



**Town of Greenville, Outagamie County, WI  
NOTICE OF THE TOWN BOARD MEETING**

**DATE:** Monday, March 25, 2019  
**TIME:** Immediately Following the Sanitary District #1  
**LOCATION:** Greenville Town Hall, W6860 Parkview Drive, Greenville, WI 54942

**OPENING:**

1. Call to Order/Roll Call
2. Pledge of Allegiance

**PRESENTATIONS & PUBLIC FORUM:**

3. Public Hearings: NONE
4. Presentations: Public Private Partnerships, TJ Lamers with Integrated Public Resources.
5. Public Comment Forum:

*Members of the public are welcome to address the Town Board. Individuals wishing to speak on an item (whether on the agenda or not) must sign in prior to the start of the meeting and may speak during the Public Comment Forum segment of the meeting. This segment is placed early in the agenda so the public may make their comments prior to any discussion or action by the Town Board. Individual comments are limited to no more than three minutes each. The Public Input section is limited to a total of 15 minutes. The Town Board may suspend this rule if deemed necessary. Once the public input segment ends there will be no additional discussion from the audience.*

*Note regarding non-agenda Town related matters: Pursuant to WI Statutes 19.83(2) and 19.84(2), the public may present matters; however, they cannot be discussed or acted upon until specific notice of the subject matter of the proposed action can be given.*

**TOWN BOARD BUSINESS AGENDA:**

*Notice is hereby given that the Greenville Town Board may take action on any item listed within this agenda.*

6. **Plan Commission Recommendations and Development Projects for Discussion & Possible Action:**
  - a. Consider/Discuss/Act on Resolution 19-19 for Greenville Auto Special Exception.
  - b. Consider/Discuss/Act on Resolution 20-19 Rezoning St. Mary's Church from General Agriculture to R-1 Single Family Residential District.
  - c. Consider/Discuss/Act on Resolution 23-19 Special Exception for St. Mary's Church for a Church, Cemetery and PUD.
  - d. Consider/Discuss/Act on Resolution 30-19 Rezone Parcel 110035300 from General Commercial District to R-3 Multifamily Residential District.
  - e. Consider/Discuss/Act on Ordinance 02-19 Article VIII Landscaping Requirements of Chapter 320 of the Zoning Ordinance.



**7. Unfinished Business for Discussion & Possible Action:**

- a. Determine Scope of Work for Spring Road Reconstruction/Reclamation.

**8. New Business for Discussion & Possible Action:**

- a. Review Bids and Award Contracts for Greenville Fire & Safety Building.
- b. Greenville Sports Complex Grading and Development Plan.
- c. Contract for Law Enforcement Services with Outagamie County Sheriff's Department.
- d. Receive and Place on File a Request for Over Depth Expense for Sanitary Sewers in Savannah Heights.

**9. Closed Session:**

- a. Pursuant to Wis. Stat. sec. 19.85(1)(e) to deliberate or negotiate the purchase of public property, investment of public funds, or conducting other specified public business when competitive or bargaining reasons require a closed session, more specifically Tax Incremental Finance District #1.
  - i. Reconvene to Open Session: Possible Town Board Action on Items Discussed in Closed Session.
- b. Pursuant to Wis. Stat. sec. 19.85(1)(g) for purposes of conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved, more specifically concerning Outagamie County Case No. 18-CV-227.
  - i. Reconvene to Open Session: Possible Town Board Action on Items Discussed in Closed Session.

**CLOSING:**

**10. Announcements & Future Meeting Dates**

**11. Adjournment**

Wendy Helgeson, Town Clerk  
Dated/Posted: March 21, 2019



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** 6a\_\_\_\_\_  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Chairperson and Commission and Board Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** March 18, 2019  
**RE:** Site Plan and Special Exception for Automotive Use for Greenville Auto

**ACTION TYPE:** This item is for possible Planning Commission and Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** John Korth, property owner and applicant, has submitted an application for a site plan and special exception to develop a used car sales facility and automotive shop. The property is located on Hwy 15 on parcels 110014207, 110014208, 110014210, 110014211, is approximately 11.3 acres is zoned General Commercial and is currently being used for agricultural purposes and lies within the Gateway District. A CSM was approved in February 2019 to combine all four parcels as well as rezone a portion from Two Family Residential to General Commercial.

In addition to the proposed car sales and automotive shop, shown as Phase I, the applicant is showing storage facilities as future Phases II & III. At this time the applicant is not seeking approval but is showing it for conceptual purposes to show the intent for future development. The applicant will be required to receive site plan approval for any future development.

**SURROUNDING ZONING AND LAND USES:**

	Existing Zoning	Existing Land Use
North	Agriculture	Residential
South	Agriculture	Residential
East	General Commercial	Commercial
West	Two Family and Ag	Residential

**ITEMS FOR DISCUSSION:**

1. Special Exception: A Special Exception for a car dealership and automotive shop has been requested:
  - a. Section 320-209A(1-10) Standards for granting a special exception. Special Exceptions may be granted by the Planning Commission, and approved by the Town Board, when all of the following conditions prevail:



- i. The establishment, maintenance, or operation of the special exception will not be detrimental to, or endanger the public health, safety, morals, comfort or general welfare of the community.
  - ii. The special exception will not be injurious to the uses of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
  - iii. The proposed use will not create a look of clutter, garishness, glare or creates an obnoxious noise level, or would generate any other incompatibility with surrounding neighborhood.
  - iv. The impact of the use is furthering the purposes of this chapter or the purposes of the zoning district in which the use is proposed or the adopted Comprehensive Plan of the Town.
  - v. The establishment of the special exception will not impede the normal and orderly development and improvement of the surrounding property.
  - vi. Adequate facilities, access roads, drainage and/or necessary services will be provided.
  - vii. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
  - viii. If the special exception involves a public use or a use providing public utility service, that such use or service shall meet a demonstrable public need and provide a public benefit.
  - ix. Lot area, lot width and setbacks meet or exceed minimum requirements and are adequate for the proposed use. When there is an existing nonconforming structure, this provision may be waived by the Town Board.
  - x. Generally, a buffer shall exist as determined by the Planning Commission between the structure or land use to be occupied by the special exception and any adjoining property line.
2. The applicant is requesting to defer installation of landscaping in future phases as the current automotive use is in the middle of the site and is not adjacent to the perimeter of the site. Section 320-65 of the Landscape Ordinance does allow the Planning Commission to set a schedule. The Planning Commission did defer installation of landscaping for a portion of the Wolf River Machine project in 2018 until the future phases develop or within 5 years. Staff recommends the same schedule and will be included as a condition in the adopting resolution.
  3. Gateway District: The property lies within the Gateway District. The applicant has proposed a ground sign that does not comply with the regulations and has submitted an application for a variance for a 25 foot tall sign. Staff believes the proposed architecture meets the intent of the design requirements of the Gateway District as it is similar in nature to recently approved buildings, such as the Thrivent building in 2018 on Parkview Drive. The Gateway District only requires building facades that face Hwy 15 to meet the design requirements. While the proposed automotive shop building is all metal, the front building which will house the office and car sales area has been designed with masonry and vinyl siding on all three sides.
  4. Gravel drives and storage areas are proposed to the rear of the site. Section 320-39 allows the Planning Commission to approve the use of gravel; however, staff recommends all areas used for drives, parking and storage be paved. All parking of vehicles should also take place on paved surfaces.



5. The applicant will be required to obtain necessary permits from the WI Department of Transportation for access off of Hwy 15; however, there is an existing permitted access off of Hillview Road.
6. The applicant will be required to obtain necessary permits from the WI Department of Natural Resources prior to the Town issuing construction permits.
7. The plans have been reviewed by staff and its engineering consultant and find them to be in general compliance with ordinance requirements other than the items mentioned above.

**STAFF RECOMMENDATION:** Staff recommends the Commission approve the site plan and special exception.

If the Commission is in agreement, the following motions may be made:

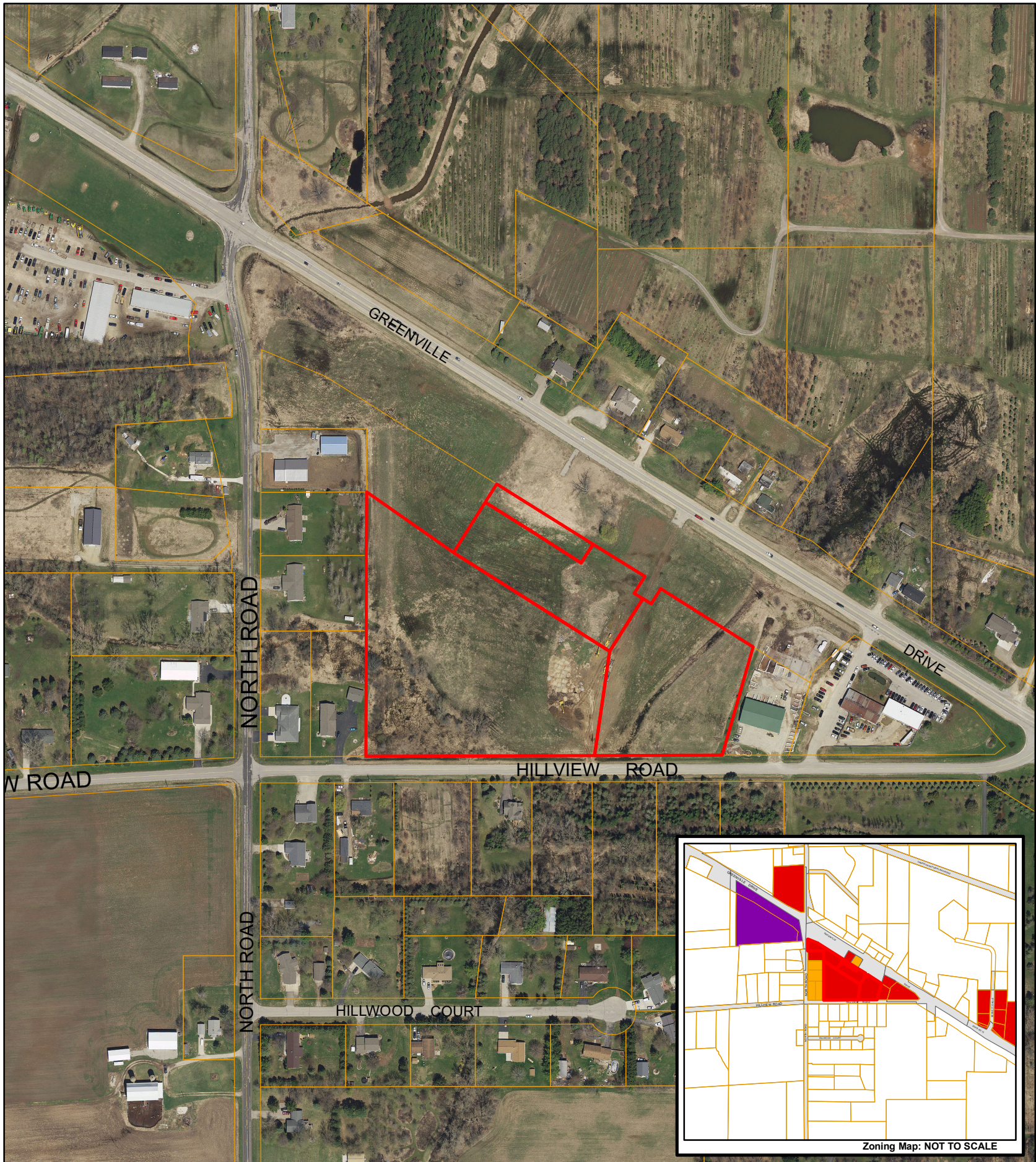
1. *Site Plan "Motion to recommend approval of Resolution 18-19."*
2. *Special Exception "Motion to recommend approval of Resolution 19-19 to the Town Board."*

###

**Attachments:**

1. Aerial
2. Resolution 18-19
3. Resolution 19-19
4. Email re: SW Concerns





## Town of Greenville

### 2019\_Greenville Auto Site Plan and Special Exception






 Project Location



0 150 300 600 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

#### Zoning

-  GENERAL AGRICULTURE
-  SINGLE FAMILY RESIDENTIAL
-  TWO FAMILY RESIDENTIAL
-  MULTI-FAMILY RESIDENTIAL
-  GENERAL COMMERCIAL DISTRICT

-  PLANNED COMMERCIAL
-  NEIGHBORHOOD COMMERCIAL DISTRICT
-  BUSINESS PARK
-  INDUSTRIAL
-  AIRPORT DISTRICT
-  Parcel Boundary

This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.



## **Resolution #19-19**

### **RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A SPECIAL EXCEPTION FOR GREENVILLE AUTO FOR AUTOMTIVE SALE AND REPAIR AND USE LOCATED ON HWY 15 AT PARCELS 110014207, 110014208, 110014210, 110014211**

**WHEREAS**, an Automotive Sale and Repair Shop has been applied for as a special exception for Greenville Auto located at on Hwy 15 on parcels 110014207, 110014208, 110014210, 110014211 as shown on the attached Exhibit A; and

**WHEREAS**, the Planning Commission has found that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and have recommended approval to the Town Board; and

**WHEREAS**, the approval and continued use of the special exception shall be conditioned on the following

1. Installation of landscaping identified in Phases II & III on the attached landscape plan shall be deferred until those phases receive development approvals or within 5 years from approval of this resolution; and
2. All vehicles shall be parked on paved surfaces; parking on gravel or grass is prohibited;

**WHEREAS**, per Section 320-209B(2) of the Zoning Ordinance, the special exception shall expire if the use is discontinued for a period of eight months. If a building permit is required, and has not been obtained within 12 months of the issuance of the special exception permit, the applicant must request in writing and the Planning Commission may approve an extension if it finds there is no significant change to warrant a new special exception permit application. If the special exception does not require a building permit and has not started within 12 months of issuance of the special exception permit the permit is considered null and void and an application for a special exception permit shall be required. If the conditions set forth above are not met within the specified timeframes the special exception permit shall expire and be null and void. The special exception shall run with the land and is transferable with the sale of the property; and

**WHEREAS**, this resolution shall act as the special exception permit and be enforceable by the Town;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and approves the special exception permit.

This resolution was adopted by the Town of Greenville Town Board on the 25<sup>th</sup> day of March, 2019:



TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #19-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:



## SPECIFICATION NOTES

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE 2009 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE STATE OF WISCONSIN AND ALL OTHER APPLICABLE STATE AND LOCAL CODES. ALL WORK SHALL BE PERFORMED IN A COMPLETE AND WORKMANLIKE MANNER.
2. PROVIDE ADEQUATE CLEARANCES FROM POWER LINES AND OTHER HAZARDS. NOTIFY ALL AFFECTED UTILITY COMPANIES TO LOCATE EXISTING LINES. PROVIDE AT LEAST THREE WORKING DAYS NOTICE IF ANY REMARKING OF UTILITY LOCATIONS IS REQUIRED.
3. PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE ALL WORK AS SPECIFIED OR SHOWN ON THESE DRAWINGS.

1. THE FOLLOWING ITEMS SHALL BE INCLUDED WITH THE EARTHWORK CONTRACTOR'S WORK: ALL EXCAVATING AND BACKFILLING INCLUDING FOUNDATION WALLS AND FOOTINGS, SHAPING DITCHES, GRADING, AND GRANULAR BASE COURSE.  
ALL BACKFILL MATERIAL INSIDE BUILDING LINES SHALL BE GRANULAR IN NATURE, PLACED IN LAYERS NOT TO EXCEED 9 INCHES THICKNESS, AND COMPACTED BY MEANS OF VIBRATORY EQUIPMENT TO AT LEAST 95% OF MAXIMUM DENSITY, AT OPTIMUM MOISTURE CONTENT, IN ACCORDANCE WITH ASTM D1557-91. TOP 3" SHALL BE CRUSHER RUN GRAVEL.
2. THE FOLLOWING ITEMS SHALL BE COVERED UNDER SEPARATE CONTRACTS: BITUMINOUS PAVEMENT, CONCRETE CURES AND DRIVEWAY APRONS, SEWER & WATER WORK, AND LANDSCAPING.
3. EARTHWORK CONTRACTOR'S BID SHALL INCLUDE EXCAVATING, TRENCHING, AND BACKFILLING FOR ALL WALLS AND FOOTINGS. ALL BACKFILL MATERIAL WITHIN BUILDING LINES SHALL BE GRANULAR IN NATURE, PLACED IN LAYERS NOT TO EXCEED 9 INCHES THICKNESS, AND MACHINE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY, AT OPTIMUM CONTENT, IN ACCORDANCE WITH ASTM D1557-91. TOP 3" SHALL BE CRUSHER RUN GRAVEL.

ESTABLISH AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS TO CONVEY RAIN WATER AND WATER REMOVED FROM EXCAVATIONS TO COLLECTING OR RUN-OFF AREAS. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

2. BUILDING SHALL BE DESIGNED, MANUFACTURED, AND ERECTED IN CONFORMANCE WITH MEBA STANDARDS.
4. PRE-ENGINEERED METAL BUILDING PERMIT DRAWINGS SHALL BE DESIGNED, AND SEALED BY A WISCONSIN-REGISTERED PROFESSIONAL ENGINEER.
5. PRE-ENGINEERED METAL BUILDING DESIGNER SHALL SUPPLY UTSCHIG INC. FOUR (4) COPIES OF STAMPED DRAWINGS AND (2) SETS OF CALCULATIONS FOR SUBMIT TO DEPT. OF COMMERCE.

2. EXTERIOR SERVICE DOORS SHALL BE HOLLOW CORE METAL DOORS, WITH POLYSTYRENE FOAM CORES, IN METAL FRAMES. FRAMES TO BE INSULATED WITH 4" INSULATION. ALL REQUIRED EXIT DOORS SHALL HAVE ILLUMINATED EXIT LIGHTS AND EXIT HARDWARE IN CONFORMANCE WITH WISCONSIN ENROLLED COMMERCIAL BUILDING CODE CHAPTER 10, SECTION 1003.2.10.

G. PLUMBING WORK: COVERED UNDER SEPARATE CONTRACT.

PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL SUBMIT PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATING BUILDING COMPONENTS. UPON SATISFACTORY REVIEW OF ARCHITECT/ENGINEER, GENERAL CONTRACTOR TO PROVIDE 3 SETS OF ENGINEERED METAL BUILDING DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN TO THE ARCHITECT/ENGINEER AS A STRUCTURAL COMPONENT SUBMITTAL.



**CONTRACTOR:**  
 UTSCHIG, INC. - 920-757-0999  
 11040 CRAFTSMEN DRIVE  
 GREENVILLE, WISCONSIN 54942

T100	TITLE SHEET
PAGE 1.0	SITE PLAN
PAGE 1.1	TOPOGRAPHIC SURVEY
PAGE 1.2	DRAINAGE AND GRADING PLAN
PAGE 1.3	EROSION AND SEDIMENT CONTROL
PAGE 1.4	UTILITY PLAN
PAGE 2.1	CONSTRUCTION DETAILS
PAGE 2.2	STORMWATER POND DETAILS
L100	LANDSCAPE & LIGHTING PLAN
L101	ENLARGED LANDSCAPE & LIGHTING PLAN
L102	PHASE II LANDSCAPE PLAN
L103	PHASE III LANDSCAPE PLAN
I OF I	PHOTOMETRIC SITE PLAN
A101	FLOOR PLAN
A201	BUILDING ELEVATIONS

FOR SITE PLAN SUBMITTAL 3/01/19  
FOR SITE PLAN SUBMITTAL 2/04/19

NEW BUILDING FOR:  
GREENVILLE AUTO

# TITLE SHEET

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Page Information

Drawn By	Approved By
EAF	CMR

Project No.	Date
18-2060	3/01/19

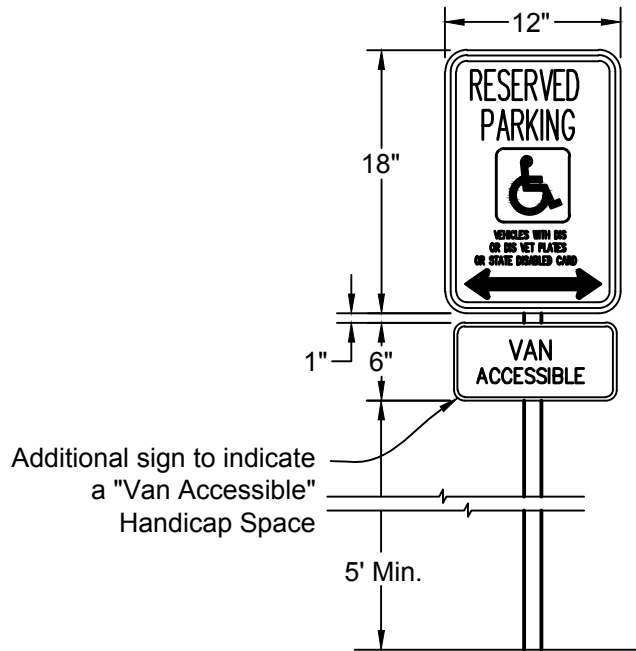
Sheet No.

# T100



LEGEND

—DH—	DH	Overhead Electric Lines	○	Utility Pole	●	Deciduous Tree
—San—	San	Utility Guy Wire	+	Guy Wire	●	Benchmark
—Sew—	Sew	Sanitary Sewer	+799.9	Ex Spot Elevation	■	Asphalt Pavement
—Sew—	Sew	Storm Sewer			■	Concrete Pavement
~~~~~		Treeline			■	Gravel
		Culvert			■	Proposed Building
~~~~~	800	Index Contour			■	Proposed Asphalt
~~~~~	799	Intermediate Contour			■	Proposed Concrete
					■	Proposed Gravel



HANDICAP PARKING SIGN DETAIL

Project Information

Owner:  
Greenville Auto & RV  
N2121 Greenville Drive  
Hortonville, WI 54944  
Phone (920) 470-9907

Site:  
Parcel ID # 110014207, 110014208, 110014210, 110014211

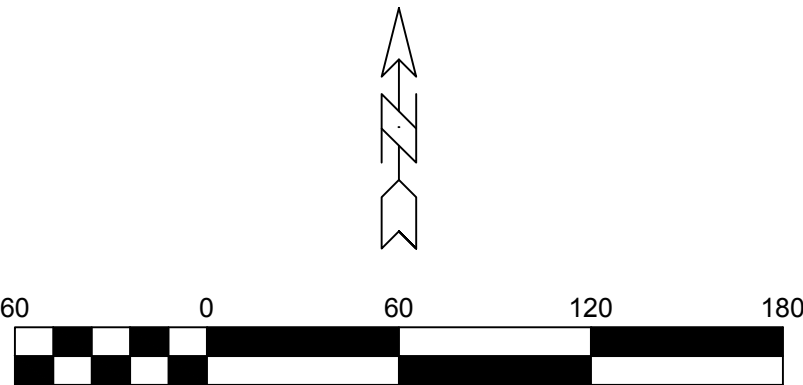
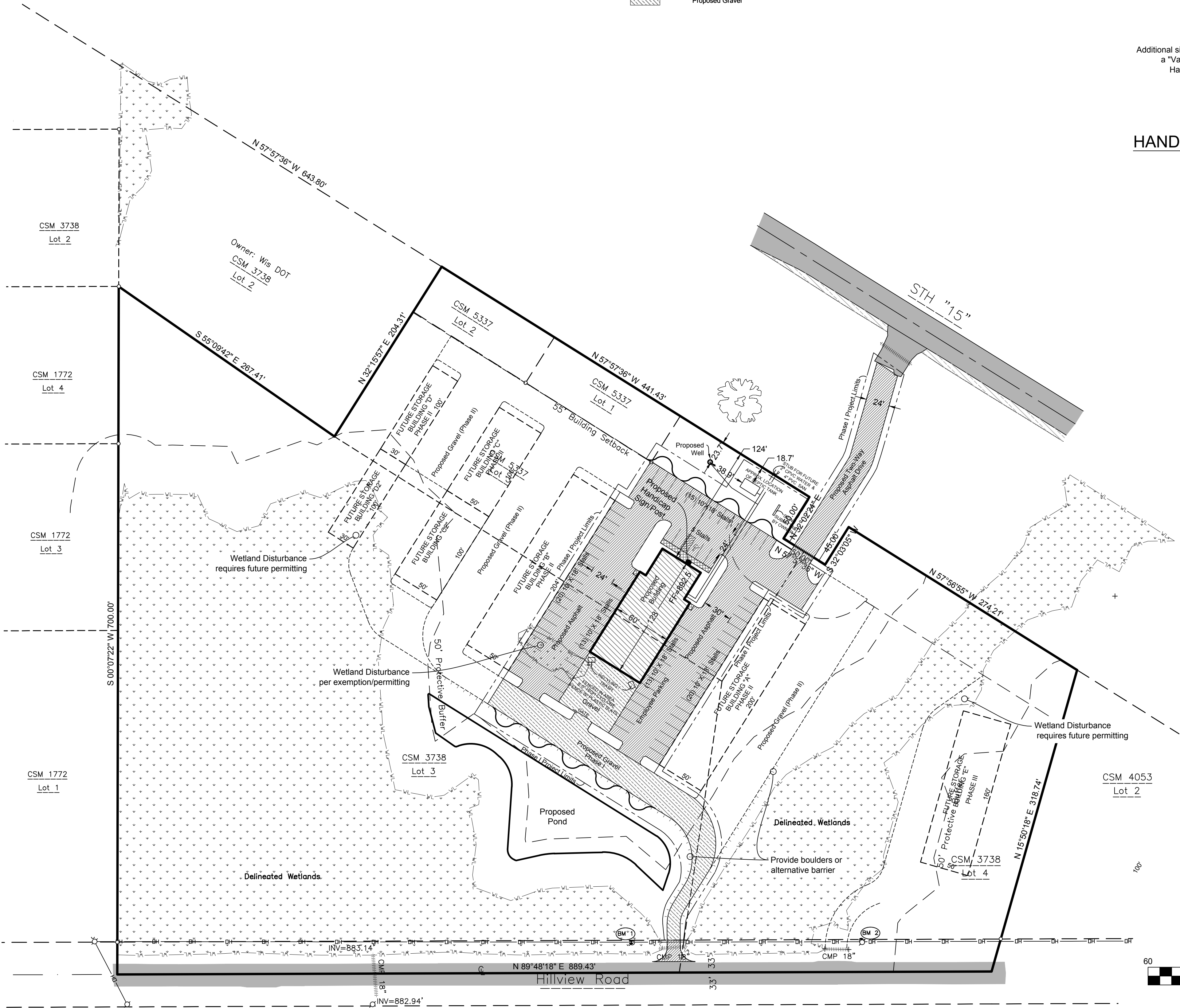
Zoning: GC General Commercial District  
Site is not within airport zoning or buffers

Phase 1 Areas:  
Pavement: 34,578 square feet  
Gravel: 13,475 square feet  
Building: 7,232 square feet  
Green Space: 467,070 square feet  
Total: 522,355 square feet

Total Impervious: 55,285 square feet (10.6%)

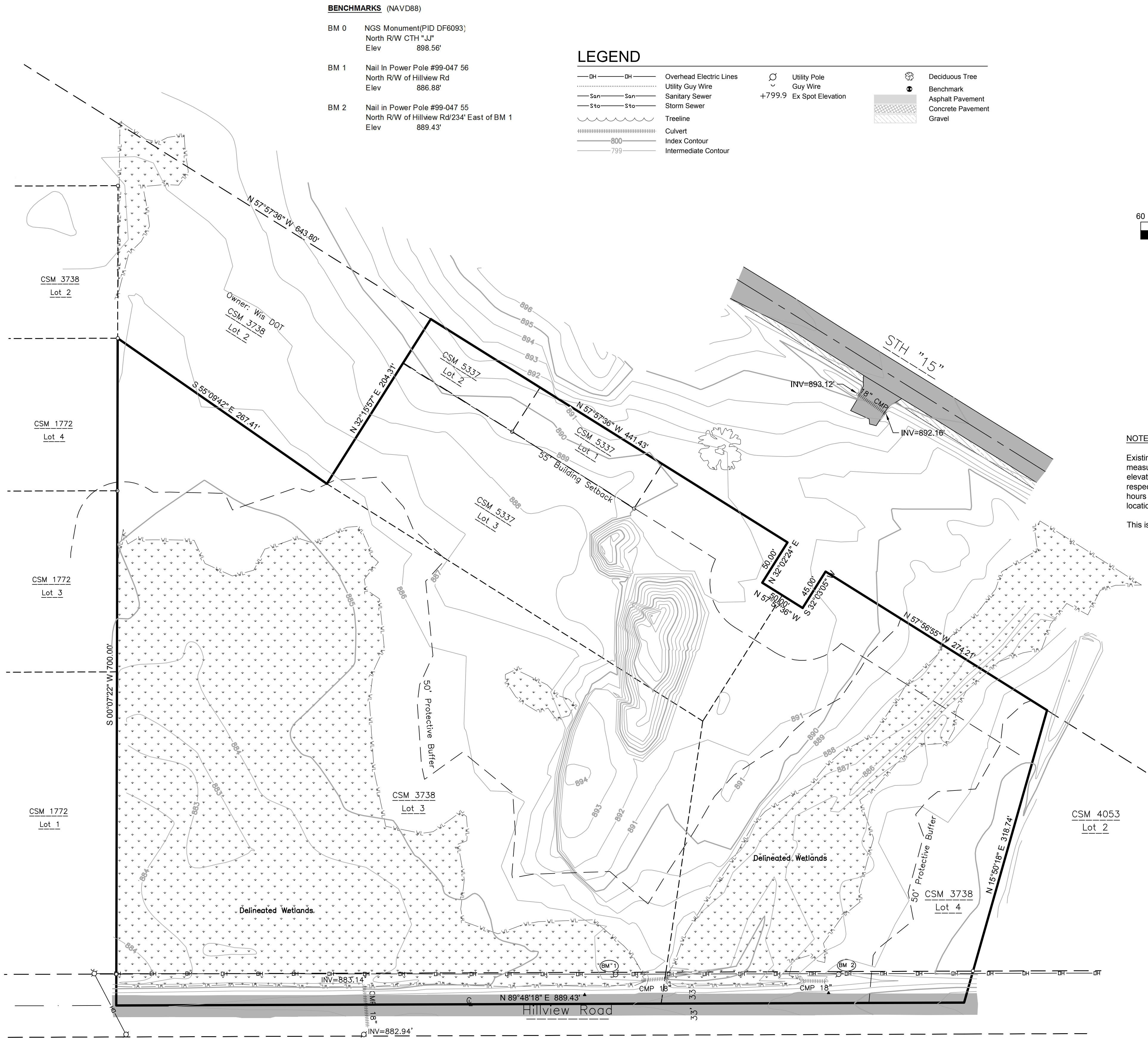
Setbacks:  
Front: Town Road=37'  
County or State Road=55'  
Rear: 25'  
Side: 20'

Notes:  
- Total Parking Stalls: 85 + 1 Handicap  
- Storage of hazardous materials (oil, antifreeze, etc) shall be located within proposed building.



SHEET INDEX:	
Sheet	Page
Site Plan	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Stormwater Pond Details	2.2





**NOTES**

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

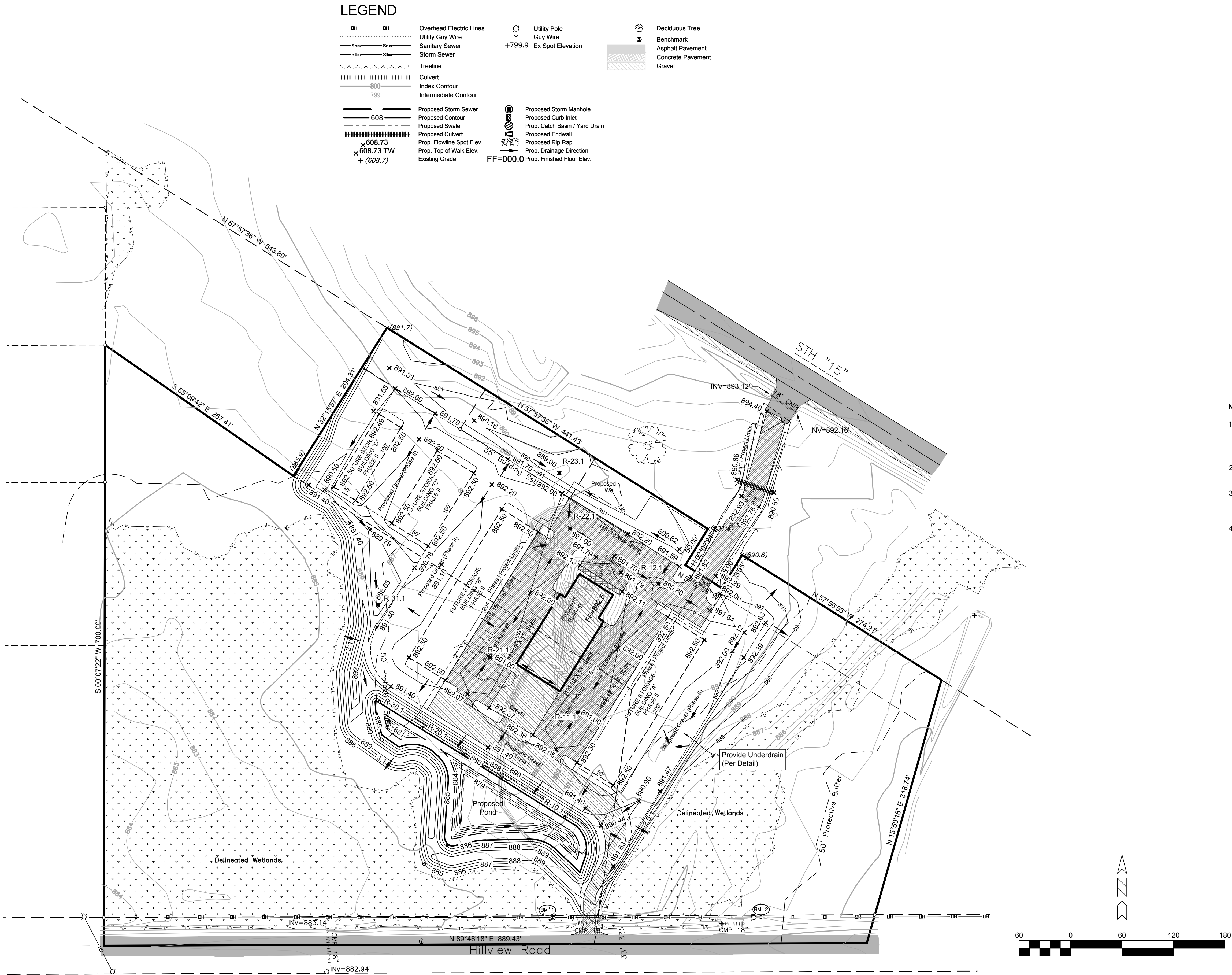
This is not a boundary survey.



**TOPOGRAPHIC SURVEY**

**GREENVILLE AUTO**  
Town of Greenville, Outagamie County, WI  
For: John Korth





LEGEND

— OH — OH —	Overhead Electric Lines	○	Utility Pole	○	Deciduous Tree
— San — San —	Sanitary Sewer	—	Guy Wire	●	Benchmark
— Sto — Sto —	Storm Sewer	+799.9	Ex Spot Elevation	▨	Asphalt Pavement
~~~~~	Treeline			▨	Concrete Pavement
=====	Culvert			▨	Gravel
-----	Index Contour				
-----	Intermediate Contour				
— 608 —	Proposed Storm Sewer	○	Proposed Storm Manhole		
— 608 —	Proposed Contour	○	Proposed Curb Inlet		
— 608 —	Proposed Swale	○	Prop. Catch Basin / Yard Drain		
— 608 —	Proposed Culvert	○	Proposed Endwall		
— 608.73	Prop. Flowline Spot Elev.	○	Proposed Rip Rap		
— 608.73 TW	Prop. Top of Walk Elev.	○	Prop. Drainage Direction		
— 608.73	Existing Grade	○	Prop. Finished Floor Elev.		
— 608.73		○			

BENCHMARKS (NAVD88)

BM 0	NGS Monument (PID DF6093) North R/W CTH "JJ" Elev 898.56'
BM 1	Nail In Power Pole #99-047 56 North R/W of Hillview Rd Elev 886.88'
BM 2	Nail In Power Pole #99-047 55 North R/W of Hillview Rd/234' East of BM 1 Elev 889.43'

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.

