



## **TOWN BOARD MEETING AGENDA**

**DATE:** Monday, April 22, 2019  
**TIME:** Immediately Following Sanitary District #2  
**LOCATION:** Greenville Town Hall, W6860 Parkview Drive, Greenville, WI 54942

### **OPENING:**

1. **CALL TO ORDER/ROLL CALL**
2. **PLEDGE OF ALLEGIANCE**

### **PRESENTATIONS & PUBLIC FORUM:**

3. **PUBLIC HEARINGS:**
4. **PRESENTATIONS:**

4.a. Spring 2019 Road Conditions Report  
[19.04.22 Roadway Conditions.pdf](#)

5. **PUBLIC COMMENT FORUM:**

*Members of the public are welcome to address the Town Board. Individuals wishing to speak on an item (whether on the agenda or not) must sign in prior to the start of the meeting and may speak during the Public Comment Forum segment of the meeting. This segment is placed early in the agenda so the public may make their comments prior to any discussion or action by the Town Board. Individual comments are limited to no more than three minutes each. The Public Input section is limited to a total of 15 minutes. Once the public input segment ends there will be no additional discussion from the audience. The Town Board may suspend this rule if deemed necessary.*



*Note regarding non-agenda Town related matters: Pursuant to WI Statutes 19.83(2) and 19.84(2), the public may present matters; however, they cannot be discussed or acted upon until specific notice of the subject matter of the proposed action can be given.*

**TOWN BOARD BUSINESS AGENDA:**

*Notice is hereby given that the Greenville Town Board may take action on any item listed within this agenda.*

**6. CONSENT AGENDA**

*Items on the Consent Agenda are routine in nature and require one motion to approve all items listed. Prior to voting on the Consent Agenda, items on the Consent Agenda may be removed at the request of any Supervisor and considered immediately following the motion to approve the other items on the Consent Agenda.*

- 6.a. Six-month Class "B" Beer License Application of Greenville Youth Sports, Ryan Paschke, Agent, Community Park.  
Approve
- 6.b. Temporary Class "B" Beer License for Fox Cities Gargoyles Rugby Club, John Walt, Person In Charge, Greenville Lions Park, May 11 and September 7, 2019 from 7:00 a.m. to 7:00 p.m.
- 6.c. Approval of Special Event Applications:
  - St. Mary's Oktoberfest
  - Fox Valley Humane Association Bark in the Park
  - Immanuel Lutheran I-Run
  - HASD Color Run[PRF Agenda Item - Special Event Applications.pdf](#)
- 6.d. Free Facility Use Policy - Addition of Fox Valley Humane Association  
[PRF Agenda Item - Free Facility Use Policy.pdf](#)

**7. PLAN COMMISSION RECOMMENDATIONS AND DEVELOPMENT PROJECTS FOR DISCUSSION & POSSIBLE ACTION:**

- 7.a. Consider/Discuss/Act on Resolution 19-19 Special Exception for Automotive Sales and Repair for Greenville Auto & RV parcels 110014207, 110014208, 110014210, 110014211  
[7a \\_Res 19-19 Greenville Auto.pdf](#)



- 7.b. Consider/Discuss/Act on Resolution 32-19 Rezoning Parcel 110086203 from General Commercial to Industrial  
[7b\\_Resolution 32-19 Rezoning Parcel 110086203 GC to Ind.pdf](#)
- 7.c. Consider/Discuss/Act on Resolution 34-19 Special Exception for a Gas Regulator for WE Energies  
[7c\\_Res 34-19 WE Energies Gas Regulator.pdf](#)
- 7.d. Consider/Discuss/Act on Ordinance 03-19 Chapter 204 Article II Town Functional Road Classification System  
[7d\\_Ord 03-19 Roads.pdf](#)
- 7.e. Consider/Discuss/Act on Resolution 27-19 Jennerjohn Field of Dreams Development Agreement for Phase 1  
[7e&f\\_Res 27-19 & 28-19 Jennerjohn DAs.pdf](#)
- 7.f. Consider/Discuss/Act on Resolution 28-19 Jennerjohn Field of Dreams Development Agreement for Phase 2  
[7e&f\\_Res 27-19 & 28-19 Jennerjohn DAs.pdf](#)

**8. UNFINISHED BUSINESS FOR DISCUSSION & POSSIBLE ACTION:**

**9. NEW BUSINESS FOR DISCUSSION & POSSIBLE ACTION:**

- 9.a. Acquisition of Right of Way from Town of Greenville for CTH CB & Atlantis Roundabout  
[19.04.22 CTH CB and Atlantis Roundabout Right of Way.pdf](#)
- 9.b. Agreement for Professional Services with Ehlers to prepare Tax Incremental Finance District Annual Report.  
[TID Reporting Engagement Letter.pdf](#)  
[Ehlers TID Reporting Summary\\_2019.pdf](#)
- 9.c. Relocation of Telecommunication Utilities with ATT&T for Greenville Fire and Safety Building.  
[ATT ACTUAL COST INVOICE ATTACHED CR 200200 PROJECT A01KKWK.pdf](#)
- 9.d. Professional Services Agreement with Moss & Associates for Appraisal and Acquisition of Public Right-of-Way for Tax Incremental Finance District #1.  
[Moss & Associates Proposal For Appraisal and Acquisition Services to Town of Greenville Design Drive Extension.pdf](#)



- 9.e. Fox Cities Regional Partnership Funding Request  
[Pledge Letter 20180401.pdf](#)
- 9.f. Proclamation RU4- 15 Supporting the Reconstruction of the State Highway 15 Bypass Project  
[Proclamation RU4 - 15 - Keeping Highway 15 Bypass Project on Schedule.pdf](#)
- 9.g. Operator's License Application Fee  
[TB - Fox Valley Area Operator License Fees and Schedule.docx](#)  
[TB - Comparison Evidence and Proposal.docx](#)
- 9.h. CTH CA "Town of Greenville" sign

### **CLOSED SESSION:**

- a. Motion to go into Closed Session:
  - i. Pursuant to Wis. Stat. sec. 19.85(1)(e) to deliberate or negotiate the purchase of public property, investment of public funds, or conducting other specified public business when competitive or bargaining reasons require a closed session, more specifically for acquisition of property for a yard waste compost facility.
- b. Reconvene to Open Session: Possible Town Board Action on Items Discussed in Closed Session.

### **CLOSING:**

#### **10. ANNOUNCEMENTS & FUTURE MEETING DATES:**

#### **11. ADJOURNMENT**



**MEETING:** Town Board  
**DATE:** April 22 2019

**AGENDA ITEM #:** TB - 4a  
**ACTION TYPE:** Informational



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Brian Rickert, Public Works Director  
**Date:** 4/10/2019  
**RE:** Roadway Conditions Update

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**ACTION TYPE:** This item is for informational use only.

**BACKGROUND & SUMMARY:** The winter of 2018 – 2019 had a very negative impact on the roads throughout Town. Multiple sections of roadway were in good condition until the spring thaw of 2019 came about. A perfect example of this would be approximately a 100' section of Manley Road mid-block between Spring Road and Hillview Road. This section of roadway was in good condition but deteriorated very quickly due to having only 2" of asphalt and limited to no road base material. There was locations that the clay beneath the roadway was actually pumping through the pavement. Also in this location, there are no ditches to allow for drainage of the road base, this leaves the base supersaturated.

There was also four large locations in the Farms at South Creek South Subdivision where the final asphalt surface was approximately only 1" thick and was placed on 2" to 3" of compacted reclaimed (pulverized) asphalt. This project was originally scoped to be a pulverize and pave for a construction to occur in 2020. After seeing the sub-grade condition, the roadway will most likely require a complete reconstruct. During this reconstruct, we will have the ability to remove the clay that is not stable and install a quality roadbed that provides structure for the pavement.

It has become very apparent that many of the developments or roadway projects had limited to no quality control or verification. With the addition of an Engineering Technician and with support from Cedar this summer, we will have a better handle on the installation of the infrastructure. This will be a new process for developers because they will get charged for the inspection costs but it is needed. We have been seeing premature failure of infrastructure due to lack of quality.

**STAFF RECOMMENDATION:** Staff would like Town Board to be aware of the work and expense that is occurring due to inadequate construction practices and poor quality control.

**POLICY/PLAN REFERENCE(S):**

N/A



**FISCAL IMPACT:**

Is there a fiscal impact? Yes, ~\$20,000  
Is it currently budgeted or planned? NO  
Amount budgeted: \$0  
Account #: 100-5331-340

**Attachments:**

1. 2 Photos from Manley Road
2. 3 Photos from South Creek Drive



**Manley Road Southbound (between Hillview Road and Spring Road)**





**South Creek Drive (School Road to Termini)**









**MEETING:** Town Board  
**DATE:** April 22, 2019

**AGENDA ITEM #:** TB - 6c  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Tony Nowak, Director of Parks, Recreation and Forestry  
**Date:** April 17, 2019  
**RE:** Special Event Applications

**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** Staff have reviewed the following special event applications and are recommending Town Board approval:

1. ***St. Mary's Oktoberfest*** – This event held by St. Mary's Church has been held at Lions Park in previous years. We have not had any issues with the event.
2. ***Fox Valley Humane Association Bark in the Park*** – This event has been held in the past without issue. They are requesting waiving of the fee.
3. ***Immanuel Lutheran I-run*** – This event has been held in the past without issue.
4. ***HASD Color Run*** – This is the second year of this event. We did not have any issues with this event last year.

**STAFF RECOMMENDATION:** Staff recommends the Town Board approve the Special Event Applications as proposed. If the Board is in agreement, the following motion may be made: ***"Motion to approve the Special Event Applications for St. Mary's Oktoberfest and Greenville Stars Baseball Tournament."***

**POLICY/PLAN REFERENCE(S):** Special Event Policy, Free Facility Use Policy

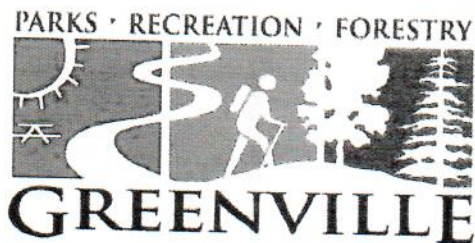
**FISCAL IMPACT:** N/A

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**Attachments:**

1. Special Event Application – St. Mary's Oktoberfest
2. Special Event Application – FVHA Bark in the Park
3. Special Event Application – Immanuel Lutheran I-run
4. Special Event Application – HASD Color Run





Greenville Parks, Recreation and Forestry Department  
W6895-B Parkview Drive, Greenville WI 54942  
Phone: (920) 757-7276

## APPLICATION FOR A SPECIAL EVENT

**IMPORTANT:** This application must be completed in full. Incomplete applications will be returned to the event organizer.

### SECTION 1 – ORGANIZATION INFORMATION

Name of Organization: St. Mary's (Oktoberfest) of the Immaculate Conception  
Street Address: N2385 Municipal Dr. City, State, Zip: Greenville, WI 54942  
Telephone Number: 920-757-6555 501 (c)3 Organization? Yes ☒ No ☐  
Event Contact Person: Jen Langan Date of Birth: 12-11-74  
Address: W 7029 Glen Valley Dr. City, State, Zip: Greenville, WI 54942  
Email: nluselangana@gmail.com Phone: 920-246-3174 **Event Day** Phone: 920-246-3174

### SECTION 2 – EVENT INFORMATION

Name of Event: SMIC Oktoberfest  
Date(s) of Event: Saturday Sept 14, 2019 Location of Event: Lions Park  
Set-up Start Time: Noon Actual Start Time: 3pm Finish Time: 11pm  
What is the expected attendance? Participants: 1,000 Vehicles: 300 Vendors: 1  
Generally describe your event and its purpose: To gather as a community for our parish families, raising money for the church and school, promoting fellowship within surrounding communities.

You **MUST** attach a detailed map or diagram of your event indicating the specific location and layout of your event. Park maps may be obtained at [www.townofgreenville.com](http://www.townofgreenville.com) or by contacting the GIS Department at 757-7276.



### SECTION 3 - ADDITIONAL INFORMATION

1. Will special parking provisions be needed? Yes ☒ No ☐ If yes, explain: People can park down by the Barn area as they have in past  
(Indicate proposed parking areas on the map)
2. Will any street/road closures be needed? Yes ☐ No ☒ If yes, contact Public Works at 757-7276  
(Indicate proposed road closures on the map)
3. How many security personnel will be present? 2  
Head of Security: Scott Stenke Phone: 920-749-1970
4. Does your event require an Emergency Management Plan (attendance greater than 1,000)? Yes ☐ No ☐ If yes, contact Outagamie County Emergency Management at 832-5148 and attach a copy of the plan. An emergency 1st aid bag with 02 will be located in the Barn kitchen.
5. Will alcoholic beverages be served/sold? Yes ☒ No ☐ If yes, contact the Town Clerk at 757-5151 x3 to obtain the appropriate license.
6. Will food be prepared and/or served at the event? Yes ☒ No ☐ If yes, explain in detail what food service will be provided:  
Burgers, brats, pasties, booyah, pretzels, ice cream, nachos  
(Contact the Outagamie County Health Department 832-5100 to obtain the appropriate permit)
7. Will admission/entry fees be charged for the event? Yes ☐ No ☒ If yes, how much? \_\_\_\_\_  
(Indicate entry/collection points on the map)
8. Will any fireworks, open fires or pyrotechnics be used during the event? Yes ☐ No ☒  
(If yes, contact the Fire Department at 757-7262.)
9. Do you have a plan in place for any medical emergencies that may occur during the event? Yes ☒ No ☐ Explain in detail:  
Several medical responders will attend event.  
(Indicate first aid stations, emergency access routes, etc. on the map)
10. Will portable toilets be used? Yes ☐ No ☒ If yes, how many? \_\_\_\_\_ (Indicate location on map)
11. Do you have a waste management plan in place? Yes ☐ No ☒ Please explain in detail: \_\_\_\_\_  
(Indicate location of garbage and recycling dumpsters on the map and provide contact info for contracted services.)
12. Will you be having a band or amplified music? Yes ☒ No ☐ If yes, explain in detail: 'Separat Ways Band' (7-10pm)  
Worship Band during mass (3:30-6pm)
13. Does the location have adequate electrical service for the event? Yes ☒ No ☐ If no, what is your plan to provide additional service? \_\_\_\_\_
14. Will inflatables, mechanical rides, dunk tanks or other amusements be used? Yes ☒ No ☐ If yes, explain: Inflatables  
(Indicate proposed location on map)
15. Will tents or any other temporary structures be erected? Yes ☐ No ☒ If yes, how many \_\_\_\_\_ and what size \_\_\_\_\_?  
(Indicate proposed location on map)



16. What other events have you or your organization sponsored? (List Events) In the Spirit Auction

17. Any other details? Ø

#### SECTION 4 – LEGAL NOTICE

I understand the filing of this application does not ensure the issuance of this permit. I also understand that all Special Event organizers and participants must comply with all applicable Town ordinances, traffic rules, park rules, state health laws, fire codes and liquor licensing regulations. Fees for park facilities, food sales permits, tent and fireworks permits are in addition to the fees submitted for the Special Events Application. I further understand that an incomplete application may be cause for denial of the event.

Hold harmless indemnification and defense.

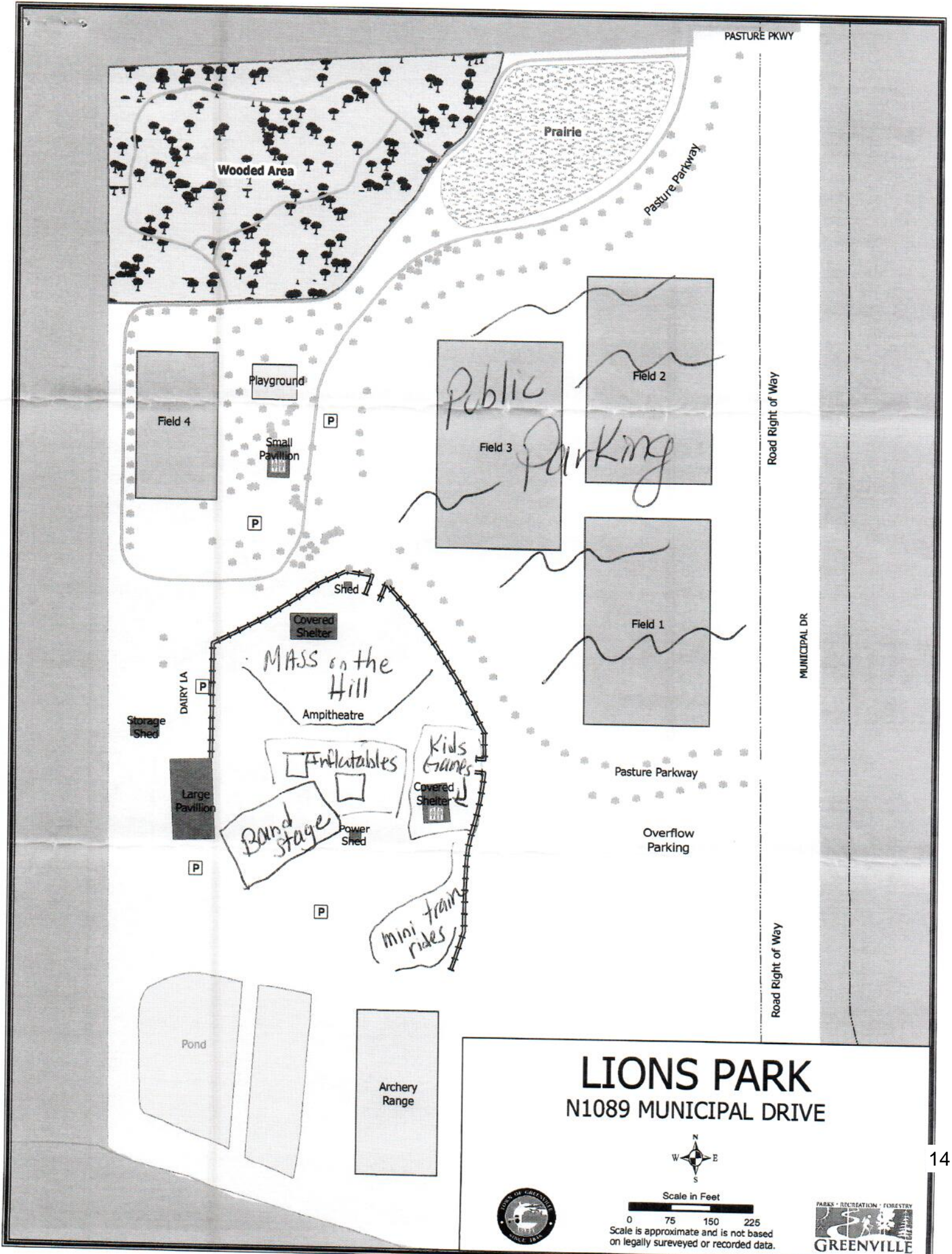
For good and valuable consideration the applicant and/or the organization agrees to indemnify, defend and hold harmless the Town of Greenville and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any negligent act or omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts any of them may be liable, except where caused by the sole negligence or willful misconduct of the Town.

\* Fa. Muf. Wanda  
Signature of Applicant

\* 12-18-18  
Date

OFFICE USE ONLY					
	Received	Date		Received	Date
Completed Application	<input checked="" type="checkbox"/>	1/22/19	Application Fee	\$25.00	
Map	<input checked="" type="checkbox"/>	1/22/19	Event Fee	150	
Copy of Insurance	<input checked="" type="checkbox"/>		Deposit	150	
Copy of EM Plan	<input checked="" type="checkbox"/>		Total	325	
Department	Approve	Deny	By	Reason	
Park & Rec.	<input checked="" type="checkbox"/>		TN		
Public Works	<input checked="" type="checkbox"/>		BR		
Fire/EMS					
Sheriff	<input checked="" type="checkbox"/>		GR		
Board	Approve	Deny	Date	Reason	
Park Commission	<input checked="" type="checkbox"/>				
Town Board					
Date Permit Issued:					



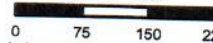


# LIONS PARK

N1089 MUNICIPAL DRIVE



Scale in Feet



Scale is approximate and is not based on legally surveyed or recorded data.







Greenville Town Board,

On behalf of Fox Valley Humane Association I am requesting a waiver of the Special Event Fee for the Bark in the Park – Hairy Pawter and the Sorcerers Bone fundraising event to be held on Saturday, May 18, 2019 at the Greenville Lions Park.

2019 is shaping up to be a year of rebuilding and rebranding for FVHA. We are facing some financial struggles but under new leadership and a staff dedicated to the welfare of animals and their people we foresee a bright future ahead.

By establishing relationships with new donors, reconnecting with past donors, applying for grants and setting our sights on serving our community as a resource for pets and their people we will achieve the goals that we have set forth.

Thank you for your consideration,

A handwritten signature in black ink that reads "Vicki".

Vicki Prey  
Executive Director  
920-733-1717 ext.113  
director@foxvalleypets.org







✓ You MUST attach a detailed map or diagram of your event indicating the specific location and layout of your event. Maps may be obtained at [www.townofgreenville.com](http://www.townofgreenville.com) or Google Maps.

#### SECTION 4 – ADDITIONAL INFORMATION

1. Will special parking provisions be needed? Yes \_\_\_ No X If yes, explain: \_\_\_\_\_

\_\_\_\_\_  
(Indicate proposed parking areas on the map)

2. Will any street/road closures be needed? Yes \_\_\_ No X If yes, contact Public Works at 757-7276

Streets closures needed: \_\_\_\_\_

\_\_\_\_\_  
(Indicate proposed road closures on the map)

3. How many security personnel will be present? 0

Head of Security: \_\_\_\_\_ Phone: \_\_\_\_\_

4. Does your event require an Emergency Management Plan (attendance greater than 1,000)? Yes \_\_\_ No X If yes, contact the Emergency Management Director at (262) 989-2000 and attach a copy of the plan.

5. Will alcoholic beverages be served/sold? Yes \_\_\_ No X If yes, contact the Town Clerk at 757-5151 to obtain the appropriate license.

6. Will food be prepared and/or served at the event? Yes X No \_\_\_ If yes, explain in detail what food service will be provided:

Food will be prepared and served by the Greenville  
Lioness

(Contact the Outagamie County Health Department 832-5100 to obtain the appropriate permit)

7. Will admission/entry fees be charged for the event? Yes \_\_\_ No X If yes, how much? \_\_\_\_\_

(Indicate entry/collection points on the map)

8. Will any fireworks, open fires or pyrotechnics be used during the event? Yes \_\_\_ No X If yes, contact the Town Clerk at 757-5151 to obtain a Fireworks Display Permit. Indicate display area on map.

9. Do you have a plan in place for any medical emergencies that may occur during the event? Yes \_\_\_ No \_\_\_ Explain in detail:

Several Greenville First Responders will be in attendance  
and 911 will be called if needed.

(Indicate first aid stations, emergency access routes, etc. on the map)

10. Will portable toilets be used? Yes \_\_\_ No X If yes, how many? \_\_\_\_\_

(Indicate location on map)

11. Do you have a waste management plan in place? Yes \_\_\_ No X Please explain in detail: \_\_\_\_\_

\_\_\_\_\_  
(Indicate location of garbage and recycling dumpsters on the map and provide contact info for contracted services.)



12. Will any signage or markings pertaining to the event be applied directly to Town property? Yes ☒ No ☐ If yes, please explain in detail: premade signs pointing direction to event  
(plastic on metal)

13. Will you be having a band or amplified music? Yes ☒ No ☐ If yes, explain in detail: DJ services

14. Does the location have adequate electrical service for the event? Yes ☒ No ☐ If no, what is your plan to provide additional service?

15. Will inflatables, mechanical rides, dunk tanks or other amusements be used? Yes ☐ No ☒ If yes, explain:

(Indicate proposed location on map)

16. Will tents or any other temporary structures be erected? Yes ☒ No ☐ If yes, explain (including size and quantities): 10 x 10 pop ups

(Indicate proposed location on map)

17. What other events have you or your organization sponsored? (List Events) Tailgate (fall event)

18. Any other details? There will be a short walk through the wooded area ~~th~~ trails as part of one of the activities.



## SECTION 4 – LEGAL NOTICE

By signing below, I certify that I am at least 18 years of age, that I have read and understand the Special Event Policy, and that I agree to the terms and conditions contained in the Special Event Policy. My signature further confirms (i) that I understand the filing of this application does not ensure the issuance of a Special Event Permit, (ii) that the Special Event Application Fee is non-refundable pursuant to the terms of the Special Event Policy, (iii) I will be responsible for ensuring the event and event participants comply with all applicable Town ordinances, traffic rules, park rules, state health laws, fire codes and liquor licensing regulations and any other applicable laws, rules and regulations including the Special Event Policy, (iv) that fees for park facilities, food sales permits, tent and fireworks permits, etc., are in addition to the Special Event Permit Fee, (v) that I shall reimburse the Town for costs incurred due to extraordinary damage to Town property during the Special Event, (vi) that I am authorized to apply for this Special Event Permit on behalf of the organization holding the event (if applicable), and (vii) that the information contained in this Application is true to the best of my knowledge. I understand that intentionally providing false or misleading information in this Application may lead to civil or criminal penalties.

Hold harmless indemnification and defense.

For good and valuable consideration the applicant and/or the organization agrees to indemnify, defend and hold harmless the Town of Greenville and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any negligent act or omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts any of them may be liable, except where caused by the sole negligence or willful misconduct of the Town.

Vicki Prey  
Signature of Applicant

4/12/19  
Date

OFFICE USE ONLY					
	Received	Date		Received	Date
Completed Application	X	4/12/19	Application Fee	\$25.00	
Map	X	4/12/19	Event Fee		
Copy of Insurance	—		Deposit		
Copy of EM Plan	—		<b>Total</b>		
<b>Department</b>	<b>Approve</b>	<b>Deny</b>	<b>By</b>	<b>Reason</b>	
Administration	X		JG		
Clerk	X		WH		
Community & Economic Development					
Emergency Management					
Fire/EMS					
Parks & Recreation	X		TN		
Public Works	X		BR		
Sheriff	X		GR		
<b>Board</b>	<b>Approve</b>	<b>Deny</b>	<b>Date</b>	<b>Reason</b>	
Town Board					
<b>Date Permit Issued:</b>					



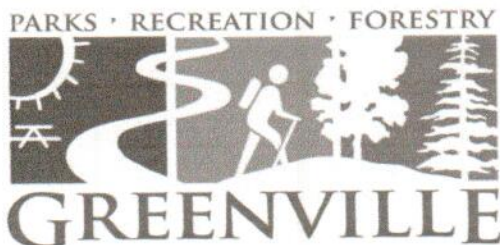


# Lions Park

## N1089 Municipal Drive







Greenville Parks, Recreation and Forestry Department  
W6895-B Parkview Drive, Greenville WI 54942  
Phone: (920) 757-7276

## APPLICATION FOR A SPECIAL EVENT

**IMPORTANT:** This application must be completed in full. Incomplete applications will be returned to the event organizer.

### SECTION 1 – ORGANIZATION INFORMATION

Name of Organization: Immanuel Lutheran Church  
Street Address: W 7265 School Rd. City, State, Zip: Greenville, WI 54942  
Telephone Number: 920-757-5639 501 (c)3 Organization? Yes X No      
Event Contact Person: Chris Harley Date of Birth: 10-30-79  
Address: 11805 Medina Dr. City, State, Zip: Greenville, WI 54942  
Email: citeharley@gmail.com Phone: 920-268-7270 **Event Day** Phone: same

### SECTION 2 – EVENT INFORMATION

Name of Event: IRUN  
Date(s) of Event: May 11th, 2019 Location of Event: see map  
Set-up Start Time: 6am Actual Start Time: 8am Finish Time: 12 pm  
What is the expected attendance? Participants: 200 Vehicles: 75 Vendors: 0  
Generally describe your event and its purpose: 5 K Run from church to Lions Park and back

You **MUST** attach a detailed map or diagram of your event indicating the specific location and layout of your event. Park maps may be obtained at [www.townofgreenville.com](http://www.townofgreenville.com) or by contacting the GIS Department at 757-7276.



### SECTION 3 – ADDITIONAL INFORMATION

1. Will special parking provisions be needed? Yes \_\_\_ No ☒ If yes, explain: \_\_\_\_\_  
(Indicate proposed parking areas on the map)
2. Will any street/road closures be needed? Yes ☒ No \_\_\_ If yes, contact Public Works at 757-7276  
(Indicate proposed road closures on the map)
3. How many security personnel will be present? 4  
Head of Security: Chris Haring Phone: 420-268-7270
4. Does your event require an Emergency Management Plan(attendance greater than 1,000)? Yes \_\_\_ No ☒ If yes, contact Outagamie County Emergency Management at 832-5148 and attach a copy of the plan.
5. Will alcoholic beverages be served/sold? Yes \_\_\_ No ☒ If yes, contact the Town Clerk at 757-5151 x3 to obtain the appropriate license.
6. Will food be prepared and/or served at the event? Yes ☒ No \_\_\_ If yes, explain in detail what food service will be provided:  
Big Apple Bagels Catering  
(Contact the Outagamie County Health Department 832-5100 to obtain the appropriate permit)
7. Will admission/entry fees be charged for the event? Yes ☒ No \_\_\_ If yes, how much? \$120/person  
(Indicate entry/collection points on the map)
8. Will any fireworks, open fires or pyrotechnics be used during the event? Yes \_\_\_ No ☒  
(If yes, contact the Fire Department at 757-7262.)
9. Do you have a plan in place for any medical emergencies that may occur during the event? Yes ☒ No \_\_\_ Explain in detail:  
Call 911 or First Aid kits available  
(Indicate first aid stations, emergency access routes, etc. on the map)
10. Will portable toilets be used? Yes \_\_\_ No ☒ If yes, how many? \_\_\_\_\_ (Indicate location on map)
11. Do you have a waste management plan in place? Yes \_\_\_ No ☒ Please explain in detail: \_\_\_\_\_  
not needed  
(Indicate location of garbage and recycling dumpsters on the map and provide contact info for contracted services.)
12. Will you be having a band or amplified music? Yes \_\_\_ No ☒ If yes, explain in detail: \_\_\_\_\_
13. Does the location have adequate electrical service for the event? Yes ☒ No \_\_\_ If no, what is your plan to provide additional service? \_\_\_\_\_
14. Will inflatables, mechanical rides, dunk tanks or other amusements be used? Yes \_\_\_ No ☒ If yes, explain: \_\_\_\_\_  
(Indicate proposed location on map)
15. Will tents or any other temporary structures be erected? Yes \_\_\_ No ☒ If yes, how many \_\_\_\_\_ and what size \_\_\_\_\_?  
(Indicate proposed location on map)



16. What other events have you or your organization sponsored? (List Events) Several

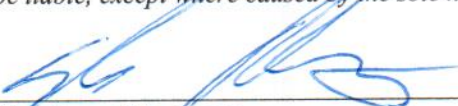
17. Any other details? \_\_\_\_\_

## SECTION 4 – LEGAL NOTICE

*I understand the filing of this application does not ensure the issuance of this permit. I also understand that all Special Event organizers and participants must comply with all applicable Town ordinances, traffic rules, park rules, state health laws, fire codes and liquor licensing regulations. Fees for park facilities, food sales permits, tent and fireworks permits are in addition to the fees submitted for the Special Events Application. I further understand that an incomplete application may be cause for denial of the event.*

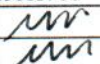
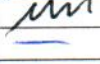
*Hold harmless indemnification and defense.*

*For good and valuable consideration the applicant and/or the organization agrees to indemnify, defend and hold harmless the Town of Greenville and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any negligent act or omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts any of them may be liable, except where caused by the sole negligence or willful misconduct of the Town.*

  
Signature of Applicant

3-5-19  
Date

### OFFICE USE ONLY

	Received	Date		Received	Date
Completed Application		3/6/19	Application Fee	\$25.00	3/6/19
Map		3/6/19	Event Fee	—	# 2605
Copy of Insurance	—		Deposit	—	
Copy of EM Plan	—		<b>Total</b>	25.00	

Department	Approve	Deny	By	Reason
Park & Rec.	×		TN	
Public Works	×		BR	
Fire/EMS				
Sheriff	×		GR	

Board	Approve	Deny	Date	Reason
Park Commission	—			
Town Board				

**Date Permit Issued:** \_\_\_\_\_





## IRUN 5K ROUTE

Begin at Immanuel. Head East on School.  
At the corner of the YMCA property, take the gravel trail (the one with workout stations) until you get around the back of the field where it meets up with the blacktop trail to Lions Park. Take the blacktop trail to Lions Park and follow the path through the wooded section of the park. Make the loop through the wooded section of the park. Exit Lions Park on the blacktop trail and remain on the blacktop trail all the way back to the YMCA. Turn left (west) on School Road and head back to Immanuel.





# Town of Greenville

W6895-B Parkview Drive • PO Box 60 • Greenville WI 54942

Phone: (920) 757-5151 • Fax: (920) 757-0543

[www.townofgreenville.com](http://www.townofgreenville.com)

## APPLICATION FOR A SPECIAL EVENT

**IMPORTANT:** This application must be completed in full. Incomplete applications will be returned to the event organizer.

### SECTION 1 – APPLICANT INFORMATION

Event Contact Person: Kevin McElrath  
 Address: 155 Warner St City, State, Zip: Hortonville WI 54944  
 Phone: 920-779-7933 Email: Kevinmcelrath@haseb.org

### SECTION 2 – ORGANIZATION INFORMATION (if applicable)

Name of Organization: Hortonville High School - Sources of Strength  
 Street Address: Same City, State, Zip: \_\_\_\_\_  
 Phone: \_\_\_\_\_ 501 (c) 3 Organization? Yes \_\_\_\_\_ No X

### SECTION 3 – EVENT INFORMATION

Name of Event: HHS Sources of Strength Color Run  
 Date(s) of Event: 5/4/19 (some set up 5/3) Location of Event: Lions Park  
 Set-up Start Time: 5pm (5/3) Actual Start Time: 10am Finish Time: 1pm  
 What is the expected attendance? Participants: 600 Vehicles: 150 Vendors: -  
 Head of Security's Name and Phone Number: Tom Ellenbecker - 920-779-7933  
 Generally describe your event and its purpose: 5k Fun Run/Walk, 8 different "Color washes" during the run.  
We will use small pavillion and playground area for registration/set up.  
Excess powder will be blown w/ leaf blower at the end of the event.

(Attach additional sheet(s) if necessary.)



You MUST attach a detailed map or diagram of your event indicating the specific location and layout of your event. Maps may be obtained at [www.townofgreenville.com](http://www.townofgreenville.com) or Google Maps.

#### SECTION 4 – ADDITIONAL INFORMATION

1. Will special parking provisions be needed? Yes \_\_\_ No X If yes, explain: \_\_\_\_\_

(Indicate proposed parking areas on the map)

2. Will any street/road closures be needed? Yes \_\_\_ No X If yes, contact Public Works at 757-7276

Streets closures needed: \_\_\_\_\_

(Indicate proposed road closures on the map)

3. How many security personnel will be present? 3 (HHS admin)  
Head of Security: Tom Ellenbecker Phone: 920-779-7933

4. Does your event require an Emergency Management Plan (attendance greater than 1,000)? Yes \_\_\_ No X If yes, contact the Emergency Management Director at (262) 989-2000 and attach a copy of the plan.

5. Will alcoholic beverages be served/sold? Yes \_\_\_ No X If yes, contact the Town Clerk at 757-5151 to obtain the appropriate license.

6. Will food be prepared and/or served at the event? Yes X No \_\_\_ If yes, explain in detail what food service will be provided:

Packaged snacks and water at end of run.

(Contact the Outagamie County Health Department 832-5100 to obtain the appropriate permit)

7. Will admission/entry fees be charged for the event? Yes X No \_\_\_ If yes, how much? Pre Registered \$20 or \$10  
(Indicate entry/collection points on the map)

8. Will any fireworks, open fires or pyrotechnics be used during the event? Yes \_\_\_ No X If yes, contact the Town Clerk at 757-5151 to obtain a Fireworks Display Permit. Indicate display area on map.

9. Do you have a plan in place for any medical emergencies that may occur during the event? Yes X No \_\_\_ Explain in detail:

GFD will be on site.

(Indicate first aid stations, emergency access routes, etc. on the map)

10. Will portable toilets be used? Yes X No \_\_\_ If yes, how many? 3  
(Indicate location on map)

11. Do you have a waste management plan in place? Yes X No \_\_\_ Please explain in detail: We are supplying cardboard trash cans and will take them w/ us at the conclusion of the event.

(Indicate location of garbage and recycling dumpsters on the map and provide contact info for contracted services.)



12. Will any signage or markings pertaining to the event be applied directly to Town property? Yes \_\_\_ No ☒ If yes, please explain in detail: \_\_\_\_\_
13. Will you be having a band or amplified music? Yes ☒ No \_\_\_ If yes, explain in detail: 9.43 Radio Truck  
will be playing music on site.
14. Does the location have adequate electrical service for the event? Yes \_\_\_ No ☒ If no, what is your plan to provide additional service? 2 small generators for the field area.
15. Will inflatables, mechanical rides, dunk tanks or other amusements be used? Yes ☒ No \_\_\_ If yes, explain: The start line is inflatable.
- (Indicate proposed location on map)
16. Will tents or any other temporary structures be erected? Yes \_\_\_ No ☒ If yes, explain (including size and quantities): \_\_\_\_\_
- (Indicate proposed location on map)
17. What other events have you or your organization sponsored? (List Events) 2018 Color Run
18. Any other details? \_\_\_\_\_

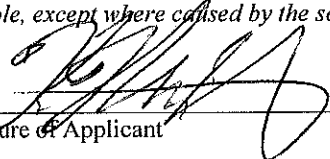


## SECTION 4 – LEGAL NOTICE

By signing below, I certify that I am at least 18 years of age, that I have read and understand the Special Event Policy, and that I agree to the terms and conditions contained in the Special Event Policy. My signature further confirms (i) that I understand the filing of this application does not ensure the issuance of a Special Event Permit, (ii) that the Special Event Application Fee is non-refundable pursuant to the terms of the Special Event Policy, (iii) I will be responsible for ensuring the event and event participants comply with all applicable Town ordinances, traffic rules, park rules, state health laws, fire codes and liquor licensing regulations and any other applicable laws, rules and regulations including the Special Event Policy, (iv) that fees for park facilities, food sales permits, tent and fireworks permits, etc., are in addition to the Special Event Permit Fee, (v) that I shall reimburse the Town for costs incurred due to extraordinary damage to Town property during the Special Event, (vi) that I am authorized to apply for this Special Event Permit on behalf of the organization holding the event (if applicable), and (vii) that the information contained in this Application is true to the best of my knowledge. I understand that intentionally providing false or misleading information in this Application may lead to civil or criminal penalties.

Hold harmless indemnification and defense.

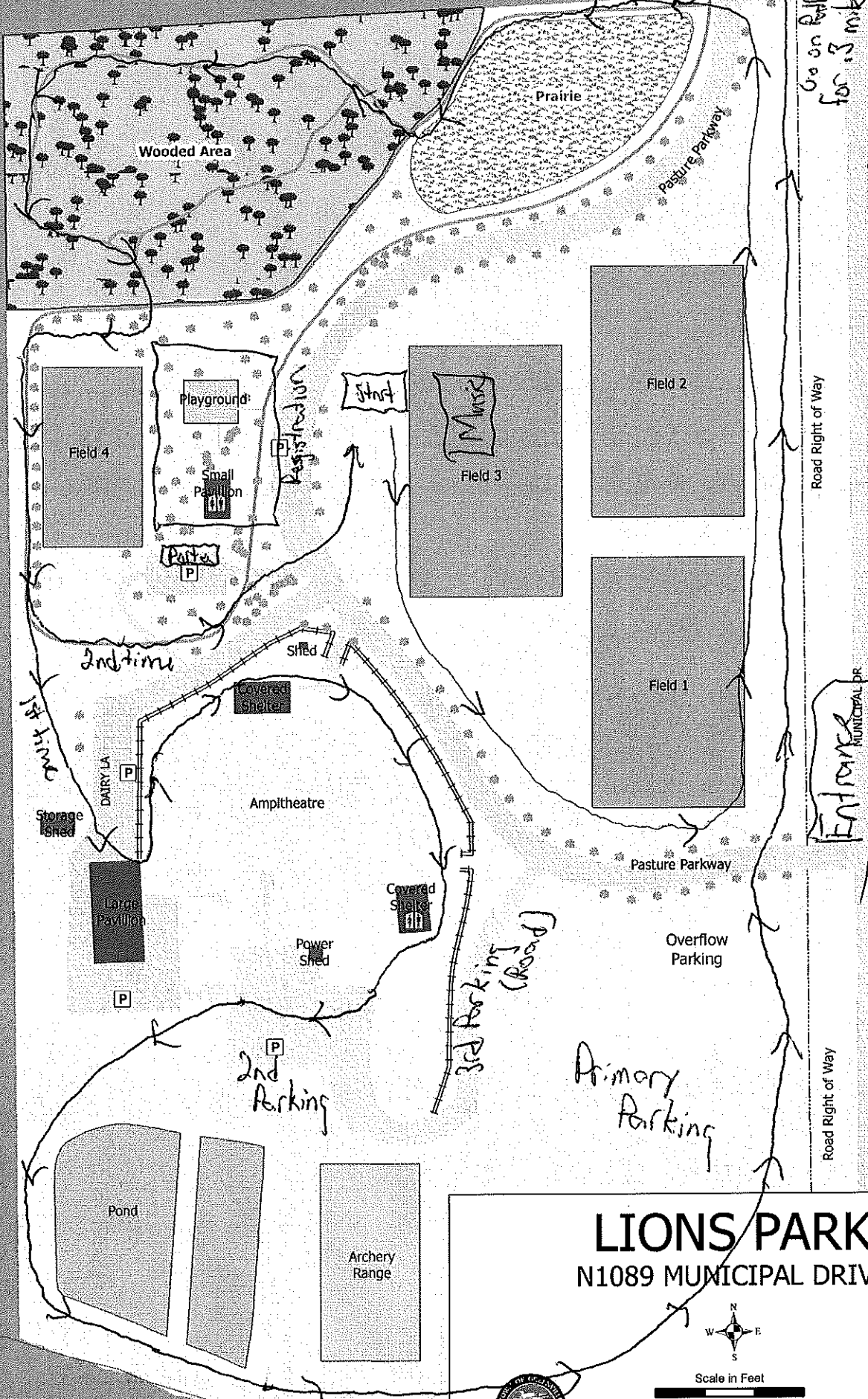
For good and valuable consideration the applicant and/or the organization agrees to indemnify, defend and hold harmless the Town of Greenville and its officers, officials, employees and agents from and against any and all liability, loss, damage, expenses, costs, including attorney fees arising out of the activities performed as described herein, caused in whole or in part by any negligent act or omission of the applicant/organization, anyone directly or indirectly employed by any of them or anyone whose acts any of them may be liable, except where caused by the sole negligence or willful misconduct of the Town.

  
Signature of Applicant

4/10/19  
Date

OFFICE USE ONLY					
	Received	Date		Received	Date
Completed Application		4/10/19	Application Fee	\$25.00	
Map	X	4/10/19	Event Fee	—	
Copy of Insurance	—		Deposit	—	
Copy of EM Plan	—		<b>Total</b>	<b>No Fees</b>	
Department	Approve	Deny	By	Reason	
Administration	X		JG		
Clerk	X		WH		
Community & Economic Development					
Emergency Management					
Fire/EMS			JL		
Parks & Recreation			TN		
Public Works	X		BR		
Sheriff	X		GR		
Board	Approve	Deny	Date	Reason	
Town Board					
<b>Date Permit Issued:</b>					



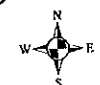


No Entry

Go on Path for 3 mile

# LIONS PARK

N1089 MUNICIPAL DRIVE



Scale in Feet  
0 75 150 225  
Scale is approximate and is not based on legally surveyed or recorded data.





