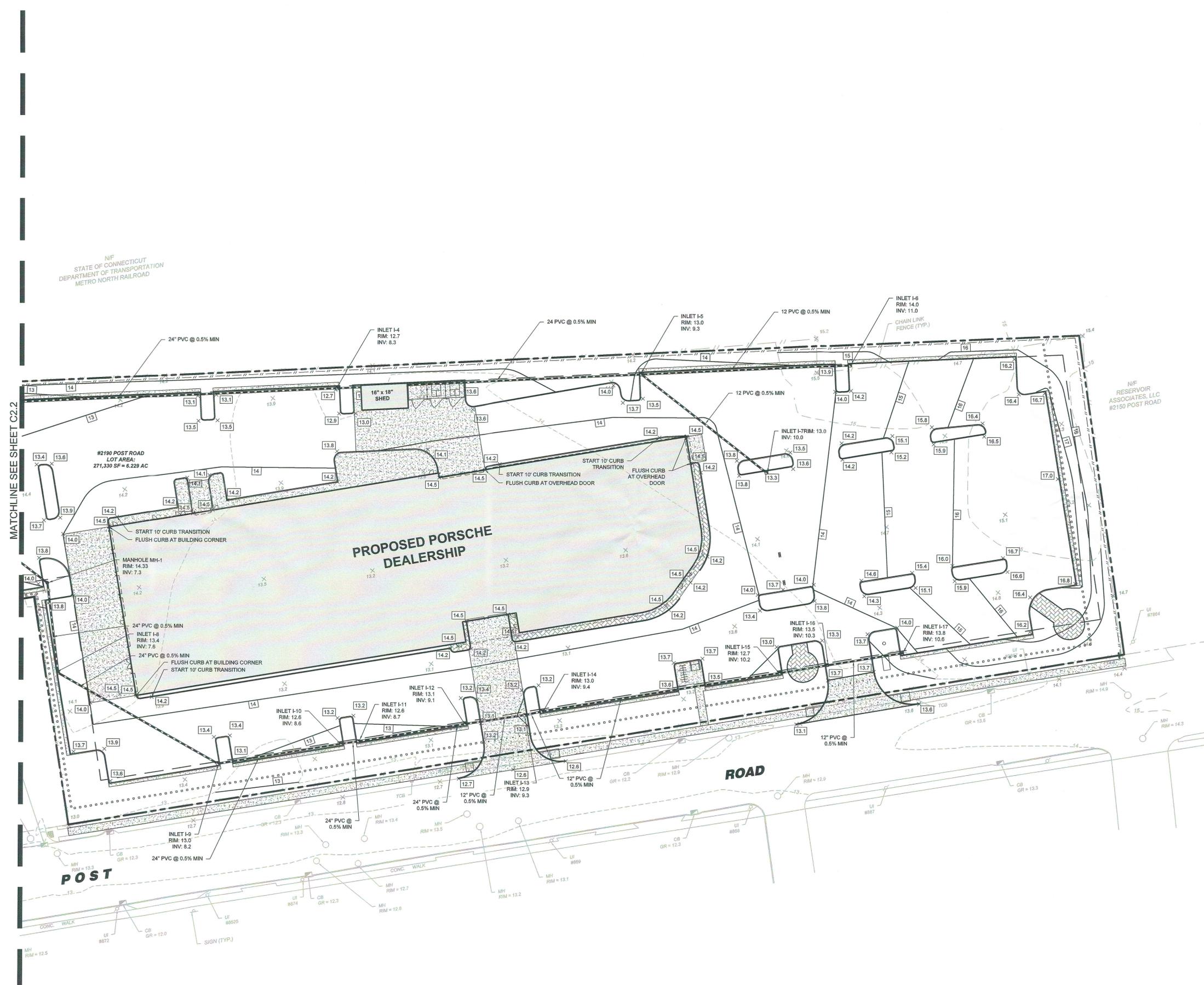
PROJECT No. 23296-01
 DATE: 05/24/2024 DESIGNED BY: RW CHECKED BY: AS
 SCALE: 1" = 30'



PROJECT STATUS:
 DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-2.1



LANDTECH

MATCHLINE SEE SHEET C2.2

N/F
 STATE OF CONNECTICUT
 DEPARTMENT OF TRANSPORTATION
 METRO NORTH RAILROAD

#2190 POST ROAD
 LOT AREA:
 271,330 SF = 6.228 AC

N/F
 RESERVOIR
 ASSOCIATES, LLC
 #2150 POST ROAD

POST

ROAD



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED
 IMPROVEMENTS.