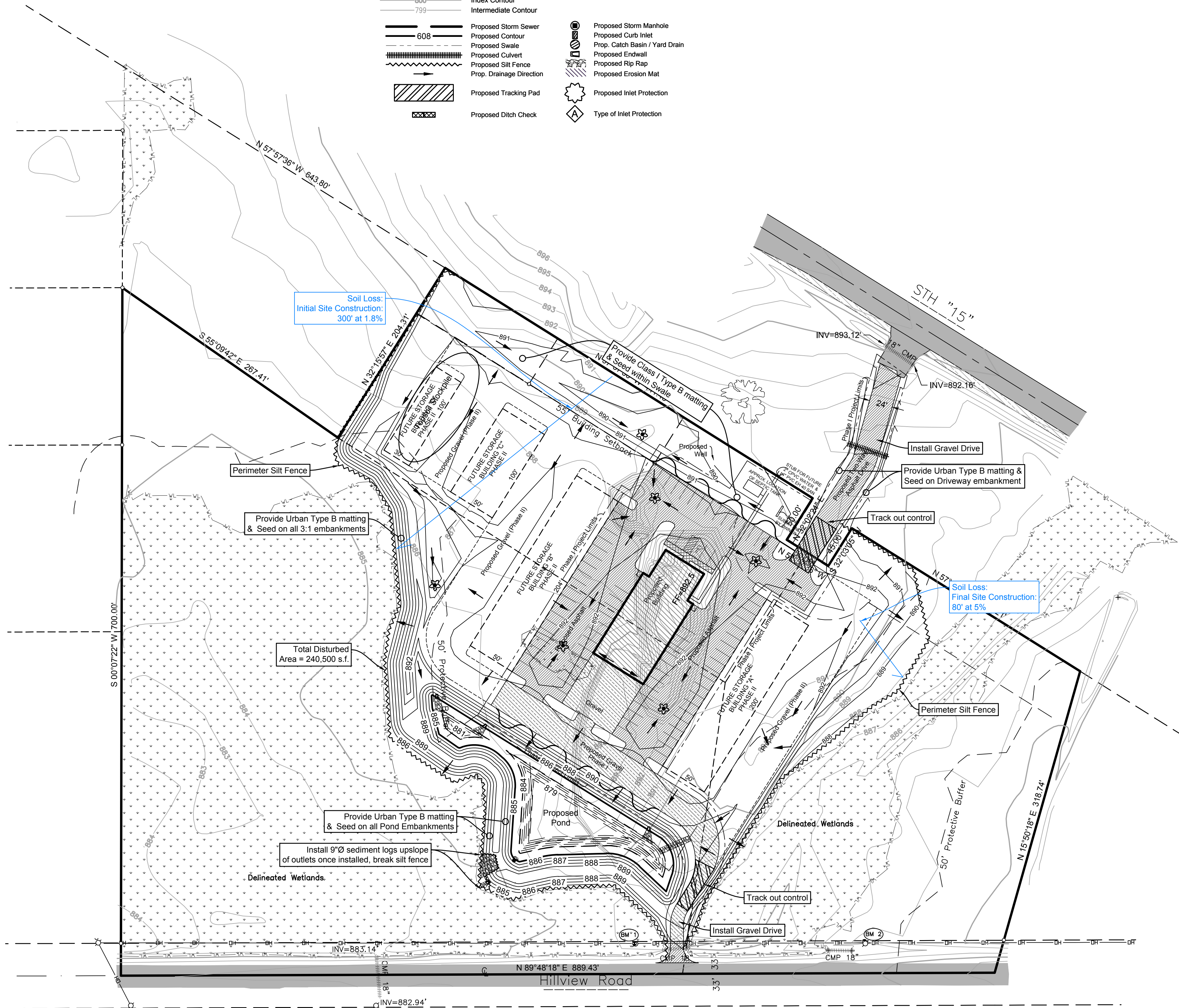
DRAINAGE & GRADING PLAN

Greenville Auto  
Town of Greenville, Outagamie County, WI  
For: John Korth



## LEGEND

—DH—	Overhead Electric Lines	○	Utility Pole	●	Deciduous Tree
---Sun---	Utility Guy Wire	+	Guy Wire	●	Benchmark
---Sew---	Sanitary Sewer	+799.9	Ex Spot Elevation	■	Asphalt Pavement
---Stw---	Storm Sewer			■	Concrete Pavement
~~~~~	Treeline			■	Gravel
=====	Culvert				
800	Index Contour				
799	Intermediate Contour				
608	Proposed Storm Sewer	○	Proposed Storm Manhole		
-----	Proposed Contour	○	Proposed Curb Inlet		
-----	Proposed Swale	○	Prop. Catch Basin / Yard Drain		
-----	Proposed Culvert	○	Proposed Endwall		
-----	Proposed Silt Fence	○	Proposed Rip Rap		
→	Prop. Drainage Direction	○	Proposed Erosion Mat		
▨	Proposed Tracking Pad	○	Proposed Inlet Protection		
XXXX	Proposed Ditch Check	○	Type of Inlet Protection		



## Planned Sediment and Erosion Control Practices

All erosion control practices shall be in place prior to disturbing the site. All sediment and erosion control devices and methods shall be in accordance with DNR Technical Standards and the WisDOT Erosion Control product acceptability lists (PAL). It is the responsibility of the Contractor to minimize the area disturbed and the duration of the disturbance. Erosion & sediment control measures shall be maintained on a continuing basis until the site is permanently stabilized. All applicable controls must be in place at the end of each work day with all off-site sediments being cleaned daily or as necessary as no sediment flushing is allowed.

- 1) Diverting Flow
  - a) Permanent Diversion - Intended to divert runoff around disturbed areas to a location where the water can be discharged without adversely impacting the receiving area or channel. Permanent diversions will be used to route runoff to the storm water pond.
- 2) Overland Flow
  - a) Silt Fence - Intended to provide a temporary barrier to the transportation of sediment offsite. Silt fence also reduces the velocity of sheet flow, thereby reducing the erosion potential of flowing water. Silt fencing is not to be used in areas of channelized flow and sediment deposits shall be removed when a 6 inch depth is reached. The silt fence shall be repaired or replaced as necessary to maintain a barrier. **All Silt Fence shall be installed and maintained in accordance with DNR Technical Standard 1056.** It will be placed at the following locations:
    - i) along the site boundary where runoff will leave the site.
    - ii) and at the toe of soil piles if the pile will remain in place for more than seven (7) days.
  - b) Mulching and Erosion Mat - Intended to reduce the amount of erosion caused by raindrop impact, high overland and concentrated flow velocities and assist the establishment of both temporary and permanent vegetation. **All Erosion Mat shall be installed and maintained in accordance with DNR Technical Standards 1052 and 1053 and all Mulching with DNR Technical Standard 1058.** In addition to mulching, Erosion Mat is required per plan and if field conditions warrant.
  - c) Seeding - Intended to provide a reduction of overland flow velocities and stabilize disturbed areas. Seeding will be used on all disturbed areas within seven days of the completion of the activity that will disturb the area. **All seeding shall be in accordance with DNR Technical Standard 1059.** Seed mixture 40 (per WisDOT Specifications, Section 630) shall be applied at 5 pounds per 1000 square feet for permanent seeding prior to September 15<sup>th</sup>. If required, temporary seeding shall consist of Oats, Rye, Winter Wheat, and/or Annual Ryegrass applied at rates and during the season specified by the Technical Standard but no later than November 1<sup>st</sup>. Sod placement may occur at any time sod is available and the sod and soil are not frozen.
- 3) Permanent Channel Stabilization
  - a) Armored Waterway - Intended to establish a non-erosive lining in the channel to prevent erosion. This can be accomplished using riprap. All areas immediately downstream storm discharges will be stabilized using riprap per plan.
  - b) Vegetated Waterway - Intended to establish permanent vegetation to reduce the velocity of concentrated runoff thereby protecting the waterway from erosion. The type of erosion mat used will depend upon the velocity of the runoff in the channel and are specified in accordance with DOT Erosion Control Product Acceptability Lists (PAL). Vegetated waterways will be used in the following areas:
    - i) drainage swales as indicated on the plans;
- 4) Inlet Protection Barriers - Intended to prevent the sedimentation of storm water conveyance structures. **All Inlet Protection Barriers shall be installed and maintained in accordance with DNR Technical Standard 1060.** As required, inlet protection barriers will be used at all storm sewer inlets as indicated on the plans. All storm sewer inlet protection shall be Type A. Upon installation of aggregate sub-base the storm catch basins shall be modified to Type B.
- 5) Tracking Out Control - Intended to reduce the amount of sediment transported onto public roads. **The Tracking Pad shall be installed and maintained in accordance with DNR Technical Standard 1057.** A stone tracking pad will be constructed at the site entrance as indicated on the plan.
- 6) Dust Control - Intended to reduce surface to air transport of dust during construction. **Dust control shall be implemented with use of methods provided in DNR Technical Standard 1068.** These methods include the use of polymers, seeding, and mulch.
- 7) Dewatering BMP - Intended to reduce the amount of sediment conveyed due to dewatering practices. **Dewatering practices require compliance with DNR Technical Standard 1061.** The use of geotextile bags is required to prevent sedimentation with a stable discharge to the storm water pond or upland area (if pumping is required for stormwater pond construction). The bags shall meet the requirements of Technical Standard 1061. Upon completion of the dewatering operation, all materials must be disposed of properly in accordance with all state and local requirements.
- 8) Waste Material - All onsite waste and construction materials shall be handled and disposed of properly. No pavement material, runoff from concrete washout, or other waste material is allowed to enter the storm sewer system or receiving waters.

## Sequence of Construction

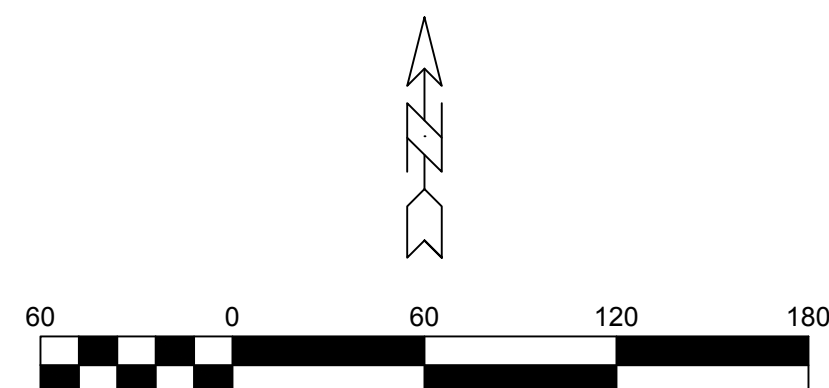
- 1) Obtain plan approval and other applicable permits
- 2) Install & maintain all sediment control measures: April 2019
- 3) Strip topsoil in the area of the stormwater pond and stockpile required reuse onsite. Construct stormwater pond: April 2019
- 4) Site Work Construction (grade and gravel) including phase 2 areas for stabilization: April - May 2019
- 5) Stabilize lawn and ditch areas no later than one week after final grade is established, the entire site shall be stabilized by the end of June with vegetation established prior to the end of 2019 growing season. Install temporary stabilization in areas receiving additional landscaping after building construction.
- 6) Construct Phase 1 Building: June - August 2019
- 7) Paving: September 2019

## Maintenance Plan

The contractor is responsible for inspection and maintenance of sediment and erosion control measures until the project is completed. The inspections shall be made every seven days or within 24-hours of a rainfall event of 0.50-inch or greater. Any practices that are damaged or not working properly shall be repaired by the end of the day. Accumulated sediment shall be removed when it has reached a height of one-half the height of the structure. In addition, the following measures shall be taken:

- 1) All seeded areas will be re-seeded and mulched as necessary according to the specifications in the planned practices to maintain a vigorous, dense vegetated cover.
- 2) Remove silt fence and temporary structures only after final stabilization and vegetative cover is established.
- 3) Avoid the use of fertilizers and pesticides in or adjacent to channels or ditches.
- 4) Construction and waste materials shall be properly disposed.

Weekly inspection reports shall be maintained by the contractor. These reports shall document inspections and maintenance performed. The date and time of the inspections, the inspector's name, and the status of construction and any maintenance performed. Refer to the DNR website for a template: <http://dnr.wi.gov/runoff/stormwater/consforms.htm#forms>. Upon request, the inspection reports shall be made available to the owner, the engineer, the Wisconsin Department of Natural Resources, or the Town of Greenville.





LEGEND

- OH

OH

Overhead Electric Lines

San

San

Sanitary Sewer

Sta

Sta

Storm Sewer

Treeline

Culvert

Index Contour

Intermediate Contour

Proposed Storm Sewer

Proposed Sanitary Sewer

Proposed Water Main

Proposed Contour

Proposed Swale

Proposed Culvert

Utility Pole

Guy Wire

Ex Spot Elevation

Proposed Sanitary Manhole

Proposed Storm Manhole

Proposed Curb Inlet

Prop. Catch Basin / Yard Drain

Proposed Endwall

Deciduous Tree

Benchmark

Asphalt Pavement

Concrete Pavement

Gravel

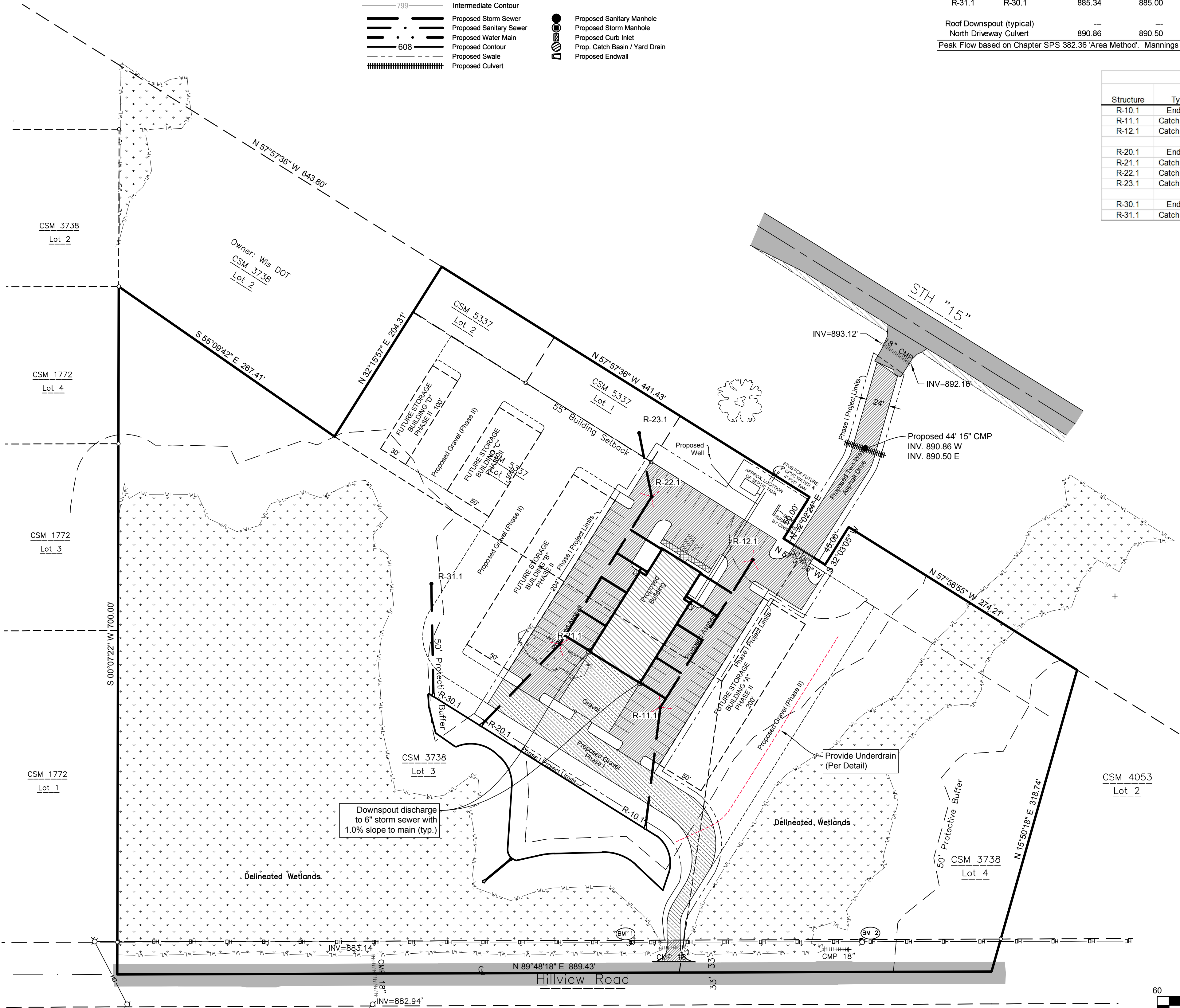
STORM SEWER PIPE SUMMARY

Reach		US Inv		DS Inv		Length	Slope	Size	GRASS	ROOF	PAVEMENT	PEAK FLOW	Flow*	Capacity	Velocity
US	DS							(in)	AREA (SF)	AREA (SF)	AREA (SF)	GPM	(cfs)	(cfs)	(ft/s)
R-11.1	R-10.1	885.37	885.00	885.00	885.47	124	0.0030	15	0	5,650	11,770	1,123	2.50	3.83	3.1
R-12.1	R-11.1	886.00	885.47			177	0.0030	12	500	3,330	13,346	544	1.21	2.11	2.7
R-21.1	R-20.1	885.35	885.00			115	0.0030	18	0	5,650	11,770	2,124	4.73	6.23	3.5
R-22.1	R-21.1	886.43	885.90			177	0.0030	15	0	3,366	9,839	1,545	3.44	3.83	3.1
R-23.1	R-22.1	885.80	885.47			66	0.0050	12	81,810	0	10,600	1,113	2.48	2.73	3.5
R-31.1	R-30.1	885.34	885.00			114	0.0030	15	6,637	24,200	7,063	1,212	2.70	3.83	3.1
Roof Downspout (typical)						Varies	0.0100	6	0	561	0	22	0.05	0.61	3.1
North Driveway Culvert		890.86	890.50			44	0.0081	15	14,200	0	0	137	0.30	6.30	5.1

Peak Flow based on Chapter SPS 382.36 "Area Method". Mannings 'n' value for pipe capacity computations equals 0.012.

STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade Rim	Pipe Invert	Pipe Town Required Depth
R-10.1	Endwall				885.00	
R-11.1	Catch Basin	36" ID	R-1550 (open)	891.00	885.37	5.63
R-12.1	Catch Basin	36" ID	R-1550 (open)	890.80	886.00	4.80
R-20.1	Endwall				885.00	
R-21.1	Catch Basin	36" ID	R-1550 (open)	891.00	885.35	5.65
R-22.1	Catch Basin	36" ID	R-1550 (open)	891.00	886.43	4.57
R-23.1	Catch Basin	36" ID	R-1550 (open)	889.00	885.80	3.20
R-30.1	Endwall				885.00	
R-31.1	Catch Basin	36" ID	R-1550 (open)	888.65	885.34	3.31



Sewer shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

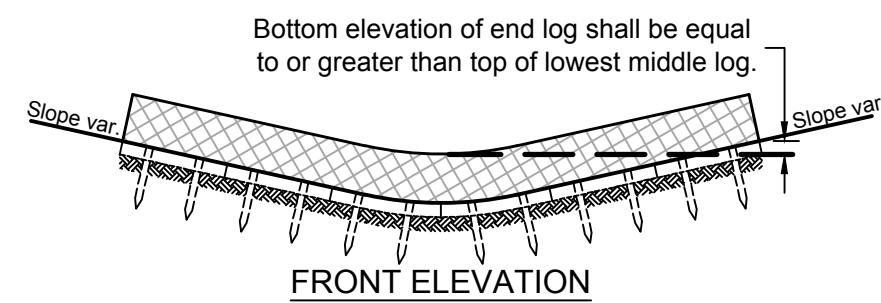
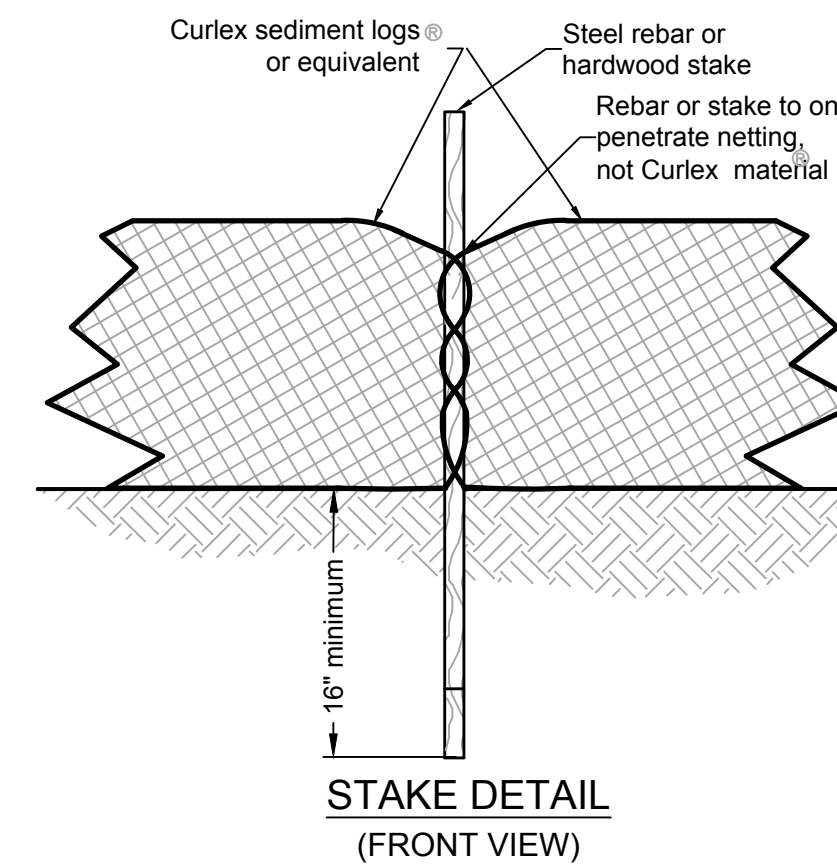
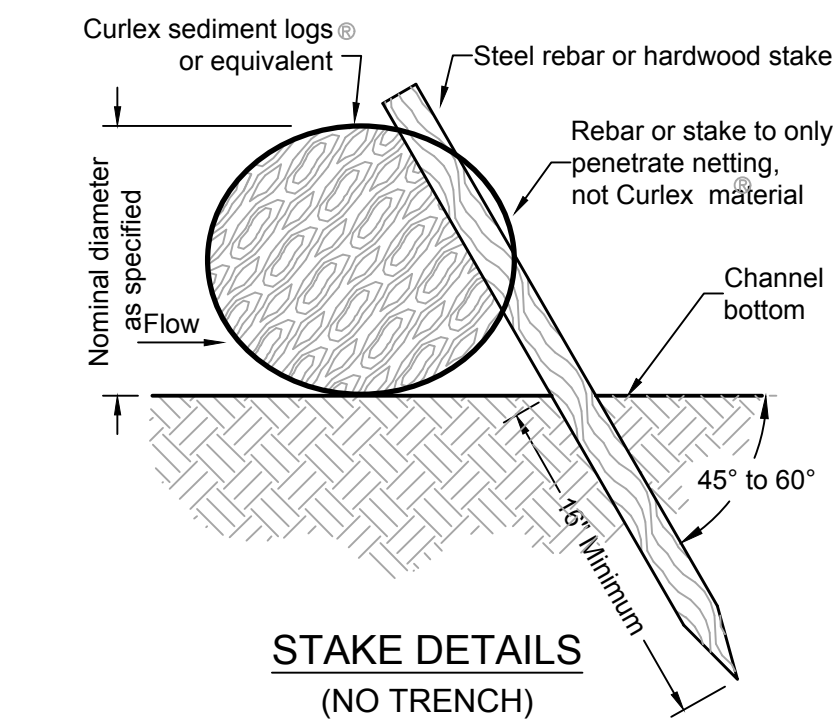
The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

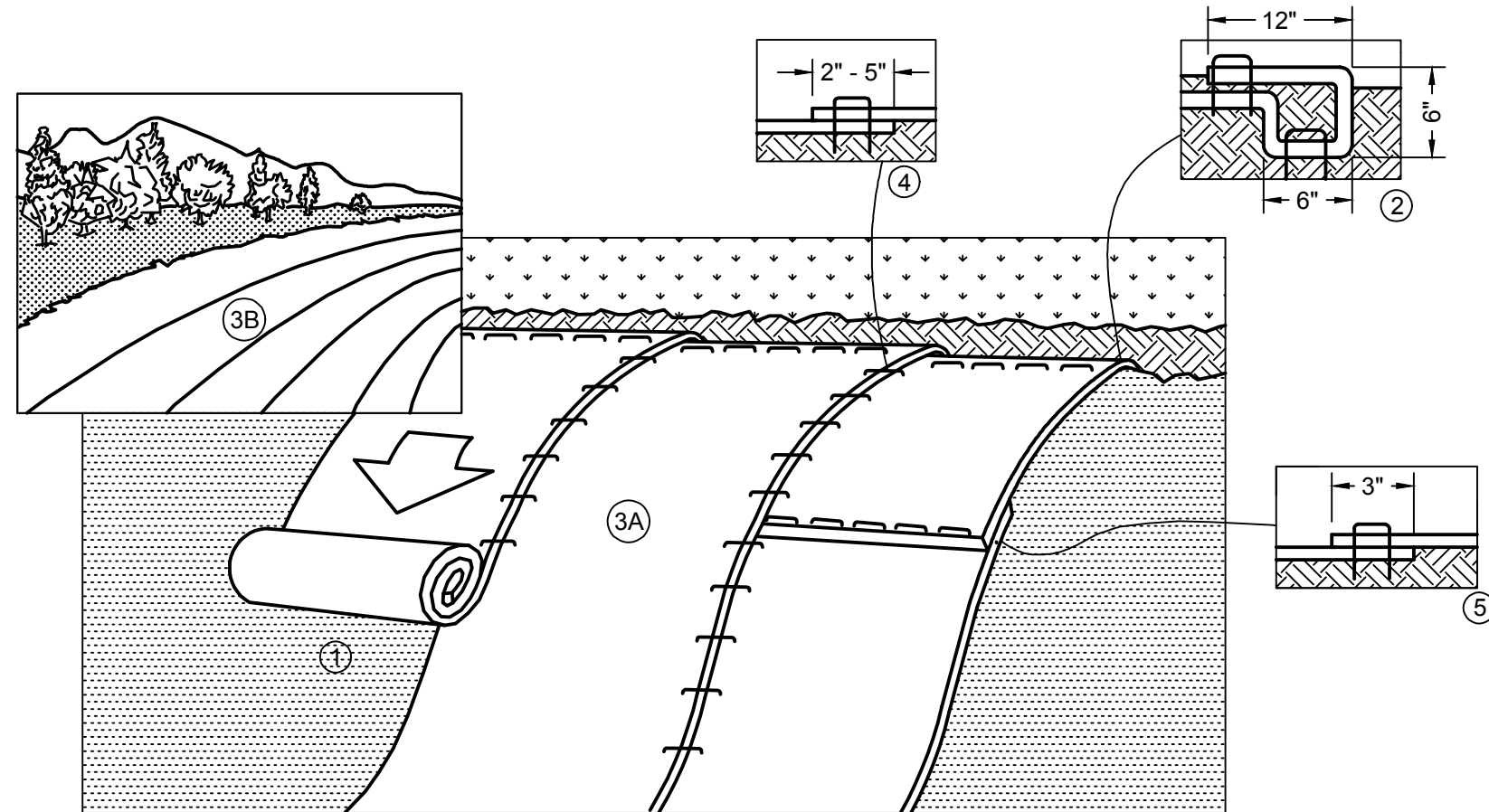
Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.





**NOTE:**  
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

### SEDIMENT LOG DETAIL



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.

3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.

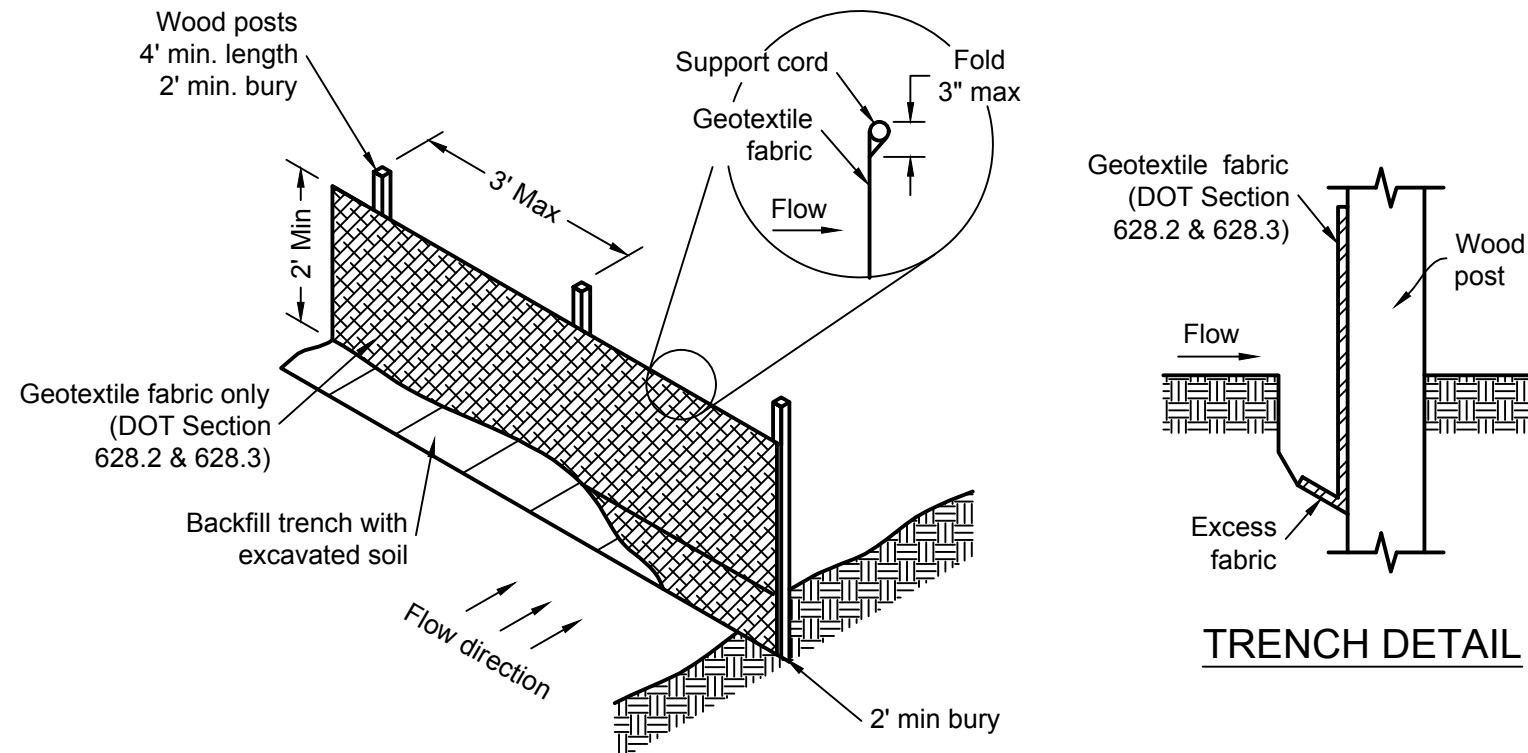
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type. 5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.

Note: \* In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.

6. Detail provided by North American Green (www.nagreen.com)

7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

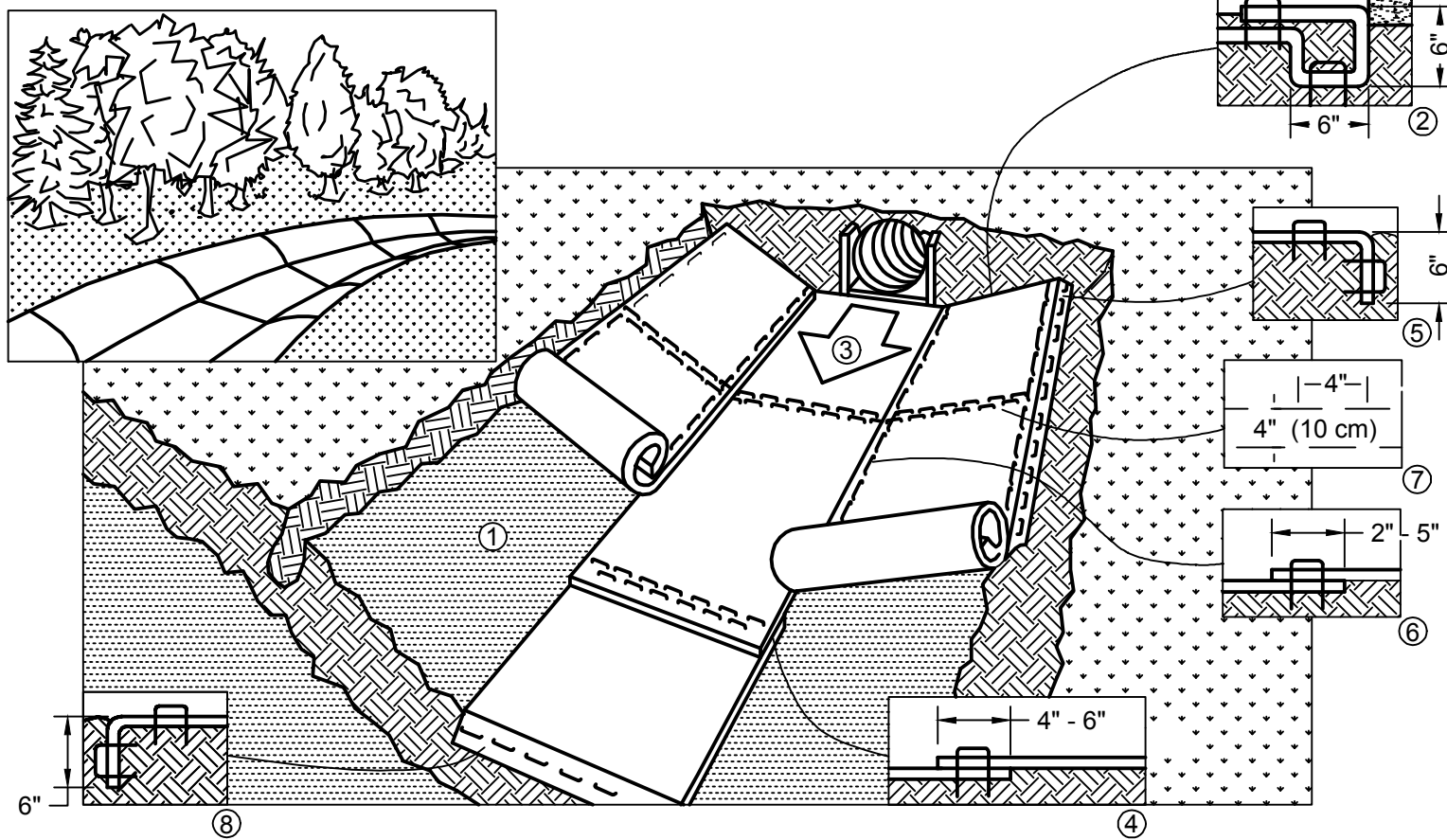
### EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



#### Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

### SILT FENCE INSTALLATION



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.

3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.

4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.

5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.

6. Adjacent RECP's must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.

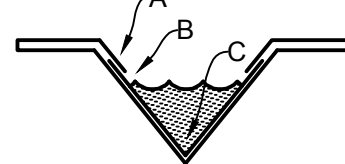
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.

8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.

Note:

- \* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

9. Detail provided by North American Green (www.nagreen.com)



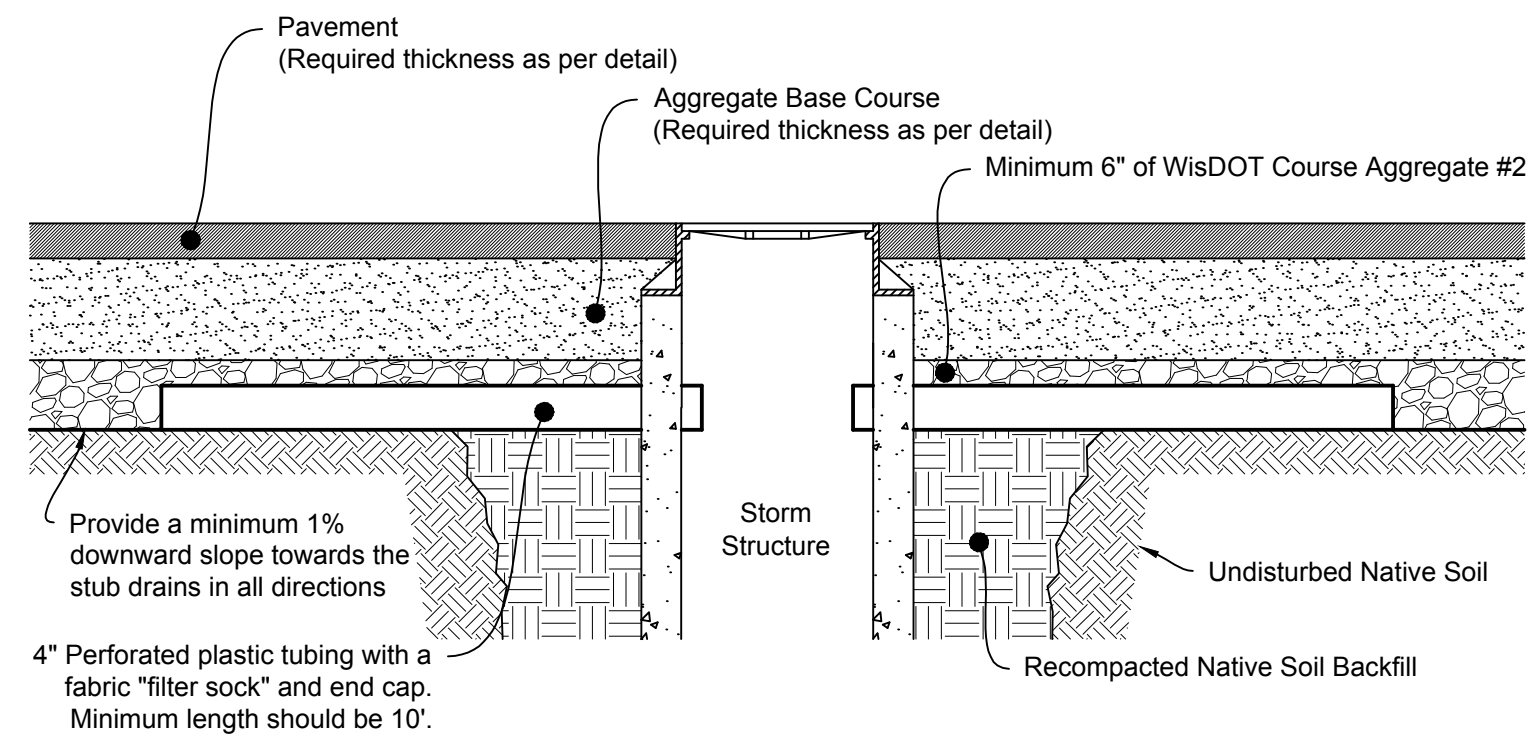
Critical Points  
A. Overlaps and seams  
B. Projected Water line  
C. Channel Bottom/side slope vertices

Note:

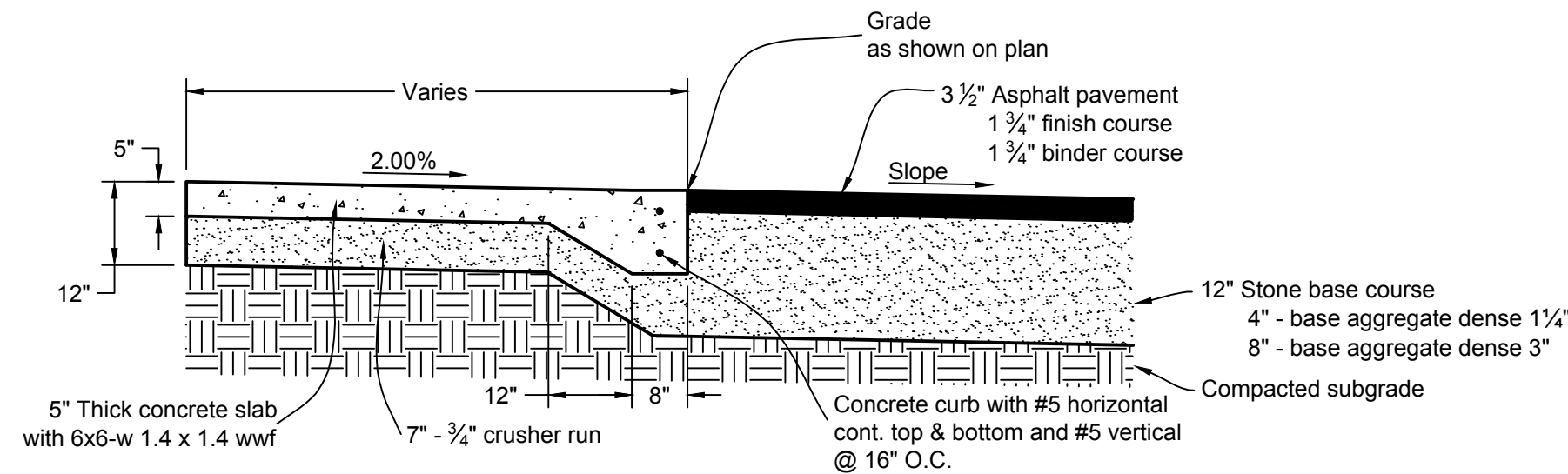
- \* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

\*\* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

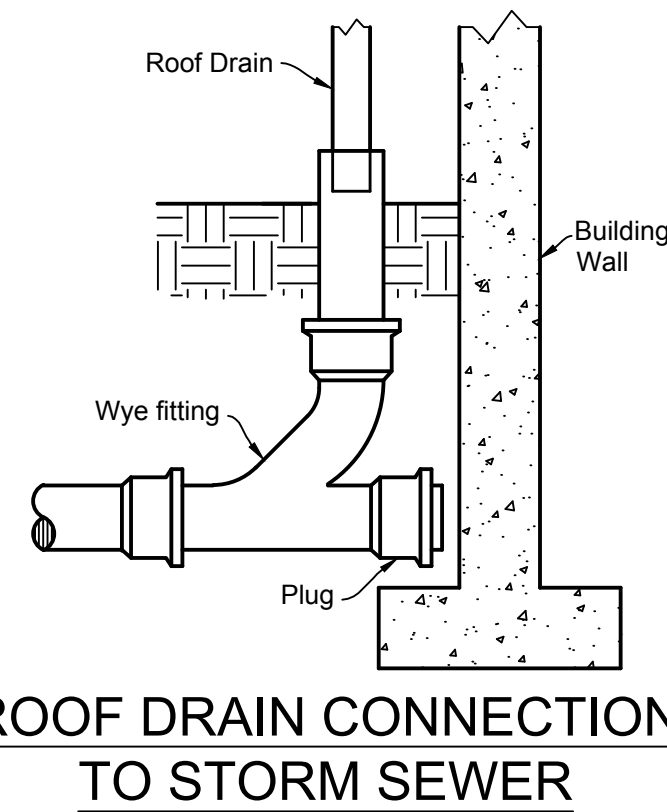
### EROSION MAT CHANNEL INSTALLATION



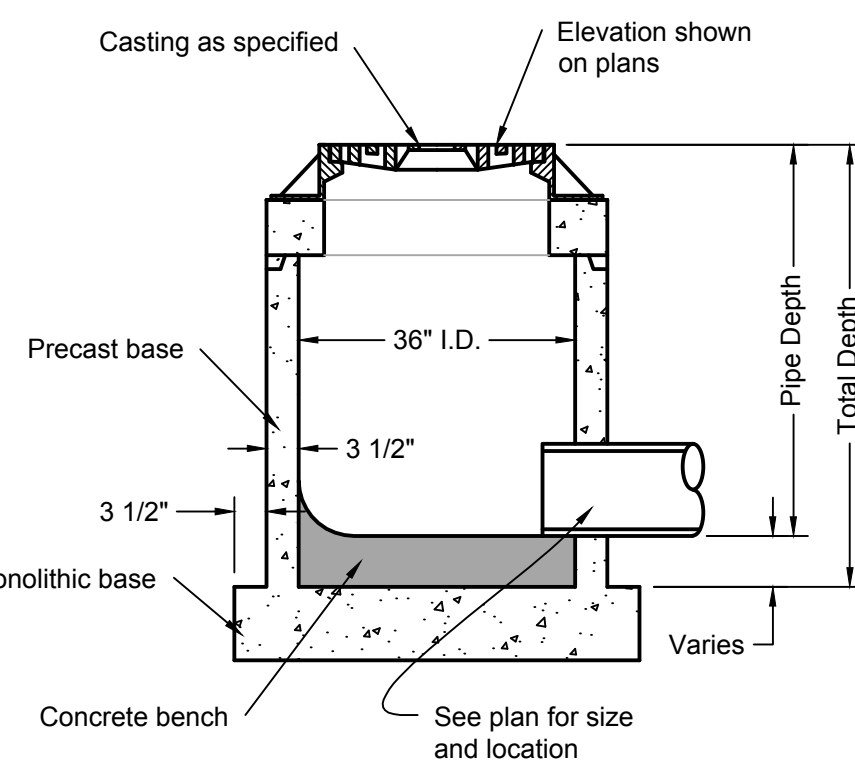
### STORM SEWER UNDERDRAIN



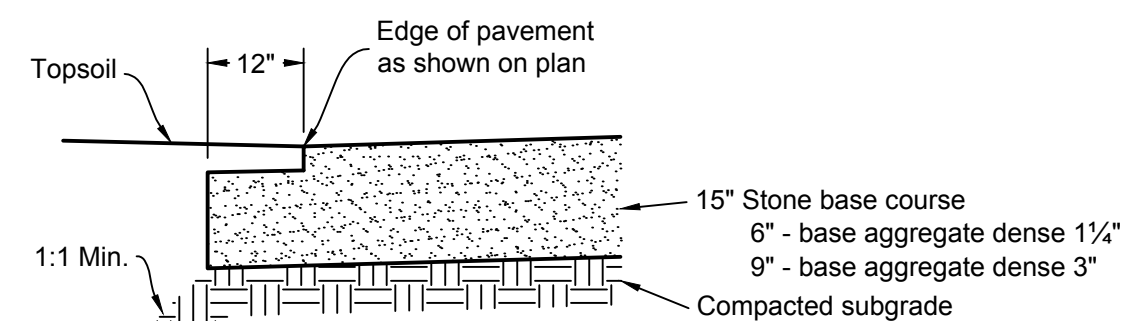
### SIDEWALK / PAVEMENT SECTION



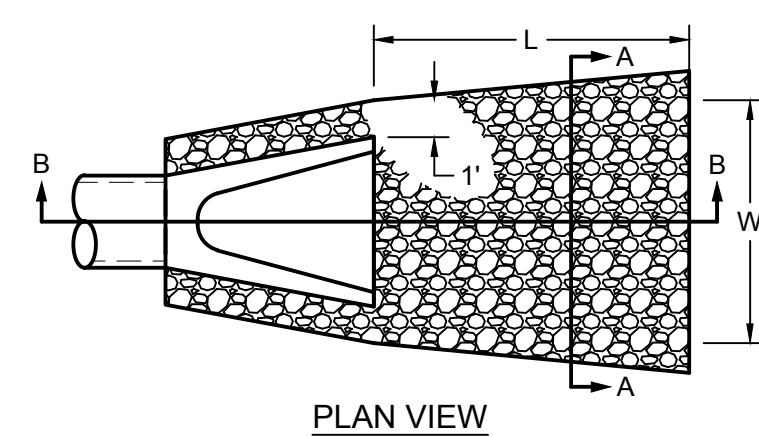
### ROOF DRAIN CONNECTION TO STORM SEWER



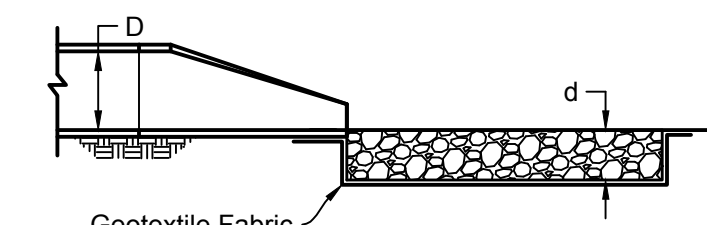
### Storm Catch Basin



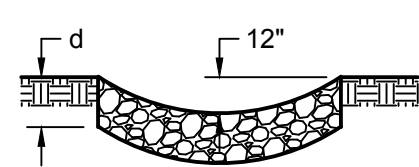
### GRAVEL DRIVE SECTION



PLAN VIEW



SECTION B-B



SECTION A-A

D	12"	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"
L	10'	12'	18'	20'	20'	25'	28'	33'	37'	40'	45'
W	11"	13"	20"	22"	24"	28"	32"	38"	42"	45"	50"
d	12"	12"	12"	18"	18"	18"	24"	24"	24"	24"	24"
Riprap	Light	Light	Light	Med.	Med.	Med.	Heavy	Heavy	Heavy	Heavy	Heavy
cu yds	2.6	3.6	7.8	14.3	15.6	22.6	38.4	53.2	65.8	76.3	95.0

Notes:

1. Excavate below channel outlet and widen channel outlet to the required riprap thickness for each apron. Foundation to be set to zero grade and smoothed.
2. Place geotextile fabric on bottom and sides of prepared foundation. Fabric shall extend under endwall in accordance with DOT specifications. (DOT Section 628.2 & 628.3)
3. Exercise care in placement of riprap to avoid damage to filter fabric.
4. Use riprap conforming to Wisconsin DOT specifications. (DOT Section 606.2 & 606.3)
5. Use DOT Type R geotextile fabric for light riprap. Use Type HR for medium and heavy riprap. (DOT Section 606.2, 606.3, 628.2 & 628.3)
6. Use 12" dimension for pipes less than 12" in diameter.

### OUTLET PROTECTION

## CONSTRUCTION DETAILS

**Greenville Auto**  
Town of Greenville, Outagamie County, WI  
For: John Korth

Date: 02/22/2019

Filename: 5392engr.dwg

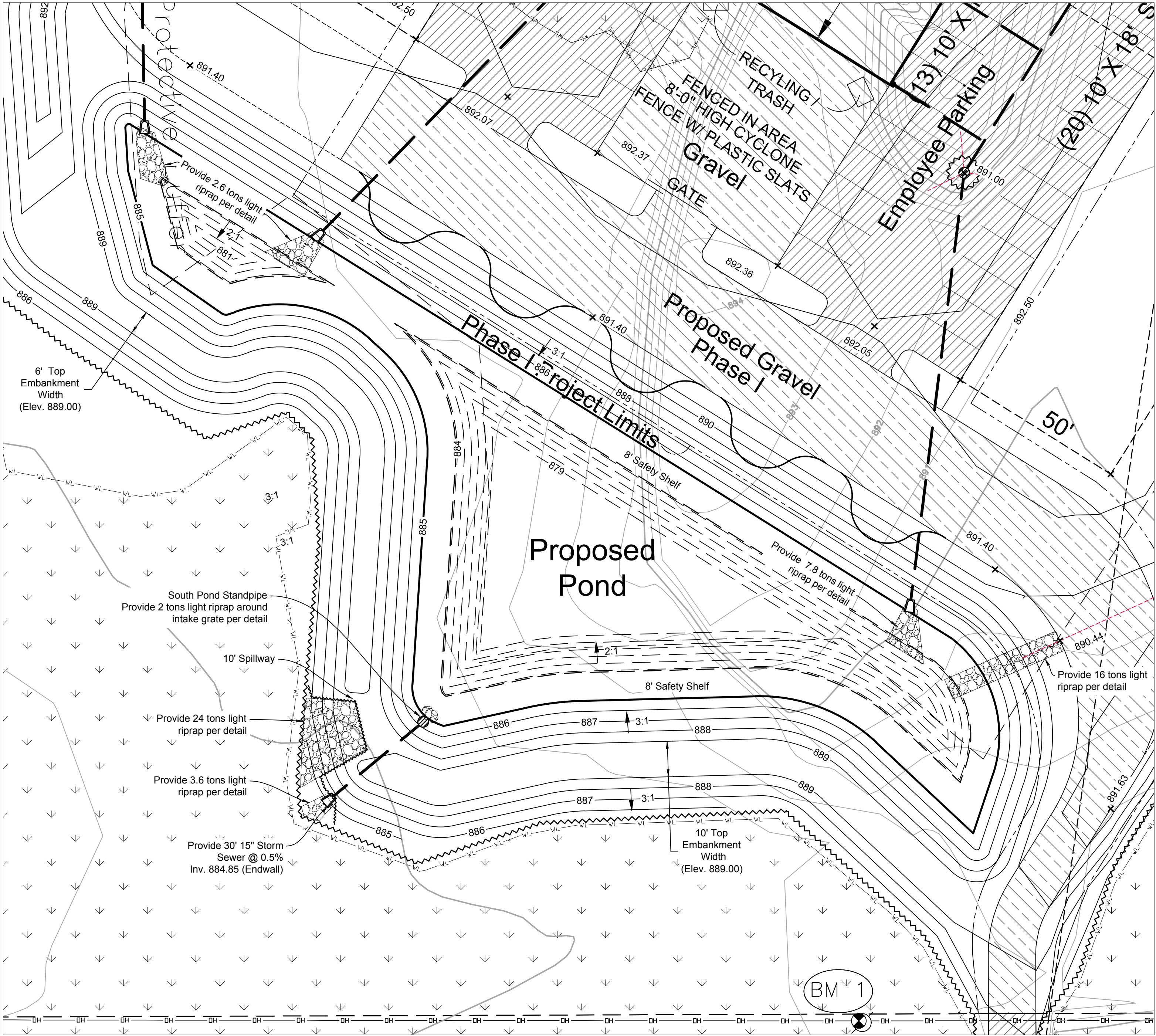
Author: JRD

Last Saved by: tim

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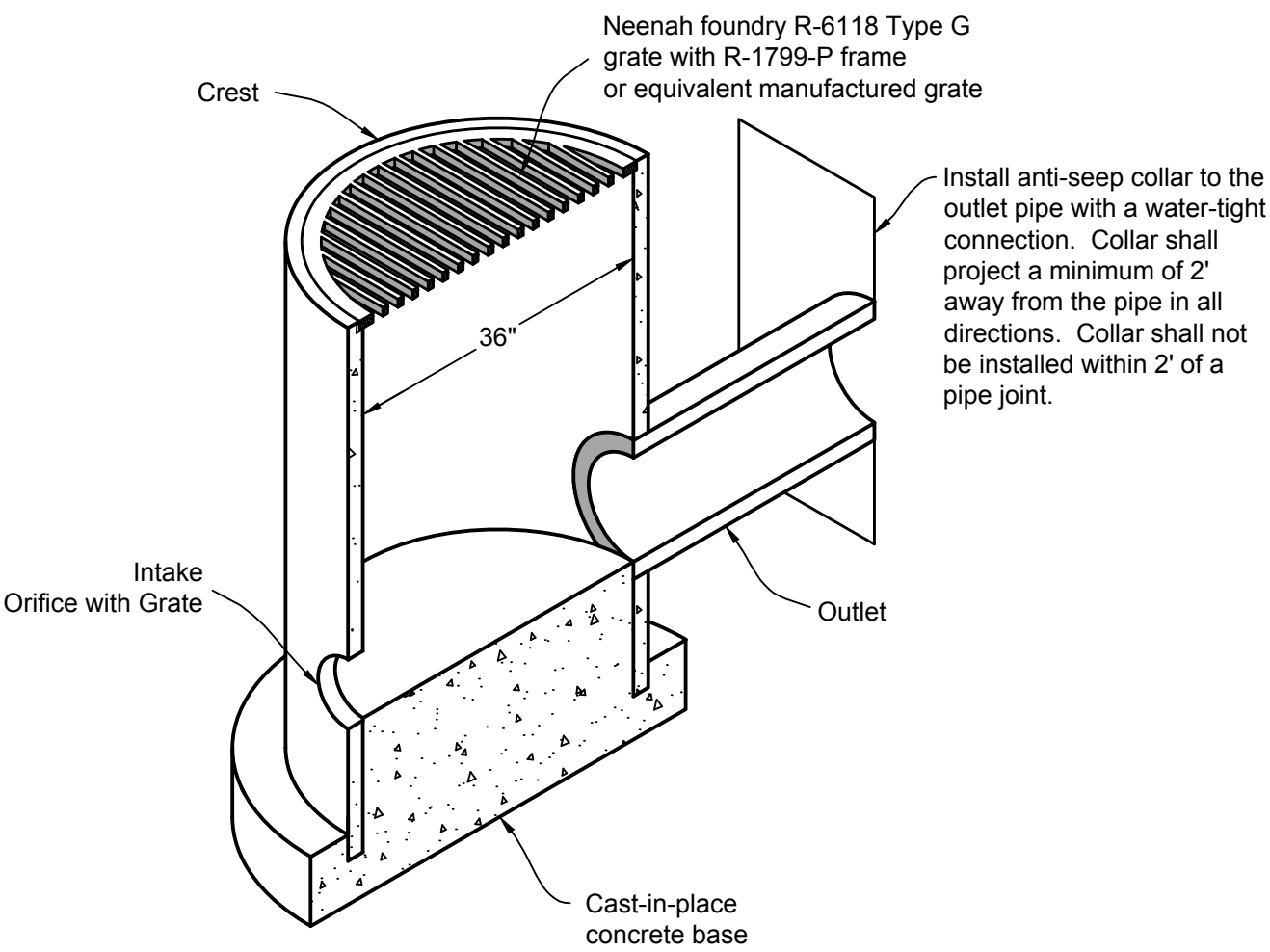
2.1





LEGEND

—DH—DH—	Overhead Electric Lines	⊙	Utility Pole	⊙	Deciduous Tree
—San—San—	Utility Guy Wire	⊙	Guy Wire	⊙	Benchmark
—Sew—Sew—	Sanitary Sewer	+799.9	Ex Spot Elevation	⊙	Asphalt Pavement
—Sew—Sew—	Storm Sewer			⊙	Concrete Pavement
~~~~~	Treeline			⊙	Gravel
=====	Culvert				
—800—	Index Contour				
—799—	Intermediate Contour				
—608—	Proposed Storm Sewer	⊙	Proposed Storm Manhole		
—608—	Proposed Contour	⊙	Proposed Curb Inlet		
—608—	Proposed Swale	⊙	Prop. Catch Basin / Yard Drain		
—608—	Proposed Culvert	⊙	Prop. Drainage Direction		
—608.73	Prop. Flowline Spot Elev.	⊙	Prop. Finished Floor Elev.		
×608.73 TW	Prop. Top of Walk Elev.				
+ (608.7)	Existing Grade				