**MEETING:** Town Board  
**DATE:** April 22, 2019

**AGENDA ITEM #:** TB - 6d  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Tony Nowak, Director of Parks, Recreation and Forestry  
**Date:** April 17, 2019  
**RE:** Free Facility Use Policy – addition of Fox Valley Humane Association

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**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** The Fox Valley Humane Association has made a formal request to have their fees waived for this year's Bark in the Park event to be held at Lions Park. In response to this request, the Park Commission is recommending adding the Fox Valley Humane Association to the list of organizations that receive free park facility use, per the Free Facility Use Policy.

**STAFF RECOMMENDATION:** The Park Commission is recommending the addition of Fox Valley Humane Association to the Free Facility Use Policy. If the Board is in agreement, the following motion may be made: ***"Motion to add Fox Valley Humane Association to the Free Facility Use Policy."***

**POLICY/PLAN REFERENCE(S):** Free Facility Use Policy

**FISCAL IMPACT:** N/A

###

**Attachments:**

1. Free Facility Use Policy
2. Letter from Fox Valley Humane Association





## **Greenville Parks, Recreation and Forestry Department**

W6895-B Parkview Drive • PO Box 60 • Greenville, WI 54942

Phone: (920) 757-7276 • Fax: (920) 757-6342

[www.townofgreenville.com](http://www.townofgreenville.com)

### **FREE FACILITY USE POLICY**

It is recognized that there are several non-profit organizations in Greenville that provide many benefits to the community through their programs and events. They also routinely give back to the community through their support of the Greenville Park, Recreation and Forestry Department's programs and properties. Therefore, the following groups and organizations are exempt from any fees associated with their use park facilities.

- **Greenville Lions Club**
- **Greenville Lioness Club**
- **Greenville Civic Club**
- **Greenville Youth Sports**
- **Greenville Fire Department**
- **Greenville Women's Club**
- **Outagamie County Sheriff's Department**
- **Hortonville Area School District**
- **Any official Greenville board, commission or committee**

Any other group or organization, whether for profit or non-profit, shall be charged the normal rate for their use of park facilities. Any organization wishing to have the fee waived or reduced shall submit a written request to the Parks, Recreation and Forestry Department no less than 45 days prior to the event. The Park Commission will review the request at their next scheduled meeting and will make a recommendation to the Town Board for final approval. Requests will be reviewed on a case by case basis.





Greenville Town Board,

On behalf of Fox Valley Humane Association I am requesting a waiver of the Special Event Fee for the Bark in the Park – Hairy Pawter and the Sorcerers Bone fundraising event to be held on Saturday, May 18, 2019 at the Greenville Lions Park.

2019 is shaping up to be a year of rebuilding and rebranding for FVHA. We are facing some financial struggles but under new leadership and a staff dedicated to the welfare of animals and their people we foresee a bright future ahead.

By establishing relationships with new donors, reconnecting with past donors, applying for grants and setting our sights on serving our community as a resource for pets and their people we will achieve the goals that we have set forth.

Thank you for your consideration,

A handwritten signature in black ink that reads "Vicki".

Vicki Prey  
Executive Director  
920-733-1717 ext.113  
director@foxvalleypets.org



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Chairperson and Commission and Board Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** April 15, 2019  
**RE:** **Site Plan and Special Exception for Automotive Use for Greenville Auto**

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**ACTION TYPE:** This item is for possible Planning Commission and Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** John Korth, property owner and applicant, has submitted an application for a site plan and special exception to develop a used car sales facility and automotive shop; self-storage units are also proposed and are a permitted use. The property is located on Hwy 15 on parcels 110014207, 110014208, 110014210, 110014211, is approximately 11.3 acres is zoned General Commercial and is currently being used for agricultural purposes and lies within the Gateway District. A CSM was approved in February 2019 to combine all four parcels as well as rezoning a portion from Two Family Residential to General Commercial.

The Planning Commission tabled the requests at its March 25, 2019 meeting as it felt the applicant didn't meet the Gateway District standards related to the design of the building. The applicant has since revised the building to provide for an all masonry façade facing Hwy 15, as required by the ordinance, as well as included additional detail and articulation to the façade. Foundation landscaping has been provided to provide for additional articulation of the façade.

**SURROUNDING ZONING AND LAND USES:**

	Existing Zoning	Existing Land Use
North	Agriculture	Residential
South	Agriculture	Residential
East	General Commercial	Commercial
West	Two Family and Ag	Residential

**ITEMS FOR DISCUSSION:**

1. Special Exception: A Special Exception for a car dealership and automotive shop has been requested:
  - a. Section 320-209A(1-10) Standards for granting a special exception. Special Exceptions may be granted by the Planning Commission, and approved by the Town Board, when all of the following conditions prevail:



- i. The establishment, maintenance, or operation of the special exception will not be detrimental to, or endanger the public health, safety, morals, comfort or general welfare of the community.
  - ii. The special exception will not be injurious to the uses of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
  - iii. The proposed use will not create a look of clutter, garishness, glare or creates an obnoxious noise level, or would generate any other incompatibility with surrounding neighborhood.
  - iv. The impact of the use is furthering the purposes of this chapter or the purposes of the zoning district in which the use is proposed or the adopted Comprehensive Plan of the Town.
  - v. The establishment of the special exception will not impede the normal and orderly development and improvement of the surrounding property.
  - vi. Adequate facilities, access roads, drainage and/or necessary services will be provided.
  - vii. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
  - viii. If the special exception involves a public use or a use providing public utility service, that such use or service shall meet a demonstrable public need and provide a public benefit.
  - ix. Lot area, lot width and setbacks meet or exceed minimum requirements and are adequate for the proposed use. When there is an existing nonconforming structure, this provision may be waived by the Town Board.
  - x. Generally, a buffer shall exist as determined by the Planning Commission between the structure or land use to be occupied by the special exception and any adjoining property line.
2. The applicant will be required to obtain necessary permits from the WI Department of Transportation for access off of Hwy 15 prior to issuance of construction permits; however, there is an existing permitted access off of Hillview Road. If access is not permitted by the State, the Hillview Road access will be required to be widened to accommodate two way traffic.
  3. The applicant will be required to obtain necessary permits from the WI Department of Natural Resources prior to the Town issuing construction permits.
  4. The plans have been reviewed by staff and its engineering consultant and find them to be in general compliance with ordinance requirements other than the items mentioned above.

**STAFF RECOMMENDATION:** Staff recommends the Commission approve the site plan and special exception.

If the Commission is in agreement, the following motions may be made:

1. ***Site Plan "Motion to approve Resolution 18-19."***
2. ***Special Exception "Motion to recommend approval of Resolution 19-19 to the Town Board."***

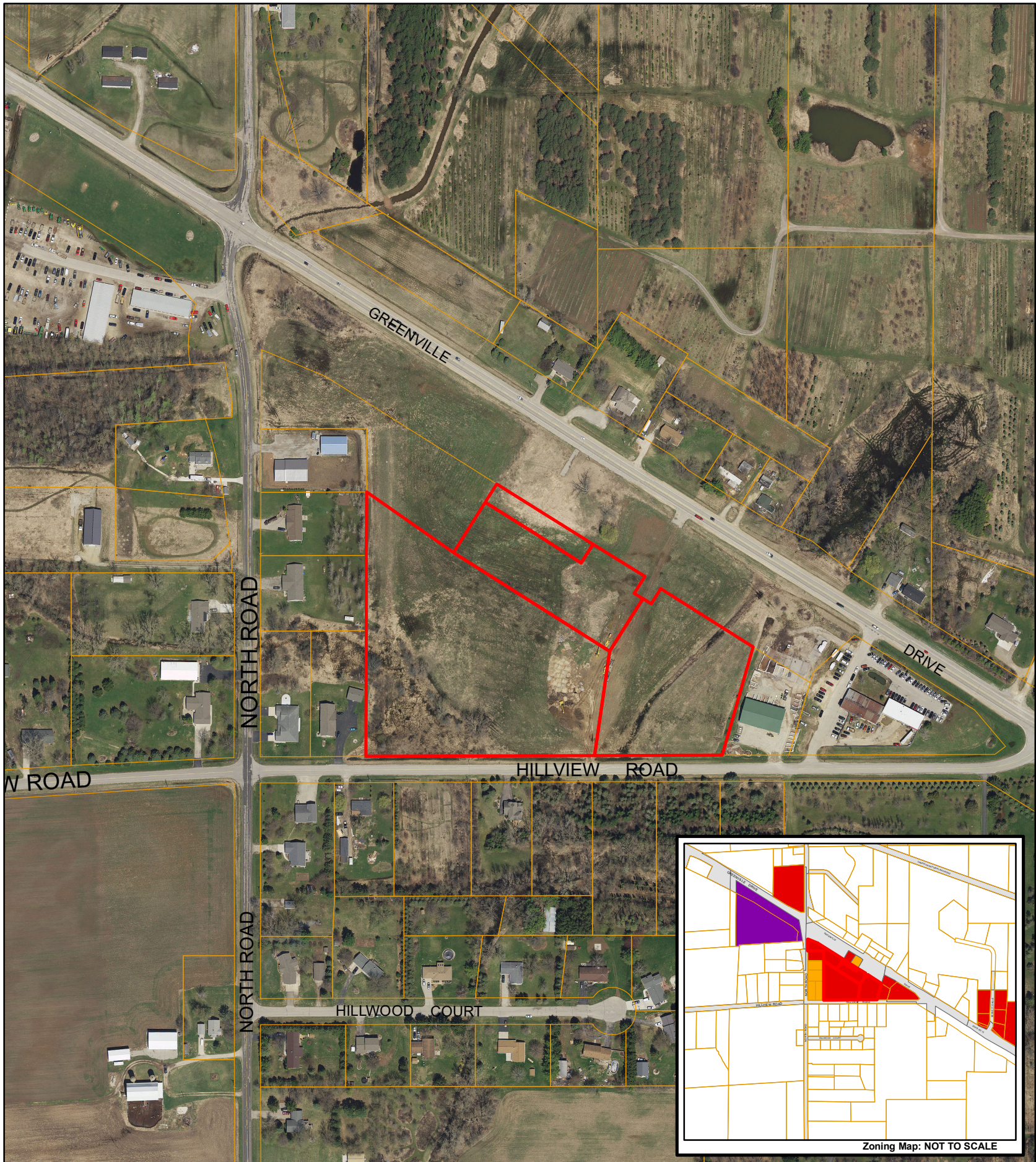


###

**Attachments:**

1. Aerial
2. Resolution 19-19





## Town of Greenville

### 2019\_Greenville Auto Site Plan and Special Exception

 Project Location








36

0 150 300 600 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

#### Zoning

-  GENERAL AGRICULTURE
-  SINGLE FAMILY RESIDENTIAL
-  TWO FAMILY RESIDENTIAL
-  MULTI-FAMILY RESIDENTIAL
-  GENERAL COMMERCIAL DISTRICT

-  PLANNED COMMERCIAL
-  NEIGHBORHOOD COMMERCIAL DISTRICT
-  BUSINESS PARK
-  INDUSTRIAL
-  AIRPORT DISTRICT
-  Parcel Boundary

This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.



## **Resolution #19-19**

### **RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A SPECIAL EXCEPTION FOR GREENVILLE AUTO FOR AUTOMTIVE SALES AND REPAIR LOCATED ON HWY 15 AT PARCELS 110014207, 110014208, 110014210, 110014211**

**WHEREAS**, an Automotive Sale and Repair Shop has been applied for as a special exception for Greenville Auto located at on Hwy 15 on parcels 110014207, 110014208, 110014210, 110014211 as shown on the attached Exhibit A; and

**WHEREAS**, the Planning Commission has found that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and have recommended approval to the Town Board; and

**WHEREAS**, the approval and continued use of the special exception shall be conditioned on the following

1. All vehicles shall be parked on paved surfaces; parking on gravel or grass is prohibited; and
2. No permits shall be issued until all local, county, state and federal regulations are met; and
3. If access is denied off of Hwy 15 the Hillview Road access shall be widened in order to provide two way traffic all the way back to the parking lot area prior to issuance of construction permits; and
4. Cyclone/chainlink fencing shall be prohibited for the storage and refuse areas.

**WHEREAS**, per Section 320-209B(2) of the Zoning Ordinance, the special exception shall expire if the use is discontinued for a period of eight months. If a building permit is required, and has not been obtained within 12 months of the issuance of the special exception permit, the applicant must request in writing and the Planning Commission may approve an extension if it finds there is no significant change to warrant a new special exception permit application. If the special exception does not require a building permit and has not started within 12 months of issuance of the special exception permit the permit is considered null and void and an application for a special exception permit shall be required. If the conditions set forth above are not met within the specified timeframes the special exception permit shall expire and be null and void. The special exception shall run with the land and is transferable with the sale of the property; and

**WHEREAS**, this resolution shall act as the special exception permit and be enforceable by the Town;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and approves the special exception permit.

This resolution was adopted by the Town of Greenville Town Board on the 22<sup>nd</sup> day of April, 2019:



TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #19-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Ryan			
Supervisor	Strobel			
Chairperson	Anderson			

Posted:



NEW BUILDING FOR:

# GREENVILLE AUTO

GREENVILLE DRIVE  
TOWN OF GREENVILLE, WISCONSIN

SPECIFICATION NOTES

A. GENERAL:

1. ALL WORK AND MATERIALS SHALL CONFORM TO THE 2009 INTERNATIONAL BUILDING CODE AS ADOPTED BY THE STATE OF WISCONSIN AND ALL OTHER APPLICABLE STATE AND LOCAL CODES. ALL WORK SHALL BE PERFORMED IN A COMPLETE AND WORKMANLIKE MANNER.
2. PROVIDE ADEQUATE CLEARANCES FROM POWER LINES AND OTHER HAZARDS. NOTIFY ALL AFFECTED UTILITY COMPANIES TO LOCATE EXISTING LINES. PROVIDE AT LEAST THREE WORKING DAYS NOTICE IF ANY REMARKING OF UTILITY LOCATIONS IS REQUIRED.
3. PROVIDE ALL NECESSARY LABOR, MATERIALS, EQUIPMENT, AND SERVICES REQUIRED TO COMPLETE ALL WORK AS SPECIFIED OR SHOWN ON THESE DRAWINGS.

B. SITE WORK:

1. THE FOLLOWING ITEMS SHALL BE INCLUDED WITH THE EARTHWORK CONTRACTOR'S WORK: ALL EXCAVATING AND BACKFILLING INCLUDING FOUNDATION WALLS AND FOOTINGS, SHAPING DITCHES, GRADING, AND GRANULAR BASE COURSE. ALL BACKFILL MATERIAL INSIDE BUILDING LINES SHALL BE GRANULAR IN NATURE, PLACED IN LAYERS NOT TO EXCEED 9 INCHES THICKNESS, AND COMPACTED BY MEANS OF VIBRATORY EQUIPMENT TO AT LEAST 95% OF MAXIMUM DENSITY, AT OPTIMUM MOISTURE CONTENT, IN ACCORDANCE WITH ASTM D1557-11. TOP 3" SHALL BE CRUSHER RUN GRAVEL.
2. THE FOLLOWING ITEMS SHALL BE COVERED UNDER SEPARATE CONTRACTS: BITUMINOUS PAVEMENT, CONCRETE CURBS AND DRIVEWAY APRONS, SEWER & WATER WORK, AND LANDSCAPING.
3. EARTHWORK CONTRACTOR'S BID SHALL INCLUDE EXCAVATING, TRENCHING, AND BACK-FILLING FOR ALL WALLS AND FOOTINGS. ALL BACKFILL MATERIAL WITHIN BUILDING LINES SHALL BE GRANULAR IN NATURE, PLACED IN LAYERS NOT TO EXCEED 9 INCHES THICKNESS, AND MACHINE COMPACTED TO AT LEAST 95% OF MAXIMUM DENSITY, AT OPTIMUM CONTENT, IN ACCORDANCE WITH ASTM D1557-11. TOP 3" SHALL BE CRUSHER RUN GRAVEL.
4. PREVENT SURFACE WATER AND SUBSURFACE OR GROUND WATER FROM FLOWING INTO EXCAVATIONS AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA.

DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. REMOVE WATER TO PREVENT SOFTENING OF FOUNDATION BOTTOMS, UNDERCUTTING FOOTINGS, AND SOIL CHANGES DETRIMENTAL TO STABILITY OF SUBGRADES AND FOUNDATIONS. PROVIDE AND MAINTAIN PUMPS, WELL POINTS, SUMPS, SUCTION AND DISCHARGE LINES, AND OTHER DEWATERING SYSTEM COMPONENTS NECESSARY TO CONVEY WATER AWAY FROM EXCAVATIONS.

ESTABLISH AND MAINTAIN TEMPORARY DRAINAGE DITCHES AND OTHER DIVERSIONS OUTSIDE EXCAVATION LIMITS TO CONVEY RAIN WATER AND WATER REMOVED FROM EXCAVATIONS TO COLLECTING OR RUN-OFF AREAS. DO NOT USE TRENCH EXCAVATIONS AS TEMPORARY DRAINAGE DITCHES.

C. PRE-ENGINEERED METAL BUILDING

2. BUILDING SHALL BE DESIGNED, MANUFACTURED, AND ERECTED IN CONFORMANCE WITH MEMA STANDARDS.
4. PRE-ENGINEERED METAL BUILDING PERMIT DRAWINGS SHALL BE DESIGNED, AND SEALED BY A WISCONSIN-REGISTERED PROFESSIONAL ENGINEER.
5. PRE-ENGINEERED METAL BUILDING DESIGNER SHALL SUPPLY UTSCHIG INC. FOUR (4) COPIES OF STAMPED DRAWINGS AND (2) SETS OF CALCULATIONS FOR SUBMITTAL TO DEPT. OF COMMERCE.
6. METAL BUILDING DESIGNER SHALL INCLUDE ADEQUATE PROVISIONS TO ACCOMMODATE THERMAL EXPANSION AND CONTRACTION OF ROOF SYSTEM. PROVISIONS MAY INCLUDE LONGITUDINAL AND/OR TRANSVERSE ROOF STEPS (JOINTS), SPECIAL RIDGE AND EAVES CONNECTION DETAILS, AT THE DESIGNER'S DISCRETION.
- D. FINISH ITEMS:
1. INSULATION SHALL BE AS NOTED ON DRAWINGS.
2. EXTERIOR SERVICE DOORS SHALL BE HOLLOW CORE METAL DOORS, WITH POLYSTYRENE FOAM CORES, IN METAL FRAMES. FRAMES TO BE INSULATED WITH 4" INSULATION. ALL REQUIRED EXIT DOORS SHALL HAVE ILLUMINATED EXIT LIGHTS AND EXIT HARDWARE IN CONFORMANCE WITH WISCONSIN ENROLLED COMMERCIAL BUILDING CODE CHAPTER 10, SECTION 1003.2.10.
3. EXTERIOR OVERHEAD DOORS, FRAMES, AND HARDWARE SHALL BE SIMILAR TO BAY-THERM II INSULATING DOOR.

E. HVAC WORK: COVERED UNDER SEPARATE CONTRACT.

F. ELECTRICAL WORK: COVERED UNDER SEPARATE CONTRACT.

G. PLUMBING WORK: COVERED UNDER SEPARATE CONTRACT.

GENERAL NOTES

ONE SET OF "STATE OF WISCONSIN - CONDITIONALLY APPROVED" PLANS MUST BE KEPT ON SITE DURING ALL WORKING PERIODS.

CONTRACTORS SHALL LOCATE ALL UTILITIES BEFORE CONSTRUCTION AND NOTIFY ENGINEER AND OWNER OF ANY INTERFERENCES.

CONTRACTORS SHALL PROVIDE ALL BARRIERS, BARRICADES, FENCES AND SAFETY EQUIPMENT AND PRECAUTIONS REQUIRED BY ALL CODES AND SAFE CONSTRUCTION PRACTICES.

ALL CONSTRUCTION SHALL CONFORM TO STATE AND LOCAL CODES AND ORDINANCES.

ALL MATERIALS SHALL BE INSTALLED PER MANUFACTURER'S REQUIREMENTS AND RECOMMENDATIONS.

CONSTRUCTION OF THIS BUILDING SHALL MEET OR EXCEED ALL APPLICABLE ORDINANCES, CODES AND STANDARDS. IN THE CASE OF CONFLICT, THE MOST STRINGENT SHALL APPLY.

THIS SET OF DRAWINGS SHOW AS CLEARLY AS POSSIBLE THE INTENT OF THIS PROJECT. IT IS IMPOSSIBLE TO SHOW EACH AND EVERY SPECIFIC DETAIL COMPONENT, ANCHOR, ETC. ON THE DOCUMENTS. THEREFORE, IT IS THE RESPONSIBILITY OF THE CONTRACTOR(S) TO PROVIDE ALL LABOR AND MATERIAL, INCLUDING ITEMS NOT SPECIFICALLY SHOWN, AS NECESSARY TO ACCOMPLISH THE INTENT OF THESE DOCUMENTS AND A COMPLETE OPERATING SYSTEM OR ASSEMBLY.

VERIFY ALL DIMENSIONS AND CONDITIONS IN FIELD AND REPORT ANY DISCREPANCIES TO THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION.

ALL PLAN DIMENSIONS ARE NOMINAL. SEE DETAILS FOR ACTUAL DIMENSIONS NEEDED AND COORDINATE ALL DIMENSIONS WITH SHOP DRAWINGS AND MATERIAL SUPPLIERS.

DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE SHOWN. WHERE SPECIFIC DIMENSIONS, DETAILS OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO PROCEEDING WITH WORK.

REFER TO ALL DRAWINGS, INCLUDING ARCHITECTURAL, CIVIL, AND STRUCTURAL FOR ADDITIONAL GENERAL NOTES, ABBREVIATIONS AND SYMBOLS.

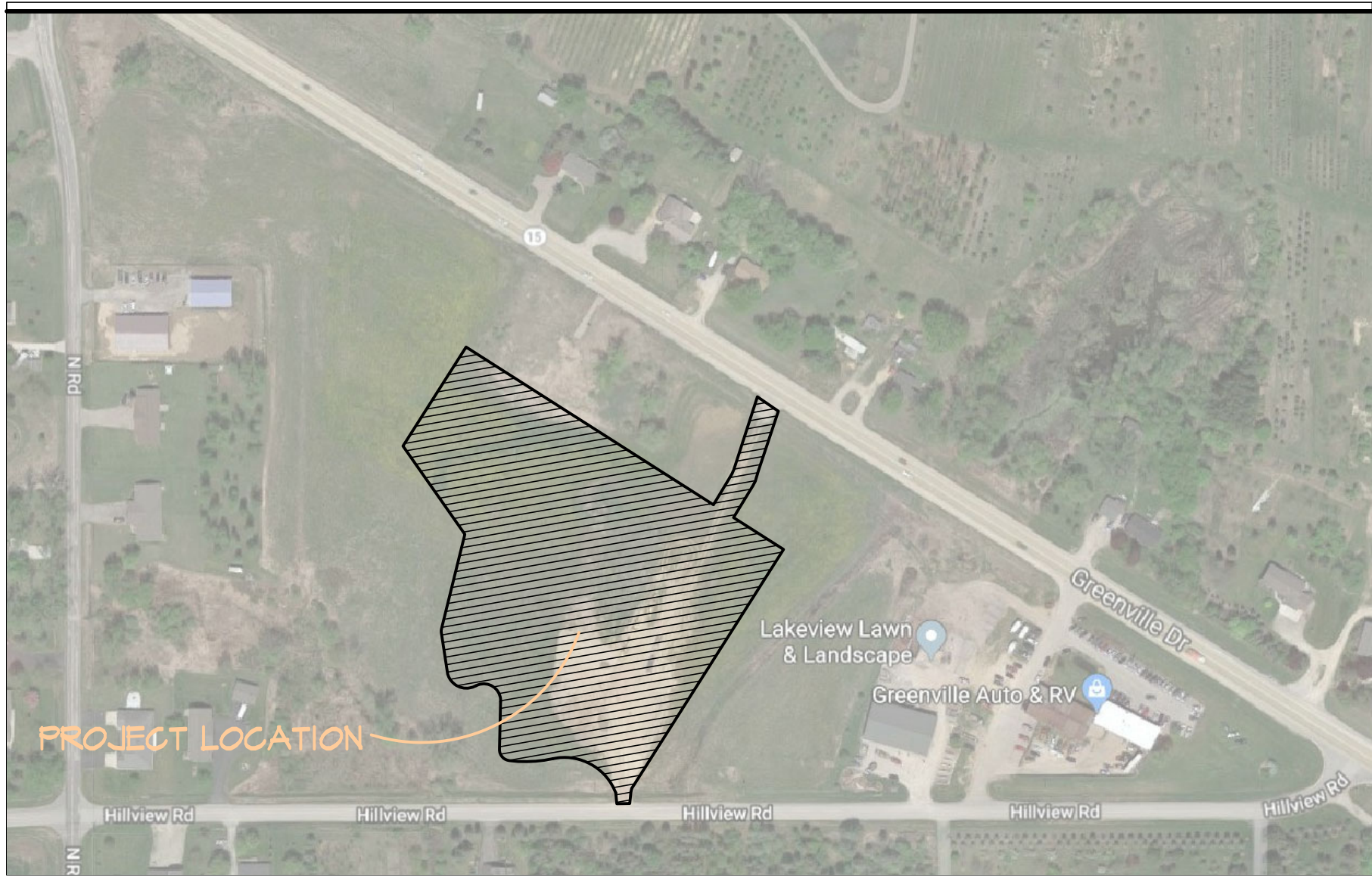
ALL DRAWINGS ARE OF EQUAL IMPORTANCE IN DEFINING WORK OF THIS CONTRACT. CONTRACTORS SHALL REVIEW ALL DRAWINGS PRIOR TO INSTALLATION OF THEIR WORK. SHOULD THERE BE A DISCREPANCY WITHIN AND BETWEEN THE DRAWINGS, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO INSTALLATION OF SAID WORK. ANY WORK INSTALLED IN CONFLICT WITH THE ARCHITECTURAL DRAWINGS SHALL BE CORRECTED BY THE CONTRACTOR AT ITS EXPENSE AND AT NO ADDITIONAL COST TO THE OWNER OR ARCHITECT/ENGINEER.

DO NOT SCALE DRAWINGS. THE DRAWINGS MAY NOT NECESSARILY BE TO SCALE - USE GIVEN DIMENSIONS. CONTRACTORS SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO THE START OF CONSTRUCTION. IF DISCREPANCIES ARE FOUND, NOTIFY THE ARCHITECT/ENGINEER, IN WRITING, FOR CLARIFICATION PRIOR TO COMMENCING WITH THE WORK.

GENERAL CONTRACTOR SHALL COORDINATE ALL FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL FLOOR, ROOF, AND WALL SLEEVES AND ALL SHAFTS WITH STRUCTURAL AND ARCHITECTURAL DRAWINGS.

FIRE PROTECTION, PLUMBING, HVAC AND ELECTRICAL DESIGN/BUILD CONTRACTORS SHALL PROVIDE SLEEVED PENETRATIONS THROUGH FIRE-RATED CONSTRUCTION WITH FIRE-SAFING AND/OR FIRE DAMPERS EQUIVALENT TO THE HOURLY FIRE RATING OF THE CONSTRUCTION.

PRIOR TO CONSTRUCTION, GENERAL CONTRACTOR SHALL SUBMIT PRE-ENGINEERED METAL BUILDING SHOP DRAWINGS AND CALCULATIONS TO THE ARCHITECT/ENGINEER FOR REVIEW PRIOR TO FABRICATING BUILDING COMPONENTS. UPON SATISFACTORY REVIEW OF ARCHITECT/ENGINEER, GENERAL CONTRACTOR TO PROVIDE 3 SETS OF ENGINEERED METAL BUILDING DRAWINGS AND CALCULATIONS SIGNED AND SEALED BY A PROFESSIONAL ENGINEER LICENSED IN THE STATE OF WISCONSIN TO THE ARCHITECT/ENGINEER AS A STRUCTURAL COMPONENT SUBMITTAL.



VICINITY MAP  
N.T.S.



PROJECT INFORMATION

OFFICE / SHOP

OCCUPANCY: BUSINESS B ( OFFICE ) & S1 (STORAGE)  
TYPE OF CONSTRUCTION: VB (WOOD FRAMED UNPROTECTED)  
NON-SPRINKLERED

S1 - 5,760 S.F. = 17 OCC.

B - 1,472 S.F. = 7 OCC.

OCCUPANT LOAD 24

EGRESS WIDTH REQUIRED

2' / OCCUPANT

24 X 2 = 4.8" REQUIRED

EXIT ACCESS TRAVEL DISTANCE

250' PER TABLE 1016.1

TOILET FACILITIES PER TABLE 2902.1

MENS 12 OCC.

12/25 = 48 W.C. 12/40 = 35 LAV.

1 W.C. REQUIRED 1 LAV. REQUIRED

1 W.C., 1 LAV. PROVIDED

WOMENS 12 OCC.

12/25 = 48 W.C. 12/40 = 35 LAV.

1 W.C. REQUIRED 1 LAV. REQUIRED

1 W.C., 1 LAV. PROVIDED

1 SERVICE SINK PROVIDED IN EACH MECH. ROOM

ACTUAL AREA PER FLOOR

BUILDING AREA / PROJECT AREA  
GRADE LEVEL 7,232 S.F.

ALLOWABLE AREA PER FLOOR

BUSINESS USE B / S1 STORAGE

9,000 PER TABLE 503

GRADE PLAN DETERMINATION

THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 22'-0"

ALLOWABLE HEIGHT PER TABLE 503 IS 40'

NUMBER OF STORIES (1)

THIS BUILDING HAS ONE FLOOR LEVEL

WASTE STORAGE

NO OUTSIDE STORAGE OF WASTE/  
ANTI-FREEZE OR OIL STORAGE

OWNER: JOHN KORTH  
N2121 GREENVILLE DRIVE  
HORTONVILLE, WI. 54444

CONTACT: JOHN KORTH  
PHONE - (920) 470-4907

DESIGNERS OF RECORD:

ARCHITECT: UTSCHIG, INC.  
N1040 CRAFTSMEN DR.  
GREENVILLE, WI 54442  
P(920) 757-0499

CONTACT: MARK C. ROHLOFF

CONTRACTOR:  
UTSCHIG, INC. - 920-757-0499  
N1040 CRAFTSMEN DRIVE  
GREENVILLE, WISCONSIN 54442

INDEX OF DRAWINGS

T100	TITLE SHEET
PAGE 1.0	SITE PLAN
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PAGE 1.4	UTILITY PLAN
PAGE 2.1	CONSTRUCTION DETAILS
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L100	LANDSCAPE & LIGHTING PLAN
L101	ENLARGED LANDSCAPE & LIGHTING PLAN
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I OF I	PHOTOMETRIC SITE PLAN
A101	FLOOR PLAN
A10A	BUILDING "A" FLOOR PLAN
A10B	BUILDING "B" FLOOR PLAN
A10C	BUILDING "C" FLOOR PLAN
A10D	BUILDING "D" FLOOR PLAN
A201	BUILDING ELEVATIONS
A20A	BUILDING "A" ELEVATIONS
A20B	BUILDING "B" ELEVATIONS
A20C	BUILDING "C" ELEVATIONS
A20D	BUILDING "D" ELEVATIONS

REVISED FOR SITE PLAN SUBMITTAL 4/01/19  
FOR SITE PLAN SUBMITTAL 3/15/19

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NEW BUILDING FOR:  
GREENVILLE AUTO

TITLE SHEET

Description

No. Date

Page Information

Drawn By EAF Approved By CMR

Project No. 18-2060 Date 4/01/19

Sheet No.

T100

PHONE: 920.757.0999  
FAX: 920.757.1015

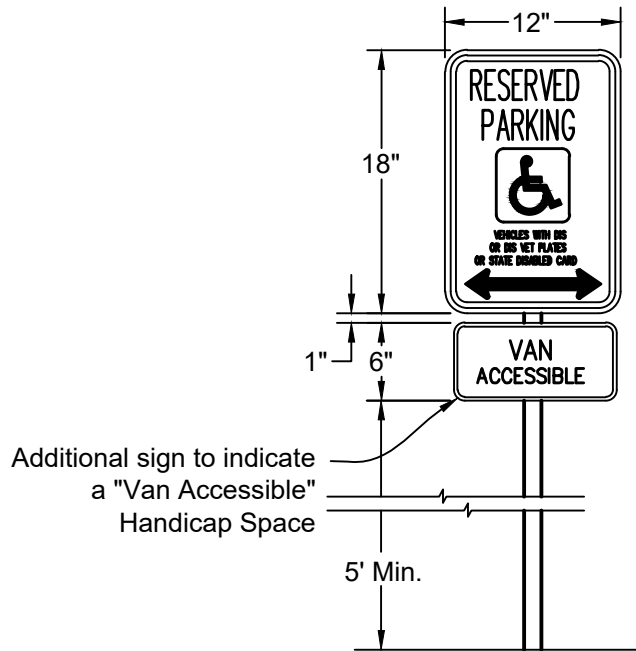
N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54442





LEGEND

—DH—DH—	Overhead Electric Lines	○	Utility Pole	○	Deciduous Tree
.....	Utility Guy Wire	+	Ex Spot Elevation	●	Benchmark
—San—San—	Sanitary Sewer			▨	Asphalt Pavement
—Sto—Sto—	Storm Sewer			▩	Concrete Pavement
~~~~~	Treeline			▧	Gravel
~~~~~	Culvert			▤	Proposed Building
~~~~~	Index Contour			▥	Proposed Asphalt
~~~~~	Intermediate Contour			▦	Proposed Concrete
				▧	Proposed Gravel



HANDICAP PARKING SIGN DETAIL

Project Information

Owner:  
Greenville Auto & RV  
N2121 Greenville Drive  
Hortonville, WI 54944  
Phone (920) 470-9907

Site:  
Parcel ID # 110014207, 110014208, 110014210, 110014211

Zoning: GC General Commercial District  
Site is not within airport zoning or buffers

Areas:  
Pavement: 97,371 square feet  
Building: 41,722 square feet  
Green Space: 420,812 square feet  
Total: 522,355 square feet

Total Impervious: 139,093 square feet (26.6%)

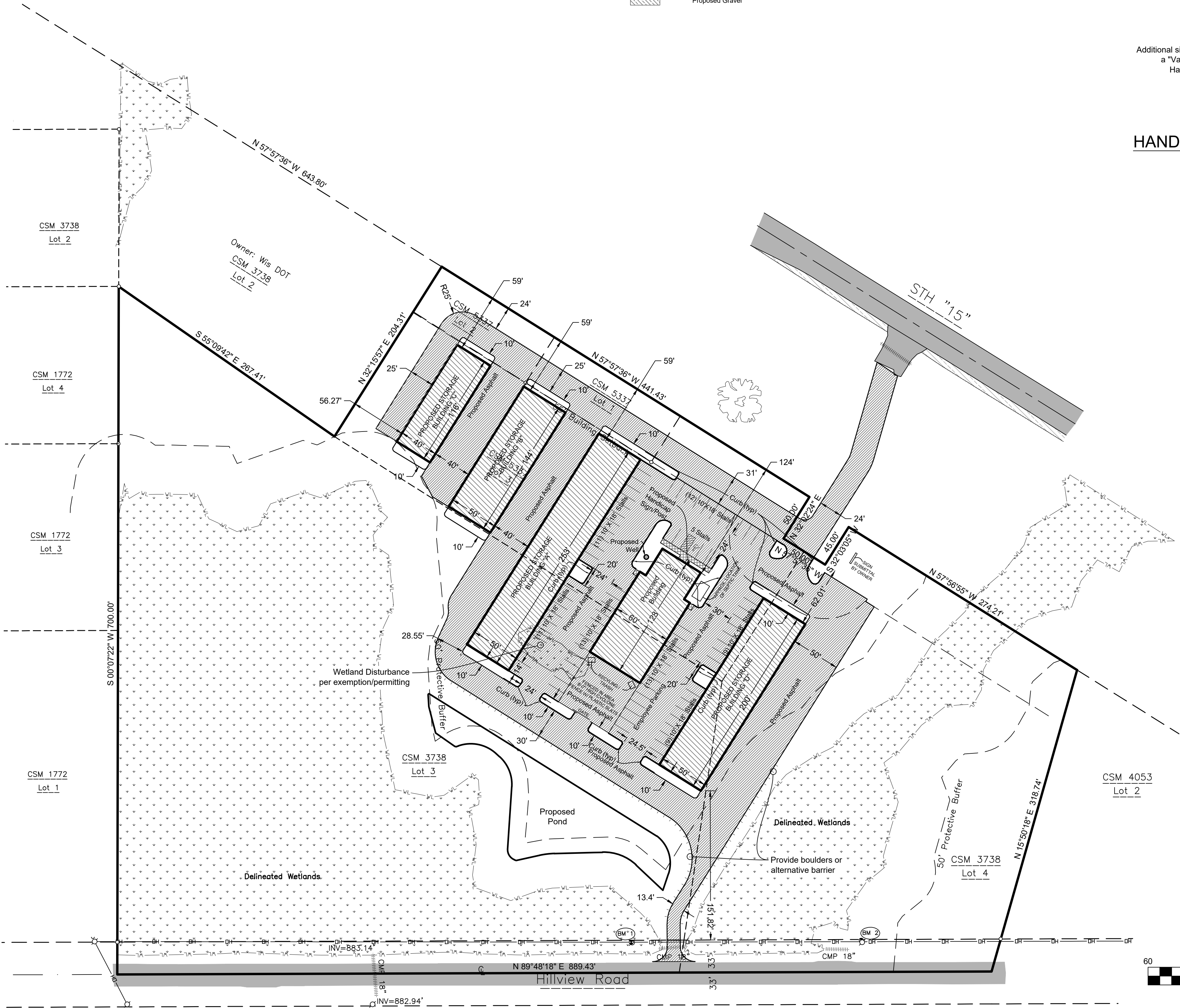
Setbacks:  
Front: Town Road=37'  
County or State Road=55'  
Rear: 25'  
Side: 20'

Notes:  
- Total Parking Stalls: 82 + 1 Handicap  
- Storage of hazardous materials (oil, antifreeze, etc) shall be located within proposed building.



SITE PLAN

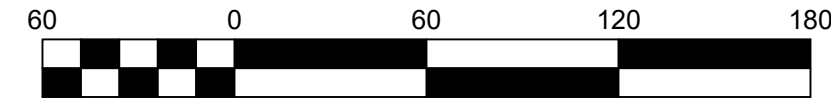
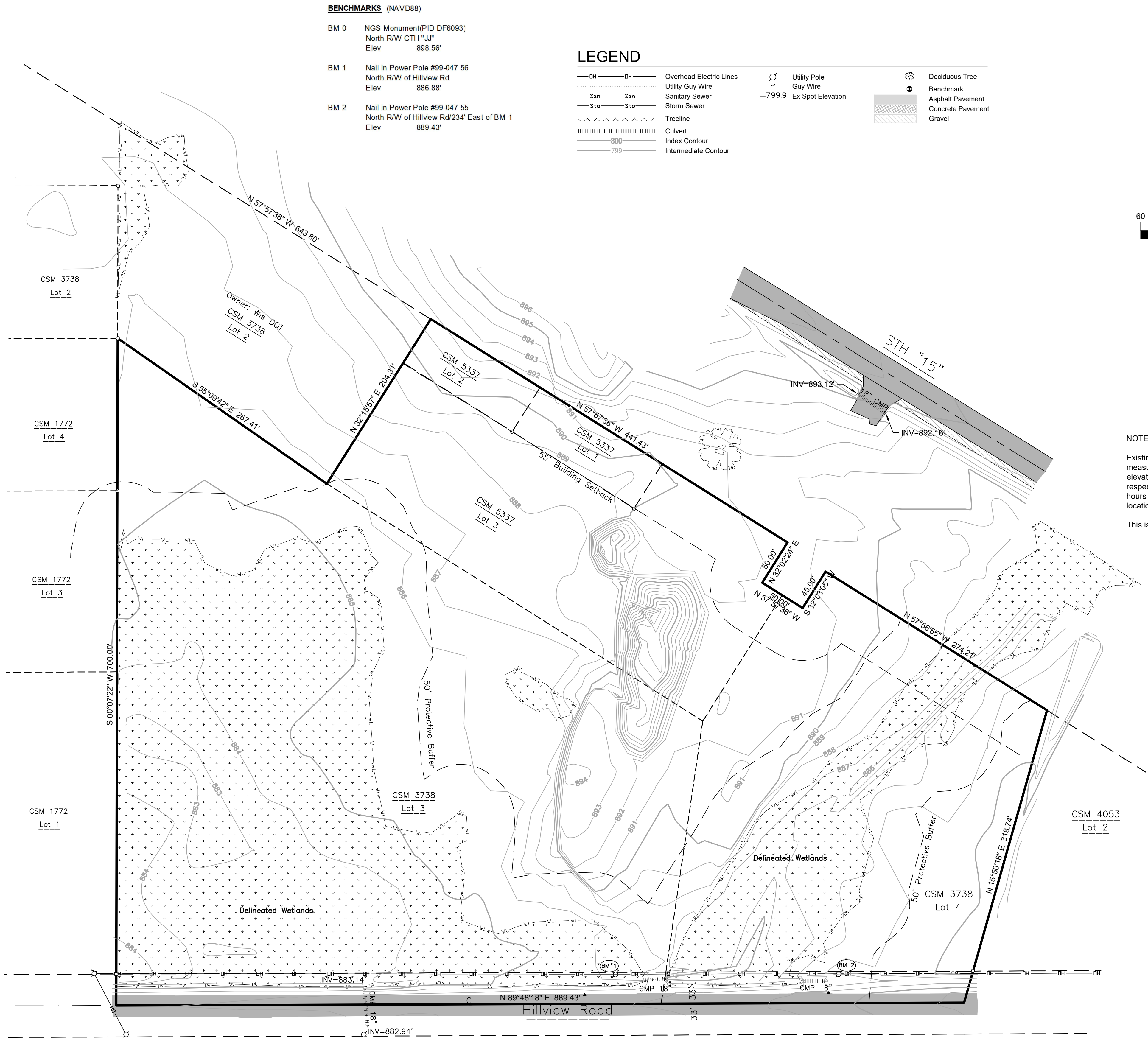
Greenville Auto  
Town of Greenville, Outagamie County, WI  
For: John Korth



SHEET INDEX:	
Sheet	Page
Site Plan	1.0
Topographic Survey	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Utility Plan	1.4
Construction Details	2.1
Stormwater Pond Details	2.2

Date:	04/1/2019
Filename:	5392engr.dwg
Author:	JRD
Last Saved by:	tim
Page	1.0





**NOTES**

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

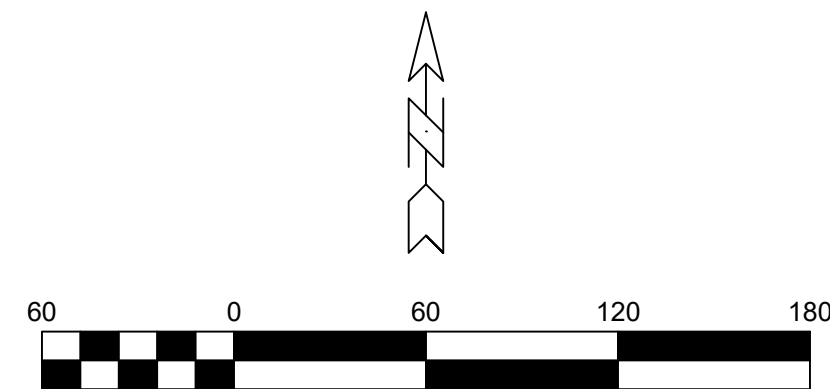
This is not a boundary survey.