REVISION DATE ISSUE

LANDTECH

SITE/CIVIL • ENVIRONMENTAL • SURVEYING • PLANNING
 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

UTILITY PLAN
 (EAST)

PROJECT No. 23296-01

DATE: 05/24/2024	DESIGNED BY: RW	CHECKED BY: AS
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SCALE: 1" = 30'

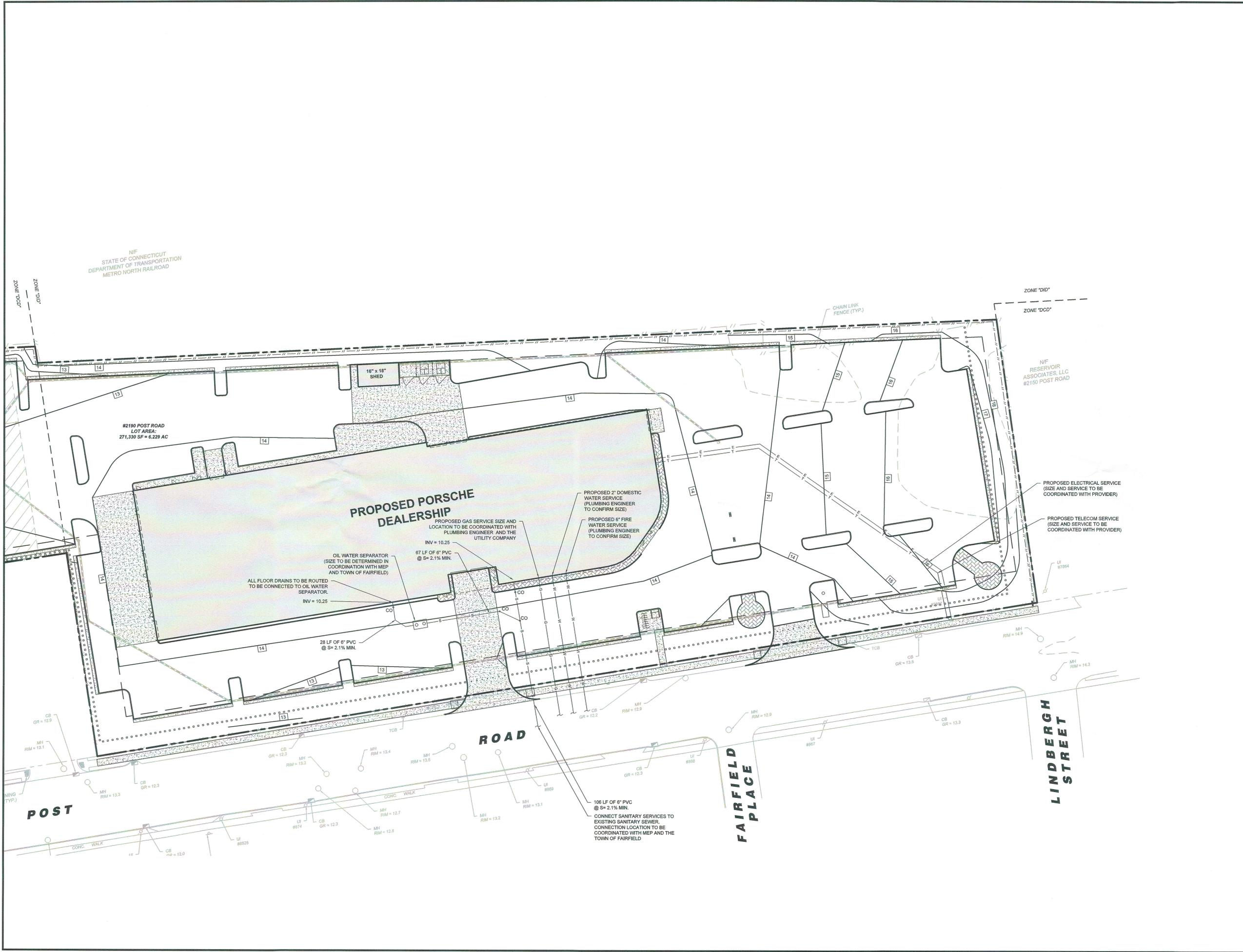


PROJECT STATUS:

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-3.0



LANDTECH

STATE OF CONNECTICUT
 DEPARTMENT OF TRANSPORTATION
 METRO NORTH RAILROAD

STATE OF CONNECTICUT
 DEPARTMENT OF TRANSPORTATION
 METRO NORTH RAILROAD

GENERAL EROSION AND SEDIMENT CONTROL NOTES

1. LAND DISTURBANCE WILL BE KEPT TO A MINIMUM; RESTABILIZATION WILL BE SCHEDULED AS SOON AS POSSIBLE.
2. SILT FENCE WILL BE INSTALLED ALONG THE TOE OF ALL CRITICAL CUT AND FILL SLOPES, SOIL STOCKPILE AREAS, AND IN THOSE AREAS SHOWN ON THE PLAN.
3. ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE STATE OF CONNECTICUT GUIDELINES FOR SOIL EROSION AND SEDIMENT CONTROL, 2002.
4. EROSION AND SEDIMENT CONTROL MEASURES WILL BE INSTALLED PRIOR TO LAND DISTURBANCE WHENEVER POSSIBLE.
5. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE PROPERLY MAINTAINED UNTIL STABILIZATION HAS BEEN ACHIEVED.
6. ADDITIONAL CONTROL MEASURES WILL BE INSTALLED DURING THE CONSTRUCTION PERIOD IF NECESSARY OR REQUIRED. A MINIMUM OF 50 FEET OF SILT FENCE SHALL BE STORED AT THE SITE FOR EMERGENCY USE.
7. ANY EXCAVATIONS THAT MUST BE DEWATERED WILL BE PUMPED INTO A FILTER BAG ON-SITE. THE INLETS OF ALL PUMPS ARE TO BE FLOATED A MINIMUM OF 24 INCHES OFF THE BOTTOM OF THE EXCAVATION.
8. WATER AND CALCIUM CHLORIDE SHALL BE APPLIED TO UNPAVED ACCESSWAYS TO PREVENT WIND GENERATED SEDIMENTS AND DUST.
9. DEBRIS AND OTHER WASTES RESULTING FROM EQUIPMENT MAINTENANCE AND CONSTRUCTION ACTIVITIES WILL NOT BE DISCARDED ON-SITE.
10. SEDIMENT REMOVED FROM CONTROL STRUCTURES WILL BE DISPOSED OF IN A MANNER WHICH IS CONSISTENT WITH INTENT OF THE PLAN.
11. SILT FENCES SHALL HAVE SEDIMENT REMOVED WHEN THE DEPTH OF THE SEDIMENT IS EQUAL TO 1/2 TO 3/4 THE HEIGHT OF THE FENCE. FENCES SHALL BE PROPERLY INSTALLED AND RIPPED FENCE OR BROKEN POSTS REPAIRED AS SOON AS PRACTICAL.
12. ANTI-TRACKING PADS AND GRAVEL CHECK DAMS SHALL BE REPLACED WHEN VOID SPACES ARE FULL OR STRUCTURES ARE BREACHED, AS APPLICABLE.
13. TEMPORARY EROSION CONTROL MEASURES SHALL BE REMOVED AND THE SOIL SURFACE STABILIZED WHEN CONSTRUCTION IS COMPLETE AND THE SOIL SURFACES ARE PERMANENTLY STABILIZED. STRUCTURAL COMPONENTS SHALL BE CLEANED OF ALL SEDIMENT UPON COMPLETION OF CONSTRUCTION.
14. THE OWNER IS ASSIGNED THE RESPONSIBILITY FOR IMPLEMENTING THIS EROSION AND SEDIMENT CONTROL PLAN. THIS RESPONSIBILITY INCLUDES INSTALLATION AND MAINTENANCE OF CONTROL MEASURES, INFORMING ALL PARTIES ENGAGED ON THE CONSTRUCTION SITE OF THE REQUIREMENTS AND OBJECTIVES OF THE PLAN, NOTIFYING THE PLANNING AND ZONING COMMISSION OF ANY TRANSFER OF THIS RESPONSIBILITY, AND FOR CONVEYING A COPY OF THE EROSION AND SEDIMENT PLAN IF AND WHEN THE TITLE OF LAND IS TRANSFERRED.