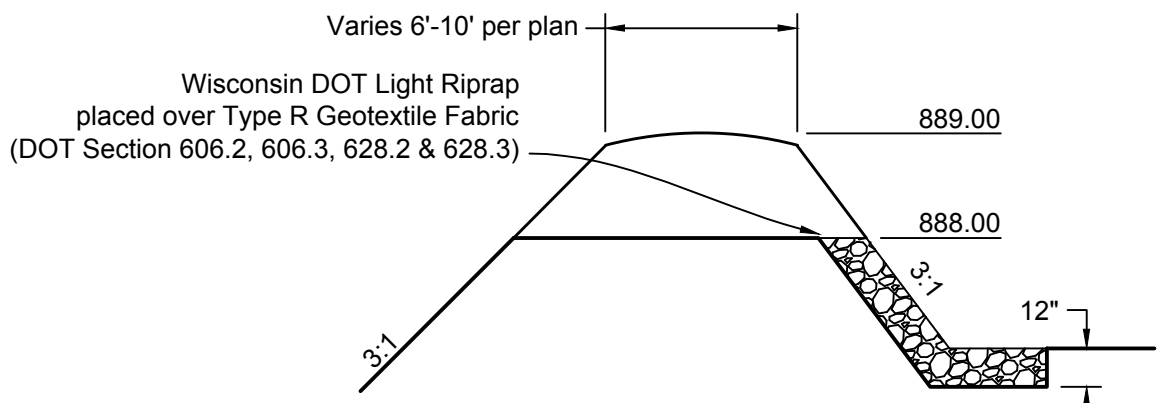


SOUTH POND STAND PIPE DETAIL

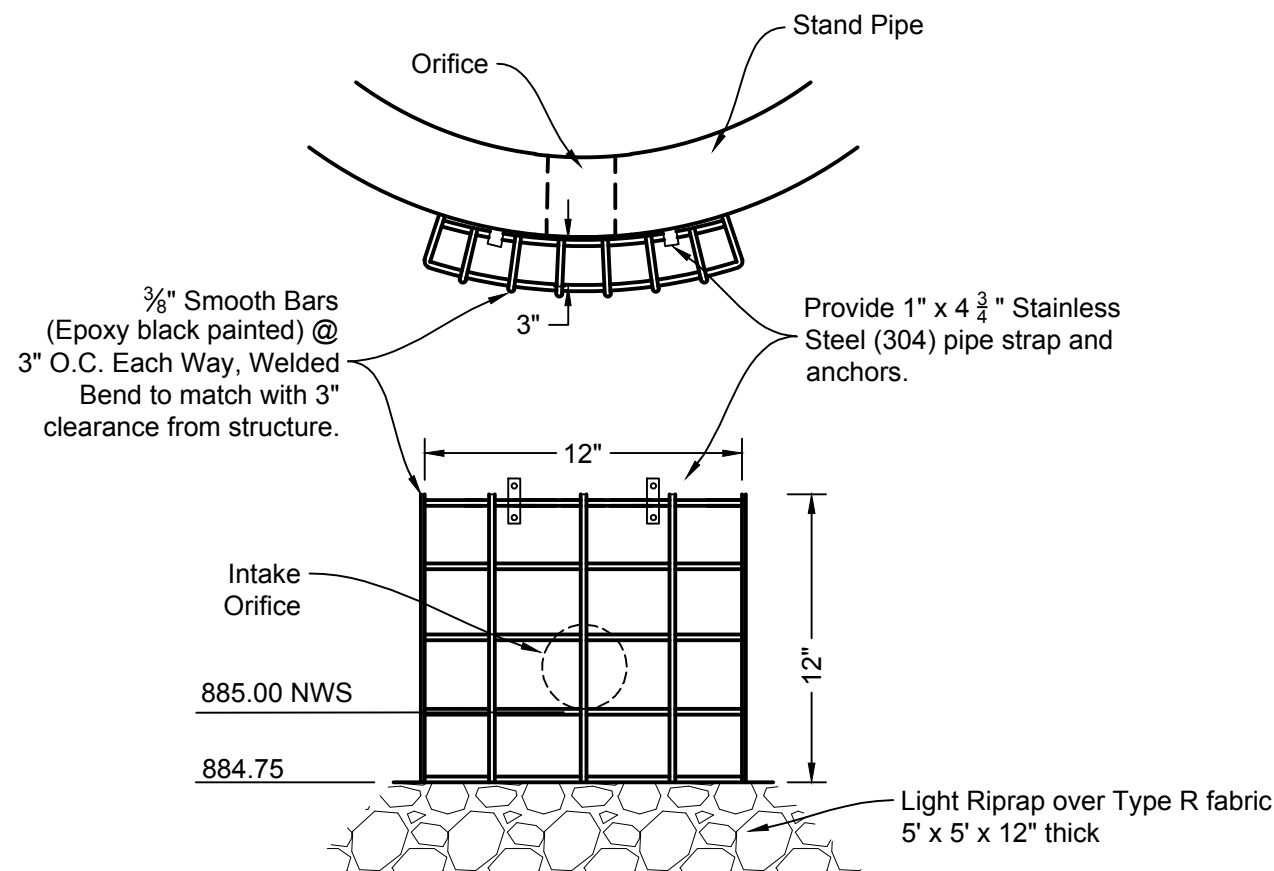
Outlet	
Size, in	15
Invert	885.00
Slope (%)	0.50
Intake orifice	
Size, in	4
Invert	885.00
Crest	
Elevation	886.50
Base	
Elevation	882.00

Pond Notes:

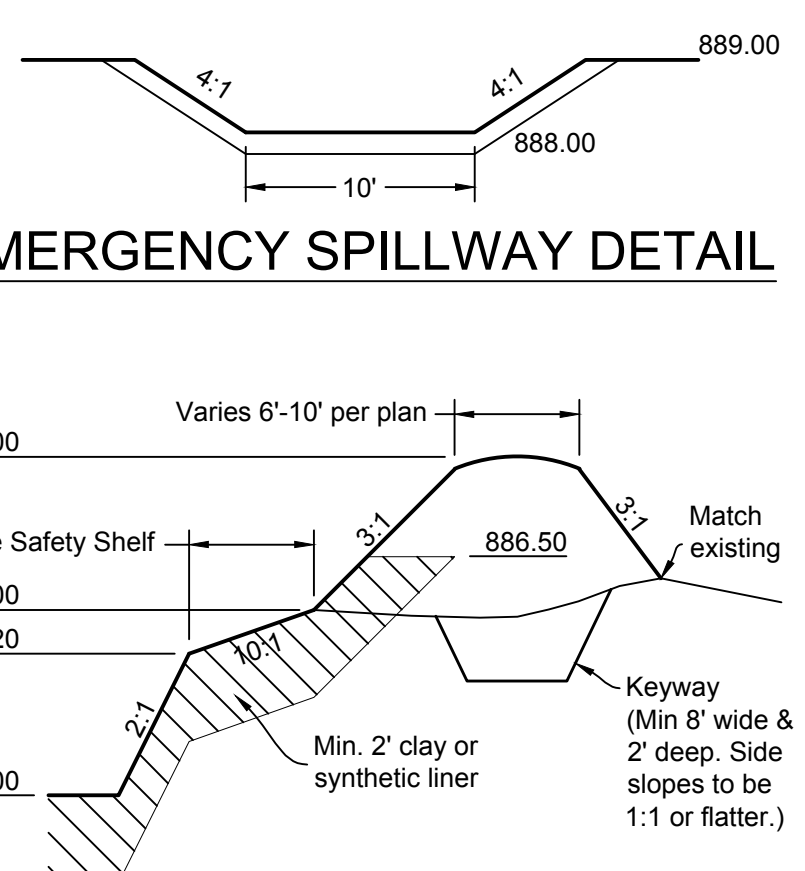
- The base of the embankment shall be stripped of all vegetation, stumps, topsoil and other matter. Stripping shall be to a minimum of 6 inches. Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 5% to account for settling.
- All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or flatter.
- Topsoil shall be spread on all disturbed areas, except for elevations below the safety shelf, as work is completed. The minimum depth of topsoil shall be 4 inches.
- All areas disturbed by pond construction shall be seeded as work is completed. Pond side slopes above permanent pool shall be temporarily seeded with annual rye or oats immediately after pond is "roughed in." This will require topsoil application. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction. DOT Class I, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
- Riprap at all inflow points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 606.2 & 606.3)
- Any rock encountered shall be excavated to a depth two feet deeper than the proposed pond grade.
- The pond shall be constructed with a Type B Liner with the following WDNR specifications (Wet Detention Pond Technical Standard 1001). Liners include; Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria. Clay liners specifications are as follows:
  - 50% fines (200 sieve) or more.
  - Hydraulic conductivity of 1 x 10-6 cm/sec or less.
  - Average liquid limit of 16 or greater, with no value less than 14.
  - Average PI of 7 or more, with no values less than 5.
  - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
  - Minimum thickness of 2 feet.If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1 x 10-6 cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements. HDPE liner specifications are as follows:
  - Minimum thickness of 40 mils.
  - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
  - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.PPL liner Specifications are as follows:
  - Minimum thickness of 30 mils.
  - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
  - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.



EMERGENCY SPILLWAY SECTION



INTAKE GRATE DETAIL



TYPICAL EMBANKMENT SECTION

STORMWATER POND DETAIL

Greenville Auto  
Town of Greenville, Outagamie County, WI  
For: John Korth

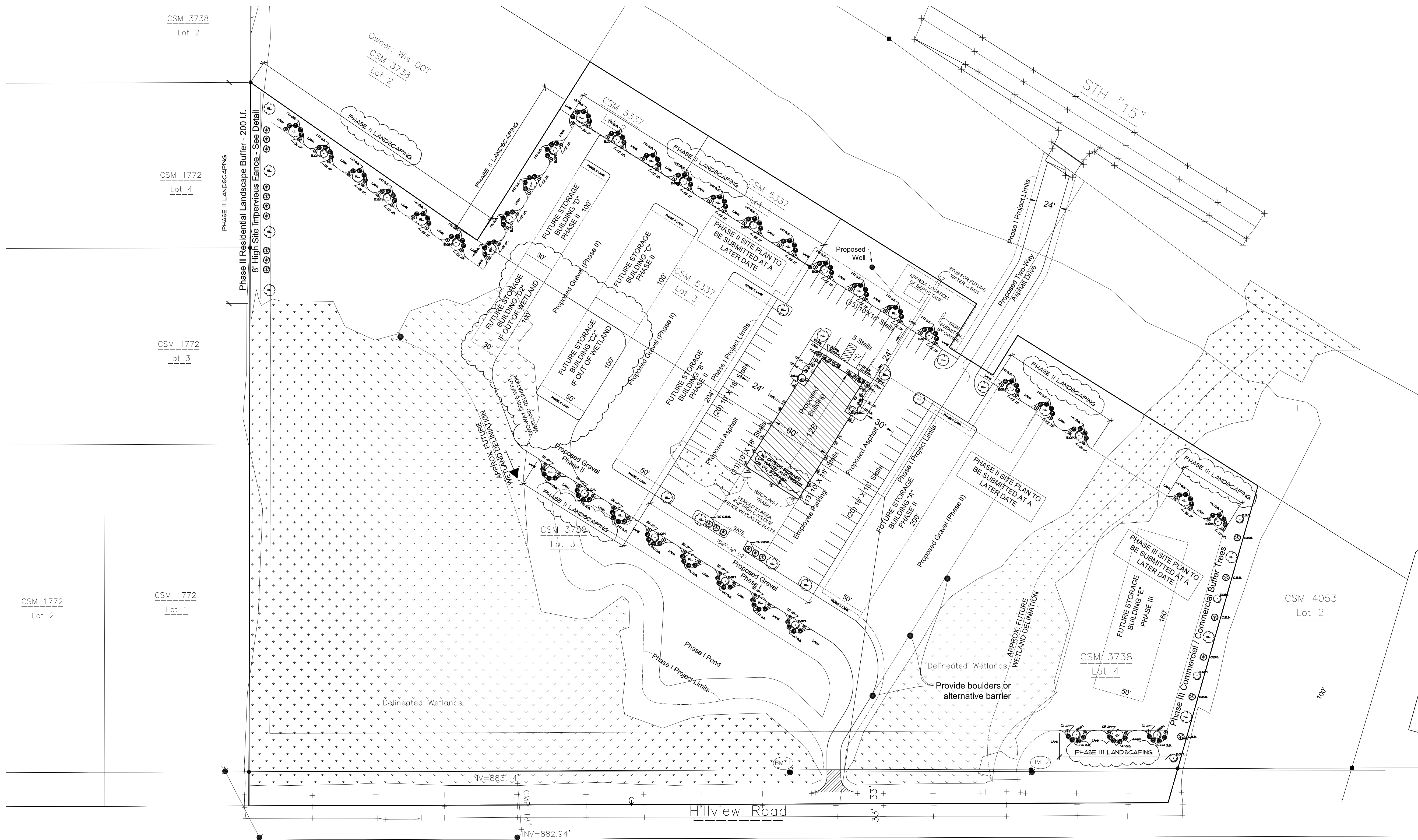


No.	Date	Description
1	2/28/19	Phase II & Phase III
		Landscape Defined

Drawn By EAF	Approved By CMR
Project No. 18-2060	Date 3/01/19
Sheet No.	