**TOPOGRAPHIC SURVEY**

**GREENVILLE AUTO**  
Town of Greenville, Outagamie County, WI  
For: John Korth





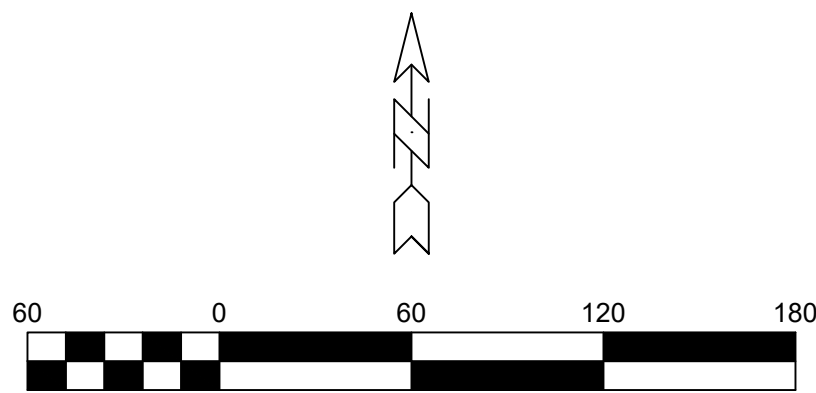
Legend:

- Overhead Electric Lines
- Utility Guy Wire
- Sanitary Sewer
- Storm Sewer
- Treeline
- Culvert
- Index Contour
- Intermediate Contour
- Proposed Storm Sewer
- Proposed Contour
- Proposed Swale
- Proposed Culvert
- Prop. Flowline Spot Elev.
- Prop. Top of Walk Elev.
- Existing Grade
- Utility Pole
- Guy Wire
- Ex Spot Elevation
- Proposed Storm Manhole
- Proposed Curb Inlet
- Prop. Catch Basin / Yard Drain
- Proposed Endwall
- Prop. Rip Rap
- Prop. Drainage Direction
- Prop. Finished Floor Elev.
- Deciduous Tree
- Benchmark
- Asphalt Pavement
- Concrete Pavement
- Gravel

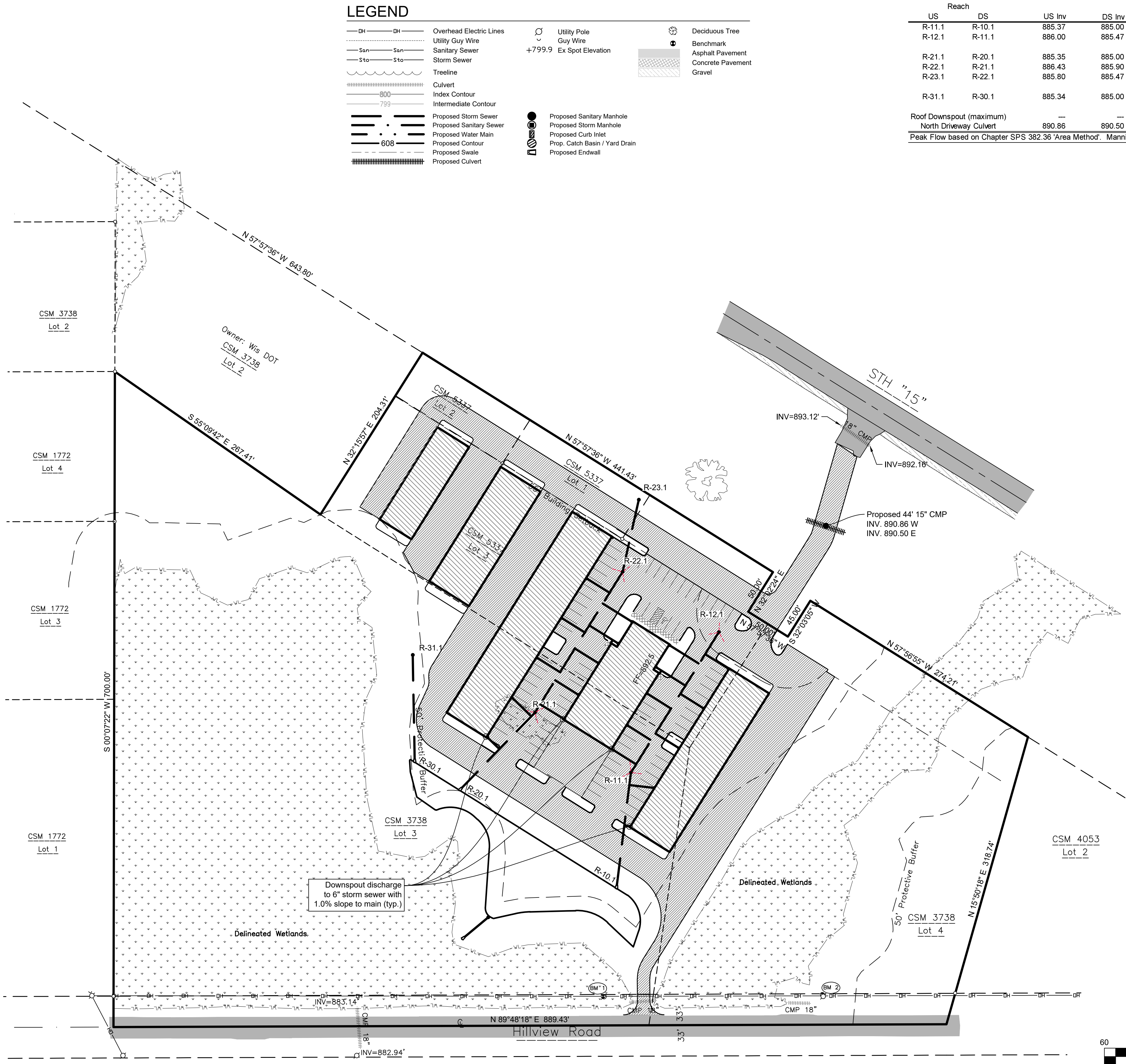
BM 0	NGS Monument (PID DF6093); North R/W CTH "JJ" Elev 898.56'
BM 1	Nail In Power Pole #99-047 56 North R/W of Hillview Rd Elev 886.88'
BM 2	Nail in Power Pole #99-047 55 North R/W of Hillview Rd/234' East of BM 1 Elev 889.43'

1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
4. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
5. Taper curb head per the curb and gutter termini detail adjacent to all buildings and sidewalks.









LEGEND

- |           |                         |        |                                |   |                   |
|-----------|-------------------------|--------|--------------------------------|---|-------------------|
| —DH—DH—   | Overhead Electric Lines | ○      | Utility Pole                   | ● | Deciduous Tree    |
| —San—San— | Sanitary Sewer          | +      | Guy Wire                       | ● | Benchmark         |
| —Sto—Sto— | Storm Sewer             | +799.9 | Ex Spot Elevation              | ■ | Asphalt Pavement  |
| ~~~~~     | Treeline                |        |                                | ■ | Concrete Pavement |
|           | Culvert                 |        |                                | ■ | Gravel            |
| —800—     | Index Contour           |        |                                |   |                   |
| —799—     | Intermediate Contour    |        |                                |   |                   |
| —•—       | Proposed Storm Sewer    | ●      | Proposed Sanitary Manhole      |   |                   |
| —•—       | Proposed Sanitary Sewer | ●      | Proposed Storm Manhole         |   |                   |
| —•—       | Proposed Water Main     | ●      | Proposed Curb Inlet            |   |                   |
| —•—       | Proposed Contour        | ●      | Prop. Catch Basin / Yard Drain |   |                   |
| —•—       | Proposed Swale          | ●      | Proposed Endwall               |   |                   |
| —•—       | Proposed Culvert        |        |                                |   |                   |

STORM SEWER PIPE SUMMARY

Reach		US Inv	DS Inv	Length	Slope	Size (in)	GRASS AREA (SF)	ROOF AREA (SF)	PAVEMENT AREA (SF)	PEAK FLOW GPM	Flow* (cfs)	Capacity (cfs)	Velocity (ft/s)
R-11.1	R-10.1	885.37	885.00	124	0.0030	15	360	5,880	10,050	1,039	2.31	3.83	3.1
R-12.1	R-11.1	886.00	885.47	177	0.0030	12	2,259	2,895	11,920	500	1.11	2.11	2.7
R-21.1	R-20.1	885.35	885.00	115	0.0030	18	360	5,870	9,831	2,034	4.53	6.23	3.5
R-22.1	R-21.1	886.43	885.90	177	0.0030	15	1,120	4,220	8,428	1,503	3.35	3.83	3.1
R-23.1	R-22.1	885.80	885.47	66	0.0050	12	69,282	0	13,136	1,070	2.38	2.73	3.5
R-31.1	R-30.1	885.34	885.00	114	0.0030	15	11,131	18,166	18,986	1,390	3.10	3.83	3.1
Roof Downspout (maximum)		—	—	Varies	0.0100	6	0	1250	0	48	0.11	0.61	3.1
North Driveway Culvert		890.86	890.50	44	0.0081	15	14,200	0	0	137	0.30	6.30	5.1

Peak Flow based on Chapter SPS 382.36 'Area Method'. Mannings 'n' value for pipe capacity computations equals 0.012.

STORM SEWER STRUCTURE SUMMARY

Structure	Type	Size	Cover	Final Grade Rim	Pipe Invert	Pipe Town Required Depth	Total Depth
R-10.1	Endwall	—	—	—	885.00	—	—
R-11.1	Catch Basin	36" ID	R-1550 (open)	891.00	885.37	5.63	6.00
R-12.1	Catch Basin	36" ID	R-1550 (open)	890.80	886.00	4.80	6.00
R-20.1	Endwall	—	—	—	885.00	—	—
R-21.1	Catch Basin	36" ID	R-1550 (open)	891.00	885.35	5.65	6.00
R-22.1	Catch Basin	36" ID	R-1550 (open)	891.00	886.43	4.57	6.00
R-23.1	Catch Basin	36" ID	R-1550 (open)	889.00	885.80	3.20	6.00
R-30.1	Endwall	—	—	—	885.00	—	—
R-31.1	Catch Basin	36" ID	R-1550 (open)	888.65	885.34	3.31	6.00

Sewer shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The Contractor shall be responsible for coordination of continuation of the services into the building to properly coincide with the interior plumbing plans, and compliance with all plumbing permits.

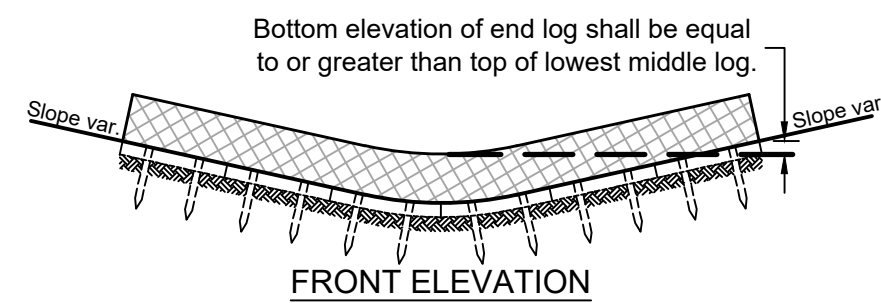
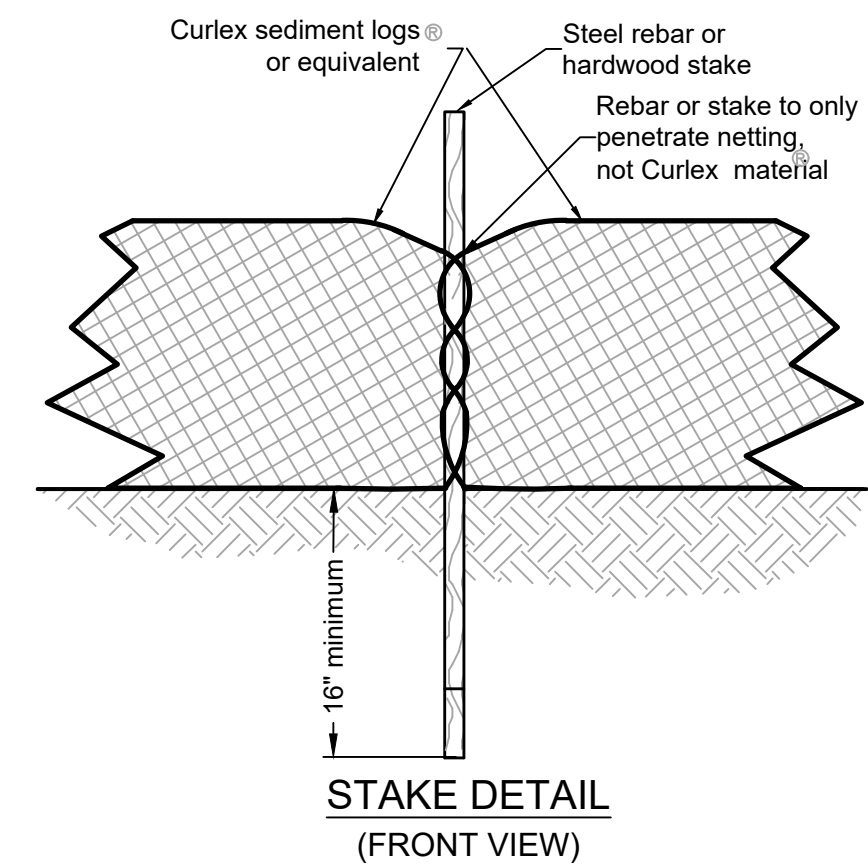
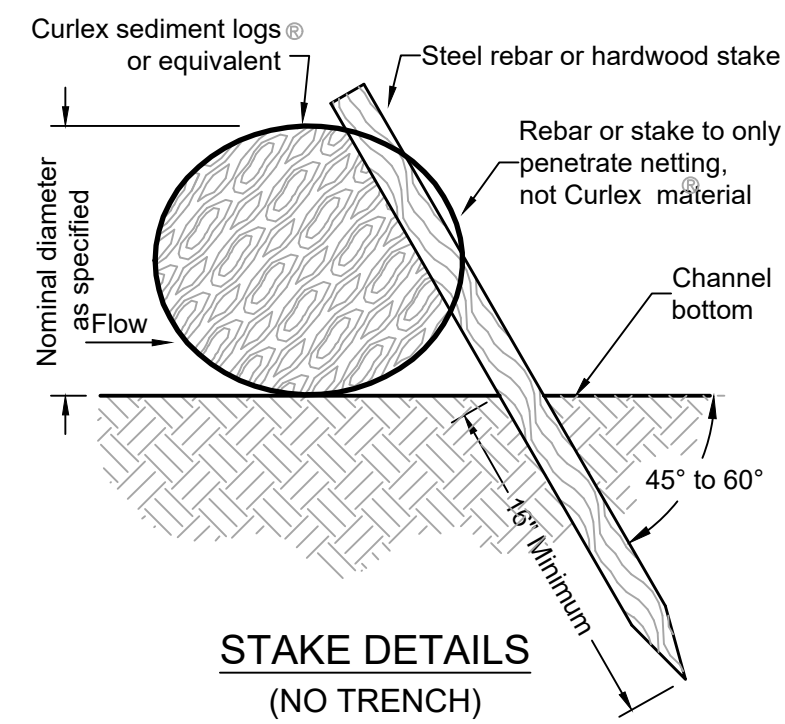
The Contractor is responsible for compliance with Department of Safety & Professional Services, Chapter SPS 382, for lateral construction and cleanout locations.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

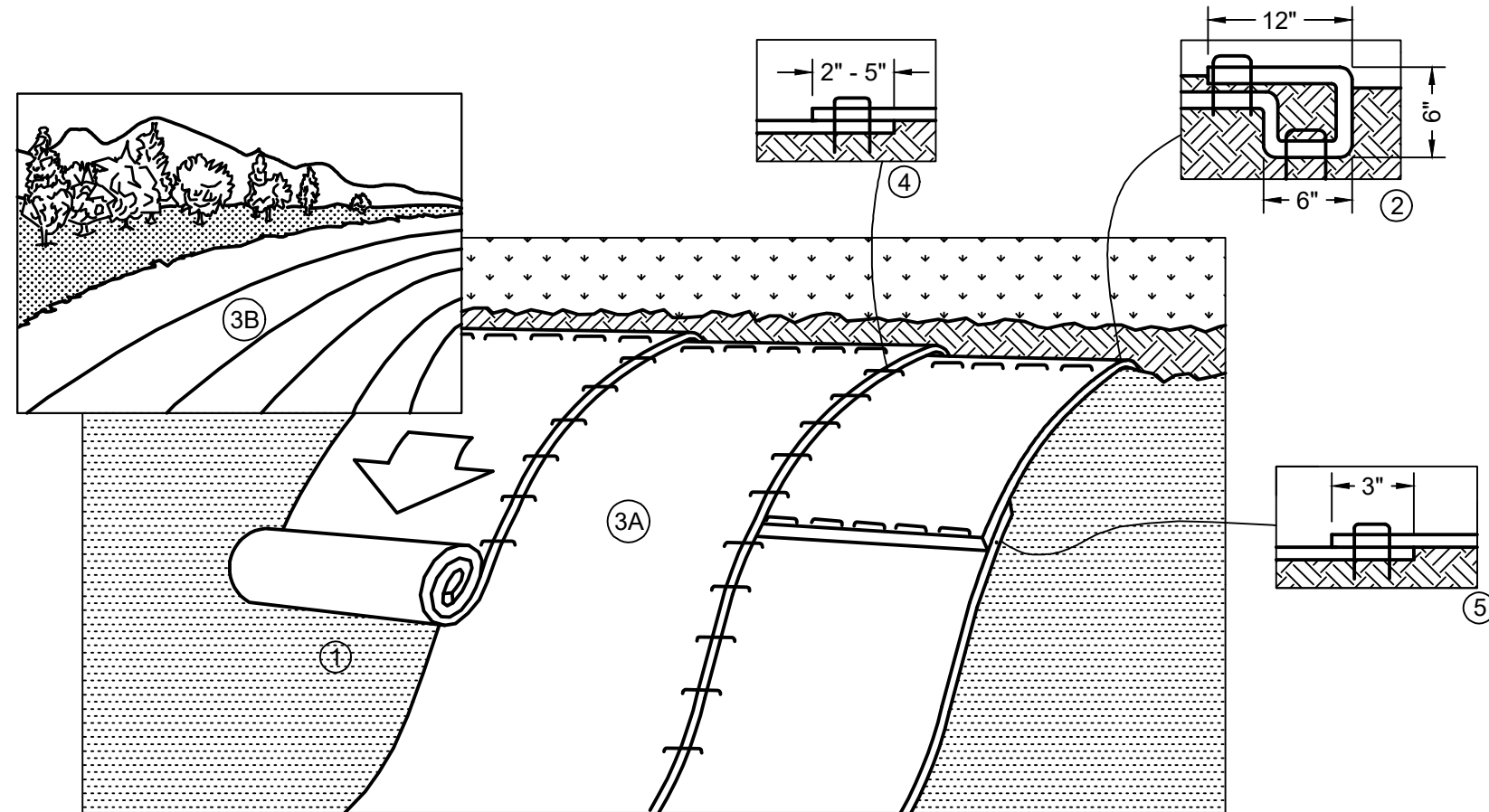
Storm Sewer Pipe shall be PVC SDR(35), Reinforced Concrete Class III, or HDPE, AASHTO M 294, Type S with soil tight joints, with minimum of 18 gauge, insulated (brown), single-conductor copper tracer wire, or equivalent, per SPS 382.36 (7)(d)10.a.





**NOTE:**  
Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

### SEDIMENT LOG DETAIL



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the slope by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) apart across the width of the RECP's.

3. Roll the RECP's (A.) down or (B.) horizontally across the slope. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the Dot system, staples/stakes should be placed through each of the colored Dots corresponding to the appropriate staple pattern.

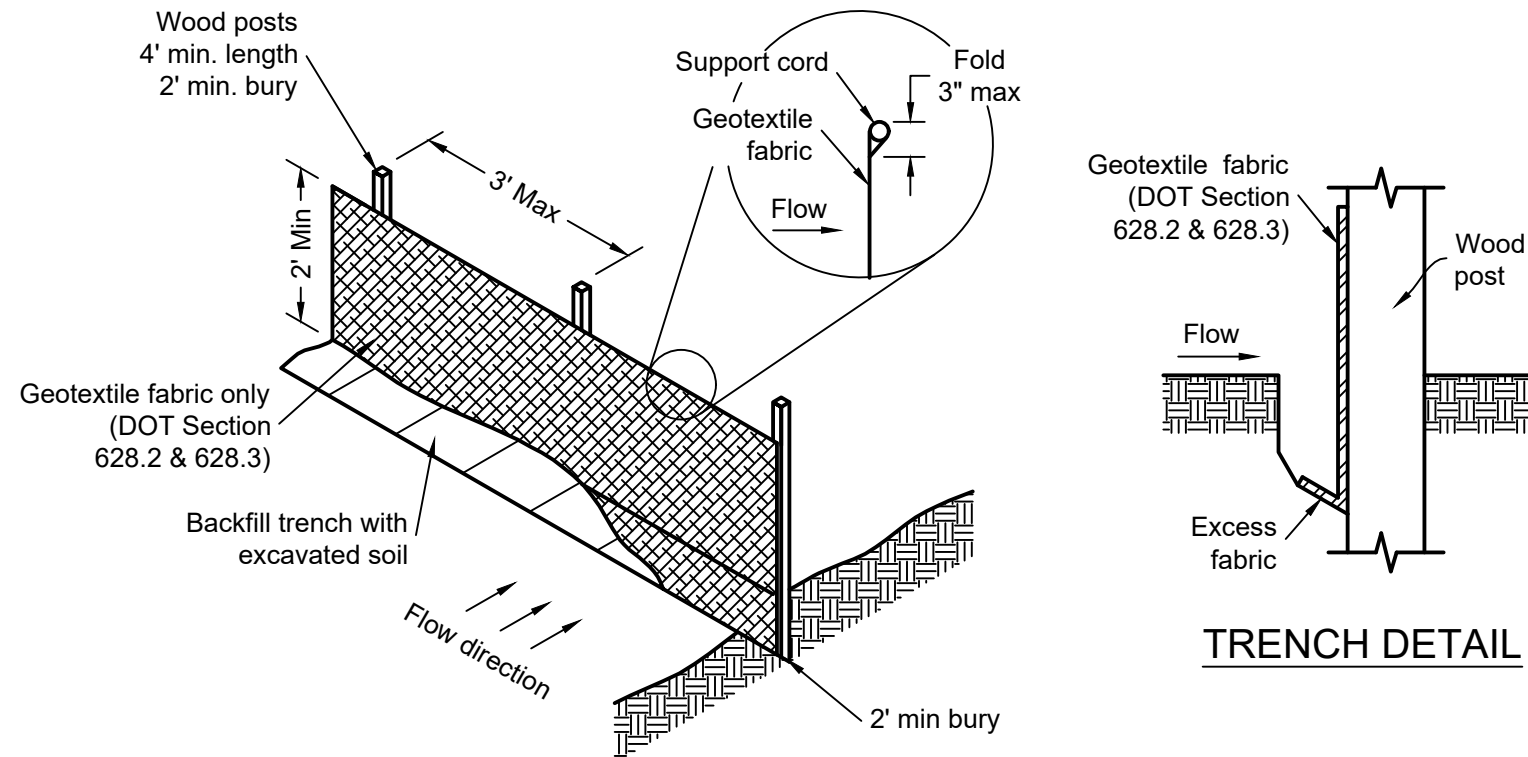
4. The edges of parallel RECP's must be stapled with approximately 2" - 5" (5 cm - 12.5 cm) overlap depending on RECP's type. 5. Consecutive RECP's spliced down the slope must be placed end over end (shingle style) with an approximate 3" (7.5 cm) overlap. Staple through overlapped area, approximately 12" (30 cm) apart across entire RECP's width.

Note: \* In loose soil conditions, the use of staple or stake lengths greater than 6" (30 cm) may be necessary to properly secure the RECP's.

6. Detail provided by North American Green (www.nagreen.com)

7. Turf Reinforcement Mats (TRM's) shall be installed in accordance with the above specifications for all RECP's. Anchoring size and pattern is to be installed per manufacturer specifications for clay soils having 4:1 slope. All TRM's shall be topsoil filled, seeded, and covered with a Class 2, Type B erosion mat in accordance with all manufacturer specifications.

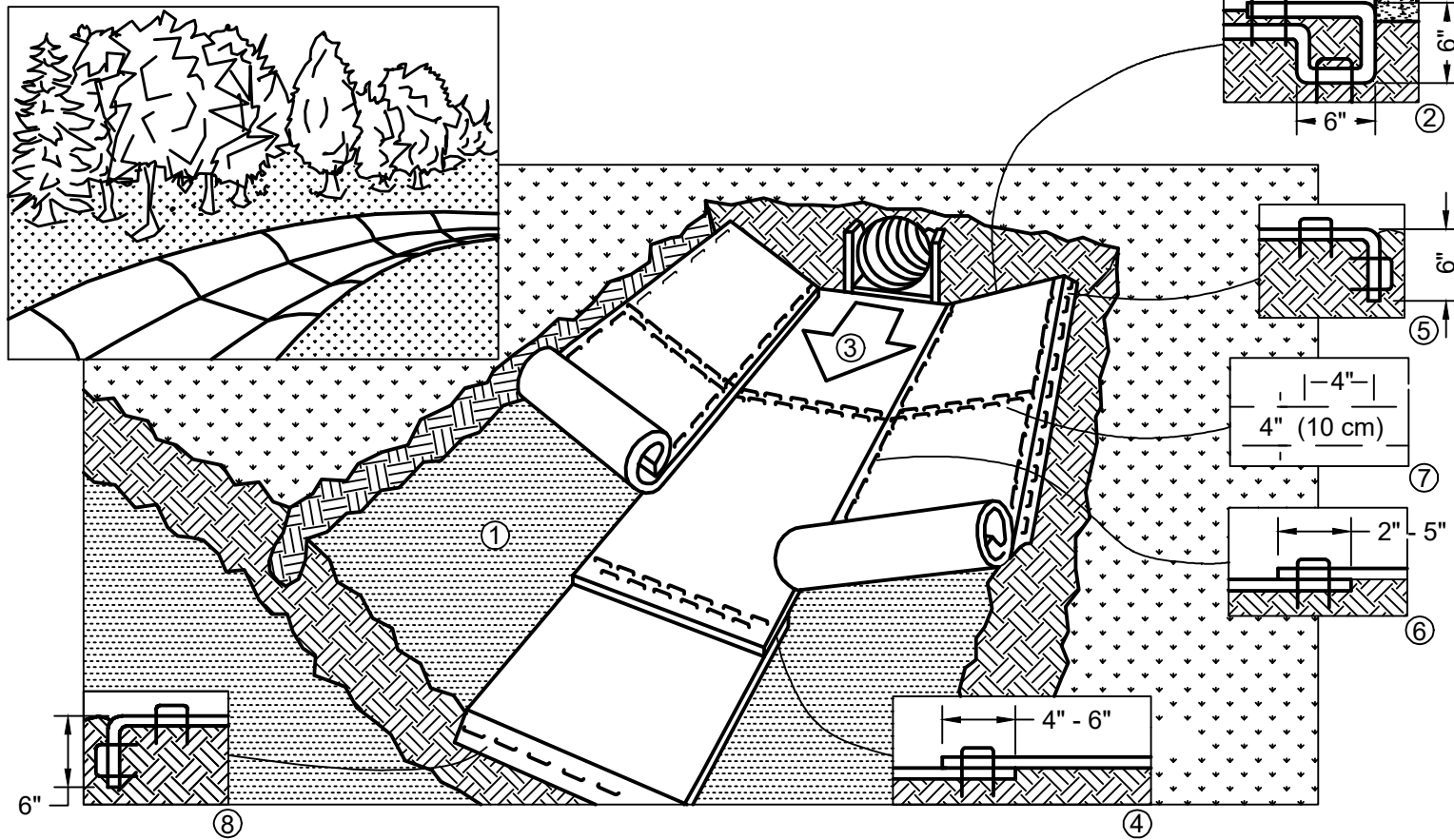
### EROSION/TURF REINFORCEMENT MAT SLOPE INSTALLATION



#### Silt fence notes:

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

### SILT FENCE INSTALLATION



1. Prepare soil before installing Rolled Erosion Control Products (RECP's), including any necessary application of lime, fertilizer, and seed.

Note: When using cell-o-seed do not seed prepared area. Cell-o-seed must be installed with paper side down.

2. Begin at the top of the channel by anchoring the RECP's in a 6" (15 cm) deep x 6" (15 cm) wide trench with approximately 12" (30 cm) of RECP's extended beyond the up-slope portion of the trench. Anchor the RECP's with a row of staples/stakes approximately 12" (30 cm) apart in the bottom of the trench. Backfill and compact the trench after stapling. Apply seed to compacted soil and fold remaining 12" (30 cm) portion of RECP's back over seed and compacted soil. Secure RECP's over compacted soil with a row of staples/stakes spaced approximately 12" (30 cm) across the width of the RECP's.

3. Roll center RECP's in direction of water flow in bottom of channel. RECP's will unroll with appropriate side against the soil surface. All RECP's must be securely fastened to soil surface by placing staples/stakes in appropriate locations as shown in the staple pattern guide. When using the DOT system, staples/stakes should be placed through each of the colored dots corresponding to the appropriate staple pattern.

4. Place consecutive RECP's end over end (shingle style) with a 4" - 6" (10 cm - 15 cm) overlap. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center to secure RECP's.

5. Full length edge of RECP's at top of side slopes must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.

6. Adjacent RECP's must be overlapped approximately 2" - 5" (5 cm - 12.5 cm) (depending on RECP's type) and stapled.

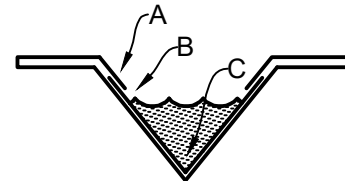
7. In high flow channel applications a staple check slot is recommended at 30 to 40 foot (9 M - 12 M) intervals. Use a double row of staples staggered 4" (10 cm) apart and 4" (10 cm) on center over entire width of the channel.

8. The terminal end of the RECP's must be anchored with a row of staples/stakes approximately 12" (30 cm) apart in a 6" (15 cm) deep x 6" (15 cm) wide trench. Backfill and compact the trench after stapling.

Note:

- \* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

9. Detail provided by North American Green (www.nagreen.com)



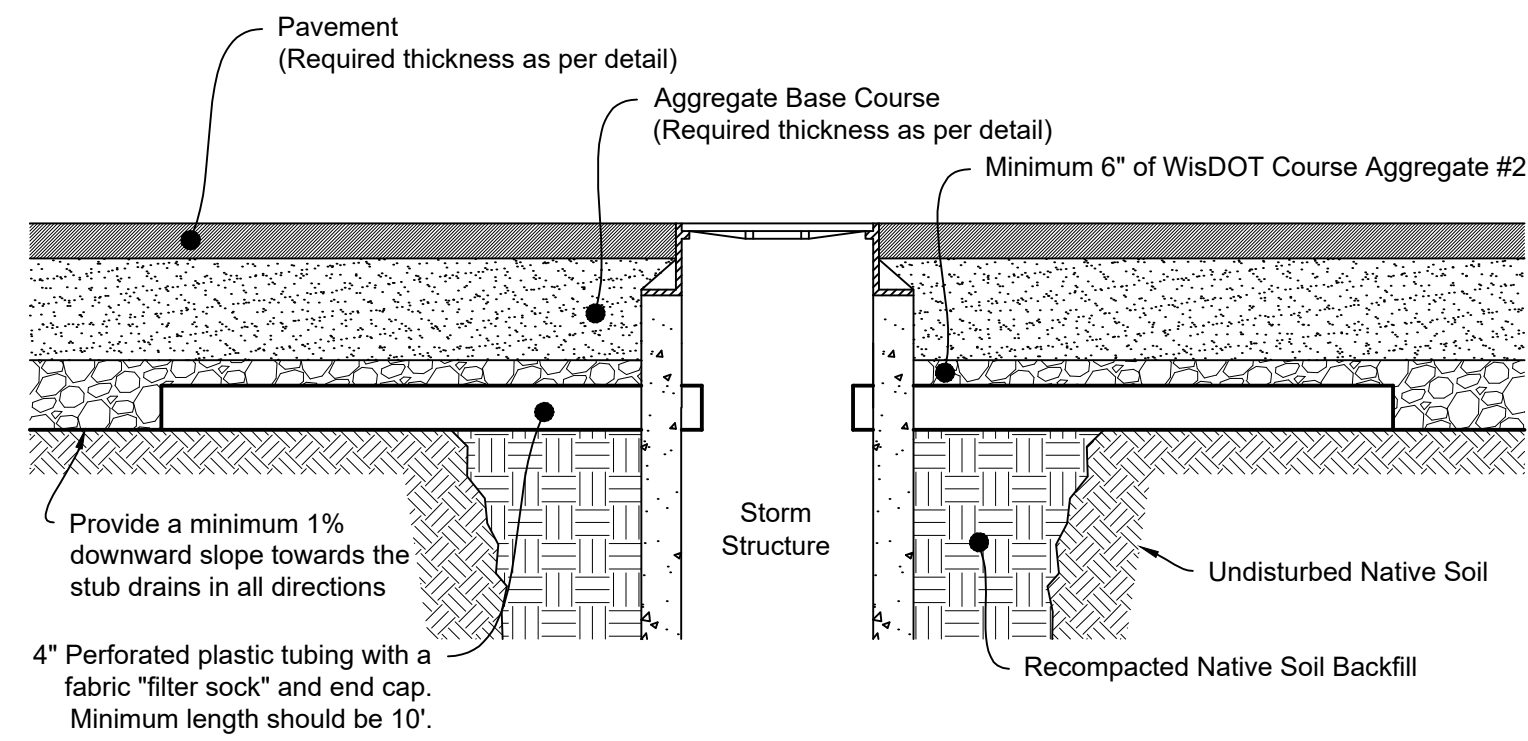
Critical Points  
A. Overlaps and seams  
B. Projected Water line  
C. Channel Bottom/side slope vertices

Note:

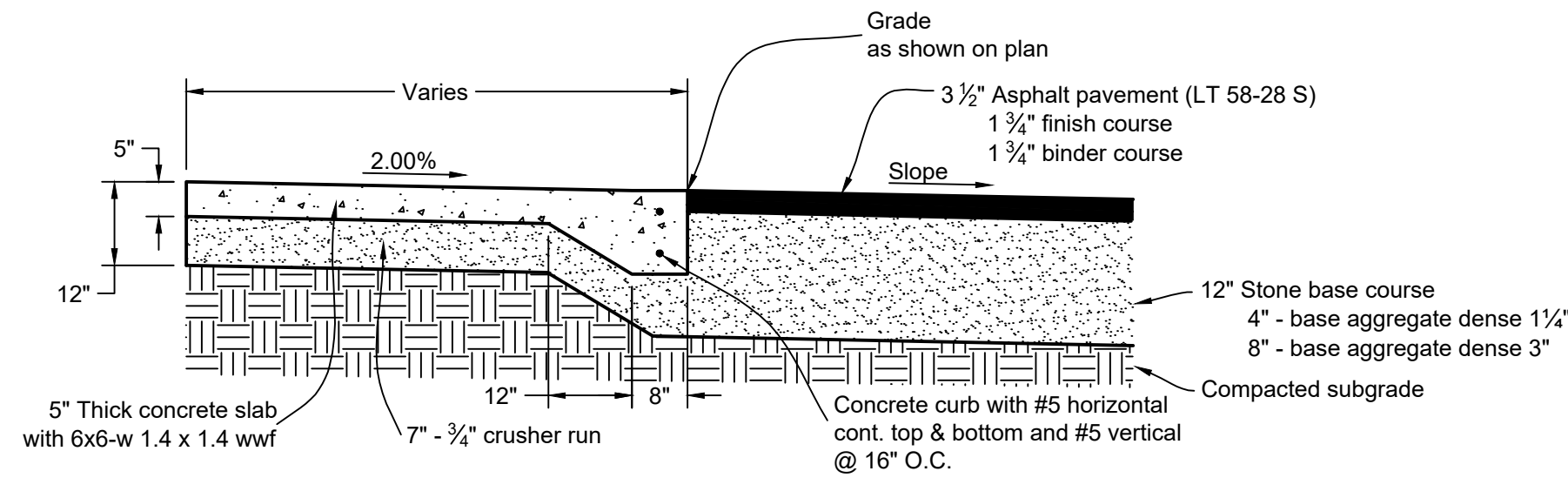
- \* Horizontal staple spacing should be altered if necessary to allow staples to secure the critical points along the channel surface.

\*\* In loose soil conditions, the use of staple or stake lengths greater than 6" (15 cm) may be necessary to properly anchor the RECP's.

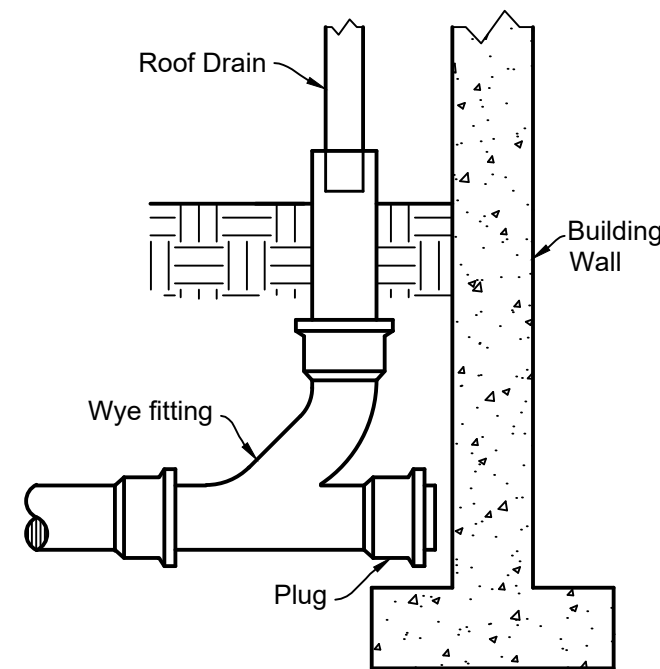
### EROSION MAT CHANNEL INSTALLATION



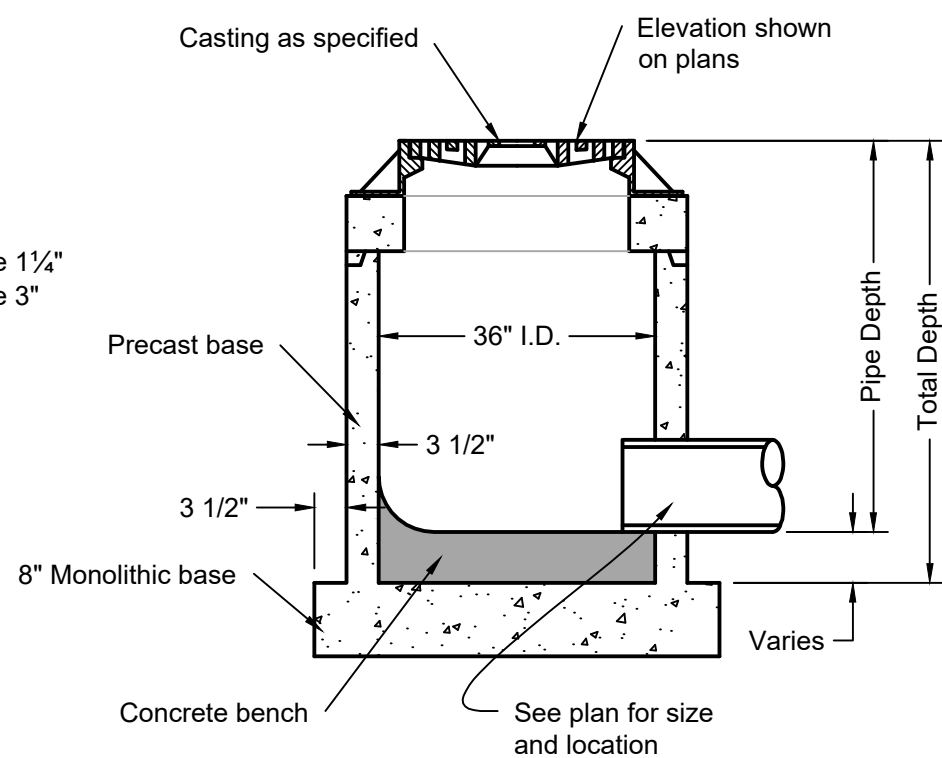
### STORM SEWER UNDERDRAIN



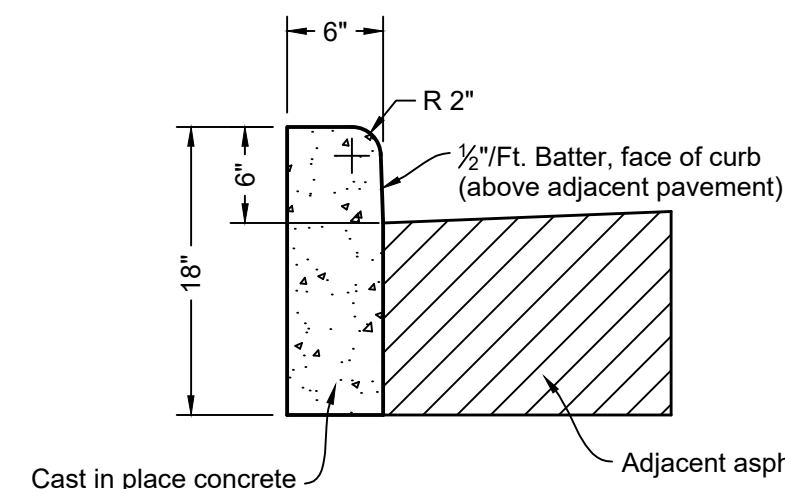
### SIDEWALK / PAVEMENT SECTION



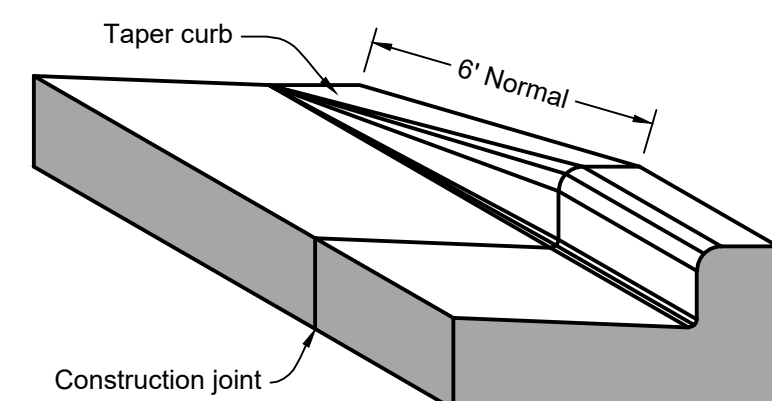
### ROOF DRAIN CONNECTION TO STORM SEWER



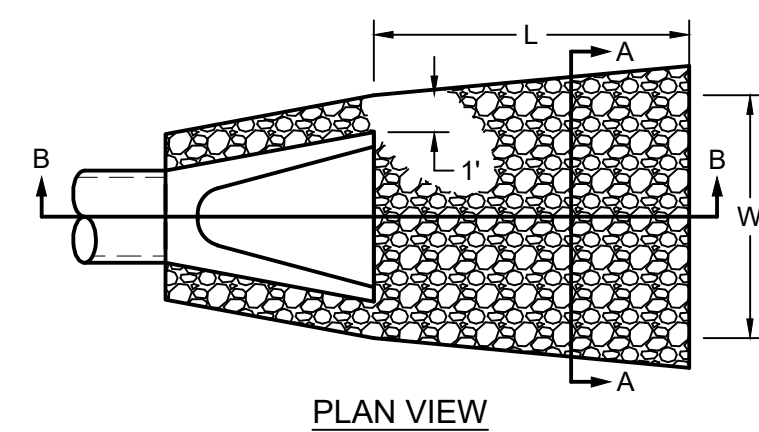
### Storm Catch Basin



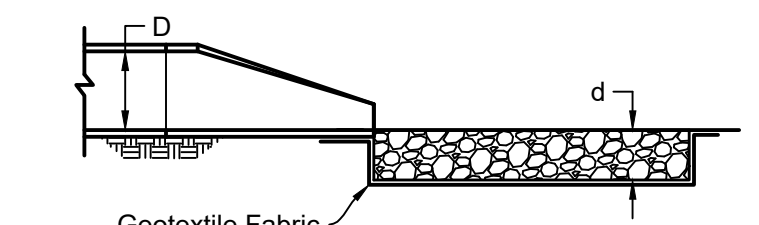
### 6" STANDARD CURB



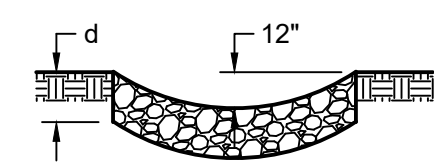
### CURB AND GUTTER TERMINI



PLAN VIEW



SECTION B-B



SECTION A-A

D	12"	15"	18"	21"	24"	30"	36"	42"	48"	54"	60"
L	10'	12'	18'	20'	20'	25'	28'	33'	37'	40'	45'
W	11"	13"	20"	22"	24"	28"	32"	38"	42"	45"	50"
d	12"	12"	12"	18"	18"	18"	24"	24"	24"	24"	24"
Riprap cu yds	2.6	1	3.6	7.8	14.3	15.6	22.6	38.4	53.2	65.8	76.3
Heavy											

Notes:

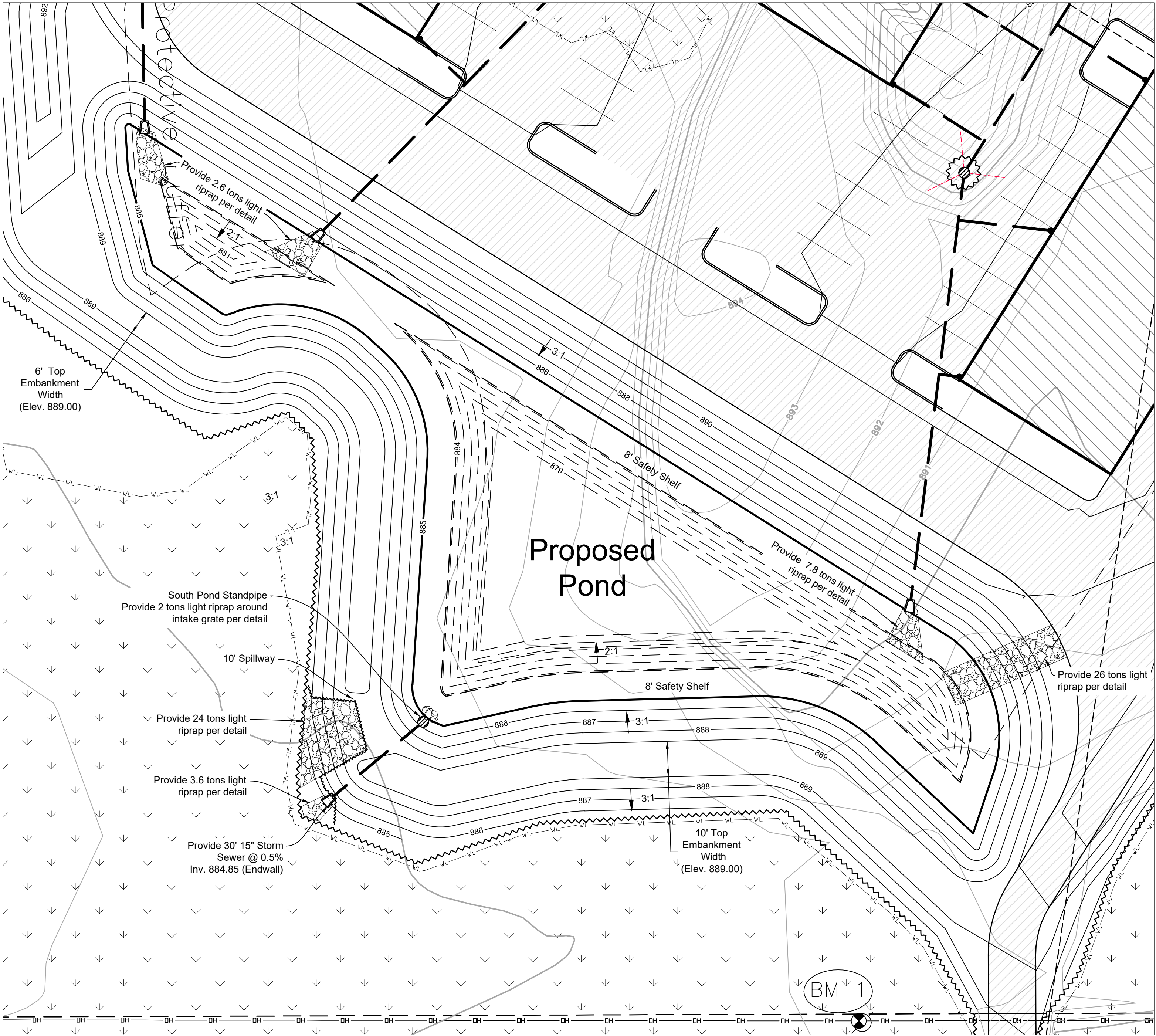
1. Excavate below channel outlet and widen channel outlet to the required riprap thickness for each apron. Foundation to be set to zero grade and smoothed.
2. Place geotextile fabric on bottom and sides of prepared foundation. Fabric shall extend under endwall in accordance with DOT specifications. (DOT Section 628.2 & 628.3)
3. Exercise care in placement of riprap to avoid damage to filter fabric.
4. Use riprap conforming to Wisconsin DOT specifications. (DOT Section 606.2 & 606.3)
5. Use DOT Type R geotextile fabric for light riprap. Use Type HR for medium and heavy riprap. (DOT Section 606.2, 606.3, 628.2 & 628.3)
6. Use 12" dimension for pipes less than 12" in diameter.