ASSESSORS MAP: # 231
 PARCEL NUMBER: 381
 ZONING DISTRICT: DID / DCD

APPLICANT:
 ANDY SOUMELIDIS, PE
 LANDTECH
 518 RIVERSIDE AVENUE
 WESTPORT, CT 06880
 203-454-2110

OWNER OF RECORD:
 2190 POST ROAD LLC
 P.O. BOX 320128
 FAIRFIELD, CT 06825
 203-334-9222

PROJECT DESCRIPTION:
 CAR DEALERSHIP AND RELATED IMPROVEMENTS.

REVISION DATE: _____ ISSUE: _____

LANDTECH

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 518 RIVERSIDE AVENUE • WESTPORT, CT 06880 • 203-454-2110
 HELLO@LANDTECHCONSULT.COM • WWW.LANDTECHCONSULT.COM

PREPARED FOR:

2190 POST ROAD LLC.

PROJECT LOCATION:

2190 POST ROAD
 FAIRFIELD, CT

PROJECT TITLE:

SITE IMPROVEMENTS FOR A
 PROPOSED PORSCHE DEALERSHIP

DRAWING TITLE:

SEDIMENT AND EROSION
 CONTROL PLAN

PROJECT No. 23296-01

DATE: 05/24/2024 DESIGNED BY: RW CHECKED BY: AS

SCALE: 1" = 50'