# L100

3/01/19



8'-0" HIGH SITE IMPERVIOUS FENCE

SLATTED CYCLONE FENCING

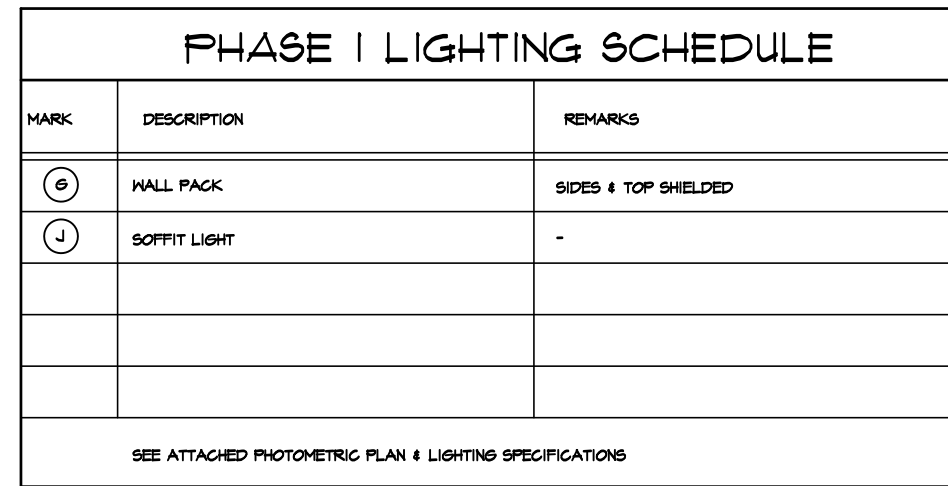
8'-0" SEE SITE PLAN

SITE IMPERVIOUS FENCE  
AT FENCED IN STORAGE AREA NOT TO SCALE




LANDSCAPE &  
LIGHTING PLAN  
1" = 50'-0"





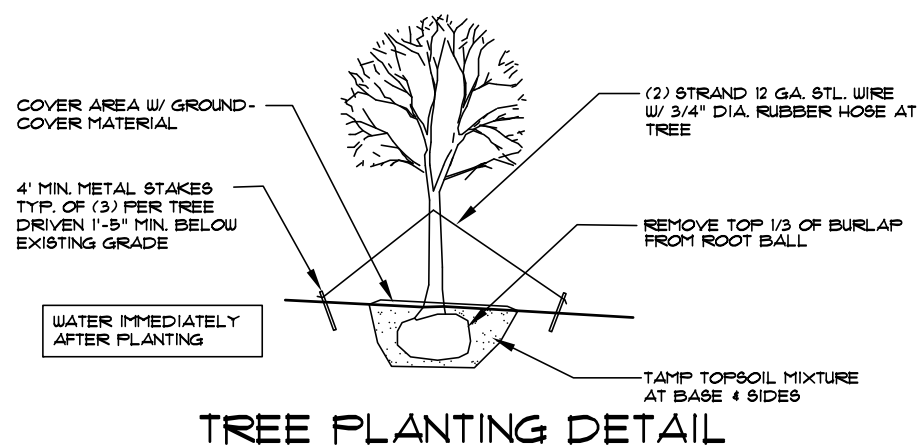
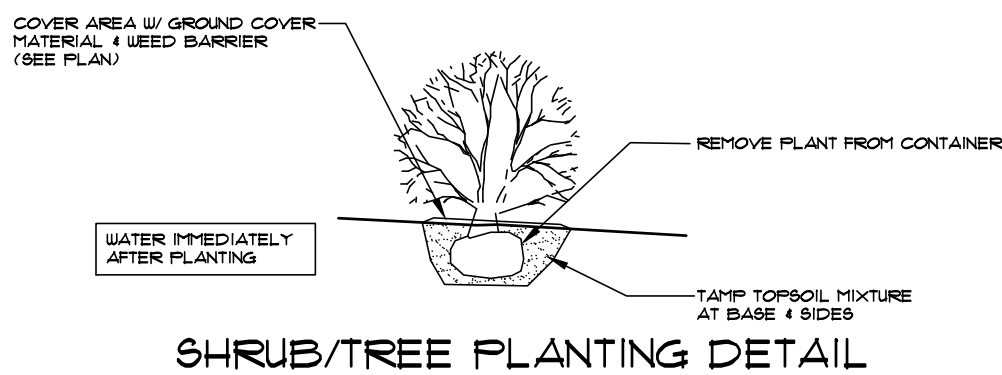


PHASE I SHRUB SCHEDULE						
	DESCRIPTION	ABBREVIATION	QTY.	SIZE	PTS.	REMARKS
③	ROEBEGGLOW BARBERRY	R.B.	8	18" MIN.		
③	GOLDPLANE SPIREA	G.S.	36	18" MIN.		
③	JACKMAN POTENTILLA	J.P.	22	18" MIN.		
③	RED PRINCE WEIGELA	R.P.W.	4	24" MIN.		
③	PYRAMIDAL THUJA ARBORESCENS	P.T.A.	2	18" MIN.		
③	SPRING SNOW CRABAPPLE	S.S.C.	2	2" DIA.		AT 6" HIGH MIN.

PHASE I TREE SCHEDULE						
	DESCRIPTION	ABBREVIATION	QTY.	SIZE	PTS.	REMARKS
	EMERALD QUEEN MAPLE	EQM	5	2 1/2" DIA.		
	HONEY LOCUST	HL	14	2 1/2" DIA.		
	COLORADO BLUE SPRUCE	C.B.S.	6	THIN & HIGH PLANTING IT.		

ALL PLANTING AREAS TO HAVE PLASTIC EDGING WHERE NEEDED AND COVERED WITH LANDSCAPE STONE OVER FILTER FABRIC

**SEED MIX**  
 20% RUGBY II KENTUCKY BLUEGRASS  
 20% NEW GLADE KENTUCKY BLUEGRASS  
 20% ASPEN KENTUCKY BLUEGRASS  
 20% BLUE MOON KENTUCKY BLUEGRASS  
 15% BLUE CHIP KENTUCKY BLUEGRASS  
 5% STATESMAN PERENNIAL RYE GRASS



## GENERAL COMMERCIAL DISTRICT PLANTING REQUIREMENTS

### LOT LINE PLANTINGS

- (1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE  
WE ARE PROPOSING BUILDING PERIMETER PLANTINGS  
IN LIEU OF R.O.W. PLANTINGS AT SOUTH R.O.W. LINE  
(AND CAN NOT PLANT IN THE WETLAND AREAS.)

## INTERNAL ISLANDS

- REQUIRE 1 TREE PER MIN. 180 S.F. ISLAND  
(CAN BE WITHIN 10' OF PAVEMENT PERIMETER)

## EQUIPMENT / VEHICLE STORAGE SCREENING

- (2) DECIDUOUS TREES & 5 EVERGREENS  
EVERY 100 L.F. PLUS 8' HIGH SITE IMPERVIOUS FENCE

FUTURE PHASE II & PHASE III  
PROPERTY LINE PLANTINGS

## R.O.W. PLANTINGS

- (1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE

## COMMERCIAL / COMMERCIAL ZONING




- (1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE OR (1) EVERGREEN  
MAY BE SUBSTITUTED FOR (5) BUSHES

COMMERCIAL / RESIDENTIAL BUFFER (W/ FENCE)

- (2) DECIDUOUS TREES & 5 EVERGREENS  
EVERY 100 L.F. PLUS 6' HIGH SITE IMPERVIOUS FENCE  
WE ARE PROPOSING BUILDING PERIMETER PLANTINGS  
IN LIEU OF SHORTAGE OF BUSHES AT EAST PROPERT LINE

[illegible]



PHASE II TREE SCHEDULE						
	DESCRIPTION	ABBREVIATION	QTY.	SIZE	FTS.	REMARKS
	EMERALD QUEEN MAPLE	E.Q.M.	11	2 1/2" D.I.A.		
	HONEY LOCUST	H.L.	16	2 1/2" D.I.A.		
	COLORADO BLUE SPRUCE	C.B.S.	10	MIN. 8' HIGH PLANTING HT.		

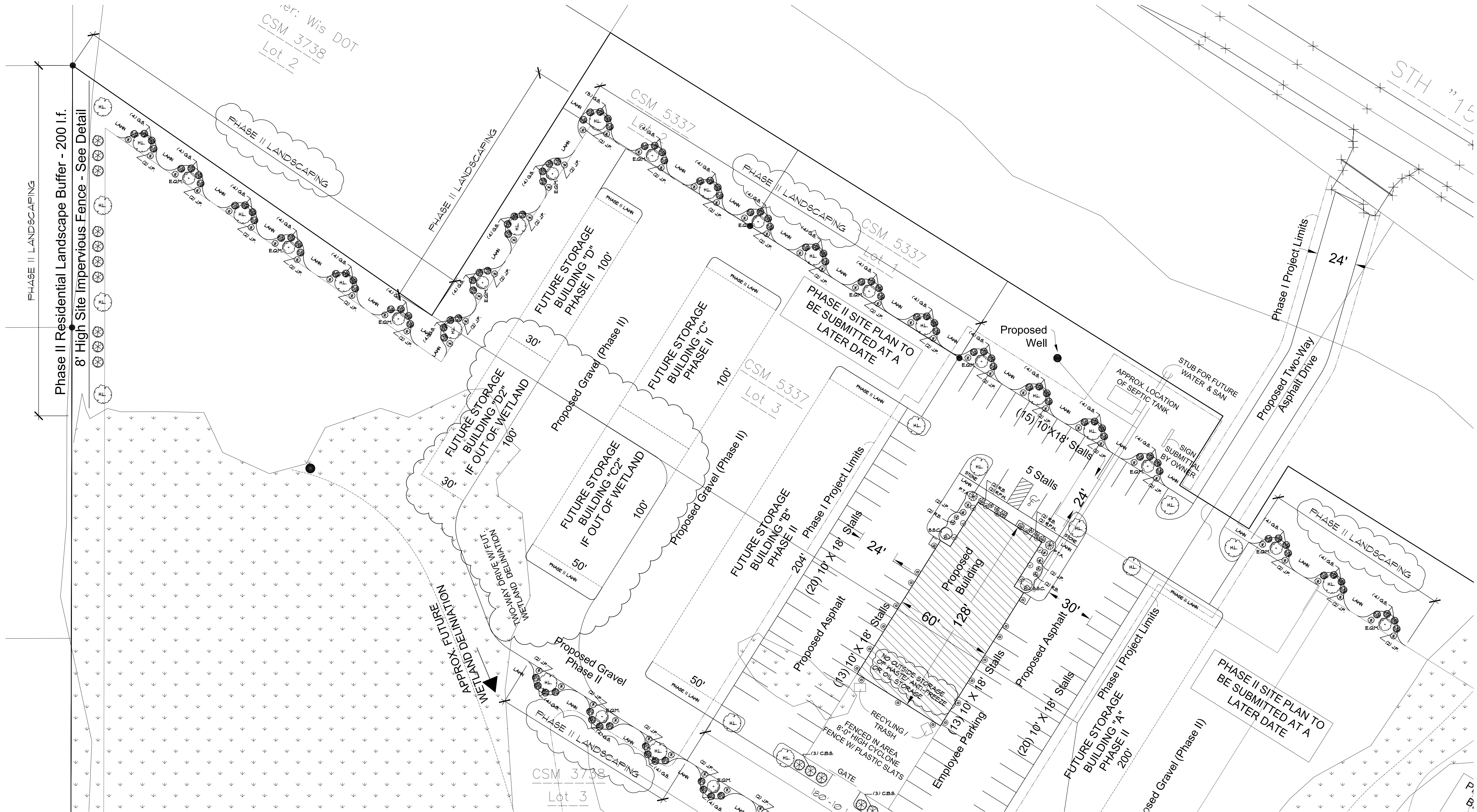
**SEED MIX**  
 20% RUGBY II KENTUCKY BLUEGRASS  
 20% NEW GLADE KENTUCKY BLUEGRASS  
 20% ASPEN KENTUCKY BLUEGRASS  
 20% BLUE MOON KENTUCKY BLUEGRASS  
 15% BLUE CHIP KENTUCKY BLUEGRASS  
 5% STATESMAN PERENNIAL RYE GRASS

FUTURE PHASE II & PHASE III  
PROPERTY LINE PLANTINGS

LOT LINE PLANTINGS  
(1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE  
COMMERCIAL / RESIDENTIAL BUFFER (W/ FENCE)

(2) DECIDUOUS TREES : 5 EVERGREENS  
EVERY 100 L.F. PLUS 6' HIGH SITE IMPERVIOUS FENCE  
WE ARE PROPOSING BUILDING PERIMETER PLANTINGS  
IN LIEU OF SHORTAGE OF BUSHES AT EAST PROPERT LINE

**COMMERCIAL / RESIDENTIAL BUFFER**  
(FENCE SIM. AT VEHICLE STORAGE SCREENING) NOT TO SCALE  
(2) DECIDUOUS TREES & 5 EVERGREENS  
EVERY 100 L.F. PLUS 6' HIGH SITE IMPERVIOUS FENCE



PHASE II  
LANDSCAPE PLAN  
1" = 30'-0"



NEW BUILDING FOR:  
GREENVILLE AUTO

## PHASE II LANDSCAPE PLAN

No.	Date	Description
1	2/28/19	Phase II Sheet Added

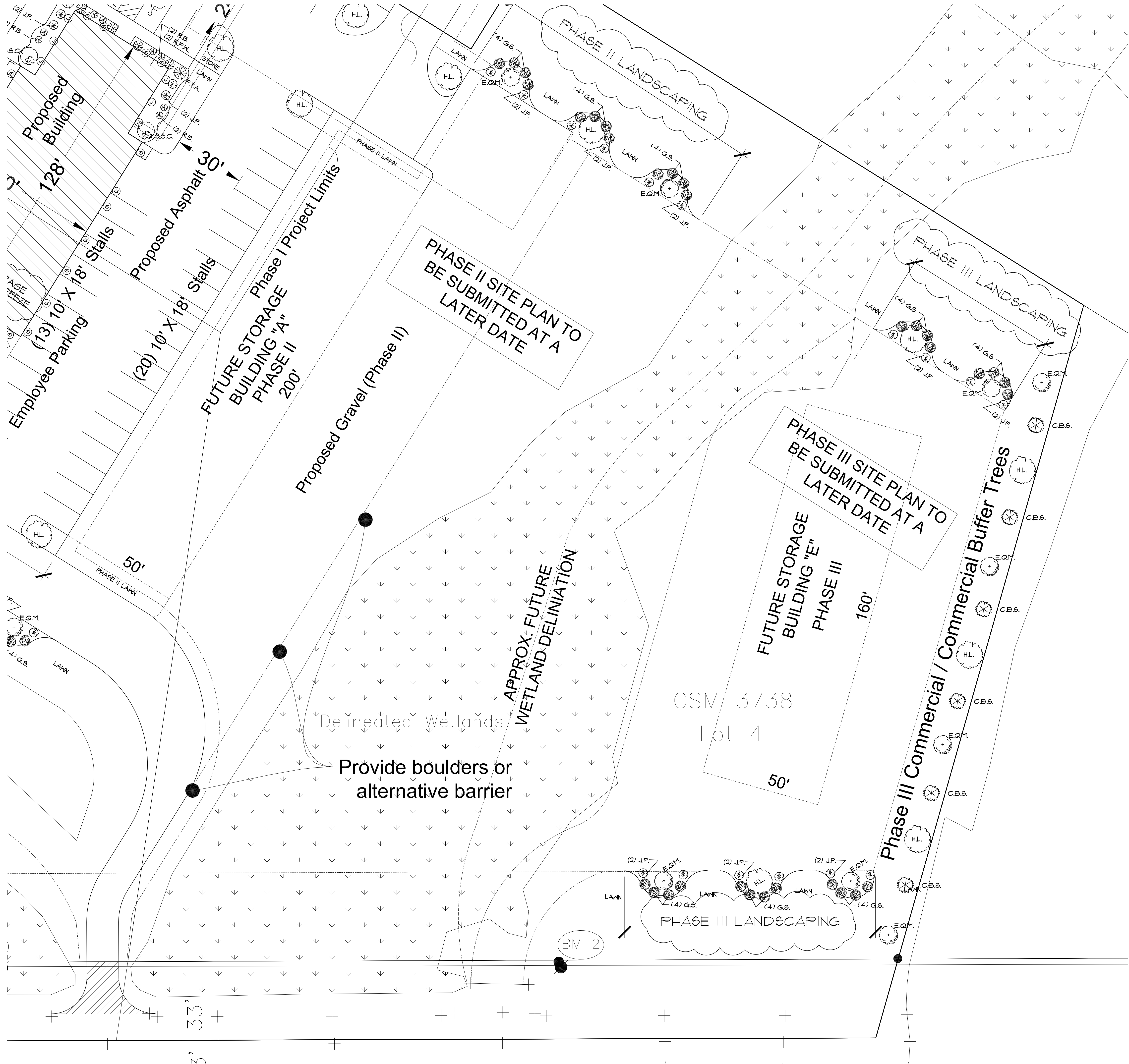
Page Information

Drawn By	Approved By
EAF	CMR
Project No.	Date
18-2060	3/01/19
Sheet No.	

# L102

3/01/19



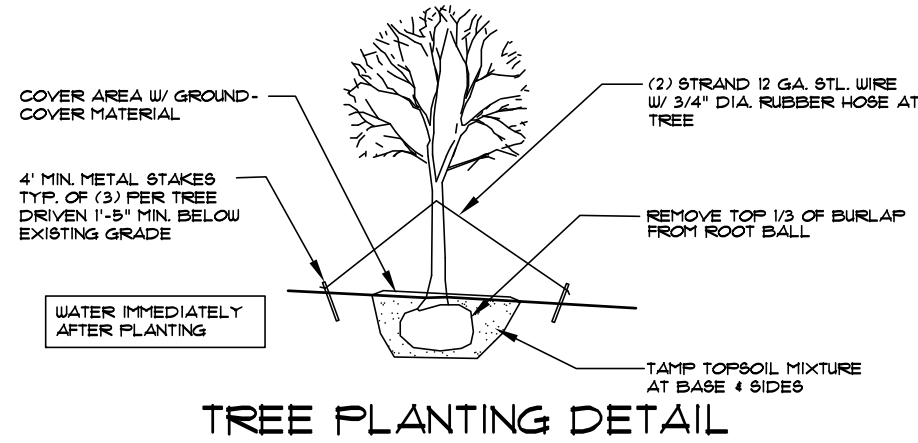
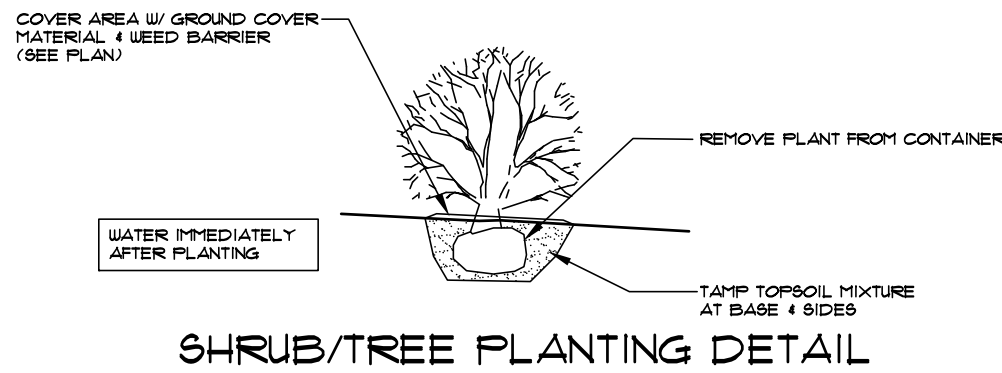


PHASE III SHRUB SCHEDULE						
DESCRIPTION	ABBREVIATION	QTY.	SIZE	PTS.	REMARKS	
1 GOLDPLANE SPIREA	G.S.	30	18" MIN.			
2 JACKMAN POTENTILLA	J.P.	10	18" MIN.			

PHASE III TREE SCHEDULE						
DESCRIPTION	ABBREVIATION	QTY.	SIZE	PTS.	REMARKS	
1 EMERALD QUEEN MAPLE	E.Q.M.	4	2 1/2" DIA.			
2 HONEY LOCUST	H.L.	5	2 1/2" DIA.			
3 COLORADO BLUE SPRUCE	C.B.S.	6	MIN. 8' HIGH PLANTING HT.			

ALL PLANTING AREAS TO HAVE PLASTIC EDGERS WHERE NEEDED AND COVERED WITH LANDSCAPE STONE OVER FILTER FABRIC

SEED MIX:  
20% RUGBY II KENTUCKY BLUEGRASS  
20% NEW GLADE KENTUCKY BLUEGRASS  
20% ASPEN KENTUCKY BLUEGRASS  
20% BLUE MOON KENTUCKY BLUEGRASS  
15% BLUE CHIP KENTUCKY BLUEGRASS  
5% STATESMAN PERENNIAL RYE GRASS



GENERAL COMMERCIAL DISTRICT PLANTING REQUIREMENTS

LOT LINE PLANTINGS:  
(1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE  
WE ARE PROPOSING BUILDING PERIMETER PLANTINGS IN LIEU OF R.O.W. PLANTINGS AT SOUTH R.O.W. LINE (AND CAN NOT PLANT IN THE WETLAND AREAS.)

INTERNAL ISLANDS:  
REQUIRE 1 TREE PER MIN. 180 S.F. ISLAND (CAN BE WITHIN 10' OF PAVEMENT PERIMETER)

EQUIPMENT / VEHICLE STORAGE SCREENING:  
(2) DECIDUOUS TREES & 5 EVERGREENS EVERY 100 L.F. PLUS 8' HIGH SITE IMPERVIOUS FENCE

FUTURE PHASE II & PHASE III PROPERTY LINE PLANTINGS:

R.O.W. PLANTINGS:  
(1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE

COMMERCIAL / COMMERCIAL ZONING:  
(1) DECIDUOUS TREE MIN. 40' SPACING  
W/ (6) SHRUBS PER TREE OR (1) EVERGREEN MAY BE SUBSTITUTED FOR (5) BUSHES

COMMERCIAL / RESIDENTIAL BUFFER (W/ FENCE):  
(2) DECIDUOUS TREES & 5 EVERGREENS EVERY 100 L.F. PLUS 6' HIGH SITE IMPERVIOUS FENCE WE ARE PROPOSING BUILDING PERIMETER PLANTINGS IN LIEU OF SHORTAGE OF BUSHES AT EAST PROPERTY LINE

NEW BUILDING FOR:  
GREENVILLE AUTO

PHASE III LANDSCAPE PLAN

No. Date Description

1 2/28/19 Phase III Sheet Added

Page Information

Drawn By EAF Approved By CMR

Project No. 18-2060 Date 3/01/19

Sheet No.

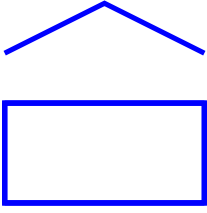
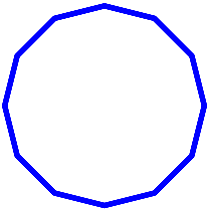
L103



PHASE III LANDSCAPE PLAN  
1" = 20'-0"

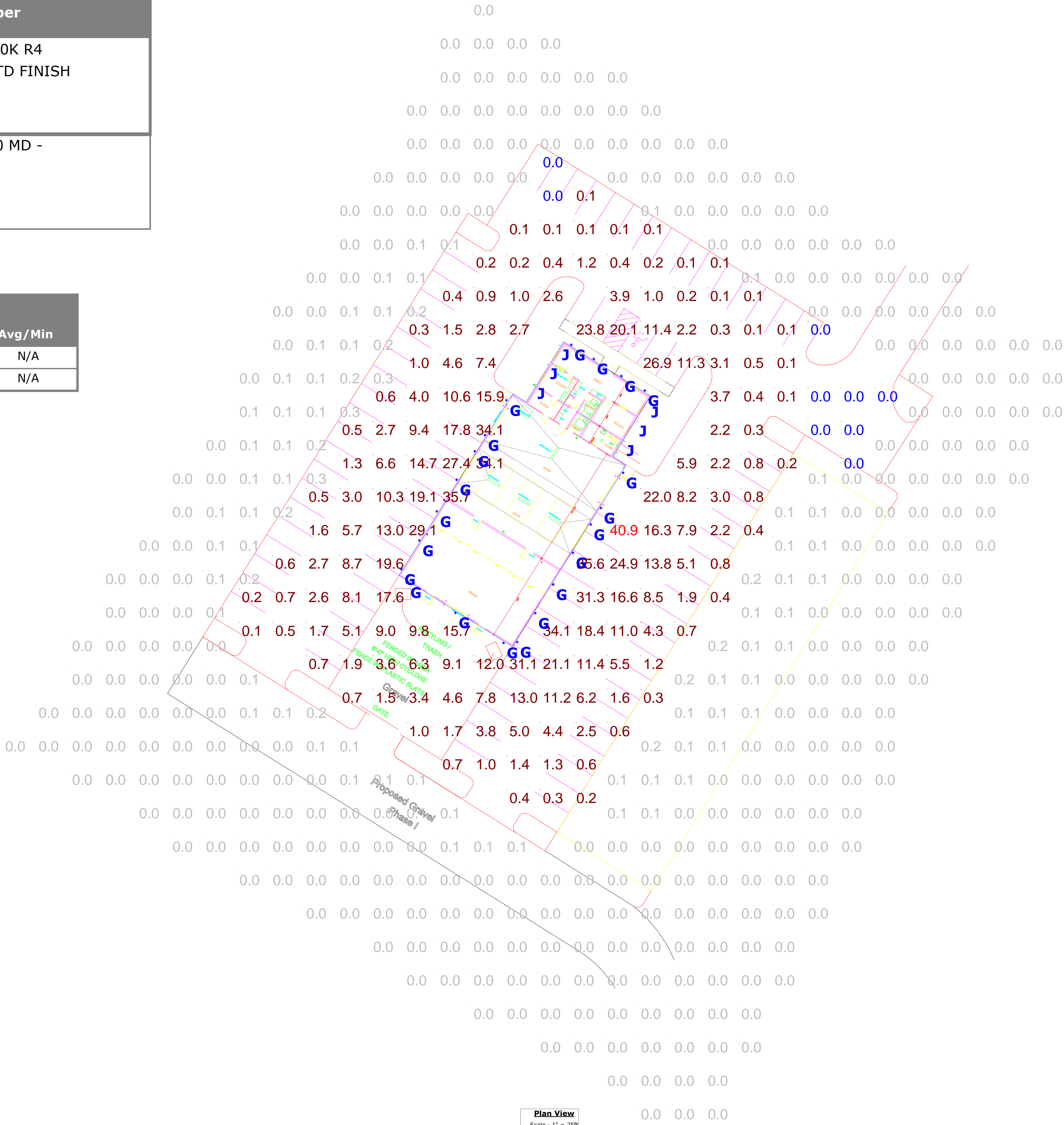


N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942  
PHONE: 920.757.0999  
FAX: 920.757.1015



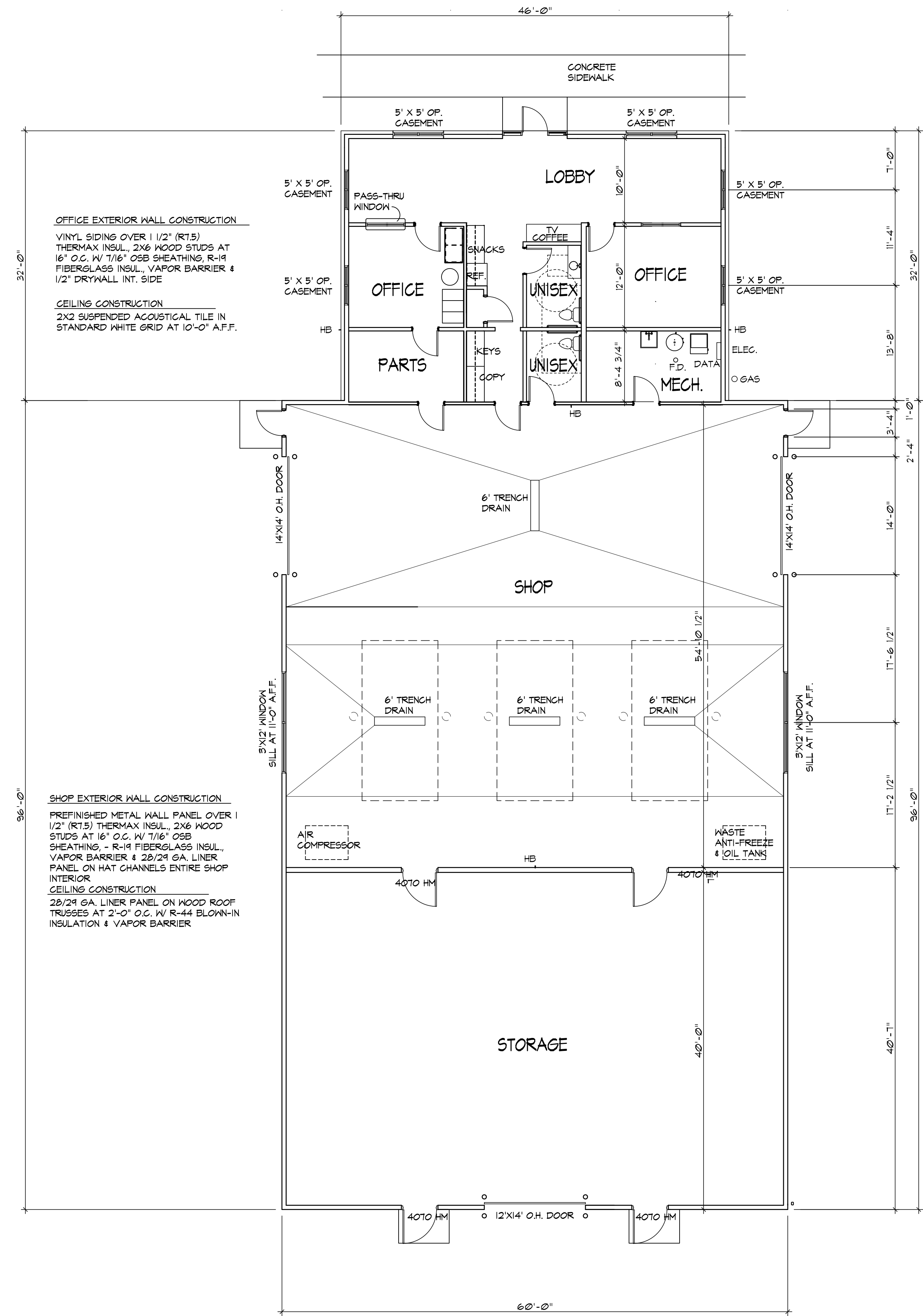
Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
	G	21	Lithonia Lighting	RSX1 LED P4 40K R4 MVOLT WBA STD FINISH
	J	6	GE LIGHTING SOLUTIONS	LRXR 6 10 8 40 MD - FRAME6R

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
AREA OUTSIDE OF PARKING LOT		0.0 fc	0.3 fc	0.0 fc	N/A	N/A
PARKING LOT		6.5 fc	40.9 fc	0.0 fc	N/A	N/A



Plan View  
Scale - 1" = 25ft





FLOOR PLAN  
1/8" = 1'-0"



NEW BUILDING FOR:  
GREENVILLE AUTO  
FLOOR PLAN

No.	Date	Description

Page Information

Drawn By EAF	Approved By CMR
Project No. 18-2060	Date 3/01/19
Sheet No.	

A101



PHONE: 920.757.0999  
FAX: 920.757.1015  
N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942





# BUILDING ELEVATIONS

[illegible]

Drawn By EAF	Approved By CMR
Project No. 18-2060	Date 3/01/19
Sheet No.	

# A201



**From:** [Michael Brown](#)  
**To:** [ds2560@aol.com](mailto:ds2560@aol.com)  
**Cc:** [Kelly Mischler](#); [Chris Pagels](#); [Brian Rickert](#); ["TJ Utschig"](#); ["Tim Wittmann"](#); [Greenville Auto](#)  
**Subject:** RE: Planning Commission Meeting 3/25/19 for Sue and John Korth  
**Date:** Monday, March 4, 2019 8:21:00 AM  
**Attachments:** [Participation Letter Site Plan.pdf](#)

---

Ron

Thank you for your email and your concerns. To start, I encourage you to attend the meeting on March 25<sup>th</sup> if you are able so you can address the Planning Commission with your concerns as well as the informational meeting being held tonight (see attached letter). I will also forward this information onto them as part of their agenda packet.

Staff is currently reviewing the proposal to ensure the project meets ordinance requirements. The project will only receive approval and permits to construct if it meets ordinance requirements. If the project doesn't meet ordinance requirements staff will present that information to the Planning Commission for their consideration.

In addition, I understand that you contacted Chris Pagels, Stormwater Superintendent, who provided a response to you as well which is also below.

I have also copied the applicant/owner and their consultants on this email so that everyone is aware of your concerns.

If you have any further questions please let me know.

Thank you.

**Chris Pagels, Stormwater Superintendent, Response:**

Mr. Pope

As far as limiting development, I do not have that type of authority, nor does the ordinance chapter 255 (Post Construction Stormwater Ordinance) that is enforced on all new development in the Town of Greenville. I have cc'd Town of Greenville's Community Development Director Michael Brown to look into the development parcel questions you have.

As far as if the new development goes forward. The project is required to treat for flood flow and water quality. The project has submitted a plan (still under review) that includes wet ponds to treat the water for flooding and water quality concerns downstream to Town, County and State standards.

I have looked into your site as to what may be happening in regards to the yard flooding and basement issues. Usually the basement issues stem from a lack of power during a power outage or the sump pump overheats and burns out from normal wear and tear causing water to flood out a basement. In specific instances I have seen water come up in a basement even though the sump



pump was running. The sump pump was just not able to keep up. If the water came into a window well or exposed basement, please let me know.

Once the ice/snow has melted, I'll look at the waterway from Hillwood Court to Hillview Road for any blockages. It does appear that in addition to the Korth property an area directly north of STH 15 discharges water through the 18" that you mentioned. It also seems there is another larger waterway that contributes to the water issue in your back yard. It comes from the east and north of STH 15 from around Bennett Circle. This waterway appears to flow through a large private pond at W7557 Hillview Road.

Thank you for providing this information. I have been here since 2012 and was not aware of any major flooding issues in this area.

As I mentioned, I will look into this come spring.

Let me know if you have any other issues or concerns.