### OUTLET PROTECTION

## CONSTRUCTION DETAILS

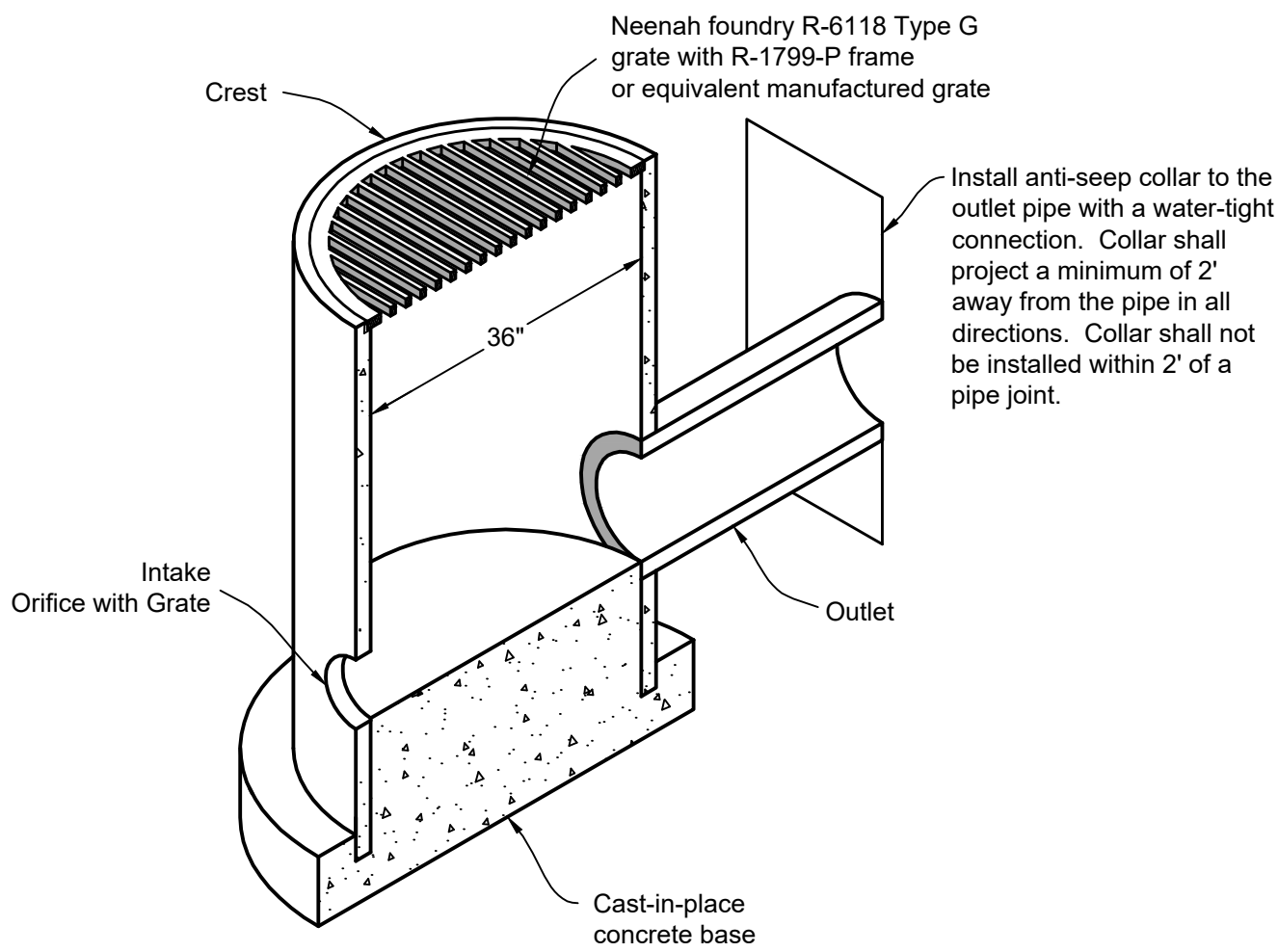
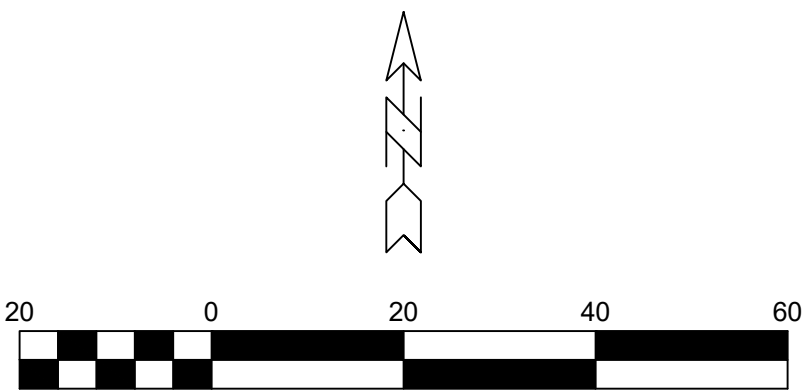
**Greenville Auto**  
Town of Greenville, Outagamie County, WI  
For: John Korth





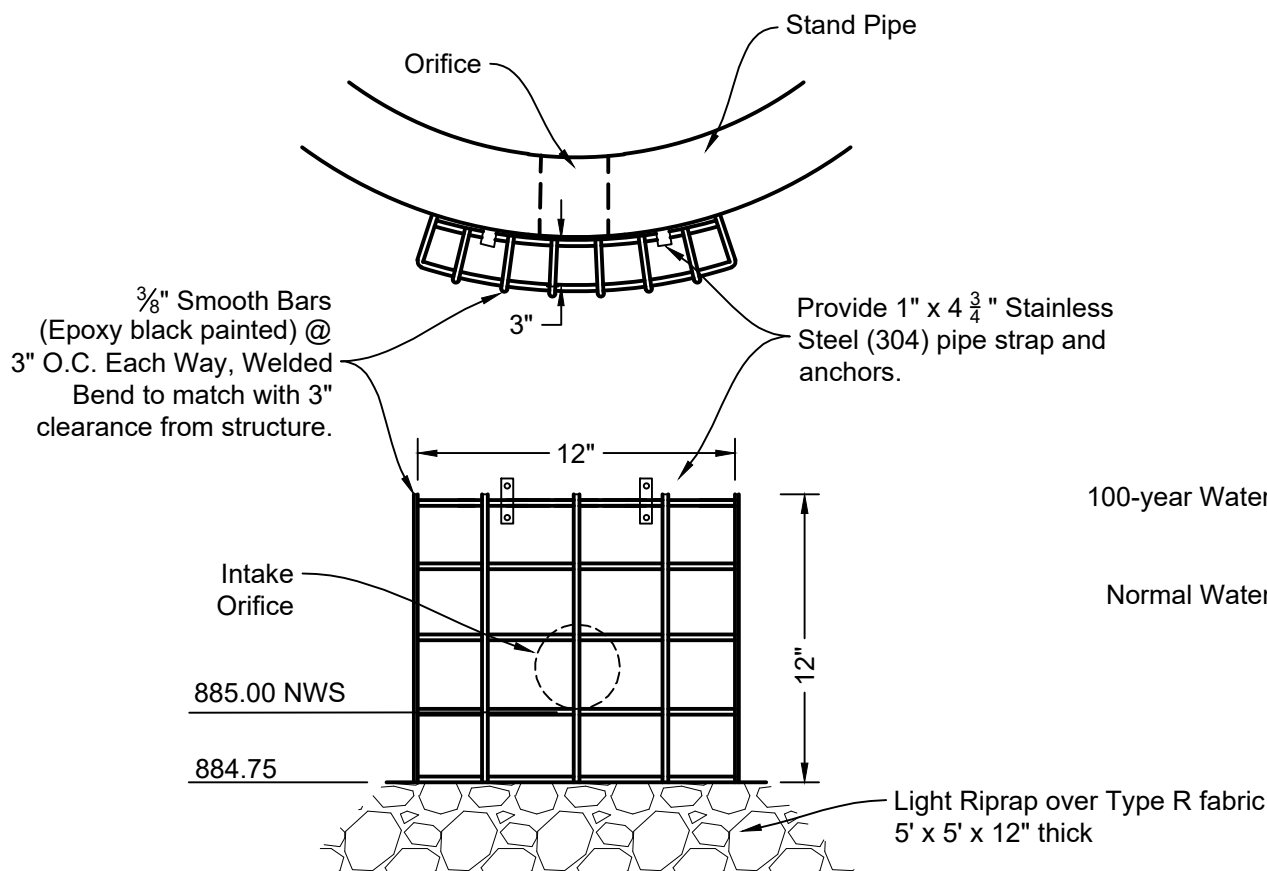
LEGEND

—DH—DH—	Overhead Electric Lines	⊙	Utility Pole	⊙	Deciduous Tree
—San—San—	Utility Guy Wire	⊙	Guy Wire	⊙	Benchmark
—Sto—Sto—	Sanitary Sewer	+799.9	Ex Spot Elevation	⊙	Asphalt Pavement
~~~~~	Storm Sewer			⊙	Concrete Pavement
~~~~~	Treeline			⊙	Gravel
~~~~~	Culvert				
~~~~~	Index Contour				
~~~~~	Intermediate Contour				
~~~~~	Proposed Storm Sewer				
~~~~~	Proposed Contour				
~~~~~	Proposed Swale				
~~~~~	Proposed Culvert				
~~~~~	Prop. Flowline Spot Elev.				
~~~~~	Prop. Top of Walk Elev.				
~~~~~	Existing Grade				



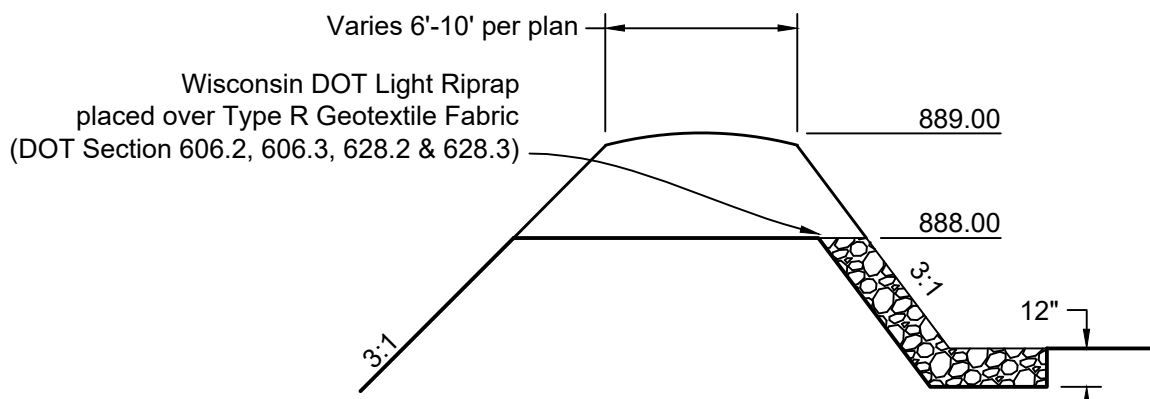
SOUTH POND STAND PIPE DETAIL

Outlet	
Size, in	15
Invert	885.00
Slope (%)	0.50
Intake orifice	
Size, in	4
Invert	885.00
Crest	
Elevation	886.50
Base	
Elevation	882.00

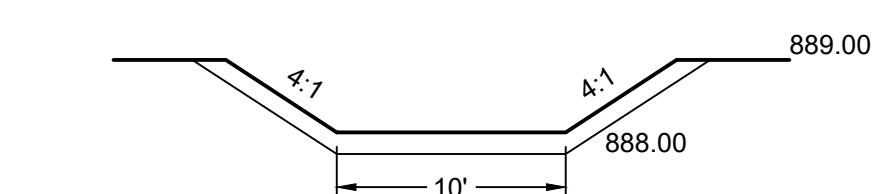


INTAKE GRATE DETAIL

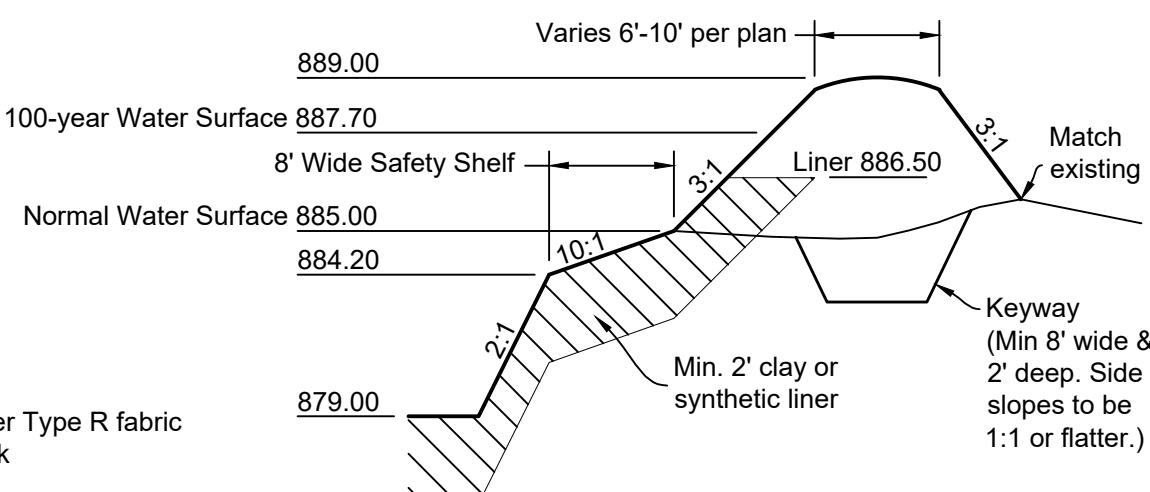
- Pond Notes:
- The base of the embankment shall be stripped of all vegetation, stumps, topsoil and other matter. Stripping shall be to a minimum of 6 inches. Embankments shall be constructed with non-organic soils and compacted to 90% standard proctor according to the procedures outlined in ASTM D-698. No tree stumps, or other organic material shall be buried in the embankment. The constructed embankment height shall be increased a minimum of 5% to account for settling.
  - All pipes extending through the embankment shall be bedded and backfilled with embankment or equivalent soils. The bedding and backfill shall be compacted in lifts and to the same standard as the original embankment. Excavation through a completed embankment shall have a side slope of 1:1 or flatter.
  - Topsoil shall be spread on all disturbed areas, except for elevations below the safety shelf, as work is completed. The minimum depth of topsoil shall be 4 inches.
  - All areas disturbed by pond construction shall be seeded as work is completed. Pond side slopes above permanent pool shall be temporarily seeded with annual rye or oats immediately after pond is "roughed in." This will require topsoil application. Slopes steeper than 10:1 but less than 4:1 will require properly anchored mulch in accordance with Section 627.1 of the DOT Standard Specifications for Highway and Structure Construction. DOT Class 1, Type B erosion mat will be required on slopes steeper than 4:1 (Section 628.2 & 628.3).
  - Riprap at all inflow points shall extend a minimum of 18 vertical inches below the permanent pool. (Section 606.2 & 606.3)
  - Any rock encountered shall be excavated to a depth two feet deeper than the proposed pond grade.
  - The pond shall be constructed with a Type B Liner with the following WDNR specifications (Wet Detention Pond Technical Standard 1001). Liners include; Clay, High Density Polyethylene (HDPE), Polyethylene Pond Liner (PPL) or any liner satisfying Type A Liner criteria.
- Clay liners specifications are as follows:
- 50% fines (200 sieve) or more.
  - Hydraulic conductivity of 1 x 10-6 cm/sec or less.
  - Average liquid limit of 16 or greater, with no value less than 14.
  - Average PI of 7 or more, with no values less than 5.
  - Clay compaction and documentation as specified in NRCS Wisconsin Construction Specification 204, Earthfill for Waste Storage Facilities.
  - Minimum thickness of 2 feet.
  - If in-situ soils meet the above requirements of the specification for a Type B Clay Liner, including a minimum saturated hydraulic conductivity of 1 x 10-6 cm/sec to a depth of 4 feet below the pond bottom, the in-situ soils then satisfy the pond liner requirements.
- HDPE liner specifications are as follows:
- Minimum thickness of 40 mils.
  - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
  - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- PPL liner Specifications are as follows:
- Minimum thickness of 30 mils.
  - Design according to the criteria in Table 3 of NRCS 313, Waste Storage Facility Technical Standard.
  - Install according to NRCS Wisconsin Construction Specification 202, Polyethylene Geomembrane Lining.
- All liners must extend above the permanent pool up to the elevation of the 2-year, 24-hour rainfall event.



EMERGENCY SPILLWAY SECTION



EMERGENCY SPILLWAY DETAIL



TYPICAL EMBANKMENT SECTION

STORMWATER POND DETAIL

Greenville Auto  
Town of Greenville, Outagamie County, WI  
For: John Korth

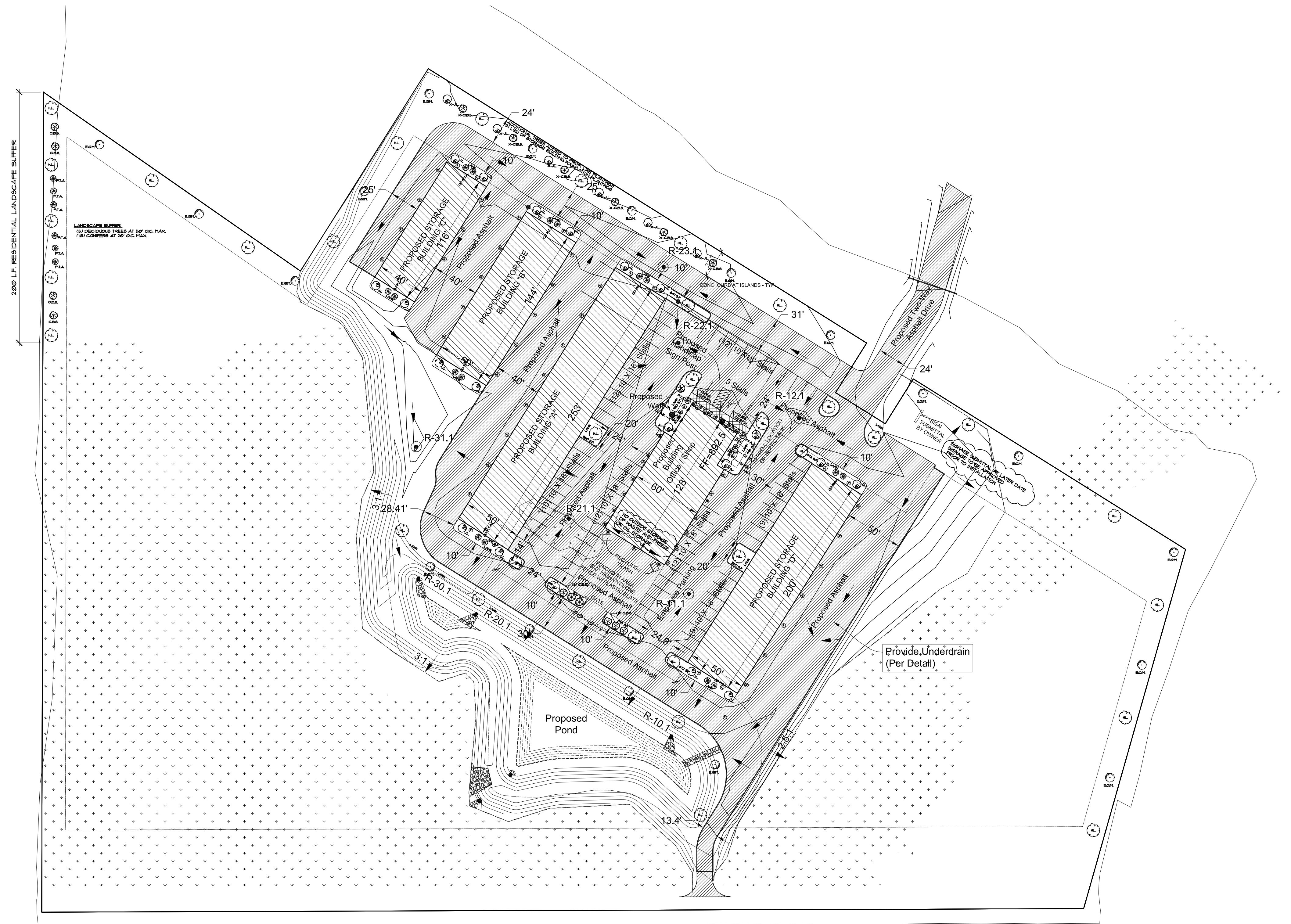


No.	Date	Description
1	2/28/19	Phase II & Phase III
		Landscape Defined

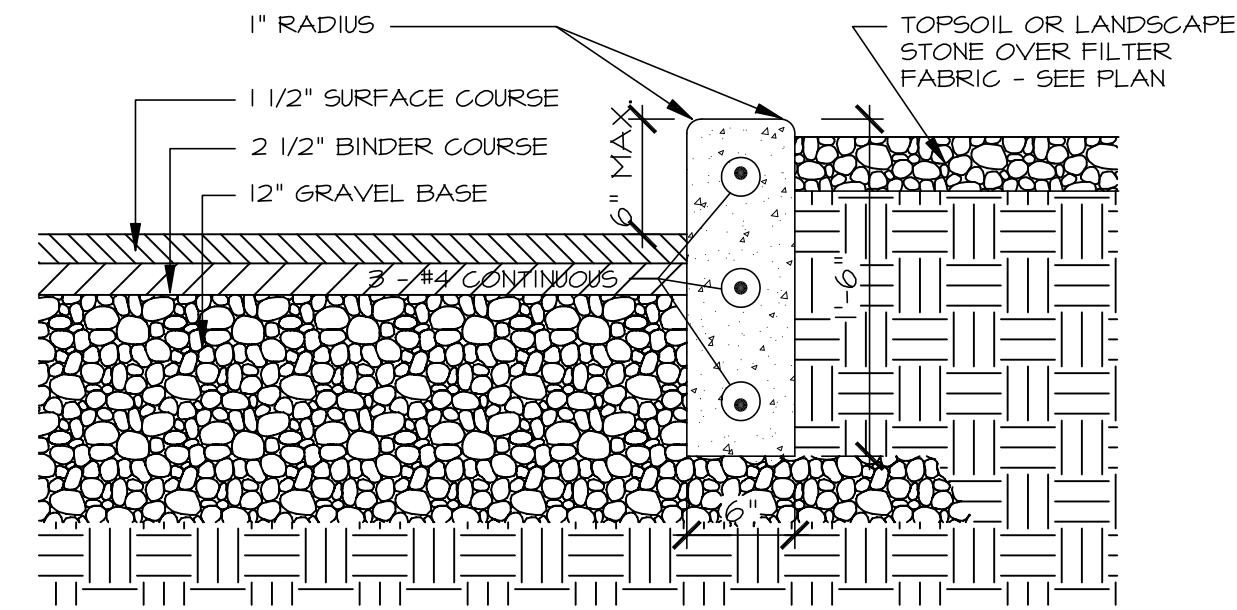
Drawn By	Approved By
EAF	CMR
Project No.	Date
18-2060	4/01/19
Sheet No.	

# L100

47:19



OVERALL  
LANDSCAPE &  
LIGHTING PLAN  
1" = 50'-0"



1  
L100

CONCRETE CURB DETAIL

SCALE: N.T.S.

SITE IMPERVIOUS FENCE  
AT FENCED IN STORAGE AREA NOT TO SCALE









COMMERCIAL / RESIDENTIAL BUFFER  
NOT TO SCALE  
DECIDUOUS TREES AT 50'-0" O.C. MAX.  
CONIFER TREES AT 20'-0" O.C. MAX.



NEW BUILDING FOR:  
GREENVILLE AUTO

ENLARGED LANDSCAPE &  
LIGHTING PLAN

No. Date Description

1 2/28/19 Phase II Sheet Added

Page Information




Drawn By EAF Approved By CMR  
Project No. 18-2060 Date 4/01/19  
Sheet No.

ENLARGED  
LANDSCAPE &  
LIGHTING PLAN  
1" = 30'-0"



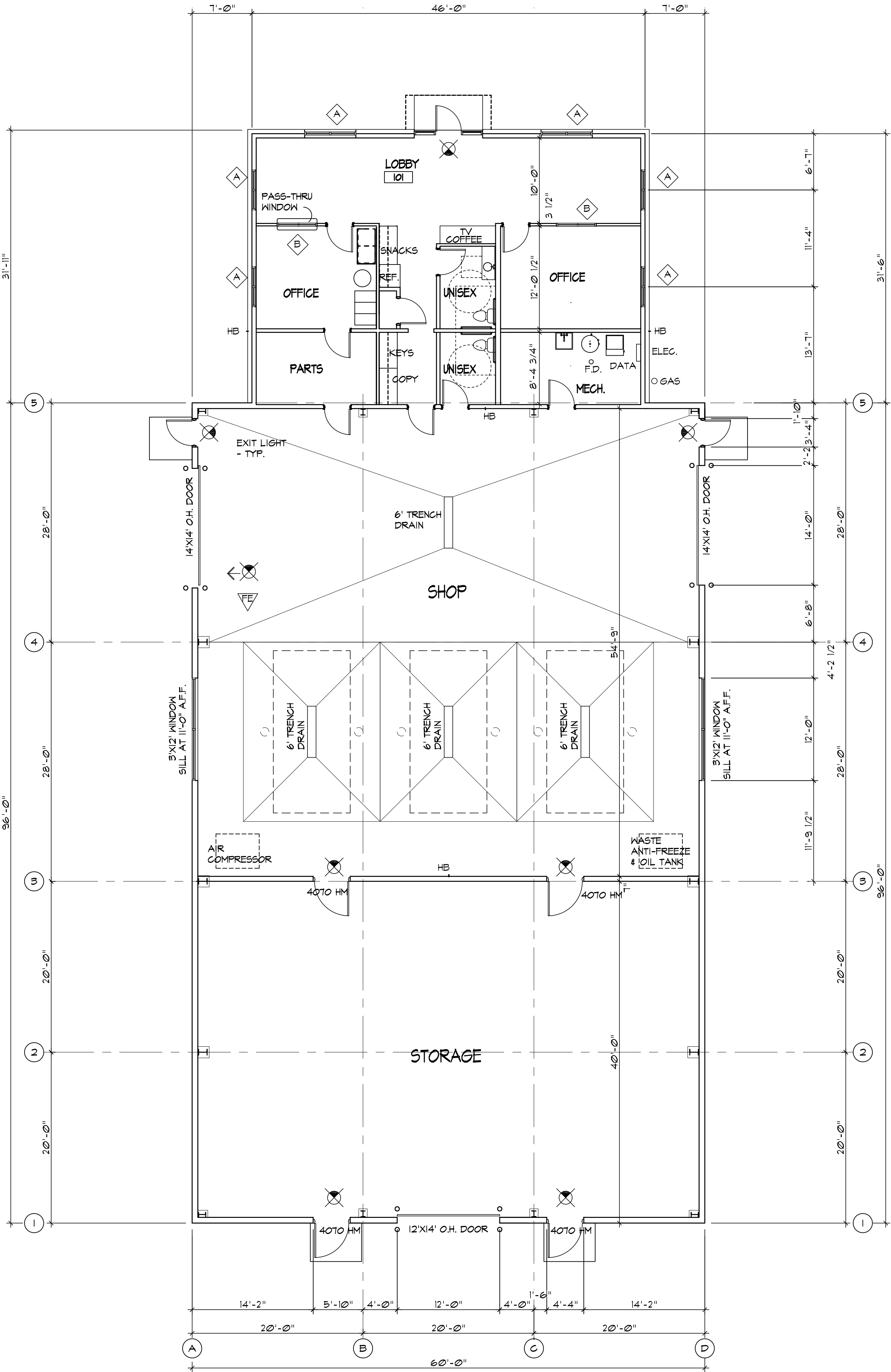
L102



Schedule				
Symbol	Label	Quantity	Manufacturer	Catalog Number
	<b>G</b>	21	Lithonia Lighting	RSX1 LED P4 40K R4 MVOLT WBA STD FINISH
	<b>J</b>	6	GE LIGHTING SOLUTIONS	LRXR 6 10 8 40 MD - FRAME6R
	<b>K</b>	46	Lithonia Lighting	TWR1 LED P3 40K







FLOOR PLAN  
1/8" = 1'-0"

NEW BUILDING FOR:  
GREENVILLE AUTO  
FLOOR PLAN

No.	Date	Description

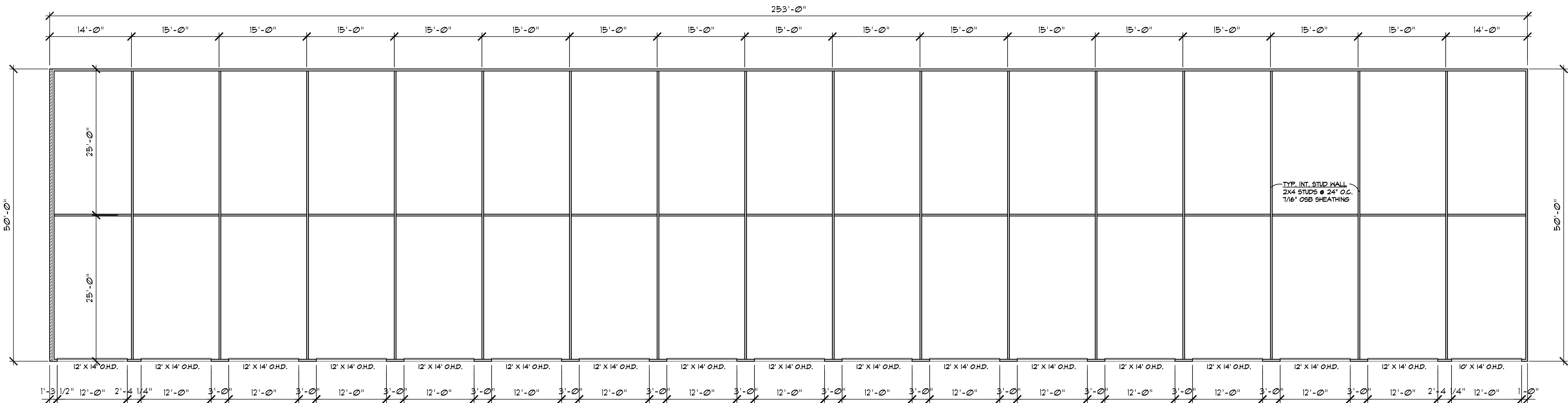
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18-2060	4/01/19
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FLOOR PLAN  
3/32" = 1'-0"  
12650 S.F.  
(4) 14'X25' UNITS  
(30) 15'X25' UNITS



NEW BUILDING FOR:  
GREENVILLE AUTO  
BUILDING "A" FLOOR PLAN

No.	Date	Description

Page Information

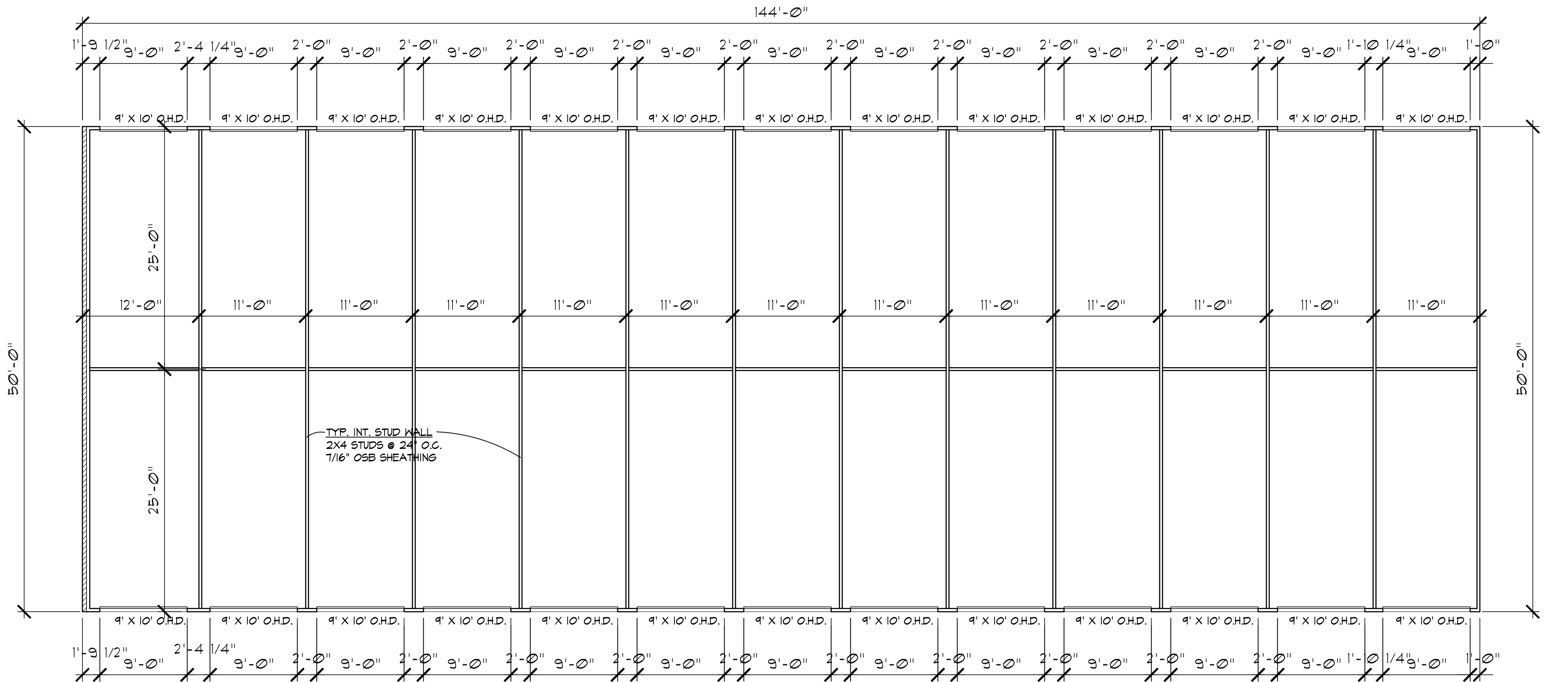
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Sheet No.	

A101A



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FLOOR PLAN  
3/32" = 1'-0"  
1,200 S.F.  
(2) 12'X25' UNITS  
(24) 11'X25' UNITS



NEW BUILDING FOR:  
GREENVILLE AUTO

BUILDING " B " FLOOR PLAN

No.	Date	Description

Page Information

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Project No. 18-2060	Date 4/01/19
Sheet No.	

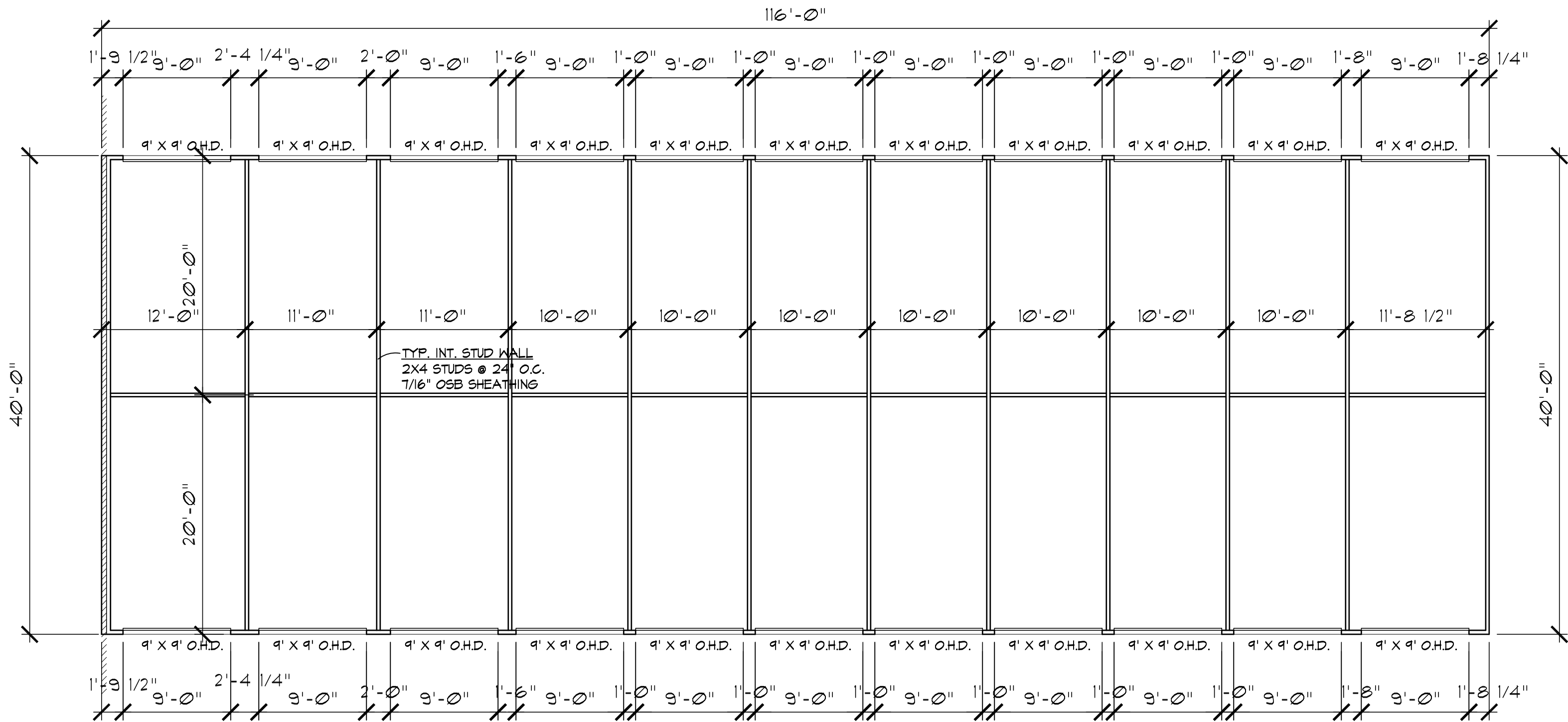
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FLOOR PLAN  
1/8" = 1'-0"  
4,640 S.F.  
(6) 11'-6" X 25' UNITS  
(14) 11'X25' UNITS



NEW BUILDING FOR:  
GREENVILLE AUTO

BUILDING " C" FLOOR PLAN

No.	Date	Description

Page Information

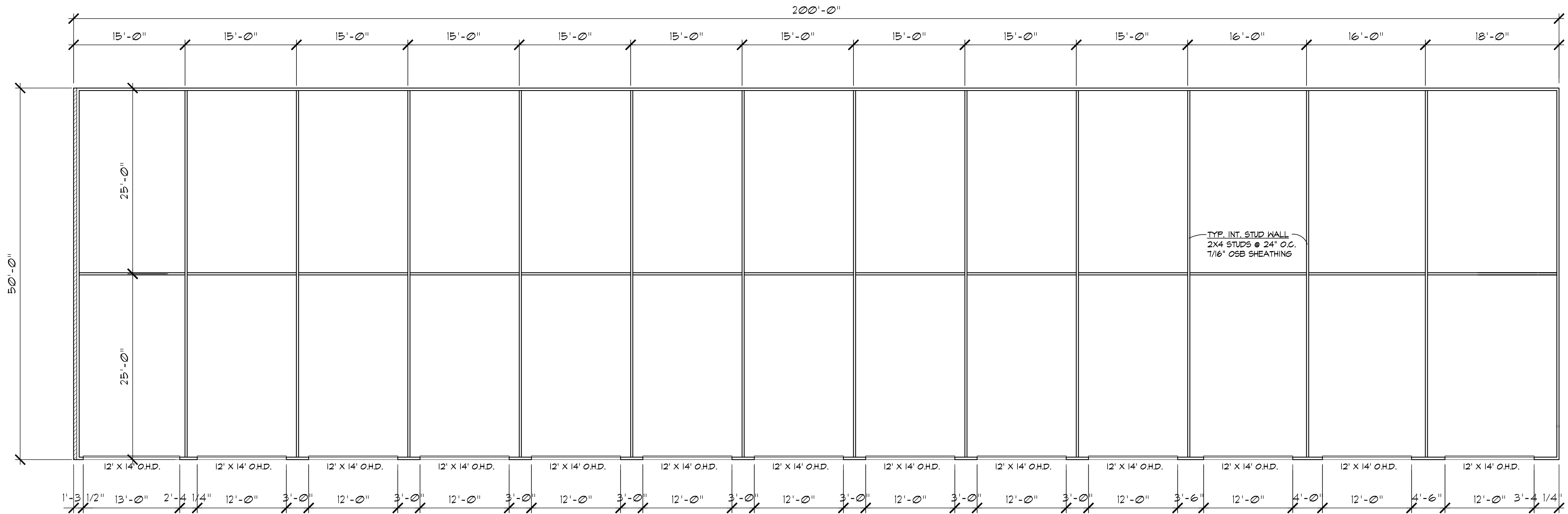
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Project No. 18-2060	Date 4/01/19
Sheet No.	