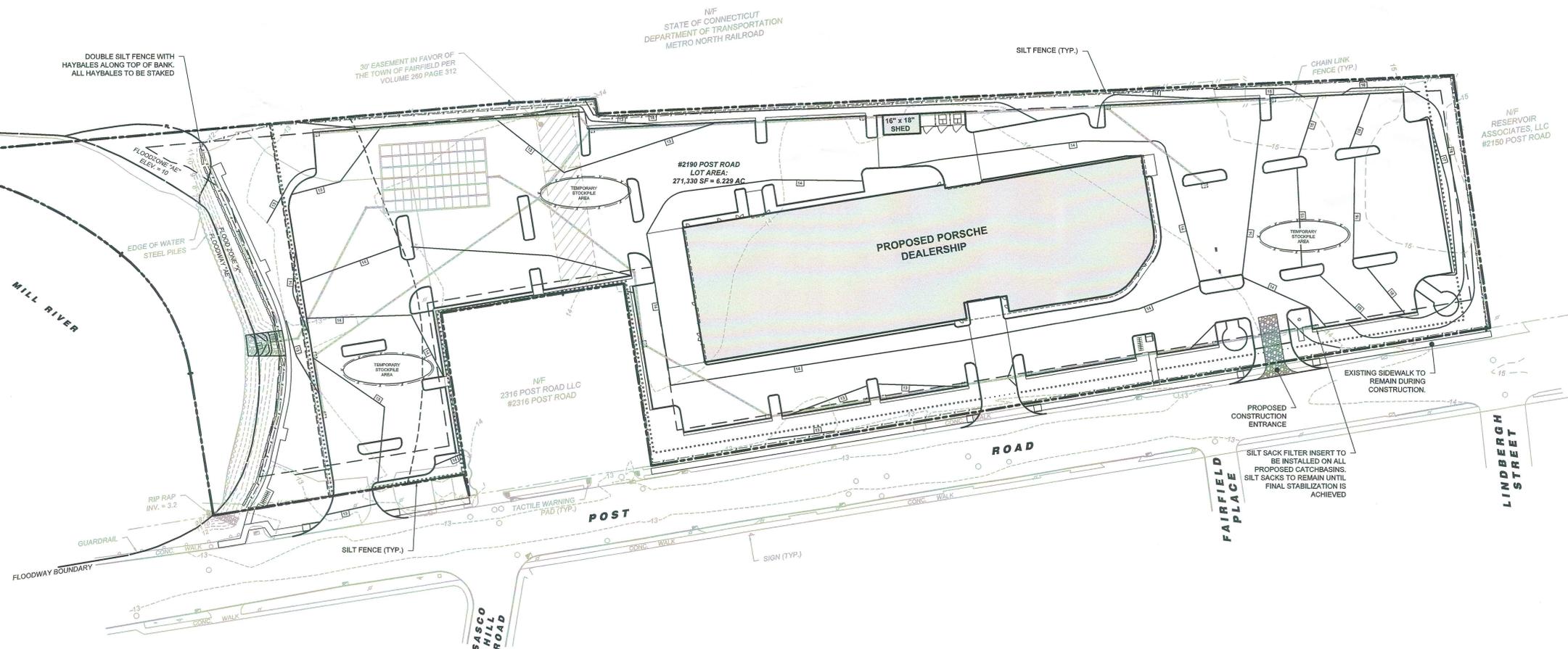


PROJECT STATUS:

DESIGN DEVELOPMENT
 NOT FOR CONSTRUCTION



C-4.0



LANDTECH

05/24/2024 10:00 AM PROJECT: 23296-01 PORSCHE - 2190 POST RD. \PROJECTS\23296-01 PORSCHE - 2190 POST RD. - 2190 POST RD. - 2190 POST RD. - 2190 POST RD.

GENERAL PLANTING NOTES:

- ALL PLANT MATERIALS SHALL BE INSPECTED FOR DEFECTS OR DAMAGE BEFORE PLANTING. SUBSTANDARD PLANTS SHALL BE RETURNED TO, AND REPLACED BY THE NURSERY. ACCEPTABLE PLANTS ARE TO BE PLANTED PER THE SPECIFICATIONS OF THE PLANTING PLAN. IT IS THE RESPONSIBILITY OF THE PLANTING CONTRACTOR TO PROVIDE FOR THE SAFEGUARDING AND MAINTENANCE OF THESE PLANTS FOR THE DURATION OF SITE CONSTRUCTION ACTIVITY. ALL PLANTINGS AND SEEDINGS WITHIN THE LIMITS OF THE WETLAND RESTORATION AREA SHALL BE COMPLETED BY HAND. NO MACHINERY SHOULD ENTER THE WETLAND AREA AFTER THE COMPLETION OF THE FILL REMOVAL IS COMPLETED.
- PLANT LOCATIONS ARE SUBJECT TO FIELD REVISION BASED ON LOCATIONS OF EXISTING DESIRABLE PLANT SPECIES AND OTHER EXISTING CONDITIONS. ANY CHANGES TO PLANT LOCATION OR SPECIES SELECTION ARE TO BE REVIEWED BY THE ENVIRONMENTAL CONSULTANTS AND APPROVED BY CONSERVATION COMMISSION STAFF.
- ALL PLANTINGS SHALL BE PERFORMED AND COMPLETED BETWEEN OCTOBER 1 AND THE DATE AT WHICH FROZEN SOIL CONDITIONS EXIST, AND/OR BETWEEN APRIL 15 AND JUNE 15.
- PLANT NURSERY STOCK BY DIGGING A SUFFICIENTLY LARGE ENOUGH HOLE TO ACCOMMODATE THE PLANTS AND ROOTS. THE PLANTING HOLE SHALL THEN BE FILLED WITH WATER SUFFICIENT TO SATURATE THE SURROUNDING SOIL. THE ROOTS SHALL BE SPREAD OUT ADEQUATELY TO PROMOTE GOOD GROWTH. ALL PLANTS SHALL BE SET AT THE LEVEL OF THE EXISTING GRADE.
- THE PLANTING HOLE SHALL BE FILLED WITH SOIL AND FIRMED BY TAMPING TO FILL ANY VOIDS. APPLY ADEQUATE DEPTH OF MULCH AROUND SHRUBS AND TREES TO INHIBIT WEED GROWTH DURING THE PLANTS FIRST YEAR OF GROWTH.
- PROVIDE ADEQUATE IRRIGATION AND PROTECTION FROM DEER UNTIL PLANTED AREAS ARE ESTABLISHED.
- AREAS NOT DESIGNATED FOR PLANTINGS SHALL BE PLANTED W/ GRASS SEED MIX IN ACCORDANCE W/ THE GRASS MIX TABLE.