Thank you,

Chris Pagels  
Stormwater Superintendent  
Town of Greenville  
920-841-2244

**From:** [ds2560@aol.com](mailto:ds2560@aol.com) <[ds2560@aol.com](mailto:ds2560@aol.com)>  
**Sent:** Friday, March 1, 2019 3:11 PM  
**To:** Chris Pagels <[CPagels@TownofGreenville.com](mailto:CPagels@TownofGreenville.com)>  
**Subject:** Project below

**This is regarding a Town Planning Commission Meeting 3/25/19.**

March 1, 2019

Via e-mail to Chris Pagels

Town of Greenville  
Town Planning Commission  
P.O. Box 60  
Greenville, WI 54942-0060

Re: Town Planning Commission 3/25/19  
Parcels 110014 207, 208, 210 and 211 owned by Sue and John Korth

Dear Mr. Pagels:



Today we received notice from Utschig, Inc regarding potential projects on land owned by Sue and John Korth directly across from where we live on Hillview Rd. It appears that 11 acres will now be built including buildings, 81 parking stalls, as well as 4 separate potential mini storage facilities. A large portion of these acres is wetlands.

We have some very serious concerns about this much development on this land. We have lived here 16 years and every time it rains more than a few inches, much of the runoff from these parcels comes back onto our yard through the culvert underneath Hillview Rd. The direction of the water after a rain is obvious that it is moving southward from this land onto ours. Usually, the back yard is completely under water. At times it has been as deep as 18 inches of water. On July 15, 2010, the entire yard was under water and 6 feet of water filled the entire basement. This cost of \$12,000 to replace the furnace, water heater, refrigerator and other items in the basement.

We are very concerned that with the property across the road being paved over with 1,472 square feet of office space, 5,760 square feet of shop space, 81 parking stalls and paved roads in and out from Hillview and Hwy 15, in addition to 4 separate mini-storage facilities, there will be no place for this rain water to go but to come back on our already- underwater property. We are wondering if there is anything we can do or does the Town have some ordinance to prevent this stormwater runoff onto our property or is there something the builder can do prior to construction?

We are also very concerned about the drop in value of our property if these projects are allowed to go ahead as is. Thanks for your help.

Sincerely,

Ron Pope  
W7655 Hillview Rd  
Hortonville, WI 54944  
[ds2560@aol.com](mailto:ds2560@aol.com)  
920-779-9582

***Michael J. D. Brown, Community and Economic Development Director***

Town of Greenville, Wisconsin

**Address:** W6860 Parkview Drive | Greenville, WI 54942

**Ph** (920) 757-5151 ext. 2000 | **FAX** (920) 757-0543 | **Web:** [www.TownofGreenville.com](http://www.TownofGreenville.com)

**Office Hours:** Monday-Thursday 7:00am to 4:30pm and Fridays 8:00am to 12:00pm

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---



**From:** Joel Gregozeski  
**Sent:** Sunday, March 3, 2019 8:20 AM  
**To:** ds2560@aol.com; Wendy Helgeson <whelgeson@TownofGreenville.com>  
**Cc:** Michael Brown <mbrown@townofgreenville.com>; Kelly Mischler <KMischler@TownofGreenville.com>  
**Subject:** RE: Planning Commission Meeting 3/25/19 for Sue and John Korth

Ron,

Thank you for your email. I will forward this message to our Community & Economic Development Director, Michael Brown and ensure that your message has been forwarded to our Planning Commission and Town Board.

Michael, and his staff can forward to you the meeting schedule for upcoming dates on when these items will be considered by either/both the Planning Commission and Town Board.

Thank you again for your comments and feedback. Please do not hesitate to contact us if you have any further questions or concerns.

**Joel Gregozeski, ICMA-CM**

Administrator - Town of Greenville, Wisconsin

**Address:** W6860 Parkview Drive | Greenville, WI 54942  
**Ph** (920) 757-5151 | **FAX** (920) 757-0543 | **Web:** [www.TownofGreenville.com](http://www.TownofGreenville.com)  
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What does a Town Administrator do? <https://www.youtube.com/watch?v=7CkgvIAaNR4>

**From:** [ds2560@aol.com](mailto:ds2560@aol.com) <[ds2560@aol.com](mailto:ds2560@aol.com)>  
**Sent:** Friday, March 1, 2019 2:17 PM  
**To:** Wendy Helgeson <[whelgeson@TownofGreenville.com](mailto:whelgeson@TownofGreenville.com)>  
**Cc:** Joel Gregozeski <[joelg@townofgreenville.com](mailto:joelg@townofgreenville.com)>  
**Subject:** Planning Commission Meeting 3/25/19 for Sue and John Korth

**This is regarding a Town Planning Commission Meeting 3/25/19. If you are not the people who should get this, please forward it on the correct person(s). Thank you.**

March 1, 2019



Via e-mail to Wendy Helgeson and Joel Gregozeski

Town of Greenville  
Town Planning Commission  
P.O. Box 60  
Greenville, WI 54942-0060

Re: Town Planning Commission 3/25/19  
Parcels 110014 207, 208, 210 and 211 owned by Sue and John Korth

Dear Ms Helgeson and Mr. Gregozeski:

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We have some very serious concerns about this much development on this land. We have lived here 16 years and every time it rains more than a few inches, much of the runoff from these parcels comes back onto our yard through the culvert underneath Hillview Rd. The direction of the water after a rain is obvious that it is moving southward from this land onto ours. Usually, the back yard is completely under water. At times it has been as deep at 18 inches of water. On July 15, 2010, the entire yard was under water and 6 feet of water filled the entire basement. This cost of \$12,000 to replace the furnace, water heater, refrigerator and other items in the basement.

We are very concerned that with the property across the road being paved over with 1,472 square feet of office space, 5,760 square feet of shop space, 81 parking stalls and paved roads in and out from Hillview and Hwy 15, in addition to 4 separate mini-storage units, there will be no place for this rain water to go but to come back on our already- underwater property.

We are also very concerned about the drop in value of our property if these projects are allowed to go ahead as is.

Sincerely.

Ron Pope  
W7655 Hillview Rd  
Hortonville, WI 54944  
[ds2560@aol.com](mailto:ds2560@aol.com)  
920-779-9582



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** 6b-c  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Chairperson and Commission and Board Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** March 18, 2019  
**RE:** Rezoning, CSM, Site Plan and Special Exception for St. Mary's Church

**ACTION TYPE:** This item is for possible Planning Commission and Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Mach IV Engineering and Surveying LLC, applicant, and St. Mary's Congregation of Greenville, owner, has submitted an application for a CSM, rezoning, site plan and special exception. The property is located at N2385 Municipal Drive on parcels 110008500, 110008700, 110009300, 110009400, 110009503 and 110416400 is approximately 25.47 acres is zoned General Agriculture and is currently being used for church, cemetery and agricultural purposes.

The CSM will combine all six parcels in order to provide more flexibility in expansion of the church in the future. Currently the parcels would prohibit the church from expansion based on how they are platted due to setbacks. Parcels 110008500, 110008700, 110009300, 110009503 will be rezoned from General Agriculture to Single Family Residential in order to be consistent with the Town's comprehensive plan. A site plan has been submitted identifying the location and improvements for the expansion of the cemetery and a garage. A Special Exception will be granted for the existing church and associated uses as staff could not find record one had ever been granted. The Special Exception will also be for the new expanded cemetery and a PUD to allow for multiple buildings on site as this is an institutional type use as opposed to a residential use per sections 320-23F and 320-24 of the Zoning Code.

### **SURROUNDING ZONING AND LAND USES:**

	Existing Zoning	Existing Land Use
North	Residential	Residential
South	Agriculture	Agriculture
East	Residential	Residential
West	Residential	Residential

### **ITEMS FOR DISCUSSION:**

1. Consistency with the Comprehensive Plan: The comprehensive plan identifies this area for residential and mixed use and is within Neighborhood G and therefore is consistent with the plan to rezone from general agriculture to single family residential.
2. CSM: Staff has reviewed the CSM and has found it to be in general compliance.
3. Special Exception: A Special Exception for church and cemetery and PUD has been requested:



- a. Section 320-209A(1-10) Standards for granting a special exception. Special Exceptions may be granted by the Planning Commission, and approved by the Town Board, when all of the following conditions prevail:
  - i. The establishment, maintenance, or operation of the special exception will not be detrimental to, or endanger the public health, safety, morals, comfort or general welfare of the community.
  - ii. The special exception will not be injurious to the uses of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
  - iii. The proposed use will not create a look of clutter, garishness, glare or creates an obnoxious noise level, or would generate any other incompatibility with surrounding neighborhood.
  - iv. The impact of the use is furthering the purposes of this chapter or the purposes of the zoning district in which the use is proposed or the adopted Comprehensive Plan of the Town.
  - v. The establishment of the special exception will not impede the normal and orderly development and improvement of the surrounding property.
  - vi. Adequate facilities, access roads, drainage and/or necessary services will be provided.
  - vii. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
  - viii. If the special exception involves a public use or a use providing public utility service, that such use or service shall meet a demonstrable public need and provide a public benefit.
  - ix. Lot area, lot width and setbacks meet or exceed minimum requirements and are adequate for the proposed use. When there is an existing nonconforming structure, this provision may be waived by the Town Board.
  - x. Generally, a buffer shall exist as determined by the Planning Commission between the structure or land use to be occupied by the special exception and any adjoining property line.
- 4. Site Plan: Staff has reviewed the site plan and find it is in general compliance with Town ordinances.

**STAFF RECOMMENDATION:** Staff recommends the Commission approve all requests. If the Commission is in agreement, the following motions may be made:

- 1. ***Rezoning "Motion to recommend approval of Resolution 20-19 to the Town Board."***
- 2. ***CSM Site Plan "Motion to recommend approval of Resolution 21-19."***
- 3. ***Site Plan "Motion to recommend approval of Resolution 22-19."***
- 4. ***Special Exception "Motion to recommend approval of Resolution 23-19 to the Town Board."***

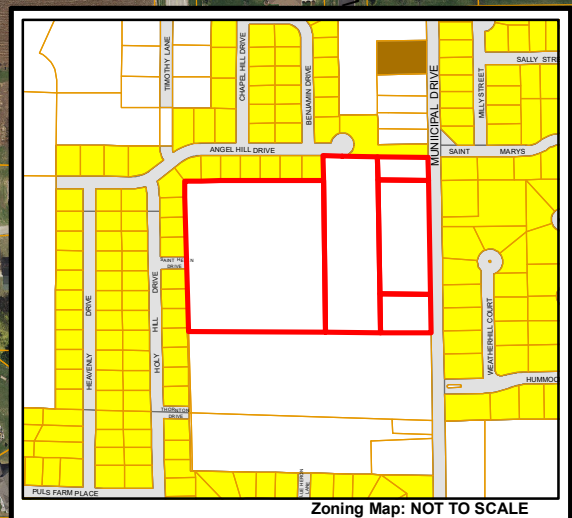
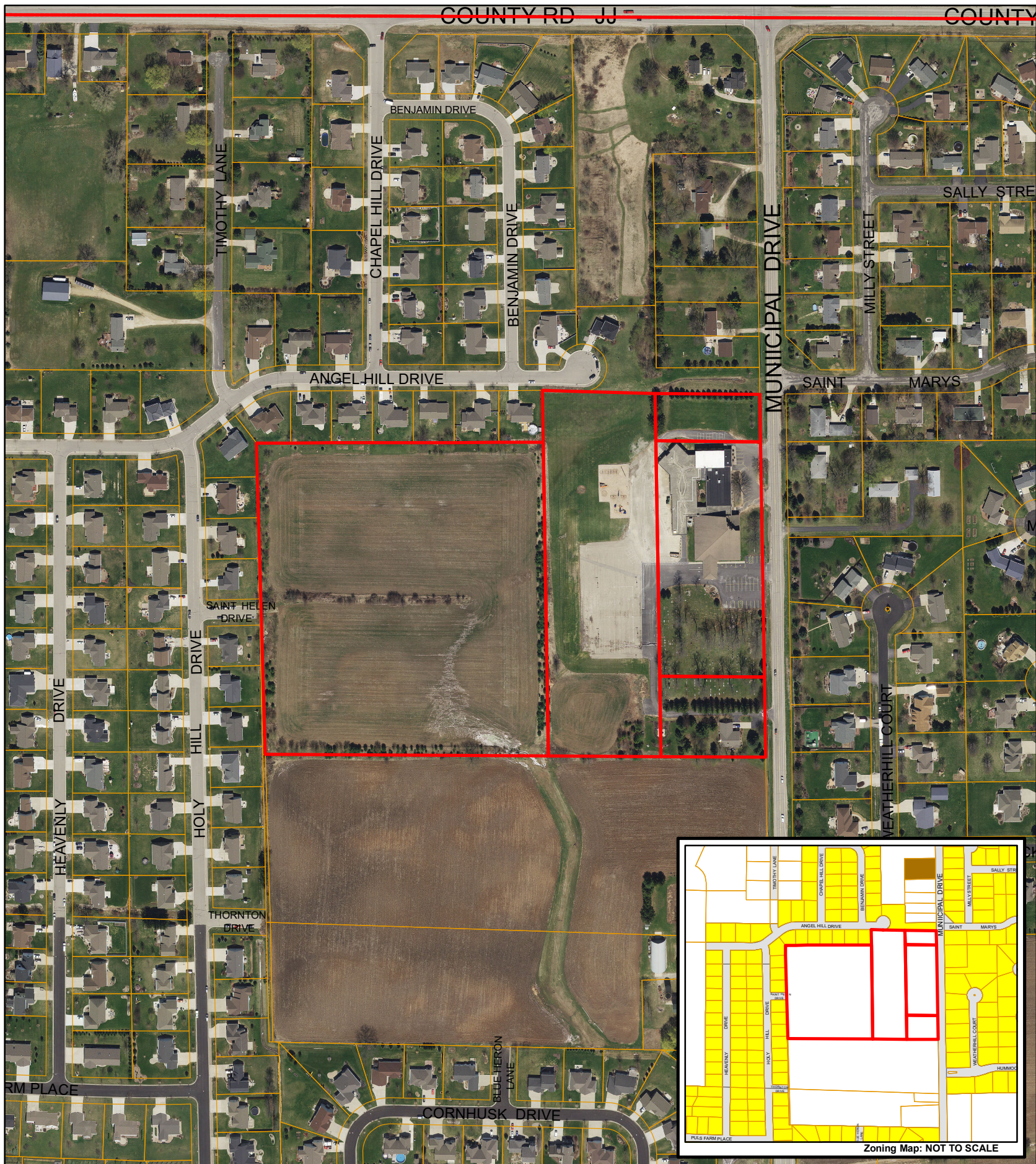


###

**Attachments:**

1. Aerial
2. Resolution 20-19
3. Resolution 21-19
4. Resolution 22-19
5. Resolution 23-19





0 150 300 600 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

#### Zoning

- GENERAL AGRICULTURE
- SINGLE FAMILY RESIDENTIAL
- TWO FAMILY RESIDENTIAL
- MULTI-FAMILY RESIDENTIAL
- GENERAL COMMERCIAL DISTRICT

- PLANNED COMMERCIAL
- NEIGHBORHOOD COMMERCIAL DISTRICT
- BUSINESS PARK
- INDUSTRIAL
- AIRPORT DISTRICT
- Parcel Boundary

Project Location



This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.



## Resolution #20-19

### **RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A REZONING FROM GENERAL AGRICULTURE TO SINGLE FAMILY RESIDENCE DISTRICT FOR ST. MARY'S CHURCH LOCATED AT PARCELS 110008500, 110008700, 110009300, 110009503**

**WHEREAS**, a rezoning request has been applied for to rezone Parcels 110008500, 110008700, 110009300, 110009503 as shown on Exhibit A from General Agriculture to Single Family Residence District; and

**WHEREAS**, the Planning Commission has found the request to be consistent with the Town of Greenville's Comprehensive Plan and recommended approval to the Town Board; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the request is consistent with the Town of Greenville's Comprehensive Plan and therefore approves the rezoning request.

This resolution was adopted by the Town of Greenville Town Board on the 25th day of March, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chairman

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #20-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:





Zoning Map: NOT TO SCALE



## Town of Greenville

### Exhibit A: Rezoning from General Agriculture to Single Family Residence District Parcels 110008500, 110008700, 110009300, 110009503

0 150 300 600  
Feet

Scale is approximate and is not based  
upon legally recorded or surveyed data.



This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.



## **Resolution #23-19**

### **RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A SPECIAL EXCEPTION FOR ST MARYS CHURCH FOR A CHURCH, CEMETERY AND PLANNED UNIT DEVELOPMENT LOCATED AT N2385 MUNICIPAL DRIVE PARCELS 110008500, 110008700, 110009300, 110009400, 110009503 AND 110416400**

**WHEREAS**, a Church, Cemetery and Planned Unit Development (PUD) has been applied for as a special exception for the St. Mary's Church located at N2385 Municipal Drive on parcels 110008500, 110008700, 110009300, 110009400, 110009503 and 110416400 as shown on Exhibit A; and

**WHEREAS**, the Planning Commission has found that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and have recommended approval to the Town Board; and

**WHEREAS**, the approval and continued use of the special exception shall be conditioned on the following and granted relief from the zoning code through the PUD

1. To allow multiple buildings on site so as to be used for church and cemetery purposes as relief from Sections 320-23F & 320-24 of the Zoning Code.

**WHEREAS**, per Section 320-209B(2) of the Zoning Ordinance, the special exception shall expire if the use is discontinued for a period of eight months. If a building permit is required, and has not been obtained within 12 months of the issuance of the special exception permit, the applicant must request in writing and the Planning Commission may approve an extension if it finds there is no significant change to warrant a new special exception permit application. If the special exception does not require a building permit and has not started within 12 months of issuance of the special exception permit the permit is considered null and void and an application for a special exception permit shall be required. If the conditions set forth above are not met within the specified timeframes the special exception permit shall expire and be null and void. The special exception shall run with the land and is transferable with the sale of the property; and

**WHEREAS**, this resolution shall act as the special exception permit and be enforceable by the Town;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and approves the special exception permit.

This resolution was adopted by the Town of Greenville Town Board on the 25<sup>th</sup> day of March, 2019:



TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

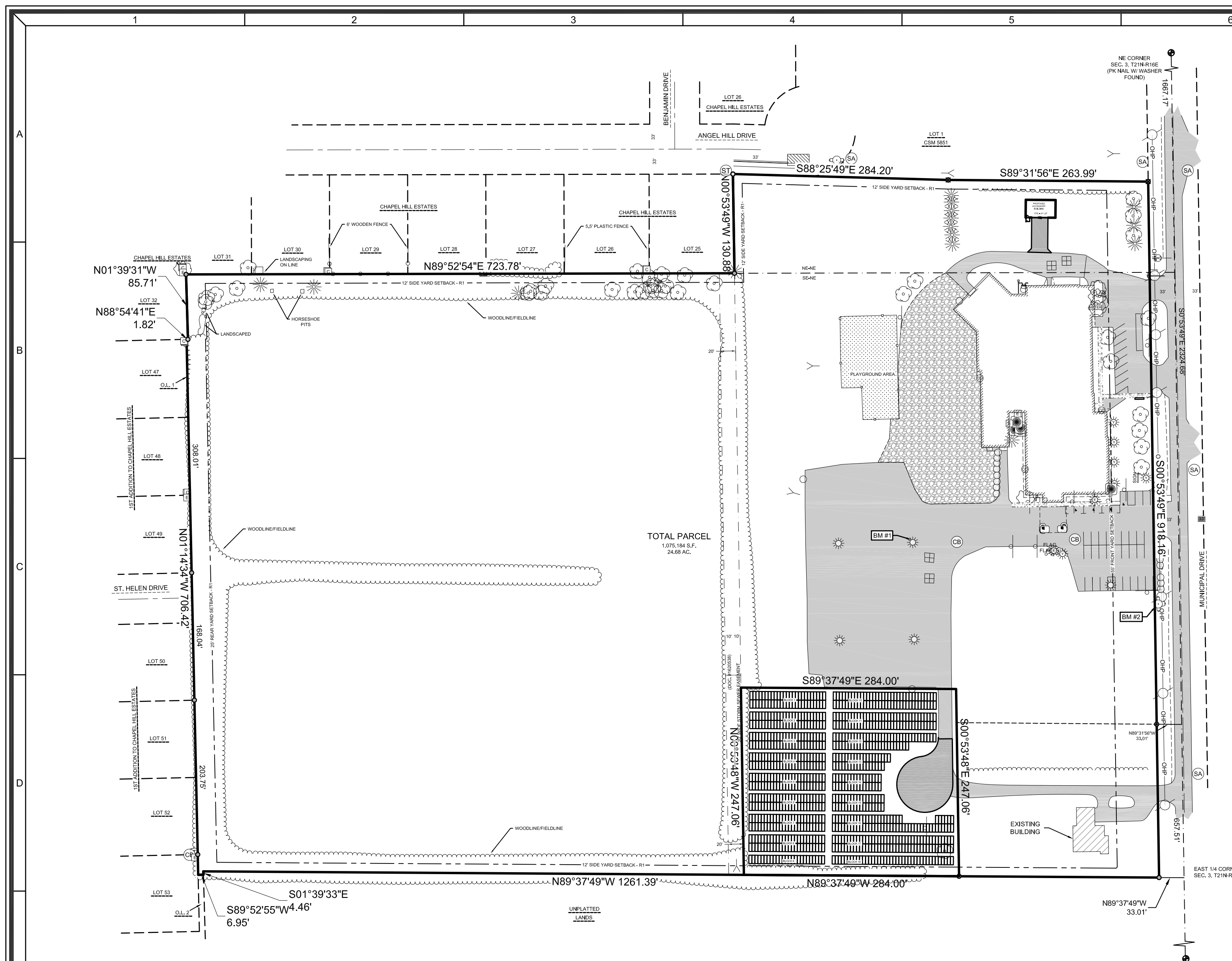
Motion to Approve Resolution No. #23-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:



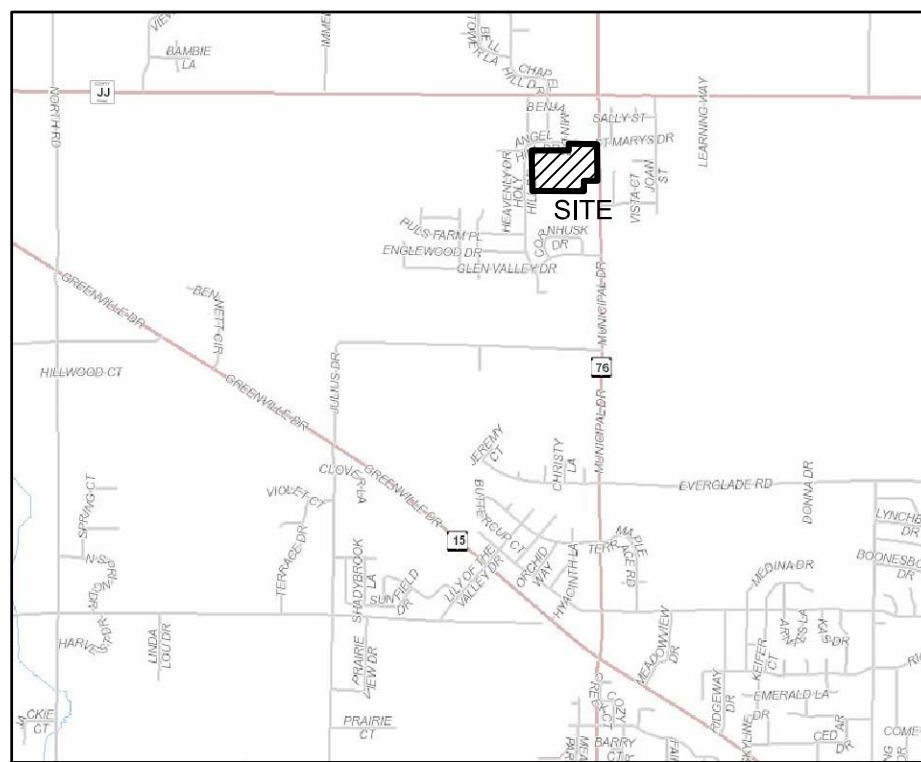


## CIVIL LEGEND

EXISTING		PROPOSED		EXISTING		PROPOSED		EXISTING		PROPOSED	
CABLE PEDESTAL				EVERGREEN SHRUB				STANDARD DUTY ASPHALT			
ELECTRIC METER				EVERGREEN TREE				HEAVY DUTY ASPHALT			
ELECTRIC PEDESTAL				TREE							
GUY WIRE				TREE SHRUB				BUILDING			
LIGHT POLE				BUILDING OVERHANG							
POWER POLE				UNDERGROUND CABLE							
GAS METER				OVERHEAD WIRE					ASPHALT		
GAS VALVE				UNDERGROUND ELECTRIC							
BOLLARD				GAS					CONCRETE		
HANDICAP PARKING				LANDSCAPE							
SANITARY CLEANOUT				FENCE							
SANITARY MANHOLE				GUARDRAIL					GRAVEL		
CATCH BASIN				CENTERLINE							
CULVERT				CURB					LANDSCAPE WOOD MULCH		
DOWNSPOUT				PARKING STRIPE							
INLET				SANITARY SEWER					LANDSCAPE STONE MULCH		
INLET 2' X 2'				CULVERT							
STORM CLEANOUT				STORM SEWER							
STORM MANHOLE				FIBER OPTIC							
FIBER OPTIC PEDESTAL				WOOD LINE							
SIGN				RETAINING WALL							
FIRE HYDRANT				WATERMAIN							
WATER SHUT OFF				CONTOUR MAJOR							
WATER VALVE				CONTOUR MINOR							

## ABBREVIATIONS

AC	ACRE	MIN	MINIMUM
AEW	APRON END WALL	mm	MILLIMETER
ASTM	AMERICAN SOCIETY FOR TESTING AND MATERIALS	N	NORTH
BM	BENCHMARK	NE	NORTHEAST
C	CABLE	OC	ON CENTER
CB	CATCH BASIN	OD	OUTSIDE DIAMETER
CI	CURB INLET	OHP	OVER HEAD POWER
CMP	CORRUGATED METAL PIPE	OL	OUTLOT
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
CSM	CERTIFIED SURVEY MAP	PVC	POLYVINYL CHLORIDE
C.T.H	COUNTY TRUNK HIGHWAY	R	RADIUS
DIA	DIAMETER	RAD	RADIUS
DOT	DEPARTMENT OF TRANSPORTATION	RCP	REINFORCED CONCRETE PIPE
E	EAST	REQ	REQUIRED
E	ELECTRIC (BURIED)	S	SOUTH
EL	ELEVATION	SA	SANITARY
FDM	FACILITIES DEVELOPMENT MANUAL	SAN	SANITARY
FE	FIRST FLOOR ELEVATION	SCHD	SCHEDULE
FF	FLOW LINE	S.D.	SUMP DEPTH
FO	FIBER OPTIC	SQ	SQUARE
FT	FEET	ST	STORM
G	GAS	S.T.H.	STATE TRUNK HIGHWAY
G.F.E.	GROUND FLOOR ELEVATION	STM	STORM
GR	GRADE	T	TELEPHONE
HDPE	HIGH DENSITY POLYETHYLENE	T/C	TOP OF CURB
INL	INLET	U.S.H.	UNITED STATES HIGHWAY
INV	INVERT	V	VARIES
M	METER	W	WEST
MAX	MAXIMUM	WAT	WATER
MH	MANHOLE	WI	WISCONSIN
		WisDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION



## LOCATION MAP

N2385 MUNICIPAL DRIVE  
GREENVILLE, WI

NOT TO SCALE

# CIVIL SHEETS INDEX

- C1.0 COVER SHEET  
C2.0 EXISTING CONDITIONS  
C3.0 SITE PLAN  
C4.0 CEMETERY PLAT  
C5.0 EROSION CONTROL &  
LANDSCAPE PLAN  
C6.0 DETAILS

## LEGAL DESCRIPTION

PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 AND PART OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF THE FRACTIONAL SECTION 3, T21N-16E, TOWN OF GREENVILLE, OUTAGAMIE COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST 1/4 CORNER OF SECTION 3, T21N-R16E; THENCE N00°53'49"W, 455.33 FEET ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION; THENCE S89°37'49"W, 33.01 FEET TO THE WEST RIGHT OF WAY OF MUNICIPAL DRIVE AND THE POINT OF BEGINNING; THENCE CONTINUING S89°37'49"W, 1261.39 FEET TO THE EAST LINE OF OUTLOT 1 OF THE PLAT OF 1ST ADDITION TO CHAPEL HILL ESTATES, RECORDED IN CABINET K, PAGES 17 & 18 (DOC. #1713013), OUTAGAMIE COUNTY RECORDS; THENCE S01°39'33"E, 4.48 FEET ALONG SAID OUTLOT; THENCE S89°52'55"W, 6.95 FEET ALONG THE SOUTH LINE OF SAID OUTLOT; THENCE N01°14'34"W, 706.42 FEET ALONG THE WEST LINE OF SAID OUTLOT, SAID LINE ALSO BEING THE EAST LINE OF LOTS 47, 48, 49, 50, 51, 52 AND 53 OF SAID PLAT; THENCE N88°54'41"E, 1.82 FEET ALONG THE NORTH LINE OF SAID OUTLOT, SAID LINE ALSO BEING THE SOUTH LINE OF LOT 32 OF THE RECORDED PLAT OF CHAPEL HILL ESTATES, RECORDED IN CABINET I, PAGES 93 & 94 (DOC. #1592209), OUTAGAMIE COUNTY RECORDS; THENCE N01°39'31"W, 85.71 FEET ALONG THE EAST LINE OF SAID LOT; THENCE S89°52'54"E, 723.78 FEET ALONG THE SOUTH LINE OF LOT 25, 26, 27, 28, 29, 30 AND 31 OF SAID CHAPEL HILL ESTATES; THENCE N00°53'49"W, 130.88 FEET ALONG THE WEST LINE OF SAID LOT 22; THENCE S88°25'49"E, 284.20 FEET ALONG THE SOUTH LINE OF ANGEL HILL DRIVE AND THE SOUTH LINE OF LOT 1 OF VOLUME 34, CERTIFIED SURVEY MAPS, PAGE 5851 (DOC. #1806889), OUTAGAMIE COUNTY RECORDS; THENCE S89°31'56"E, 263.99 FEET ALONG SAID MAP TO THE WEST RIGHT OF WAY OF SAID MUNICIPAL DRIVE; THENCE S00°53'49"E, 918.16 FEET ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1,075,185 SQUARE FEET/ 24.68 ACRES, MORE OR LESS.  
PARCEL SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.

### SURVEYOR'S CERTIFICATE

I, RANDALL J. OETTINGER, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND MAPPED IN ACCORDANCE WITH AE-7 OF THE WISCONSIN ADMINISTRATIVE CODE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

RANDALL J. OETTINGER  
FEBRUARY 01, 2019

PLS-2349

## CIVIL GENERAL NOTES:

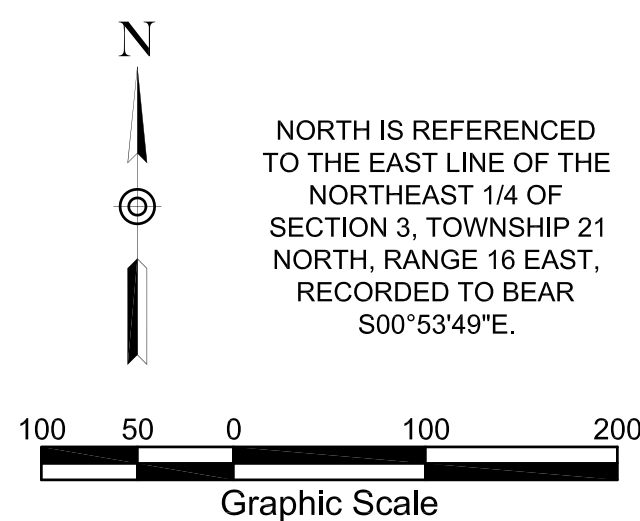
1. SURVEY WAS PERFORMED BY MACH IV ENGINEERING & SURVEYING LLC.
2. SURVEY VERTICAL DATUM IS OUTAGAMIE COORDINATE SYSTEM OF RECORD.
3. THIS SURVEY DOES NOT GUARANTEE THE EXISTENCE/ NON-EXISTENCE, SIZE, TYPE OR LOCATION OF UNDERGROUND UTILITIES. UTILITIES SHOWN ARE BASED ON ABOVEGROUND UTILITY STRUCTURES (I.E. VALVES, MANHOLES ETC.), AND AVAILABLE UTILITY MAPS AND PLANS.
4. UNLESS OTHERWISE INDICATED, ALL EXISTING STRUCTURES AND FACILITIES SHALL REMAIN.
5. PROVIDE TURF, AS SPECIFIED TO ALL DISTURBED AREAS NOT RECEIVING PAVEMENTS, CURBS, SIDEWALKS, BUILDINGS, OR LANDSCAPING, WITHIN THE LIMITS OF CONSTRUCTION.
6. NO LAND DISTURBING ACTIVITIES SHALL TAKE PLACE UNTIL ALL TEMPORARY SOIL EROSION DEVICES ARE INSTALLED.
7. ALL GRADE TRANSITIONS BETWEEN NEW AND EXISTING SHALL BE SMOOTH AND GRADUAL WITH NO SHARP OR ABRUPT CHANGES.
8. COORDINATE THE WORK OF ALL TRADES - VERIFY ALL FIELD CONDITIONS, QUANTITIES AND DIMENSIONS PRIOR TO COMMENCEMENT OF WORK. ANY DISCREPANCIES SHALL BE PROMPTLY BROUGHT TO THE ATTENTION OF THE ARCHITECT.
9. EXECUTE ALL WORK WITH CARE AS TO PROTECT FROM DAMAGE ADJACENT EXISTING FEATURES TO REMAIN. ANY SUCH DAMAGE SHALL BE REPAIRED OR REPLACED TO MATCH THE ORIGINAL CONDITION AS APPROVED BY THE ARCHITECT.
10. UNLESS REFERRED TO, OR INDICATED AS "EXISTING", ALL WORK SHOWN ON THESE DRAWINGS SHALL BE CONSIDERED AS NEW AND PROVIDED UNDER THIS CONTRACT.
11. FINISHED GRADE OF TOPSOIL (AFTER COMPACTION) SHALL BE 1/2" TO 1" BELOW TOP OF ABUTTING PAVEMENTS, SIDEWALKS, AND CURBING.
12. NO DISTURBANCE SHALL OCCUR OUTSIDE OF SITE LIMITS.
13. GENERAL CONTRACTOR SHALL OBTAIN APPROVAL FROM OWNER AND MUNICIPALITY PRIOR TO ANY LAND DISTURBANCE OUTSIDE THE CONSTRUCTION LIMITS.
14. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING WORK IN RIGHT OF WAY PERMITS.
15. NO HAZARDOUS MATERIALS WILL BE STORED ON-SITE.
16. FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0
17. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0
18. FOR NOTES SHOWN THUS, (T), SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.

# DIGGERS HOTLINE

CALL DIGGERS HOTLINE  
1-800-242-8511  
TOLL FREE

WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3  
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDERGROUND UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.



THIS MAP IS BASED ON THE CURRENT  
OUTAGAMIE COUNTY COORDINATE  
SYSTEM OF RECORD.