A101C



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GREENVILLE, WI 54942





FLOOR PLAN  
1/8" = 1'-0"  
10,000 S.F.  
(6) 16'X25' UNITS  
(20) 15'X25' UNITS



NEW BUILDING FOR:  
GREENVILLE AUTO

BUILDING " D " FLOOR PLAN



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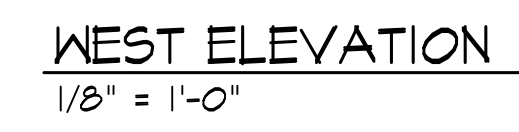
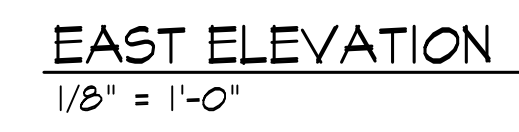
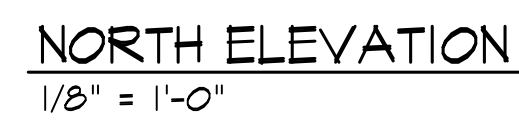
No.	Date	Description

Page Information

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Project No. 18-2060	Date 4/01/19
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A101D



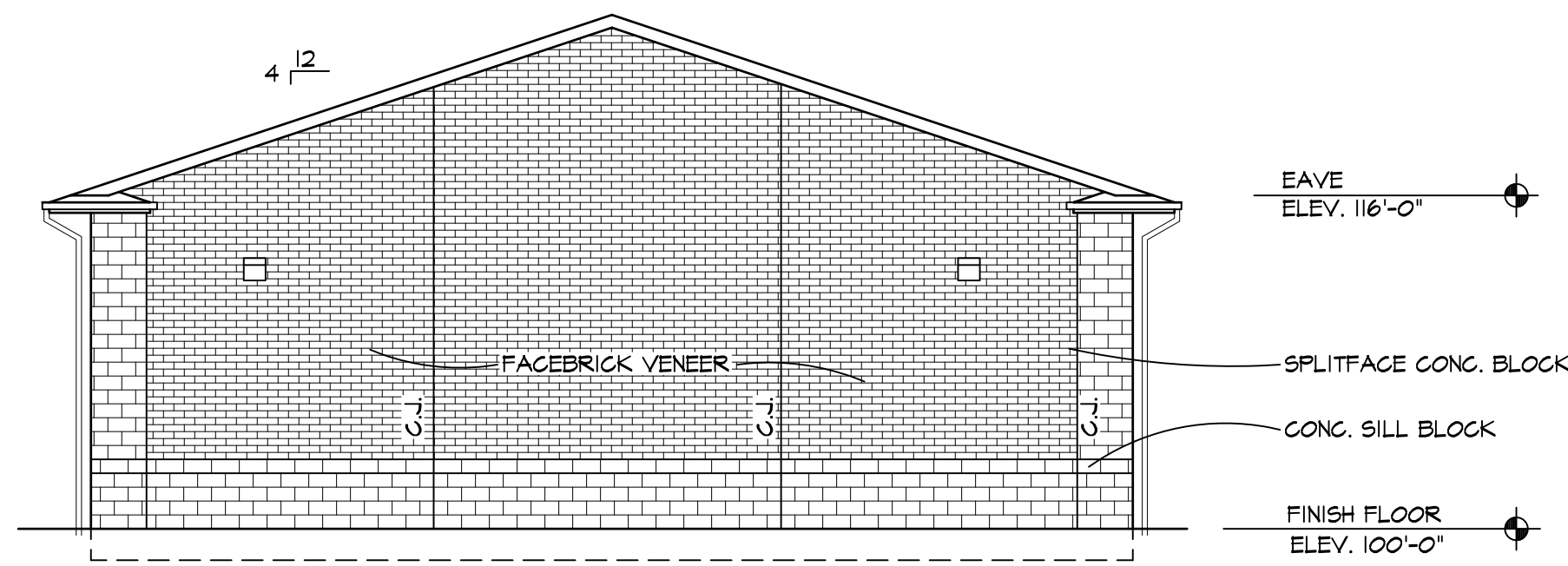
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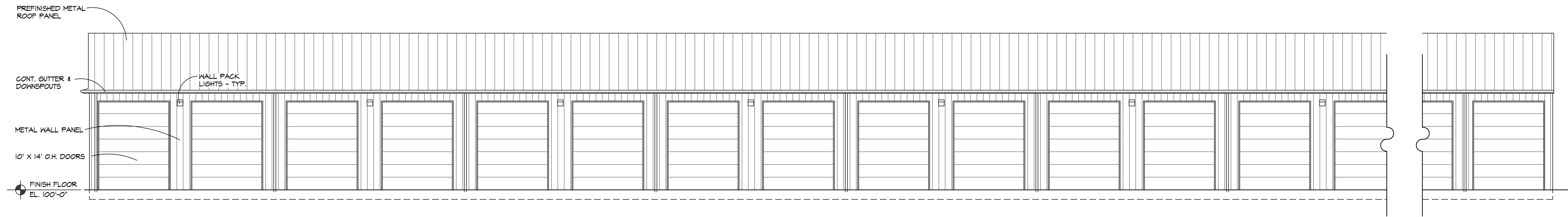
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MF	CMR
Project No.	Date
2060	4/01/19
Sheet No.	

A201

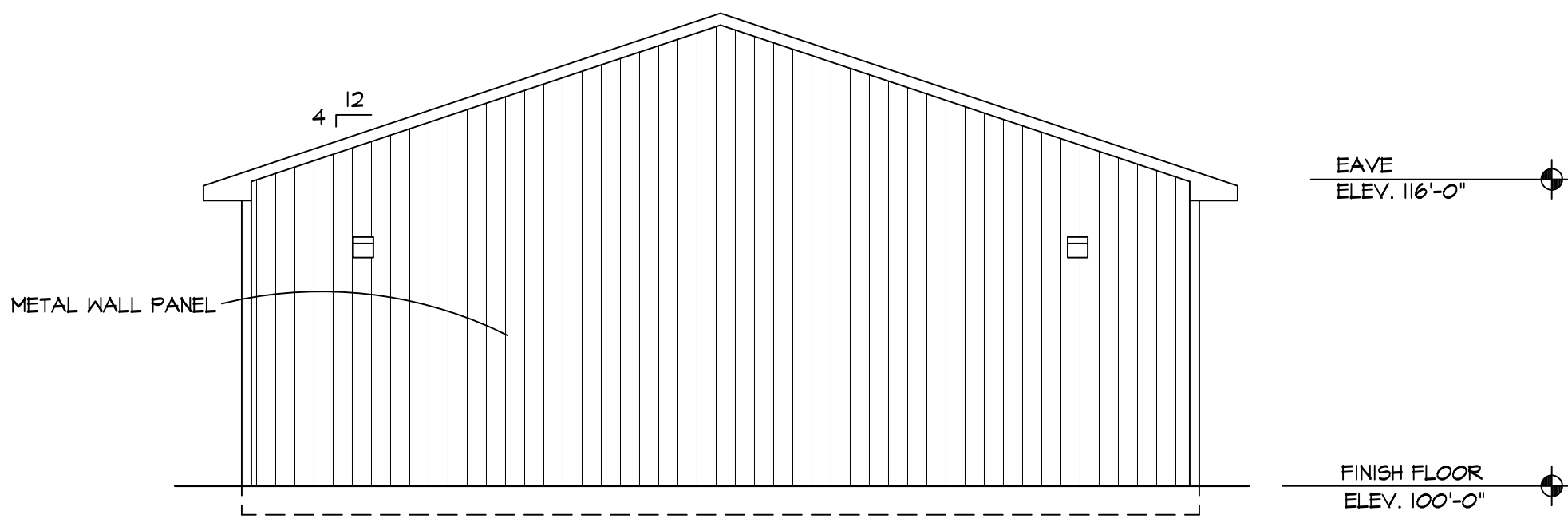




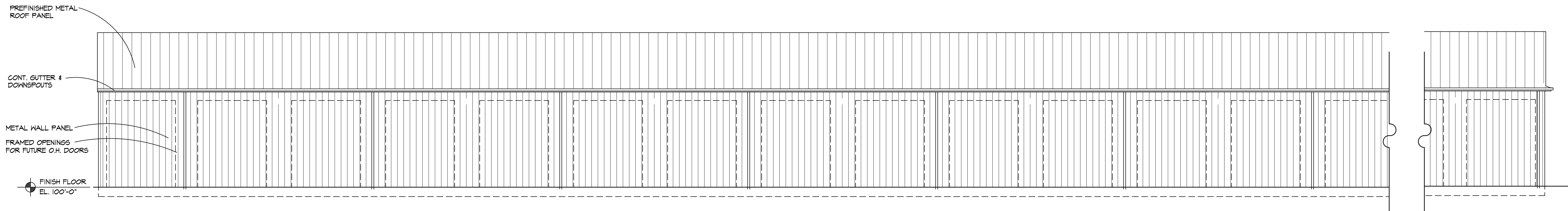
NORTH ELEVATION  
1/8" = 1'-0"



WEST ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"

BUILDING "A" ELEVATIONS



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NEW BUILDING FOR:  
GREENVILLE AUTO

BUILDING "A" ELEVATIONS

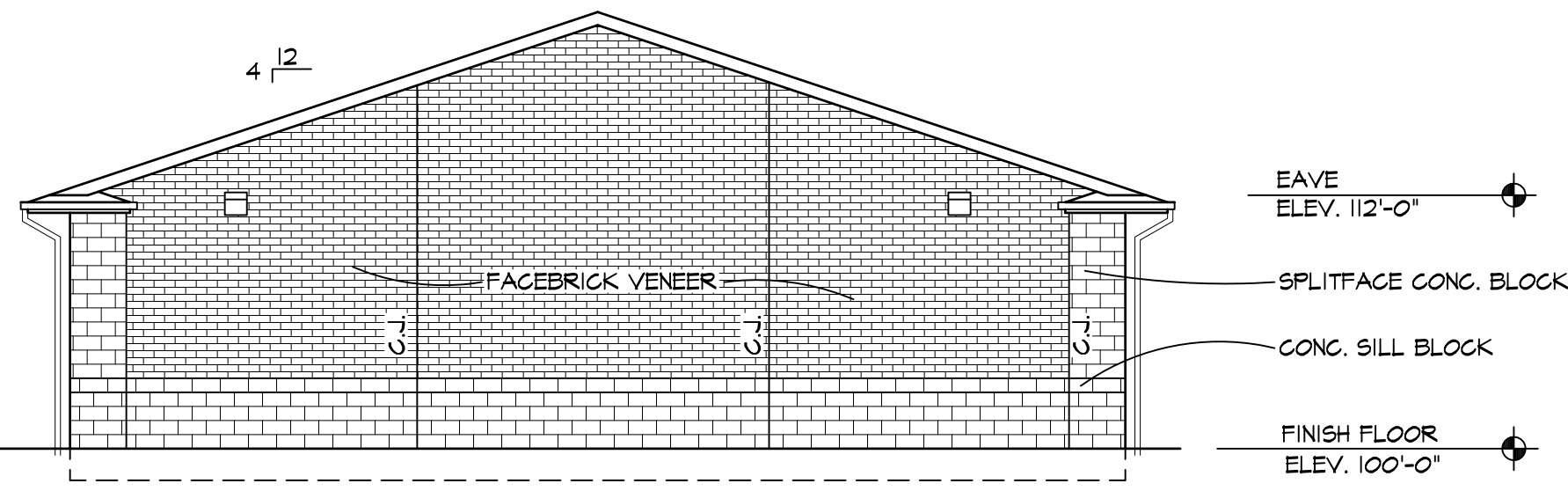
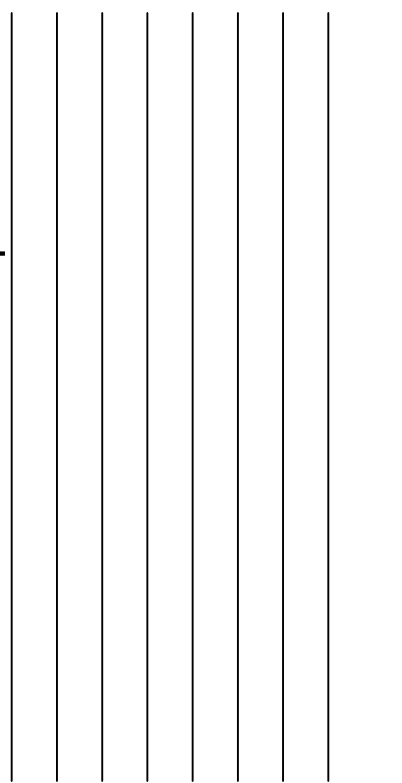
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Sheet No.

A201A





PREFINISHED METAL ROOF PANEL

CONT. GUTTER & DOWNSPOUTS

WALL PACK LIGHTS - TYP.

METAL WALL PANEL

9' X 10' O.H. DOORS

FINISH FLOOR  
EL. 100'-0"

METAL WALL PANEL

EAVE  
ELEV. 112'-0"

FINISH FLOOR  
ELEV. 100'-0"

PREFINISHED METAL ROOF PANEL

CONT. GUTTER & DOWNSPOUTS

METAL WALL PANEL

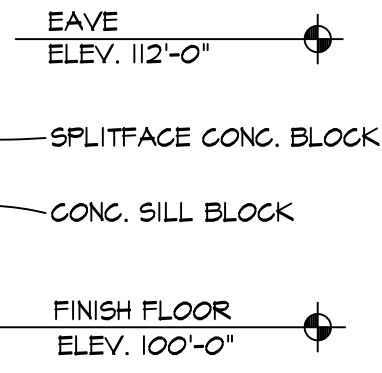
9' X 10' O.H. DOORS

FINISH FLOOR  
EL. 100'-0"

WALL PACK LIGHTS - TYP.

EAST ELEVATION  
1/8" = 1'-0"





WEST ELEVATION  
1/8" = 1'-0"



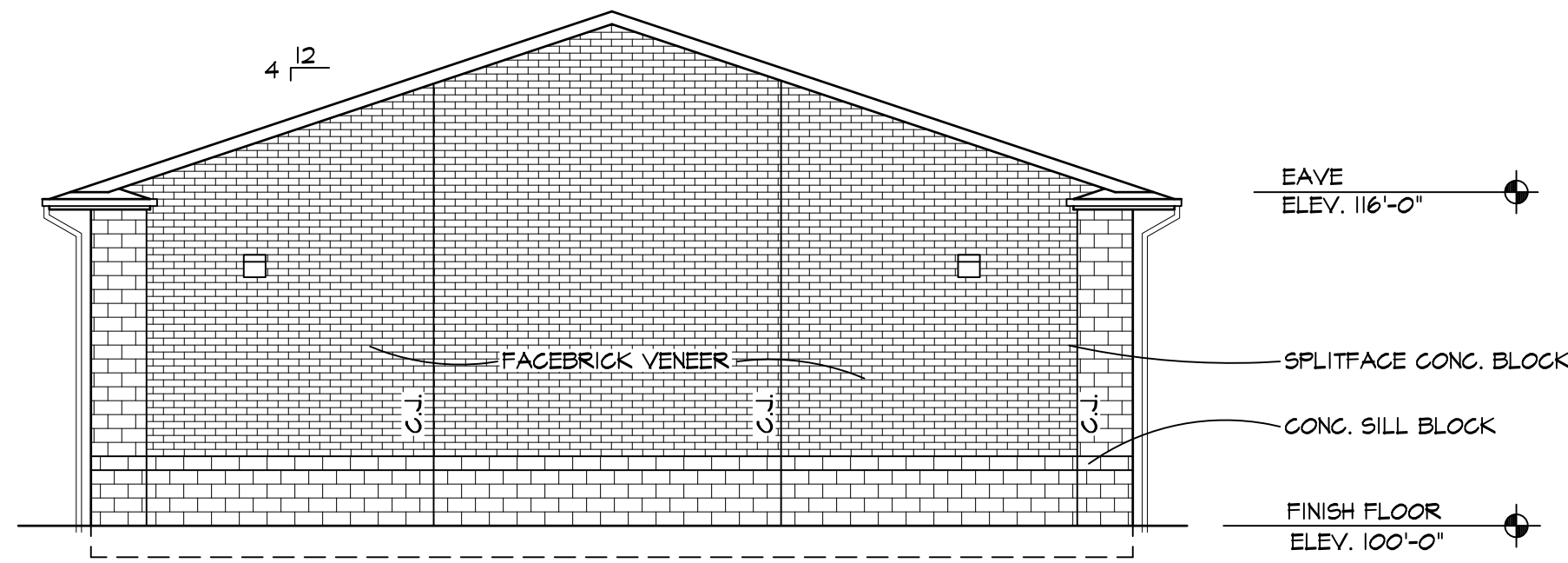
## BUILDING "C" ELEVATIONS

No.	Date	Description
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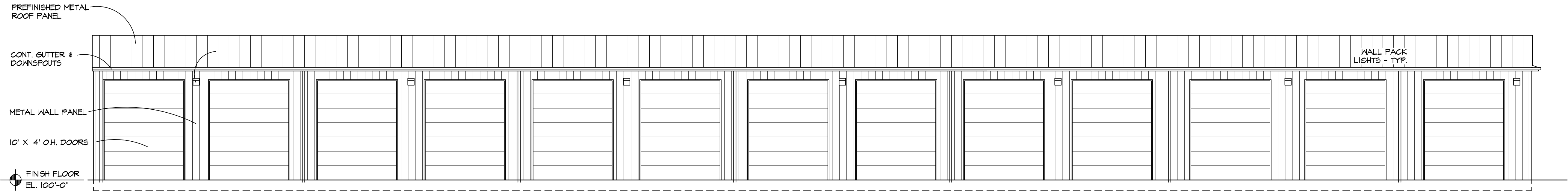
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A201C

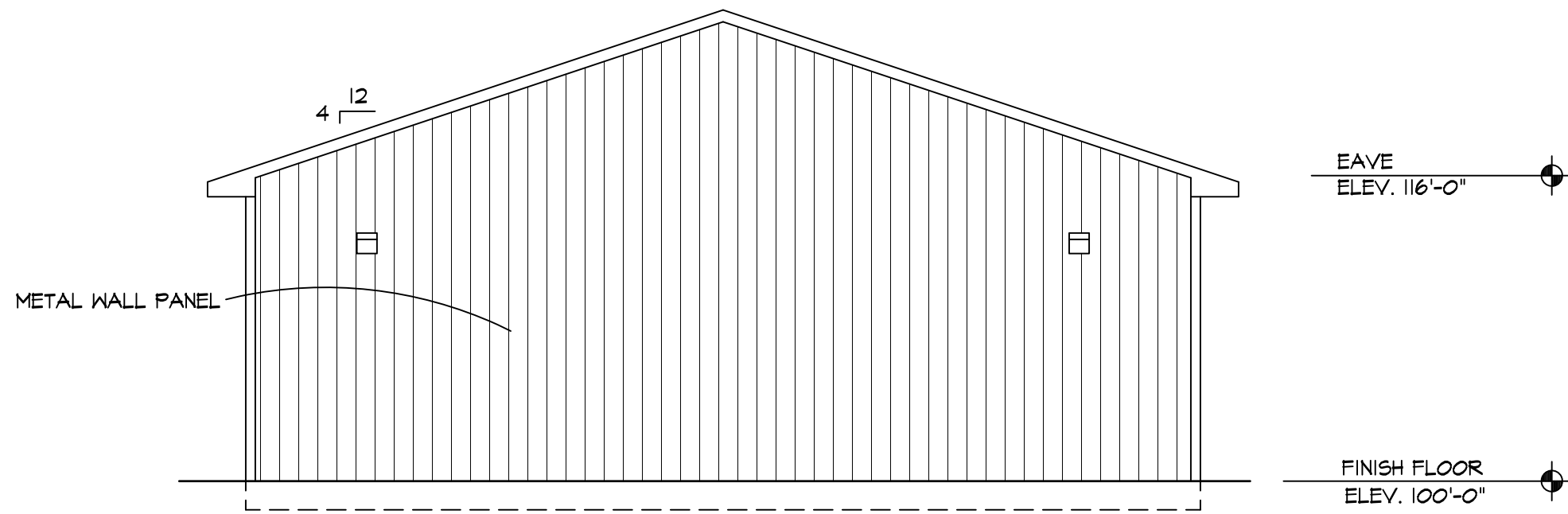




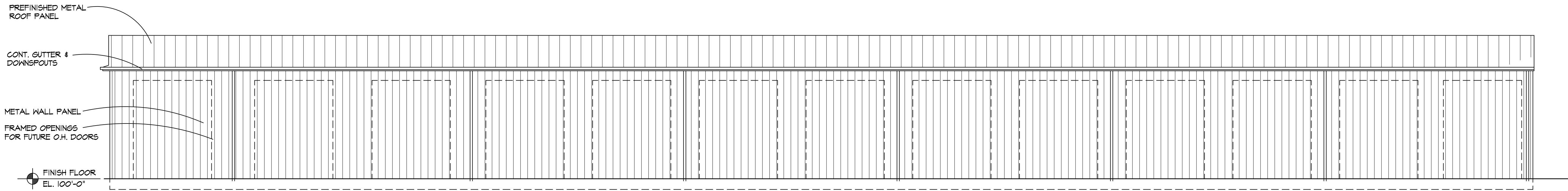
NORTH ELEVATION  
1/8" = 1'-0"



EAST ELEVATION  
1/8" = 1'-0"



SOUTH ELEVATION  
1/8" = 1'-0"



WEST ELEVATION  
1/8" = 1'-0"

BUILDING "D" ELEVATIONS



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NEW BUILDING FOR:  
GREENVILLE AUTO

BUILDING "D" ELEVATIONS

No.	Date	Description

Page Information

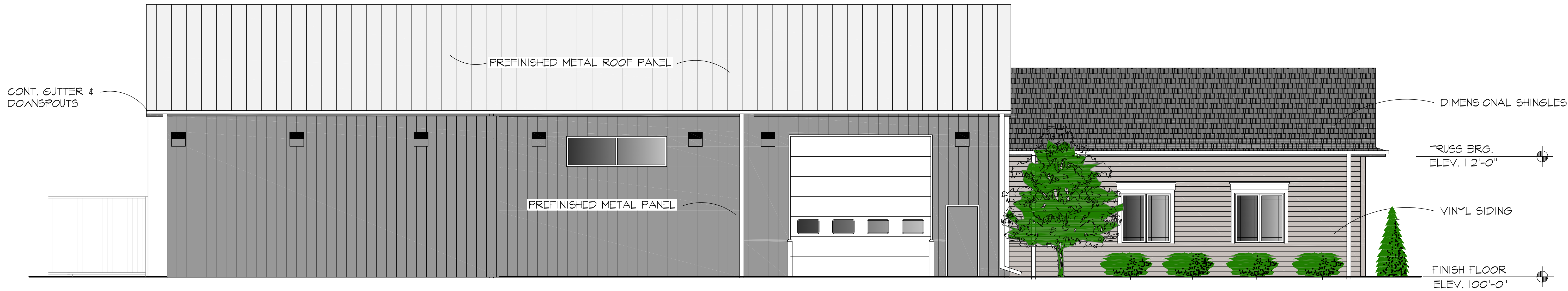
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Project No. 18-2060	Date 4/01/19
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A201D





**NORTH ELEVATION**  
NOT TO SCALE



**EAST ELEVATION**  
NOT TO SCALE  
WEST ELEVATION IS MIRROR IMAGE



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NEW BUILDING FOR:  
GREENVILLE AUTO & RV

COLORED ELEVATIONS

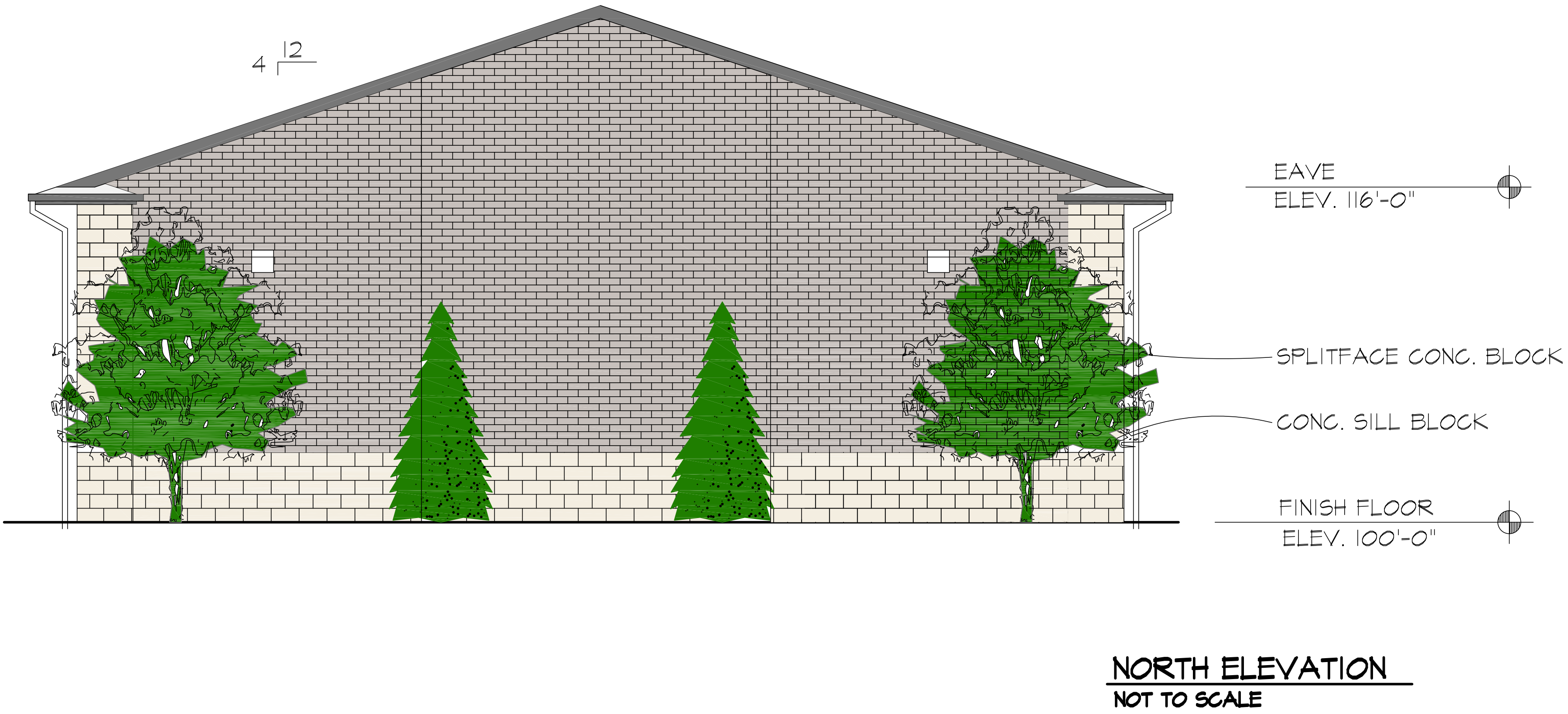
No.	Date	Description

Page Information

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Project No.	Date
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Sheet No.	

A201





NEW BUILDING FOR:  
GREENVILLE AUTO & RV

BUILDING "A" COLORED ELEVATIONS

No.	Date	Description

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Sheet No.	

A201A

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N1040 CRAFTSMEN DRIVE  
GREENVILLE, WI 54942





*"Town of Greenville"*

## AGENDA MEMORANDUM

---

**To:** Honorable Chairperson and Board and Commission Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** April 15 2019  
**RE:** Rezoning Parcel 110086203 from General Commercial to Industrial

---

**ACTION TYPE:** This item is for possible Town Planning Commission/Board Approval/Denial.

**BACKGROUND & SUMMARY:** Staff has been working diligently with the Catherin A. Schlimm RLT, the owners of Parcel 110086203, on the development of approximately 30 acres of their 54 acre property into a future manufacturing facility. The property is located south of County Highway GV and east of County Highway CB. In order to facilitate development of the site, the property owners are looking to rezone the property from General Commercial to Industrial to meet the needs of the future development opportunity. This property is within the Town's Tax Increment Finance District and is poised for development with the future extension of Design Drive between County Highway CB and Mayflower Road as well as construction of a regional stormwater management facility. While the developer has asked to remain anonymous at this time, staff has reviewed its proposed uses and they are best suited with Industrial zoning.

**ITEMS FOR DISCUSSION:**

1. Consistency with the Comprehensive Plan: The future land use map indicates this area as industrial and therefore is consistent with the comprehensive plan. The surrounding properties are a mix of Industrial and General Commercial; market conditions are better suited for more industrial/office uses in this area.

**STAFF RECOMMENDATION:** Staff recommends approval the rezoning request. If the Commission is in agreement, the following motion may be made:

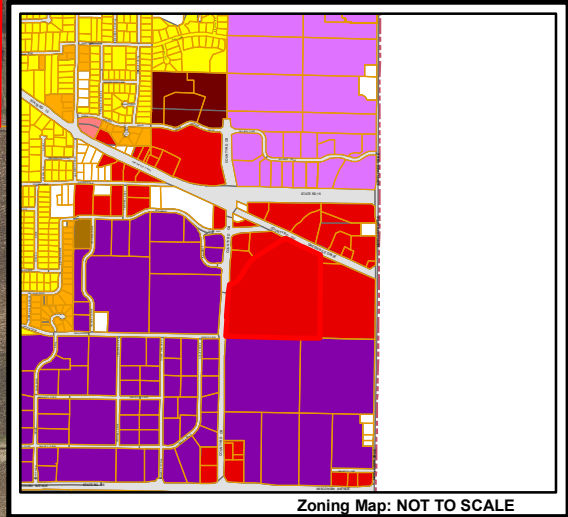
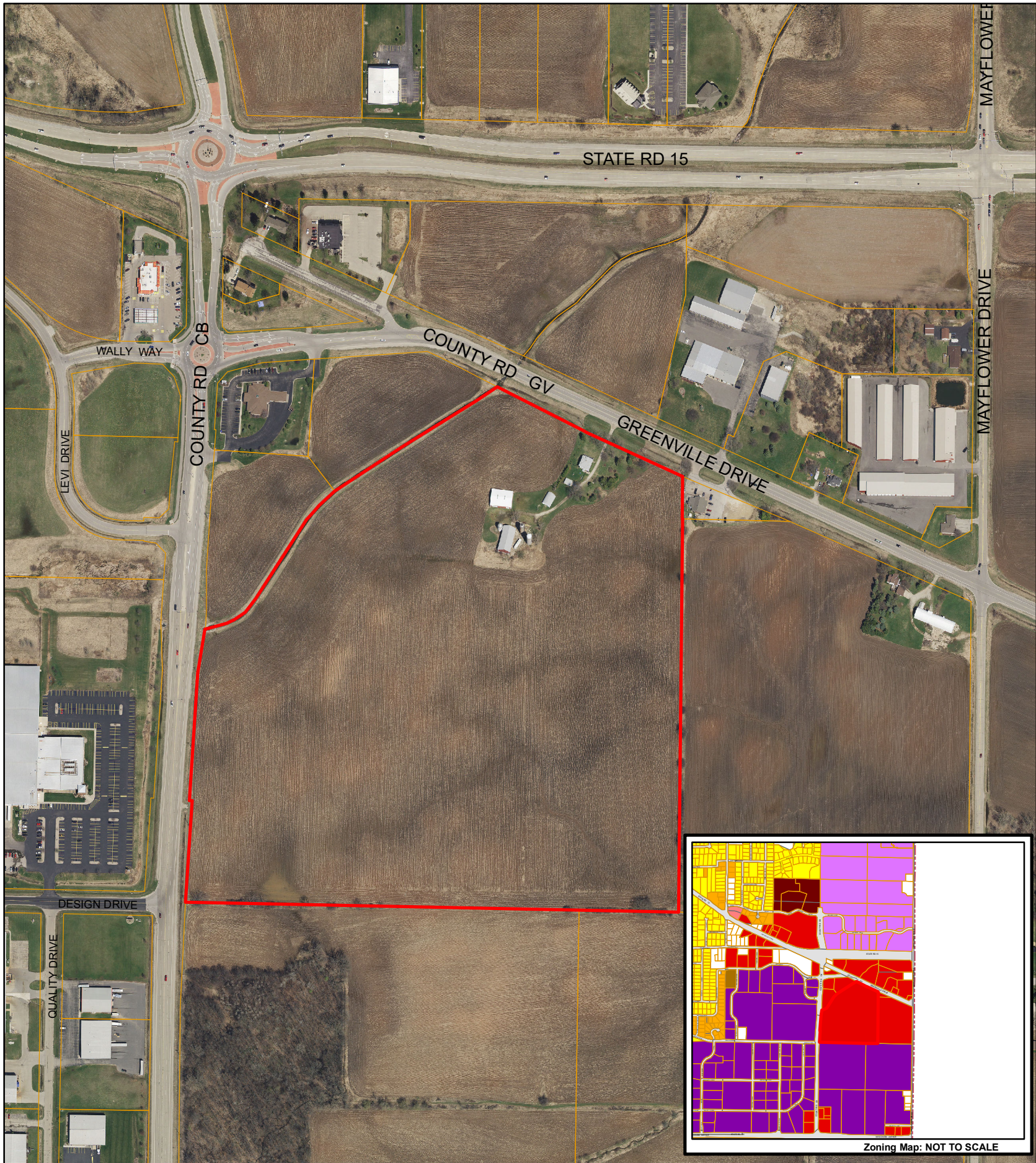
***"Motion to recommend approval of Resolution 32-19 to the Town Board."***

###

**Attachments:**

1. Aerial
2. Resolution 32-19





## Town of Greenville

### Rezone Parcel 110086203 from General Commercial to Industrial

Project Location



65

0 200 400 800 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

#### Zoning

- GENERAL AGRICULTURE
- SINGLE FAMILY RESIDENTIAL
- TWO FAMILY RESIDENTIAL
- MULTI-FAMILY RESIDENTIAL
- GENERAL COMMERCIAL DISTRICT

- PLANNED COMMERCIAL
- NEIGHBORHOOD COMMERCIAL DISTRICT
- BUSINESS PARK
- INDUSTRIAL
- AIRPORT DISTRICT
- Parcel Boundary

This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only.



## Resolution #32-19

### RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A REZONING OF PARCEL 110086203 FROM GENERAL COMMERCIAL TO INDUSTRIAL.

**WHEREAS**, a rezoning request has been applied for to rezone parcel 110086203 from General Commercial to Industrial as shown on Exhibit A; and

**WHEREAS**, the Planning Commission has found the request to be consistent with the Town of Greenville's Comprehensive Plan and recommended approval to the Town Board; and

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the request is consistent with the Town of Greenville's Comprehensive Plan and therefore approves the rezoning request.

This resolution was adopted by the Town of Greenville Town Board on the 22<sup>nd</sup> day of April, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

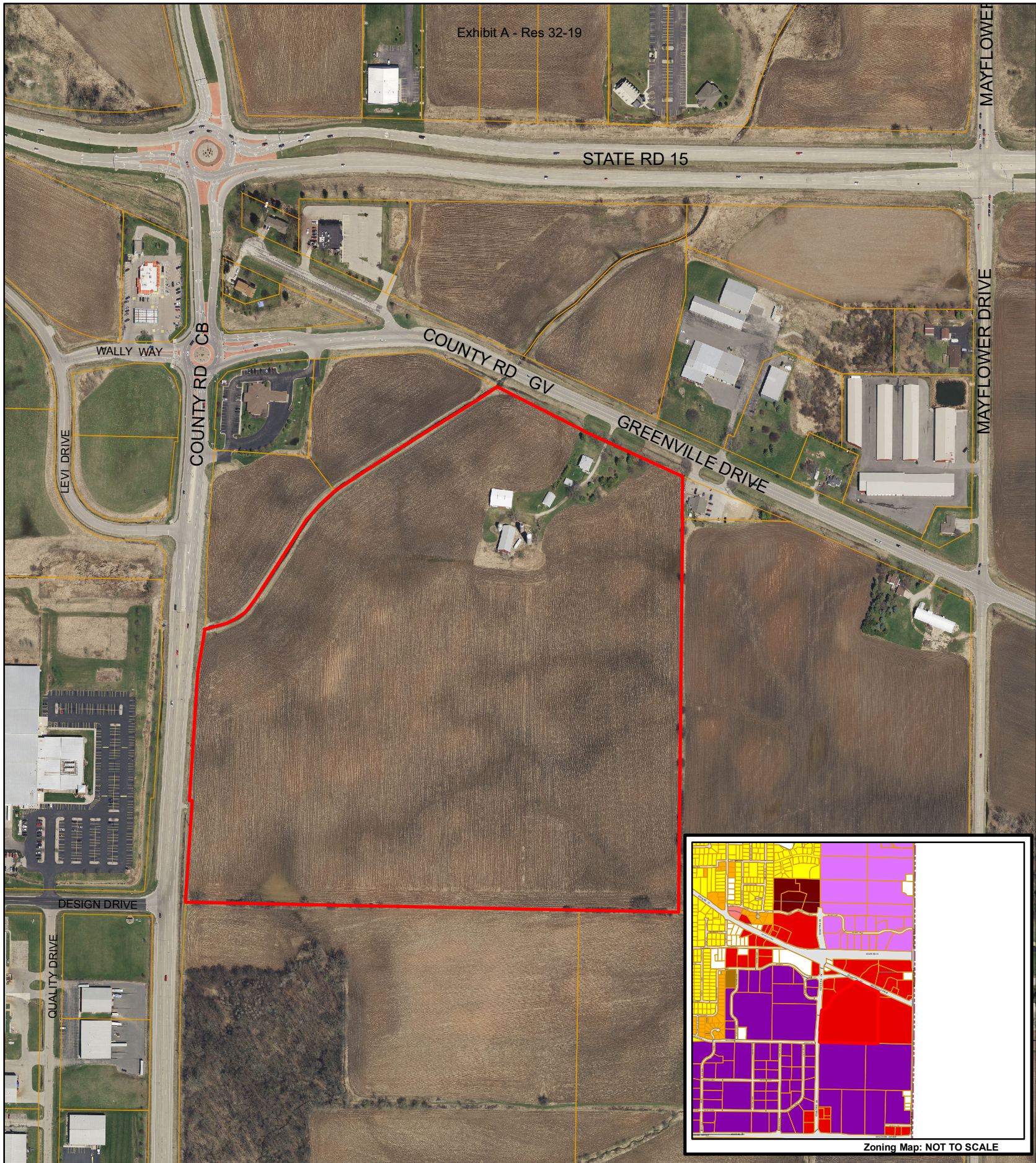
Motion to Approve Resolution No. #32-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Ryan			
Supervisor	Strobel			
Chairperson	Anderson			

Posted:





## Town of Greenville

### Rezone Parcel 110086203 from General Commercial to Industrial

Project Location



67

0 200 400 800 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

#### Zoning

- GENERAL AGRICULTURE
- SINGLE FAMILY RESIDENTIAL
- TWO FAMILY RESIDENTIAL
- MULTI-FAMILY RESIDENTIAL
- GENERAL COMMERCIAL DISTRICT

- PLANNED COMMERCIAL
- NEIGHBORHOOD COMMERCIAL DISTRICT
- BUSINESS PARK
- INDUSTRIAL
- AIRPORT DISTRICT
- Parcel Boundary

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*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Chairperson and Board and Commission Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** April 15, 2019  
**RE:** **WE Energies Gas Regulation Station Site Plan and Special Exception**

**ACTION TYPE:** This item is for possible Town Planning Commission/Board Approval/Denial.

**BACKGROUND & SUMMARY:** At the December 17, 2018 Planning Commission meeting WE Energies presented a concept plan for a gas regulator located at the southeast corner of parcel 110085604 over an easement they are purchasing from the property owner. WE Energies was concerned with the landscaping and Gateway District aesthetic requirements. The Planning Commission indicated the proposed landscaping and brick building would be acceptable as well as the gravel parking area. As such, WE Energies has submitted an application for a site plan and special exception for a gas regulator. This project requires a special exception use as the property is zoned General Commercial and there is no principle permitted use or structure on the property.

**SURROUNDING ZONING AND LAND USES:**

	Existing Zoning	Existing Land Use
North	Business Park	Agriculture
South	General Commercial	Residential
East	Grand Chute	Agriculture
West	General Commercial	Agriculture

**ITEMS FOR DISCUSSION:**

1. Special Exception: A Special Exception for a Gas Regulator has been requested:
  - a. Section 320-209A(1-10) Standards for granting a special exception. Special Exceptions may be granted by the Planning Commission, and approved by the Town Board, when all of the following conditions prevail:
    - i. The establishment, maintenance, or operation of the special exception will not be detrimental to, or endanger the public health, safety, morals, comfort or general welfare of the community.