TREE PLANTING NOTES:

- DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNING SHOULD ONLY BE DONE TO CORRECT DAMAGE AT THE TIME OF PLANTING. USE CORRECTIVE PRUNING TECHNIQUES AFTER ESTABLISHMENT BASED ON ISA STANDARDS.
- IF PLANT IS SHIPPED WITH A WIRE BASKET AROUND THE ROOT BALL. REMOVE ALL TWINE, ROPE, BURLAP, AND WIRE BASKET FROM TOP 1/3 OF ROOT BALL.
- MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.
- SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2 INCHES HIGHER IN SLOWLY DRAINING SOILS.
- IF PLANTING PITS ARE EXCAVATED USING A POWER AUGER, BREAK VERTICAL SIDES WITH A BALLING BAR OR SPADE TO INTERRUPT CONTINUOUS CURVE INFLUENCE ON ROOT DEVELOPMENT.
- IF PLANTING PITS ARE HAND DUG, SCARIFY SIDES OF PIT.
- 2" TO 3" INCHES OF MULCH. DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK. MULCH RING TO COVER EARTH SAUCER.
- STAKE TREES ONLY AS NEEDED ACCORDING TO ISA GUIDELINES.
- PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.
- TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT.
- EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. TREES WHERE THE TRUNK FLARE IS NOT VISIBLE SHALL BE REJECTED. DO NOT COVER THE TOP OF THE ROOT BALL WITH SOIL.

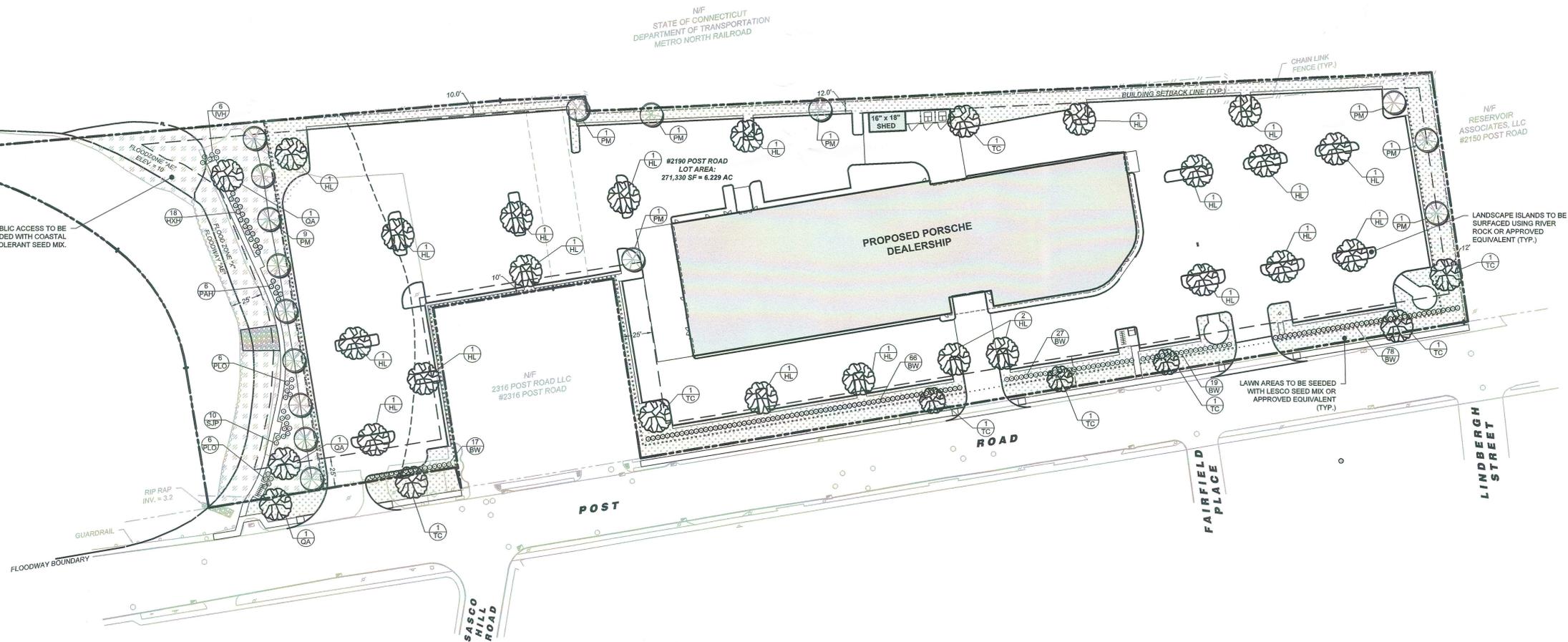
PLANTING LEGEND							
PROPOSED PORSCHE FACILITY							
QTY	Key	BOTANICAL NAME	COMMON NAME	SIZE	HEIGHT	ROOTS	COMMENTS
18	HL	GLORIOSA FRAGRANTIS	HONEY LOCUST	3-4" cal.	8'-9"	WB	UPRIGHT GROWTH
8	TC	TRIA CORNATA	LITTLE LEAF LINDEN	3-4" cal.		WB	UPRIGHT GROWTH
15	PM	PRUNUS MARSHIANA	BLACK SPINICE		10'-12'	WB	
3	QA	QUERCUS ALBA	WHITE OAK	3-4" cal	8'-9"	WB	UPRIGHT GROWTH
188	BW	BROMUS SHAMBERGII	BORGOUDO	1 gal	18-24"	CONT.	FULL
18	HXX	HIMENOCALIX 'HEAVY RETURN'	HAPPY RETURNS DAYLILY	5 pt.		CONT.	FULL
6	IVH	IRIS VIRGINICA 'VENUS'S GARDEN'	HAPPY GARDEN VIRGINIA SWEETIRIS		15"-18"	CONT.	FULL
6	PAH	PENNYCILLUS ALBOROBODENSIS 'HEAVENLY'	HAMELUS DUNN FOUNTAIN GRASS	1 gal.		CONT.	FULL
12	PLO	PHELIUM LAUDICERANUS 'OTTO LINDNER'	OTTO LINDNER CAREY LAUREL		18"-24"	CONT.	FULL
10	SJP	SPINNA JAPONICA 'LITTLE PRINCESS'	LITTLE PRINCESS SHRUB		15"-18"	CONT.	FULL