**MACHIV**  
ENGINEERING • SURVEYING • ENVIRONMENTAL

2260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767

[www.mach-iv.com](http://www.mach-iv.com)

ST. MARY OF THE IMMACULATE CONCEPTION PARISH

## 2019 EXTERIOR RENOVATIONS

COVER SHEET

REVISION DESCRIPTION

DATE: FEBRUARY 18, 2019

DRAFTED BY: RPH

CHECKED BY: JF

PROJECT NO.: 1063-02-18

DRAWING  
NUMBER

SHEET NUMBER

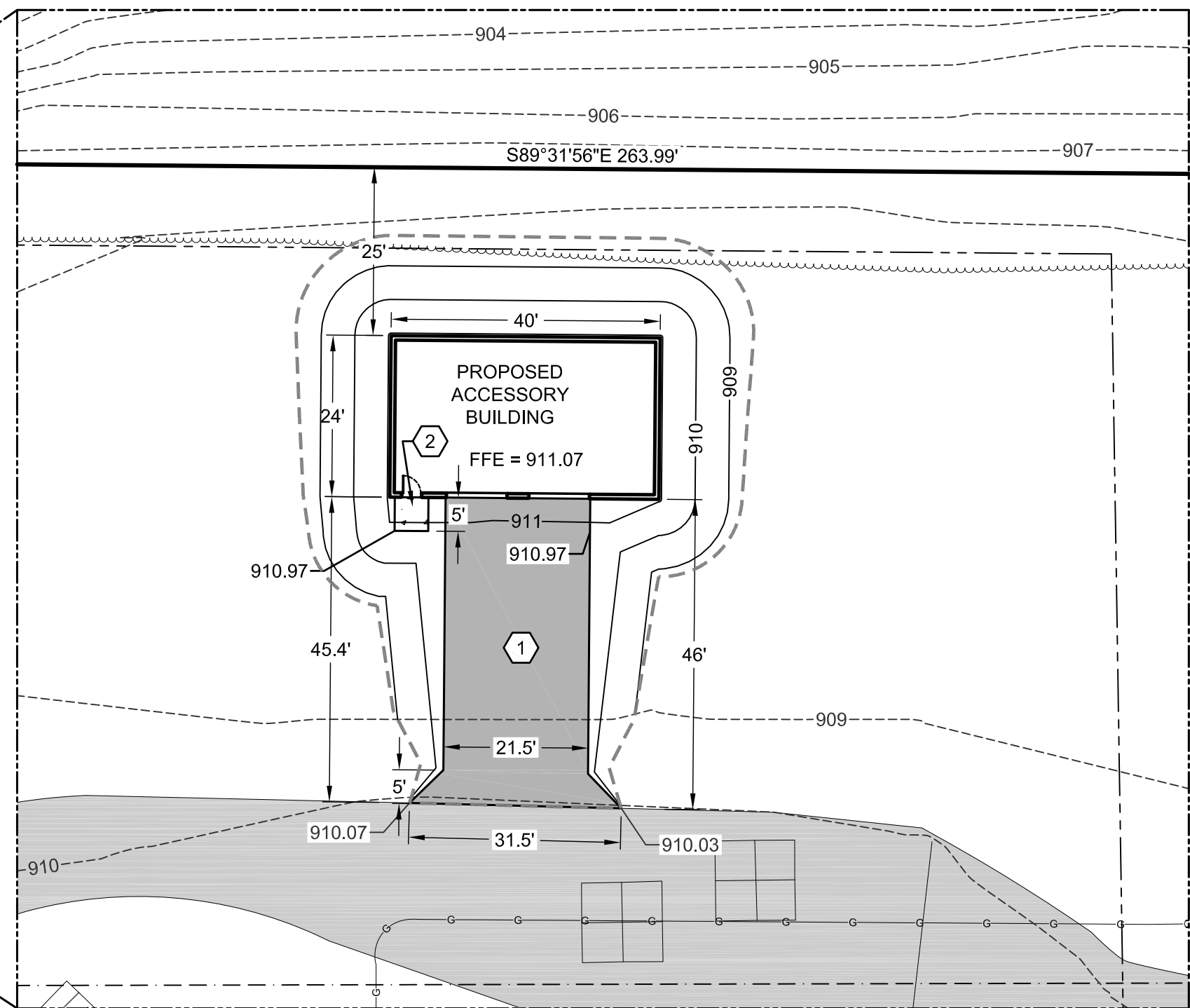
C1.0

OF 6

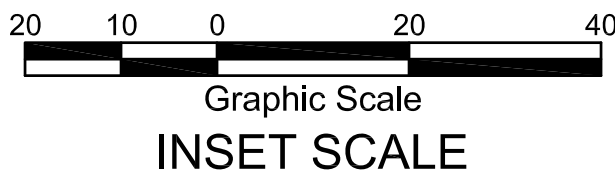








### INSET A



## SHEET KEY NOTES:

- 1 STANDARD DUTY ASPHALT; SEE DETAIL A THIS SHEET
- 2 STOOP LOCATION
- 3 2' X 12' MONUMENT SIGN
- 4 CEMETERY ADDITION

NOTES

1. C  
S

- NOTES
1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION.

## STANDARD DUTY ASPHALT PAVEMENT

## SITE STATISTICS

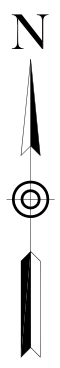
ADDRESS: N2385 MUNICIPAL DRIVE  
 PARCEL NO.: 11000850, 110008700, 110009300,  
 110009400, 110009503, & 110416400  
 TO BE COMBINED VIA CSM  
 PARCEL SIZE: 1,075,185 SF (24.68 AC)  
 ZONING: EXISTING AG TO BE REZONED R 1 /

SITE STATS ARE BASED ON INDIVIDUAL CONSTRUCTION / GRADING LIMITS

TOTAL DISTURBANCE = 38,526 SF (0.88 AC)

NEW IMPERVIOUS SURFACE = 4,974 SF

THIS MAP IS BASED ON THE CURRENT  
OUTAGAMIE COUNTY COORDINATE  
SYSTEM OF RECORD.



NORTH IS REFERENCED  
TO THE EAST LINE OF THE  
NORTHEAST 1/4 OF  
SECTION 3, TOWNSHIP 21  
NORTH, RANGE 16 EAST,  
RECORDED TO BEAR  
S00°53'49"E.



OWNER

ST. MARY'S CONGREGATION  
OF GREENVILLE  
N2385 MUNICIPAL DRIVE  
GREENVILLE, WI 54942



22260 Salscheider Court Green Bay, WI 54313  
PH:920-569-5765; Fax: 920-569-5767  
[www.mach-iv.com](http://www.mach-iv.com)

www.mach-iv.com

ST. MARY OF THE IMMACULATE CONCEPTION PARISH

# 2019 EXTERIOR RENOVATIONS

# SITE PLAN

REVISION DESCRIPTION

DATE: FEBRUARY 18, 2019

DRAFTED BY: RPH

CHECKED BY: JE

PROJECT NO.: 1063-02-18

DRAWING  
NUMBER

SHEET NUMBER

## C3.0

OF 6

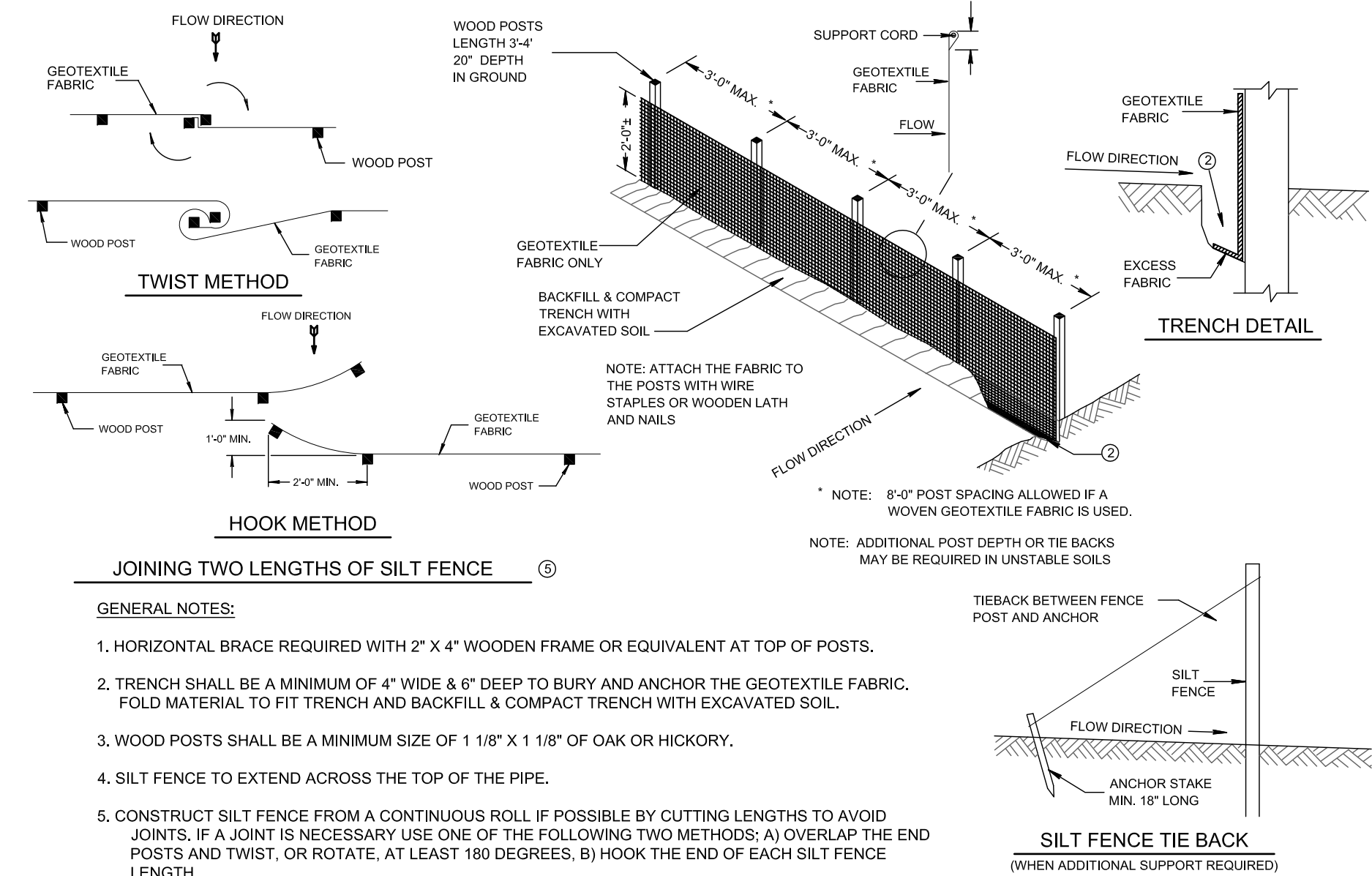




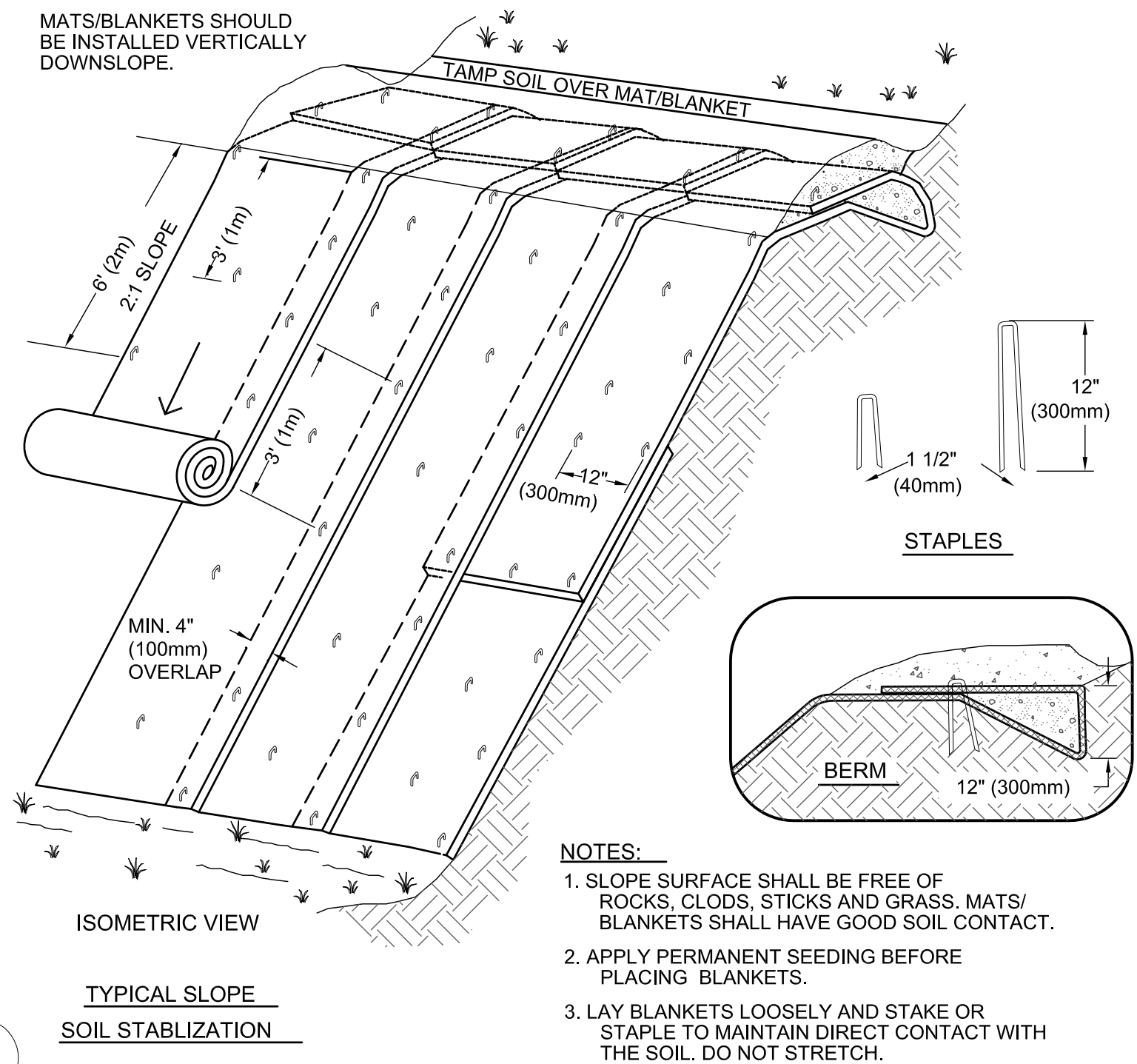






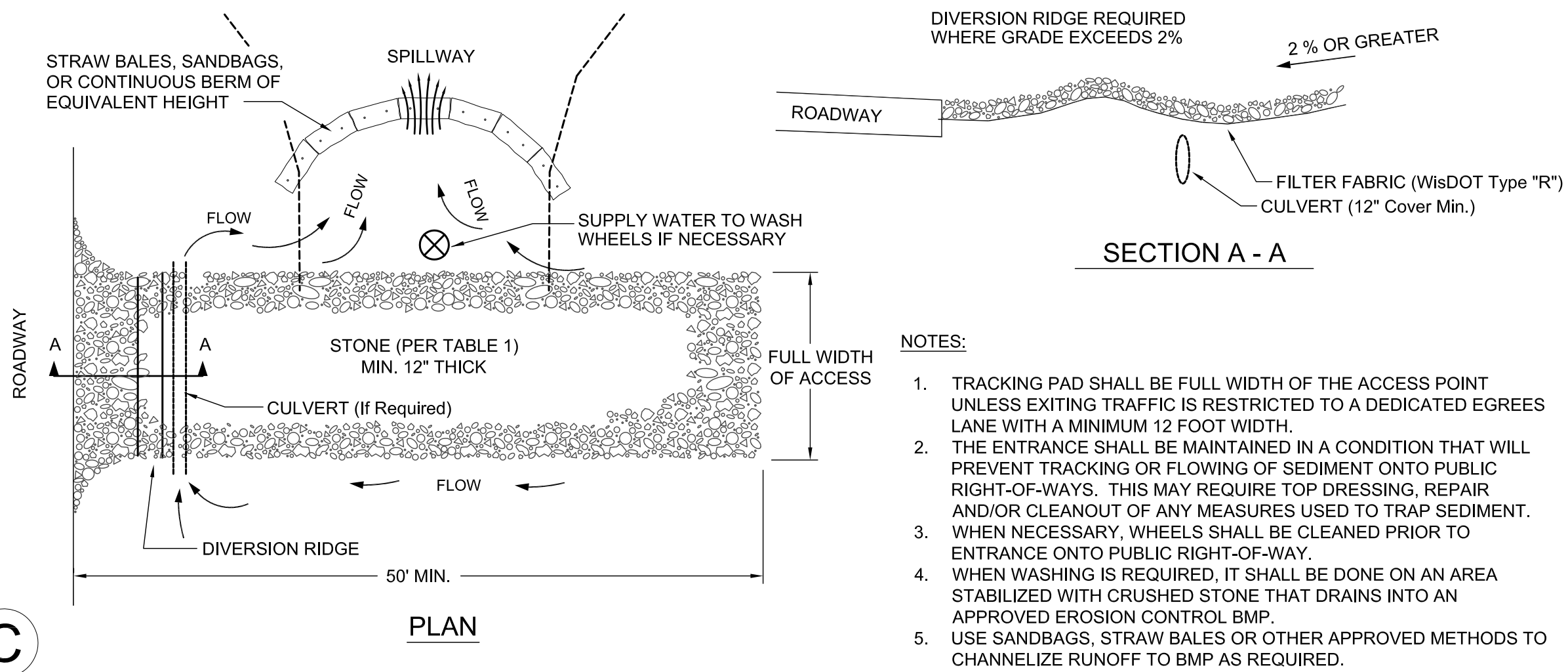


## A SILT FENCE



## B EROSION CONTROL MAT FOR SLOPE INSTALLATION

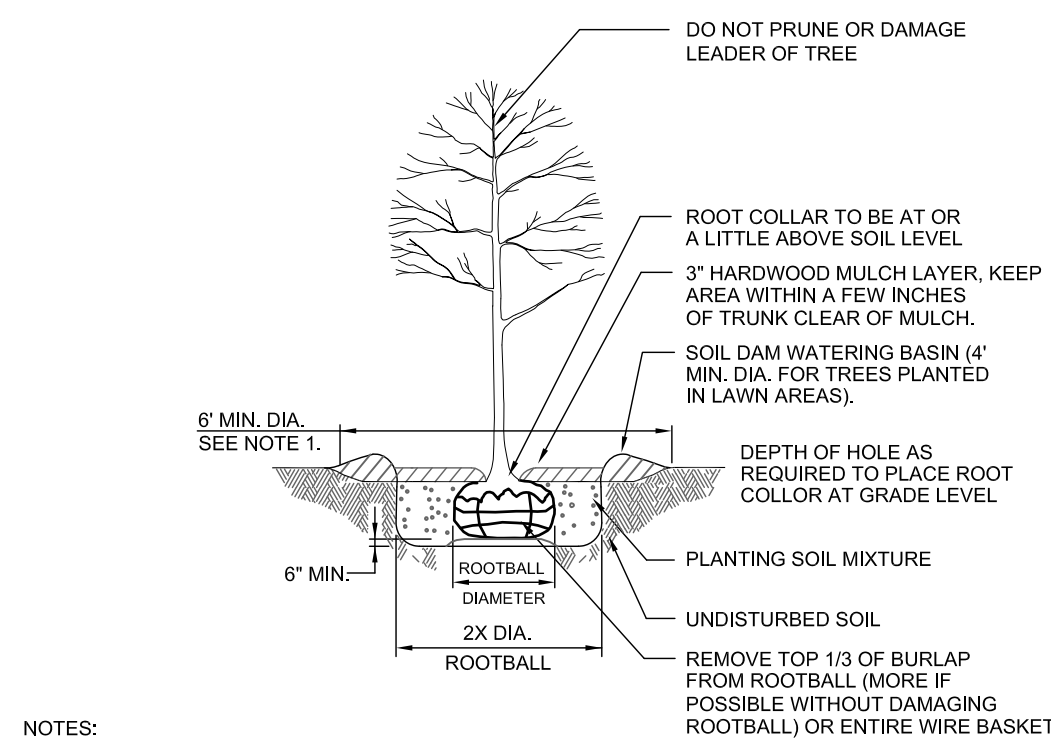
TABLE 1: GRADATION FOR STONE TRACKING PADS	
SIEVE SIZE	% PASSING BY WEIGHT
3"	100
2 1/2"	90-100
1 1/2"	25-60
3/4"	0-20
3/8"	0-5



## C STONE TRACKING PAD

## LANDSCAPE NOTES

- DIAMETERS OF PLANT MATERIALS AS DRAWN ARE REPRESENTATIVE OF PLANTS AT OR NEAR MATURITY RATHER THAN AT INITIAL PLANTING SIZES.
- THE PLANT LIST IS INTENDED AS A GUIDE FOR THE CONTRACTOR. IN THE EVENT OF DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE PLANT LIST AND ON THE DRAWING, THE GREATER NUMBER SHALL APPLY.
- ADJUSTMENTS IN LOCATIONS OF PLANT MATERIALS MAY BE NECESSARY DUE TO NEW OR EXISTING UTILITIES OR SITE OBSTRUCTIONS. REVIEW WITH ARCHITECT BEFORE ADJUSTMENTS ARE MADE.
- ALL SHRUBS OCCURRING IN CONTINUOUS ROW OR FORMAL ARRANGEMENT SHALL HAVE UNIFORM HEIGHT, SPREAD AND HABIT OF GROWTH. FOR GROUNDCOVER LOCATIONS, FILL AREA WITH QUANTITY OF PLANTS DESIGNATED; EVENLY SPACED.
- A MINIMUM OF 12" DEPTH OF 50% TOPSOIL AND 50% COMPOST SHALL BE PLACED IN ALL BED AREAS BY THE CONTRACTOR PRIOR TO PLANT INSTALLATION.
- MULCH TREES WITH MIN. 3" DEPTH OF GRAVEL OR HARDWOOD MULCH AS NOTED ON PLAN AND PER DETAILS. MULCH SHALL EXTEND IN A CONTINUOUS LAYER WITHIN PLANTING BEDS FROM FACE TO FACE OF SITE STRUCTURES - WALKS, BUILDING, OR OTHER PLANT BED LIMITS.
- PROTECT EXISTING LAWN AREAS; REPAIR ANY CONTRACT RELATED DAMAGE TO LAWN AREAS.
- THE CONTRACTOR SHALL MAINTAIN ALL PLANTS AND BEDS FOR A 60 DAY PERIOD AFTER ACCEPTANCE OF THE WORK BY THE ARCHITECT. THIS INCLUDES REGULAR WATERING, WEEDING AND MOWING.
- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIALS FOR ONE-YEAR FROM DATE OF ACCEPTANCE. BEFORE END OF WARRANTY PERIOD CONTRACTOR SHALL REPLACE ALL TREES, SHRUBS OR PLANTINGS NOT ALIVE OR IN A HEALTHY GROWING CONDITION.
- SEED ALL DISTURBED AREAS WITH Wdot No. 40 GRASS MIX.



## D TREE PLANTING DETAIL

DATE: FEBRUARY 18, 2019

DRAFTED BY: RPH

CHECKED BY: JE

PROJECT NO.: 1063-02-18

DRAWING  
NUMBER

SHEET NUMBER

C6.0

OF 6



# IFICATIONS

- 4MENT
- HITE)
- > ALUMINUM BACKED
- HITE ACRYLIC
- FLAT METAL LETTER
- V12
- IB)
- 7' 10"
- MATCH BUILDING
- CE & INSTALL
- T 22.2 SQFT
- 68 SQFT

Exhibit A - Resolution 23-19



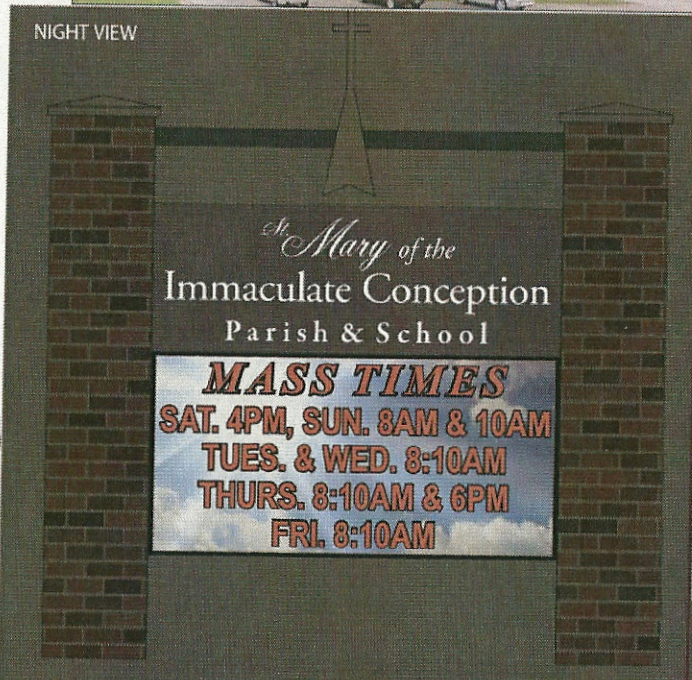
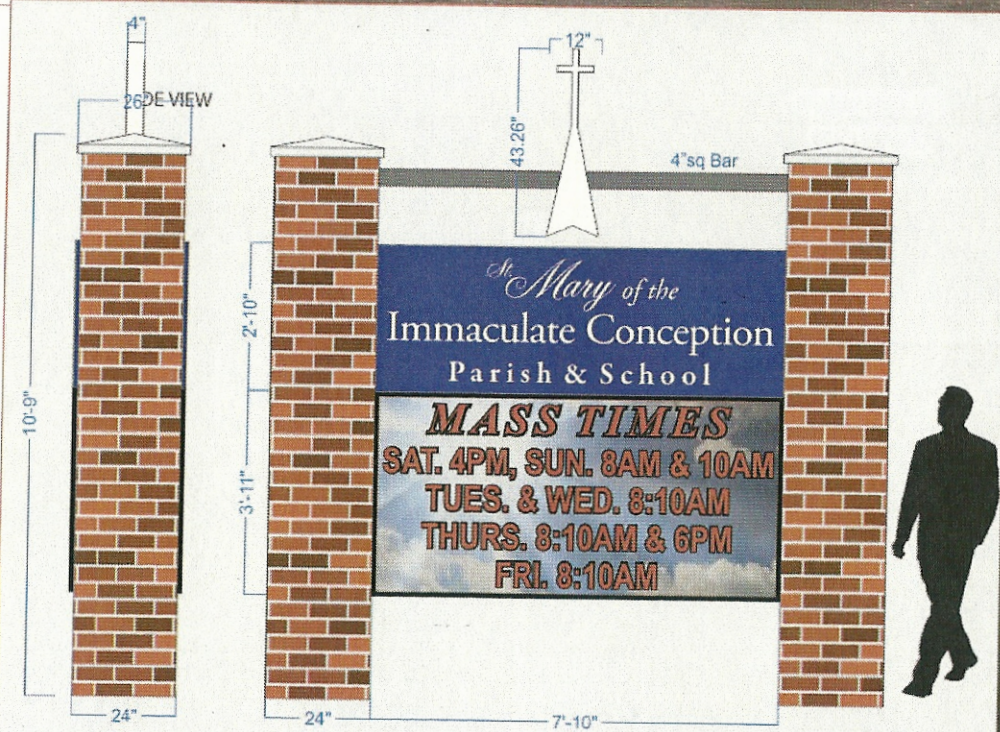
**FOX CITIES SIGN & LIGHT**

1125D W. W.  
Menasha,  
T: 920-37  
F: 920-22  
FoxCitiesS  
Sales@FoxCit

PROJECT NO: 381  
Client: St. Mary of the Conception  
Job Location: N 2 Drive, Greenville,  
Salesperson: Kristi  
Date: 1-3-2018  
Artist: Dana

© 2018 Fox Cities Sign & Lighting Services, LLC. This drawing is a proper not be produced, copied, or indirectly, nor used for permission. Failure to compensation to Fox C Services, LLC for desi

Color /  
Client Approval:  
Date:







*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Chairperson and Commission and Board Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** March 18, 2019  
**RE:** **Rezoning From General Commercial to Multi Family on Municipal Dr.**

**ACTION TYPE:** This item is for possible Planning Commission and Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** This parcel of land is immediately North of the future Fire Station parcel on Municipal Dr. The proposed zoning meets the Comprehensive plan as it lies within a "Mixed Use" Residential and Potential Commercial Corridor. In January 2018, the applicant submitted for rezoning from General commercial to multifamily for 2 8-unit apartment buildings. At that time, staff recommended approval as it met ordinance and comprehensive plan criteria, the application was denied by Planning Commission and Town Board. Also at that time, a citizen participation meeting was held and the neighbors suggested they might like smaller buildings. In response to that request, the applicant is reapplying for rezoning with a new site plan for 1 8-unit and 2 4-unit buildings. A concept plan has been provided to show a potential layout of the site as well as architectural renderings of the proposed buildings.

**SURROUNDING ZONING AND LAND USES:**

	Existing Zoning	Existing Land Use
North	Gen Commercial	Residential
South	Gen Commercial	Fire Station
East	1 & 2 Fam. Res.	Residential
West	1 Fam. Res.	Residential

**ITEMS FOR DISCUSSION:**

1. Consistency with the Comprehensive Plan: Recommendation 6.1.2 & 6.1.3 of the comprehensive plan identifies this area for residential and mixed use and is within Neighborhood F and therefore is consistent with the plan to rezone from general commercial to multifamily residential.

**STAFF RECOMMENDATION:** Staff recommends the Commission approve the request. If the Commission is in agreement, the following motion may be made:

1. ***Rezoning "Motion to recommend approval of Resolution 30-19 to the Town Board."***



###

**Attachments:**

1. Resolution 30-19
2. Draft Site Plan



## Resolution #30-19

### RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A REZONING OF PARCEL 110035300 FROM GENERAL COMMERCIAL TO R-3 MULTI FAMILY RESIDENTIAL LOCATED ON MUNICIPAL DR.

**WHEREAS**, a rezoning request has been applied for to rezone parcel 110035300 from General Commercial to Multi Family Residential as shown on Exhibit A; and

**WHEREAS**, the Planning Commission has found the request to be consistent with the Town of Greenville's Comprehensive Plan and recommended approval to the Town Board; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the request is consistent with the Town of Greenville's Comprehensive Plan and therefore approves the rezoning request.

This resolution was adopted by the Town of Greenville Town Board on the 25<sup>th</sup> day of March, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #30-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:



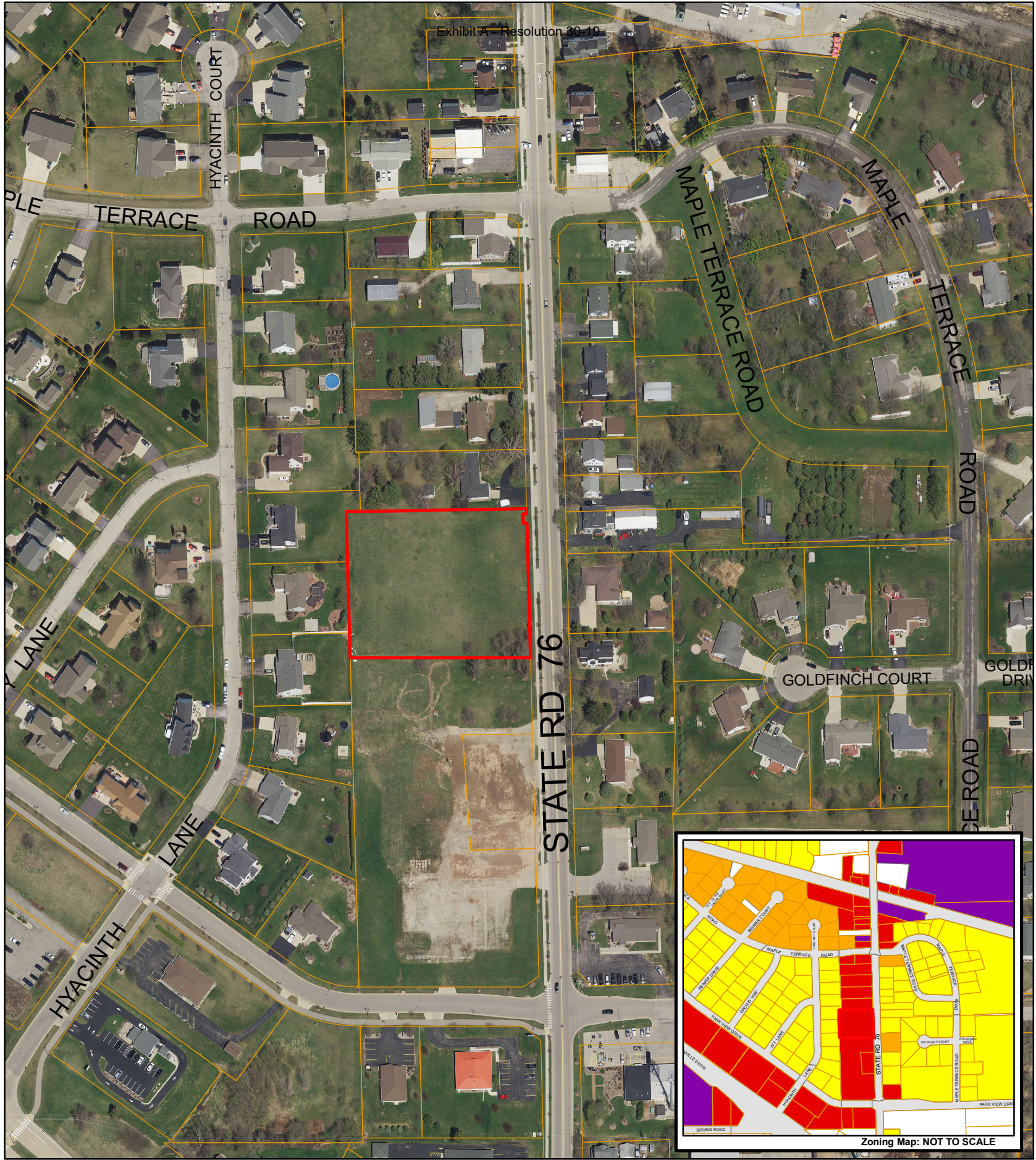
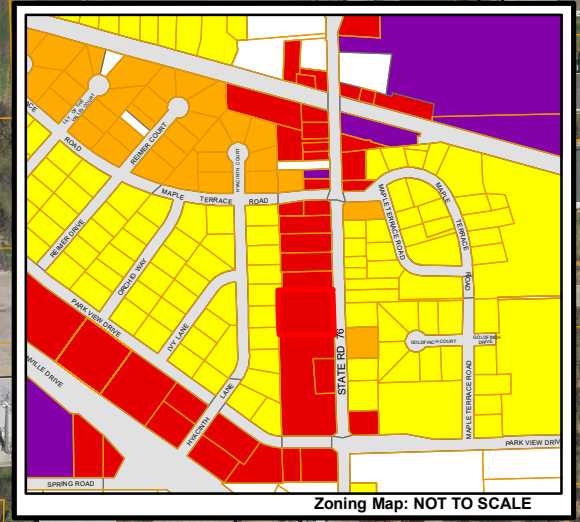


Exhibit A - Resolution 30-19



# Town of Greenville 2019\_RZ Rezone Parcel 110035300 from General Commercial to R-3 Multifamily Residential District






 Project Location



0 100 200 400 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

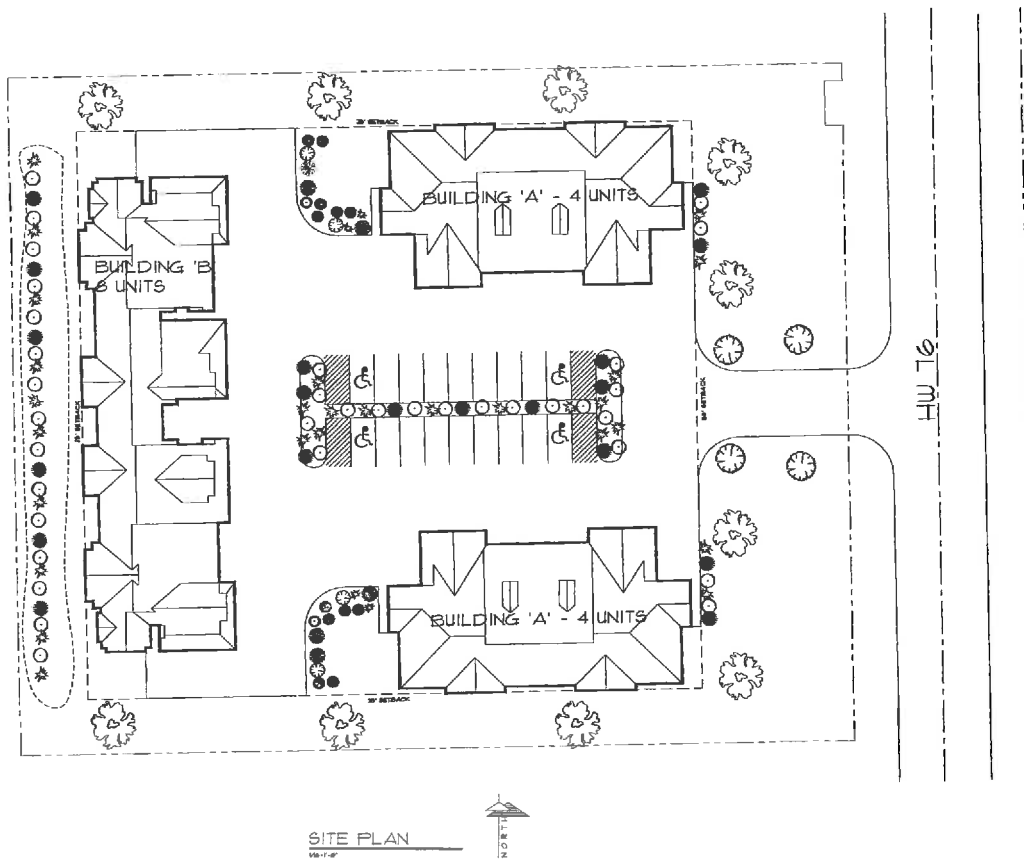
## Zoning

-  GENERAL AGRICULTURE
-  SINGLE FAMILY RESIDENTIAL
-  TWO FAMILY RESIDENTIAL
-  MULTI-FAMILY RESIDENTIAL
-  GENERAL COMMERCIAL DISTRICT

-  PLANNED COMMERCIAL
-  NEIGHBORHOOD COMMERCIAL DISTRICT
-  BUSINESS PARK
-  INDUSTRIAL
-  AIRPORT DISTRICT
-  Parcel Boundary

This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.