- ii. The special exception will not be injurious to the uses of other property in the immediate vicinity for the purposes already permitted, nor substantially diminish and impair property values within the neighborhood in which it is to be located.
- iii. The proposed use will not create a look of clutter, garishness, glare or creates an obnoxious noise level, or would generate any other incompatibility with surrounding neighborhood.
- iv. The impact of the use is furthering the purposes of this chapter or the purposes of the zoning district in which the use is proposed or the adopted Comprehensive Plan of the Town.
- v. The establishment of the special exception will not impede the normal and orderly development and improvement of the surrounding property.
- vi. Adequate facilities, access roads, drainage and/or necessary services will be provided.
- vii. Adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic congestion in the public streets.
- viii. If the special exception involves a public use or a use providing public utility service, that such use or service shall meet a demonstrable public need and provide a public benefit.
- ix. Lot area, lot width and setbacks meet or exceed minimum requirements and are adequate for the proposed use. When there is an existing nonconforming structure, this provision may be waived by the Town Board.
- x. Generally, a buffer shall exist as determined by the Planning Commission between the structure or land use to be occupied by the special exception and any adjoining property line.

- 2. Site Plan: Staff has reviewed the site plan and it is in general compliance with Town ordinances and the discussions the Planning Commission previously had with WE Energies.

**RECOMMENDATION:** Staff recommends approval of the site plan and special exception requests. If the Commission is in agreement it may make the following motions:

***“Motion to approve Resolution 33-19”***

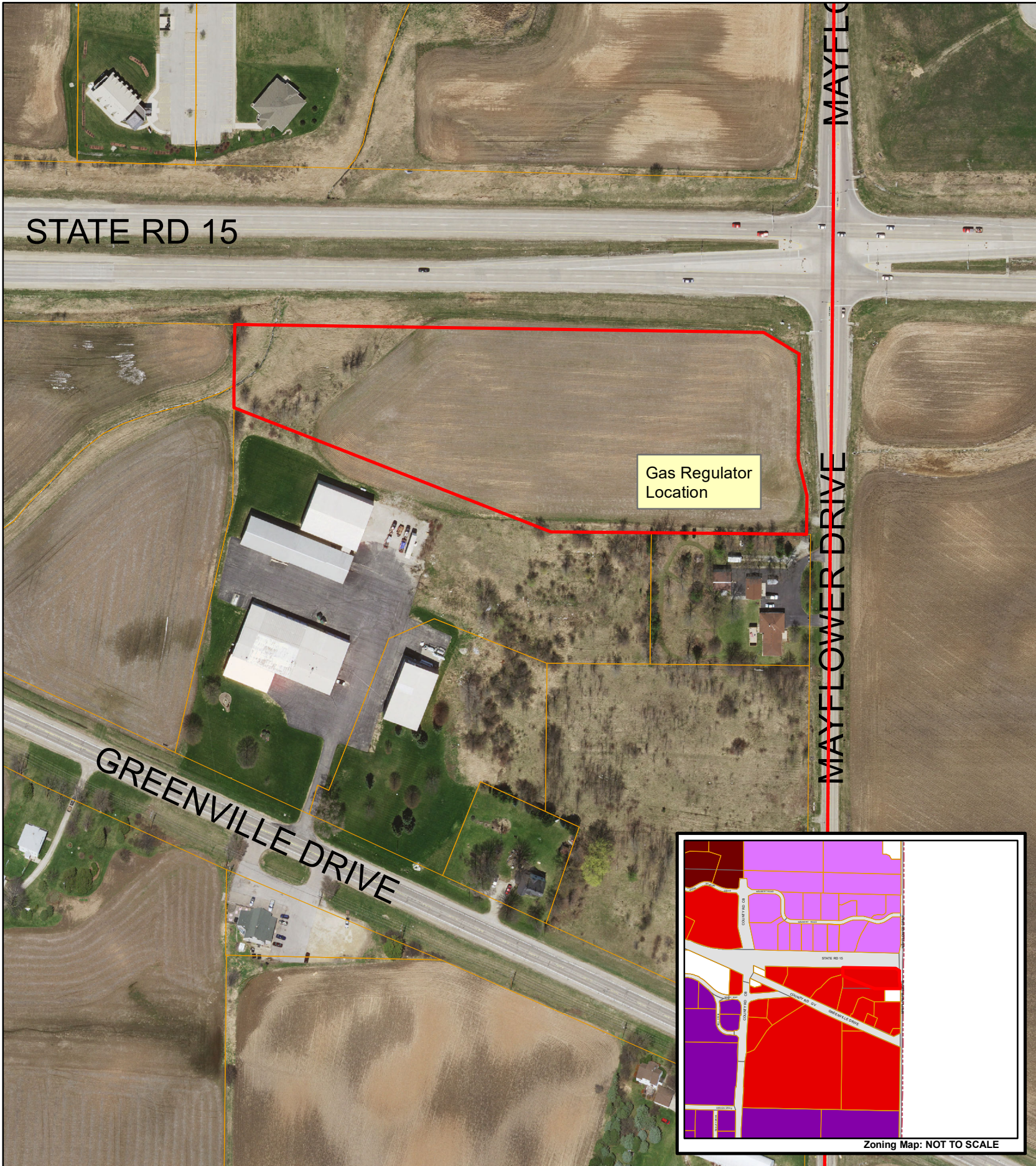
***“Motion to recommend approval of Resolution 34-19 to the Town Board”***

###

**Attachments:**

- 1. Aerial Map
- 2. Resolution 33-19
- 3. Resolution 34-19





## Town of Greenville WE Energies Gas Regulator

 Project Location








71

0 100 200 400 Feet

Scale is approximate and is not based upon legally recorded or surveyed data.

### Zoning

-  GENERAL AGRICULTURE
-  SINGLE FAMILY RESIDENTIAL
-  TWO FAMILY RESIDENTIAL
-  MULTI-FAMILY RESIDENTIAL
-  GENERAL COMMERCIAL DISTRICT

-  PLANNED COMMERCIAL
-  NEIGHBORHOOD COMMERCIAL DISTRICT
-  BUSINESS PARK
-  INDUSTRIAL
-  AIRPORT DISTRICT
-  Parcel Boundary

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## **Resolution #34-19**

### **RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING A SPECIAL EXCEPTION FOR A GAS REGULATOR FOR WE ENERGIES, LOCATED AT PARCEL 110085604**

**WHEREAS**, a gas regulator has been applied for as a special exception for WE Energies located on parcel 110085604 as shown on the attached Exhibit A; and

**WHEREAS**, the Planning Commission has found that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and have recommended approval to the Town Board; and

**WHEREAS**, the approval and continued use of the special exception shall be conditioned on the following

1. No conditions set.

**WHEREAS**, per Section 320-209B(2) of the Zoning Ordinance, the special exception shall expire if the use is discontinued for a period of eight months. If a building permit is required, and has not been obtained within 12 months of the issuance of the special exception permit, the applicant must request in writing and the Planning Commission may approve an extension if it finds there is no significant change to warrant a new special exception permit application. If the special exception does not require a building permit and has not started within 12 months of issuance of the special exception permit the permit is considered null and void and an application for a special exception permit shall be required. If the conditions set forth above are not met within the specified timeframes the special exception permit shall expire and be null and void. The special exception shall run with the land and is transferable with the sale of the property; and

**WHEREAS**, this resolution shall act as the special exception permit and be enforceable by the Town;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby finds that the conditions in which to grant a special exception in Section 320-209A(1-10) of the Zoning Ordinance have been met and approves the special exception permit.

This resolution was adopted by the Town of Greenville Town Board on the 22<sup>nd</sup> day of April, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair



ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

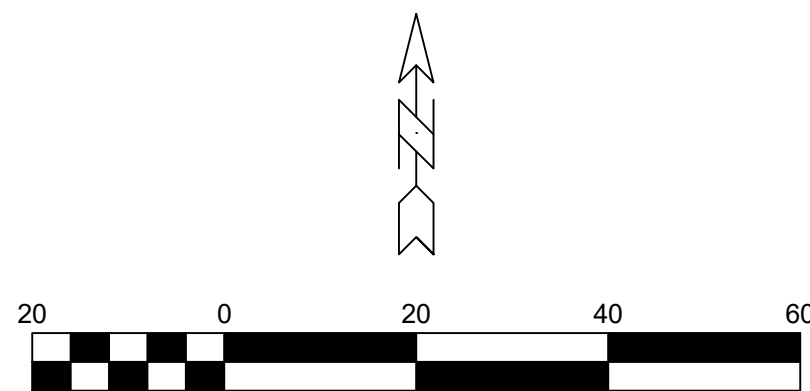
Motion to Approve Resolution No. #34-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Ryan			
Supervisor	Strobel			
Chairperson	Anderson			

Posted:





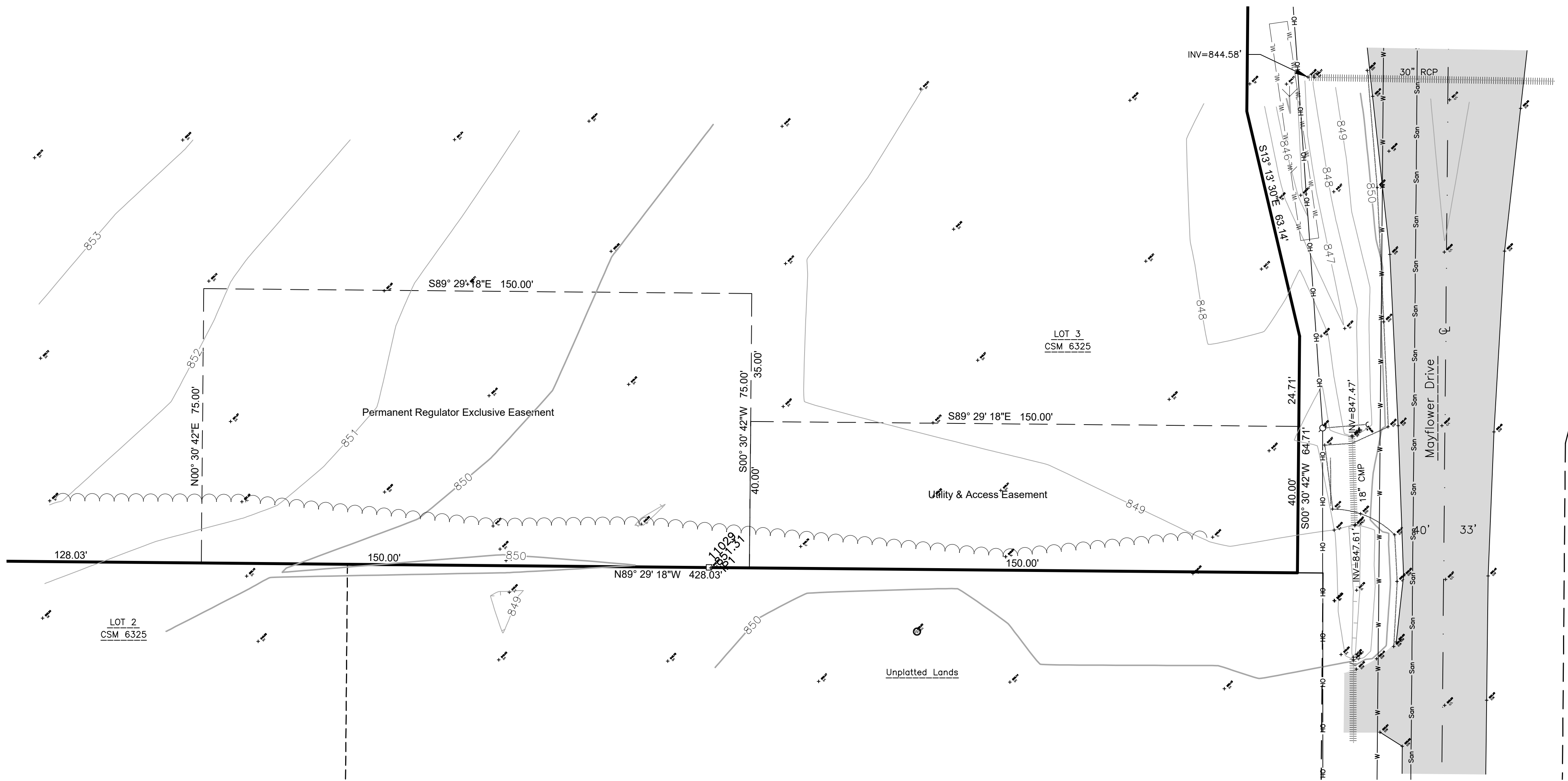
Setbacks:  
Front Town Road: 37'  
Rear: 20'  
Side: 20'  
Maximum Height: 20'

# SITE PLAN

Gas Regulator Station, Mayflower Drive  
Town of Greenville, Outagamie County, WI  
For: We Energies

Date:	04/1/2019
Filename:	5640engr.dwg
Author:	----
Last Saved by:	tim
Page	1.0



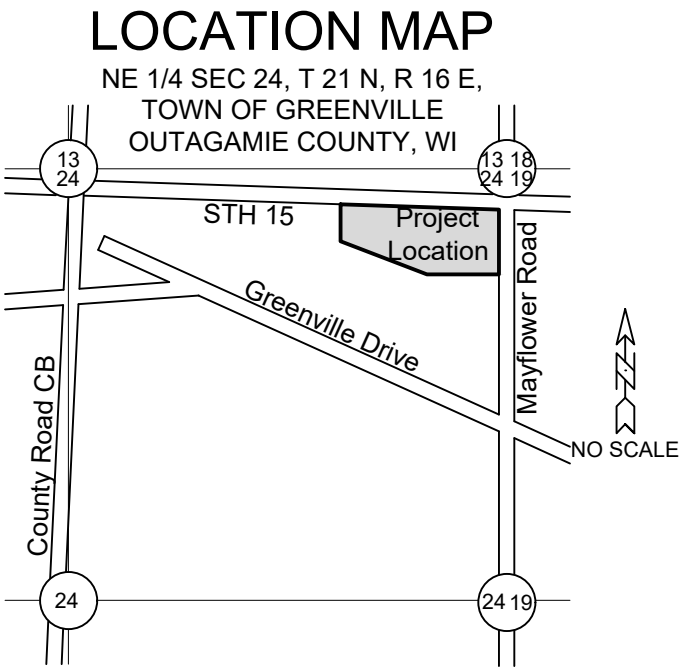


LEGEND

	Wetlands		Utility Pole		Benchmark
	Treeline		Guy Wire		Well
	Culvert		Ex Spot Elevation		Asphalt Pavement
	Index Contour				
	Intermediate Contour				



Bearings are referenced to the East line of the Northeast 1/4, Section 24, T21N, R16E, assumed to bear N00°30'42"E, base on the Outagamie County Coordinate System.



BENCHMARKS (NAVD88)

BM 0	NGS Monument(DF6092) West R/W of McCarthy Road Elev 819.20
BM 1	Fire Hydrant, Tag Bolt ±180' E of North of Easement Elev 850.47
BM 2	Nail In Power Pole ±80' N of BM 1 Elev 853.33

NOTES

This topographic survey was performed during winter conditions. Utility and ground features shown on this map are indicated based on what was observed at the time. Utility markings and existing features may have been covered by snow and/or ice and may not be shown on this map.

Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer & water from the the property owners of the respective utilities. All utility the property owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.

This is not a boundary survey.






TOPOGRAPHIC SURVEY

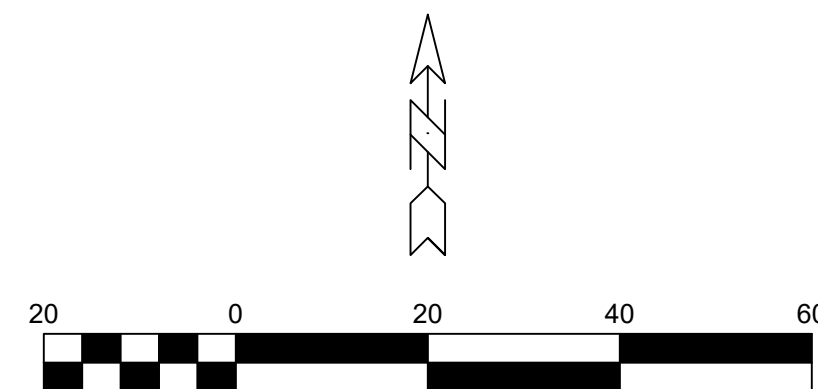
Gas Regulator Station, Mayflower Drive  
Town of Greenville, Outagamie County, WI  
For: We Energies





1. Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
2. The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
3. The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
4. Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
5. Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.

	Proposed Contour		Proposed Building
	Proposed Gas Line		Proposed Gravel
	Proposed Fence		Proposed Grade
	Proposed Culvert		Existing Grade
		× 608.73	Proposed Grade
		× 713.68	Existing Grade
		FF=000.0	Prop. Finished Floor Elev.

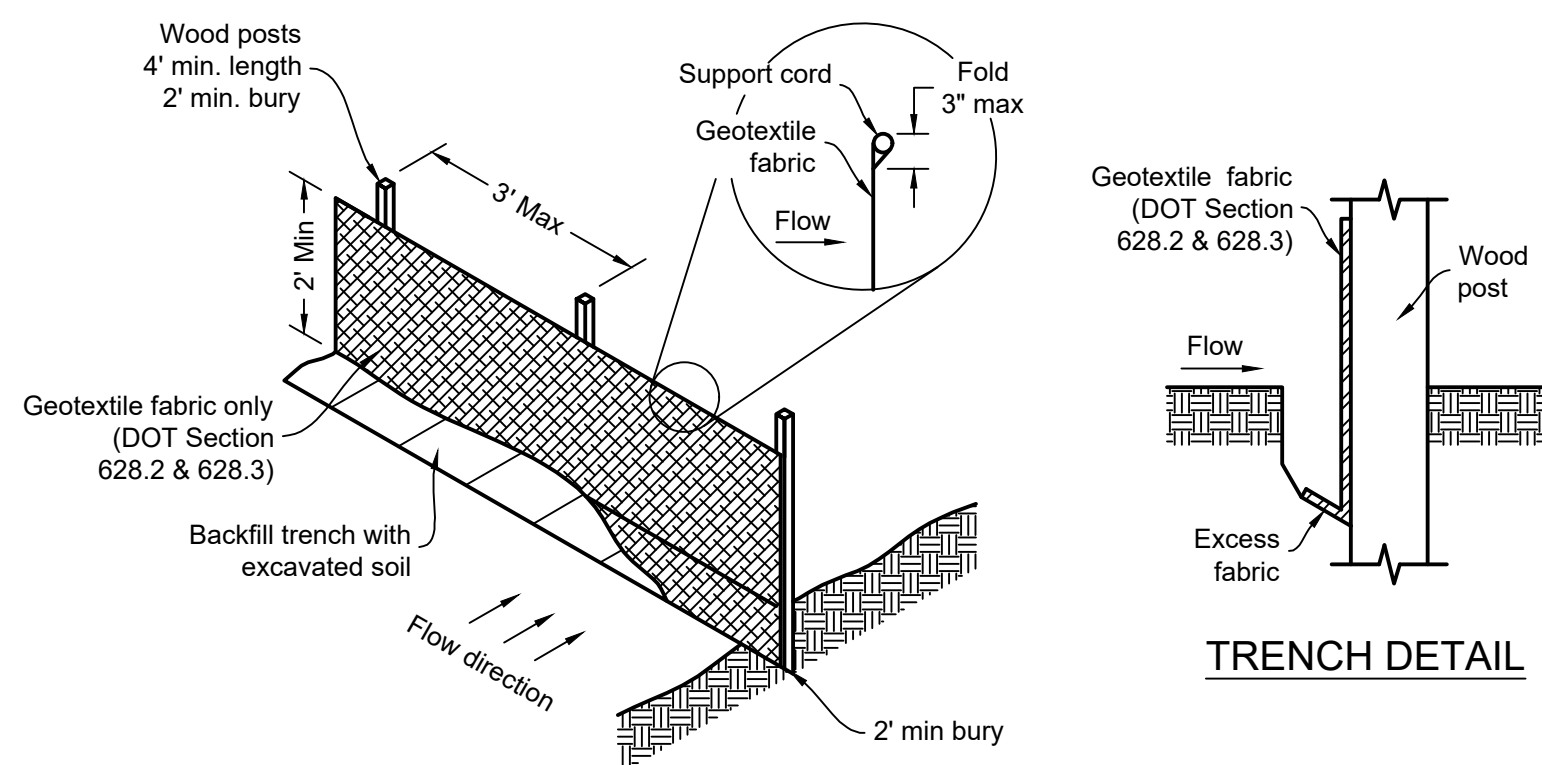


# DRAINAGE & GRADING PLAN

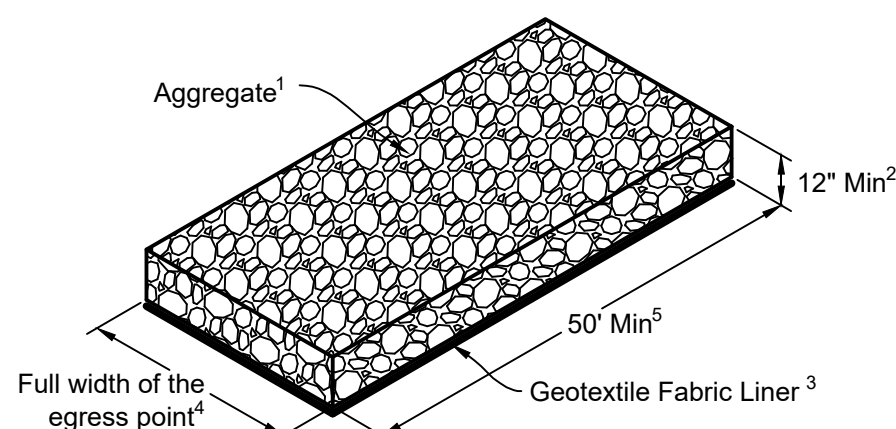
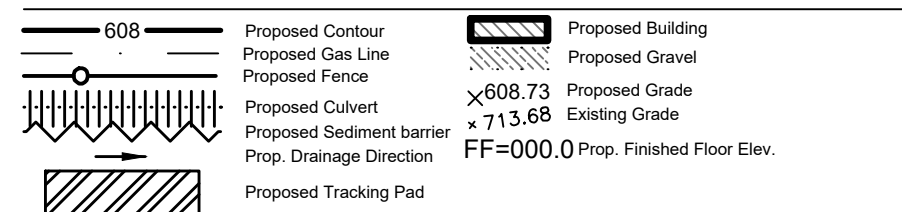
**Gas Regulator Station, Mayflower Drive**  
Town of Greenville, Outagamie County, WI  
For: We Energies

Date:	04/1/2019
Filename:	5640engr.dwg
Author:	----
Last Saved by:	tim
Page	1.2



**Silt fence notes:**

1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by **DNR Technical Standard 1056**.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Pin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

**SILT FENCE INSTALLATION****LEGEND****TRACKING PAD DETAIL**

Note 1 Use hard, durable, angular stone or recycled concrete meeting the gradation in Table 1. Where this gradation is not available, meet the gradation in Wisconsin Department of Transportation (DOT) 2018 Standard Specification, Section 312. Select Crushed Material.

Note 2 Slope the stone tracking pad in a manner to direct runoff to an approved treatment practice.

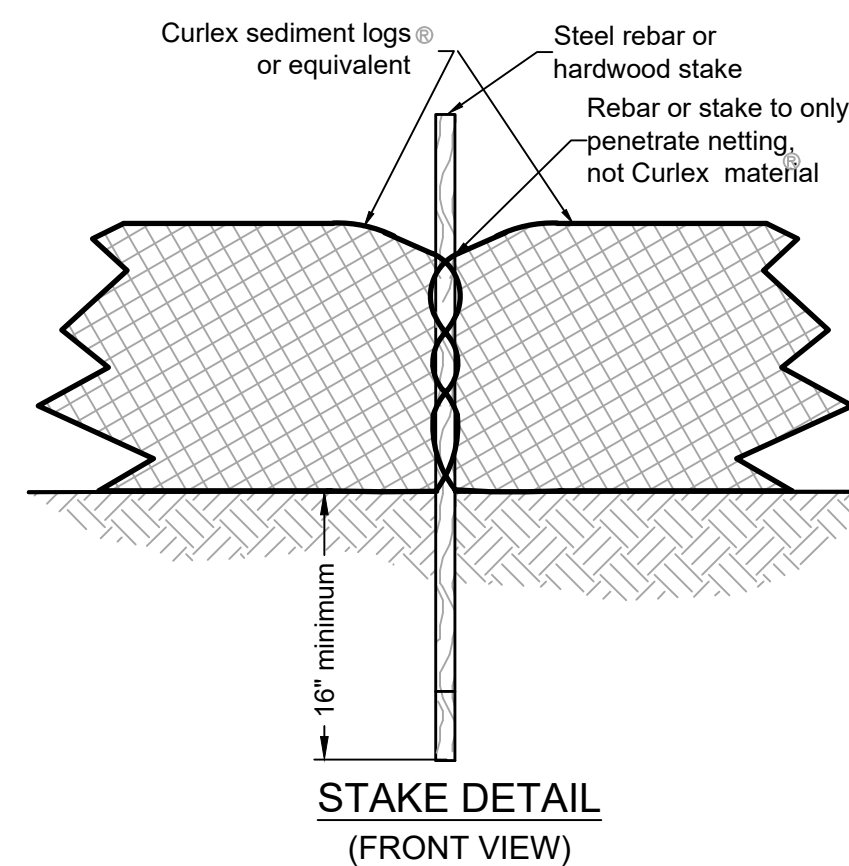
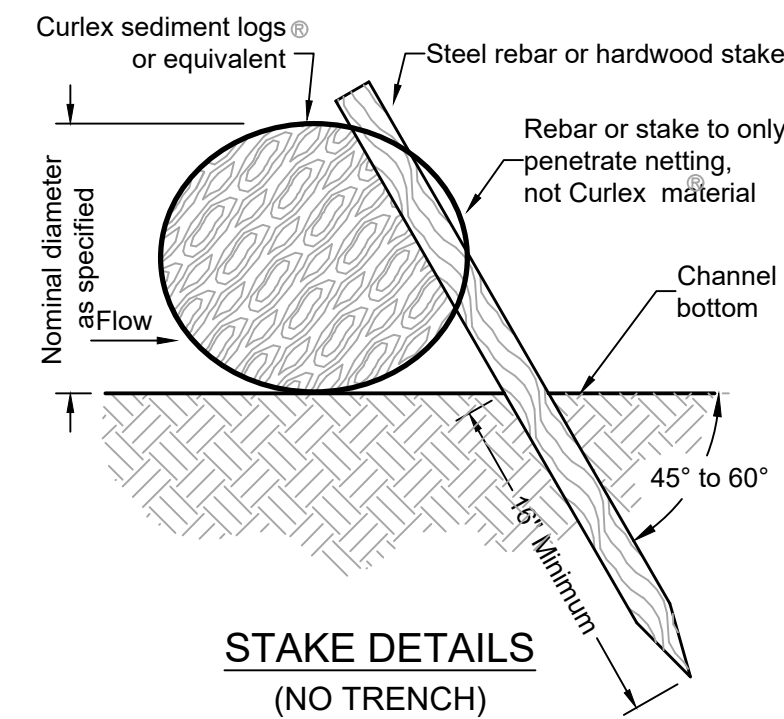
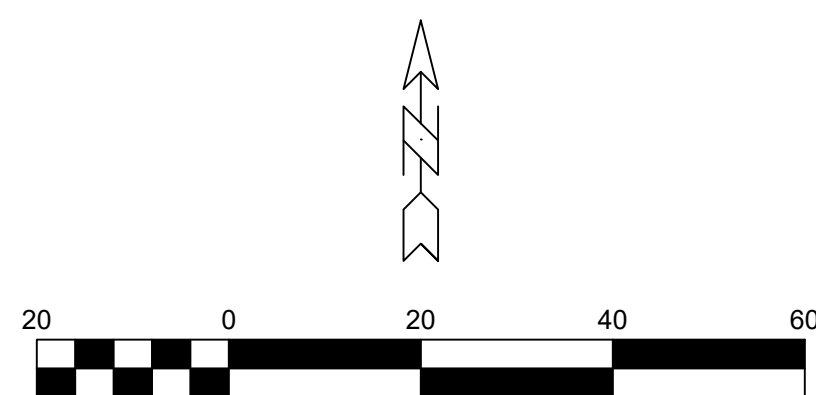
Note 3 Select fabric type based on soil conditions and vehicles loading.

Note 4 Install tracking pad across full width of the access point, or restrict existing traffic to a dedicated egress lane at least 12 feet wide across the top of the pad.

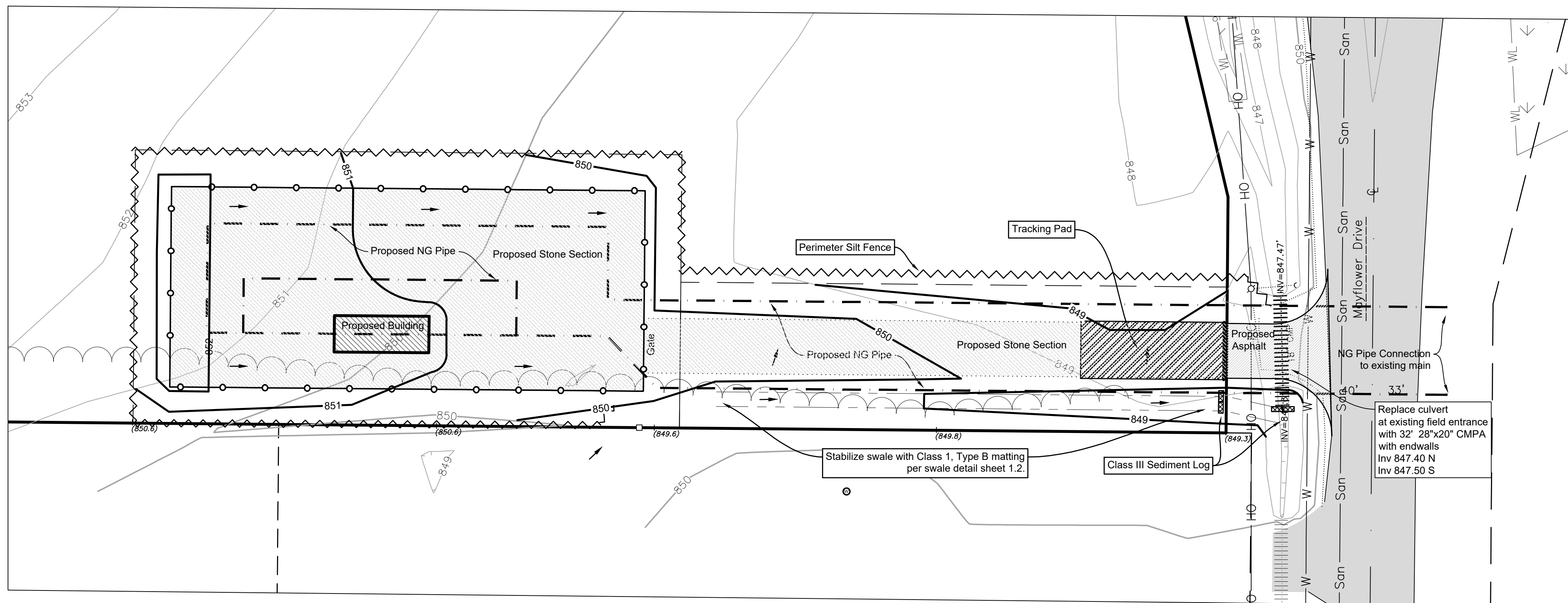
Note 5 If a 50' pad length is not possible due to site geometry, install the maximum length practicable and supplement with additional practices as needed.

TABLE 1: GRADATION FOR STONE TRACKING PADS

Sieve Size	Percent by weight passing
3"	100
2-1/2"	90-100
1-1/2"	25-60
3/4"	0-20
3/8"	0-5

**FRONT ELEVATION**

**NOTE:** Stake installation shall meet manufacturer's requirements in regard to spacing, material, size, and bury depth.

**SEDIMENT LOG DETAIL**





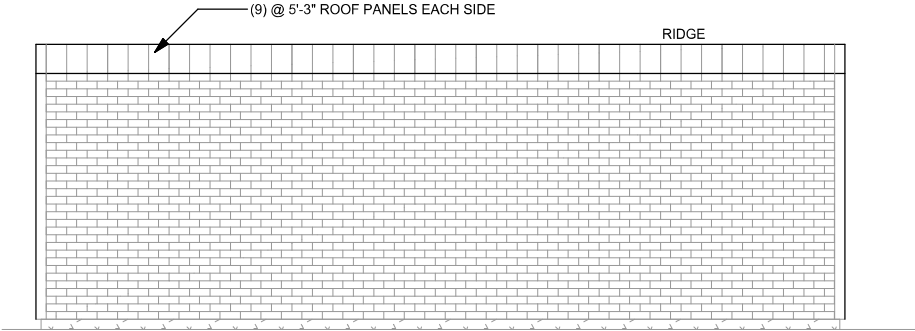
EXTERIOR ELEVATIONS

NEW BUILDING  
FOR  
WE ENERGIES  
GREENVILLE, WI

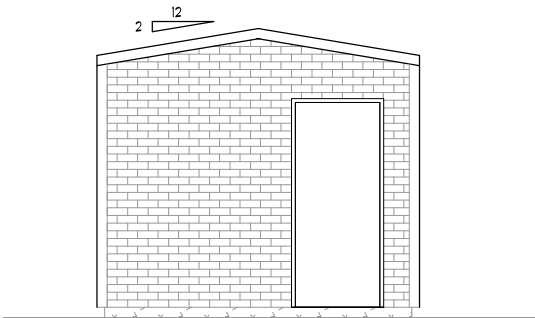
ORIGIN DATE  
JAN. 24, 2019

REVISIONS	
#1	XXXXXX
#2	XXXXXX
#3	XXXXXX

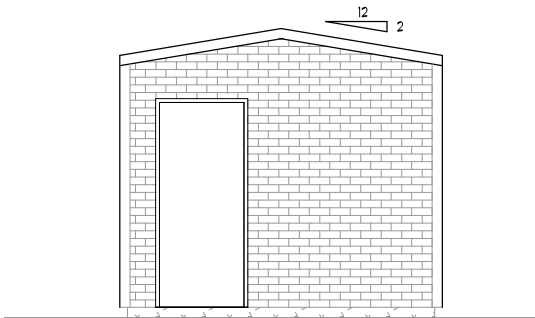
A2.0



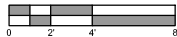
1 SIDE ELEVATION (TYP.)  
A2.0 SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"



3 SIDE ELEVATION  
A2.0 SCALE: 1/4" = 1'-0"





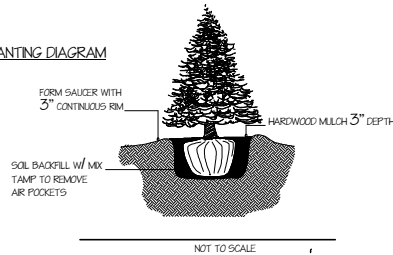
# MAYFLOWER DRIVE

## LEGEND

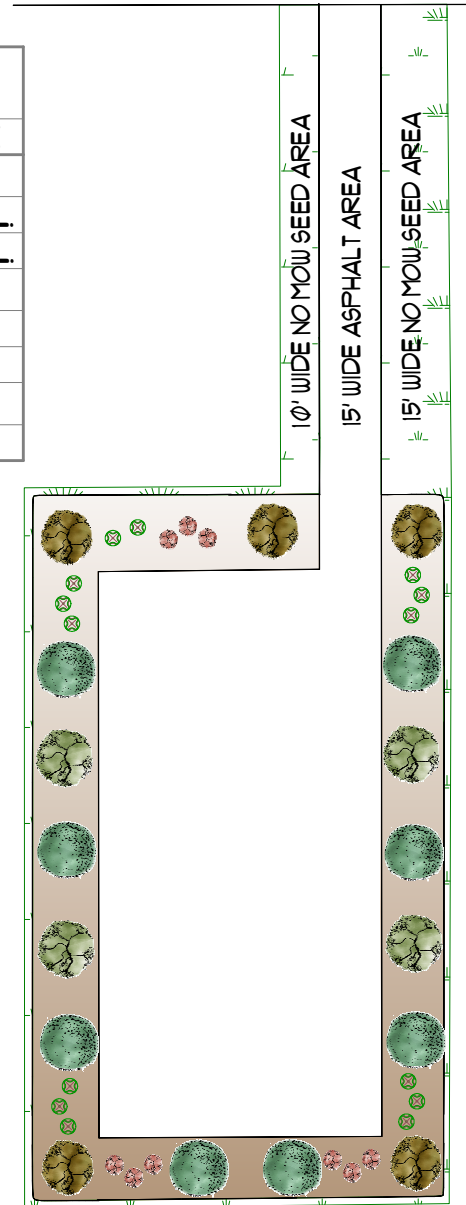
	COMMON NAME	QTY	BOTANICAL NAME	SIZE
SHRUB, DECIDUOUS				
	DOGWOOD, VARIEGATED	9	CORNUS ALBA	5 GAL.
	VIBURNUM, DWARF	14	VIBURNUM 'COMPACTUM'	5 GAL.
TREE, DECIDUOUS				
	MAPLE, ARMSTRONG	5	ACRE RUBRIC 'ARMSTRONG'	11/2"
	PEAR, CALLERY, CHANTICLEER	4	PYRUS CALLERYANA 'CHANTICLEER'	11/2"
TREE, EVERGREEN				
	SPRUCE, BLACK HILLS	8	PICEA GLAUCA 'DENSATA'	5-6'

AREAS NOT COVERED WITH HARDWOOD MULCH  
TO BE RESTORED WITH A NO MOW SEED MIX AND COVERED WITH  
STRAW BLANKETS TO ELIMINATE EROSION.

PLANTING DIAGRAM



HARDWOOD MULCH  
NO UNDERLAYMENT  
NO EDGING



Revision #:

Date: 3/17/2019

Scale:

1" = 50'

Landscape Plan: 1

WE ENERGIES GREENVILLE

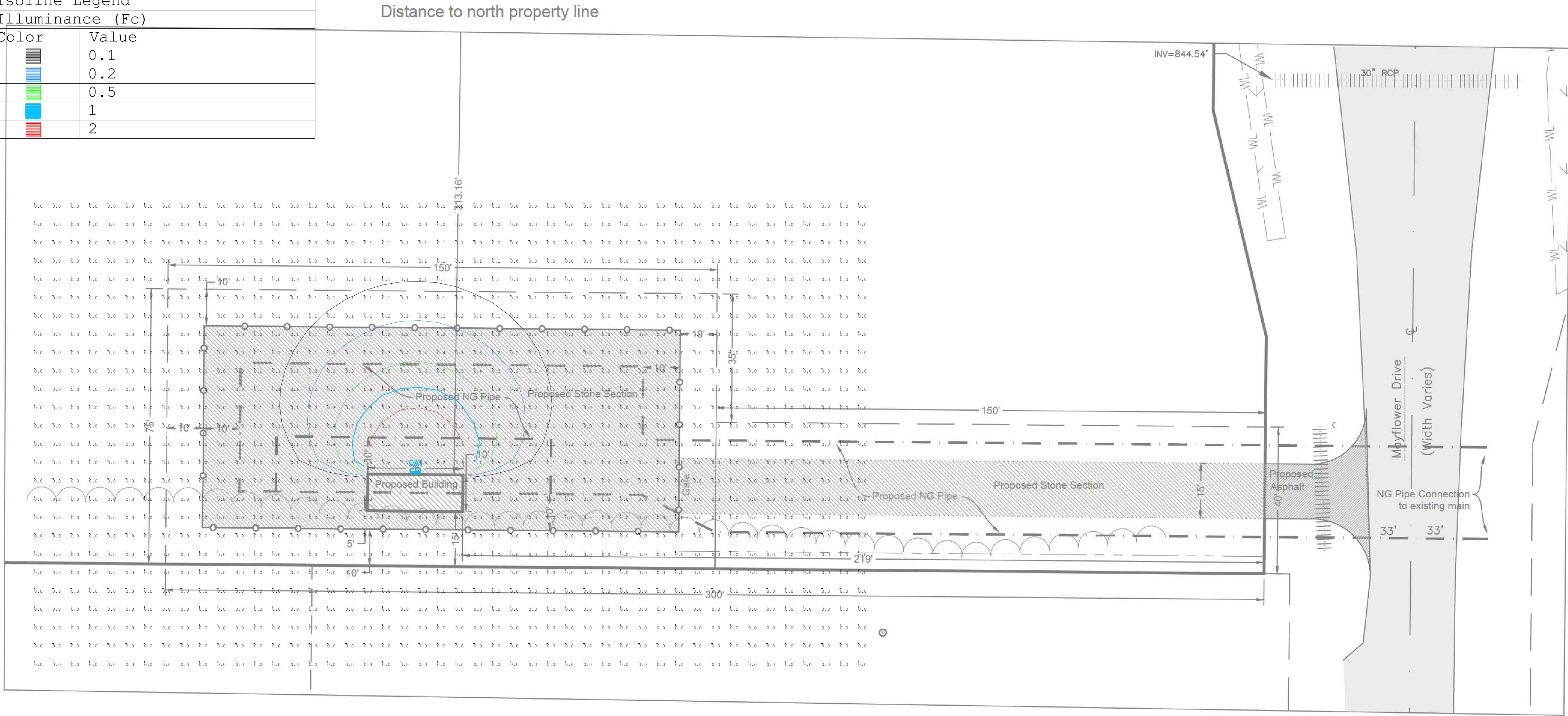
Landscape Design by: Chad Wolfrath

 **Wolfrath's**  
nursery and landscaping



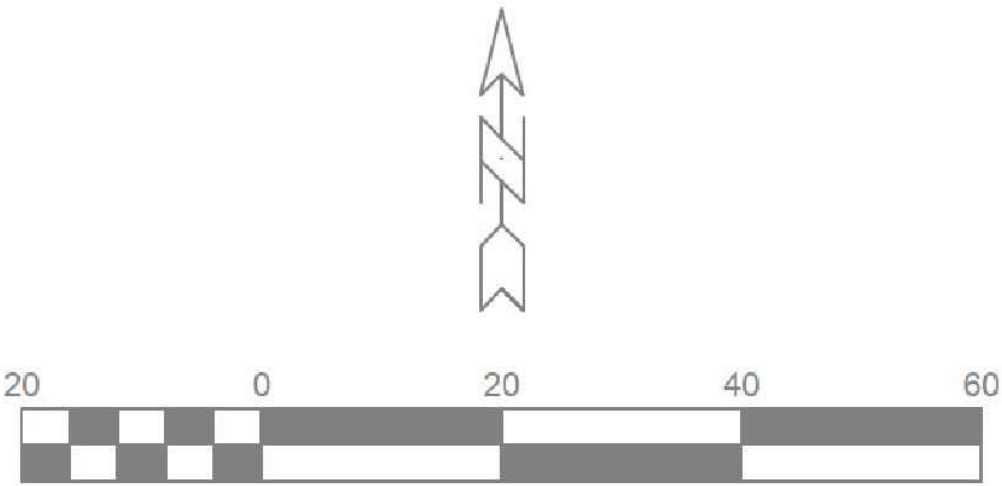
Luminaire Schedule			
Symbol	Qty	Label	Description
	1	OA1	045HY50WNFRVLYHZ0000H001 mounted @ 11'

Isoline Legend	
Illuminance (Fc)	
Color	Value
	0.1
	0.2
	0.5
	1
	2



LEGEND

	Proposed Contour		Proposed Building
	Proposed Gas Line		Proposed Gravel
	Proposed Fence		Proposed Asphalt







*"Town of Greenville"*

## AGENDA MEMORANDUM

---

**To:** Honorable Chairperson and Board and Commission Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** April 15, 2019  
**RE:** **Ordinance 03-19 Town Functional Road Classification System**

---

**ACTION TYPE:** This item is for possible Town Planning Commission/Board Approval/Denial.

**BACKGROUND & SUMMARY:** As part of the update to the Subdivision Ordinance staff has been working on it was identified that there were conflicts between the Subdivision Ordinance and the Town Functional Road Classification System. As a result, Community Development, Public Works and GIS has updated Chapter 204 Article II Town Functional Road Classification System to reflect appropriate road classifications. Collector roads have been broken out into major and minor classifications and the extension of Design Drive between County Highway CB and Mayflower has been designated as an Officially Mapped Road, being a Tax Increment Finance District project. The Roads going into the Sports Complex off of State Highway 96 as well as the east/west connectors have been added as Officially Mapped Roads as this is a requirement of the State Department of Transportation in order to receive an access permit to the Sports Complex and Well #5 currently being developed.