NOTE: ALL BEDS TO HAVE 2" RIVER ROCK SURFACING WHEN ADJACENT TO PARKING

SEEDING SPECIFICATIONS		
NEW ENGLAND COASTAL SALT TOLERANT GRASS MIX		
BOTANICAL NAME	COMMON NAME	INDICATOR
<i>Elymus canadensis</i>	CANADA WILD RYE	FACU+
<i>Festuca rubra</i>	RED FESCUE	FACU
<i>Panicum amarum</i>	ATLANTIC COASTAL PANIC GRASS	FACU-
<i>Andropogon gerardii</i>	BIG BLUESTEM	FAC
<i>Scorphastrum nutans</i>	INDIAN GRASS	LPL
<i>Panicum virgatum</i>	SWITCH GRASS	FAC
<i>Juncus tenuis</i>	PATH RUSH	FAC

The New England Coastal Salt Tolerant Seed Mix contains a selection of native grasses that tolerate salty conditions. This mix is appropriate for drier coastal areas that receive salt spray or mist. Always apply on clean bare soil. The mix may be applied by hydro-seeding, by mechanical spreader, or on small sites it can be spread by hand. Lightly rake, or roll to ensure proper seed to soil contact. Best results are obtained with a Spring seeding. Late Spring and early Summer seeding will benefit with a light mulching of weed-free straw to conserve moisture. If conditions are drier than usual, watering may be required. Late fall and winter dormant seeding require an increase in the seeding rate. Fertilization is not required unless the soils are particularly infertile. Preparation of a clean weed free soil surface is necessary for optimal results. Apply at a rate of 35 lbs/acre.

Note: All landscape areas on the property should be overseeded with LESCO All Pro Transition Blend.



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PREPARED FOR:
2190 POST ROAD LLC.

PROJECT LOCATION:
**2190 POST ROAD
FAIRFIELD, CT**

PROJECT TITLE:
**SITE IMPROVEMENTS FOR A
PROPOSED PORSCHE DEALERSHIP**

DRAWING TITLE:
LANDSCAPE PLAN

PROJECT No. **23296-01**

DATE: 05/24/2024
DESIGNED BY: RW
CHECKED BY: AS

SCALE: 1" = 50'
IN FEET
0 50 100 150

PROJECT STATUS:
**DESIGN DEVELOPMENT
NOT FOR CONSTRUCTION**



L-1.0

LANDTECH

SCALE: 1" = 50' (VERTICAL SCALE: 1" = 10')