BUILDING 'A' - FRONT ELEVATION

1/4"=1'-0"

4 UNITS BUILDING





BUILDING 'B' - FRONT ELEVATION

1/4"=1'-0"

8 UNITS BUILDING



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** 6e  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Chairperson and Board and Commission Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** March 18, 2019  
**RE:** Landscape Ordinance Update

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**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** At the February 11, 2019 Town Board meeting staff was directed to prepare an amendment to the Landscape Ordinance. At the February 25, 2019 Planning Commission meeting staff informed the Commission about the Town Board's direction to modify the ordinance. Attached is ordinance 02-19 that updates the Landscape Ordinance. The following areas of the ordinance were modified:

1. Section 320-59 Applicability:
  - a. Additional zoning districts were added that were not included previously as well as language regarding the FAA and airport zoning district.
  - b. The Commission has the flexibility to provide relief for existing developments.
2. Section 320-62 Landscape Standards:
  - a. Street trees have been added as a requirement.
  - b. Foundation plantings have been added as a requirement.
  - c. Tree spacing and the amount of landscaping has been reduced to increase landscaping survivability.
  - d. Alternatives to curbed planting islands have been added and clarification on those requirements.
3. Section 320-64 Substitutions and Modification:
  - a. The Commission has the flexibility to provide relief from the landscape requirements.
4. Section 320-65 Installation, certification:
  - a. Installation/completion timelines have been included.

**STAFF RECOMMENDATION:** Staff recommends approval of the attached ordinance. If the Commission agrees it can make the following motion.

**Motion to recommend approval of Ordinance 02-19 to the Town Board**

###

**Attachments:**

1. Ordinance 02-19



**TOWN OF GREENVILLE  
ORDINANCE NO. 02-19  
LANDSCAPE STANDARDS**

**The Town Board of the Town of Greenville, Outagamie County does hereby ordain as follows:**

**Sections §320-58 through §320-67 of the Town of Greenville Code is hereby repealed and recreated as follows:**

**§ 320-58 Purpose.**

The purpose of this article is to enhance the appearance of the Town by improving the quality of landscaping, buffering and screening at commercial and industrial properties. Criteria and standards are provided to ensure that building sites and off-street parking areas are sufficiently landscaped to protect and preserve the appearance, character and value of surrounding properties and public right-of-way, thereby promoting the general welfare, safety and aesthetic quality of the Town of Greenville.

**§320-59 Applicability.**

- A. The provisions of this article shall apply to developments allowed as a permitted use, requiring site plan approval or a special use in the NC, GC, CP, BP, IND, AD (where permitted by the Federal Aviation Administration), R3 and any developments allowed as a special exception that are considered a commercial/industrial/business use in the AED, AGD, R1, and R2 districts.
- B. Any development occurring on vacant land shall be in full compliance with the provisions of this article.
- C. Existing occupied developments that do not conform to the provisions of this article may be continued until such time that any of the following occur. Flexibility on relief shall be allowed on a case by case basis, as approved by the Planning Commission, as the standards set in this article may not be able to be applied due to existing conditions. It is the intent to meet the standards in this article where practical. Landscaping shall be required whenever a site plan is required by Chapter 320.

**§ 320-61 Landscape plan requirements.**

Landscape plans submitted for review shall be drawn to an appropriate scale and shall include at a minimum the following information:

- A. The name and address of owner/developer, and name of the landscape architect/designer.
- B. Date of plan preparation, date and description of all plan revisions, name of project or development, scale of plan, and north marker.
- C. The location of all lot lines, locations of all existing and proposed easements and rights-of-way, and elevation, topography, and cross-section details as determined necessary by the Planning Commission.
- D. The location of all existing and proposed structures, parking and loading areas, parking spaces (numbered), driveways, sidewalks, ground signs, refuse disposal areas, fences, freestanding electrical and other utility equipment, and other site improvement features as determined necessary by the Planning Commission.
- E. The location and contours at one-foot intervals, of all proposed berms.
- F. The location, caliper size, and species (common and botanical name) of all existing plant material on



the site and designation of intended treatment.

- G. The location, caliper size at planting and species (common and botanical name) of all proposed plant materials, and location and description of all ground cover and turf grasses.
- H. A schedule of all new plants proposed for planting, and those existing plants that will be saved, including size (caliper, height, container size, etc.), condition (bare-root, balled-and-burlapped, container-grown, or preexisting), planned installation date, and common and botanical names (genus, species, and variety).
- I. A schedule itemizing the total square foot area of all greenspace proposed on the lot, the total square foot area of off-street parking, the number of off-street parking spaces, the number and square foot area of each interior island and peninsula.

**§ 320-62 Landscape standards.**

Landscaping required under this article shall be of the following types as specified below: Lot line & street tree landscaping, foundation plantings, curbed planting islands or peninsulas, buffer yard landscaping, and screening requirements:

- A. Lot line & street tree landscaping. A minimum twenty-foot front strip extending along the lot adjacent to all road right-of-way plus a minimum ten-foot strip along all other lot lines shall be landscaped as described below.
  - (1) Lot line landscape strips shall be planted with a minimum of one shade tree at fifty-foot centers (shade trees shall be defined as any tree with a mature height of 30 feet or greater), excluding driveway openings and vision triangles.
    - (a) Street Trees. In addition to lot line landscaping street trees shall be planted within the right-of-way along curbed public and private streets, including parking lot connections, circulation drives and loading areas and shall be located six to seven feet behind the curb (except as determined unfeasible by the Planning Commission or if prohibited by County or State Departments of Transportation).
  - (2) Where it is deemed appropriate or desirable to construct a berm in the lot line landscape strip in order to restrict view and/or to absorb noise, the Planning Commission may require this option for a landscape plan. The slope of the berm shall be minimally planted with variety of conifer species spaced 20 feet on center.
- B. Foundation Plantings. Landscaping is required for all building foundations in order to provide visual breaks in the mass of the building.
  - (1) Such foundation landscaping shall be placed along 30% of the buildings total perimeter, predominately near and along customer facades and entrances facing public streets.
  - (2) One ornamental tree (ornamental shall be defined as any tree having a mature height less than 30 feet) and a variety of five shrubs/annuals/perennials/ground cover or a combination of shall be planted for every 25 linear feet of building foundation planter area.
- C. Curbed planting islands or peninsulas shall be provided in off-street parking areas as described below.
  - (1) Parking spaces must be separated by a planting island or peninsula at the rate of one island/peninsula for each row of 12 consecutive parking spaces for single row configurations, or for each 24 consecutive parking spaces in double-row configurations.
  - (2) Each island or peninsula shall be at least 180 square feet in area for single-row configurations, and 360 square feet in area for double-row configurations.



- (3) One shade tree shall be planted in each island or peninsula.
- (4) Islands and peninsulas shall be placed at the ends of parking rows or along designated pedestrian circulation areas.
- (5) Alternatives.
  - (a) Planted boulevards within interior off-street parking areas may be considered as an alternative to islands and peninsulas.
  - (b) Parking spaces along the perimeter of the off-street parking areas may plant the required tree on the backside of the parking space every 12 spaces instead of installing an island or peninsula.

D. Buffer yard landscaping. Any commercial or industrial use that is adjacent to a residential use or zoning district shall provide a landscaped buffer yard along the full length of the affected side to afford protection to the residential uses from the glare of lights, from visual encroachment, and from the transmission of noise. Required buffer yards shall be landscaped as described below. Combinations of trees, shrubs, berms and fences shall create screening which is at least 50% impervious at planting to sight.

- (1) Buffer yards required for commercial shall be a minimum 10 feet wide and shall be planted with a variety of conifer species spaced 20 feet on center and a minimum of one shade tree at fifty-foot centers (shade trees shall be defined as any tree with a mature height of 30 feet or greater).
- (2) Buffer yards required for industrial developments shall be a minimum 25 feet wide and shall be planted with a double row of a variety of conifer species spaced 20 feet on center and a minimum of one shade tree at fifty-foot centers (shade trees shall be defined as any tree with a mature height of 30 feet or greater).
- (3) As an alternative to these buffer yard landscaping requirements, a six-foot-high sight-tight fence may be constructed near the lot line, with the remainder of the required buffer yard planted with a minimum of one shade tree at fifty-foot centers (shade trees shall be defined as any tree with a mature height of 30 feet or greater).
- (4) The required buffer yard shall be a greenspace where no portion of a building, parking, driving, loading, or storage area may be located.

E. Screening requirements. The intent of these requirements is to provide a visual screen around service, equipment, storage, and trash collections areas contained within commercial and industrial properties. At the time of installation or planting, screening materials of a variety of conifer plantings must be at least 50% impervious at planting to sight, and be sufficiently high and long to accomplish the desired blockage of view year round. These plantings shall be located adjacent to the area being screened.

- (1) As an alternative to the landscaping requirements, a six-foot-high sight-tight fence may be constructed near the lot line, with the remainder of the required strip planted with a minimum of one shade tree at fifty-foot centers (shade trees shall be defined as any tree with a mature height of 30 feet or greater). The required strip shall be a greenspace where no portion of a building, parking, driving, loading, or storage area may be located.
- (2) Trash collection areas. All exterior storage in refuse disposal areas, trash collection dumpsters, and trash pads on commercial and industrial properties shall be located and oriented to be as inconspicuous as possible. They shall be screened from view to all adjacent properties, all adjacent road right-of-way, and if located within commercial developments, from view to on-site entrance drives and parking areas. Screening materials may consist of the following:



- (a) A six-foot high sight-tight fence or wall; or
- (b) An evergreen screen (height, spacing, and variety to be determined and approved by the Planning Commission).

**§ 320-63 Planting specifications.**

Plant materials provided in conformance with the requirements of this article shall be equal to or better in quality than the standards of the American Association of Nurserymen. The minimum sizes of plant materials that shall satisfy the requirements of this article are as follows:

- A. Shade tree: 2 1/2-inch caliper.
- B. Ornamental tree: 1 1/2-inch caliper.
- C. Evergreen tree: five feet height.
- D. Shrub: 18 inches to 24 inches height or spread.

**§ 320-64 Substitutions and modifications.**

- A. To meet unique site design conditions or to overcome obstructions, conflicts, or other factors, the Planning Commission may approve planting substitutions as described below.
  - (1) Two ornamental trees may be substituted in place of one shade tree.
  - (2) Two evergreen trees may be substituted in place of one shade tree.
  - (3) One evergreen tree may be substituted in place of five shrubs.
  - (4) One shade tree may be substituted in place of 10 shrubs.
- B. While plant materials should generally be distributed proportionately on the lot in accordance with the standards of this article, the Planning Commission can require alterations and variations in the planting pattern, on a case-by-case basis, to maximize the effectiveness of the installed landscaping.
- C. Flexibility on relief may be provided in meeting the landscape standards as approved by the Planning Commission in cases where quantity and location of planting material would be difficult to install due to site/environmental or life/safety reasons or unique land uses being proposed for development. In these cases required plant material should be relocated elsewhere on the site if possible.

**§ 320-65 Installation; certification.**

All improvements required under this article shall be completed/installed prior to occupancy of the building or completion of the project if no building is constructed, unless occupancy/completion occurs during a non-planting season such as winter in which case improvements shall be completed during the next planting season but no later than July 1<sup>st</sup>. Completion/installation of required improvements may be deferred based on a schedule approved by the Planning Commission. Within 30 days of the installation of plant materials, the owner/developer shall request an inspection of the improvements to verify compliance with the approved plan.

**§ 320-66 Maintenance.**

The owner of the lot on which landscaping has been provided shall be responsible for protecting and maintaining all plant materials and landscape areas in a healthy and growing condition and shall be responsible for keeping them free from refuse, debris, and weeds. Failure to maintain or replace dead or diseased plant materials during the next appropriate planting period shall constitute a violation of the provisions of the Zoning Code.

**§ 320-67 Airport height limitation zones.**

Owners of lots within an Airport Overlay Zone should be aware of height restrictions set by Outagamie



County.

If this conflicts with any section within the Town of Greenville Municipal Code, this ordinance shall prevail.

This Ordinance shall take effect upon passage and publication.

Adopted this 25th day of March, 2019.

**TOWN OF GREENVILLE:**

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Jack Anderson

Town Chairperson

Attest:

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Wendy Helgeson

Town Clerk



**MEETING:** Town Board  
**DATE:** March 25 2019

**AGENDA ITEM #:** TB - 7a  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Brian Rickert, Public Works Director  
**Date:** 3/20/2019  
**RE:** Pavement Structure Options for Spring Road

**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Included in the 2019 Town of Greenville Capital Improvement Plan is the pulverizing and paving of Spring Road from Manley Road to North Road. Before the design of the roadway took place sub-surface soil borings were performed. The reason to perform the borings is to see the suitability of the soil below the roadway to support vehicle traffic and to determine the cause of the pavement failures. After review of the Soil Boring Report from the geotechnical engineer, it was determined that 7 of the 10 boring locations had silt, peat, organic material below the base course. In addition, the base course is sand not a gravel material, as you would commonly see as a standard for constructing a roadway.

In the early to mid-1900s, it was a common practice to "roll" the ditches to the center of the proposed roadway to create the roadway subgrade. Commonly top soil was not stripped leaving this organic material trapped under the roadway. Organics under the roadway is less than desirable for various reasons they break down over time at all different rates and they also have the ability to absorb moisture causing frost heaves.

There was four options that were presented to Town Board on March 11, 2019 after further discussion the Town Board requested an Engineer's Estimate be performed for placement of geotextile fabric to be placed below the subbase after pulverizing the existing pavement.

There are three revised options that currently exist:

- 1) MILL 2" AND PAVE 2" (~\$214,143)
  - a. Pros
    - i. Low Cost
    - ii. Increased Ride Quality
    - iii. Less Maintenance than the existing state
    - iv. Very Short Term Closure (1 to 2 weeks)
    - v. Construction can take place in the 2019 construction season
  - b. Cons
    - i. Mirror/Reflective Cracking within first 2 years of pavement life



- ii. Pavement will require a chip seal or other preventative maintenance to protect the surface from water infiltrating into the roadway base
- iii. Limited Life Span (10-15 Years)

2) FULL DEPTH PULVERIZE AND PAVE (~\$437,255)

- a. Pros
  - i. Current CIP plan and budgeted
  - ii. Mid-life span
  - iii. Limited maintenance for 10-15 years
  - iv. Short Term Closure (2 to 3 weeks)
  - v. Construction can take place in the 2019 construction season
- b. Cons
  - i. Contaminated subbase material will still be in place
  - ii. Organic material is still beneath roadway and will need to be addressed at some point in time.
  - iii. Middle Life Span (15-20 Years)

3) FULL DEPTH PULVERIZE AND PAVE W/ GEOTEXTILE FABRIC (~\$552,955)

- a. Pros
  - i. Mid to Long Life span
  - ii. Limited maintenance for 20-25 years
  - iii. Short Term Closure (4 to 5 weeks)
  - iv. Construction can take place in the 2019 construction season
  - v. Fabric has been a proven option to addressing poor sub-grade when major excavations are not preferred or feasible
  - vi. Have the ability to proof roll the sub-grade before placing sub-base material, after the proof roll is performed areas that are unstable will have the ability to be removed with ease.
- b. Cons
  - i. Contaminated subbase material will still be in place
  - ii. Organic material is still beneath roadway and will need to be addressed at some point in time.

**STAFF RECOMMENDATION:** Staff recommends the Board approve the roadway replacement methods as spelled out below. If the Board is in agreement, the following motion may be made: ***“Motion to fund an additional \$115,700 to perform a full depth pulverize and pave with the addition of geotextile fabric to Julius Road from Manley to North Road.”***

**POLICY/PLAN REFERENCE(S):**

1. Town Purchasing Policy – Adopted August 2017



**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$115,700

Is it currently budgeted or planned? No

Amount budgeted: \$0

Account #: ??????

**Attachments:**

1. Geotechnical Evaluation of Sub-Surface (2 Pages)
2. Engineers Estimate for Mill and Overlay
3. Engineers Estimate for Pulverize and Relay
4. Engineers Estimate for Pulverize and Relay with the addition of Geotextile Fabric





STREET	ADDRESS/LANE	LOCATION	BORING NUMBER	SURFACE YEAR (PASER RATINGS)	ASPHALT THICKNESS (IN)	BASE COURSE THICKNESS (IN)	SUBGRADE MATERIAL	COMMENTS	PROPOSED WORK TO BE COMPLETED	ALTERNATE WORK TO BE COMPLETED
Design Drive	150' East of Technical Drive (North) Int., EB Lane	Technical Drive to Tower View Drive	B-1	2002	5.0	11	Brown CLAY, with trace sand and gravel.	Base Course is Grayish brown SAND, with silt and trace gravel.		
	100' West of Technical Drive (South) Int., WB Lane	Technical Drive to Tower View Drive	B-2	2002	5.0	11	Brown CLAY, with trace sand.	Base Course is Grayish brown SAND, with silt and trace gravel.		
	W6380 Design Drive, WB Lane	Technical Drive to Tower View Drive	B-3	2002	4.0	10	Brown CLAY, with trace sand and gravel.	Base Course is Grayish brown SAND, with silt and gravel.		
	200' West of Tower View Drive Int., WB Lane	Technical Drive to Tower View Drive	B-4	2002	6.0	12	Grayish brown Gravelly SAND, with silt (1.5' to 3'), Brown SAND, with clay and clayey silt seams (3' to 5').	Base Course is Dark Brown SAND, with silt and trace gravel. Possible fill below (1.5' to 3').		
Spring Road - Phase One	200' East of Manley Road Int., WB Lane	Manley Road to North Road	S1-1	1988	8.0	8	Very dark brown SILT, with clay and gray fine sand seams (1.2' to 3'), Dark brown Silty CLAY, with fine sand and gray seams (3' to 5').	Base Course is Brown to Dark Brown SAND, with silt and trace gravel, moist. Possible topsoil/fill below (1.2' to 5').		
	W8048 Spring Road, EB Lane	Manley Road to North Road	S1-2	1988	6.0	7	Brown Sandy CLAY	Base Course is Brown to dark brown SAND, with silt and trace gravel.		
	800' East of W8048 Spring Road, WB Lane	Manley Road to North Road	S1-3	1988	8.0	8	Grayish brown SAND, with gravel and trace silt (1.2' to 3'), Black PEAT (3' to 5'), very dark brown Silty CLAY with brown fine sand seams (5' to 7').	Base Course is dark brown SAND, with silt and trace gravel. Possible fill, peat and topsoil below (1.2' to 7').		
	1000' East of W8048 Spring Road, EB Lane	Manley Road to North Road	S1-4	1988	8.0	8	Grayish brown SAND, with gravel and trace silt (1.4' to 2.5'), Black to very dark brown Organic Silt (2.5' to 4.5'), Gray Fine Sandy SILT (4.5' to 5').	Base Course is Brown SAND, with gravel and trace silt. Possible fill and Organic SILT below (1.4' to 4.5').		
	700' West of W7879 Spring Road driveway, WB Lane	Manley Road to North Road	S1-5	1988	6.0	8	Brown Fine SAND with gravel (1.2' to 3.5'), Dark brown Clayey SILT, with fine sand (3.5' to 5').	Base Course is Dark Brown Sand, with gravel and Silt. Possible fill below (1.2' to 5').		
	Field Entrance 300' west of W7879 Spring Rd driveway, EB Lane	Manley Road to North Road	S1-6	1988	7.0	10	Gray Silty SAND, with gravel and very dark brown silt seams (1.4' to 3'), Black Organic SILT (3' to 4'), Greenish brown Silty Fine SAND (4' to 5').	Base Course is Brown to dark brown SAND, with gravel and silt. Possible fill and organic silt below (1.4' to 4').		
	West Property Line of W7829 Spring Road, EB Lane	Manley Road to North Road	S1-7	1988	6.0	9	Grayish brown Gravelly SAND (1.3' to 3'), Black to very dark brown Organic SILT (3' to 5')	Base Course is Brown to dark brown SAND, with gravel and silt. Possible fill and organic silt below (1.3' to 5').		
	W7808 Spring Road, WB Lane	Manley Road to North Road	S1-8	1988	6.0	11	Dark brown Silty SAND with very dark brown seams and trace gravel (1.4' to 4'), Black PEAT (4' to 4.6'), Grayish brown CLAY (4.6' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill, peat, topsoil below (1.4' to 4.6').		



STREET	ADDRESS/LANE	LOCATION	BORING NUMBER	SURFACE YEAR (PASER RATINGS)	ASPHALT THICKNESS (IN)	BASE COURSE THICKNESS (IN)	SUBGRADE MATERIAL	COMMENTS	PROPOSED WORK TO BE COMPLETED	ALTERNATE WORK TO BE COMPLETED
	W7778 Spring Road, EB Lane	Manley Road to North Road	S1-9	1988	5.0	8	Very dark brown SILT, with brown silty fine sand seams (1.2' to 3'), Brown Silty Fine SAND, with clay and dark brown seams (3' to 5').	Base Course is Dark brown SAND, with gravel and silt. Possible fill, topsoil below (1.2' to 5').		
	W7735 Spring Road, WB Lane	Manley Road to North Road	S1-10	1988	5.0	13	Dark brown SILT, with sand and trace gravel (1.5' to 3'), Brown to dark brown Silty CLAY (3' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill below (1.5' to 5').		
Spring Road - Phase Two	W7690 Spring Road, EB Lane	North Road to Julius Drive	S2-1	1988	4.0	8	Very dark Brown Sandy CLAY, with trace gravel (1' to 1.5'), Brown CLAY, with trace sand (1.5' to 5').	Base Course is Brown Gravelly SAND, with silt. Possible topsoil below (1' to 1.5').		
	Spring Drive Intersection, EB Lane	North Road to Julius Drive	S2-2	1988	4.0	7	Dark Brown Silty CLAY, with gravel (0.9' to 4'), Brown CLAY, with trace sand (4' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill below (0.9' to 4').		
	W7608/W7618 Spring Road, WB Lane	North Road to Julius Drive	S2-3	1988	5.0	9	Dark brown Clayey SAND, with trace gravel (1.2' to 3'), Brown CLAY, with trace sand (3' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill below (1.2' to 3').		
	W7587 Spring Road, EB Lane	North Road to Julius Drive	S2-4	1988	4.0	10	Dark brown Silty CLAY (1.2' to 3'), Brown Silty CLAY, with dark brown seams (3' to 5').	Base Course is Brown SAND, with silt and trace gravel. Possible fill below (1.2' to 5')..		
	Linda Lou Court Intersection, WB Lane	North Road to Julius Drive	S2-5	1988	5.0	7	Very dark brown Clayey SILT (1' to 2.5'), Brown CLAY. With trace sand.	Base Course is Brown SAND, with silt and trace gravel. Possible fill below (1' to 2.5').		
	W7507 Spring Road, EB Lane	North Road to Julius Drive	S2-6	1988	4.0	11	Brown Fine Sandy SILT (1.2' to 3'), Brown CLAY (3' to 5').	Base Course is Brown SAND, with silt and trace gravel.		
	W7459 Spring Road, WB Lane	North Road to Julius Drive	S2-7	1988	4.0	9	Brown to dark brown Silty SAND (1.2' to 3'), Very dark brown Clayey SILT, with brown silty sand seams (3' to 5').	Base Course is Brown Sand, with gravel and silt. Possible fill below (1.2' to 5').		
	W7420 Spring Road, EB Lane	North Road to Julius Drive	S2-8	1988	5.0	9	Dark brown Clayey SAND, with gravel (0.9' to 3'), Brown CLAY, with trace sand and gravel (3' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill below (0.9' to 3').		
	Terrace Drive Intersection, WB Lane	North Road to Julius Drive	S2-9	1988	4.0	10	Brown Fine Sandy SILT, with dark brown seams and gravel (1.2' to 3'), Brown CLAY, with sand and gravel (3' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill below (1.2' to 5').		
	W7328 Spring Road, EB Lane	North Road to Julius Drive	S2-10	1988	4.0	11	Grayish brown Silty Fine SAND, with gravel and dark brown seams (1.3' to 3'), Brown to very dark brown Silty CLAY, with trace root matter (3' to 5').	Base Course is Brown SAND, with gravel and silt. Possible fill and topsoil below (1.3' to 5').		

\*\*\*ALL BORINGS ARE 5' DEEP\*\*

< 3.5" STANDARD ASPHALT THICKNESS

< 11" STANDARD BASE COURSE THICKNESS

BURIED TOPSOIL/ORGANICS





## Town of Greenville

Spring Road, from North Road to Manley Road

February 19, 2019

### Estimated Opinion of Probable Cost

#### Mill and Overlay Road Option

CONSTRUCTION METHOD IS TO MILL THE EXISTING ROADWAY 2" WITH A 2% CROWN CORRECTION, AND PAVE WITH 2" ASPHALT. ROADWAY HAS 11' LANES WITH 2' GRAVEL SHOULDERS. ROADWAY IS APPROXIMATELY 5,350 LF LONG

ITEM	QUANTITY	UNIT COST	TOTAL COST
MILL PAVEMENT, 2"	13300 SY	\$1.25	\$16,625
SHOULDERING	10700 LF	\$3.00	\$32,100
ASPHALT PAVING - 2"	1600 TON	\$70.00	\$112,000
EROSION CONTROL	1 LS	\$2,000.00	\$2,000
TRAFFIC CONTROL	1 LS	\$2,000.00	<u>\$2,000</u>
SUBTOTAL CONSTRUCTION			\$164,725
CONTINGENCY 10%			\$16,473
ENGINEERING AND ADMIN			<u>\$32,945</u>
<b>TOTAL CONSTRUCTION</b>			<b>\$214,143</b>





## Town of Greenville

Spring Road, from North Road to Manley Road

August 17, 2018

### Estimated Opinion of Probable Cost

#### Pulverize and Relay Road Option

CONSTRUCTION METHOD IS TO PULVERIZE AND RELAY THE EXISTING ROADWAY FULL DEPTH, TEST ROLL THE BASE COURSE, PATCH FAILING AREAS (ASSUMED 30% OF AREA), RESHAPE THE BASE TO RE-ESTABLISH A 2% CROWN, AND PAVE WITH 3.5" ASPHALT. ROADWAY HAS 11' LANES WITH 2' GRAVEL SHOULDERS. ROADWAY IS APPROXIMATELY 5,350 LF LONG

ITEM	QUANTITY	UNIT COST	TOTAL COST
PULVERIZE PAVEMENT	13300 SY	\$1.50	\$19,950
COMMON EXCAVATION, PATCHING - 12"	1330 CY	\$25.00	\$33,250
BASE COURSE - ROADWAY PATCHING - 12"	1330 CY	\$25.00	\$33,250
SUBGRADE REINFORCEMENT	4000 SY	\$2.00	\$8,000
SHOULDERING	10700 LF	\$3.00	\$32,100
FINE GRADING	13300 SY	\$1.00	\$13,300
ASPHALT PAVING - 3.5"	2750 TON	\$70.00	\$192,500
EROSION CONTROL	1 LS	\$2,000.00	\$2,000
TRAFFIC CONTROL	1 LS	\$2,000.00	<u>\$2,000</u>

SUBTOTAL CONSTRUCTION	\$336,350
CONTINGENCY 10%	\$33,635
ENGINEERING AND ADMIN	<u>\$67,270</u>

### **TOTAL CONSTRUCTION**

**\$437,255**





## Town of Greenville

Spring Road, from North Road to Manley Road

March 14, 2019

### Estimated Opinion of Probable Cost

#### Pulverize and Relay Road and Place Geotextile Fabric Option

CONSTRUCTION METHOD IS TO PULVERIZE AND RELAY THE EXISTING ROADWAY FULL DEPTH, ROLL THE TOP 12" OF BASE COURSE OFF ONE LANE, TEST ROLL SUBGRADE, PATCH FAILING AREAS (ASSUME 30% OF AREA, 6" DEEP), PLACE GEOTEXTILE FABRIC OR GRID, REPLACE BASE COURSE AND COMPACT, THEN COMPLETE THE SAME PROCESS ON THE OTHER LANE, RESHAPE THE BASE TO RE-ESTABLISH A 2% CROWN, AND PAVE WITH 3.5" ASPHALT. ROADWAY HAS 11' LANES WITH 2' GRAVEL SHOULDERS. ROADWAY IS APPROXIMATELY 5,350 LF LONG

ITEM	QUANTITY	UNIT COST	TOTAL COST
PULVERIZE PAVEMENT	13300 SY	\$1.50	\$19,950
EXCAVATION BELOW SUBGRADE, PATCHING - 6"	675 CY	\$25.00	\$16,875
BASE COURSE - ROADWAY PATCHING - 6"	675 CY	\$25.00	\$16,875
BASE COURSE - TOP DRESSING - 2"	750 CY	\$25.00	\$18,750
ROLL BASE COURSE OFF, THEN REPLACE AND COMPACT	4450 CY	\$10.00	\$44,500
SUBGRADE REINFORCEMENT/GEOGRID	13300 SY	\$5.00	\$66,500
SHOULDERING	10700 LF	\$3.00	\$32,100
FINE GRADING	13300 SY	\$1.00	\$13,300
ASPHALT PAVING - 3.5"	2750 TON	\$70.00	\$192,500
EROSION CONTROL	1 LS	\$2,000.00	\$2,000
TRAFFIC CONTROL	1 LS	\$2,000.00	<u>\$2,000</u>
SUBTOTAL CONSTRUCTION			\$425,350
CONTINGENCY 10%			\$42,535
ENGINEERING AND ADMIN			<u>\$85,070</u>
<b>TOTAL CONSTRUCTION</b>			<b>\$552,955</b>



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** TB - 8a  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski, Town Administrator  
**Date:** March 20, 2019  
**RE:** Fire & Safety Building Award of Contracts

**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Bids for contracts for the Fire and Safety Building project were opened on March 15, 2019 at 2:00 p.m. at the Town Hall. After the opening, bid tabulations were completed by the Town's construction manager, along with a recommendation of a bid award.

Twenty-four individual contracts were bid. The base bid total amounts to \$5,582,565. This was \$143,698 less than estimated on our final design review. Each qualified low bidder is included in the summary table. One specific contract did not receive a qualified bidder, Contract 09.67 Resinous Flooring. This contract will need to be rebid with our second bid packet which will include final landscaping. An allowance is being held to account for the lack of bids the resinous flooring and landscaping components.

The total cost for construction of the base bid, including all allowances, contingencies and fees is \$6,035,223. Add to the total our design consulting fees of \$347,025 (5.75% of Cost of Work) and fixtures, furniture & equipment of \$285,207, the complete project costs associated with the base bid brings to the total to: \$6,667,455. This figure includes the 5% contingency of \$279,128 and allowances of 107,313.

Summary Base Bid	Amount
Project Construction	\$6,035,223
Design Fees	\$347,025
FFE	\$285,207
Total Base Bid Costs:	\$6,667,455

Staff is recommending the Board consider adding Alternate #1 to the contract. This alternate adds an additional apparatus bay to the project at a cost of \$163,217. The cost to construct an additional apparatus bay in the future will never be this affordable in the future simply due to the fact that you will not need to construct two exterior walls at this time. In addition, staff recommends the Board provide the option to include Alternate #3, which provides the rear apron to the apparatus bay to be paved in



concrete vs bituminous asphalt. We would base the decision to proceed with this alternate based on the value saved on other programmed allowances. If the other allowances can produce a savings, the savings could be applied to Alternate #3.

The total cost for construction of the base bid with Alternate #1 and Alternate #3, including all allowances, contingencies and fees is \$6,232,485. Add to the total our design consulting fees of \$358,368 (5.75% of Cost of Work) and fixtures, furniture & equipment of \$307,858, the complete project costs associated with the base bid brings to the total to: \$6,898,711. This figure includes the contingency of \$279,128 and allowances of 107,313.

Summary Base Bid w/ Alt #1 & #3	Amount
Project Construction	\$6,232,485
Design Fees	\$358,368
FFE	\$307,858
Total Base Bid Costs:	\$6,898,711

Project financing will be provided by \$6,500,000 General Obligation Refunding Bond as approved by the Town Electors in August 2018. Additional funding may be provided from a combination of undesignated general fund balance, unassigned capital project fund balances or the remainder promissory notes or State Trust Fund loan proceeds.