**RECOMMENDATION:** Staff recommends approval of Ordinance 03-19 Town Functional Road Classification System. If the Planning Commission is in agreement the following motion can be made.

***"Recommend approval of Ordinance 03-19 to the Town Board"***

###

Attachments:

1. Ordinance 03-19



**TOWN OF GREENVILLE**  
**ORDINANCE NO. 03-19**  
**TOWN FUNCTIONAL ROAD CLASSIFICATION SYSTEM**

**The Town Board of the Town of Greenville, Outagamie County does hereby ordain as follows:**

**Sections §204-10 through §204-13 of the Town of Greenville Code is hereby repealed and recreated as follows:**

**§ 204-10 Functional road classification.**

There is hereby established a Functional Road Classification System consisting of arterial roads, major collector roads, minor collector roads, and local roads in the Town of Greenville as defined and designated below.

**§ 204-11 Arterial roads.**

The primary function of arterial roads is the movement of through traffic from one area of the community to another or the movement of through traffic between important economic activity centers, more specifically to carry traffic from Major and Minor Collector roads to it.

A. Existing roads designated as arterial roads. The following existing roads are designated as arterial roads in addition to any extensions or new alignments of these roads:

1. WIS 15
2. WIS 76
3. WIS 96
4. COUNTY BB
5. COUNTY CA
6. COUNTY CB
7. COUNTY GV
8. COUNTY JJ

**§ 204-12 Collector roads.**

The primary function of collector roads is to collect and distribute traffic between arterial roads and local roads. Collector roads shall have a right-of-way of not less than 80 feet.

A. Major Collector Roads. The primary function of major collector roads is to carry traffic from minor collector roads to the major systems of arterial roads. The following existing roads are designated as major collector roads in addition to any extensions or new alignments of these roads as shown on the official map:

1. Greendale Road
2. Hillview Road
3. Island Road
4. Julius Drive



5. Manley Road
6. Mayflower Drive
7. North Road
8. School Road
9. Spring Road
10. West Spencer Road

B. Minor Collector Roads. The primary function of minor collector roads is to carry traffic from Local roads to the major system of Major Collector and Arterial roads, it may include the principal entrance roads to residential, commercial and industrial developments. The following existing roads are designated as minor collector roads in addition to any extensions or new alignments of these roads as shown on the official map:

1. Design Drive
2. Everglade Road
3. Greenwood Road
4. Lily of the Valley Road (south of WIS 15)
5. Moon Shadow Drive
6. Neubert Road
7. Parkview Drive

C. Local Roads. The primary function of local roads is to carry traffic from abutting properties within a subdivision to Minor Collector streets; local streets should avoid connecting directly to major collectors or arterials when possible. Those roads not classified as an arterial or collector shall be considered local roads with a minimum right-of-way width of not less than 66 feet.

#### **§ 204-13 Official Town of Greenville Functional Classification System Map.**

There is hereby established an Official Town of Greenville Functional Classification System Map depicting the designation and location of existing and proposed arterial roads, existing and proposed collector roads and existing and proposed local roads. The Official Town of Greenville Functional Classification System Map as shown in Figure 1 shall be part of this chapter and constitute a part of the Official Map of the Town of Greenville.

- A. Amendments. Amendments to the Official Town of Greenville Functional Classification System Map shall be approved by the Town Board in accordance with the amendment provisions in Article I, General Provisions, of this chapter. Amendments shall be promptly portrayed on the map.
- B. Detail maps. The Town Board may from time to time establish more detailed maps showing locations, distance and other information for proposed arterial, collector and local roads in Article IV, Detail Maps, of this chapter. In the event of any conflict or variance between locations and distance on the Official Town of Greenville Functional Classification System Map as shown in Figure 1 and detailed maps in Article IV of this chapter, the detailed maps shall prevail and constitute the proper location and distance.



If this conflicts with any section within the Town of Greenville Municipal Code, this ordinance shall prevail.

This Ordinance shall take effect upon passage and publication.

Adopted this 22nd day of April, 2019.

**TOWN OF GREENVILLE:**

---

Jack Anderson

Town Chairperson

Attest:

---

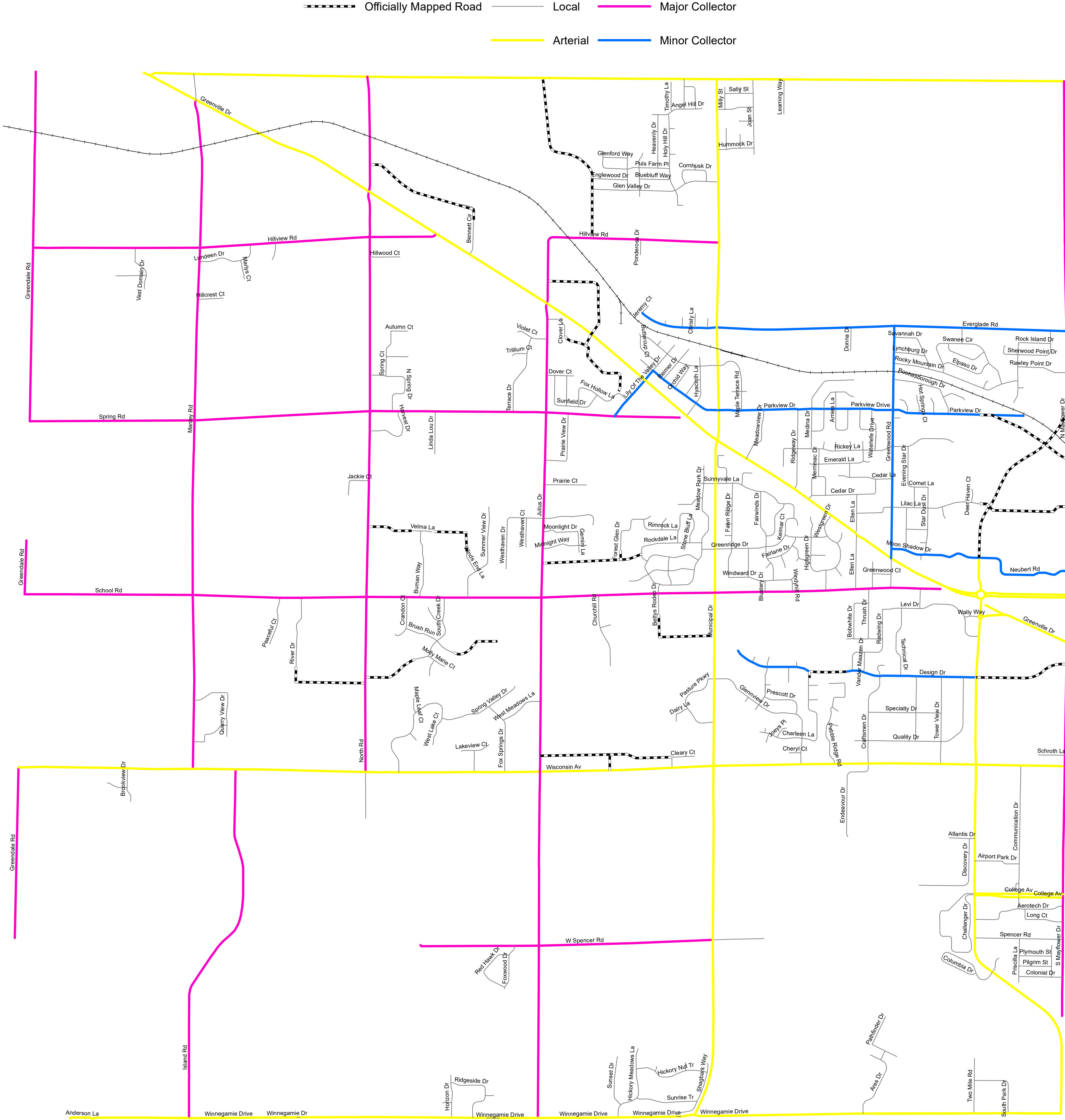
Wendy Helgeson

Town Clerk



Figure 1

# Town of Greenville



Street	Section #	Street	Section #	Street	Section #
AEROTECH DR	25	GLENNVIEW DR	23	PRAIRIE CT	15
AIRPORT PARK DR	25	GOLDEN AUTUMN PL	23	PRAIRIE VIEW DR	15
ALEXANDRA WAY	23	GOLDFINCH CT	11	PRESOTT DR	23
ANDERSON LN	31	GOLDFINCH DR	11	PRISCILLA LA	36
ANGEL HILL DR	3	GOOSE CREEK CIR	12	PULS FARM PL	3
APPLETREE CT	14	GREEN WILLOW CT	14		
ARES DR (pvt)	35	GREEN WILLOW LA	14	QUAIL RUN DR	23
ARNIES LN	11, 14	GREENBUSH CT	14	QUALITY CT	23
ATLANTIS DR (pvt)	25	GREENDALE RD	6, 7, 18, 30	QUALITY DR	23, 24
AUTUMN CT	9	GREENRIDGE DR	14, 15	QUARRY RIM RD	20
		GREENVILLE CENTER DR	36	QUARRY VIEW DR	20
BAILEY'S HARBOR CT	12	GREENVILLE DR	9,10,13,14,15,24		
BAILEY'S HARBOR RD	12	GREENWOOD CT	14	RAWLEY POINT DR	12
BARNWOOD CT	12	GREENWOOD RD	11, 12, 13, 14	RED HAWK DR	33
BARRY CT	14			RED WING DR	23
BENJAMIN DR	3	HARPERS DR	12	REIMER CT	10
BENNETT CIR	4, 9	HARVEST DR	16	REIMER DR	10
BETTY'S RODEO DR	22	HAWKFIELD (pvt)	15	REIS RD	3
BIRMINGHAM ST	12	HEAVENLY DR	3	RHINESTONE CT	14
BLUE HERON LA	3	HERON RIDGE CT	13	RICKEY LA	13, 14
BLUEBLUFF WAY	3	HICKORY MEADOWS LA	34	RIDGELINE TR	15
BLUSTERY DR	14, 23	HICKORY NUT TR	34	RIDGESIDE DR	33
BOBWHITE DR	23	HIGH POINT LN	15	RIDGE TOP DR	33
BON BON CT	10	HIGHGREEN CT	14	RIDGEWAY DR	11, 14
BONAVENTURE TER	23	HIGHGREEN DR	14	RIMROCK LA	15
BOONESBOROUGH DR	12	HILLDALE DR	15	RIVENDALE CT (pvt)	15
BRACKENWOOD LA (pvt)	8	HILLCREST CT	8	RIVER DR	20
BRANDON CT	13	HILLVIEW RD	3,4,5,6,7,8,9,10	ROBERT CT	21
BROOKHILL DR	10	HILLWOOD CT	9	ROCHELLE CT	10
BROOKVIEW DR	30	HOLY HILL DR	3	ROCK ISLAND DR	12
BRUSH RUN	21	HORIZON DR	33	ROCKDALE LA	15
BUCKY'S WAY	23	HOT SPRINGS CT	12	ROCKY MOUNTAIN DR	12
BUMAN WAY	16	HUMMOCK DR	2		
BUTTERCUP CT	10	HYACINTH CT	10	SALLY CT	2
		HYACINTH LA	10	SALLY ST	2
C.T.H. BB	35, 36			SAVANNAH DR	12
C.T.H. CA	25	ISLAND RD	29, 31, 32	SCHOOL RD	13 - 24
C.T.H. CB	24,25, 36	IVY LA	10	SCHROEDER FARM DR	11, 14
C.T.H. GV	24			SCHROTH LA	24
C.T.H. JJ	1, 2, 3, 4, 5, 6	JACKIE CT	17	SHADYBROOK LA	10
CAPE COD AVE	36	JEREMY CT	10	SHAGBARK WAY	34
CEDAR DR	14	JOAN ST	2	SHENANDOAH CT	12
CEDAR GROVE CT	14	JOEY'S PL	23	SHERWOOD POINT CT	12
CEDAR LA	14	JULIUS DR	9,10,15,16,21, 22,27,28,33,34	SHERWOOD POINT DR	12
CELEBRATION DR	7			SKYLINE DR	14
CHALLENGER DR (pvt)	25, 36	KAS DR	11,14	SMOKEY CT	12
CHAPEL HILL DR	3	KEIFER CT	14	SNOWDROP CT	10
CHARLEEN LA	23	KEIMER CT	14	SOUTH CREEK DR	21
CHATHAM CT	23	KIMBERLY CT	14	SOUTH PARK DR	36
CHERYL CT	23	KNOLLWOOD CT	14	SOUTHPORT DR	12
CHESAPEAKE CT	12			SPECIALTY DR	23, 24
CHRISTY LA	10	LAKEVIEW CT	21	SPENCER RD	25, 36
CHRUSHILL CT	22	LAKEVIEW LA	21	SPRING CT	9
CHURCHILL RD	22	LAWLER CT	8	SPRING RD	7,8,9,10,15,16,17,18
CLEARY CT	22	LEARNING WAY	2	SPRING GREEN PL	23
CLOVER LA	10	LEVI DR	23, 24	SPRING VALLEY DR	21
COBBLESTONE CT	23	LILAC LA	13, 14	SQUIRREL RUN	34
COLONIAL DR	36	LILY OF THE VALLEY CT	10	ST. HELEN DR	3
COLUMBIA DR (pvt)	36	LILY OF THE VALLEY DR	10	ST. MARY'S DR	2
COMET LA	13	LINDA LOU DR	16	STAR DUST DR	13
COMMUNICATION CT	25	LONG CT	25	STATE RD 15	4, 5, 6
COMMUNICATION DR	25	LYNCHBURG DR	12	STATE RD 76	34, 35
CONTRACTOR DR	36			STONE BLUFF LA	15
CORNHUSK DR	3	MANLEY RD	5,6,7,8,17,18, 19, 20	SUMMER WIND DR	13
COZY CREEK	14	MAPLE TERRACE RD	10, 11	SUMMERBREEZE LN	23
CRAFTSMEN CT	23	MAPLE LEAF CT	21	SUMMER VIEW DR	16
CRAFTSMEN DR	23	MARCY CT	14	SUNFIELD DR	10
CRANDON CT	21	MARLYS CT	8	SUNNYVALE LA	14, 15
CRESTFIELD WAY	15	MARRIHILL CT	2	SUNRISE TR	34
		MAYFLOWER RD	1,12,13,24,25, 36	SUNSET DR	34
DAIRY LA (pvt)	22	MEADOW PARK DR	15	SWANEE CIR	12
DANIEL CT	14	MEADOWVIEW DR	11, 14		
DAWN CT	13	MEDINA DR	11, 14	TALLAHASSEE CT	12
DEER HAVEN CT	13	MERRIMAC DR	14	TALON DR	23
DESIGN DR	23, 24	MICHAEL CT	14	TECHNICAL DR	24
DIAMOND CT	14	MIDNIGHT CT	15	TERRACE DR	9
DISCOVERY DR (pvt)	25	MIDNIGHT WAY	15	THORNTON DR	3
DONNA DR	10	MILLY ST	2	THRUSH DR	23
DOVER CT	10	MISTY SPRING CT	9	TIMOTHY LA	3
		MOLLY MARIE CT	21	TOPAZ CT	14
ELLEN LA	14	MOON DUST CT	13	TOWER VIEW DR	24
ELPASO DR	12	MOONLIGHT DR	15	TRILLIUM CT	9
EMERALD CT	14	MOON SHADOW DR	13	TUCKAWAY CT	14
EMERALD LA	14	MORNING GLORY LA	10	TWO MILE RD	36
ENDEAVOR DR (pvt)	26	MUNICIPAL DR	2,3,10,11,14, 15,22, 23,26, 27,34,35		
ENGLEWOOD DR	3			VANDER MAAZEN DR	23
ENTERPRISE DR (pvt)	25	NATURE TR DR	34	VANESSA LA	3
EVENING STAR DR	13	NEUBERT RD	13	VAST DOMAIN DR	7
EVERGLADE RD	10, 11, 12	NORTH RD	4,5,8,9,16,17, 20,21,28,29	VELMA LA	16
		NORTH SPRING DR	9	VIOLET CT	9
FAIRLANE DR	14	NORTHMONT DR	3	VISTA CT	2
FAIRWINDS DR	14			W SPENCER RD	26,27, 28, 33, 34, 35
FAITH CT (pvt)	23	OAKWOOD AVE	33	WALLY WAY	24
FALLON LN	23	OLDE QUARRY LN	20	WATERLEFE DR	11, 14
FAMILY CIR	23	ORCHID WAY	10	WEATHERHILL CT	2
FAWN RIDGE CT	14			WESTHAVEN CT	16
FAWN RIDGE DR	14	PARKVIEW CT	10	WESTHAVEN DR	15, 16
FLAGSTONE CT	23	PARKVIEW DR	10, 11, 12, 13	WEST LAKE CT	21
FOREST GLEN CT	15	PASTURE PKWY (pvt)	22	WEST MEADOWS LA	21
FOREST GLEN DR	15	PATHFINDER DR (pvt)	35, 36	WESTGREEN CT	14
FORSYTH PKWY	23	PEACEFUL CT	20	WESTGREEN DR	14
FOX HOLLOW LA	10	PEBBLE RIDGE RD	23	WIECKERT CT	15
FOX SPRINGS DR	21	PILGRIM ST	30	WILDWOOD DR	14
FOXWOOD DR	33	PINE VIEW CT	36	WINDS END LA	16
		PLYMOUTH ST	36	WINDWARD DR	14
GEMINI LN	15	PONDEROSA DR	10	WINDY WAY	33
GEMSTONE CT	23	PORTSIDE CT	11	WINDYHILL RD	14, 23
GENE CT	21			WINNEGAMIE DR	31,32,33,34,35, 36
GLEN ROSE LA	3			WISCONSIN AVE	19 - 30
GLEN VALLEY DR	3			WOODLAND DR	14
GLENFORD WAY	3				

This map provides data containing geographic information about the Town of Greenville. The data was obtained from multiple sources and agencies. The Town of Greenville provides this information with the understanding that it is not guaranteed to be current, correct or complete and assumes no responsibility for the accuracy of this map or its use or misuse. The map is intended for use as a general reference only. Source: Outagamie County, 2010

Revised November 24, 2009  
Revised March 10, 2010  
Revised April 10, 2013  
Revised July 18, 2017  
Revised December 4, 2017  
Revised March 5, 2019

Prepared March 21, 2019 By:  
Town of Greenville - GIS Department  
W6860 Parkway Dr.  
P.O. Box 60  
Greenville, WI 54942  
(920)757-7276 Phone  
(920)757-6342 Fax  
Website: www.townofgreenville.com  
Email: gis@townofgreenville.com







*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Chairperson and Board Members  
**From:** Michael J. D. Brown, Community & Economic Development Director  
**Date:** April 15, 2019  
**RE:** Jennerjohn Field of Dreams Development Agreements - AMENDMENTS

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**ACTION TYPE:** This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:** DJW Investments, LLC, applicant, has requested an amendment to the development agreements that were approved by Resolutions 09-19 Phase 1 and 10-19 Phase 2 for the Jennerjohn Field of Dreams subdivision due to revised cost estimates which has modified the letter of credit amount, but more importantly, per the applicant's request at the February 25, 2019 Town Board meeting, an additional \$3,965 of engineering fees be paid for by the Town. This fee is from cost estimates from the original design of the stormwater facility in 2016. The Town's costs for engineering fees would increase from \$10,391.00 to \$14,356.00.

Per the Town Board's request, all development agreements have been signed by the developers and the Letter of Credits have been submitted. The developer has closed on the property and has started construction of the public improvements.

**STAFF RECOMMENDATION:** Staff recommends approval of the agreements.

###

**Attachments:**

1. Resolution 27-19
2. Resolution 28-19



## Resolution #27-19

### RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING AN AMENDED DEVELOPMENT AGREEMENT FOR JENNERJOHN FIELD OF DREAMS PHASE 1 LOCATED AT PARCEL # 110084131 & 110084200

**WHEREAS**, the Owner/Subdivider has now submitted a Final Plat for approval which require that all public improvements be completed and accepted by the Town, at the sole expense of the Owner/Subdivider, before and as a condition of Final Plat approval or, in the alternative, at the request of the Owner/Subdivider, and in the sole discretion of the Town, the Owner/Subdivider enter into an agreement with the Town to complete all required public improvements within a reasonable time and to provide the Town with a financial guarantee to ensure such public improvements are timely completed at the Owner/Subdivider's sole expense as a condition of Final Plat approval; and

**WHEREAS**, the Town of Greenville Town Board and DJW Investments have agreed to enter into an amended development agreement for Jennerjohn Field of Dreams Phase 1 which shall repeal and replace the development agreement approved by Resolution 09-19, attached as Exhibit A, in accordance with Town ordinances;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby approves the attached development agreement for Jennerjohn Field of Dreams Phase 1 as shown as Exhibit A.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the Town Chair is authorized to sign the agreement only after the Owner/Subdivider has signed the agreement and the development agreements that were approved by Resolutions 28-19 and 29-19 have been signed by the Owner/Subdivider of the respective development agreements.

This resolution was adopted by the Town of Greenville Town Board on the 22<sup>nd</sup> day of April, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #27-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:



Document No.

**TOWN OF GREENVILLE  
DEVELOPMENT AGREEMENT**

**THIS DEVELOPMENT AGREEMENT**, made by and between the Town of Greenville, Outagamie County, Wisconsin, a body politic and municipality("Town") and DJW Investments, LLC ("Owner/Subdivider"):

**WHEREAS**, the Owner/Subdivider has proposed to develop property located in the Town of Greenville, Outagamie County, Wisconsin, described in Exhibit 1 attached hereto; and

**WHEREAS**, the Owner/Subdivider has submitted a Preliminary Plat entitled Jennerjohn Field of Dreams requiring public improvements that was approved by the Town on July 11, 2016; and

**WHEREAS**, the Owner/Subdivider has submitted engineering reports, construction plans and specifications for all required public improvements pursuant to Chapter 270, Code of the Town of Greenville that were approved by the Town on November 26, 2018 by Resolution 52-18, and

*Return to:*

**Richard J. Carlson  
331 E Washington St  
Appleton, WI 54911**

Tax Parcel No.

**WHEREAS**, the Owner/Subdivider has now submitted a Final Plat for approval which require that all public improvements be completed and accepted by the Town, at the sole expense of the Owner/Subdivider, before and as a condition of Final Plat approval or, in the alternative, at the request of the Owner/Subdivider, and in the sole discretion of the Town, the Owner/Subdivider enter into an agreement with the Town to complete all required public improvements within a reasonable time and to provide the Town with a financial guarantee to ensure such public improvements are timely completed at the Owner/Subdivider's sole expense as a condition of Final Plat approval; and

**WHEREAS**, the Owner/Subdivider has provided the Town with the estimated costs of all required public improvements as shown in Exhibit 2 attached and has agreed to the form and terms of a financial guarantee.

**NOW THEREFORE, IN CONSIDERATION OF FINAL PLAT APPROVAL, IT IS AGREED AS FOLLOWS:**

1. The Owner/Subdivider shall construct and complete all required public improvements at its sole expense and be accepted by the Town by resolution within two years of the date of the original approval of this agreement, which was approved by Resolution 01-19 on January 14, 2019.
2. The Owner/Subdivider shall construct all required public improvements in compliance with all Town requirements and in accordance with all approved reports, plans and specifications on



file with the Town which are hereby deemed to be incorporated into this Agreement and part of this Agreement.

3. The Owner/Subdivider shall provide a financial guarantee in the form of an irrevocable letter of credit or escrow account in the amount of 120 percent of the estimated costs for Phase 1 as set forth in Exhibit 3 and Exhibit 4 for a term of two years in the amount of \$991,773.31 for the benefit of the Town and in the name of the Town. The letter of credit/escrow account shall be irrevocable and require only that the Town present the letter of credit or escrow account agreement with a sight draft and written notice signed by the Town Chair and attested by the Town Clerk to draw funds. The form of the letter of credit or escrow account and the issuer or holder shall be approved by the Town. The letter of credit shall be submitted within 5 business days of approval of this agreement.
4. No financial guarantee shall be allowed to expire prior to substantial completion of all required public improvements. The Owner/Subdivider shall provide written notice to the Town at least 45 days prior to the expiration of the financial guarantee if substantial completion can not be achieved prior to expiration. The Town may require renewal or extension of the financial guarantee.
5. The Owner/Subdivider acknowledges that it has requested a financial guarantee as a discretionary alternative to a Town requirement of completing all required public improvements as a condition of Final Plat approval and waives any right that it may have to a different form or different terms of a financial guarantee.
6. The Owner/Subdivider acknowledges that the actual cost of constructing required public improvements may exceed estimated costs for any particular public improvement or all public improvements in the aggregate and acknowledges its obligation to pay all actual costs.
7. Notwithstanding paragraphs 1 through 6 above, the Owner/Subdivider shall deposit 120 percent of the estimated cost of final pavement for all streets in a separate designated escrow account in the amount of \$71,000.00 in the name of the Town for subsequent final pavement to be installed by the Town with the account proceeds, upon the sale of 50 percent of the lots, five years from the date of the Final Plat approval or by order of the Town, whichever comes first.
8. The Owner/Subdivider shall install all public improvements except for the final layer of asphalt prior to acceptance of the public improvements. The Town Board shall accept all public improvements by resolution at the recommendation of the Public Works Director.
9. Building permits may be issued once all of the following have been completed:
  - a. The final plat has been recorded.
  - b. Public improvements are substantially completed and accepted by the Town Board by resolution.
  - c. The escrow required in paragraph 7 has been submitted.
10. Regional Pond Allocation Cost:



- a. The Town agrees to pay the Owner/Subdivider a not to exceed amount of \$154,150.00 towards the actual cost to construct the regional pond and associated infrastructure specific to the pond; this is approximately 49.5% of the Construction Subtotal. Exhibit 5 indicates the proposed drainage basins map; the Town's cost share is for the South and East portions on the map.
  - b. The Town agrees to pay the Owner/Subdivider a not to exceed amount of \$62,711.00; 100% of the Construction Subtotal as shown on page 2 of Exhibit 2 Note 3: Town of Greenville Storm Water Pond Direct Cost Table towards the actual cost to construct associated infrastructure outside of the areas as shown on Exhibit 3 as these areas would not be required of the Owner/Subdivider if it were not developed as a regional pond.
  - c. The Town agrees to pay the Owner/Subdivider Construction Engineering Fees (CEF) of a not to exceed amount of \$14,356.00. The Town shall reimburse the Owner/Subdivider within 30 days of receiving the letter of credit.
  - d. The Owner/Subdivider may submit for and the Town may agree to pay for unforeseen construction costs for costs identified in paragraph 10a&b only through a formal change order request at a cost share of 49.5% of the total change order request. The Owner/Subdivider shall submit a change order request in writing and provide documentation to substantiate the request. The Town Public Works Director is authorized to approve change order requests that are equal to or less than \$4,999.99; the Town shall provide a written response of approval or disapproval within 3 business days. Change order requests equal to or greater than \$5,000 shall be approved by the Town Board; change order requests shall be submitted at least 10 business days prior to the next regularly scheduled Town Board meeting in order for the request to be presented for consideration. The cost thresholds are consistent with the Town's Purchasing Policy.
  - e. Upon acceptance of the pond and associated infrastructure by the Town Board, the Owner/Subdivider shall submit an itemized invoice for the work performed. Town staff shall review and provide a recommendation to the Town Board within 15 business days of receipt of the itemized invoice(s). The Town Board shall take action on the request at its next regularly scheduled meeting after the 15 day review period. The Town shall reimburse the Owner/Subdivider within 10 business days of the reimbursement request approval.
11. The Owner/Subdivider shall pay in full all Town review fees in connection with or relating to the final plat, reports, plans and specifications as a condition of final plat approval.
  12. The Owner/Subdivider shall timely pay all Town inspection fees and expenses in connection with and relating to the construction of required public improvements.
  13. The Owner/Subdivider shall comply with all regulatory requirements of the Code of the Town of Greenville and all applicable regulatory requirements of the State of Wisconsin and Outagamie County.
  14. The Owner/Subdivider shall provide the Town with record drawings of sanitary sewer, water main and storm sewer improvements showing the location of all appurtenances and features of



the systems.

15. The Owner/Subdivider shall guarantee all public improvements against defects due to faulty materials or workmanship which appear within a period of 14 months after substantial completion and accepted by the Town by Resolution. The Owner/Subdivider shall pay the full cost of necessary replacement or repair of defects and provide the Town with financial security to ensure timely replacement or repair in an amount of 10 percent of the estimated total costs of all completed improvements.
16. The Owner/Subdivider shall, to the maximum extent practicable, preserve existing landscape features such as trees, grassed areas and the like located outside of actual construction zones needed for public improvements.
17. The Owner/Subdivider shall timely remove and properly dispose of brush and rubbish piles and timely remedy washouts and sedimentation accumulations arising from construction activities.
18. The Owner/Subdivider acknowledges and agrees that nothing in this agreement shall be deemed a waiver or limitation of any Town immunity, power or authority conferred by law including but not limited to special assessments and special charges.
19. The Owner/Subdivider acknowledges and agrees that nothing in this agreement waives any other requirement, obligation or fee of any Town ordinance or resolution.
20. This Agreement shall be interpreted consistent with the rules and requirements of Chapter 270, Code of the Town of Greenville.
21. This Agreement shall be binding on the Owner/Subdivider, its successors or assigns and shall constitute a covenant running with the land. This Agreement shall also constitute restrictions for public benefit pursuant to Section 236.293 Wis. Stats.
22. The Town may deny issuance of a building permit until compliance with the provisions of this Agreement and Chapter 270, Code of the Town of Greenville are met.
23. This Agreement may only be modified or amended in writing by the parties.



**SUBDIVIDER**

**TOWN OF GREENVILLE**

\_\_\_\_\_  
DJW Investments, LLC  
David Winkel, Sole Member

\_\_\_\_\_  
Jack Anderson, Town Chair

Personally came before me this \_\_\_\_  
day of \_\_\_\_\_, 2\_\_\_\_, the above

**ATTEST:**

\_\_\_\_\_  
to me known to be the person(s) who  
executed the foregoing instrument and  
acknowledged the same.

\_\_\_\_\_  
Wendy Helgeson, Town Clerk

Personally came before me this \_\_\_\_  
day of \_\_\_\_\_, 2\_\_\_\_, the above

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

\_\_\_\_\_  
to me known to be the person(s) who  
executed the foregoing instrument and  
acknowledged the same

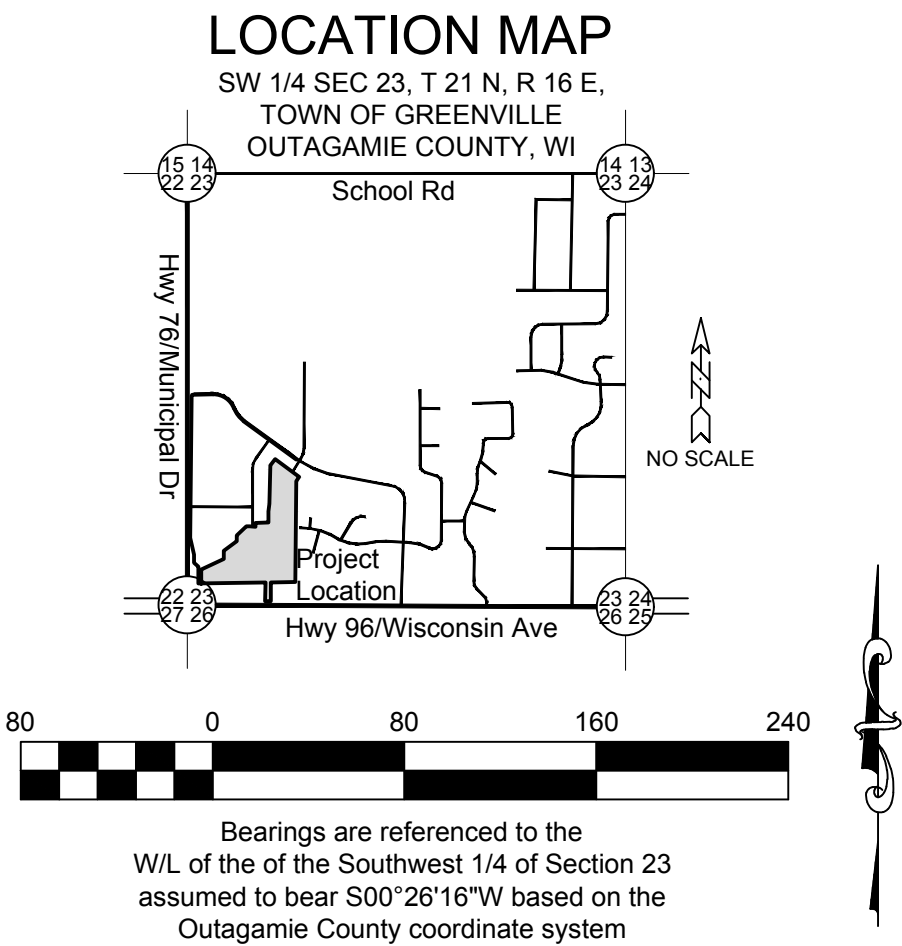
\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

Drafted by:  
Richard J. Carlson  
331 E. Washington St.  
Appleton WI 54911



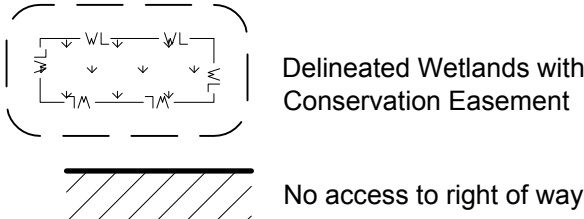
# Jennerjohn Field of Dreams 2

Part of the the Southwest 1/4 of the Southwest 1/4 and part of Lot 4, CSM 4036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin.



## LEGEND

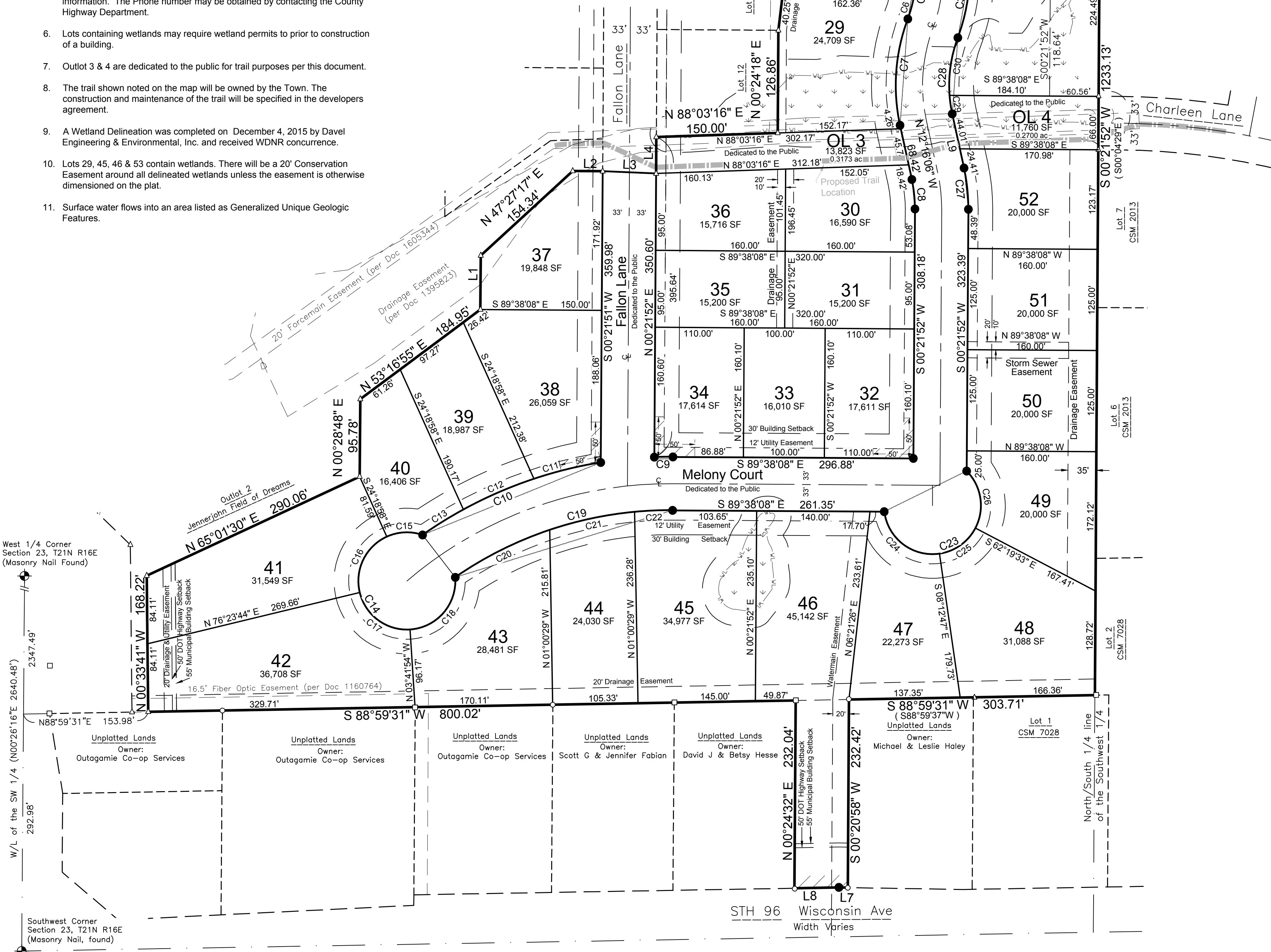
- △ 1/4" Rebar Found
- 3/4" Rebar Found
- 1" Iron Pipe Found
- 1/4" x 18" Steel Rebar @ 4.30lbs/LF SET
- All other corners
- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- SF Lot areas in square feet
- ( ) Recorded As



LINE TABLE		
Line	Bearing	Length
L1	N 00°21'52" E	66.83'
L2	S 89°38'08" E	36.96'
L3	S 87°34'16" E	66.04'
L4	N 00°21'52" E	45.04'
L5	N 06°43'28" E	90.56'
L6	S 36°07'28" W	38.00'
L7	N 89°04'56" W	10.97'
L8	S 89°00'28" W	55.05'
L9	N 12°16'06" W	68.42'

## Notes

- All linear measurements have been made to the nearest one hundredth of a foot.
- No Access area extends 50' each way of the block corner unless otherwise noted on the plat.
- 
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.
- No Improvements or structures are allowed between the right of way line and the highway setback line. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The Phone number may be obtained by contacting the County Highway Department.
- Lots containing wetlands may require wetland permits to prior to construction of a building.
- Outlot 3 & 4 are dedicated to the public for trail purposes per this document.
- The trail shown noted on the map will be owned by the Town. The construction and maintenance of the trail will be specified in the developers agreement.
- A Wetland Delineation was completed on December 4, 2015 by Davel Engineering & Environmental, Inc. and received WDNR concurrence.
- Lots 29, 45, 46 & 53 contain wetlands. There will be a 20' Conservation Easement around all delineated wetlands unless the easement is otherwise dimensioned on the plat.
- Surface water flows into an area listed as Generalized Unique Geologic Features.



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

James R. Sehloff, PLS-2692  
jim@davel.pro

Date

There are no objections to this plat with respect to  
Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2),  
Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20

Department of Administration



File: 4350Final2.dwg  
Date: 11/14/2018  
Drafted By: jim  
Sheet: 1 of 2  
Revision Date: Nov 14, 2018



# Jennerjohn Field of Dreams 2

Part of the the Southwest 1/4 of the Southwest 1/4 and part of Lot 4, CSM 4036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin.

## Surveyor's Certificate

I, James R. Sehloff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Greenville and Outagamie County, and under the direction of DJW Investments, LLC, owners of said land, I have surveyed divided and mapped Jennerjohn Field of Dreams; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is part of the the Southwest 1/4 of the Southwest 1/4 and part of Lot 4, CSM 4036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the Northeast 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin containing 943,392 Sq Ft (21.6573 Ac) of land described as follows:

Commencing at the Southwest 1/4 corner of Section 23; thence along the West line of said Section 23, N00°26'16"E, 292.98 feet; thence S88°59'31"E, 153.89 feet to the Southeast corner of Outlot 2 of Jennerjohn Field of Dreams said point also being the point of beginning; thence, along said Outlot 2, N00°33'41"W, 168.22 feet; thence, continuing along said Outlot 2, N65°01'30"E 290.06 feet; thence, continuing along said Outlot 2, N00°28'48"E 95.78 feet; thence, continuing along said Outlot 2, N53°16'55"E 184.95 feet; thence, continuing along said Outlot 2, N00°21'52"E 66.83 feet; thence, continuing along said Outlot 2, N47°27'17"E 154.34 feet; thence, continuing along said Outlot 2, S89°38'08"E 36.96 feet to the West right of way line of Fallon Lane; thence, S87°34'16"E 66.04 feet to the East right of way line of said Fallon Lane; thence, along said East right of way line, N00°21'52"E 45.04 feet to the South line of Lot 12 of said Jennerjohn Field of Dreams; thence, along said South line N88°03'16"E 150.00 feet to the Southeast corner of said Lot 12; thence along the East line of said Lot 12 N00°24'18"E 126.86 feet to the Northeast corner of said lot 12; thence, along the East line of Lot 13 of said Jennerjohn Field of Dreams, N06°43'28"E 90.56 feet to the Northeast corner of said Lot 13; thence, along the East line of Lots 14-18 of said Jennerjohn Field of Dreams, N00°21'52"E 431.45 feet to the Northeast corner of said Lot 18; thence, along the East line of Lots 19-21 of Jennerjohn Field of Dreams, N36°07'28"E 239.03 feet to the Northeast corner of said Lot 21; thence, along the South line of Lot 12 Towering Pines West S53°52'32"E 160.00 feet to the West right of way line of Alexandra Way; thence, along said West right of way line, S36°07'28"W 38.00 feet to the Southwest corner of said Alexandra Way; thence along the South line of said Alexandra Way and the South line of Lot 54 Towering Pines 2, S53°52'32"E 216.00 feet to Southeast Corner of said Lot 54; thence, along the East line of Lot 53 of said Towering Pines 2, S36°07'28"W 62.62 feet to a point on the North/South 1/4 line of said Southwest 1/4; thence, along said 1/4 Line, S00°21'52"W 1233.13 feet; thence S88°59'31"W 303.71 feet; thence S00°20'58"W 232.42 feet to the Northerly right of way line of STH 96/Wisconsin Ave; thence, along said North right of way line, N89°04'56"W 10.97 feet; thence, continuing along said North right of way line, S89°00'28"W 55.05 feet; thence N00°24'32"E 232.04 feet; thence, S88°59'31"W 800.02 feet to the point of beginning, subject to all easements and restrictions of record.

Given under my hand this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

James R. Sehloff, Wisconsin Professional Land Surveyor No. S-2692

## Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

DJW Investments, LLC, Grantor, to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee, SBC, Grantee, and Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots, also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

DJW Investments, LLC

David J. Winkel Date  
Managing Member

## Owner's Certificate

DJW Investments, LLC, a partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said partnership caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

DJW Investments, LLC, does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Planning and Zoning Committee  
Town of Greeville  
Department of Administration  
Department of Transportation

IN WITNESS WHEREOF, the said DJW Investments, LLC, has caused these presents to

be signed by its authorized representatives, located at, \_\_\_\_\_, Wisconsin

this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

In the Presence of: DJW Investments, LLC

David J. Winkel Date  
Managing Member

State of Wisconsin )  
 )ss  
\_\_\_\_\_ County )

Personally came before me this \_\_\_\_ day of \_\_\_\_\_, 20 \_\_\_\_.