**STAFF RECOMMENDATION:** Staff recommends the Board approve the award of contract to the lowest qualified bidder as presented for the contracts identified for the base bid and alternates #1 and #3 in the bid tabulations presented by Miron. If the Board is in agreement, the following motion may be made:

***“Motion to approve the award of contracts for the Fire and Safety Building as specified in the bid tabulation.”***

**POLICY/PLAN REFERENCE(S):**

- Town of Greenville Purchasing Policy, Adopted August 2017

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$6,898,711

Is it currently budgeted or planned? Yes, FY2019

Amount budgeted: \$6,500,000

Account #: 400-5722-820 – Fire & Safety Building Construction


JDG

###

**Attachments:**

1. Bid Summary – 3/19/2019
2. Bid Tabulations – 3/19/2019



<div><div></div><div>Town of Greenville New Fire Station</div><div>3/19/2019</div></div>							Add Additional Apparatus Bay	Add for Buildout of Living Quarters	Add for Concrete Rear Apron in lieu of Asphalt
Section Description		Subcontractor	Bid Day	\$ / SF	Budget	Over/Under	Alternate #1	Alternate #2	Alternate #3
--- Base Estimate ---									
31.00	Earthwork	August Winter & Sons, Inc. (includes 31.00 & 33.00)	\$ 497,950	\$ 21.19	\$ 270,887	\$ 227,063	\$ 3,500.00	\$ -	\$ -
32.14	Asphalt Paving	Northeast Asphalt, Inc.	\$ 103,985	\$ 4.42	\$ 95,169	\$ 8,816	\$ -	\$ -	\$ (8,575.00)
32.16	Site Concrete	De Arteaga Inc.	\$ 145,000	\$ 6.17	\$ 149,928	\$ (4,928)	\$ 7,300.00	\$ -	\$ 38,200.00
32.90	Seeding and Landscaping	*****Need Subcontractor*****	\$ 50,000	\$ 2.13	\$ 50,000	\$ -	\$ -	\$ -	\$ -
33.00	Site Utilities	August Winter & Sons, Inc. (includes 31.00 & 33.00)	\$ -	\$ -	\$ 129,795	\$ (129,795)	\$ -	\$ -	\$ -
03.30	Building Cast In Place Concrete	De Arteaga Inc.	\$ 325,900	\$ 13.87	\$ 452,134	\$ (126,234)	\$ 22,000.00	\$ -	\$ -
04.00	Masonry	Miron Construction Co., Inc.	\$ 886,458	\$ 37.72	\$ 901,640	\$ (15,182)	\$ 20,013.00	\$ -	\$ -
05.00	Steel Fabrication and Erection & Precast Concrete	Spirit Fabs, Inc.	\$ 489,492	\$ 20.83	\$ 505,020	\$ (15,528)	\$ 17,136.00	\$ -	\$ -
06.00	General Trades	Miron Construction Co., Inc.	\$ 269,864	\$ 11.48	\$ 372,151	\$ (102,287)	\$ 4,463.00	\$ 24,468.00	\$ -
07.20	Foamed-In-Place Insulation	Pro-Foamers, Inc	\$ 52,277	\$ 2.22	\$ 33,278	\$ 18,999	\$ 1,853.00	\$ -	\$ -
07.51	Roofing	Weinert Roofing	\$ 241,975	\$ 10.30	\$ 169,924	\$ 72,051	\$ 11,910.00	\$ 850.00	\$ -
07.90	Caulking	MJLP Drywall & Coatings Inc	\$ 20,650	\$ 0.88	\$ 9,635	\$ 11,015	\$ -	\$ -	\$ -
08.33	Overhead Doors	Overhead Door Co. of Appleton	\$ 89,308	\$ 3.80	\$ 59,550	\$ 29,758	\$ 17,401.00	\$ -	\$ -
08.40	Aluminum Windows, Entrances, Glass/Glazing	Omni Glass & Paint, Inc.	\$ 151,125	\$ 6.43	\$ 205,045	\$ (53,920)	\$ 6,930.00	\$ 1,316.00	\$ -
09.20	Gypsum Board Systems	H J Martin & Son, Inc.	\$ 258,780	\$ 11.01	\$ 303,816	\$ (45,036)	\$ -	\$ 19,565.00	\$ -
09.30	Tile	Maccos Commercial Interiors	\$ 49,967	\$ 2.13	\$ 33,938	\$ 16,029	\$ -	\$ -	\$ -
09.50	Suspended Acoustical Ceiling	Ver Halen, Inc.	\$ 31,499	\$ 1.34	\$ 31,460	\$ 39	\$ -	\$ 11,125.00	\$ -
09.65	Resilient Flooring, Base and Carpet	Maccos Commercial Interiors	\$ 29,341	\$ 1.25	\$ 45,936	\$ (16,595)	\$ -	\$ 19,383.00	\$ -
09.67	Resinous Flooring	*****Need Subcontractor*****	\$ 11,579	\$ 0.49	\$ 11,579	\$ -	\$ -	\$ -	\$ -
09.90	Painting and Wallcovering	Omni Glass & Paint, Inc.	\$ 58,830	\$ 2.50	\$ 76,868	\$ (18,038)	\$ 2,350.00	\$ 5,810.00	\$ -
21.00	Fire Suppression	Fireline Sprinkler LLC	\$ 49,200	\$ 2.09	\$ 39,408	\$ 9,792	\$ 2,800.00	\$ 2,200.00	\$ -
22.00	Plumbing	Hurckman Mechanical Ind., Inc.	\$ 430,272	\$ 18.31	\$ 262,214	\$ 168,058	\$ 16,023.00	\$ 15,856.00	\$ -
23.00	HVAC	Best Mechanical	\$ 585,800	\$ 24.93	\$ 643,848	\$ (58,048)	\$ 16,475.00	\$ 65,700.00	\$ -
26.00	Electrical	PJ Kampo Electric Inc.	\$ 390,000	\$ 16.60	\$ 509,727	\$ (119,727)	\$ 7,650.00	\$ 35,265.00	\$ -
	Unsuitable Soils Allowance	Allowance	\$ 20,000		\$ 20,000	\$ -	\$ -	\$ -	\$ -
	Monument Sign/Flagpole Allowance	Allowance	\$ 37,313		\$ 37,313	\$ -	\$ -	\$ -	\$ -
	WE Energy Allowance	Allowance	\$ 50,000		\$ 50,000	\$ -	\$ -	\$ -	\$ -
	General Conditions	Miron Construction Co., Inc.	\$ 154,120		\$ 154,120	\$ -	\$ -	\$ -	\$ -
	General Requirements	Miron Construction Co., Inc.	\$ 101,880		\$ 101,880	\$ -	\$ 4,500.00	\$ 4,500.00	\$ -
	--- Base Estimate --- Total		\$ 5,582,565		\$ 5,726,263	\$ (143,698)	\$ 162,304	\$ 206,038	\$ 29,625
	Subtotal Before Mark-Ups		\$ 5,582,565		\$ 5,726,263	\$ (143,698)	\$ 162,304	\$ 206,038	\$ 29,625
	Insurance Requirements		\$ 36,287		\$ 37,221	\$ (934)			
	Builders Risk Insurance		\$ 4,243		\$ 4,352	\$ (109)			
	Reproduction Expenses		\$ 4,000		\$ 4,000	\$ -			
	Project Contingency 5.00%		\$ 279,128		\$ 286,313	\$ (7,185)	\$ -	\$ -	\$ -
	Subtotal		\$ 5,906,223		\$ 6,058,149	\$ (151,926)	\$ 162,304	\$ 206,038	\$ 29,625
						\$ -			
	Pre-Construction Fee		\$ 6,500		\$ 6,500	\$ -	\$ -	\$ -	\$ -
	Construction Fee		\$ 92,500		\$ 92,500	\$ -	\$ 2,435	\$ 3,091	\$ 444
	Project Construction Total		\$ 6,005,223		\$ 6,157,149	\$ (151,926)	\$ 164,739	\$ 209,129	\$ 30,069
						\$ -	\$ -	\$ -	\$ -
	Performance and Payment Bond		\$ 30,000		\$ 30,000	\$ -	\$ 2,076	\$ 2,635	\$ 379
	Grand Total		\$ 6,035,223		\$ 6,187,149	\$ (151,926)	\$ 166,814	\$ 211,764	\$ 30,448





## Town of Greenville New Fire Station

3/19/2019

	Section Description	Subcontractor	Base Bid
31.00	Earthwork		
		Ostrenga Excavating, Inc.	\$ 387,571.00
		Gauthier + Sons Construction, Inc.	\$ 497,793.00
		August Winter & Sons, Inc. (includes 31.00 & 33.00)	\$ 497,950.00
32.14	Asphalt Paving		
		Northeast Asphalt, Inc.	\$ 103,985.00
32.16	Site Concrete		
		De Arteaga Inc.	\$ 145,000.00
		Martell Construction	\$ 179,900.00
		Sommers Construction Co.	\$ 271,231.00
32.90	Seeding and Landscaping		
		*****Need Subcontractor*****	\$ 50,000.00
33.00	Site Utilities		
		August Winter & Sons, Inc. (includes 31.00 & 33.00)	\$ -
		Scott DeNoble & Sons Construction Inc.	\$ 146,014.00
		Robert J Immel Excavating, Inc	\$ 231,150.00
03.30	Building Cast In Place Concrete		
		De Arteaga Inc.	\$ 325,900.00
		Cardinal Construction Co., Inc.	\$ 338,800.00
		Miron Construction Co., Inc.	\$ 377,886.00
04.00	Masonry		
		Miron Construction Co., Inc.	\$ 886,458.00
		Wm. A. Hein Construction Co., Inc.	\$ 897,114.00
05.00	Steel Fabrication and Erection & Precast Concrete		
		Spirit Fabs, Inc.	\$ 489,492.00
		Miron Construction Co., Inc.	\$ 497,377.00
		Ninsgern Steel	\$ 508,193.00
06.00	General Trades		
		Miron Construction Co., Inc.	\$ 269,864.00
07.20	Foamed-In-Place Insulation		

## Alternates

Alt. #1	Alt. #2	Alt. #3
Earthwork		
\$ 4,749.00	\$ -	\$ -
\$ 3,443.00		\$ 975.00
\$ 3,500.00		
Asphalt Paving		
\$ -	\$ -	\$ (8,575.00)
Site Concrete		
\$ 7,300.00	\$ -	\$ 38,200.00
\$ 6,900.00		\$ 59,900.00
		\$ 109,596.00
Seeding and Landscaping		
\$ -	\$ -	\$ -
Site Utilities		
\$ -	\$ -	\$ -
Building Cast In Place Concrete		
\$ 22,000.00	\$ -	\$ -
\$ 16,354.00		
\$ 18,087.00		
Masonry		
\$ 20,013.00	\$ -	\$ -
\$ 21,000.00		
Steel Fabrication and Erection & Precast Concrete		
\$ 17,136.00	\$ -	\$ -
\$ 18,496.00		
\$ 20,000.00		
General Trades		
\$ 4,463.00	\$ 24,468.00	\$ -
Foamed-In-Place Insulation		





## Town of Greenville New Fire Station

3/19/2019

Section Description	Subcontractor	Base Bid
	Pro-Foamers, Inc	\$ 52,277.00
<b>07.51 Roofing</b>		
	Weinert Roofing	\$ 241,975.00
	Crafts Inc.	\$ 248,847.00
<b>07.90 Caulking</b>		
	MJLP Drywall & Coatings Inc	\$ 20,650.00
	Quality Caulking	\$ 35,520.00
<b>08.33 Overhead Doors</b>		
	Overhead Door Co. of Appleton	\$ 89,308.00
	EZ Glide	\$ 179,100.00
<b>08.40 Aluminum Windows, Entrances, Glass/Glazing</b>		
	Omni Glass & Paint, Inc.	\$ 151,125.00
	Corcoran Glass & Paint, Inc.	\$ 155,254.00
	H J Martin & Son, Inc.	\$ 184,398.00
<b>09.20 Gypsum Board Systems</b>		
	H J Martin & Son, Inc.	\$ 258,780.00
	Ver Halen, Inc.	\$ 277,500.00
	Kohel Drywall LLC	\$ 288,178.00
<b>09.30 Tile</b>		
	Maccos Commercial Interiors	\$ 49,967.00
	H J Martin & Son, Inc.	\$ 56,835.00
	Gegare Tile Inc.	\$ 71,338.00
	Schleis Floor Covering, Inc. (includes 09.30 & 09.65)	\$ 94,901.00
<b>09.50 Suspended Acoustical Ceiling</b>		
	Ver Halen, Inc.	\$ 31,499.00
	H J Martin & Son, Inc.	\$ 33,448.00
	Acoustic Specialties Inc	\$ 34,895.00
	Acoustil Professionals, LLC	\$ 35,465.00
<b>09.65 Resilient Flooring, Base and Carpet</b>		
	Maccos Commercial Interiors	\$ 29,341.00
	Gegare Tile Inc.	\$ 34,726.00

## Alternates

Alt. #1	Alt. #2	Alt. #3
\$ 1,853.00	\$ -	\$ -
<b>Roofing</b>		
\$ 11,910.00	\$ 850.00	\$ -
\$ 35,595.00		
<b>Caulking</b>		
\$ -	\$ -	\$ -
		\$ 18,200.00
<b>Overhead Doors</b>		
\$ 17,401.00	\$ -	\$ -
<b>Aluminum Windows, Entrances, Glass/Glazing</b>		
\$ 6,930.00	\$ 1,316.00	\$ -
\$ 3,864.00	\$ 873.00	
	\$ 487.00	
<b>Gypsum Board Systems</b>		
\$ -	\$ 19,565.00	\$ -
	\$ 18,200.00	
	\$ 17,898.00	
<b>Tile</b>		
\$ -	\$ -	\$ -
	\$ 2,580.00	
	\$ 2,468.00	
	\$ 15,570.00	
<b>Suspended Acoustical Ceiling</b>		
\$ -	\$ 11,125.00	\$ -
	\$ 10,518.00	
	\$ 7,975.00	
	\$ 8,405.00	
<b>Resilient Flooring, Base and Carpet</b>		
\$ -	\$ 19,383.00	\$ -
	\$ 19,377.00	





## Town of Greenville New Fire Station

3/19/2019

Section Description			Subcontractor	Base Bid
			H J Martin & Son, Inc.	\$ 35,688.00
09.67	Resinous Flooring		*****Need Subcontractor*****	\$ 11,579.00
09.90	Painting and Wallcovering		Omni Glass & Paint, Inc.	\$ 58,830.00
			Corcoran Glass & Paint, Inc.	\$ 62,445.00
			MJLP Drywall & Coatings Inc	\$ 75,234.00
21	Fire Suppression		Fireline Sprinkler LLC	\$ 49,200.00
			United States Alliance Fire Protection	\$ 64,267.00
			J. F. Ahern Co.	\$ 66,950.00
22	Plumbing		Hurckman Mechanical Ind., Inc.	\$ 430,272.00
			Jim's Plumbing & Heating, Inc.	\$ 452,395.00
			Johnson & Jonet	\$ 470,600.00
			Bassett Mechanical	\$ 481,727.00
			Reeke - Marold Co., Inc.	\$ 495,000.00
			August Winter & Sons, Inc.	\$ 521,050.00
23	HVAC		Best Mechanical	\$ 585,800.00
			A & J Mechanical Contractors, Inc.	\$ 635,883.00
			Ama Heating + Air	\$ 662,893.00
			Baumgart Mechanical Inc.	\$ 667,250.00
			Johnson & Jonet	\$ 675,000.00
			Reeke - Marold Co., Inc.	\$ 689,000.00
			Engelos Heating + Cooling	\$ 699,000.00
			Bassett Mechanical	\$ 800,622.00
			August Winter & Sons, Inc.	\$ 847,740.00
26	Electrical		PJ Kampo Electric Inc.	\$ 390,000.00
			Electrical Synergies LLC	\$ 476,332.00
			Elmstar Electric Corporation	\$ 746,884.00

## Alternates

Alt. #1	Alt. #2	Alt. #3
	\$ 13,980.00	
Resinous Flooring		
\$ -	\$ -	\$ -
Painting and Wallcovering		
\$ 2,350.00	\$ 5,810.00	\$ -
\$ 3,900.00	\$ 8,600.00	
\$ 1,886.00	\$ 5,867.00	
Fire Suppression		
\$ 2,800.00	\$ 2,200.00	\$ -
\$ 1,161.00	\$ 3,446.00	
\$ 2,370.00	\$ 3,150.00	
Plumbing		
\$ 16,023.00	\$ 15,856.00	\$ -
\$ 22,320.00	\$ 11,370.00	
\$ 14,525.00	\$ 10,300.00	
\$ 16,334.00	\$ 22,875.00	
\$ 16,708.00	\$ 45,847.00	
\$ 12,295.00	\$ 3,800.00	
HVAC		
\$ 16,475.00	\$ 65,700.00	\$ -
\$ 16,762.00	\$ 77,702.00	
\$ 7,155.00	\$ 79,590.00	
\$ 71,100.00	\$ 11,250.00	
\$ 12,200.00	\$ 85,300.00	
\$ 24,000.00	\$ 84,000.00	
\$ 8,500.00	\$ 51,500.00	
\$ 12,496.00	\$ 65,652.00	
\$ 20,519.00	\$ 74,183.00	
Electrical		
\$ 7,650.00	\$ 35,265.00	\$ -
\$ 12,779.00	\$ 44,331.00	
\$ 12,992.00	\$ 59,291.00	



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** TB - 8b  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Tony Nowak, Director of Parks, Recreation and Forestry  
**Date:** March 25, 2019  
**RE:** Sports Complex – Grading Plan

**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Since the completion of the master plan for the Sports Complex, staff has met with the Board and user groups to gain guidance moving forward with the project. While the total project cost as presented is overwhelming, we believe there is consensus that the master plan captures the vision for the park in general. There may be ways to reduce the overall cost but the amenities presented are what is desired by the community and user groups. In meeting with Fox Cited United, they are ready to move forward with constructing the indoor practice facility and have begun a fund raising campaign to do so. While they are ready, there are some things we need to accomplish first. We are currently working with Cedar on a CSM for the property and gaining DOT access for the property. The next step for moving forward with the project is to complete a grading plan for the project. While we know where the indoor facility needs to be located on the property, we need a grading plan to tell us at what elevation the building should be constructed. The grading plan would also assist with planning for the phasing of the project as there is significant grading that likely needs to be done throughout the park.

**STAFF RECOMMENDATION:** Staff recommends the Board approve contracting with Rettler Corporation to complete a Grading Plan for the Sports Complex as proposed. If the Board is in agreement, the following motion may be made: ***"Motion to approve contracting with Rettler Corporation to complete a grading plan for the Sports Complex."***

**POLICY/PLAN REFERENCE(S):** N/A

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$45,000  
Is it currently budgeted or planned? Yes, FY2019  
Amount budgeted: \$50,000  
Account #: 400-5762-810-1905

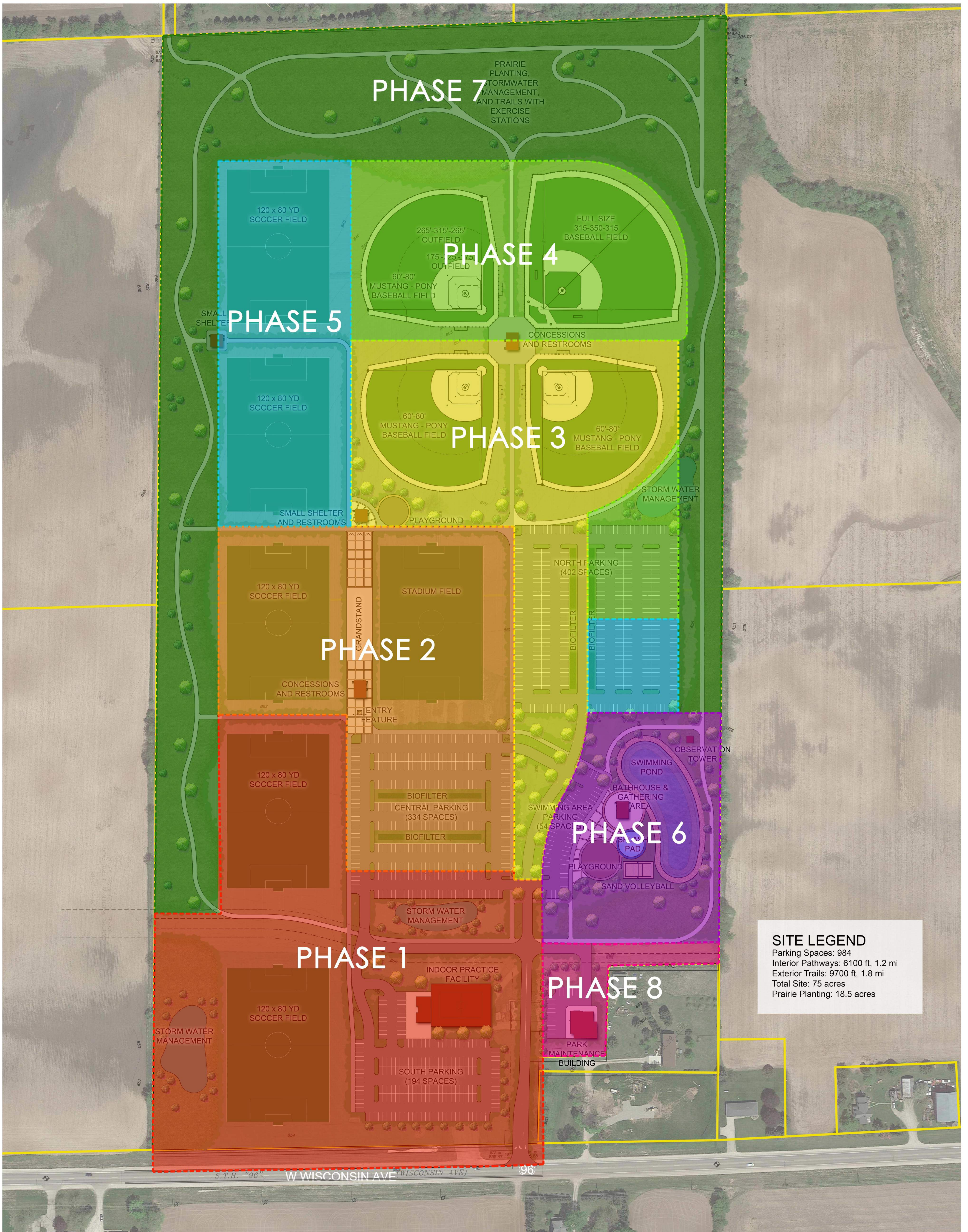
###



**Attachments:**

1. Sports Complex Master Plan – Final Concept with Phasing



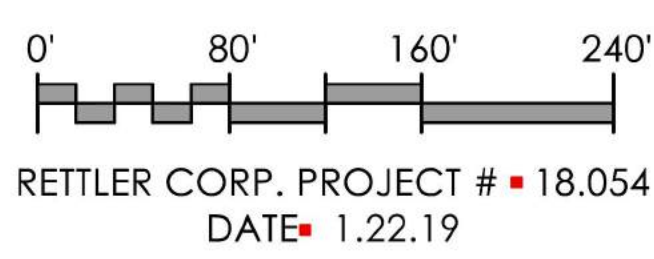


# TOWN OF GREENVILLE

## GREENVILLE SPORTS COMPLEX MASTER PLAN

### PREFERRED CONCEPT ■ PHASING PLAN

#### OUTAGAMIE COUNTY ■ WI





**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** TB - 8c  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

---

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski, Town Administrator  
**Date:** March 20, 2019  
**RE:** 2019 Law Enforcement Contract

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**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Attached is the contract for services agreement for law enforcement services with Outagamie County. As a matter of procedure, the Town Board should formally adopt this agreement in accordance with the Town's purchasing policy.

The contract terms are consistent with the adopted budget for 2019 moving our assigned deputy to a full-time position beginning March 1, 2019.

**STAFF RECOMMENDATION:** Staff recommends the Board approve the 2019 Law Enforcement Contract with Outagamie County. If the Board is in agreement, the following motion may be made: ***"Motion to approve 2019 Law Enforcement Contract with Outagamie County as presented."***

**POLICY/PLAN REFERENCE(S):**

1. Town Purchasing Policy – Adopted August 2017

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$76,972 (annually)  
Is it currently budgeted or planned? Yes, FY2019  
Amount budgeted: \$80,839  
Account #: 100-5210-210

JDG

###

**Attachments:**

1. 2019 Agreement for Enhanced County Law Enforcement Services in the Town of Greenville.



AGREEMENT FOR ENHANCED  
COUNTY LAW ENFORCEMENT SERVICES  
IN THE TOWN OF GREENVILLE

THIS AGREEMENT is entered into between Outagamie County ("County") and the Town of Greenville ("Town").

1. The County, through its Sheriff's Department, will provide enhanced law enforcement services in the Town beginning on January 1, 2019 and ending December 31, 2019. The terms of this agreement may be terminated by either Party with sixty (60) days written notice being provided to the other Party.
2. The enhanced law enforcement services in the Town shall consist of dedicated patrols and law enforcement activities. Specific hours and areas of law enforcement activities shall be determined by the Town and the Sheriff's Department utilizing the scheduling parameters detailed in "a", "b", "c" and "d" below. The Sheriff reserves the right and ability, in case of an emergency to pull the assigned deputy from assignment in the Town, and have them respond to said emergency
  - a. Effective January 1, 2019, one officer assigned as the Town Deputy, working four (4) hours on each of his/her scheduled shifts, specifically designated as the "Town" officer. The expected hours the officer will be assigned to the "Town" will typically be 300PM – 700PM, with the ability to reassign the four hours worked with the Town, to another four hours within the normal "2<sup>nd</sup> shift" hours (currently set as 130pm – 1020pm), when mutually agreed upon by both the Town and the County (ie. 620PM – 1020PM).
  - b. Effective March 1, 2019, one officer assigned as the Town Deputy, working eight (8) hours fifty (50) minutes on each of his/her scheduled shifts, specifically designated as the "Town" officer. The expected hours the officer will be assigned to the "Town" will typically be 130PM – 1020PM, with the ability to flex the hours worked by four hours at the beginning of the shift in either direction, consistent with the OCDSA



collective bargaining agreement, when mutually agreed upon by both the Town and the County (ie. 930AM – 620PM or 530PM – 220AM).

- c. The assigned “Town” officer will work a five-day on and three-day off work week.
  - d. During special events within the Town, the officer’s schedule may be adjusted to grant time off, in order to work the special event, when mutually agreed upon by both the Town and the County.
3. If the Deputy assigned to the “Town” should be injured, sick, attending training, or otherwise unavailable for patrol service for a period in excess of three (3) scheduled work days, the “Town” shall have the option of requesting a substitute Deputy at the established overtime / benefits rate. The “Town” may also request instead that the County fill the vacant “Town” position with other available Deputies, when the County determines that staffing levels allow for the filling of such positions, without overtime costs being incurred by either party.
4. The Sheriff shall have supervisory control over personnel providing the law enforcement services. The Sheriff shall retain the final authority to make decisions as to the manner in which such services shall be rendered. The deputies are and shall remain employed by the County.
5. The County shall use the Uniform Traffic Citation forms for the State, via the TraCS system, for state, county and town traffic violations. For other offenses, the County shall use the Outagamie County Municipal Court Citation and Complaint forms. If it is determined necessary for the Sheriff’s Department to enforce town ordinances, such violations shall be prosecuted by the Town Attorney.
6. The Town shall pay the County the sum of \$76,972 for the time used as per paragraphs one (1) two (2) and three (3) above, as detailed in the attached Exhibit A, “Town of Greenville 2019 costs, which is hereby incorporated.” These costs include officer salary, vehicle costs and administrative fees as detailed in the exhibit.
7. The County reserves the right to modify the costs detailed in paragraph six (6) above to reflect any collective bargaining settlements affecting the salaries, fringe benefits, and any other increased costs for the deputies assigned to work in the



Town of Greenville, which takes place during the contract period. In addition the County will bill the Town retroactively for a period of up to eighteen (18) months for any increased costs for any Deputy assigned to work in the Town of Greenville due to such collective bargaining settlements for previous hours worked for the Town. The Town agrees to pay all additional charges set forth in this paragraph.

8. The Town agrees to hold harmless and/or indemnify the County and the Sheriff's Department, and provide for defense for any claim brought against the County, department, or any County office founding in or arising from the negligence or improper conduct of any Town official, agent or employee. Outagamie County agrees to hold harmless and/or indemnify the Town, and provide defense for any claim brought against the Town or any officer, agent or employee of the Town founding or arising from the negligence or improper conduct of any County officer, agent or employee.
9. This agreement constitutes the full and complete understanding and entire agreement between the Parties and shall supersede all prior agreements or understandings, whether oral or written, between the Parties with respect to the subject matter herein. This agreement may not be modified, amended or discharged orally and any such modification, amendment or discharge must be in writing and signed by both Parties.
10. Nothing in this agreement shall constitute a waiver or limitation of any immunity or limitation on damages conferred by law, by either Outagamie County or the Town of Greenville.

**TOWN OF GREENVILLE**

By: \_\_\_\_\_

Chairperson

Attest: \_\_\_\_\_

**OUTAGAMIE COUNTY**

By:  \_\_\_\_\_

Outagamie County Sheriff

By:  \_\_\_\_\_



Greenville Town Clerk

Outagamie County Board Chair

By: Don J. O'Brien

Outagamie County Clerk

By: T. M.

Outagamie County Executive

Approved as to form:

By: [Signature] 2/19/19

Corporation Counsel



**Town of Greenville 2019 Costs**  
**Exhibit A**

	From 1/1/19 to 2/28/19 currently at 4 hours/day	Effective 3/1/19 Full-shift	Total
<b>2019 Estimate:</b>			
Salary \$25.811/hr (2,055 hours)	\$4,027	\$44,202	\$48,228
Fringe Benefits (33.94%)	<u>\$1,367</u>	<u>\$15,006</u>	<u>\$16,372</u>
Estimated Salary & Fringe Benefits	\$5,393	\$59,208	\$64,601
 Vehicle Costs (1)			
Lease	\$591	\$4,750	\$5,341
Fuel	\$312	\$2,500	\$2,812
Maintenance	<u>\$105</u>	<u>\$833</u>	<u>\$938</u>
Estimated Vehicle Costs	\$1,008	\$8,083	\$9,091
 Subtotal of Estimated Costs	\$6,401	\$67,291	\$73,692
5% Administrative Fee on Salary & Fringe	<u>\$320</u>	<u>\$2,960</u>	<u>\$3,280</u>
Total Estimated	\$6,721	\$70,251	\$76,972



**MEETING:** Town Board  
**DATE:** March 25, 2019

**AGENDA ITEM #:** TB - 8d  
**ACTION TYPE:** Receive & File



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski, Town Administrator  
**Date:** March 20, 2019  
**RE:** Request for Over Depth Expense for Sanitary Sewers in Savannah Heights

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**ACTION TYPE:** This item is for possible Town Board Receipt and Filing.

**BACKGROUND & SUMMARY:** Attached is a request from John Davel on behalf of Dercks DeWitt, LLC to provide compensation to construct sanitary sewers built in the Savannah Heights subdivision. Mr. Davel claims the expense relates to making the sanitary sewer deep enough to serve the Ebben property to the east, more so than what would have been needed for the Savannah Heights plat alone.

The Town is under no obligation to grant this request. The Owner/Subdivider Dercks DeWitt, LLC agreed to construct and complete all required public improvements at its sole expense, within two years of the date of Final Plat approval. The Development Agreement was recorded on August 10, 2018 and is attached for your records. Furthermore, Chapter 270 of the Town Code requires the land divider/subdivider to furnish and construct improvements at the land divider's/subdivider's sole cost and in accordance with the plans and specifications and usual contract conditions.

**STAFF RECOMMENDATION:** Staff recommends the Board receive and place on file the request from John Davel on behalf of Dercks DeWitt, LLC seeking reimbursement of \$84,155.82 for the over depth expense for sanitary sewers built in Savannah Heights. If the Board is in agreement, the following motion may be made: ***"Motion to receive and place on file the request from John Davel on behalf of Dercks DeWitt, LLC seeking reimbursement of \$84,155.82 for the over depth expense for sanitary sewers built in Savannah Heights."***

**POLICY/PLAN REFERENCE(S):** NONE

**FISCAL IMPACT:** N/A

JDG

###

**Attachments:**

- Letter from John Davel on behalf of Dercks DeWitt, LLC dated February 5, 2019 seeking reimbursement of \$84,155.82 for the over depth expense for sanitary sewers built in Savannah Heights.





February 5, 2019

Town of Greenville  
Joel Gregozeski  
PO Box 60  
Greenville, WI 54942

RE: Savannah Heights

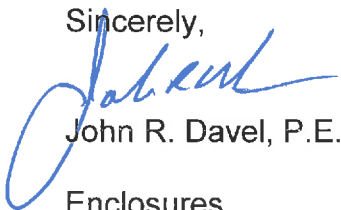
Dear Joel,

I have enclosed an invoice for \$84,155.82 for the over depth expense for sanitary sewers built in Savannah Heights. The expense relates to making the sanitary sewer deep enough to serve the Ebben property to the east, more so than what was needed to service Savannah Heights only.

After several meetings with staff and one public meeting, during the months of January – March of 2018, where the Savannah Heights project was discussed specifically regarding the requirement to provide sewer service to the Ebben property, we were directed by the Town to prepare an estimate of what we thought the over depth expense may be based on the support expressed by the Town that there was a willingness to participate in this expense to benefit the Ebbens. I prepared the estimate on 3/1/2018 and Mr. Dercks provided this estimate to Dan Klansky, Utility Superintendent. Dan felt the estimate was reasonable and the project proceeded on this basis. On June 24<sup>th</sup>, Mr. Dercks and I met in your office to discuss plat approvals for Phase 1 of the project and also how we would go about recovering this expense. At this meeting, you had acknowledged the history I recall, but said that the ordinances currently didn't allow for this type of reimbursement and that you needed some time to put that in place.

Now that the project is complete, and as-built plans have been provided and accepted. I updated the estimate previously prepared to coincide with as-built quantities and costs. Dercks-Dewitt's invoice attached is based on this calculation. Hopefully you have found sufficient time to formulate a means to fulfill the Town's commitment to provide this reimbursement.

Sincerely,



John R. Davel, P.E.

Enclosures

CC Dercks/DeWitt



Dercks DeWitt

3405 Commerce Ct  
Appleton, WI 54911

# Invoice

Date	Invoice #
11/14/2018	407

<b>Bill To</b>
<del>Town of Greenville</del> W6860 Parkview Drive PO Box 60 Greenville, WI 54942

<b>Ship To</b>
<del>Town of Greenville</del> W6860 Parkview Drive PO Box 60 Greenville, WI 54942

P.O. Number	Terms	Rep	Ship	Via	F.O.B.	Project
			11/14/2018			
Quantity	Item Code	Description			Price Each	Amount
1	Savannah Heights	Oversized sewer for Savannah Heights			84,155.82	84,155.82
					<b>Total</b>	\$84,155.82



**Over Size Sewer Calculation  
Savannah Heights  
Town of Greenville**

**8" Sewers > 15'**

Design Drive (109+50 to 113+57) to Serve Breyer Farm to the north (future)

Quantity	Units	Description	Unit Cost	Total
707	l.f.	8" Sewer	\$30.00	\$21,210.00
20.72	v.f.	48" Manhole	\$275.00	\$5,698.00
69	v.f.	4" Risers	\$50.00	\$3,450.00

**10" Sewers > 15'**

Design Drive ( 120+30 to 123+63) to Serve Ebben Farm to north and east (future)

Quantity	Units	Description	Unit Cost	Total
325	l.f.	10" Sewer	\$32.00	\$10,400.00
4.33	v.f.	48" Manhole	\$275.00	\$1,190.75
24	v.f.	4" Risers	\$50.00	\$1,200.00

**10" Sewers greater than 18'**

Design Drive (123+63 to 131+11) to Serve Ebben Farm to north and east (future)

Quantity	Units	Description	Unit Cost	Total
747	l.f.	8" Sewer	\$30.00	\$22,410.00
20.54	v.f.	48" Manhole	\$275.00	\$5,648.50
166	v.f.	4" Risers	\$50.00	\$8,300.00

**Total Additional Construction Costs** \$79,507.25

**Production Rates (Additional Inspection Time)**

Sewer	Rate (ft/day)
8" Sewers < 15'	300
8" Sewers > 15'	150
10" Sewers > 15'	150
10" Sewers greater than 18'	70

**8" Sewers > 15'**

Total Sewer	Days if <15	Days if >15	Extra Days
707	2.36	4.71	2.36

**10" Sewers > 15'**

Total Sewer	Days if <15	Days if >15	Extra Days
325	1.08	2.17	1.08

**10" Sewers > 15'**

Total Sewer	Days if <15	Days if >15	Extra Days
747	2.49	10.67	8.18

**Total Extra Days** 11.62

Inspector's Charge out Rate = \$50.00

**Total Additional Inspector Expense = \$4,648.57**

(Based on 8 hour day)