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

My commission expires: \_\_\_\_\_  
Notary Public, Wisconsin

## Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer's of the Town of Greenville and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Town Treasurer Date

County Treasurer Date

## County Planning Agency Approval Certificate

Resolved, that the plat of Jennerjohn Field of Dreams in the Town of Greenville, Outagamie County, Jennerjohn Family Limited Partnership owners, is hereby approved by Outagamie County.

County Zoning Administrator Date

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20 \_\_\_\_

Department of Administration



## Town of Greenville Approval Certificate

Resolved, that the plat of Jennerjohn Field of Dreams 2 in the Town of Greenville, Outagamie County, DJW Investments, LLC; owners, is hereby approved by the Town Board of the Town of Greenville.

Chairman Date

I hereby certify that the foregoing is a copy of a resolution adopted by the Town Board of the Town of Greenville.

Clerk Date

## Field Tile Statement:

Any agricultural drain tile which is disturbed, cut or broken as part of the development of the plat (CSM) or excavation for home construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed. The cost of repair and/or replacement of the drain tile must be born by the party damaging the drain tile .

## Right to Farm Statement:

The lots created on this map are adjacent to properties that, as of the date of this document, are being used for agricultural purposes. Some individuals believe that the activities associated with the agricultural use constitute a nuisance or conflict with the quiet enjoyment of their property. This statement is intended to provide third parties with notice that agricultural activities may exist on the adjacent properties.

## Grading Statement:

All grading and final grades for the construction of any public or private improvement shall conform to the surface water drainage plan as approved by the Town of Greenville Planning Commission.

## Street Lighting Statement

Lots within this plat shall be subject to assessments on an annual basis for the operation and maintenance of street lights and the purchase of any lot constitutes a waiver of objection and agreement to pay said annual assessments which shall be placed upon the annual tax bill as a special assessment.

## Benchmark Note:

Benchmarks will be established on the tag bolts of the fire hydrants after utility construction has been completed.

## Drainage Easement Statement:

The Town of Greenville shall have an unqualified right to enter upon any drainage easement for inspection and to maintain and repair all drainage ways and drainage improvements. Lots shall be equally assessed for maintenance and repair of all drainage way and drainage improvements.

## Conservancy Assessments Note:

Lots within this plat shall be subject to assessments on an annual basis for operation and maintenance of conservancy and detention pond area and the purchase of any lot constitutes a waiver of objection and agreement to pay said annual assessments which shall be placed upon the annual tax bill as a special assessment

## Drainage Easement Restrictions:

The following uses and structures are prohibited within all drainage easements and outlots in the subdivision plat: filling, grading and excavating except for construction of drainage ways and drainage facilities; the cultivation of crops, fruits or vegetables; the dumping or depositing of ashes, waste, compost or materials of any kind; the storage of vehicles, equipment, materials or personal property of any kind; and constructing, erecting or moving any building or structure, including fences, within the drainage easement.

## Pedestrian Trail Note:

A pedestrian trail will be located in Outlot 3, Outlot 4 and the road right of way. For exact location please refer to the engineering plans.

## Geotechnical Note:

Lot 29 is in an area mapped as "severe" soil rating for construction of homes. Foundations for these homes shall be designed by and construction of the foundations shall be overseen by a licensed engineer.

## Access Restriction Statement:

As owner I hereby restrict all lots and blocks in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with STH 96, as shown on the plat, it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293, Stats., and shall be enforceable by the Wisconsin Department of Transportation.

## Wetland Setback Note:

At the time of applying for a building permit, on lots containing wetland, the wetland setback and the house must be located in the field so that the building inspector can verify that the house is not located within the Wetland setback.

This Final Plat is contained wholly within the property described in the following recorded instruments:

the property owner of record: Recording Information: Parcel Number(s):

DJW Investments LLC Doc No. \_\_\_\_\_ Part of 110-0841-31  
All of 110-842-00

CURVE TABLE							
Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C1	133.00'	S 18°14'40" W	81.67'	83.01'	35°45'37"	S 36°07'28" W	S 00°21'51" W
C2	133.00'	S 29°52'52" W	28.93'	28.99'	12°29'12"	S 36°07'28" W	S 23°38'16" W
C3	133.00'	S 12°00'04" W	53.65'	54.02'	23°16'25"	S 23°38'16" W	S 00°21'51" W
C4	167.00'	N 10°28'25" E	58.62'	58.93'	20°13'06"	N 20°34'58" E	N 00°21'52" E
C5	167.00'	N 05°59'47" E	32.78'	32.83'	11°15'50"	N 11°37'42" E	N 00°21'52" E
C6	167.00'	N 16°06'20" E	26.07'	26.10'	8°57'16"	N 20°34'58" E	N 11°37'42" E
C7	233.00'	N 04°09'26" E	131.77'	133.59'	32°51'03"	N 12°16'06" W	N 20°34'58" E
C8	167.00'	S 05°57'07" E	36.75'	36.82'	12°37'59"	N 12°16'06" W	N 00°21'52" E
C9	533.00'	N 89°07'16" E	23.13'	23.13'	2°29'11"	N 87°52'41" E	S 89°38'08" E
C10	533.00'	S 67°51'20" W	237.68'	239.70'	25°46'00"	S 80°44'20" W	S 54°58'20" W
C11	533.00'	S 76°09'57" W	84.99'	85.08'	9°08'45"	S 80°44'20" W	S 71°35'35" W
C12	533.00'	S 66°28'47" W	95.01'	95.14'	10°13'36"	S 71°35'35" W	S 61°21'58" W
C13	533.00'	S 58°10'09" W	59.45'	59.48'	6°23'38"	S 61°21'58" W	S 54°58'20" W
C14	60.00'	S 37°43'04" E	66.08'	307.01'	293°10'15"	N 71°07'56" W	N 04°18'11" W
C15	60.00'	S 87°16'33" W	44.16'	45.22'	43°11'02"	N 71°07'56" W	S 65°41'02" W
C16	60.00'	S 26°02'23" W	76.56'	83.03'	79°17'18"	S 65°41'02" W	S 13°36'16" E
C17	60.00'	S 53°39'05" E	77.21'	83.87'	80°05'38"	S 13°36'16" E	N 86°18'06" E
C18	60.00'	N 40°59'58" E	85.30'	94.88'	90°36'18"	N 86°18'06" E	N 04°18'11" W
C19	467.00'	N 72°51'31" E	280.95'	285.37'	35°00'42"	N 55°21'10" E	S 89°38'08" E
C20	467.00'	N 63°22'32" E	130.35'	130.78'	16°02'44"	N 55°21'10" E	N 71°23'53" E
C21	467.00'	N 77°59'42" E	107.30'	107.54'	13°11'37"	N 71°23'53" E	N 84°35'30" E
C22	467.00'	N 87°28'41" E	47.03'	47.05'	5°46'22"	N 84°35'30" E	S 89°38'08" E
C23	60.00'	S 63°47'22" W	113.52'	228.11'	217°49'30"	S 45°07'23" E	N 07°17'52" W
C24	60.00'	N 52°45'20" W	85.53'	95.21'	90°54'55"	S 81°47'13" W	N 07°17'52" W
C25	60.00'	S 54°43'50" W	54.58'	56.67'	54°06'46"	S 27°40'27" W	S 81°47'13" W
C26	60.00'	S 08°43'28" E	71.21'	76.23'	72°47'50"	S 45°07'23" E	S 27°40'27" W
C27	233.00'	N 05°57'07" W	51.27'	51.37'	12°37'57"	N 00°21'51" E	N 12°16'06" W
C28	167.00'	N 04°09'26" E	94.44'	95.75'	32°51'03"	N 12°16'06" W	N 20°34'58" E
C29	167.00'	N 08°15'55" W	23.32'	23.33'	8°00'21"	N 12°16'06" W	N 04°15'45" W
C30	167.00'	N 08°09'36" E	71.85'	72.42'	24°50'43"	N 04°15'45" W	N 20°34'58" E
C31	233.00'	N 10°28'25" E	81.79'	82.22'	20°13'06"	N 20°34'58" E	N 00°21'52" E
C32	67.00'	N 18°14'40" E	41.14'	41.82'	35°45'37"	S 00°21'52" W	S 36°07'28" W

File: 4350Final2.dwg  
Date: 11/14/2018  
Drafted By: jim  
Sheet: 2 of 2  
Revision Date: Nov 14, 2018



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro



Exhibit 2

Jennerjohn Field of Dreams  
Utility & Street Construction  
Town of Greenville  
Preliminary Opinion of Probable Cost  
McM No. W0986-9-18-00645.02.01

						Storm Water Pond		Alana Lane	
Item	Description	Quantity	Unit	Unit Cost	Total Cost	Quantity	Cost	Quantity	Cost
Sanitary Sewer:									
1	8-inch sanitary sewer	3,855	L.F.	\$25.00	\$96,375.00			403	\$10,075.00
2	48-inch sanitary sewer manhole	177.0	V.F.	\$220.00	\$38,940.00			15.98	\$3,515.60
3	4-inch SCH40 PVC sanitary sewer lateral	2,430	L.F.	\$20.00	\$48,600.00				
				Subtotal =	\$ 183,915.00		\$ -		\$ 13,590.60
Water main:									
4	8-inch water main	4,700	L.F.	\$26.00	\$122,200.00			685	\$17,810.00
5	6-inch water main	100	L.F.	\$30.00	\$3,000.00			24	\$720.00
6	8-inch resilient wedge gate valve	14	EACH	\$1,500.00	\$21,000.00			2	\$3,000.00
7	6-inch resilient wedge gate valve	11	EACH	\$1,000.00	\$11,000.00			2	\$2,000.00
8	Hydrant	11	EACH	\$3,500.00	\$38,500.00			2	\$7,000.00
9	1 1/4-inch SDR 9 PE water lateral	2580	L.F.	\$15.00	\$38,700.00				
10	1 1/4-inch corporation, curb stop & stop box	54	EACH	\$350.00	\$18,900.00				
				Subtotal =	\$ 253,300.00		\$ -		\$ 30,530.00
Storm Sewer:									
11	29-inch x 45-inch HERCP storm sewer	35	L.F.	\$ 100.00	\$3,500.00	35	\$3,500.00		
12	42-inch storm sewer	292	L.F.	\$ 90.00	\$26,280.00	132	\$11,880.00		
13	36-inch storm sewer	149	L.F.	\$ 75.00	\$11,175.00				
14	24-inch storm sewer	561	L.F.	\$ 45.00	\$25,245.00				
15	21-inch storm sewer	175	L.F.	\$ 45.00	\$7,875.00				
16	18-inch storm sewer	1,436	L.F.	\$ 40.00	\$57,440.00			344	\$13,760.00
17	15-inch storm sewer	591	L.F.	\$ 35.00	\$20,685.00			36	\$1,260.00
18	12-inch storm sewer	438	L.F.	\$ 30.00	\$13,140.00	124	\$3,720.00		
19	10-inch storm sewer	783	L.F.	\$ 28.00	\$21,924.00				
20	96-inch diameter storm sewer manhole	6.4	V.F.	\$ 650.00	\$4,160.00				
21	60-inch diameter storm sewer manhole	16.7	V.F.	\$ 350.00	\$5,845.00				
22	48-inch diameter storm sewer manhole	57.4	V.F.	\$ 250.00	\$14,350.00			14.28	\$3,570.00
23	48-inch diameter storm sewer inlet-manhole	31.7	V.F.	\$ 250.00	\$7,925.00			7.24	\$1,810.00
24	36-inch diameter storm sewer manhole	8.8	V.F.	\$ 225.00	\$1,971.00	4.00	\$900.00		
25	24-inch diameter storm sewer manhole	30.5	V.F.	\$ 200.00	\$6,100.00				
26	Inlet	16	EACH	\$ 1,500.00	\$24,000.00			1	\$1,500.00
27	4-inch SCH 40 PVC storm sewer lateral	2,430	L.F.	\$ 15.00	\$36,450.00				
28	29-inch x 45-inch HERCP flared end section	1	EACH	\$ 1,200.00	\$1,200.00	1	\$1,200.00		
29	42-inch RCP flared end section	6	EACH	\$ 1,000.00	\$6,000.00	4	\$4,000.00		
30	24-inch RCP flared end section	5	EACH	\$ 650.00	\$3,250.00				
31	12-inch RCP flared end section	1	EACH	\$ 550.00	\$550.00	1	\$550.00		
				Subtotal =	\$ 299,065.00		\$ 25,750.00		\$ 21,900.00
Street Construction:									
32	Strip & stockpile topsoil	32,900	S.Y.	\$1.50	\$49,350.00			7,076	\$10,613.33
33	Common excavation (roadway)	8,650	C.Y.	\$6.50	\$56,225.00			1,725	\$11,210.33
34	Type SAS fabric	17,100	S.Y.	\$2.00	\$34,200.00			3,449	\$6,898.67
35	6-inch base aggregate dense 1 1/4-inch	5,710	TONS	\$11.00	\$62,810.00			1,150	\$12,647.56
36	6-inch base aggregate dense 3-inch	4,510	TONS	\$11.00	\$49,610.00				
37	9-inch base aggregate dense 3-inch	1,800	TONS	\$11.00	\$19,800.00			1,725	\$18,971.33
38	30-inch mountable concrete curb & gutter	8,620	L.F.	\$12.00	\$103,440.00			1,592	\$19,104.00
39	1 3/4-inch HMA pavement, 3 LT 58-28S	1,140	TONS	\$60.00	\$68,400.00				
40	2 1/4-inch HMA pavement, 3 LT 58-28S	400	TONS	\$60.00	\$24,000.00			400	\$24,000.00
41	1 3/4-inch HMA pavement, 4 LT 58-28S	1,450	TONS	\$60.00	\$87,000.00			297	\$17,830.40
42	Lawn restoration	17,700	S.Y.	\$5.00	\$88,500.00			3,803	\$19,015.56
43	Common excavation (trail)	778	C.Y.	\$8.00	\$6,224.00				
44	6-inch base aggregate dense (trail)	1,244	TONS	\$15.00	\$18,660.00				
45	2-inch HMA pavement (trail)	380	TONS	\$80.00	\$30,400.00				
46	Lawn restoration (trail)	3,111	S.Y.	\$5.00	\$15,555.00				
47	Drainage easement grading (grading, topsoil, seed, fertilize & mulch)	2,200	L.F.	\$7.00	\$15,400.00				
48	Erosion Control (silt fence, hay bales, ditch checks)	1	L.S.	\$10,000.00	\$10,000.00				
49	Detention pond excavation	20,800	C.Y.	\$6.50	\$135,200.00	20,800	\$135,200.00		
50	Removal of excess detention pond excavated material off-site	10,000	C.Y.	\$5.10	\$51,000.00				
51	Detention pond outlet structure	1	L.S.	\$5,000.00	\$5,000.00	1	\$5,000.00		
52	Detention pond restoration (4.655-acres)	1	L.S.	\$50,000.00	\$50,000.00	1	\$50,000.00		
53	Detention pond bird deterrent grid	1	L.S.	\$70,000.00	\$70,000.00	1	\$70,000.00		
54	Medium Rip-rap	770	C.Y.	\$40.00	\$30,800.00	636	\$25,457.78		
55	STH 76 Intersection improvements	1	L.S.	\$60,500.00	\$60,500.00			1	\$60,500.00
56	Fiber Optic & Utility Relocation at STH 76 & Alana Lane	1	L.S.	\$30,000.00	\$30,000.00			1	\$30,000.00
				Subtotal =	\$1,172,074.00		\$285,657.78		\$230,791.18
Note: 1. Item 55 unit price from Bid Tabulation (Davel Engineering) 2. There is storm sewer along Fallon Ln that is oversized to provide service to Lot 7; the oversizing cost should be allocated to Lot 7. 3. There is storm sewer along outlots 3 & 4 where a portion of the cost should be allocated to the Town of Greenville.						Utility Total =	\$ 736,280.00		\$ 66,020.60
						Street Total =	\$ 1,172,074.00		\$ 230,791.18
						Construction Subtotal =	\$ 1,908,354.00		\$ 296,811.78
						Construction Engineering Fees =	\$ 66,792.39		\$ 10,388.41
						15% Contingency =	\$ 286,253.10		\$ 44,521.77
						Total =	\$ 2,261,399.49		\$ 351,721.96

- Note: 1. Item 55 unit price from Bid Tabulation (Davel Engineering)  
2. There is storm sewer along Fallon Ln that is oversized to provide service to Lot 7; the oversizing cost should be allocated to Lot 7.  
3. There is storm sewer along outlots 3 & 4 where a portion of the cost should be allocated to the Town of Greenville.  
4. Unit cost for Item 50 is assuming disposal within 4 miles of site.



Exhibit 2

Jennerjohn Field of Dreams  
Utility & Street Construction  
Town of Greenville  
Preliminary Opinion of Probable Cost  
McM No. W0986-9-18-00645.02.01

Summary of Storm Water Pond Costs					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
11	29-inch x 45-inch HERCP storm sewer	35	L.F.	\$ 100.00	\$ 3,500.00
12	42-inch storm sewer	132	L.F.	\$ 90.00	\$ 11,880.00
18	12-inch storm sewer	124	L.F.	\$ 30.00	\$ 3,720.00
24	36-inch diameter storm sewer manhole	4.0	V.F.	\$ 225.00	\$ 900.00
28	29-inch x 45-inch HERCP flared end section	1	EACH	\$ 1,200.00	\$ 1,200.00
29	42-inch RCP flared end section	4	EACH	\$ 1,000.00	\$ 4,000.00
31	12-inch RCP flared end section	1	EACH	\$ 550.00	\$ 550.00
49	Detention pond excavation	20,800	C.Y.	\$6.50	\$ 135,200.00
51	Detention pond outlet structure	1	L.S.	\$5,000.00	\$ 5,000.00
52	Detention pond restoration (4.655-acres)	1	L.S.	\$50,000.00	\$ 50,000.00
53	Detention pond bird deterrent grid	1	L.S.	\$70,000.00	\$ 70,000.00
54	Medium Rip-rap	636	C.Y.	\$40.00	\$ 25,457.78
				<b>Construction Subtotal =</b>	<b>\$ 311,407.78</b>
				Construction Engineering Fees =	\$ 10,899.27
				15% Contingency =	\$ 46,711.17
				<b>Total =</b>	<b>\$ 369,018.22</b>

Note 3: Town of Greenville Storm Water Pond Direct Costs					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
14	24-inch storm sewer (R-81.1 to pond)	222	L.F.	\$ 45.00	\$ 9,990.00
24	36-inch diameter storm sewer manhole (R-81.1)	4.8	V.F.	\$ 225.00	\$ 1,071.00
30	24-inch RCP flared end section	1	EACH	\$ 650.00	\$ 650.00
50	Removal of excess detention pond excavated material off-site	10,000	C.Y.	\$5.10	\$ 51,000.00
				<b>Construction Subtotal =</b>	<b>\$ 62,711.00</b>
				Construction Engineering Fees =	\$ 2,194.89
				15% Contingency =	\$ 9,406.65
				<b>Total =</b>	<b>\$ 74,312.54</b>

Note 2: Storm Sewer Oversizing Costs to service Lots 7 & 8					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
	Storm Sewer Oversizing 18-inch to 15-inch (R-52.2 to R-60.1)	42	L.F.	\$ 5.00	\$ 210.00
	Storm Sewer Oversizing 24-inch to 18-inch (R-60.1 to R-51.1)	164	L.F.	\$ 5.00	\$ 820.00
	Storm Sewer Oversizing 36-inch to 18-inch (R-51.1 to R-50.3)	149	L.F.	\$ 35.00	\$ 5,215.00
	Storm Sewer Manhole Oversizing 60-inch to 48-inch (R-51.1)	7.89	V.F.	\$ 100.00	\$ 789.00
				<b>Construction Subtotal =</b>	<b>\$ 7,034.00</b>
				15% Contingency =	\$ 1,055.10
				<b>Total =</b>	<b>\$ 8,089.10</b>

Jennerjohn Field of Dreams Summary of Costs					
				<b>Total Construction Cost =</b>	<b>\$ 2,261,399.49</b>
				Storm Water Pond Credit (Drainage Area Based) =	\$ 216,882.89
				Alana Lane Credit =	\$ 351,721.96
				Town of Greenville Direct Storm Sewer Costs =	\$ 74,312.54
				Storm Sewer Oversizing Costs to service Lots 7 & 8 =	\$ 8,089.10
				<b>Total Field of Dreams Cost =</b>	<b>\$ 1,610,393.00</b>



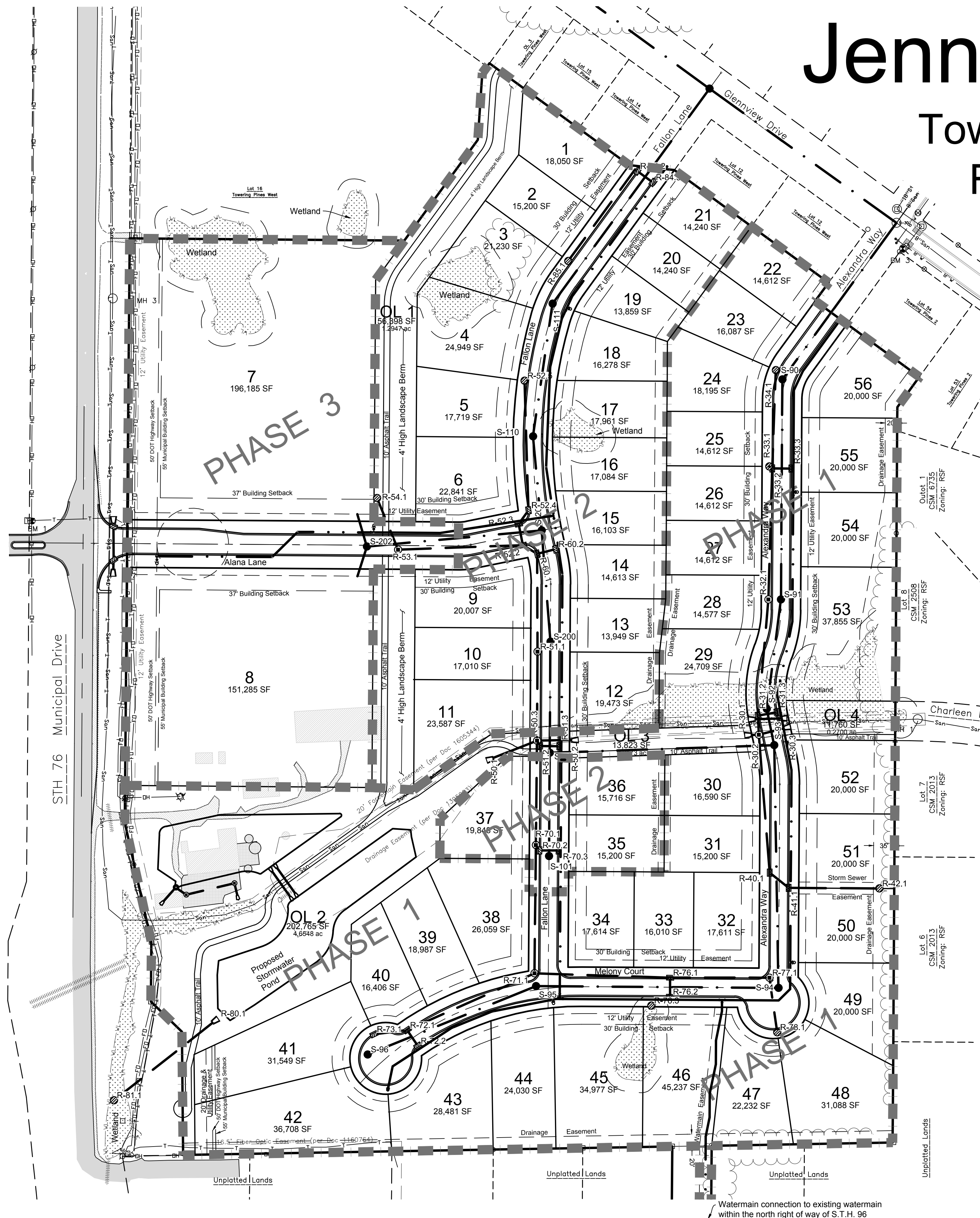
Exhibit 3: Phasing Costs

Item	Description	Cost
1	Construction Cost Subtotal	\$ 1,908,354.00
4	Less Town's pond costs (\$271,407 x .495) <i>rounded</i>	\$ (154,150.00)
5	Less Town's street storm sewer construction subtotal costs	\$ (62,711.00)
6	Total Field of Dreams construction costs	\$ 1,691,493.00
8	Less Alana Lane (Phase III) Construction Subtotal	\$ (296,811.78)
9	54 Lot/street/utility costs	\$ 1,394,681.22
10	Per lot cost (\$1,394,681.22/54 lots)	\$ 25,827.43
11	Phase 1: 32 lots x \$25,827.43	\$ 826,477.76
12	Phase 1 LOC 120% of \$826,477.76	\$ 991,773.31
13	Phase 2: 22 lots x \$25,827.43	\$ 568,203.46
14	Phase 2 LOC 120% of \$568,203.46	\$ 681,844.15
15	Phase 3: Alana Lane	\$ 296,811.78
16	Phase 3 LOC 120% of \$296,811.78	\$ 356,174.14
Total	Total Cost of Phases I, II & III (Equals Line 6)	\$ 1,691,493.00



# Jennerjohn Field of Dreams

Town of Greenville, Outagamie County, WI  
For: Jennerjohn Field of Dreams LLC



## LEGEND

— CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
— FO	Underground Fiber Optic	○	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
— OH	Overhead Electric Lines	○	Storm Manhole	□	Railroad Signal
— San	Sanitary Sewer	○	Catch Basin / Yard Drain	□	Sign
— Sto	Storm Sewer	○	Water MH / Well	□	Tower / Silo
— E	Underground Electric	○	Hydrant	□	Post / Guard Post
— G	Underground Gas Line	○	Utility Valve	□	Satellite Dish
— T	Underground Telephone	○	Utility Meter	□	Large Rock
— W	Water Main	○	Utility Pole	□	Flag Pole
— F-Steel	Fence - Steel	○	Light Pole / Signal	□	Deciduous Tree
— F-Wood	Fence - Wood	○	Guy Wire / Pump	□	Coniferous Tree
— F-Barbed	Fence - Barbed Wire	○	Electric Pedestal	□	Bush / Hedge
— WL	Wetlands	○	Air Transformer	□	Stump
— Treeline	Treeline	○	Telephone Pedestal	□	Soil Boring
— Railroad Tracks	Railroad Tracks	○	Telephone Manhole	□	Benchmark
— Culvert	Culvert	○		□	Asphalt Pavement
— Index Contour	Index Contour	○		□	Concrete Pavement
— Intermediate Contour	Intermediate Contour	○		□	
— Proposed Storm Sewer	Proposed Storm Sewer	○		□	
— Proposed Sanitary Sewer	Proposed Sanitary Sewer	○		□	
— Proposed Water Main	Proposed Water Main	○		□	
— Proposed Contour	Proposed Contour	○		□	
— Proposed Swale	Proposed Swale	○		□	
— Proposed Culvert	Proposed Culvert	○		□	
		○	Ex Spot Elevation	○	Proposed Reducer
		○	Proposed Sanitary Manhole	○	Proposed Plug
		○	Proposed Storm Manhole	○	Proposed Water MH
		○	Proposed Curb Inlet	○	Proposed Tee
		○	Prop. Catch Basin / Yard Drain	○	Proposed Cross
		○	Proposed Endwall	○	Proposed 90° Bend
		○	Proposed Hydrant	○	Proposed 45° Bend
		○	Proposed Valve	○	Proposed 22.5° Bend
		○	Proposed Curb Stop	○	

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Greenville.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Town of Greenville.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

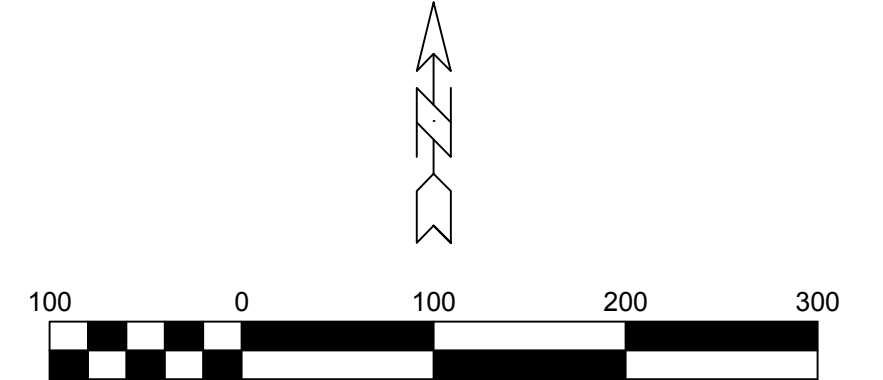
Any agricultural drain tile encountered during construction of the subdivision shall be reconnected and remain operational if serving offsite property.

Any construction within the 20' sanitary force main easement requires contacting Dan Klansky (Town of Greenville) 920-841-8550

Field tile to be reconnected in a hydraulically efficient fashion if broken during construction. Any agricultural drain tile which is disturbed, cut or broken as part of the development of the property or excavation for construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed.

Construction phase 1 shall include storm sewer installation from Melony Court, north within Fallon Lane to the pond storm sewer outfall R-50.1. Construction phase 2 shall include a temporary trail connection across Alana Lane with sewer and water construction to include S-202, R-54.1, adjacent hydrant.

Well located on Lot 8 shall be properly abandoned.

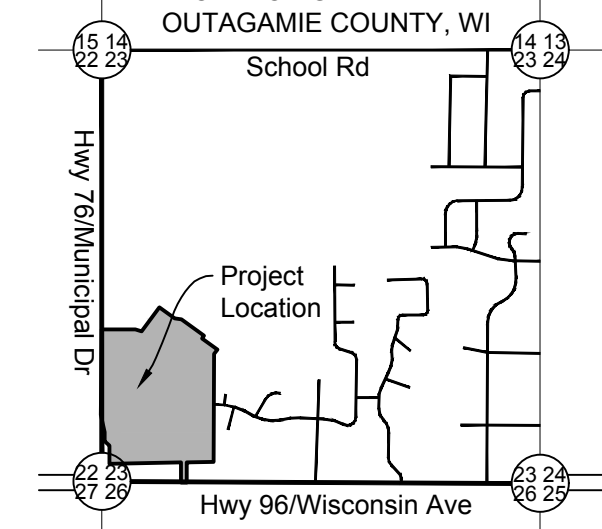


## SHEET INDEX:

Sheet	Page
Sewer & Water Cover Sheet	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Landscape Plan	1.4
Construction Details	2.1
Sewer & Water Details	2.2
Erosion & Sediment Control Details	2.3
S.T.H. 76 Intersection Detail	2.4
Pavement Markings & Traffic Control Plan	2.5
Stormwater Pond Details	2.6
Plan & Profile: Alana Lane - Sta 0+00 to 8+94.61	3.1
Plan & Profile: Fallon Lane - Sta 0+00 to 10+00	3.2
Plan & Profile: Fallon Lane - Sta 10+00 to 16+50	3.3
Plan & Profile: Melony Court / Alexandria Way - Sta 12+50 to 20+00	3.4
Plan & Profile: Alexandria Way - Sta 20+00 to 27+00	3.5
Plan & Profile: Alexandria Way - Sta 27+00 to 31+70.41	3.6
Plan & Profile: Hwy 96 Watermain Loop - Sta 0+00 to 5+00	3.7
Plan & Profile: Outlot 3 Sanitary - Sta 0+00 to 5+00	3.8
Cross Sections: S.T.H. 76	4.1
Cross Sections: S.T.H. 76	4.2
Cross Sections: Alana Lane	4.3

## LOCATION MAP

SW 1/4 SEC 23, T 21 N, R 16 E,  
TOWN OF GREENVILLE  
OUTAGAMIE COUNTY, WI



## SEWER & WATER COVER SHEET



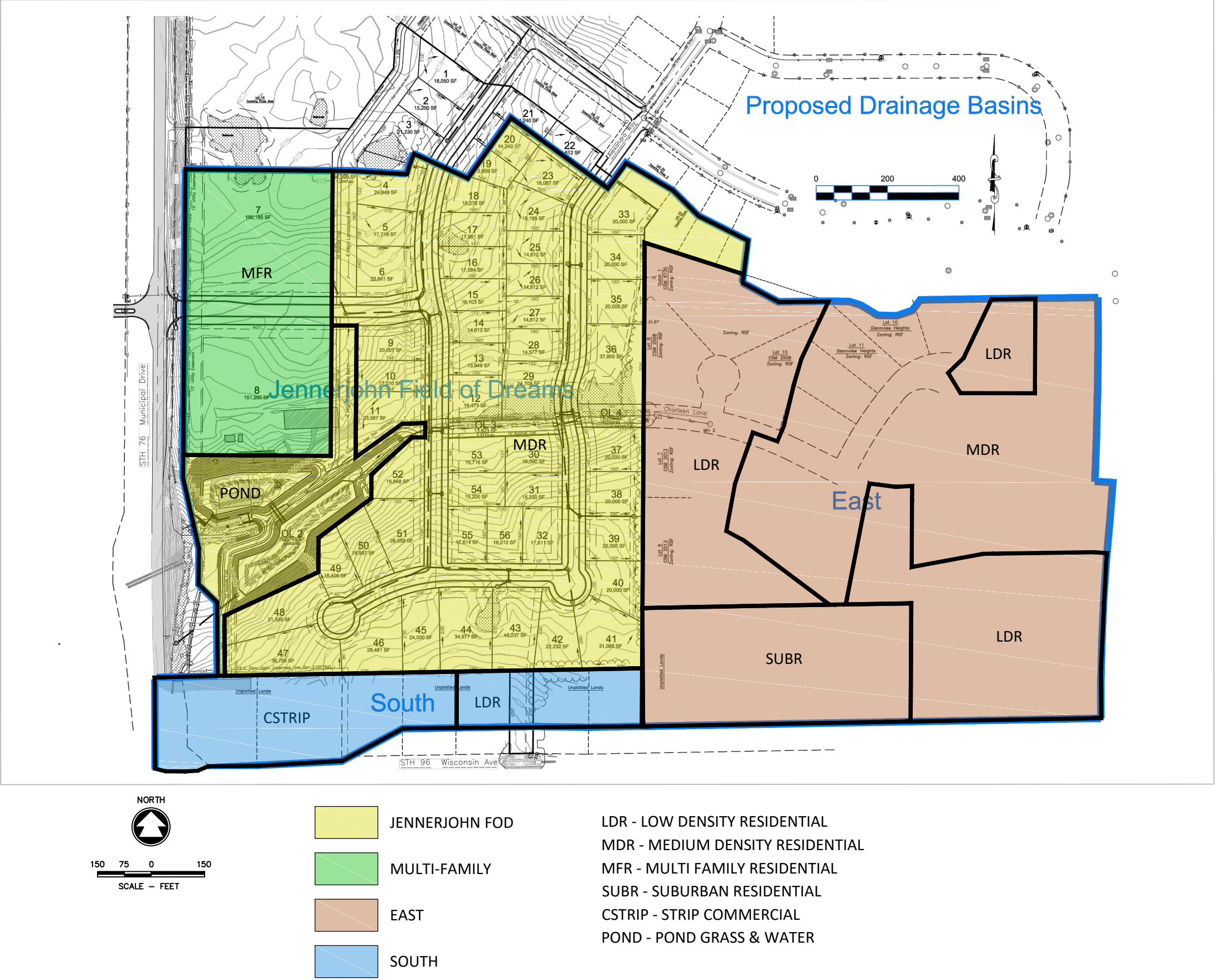
**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS

1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

Project Number: 4350  
November 14, 2018

Page  
1.1







## Resolution #28-19

### RESOLUTION OF THE TOWN BOARD OF THE TOWN OF GREENVILLE APPROVING AN AMENDED DEVELOPMENT AGREEMENT FOR JENNERJOHN FIELD OF DREAMS PHASE 2 LOCATED AT PARCEL # 110084131 & 110084200

**WHEREAS**, the Owner/Subdivider has now submitted a Final Plat for approval which require that all public improvements be completed and accepted by the Town, at the sole expense of the Owner/Subdivider, before and as a condition of Final Plat approval or, in the alternative, at the request of the Owner/Subdivider, and in the sole discretion of the Town, the Owner/Subdivider enter into an agreement with the Town to complete all required public improvements within a reasonable time and to provide the Town with a financial guarantee to ensure such public improvements are timely completed at the Owner/Subdivider's sole expense as a condition of Final Plat approval; and

**WHEREAS**, the Town of Greenville Town Board and DJW Investments have agreed to enter into an amended development agreement for Jennerjohn Field of Dreams Phase 2 which shall repeal and replace the development agreement approved by Resolution 10-19, attached as Exhibit A, in accordance with Town ordinances;

**NOW, THEREFORE, BE IT RESOLVED** that the Town Board of the Town of Greenville hereby approves the attached development agreement for Jennerjohn Field of Dreams Phase 2 as shown as Exhibit A.

**NOW, THEREFORE, BE IT FURTHER RESOLVED** the Town Chair is authorized to sign the agreement only after the Owner/Subdivider has signed the agreement and the development agreements that were approved by Resolutions 27-19 and 29-19 have been signed by the Owner/Subdivider of the respective development agreements.

This resolution was adopted by the Town of Greenville Town Board on the 22<sup>nd</sup> day of April, 2019:

TOWN BOARD OF THE  
TOWN OF GREENVILLE, WISCONSIN

By: \_\_\_\_\_  
Jack Anderson, Town Chair

ATTEST:

\_\_\_\_\_  
Wendy Helgeson, Clerk

Motion to Approve Resolution No. #28-19 made by:

Votes:

Title	Name	Aye	Nay	Other
Supervisor	Culbertson			
Supervisor	Peters			
Supervisor	Strobel			
Supervisor	Woods			
Chairperson	Anderson			

Posted:



Document No.

**TOWN OF GREENVILLE  
DEVELOPMENT AGREEMENT**

**THIS DEVELOPMENT AGREEMENT**, made by and between the Town of Greenville, Outagamie County, Wisconsin, a body politic and municipality("Town") and DJW Investments, LLC ("Owner/Subdivider"):

**WHEREAS**, the Owner/Subdivider has proposed to develop property located in the Town of Greenville, Outagamie County, Wisconsin, described in Exhibit 1 attached hereto; and

**WHEREAS**, the Owner/Subdivider has submitted a Preliminary Plat entitled Jennerjohn Field of Dreams requiring public improvements that was approved by the Town on July 11, 2016; and

**WHEREAS**, the Owner/Subdivider has submitted engineering reports, construction plans and specifications for all required public improvements pursuant to Chapter 270, Code of the Town of Greenville that were approved by the Town on November 26, 2018 by Resolution 52-18, and

*Return to:*  
**Richard J. Carlson**  
**331 E Washington St**  
**Appleton, WI 54911**

Tax Parcel No.

**WHEREAS**, the Owner/Subdivider has now submitted a Final Plat for approval which require that all public improvements be completed and accepted by the Town, at the sole expense of the Owner/Subdivider, before and as a condition of Final Plat approval or, in the alternative, at the request of the Owner/Subdivider, and in the sole discretion of the Town, the Owner/Subdivider enter into an agreement with the Town to complete all required public improvements within a reasonable time and to provide the Town with a financial guarantee to ensure such public improvements are timely completed at the Owner/Subdivider's sole expense as a condition of Final Plat approval; and

**WHEREAS**, the Owner/Subdivider has provided the Town with the estimated costs of all required public improvements as shown in Exhibit 2 attached and has agreed to the form and terms of a financial guarantee.

**NOW THEREFORE, IN CONSIDERATION OF FINAL PLAT APPROVAL, IT IS AGREED AS FOLLOWS:**

1. The Owner/Subdivider shall construct and complete all required public improvements at its sole expense and be accepted by the Town by resolution within two years of the date of approval of the original agreement, which was approved by Resolution 02-19 on January 14, 2019.
2. The Owner/Subdivider shall construct all required public improvements in compliance with all Town requirements and in accordance with all approved reports, plans and specifications on



file with the Town which are hereby deemed to be incorporated into this Agreement and part of this Agreement.

3. The Owner/Subdivider shall provide a financial guarantee in the form of an irrevocable letter of credit or escrow account in the amount of 120 percent of the estimated costs for Phase 2 as set forth in Exhibit 3 and Exhibit 4 for a term of two years in the amount of \$681,844.15 for the benefit of the Town and in the name of the Town. The letter of credit/escrow account shall be irrevocable and require only that the Town present the letter of credit or escrow account agreement with a sight draft and written notice signed by the Town Chair and attested by the Town Clerk to draw funds. The form of the letter of credit or escrow account and the issuer or holder shall be approved by the Town. The letter of credit shall be submitted prior to recording of the final plat and start of construction.
4. No financial guarantee shall be allowed to expire prior to substantial completion of all required public improvements. The Owner/Subdivider shall provide written notice to the Town at least 45 days prior to the expiration of the financial guarantee if substantial completion can not be achieved prior to expiration. The Town may require renewal or extension of the financial guarantee.
5. The Owner/Subdivider acknowledges that it has requested a financial guarantee as a discretionary alternative to a Town requirement of completing all required public improvements as a condition of Final Plat approval and waives any right that it may have to a different form or different terms of a financial guarantee.
6. The Owner/Subdivider acknowledges that the actual cost of constructing required public improvements may exceed estimated costs for any particular public improvement or all public improvements in the aggregate and acknowledges its obligation to pay all actual costs.
7. Notwithstanding paragraphs 1 through 6 above, the Owner/Subdivider shall deposit 120 percent of the estimated cost of final pavement for all streets in a separate designated escrow account in the amount of \$37,000.00 in the name of the Town for subsequent final pavement to be installed by the Town with the account proceeds, upon the sale of 50 percent of the lots, five years from the date of the Final Plat approval or by order of the Town, whichever comes first.
8. The Owner/Subdivider shall install all public improvements except for the final layer of asphalt prior to acceptance of the public improvements. The Town Board shall accept all public improvements by resolution at the recommendation of the Public Works Director.
9. Building permits may be issued once all of the following have been completed:
  - a. The final plat has been recorded.
  - b. Public improvements are substantially completed and accepted by the Town Board by resolution.
  - c. The escrow required in paragraph 7 has been submitted.
10. The Owner/Subdivider shall pay in full all Town review fees in connection with or relating to the final plat, reports, plans and specifications as a condition of final plat approval.



11. The Owner/Subdivider shall timely pay all Town inspection fees and expenses in connection with and relating to the construction of required public improvements.
12. The Owner/Subdivider shall comply with all regulatory requirements of the Code of the Town of Greenville and all applicable regulatory requirements of the State of Wisconsin and Outagamie County.
13. The Owner/Subdivider shall provide the Town with record drawings of sanitary sewer, water main and storm sewer improvements showing the location of all appurtenances and features of the systems.
14. The Owner/Subdivider shall guarantee all public improvements against defects due to faulty materials or workmanship which appear within a period of 14 months after substantial completion and accepted by the Town by Resolution. The Owner/Subdivider shall pay the full cost of necessary replacement or repair of defects and provide the Town with financial security to ensure timely replacement or repair in an amount of 10 percent of the estimated total costs of all completed improvements.
15. The Owner/Subdivider shall, to the maximum extent practicable, preserve existing landscape features such as trees, grassed areas and the like located outside of actual construction zones needed for public improvements.
16. The Owner/Subdivider shall timely remove and properly dispose of brush and rubbish piles and timely remedy washouts and sedimentation accumulations arising from construction activities.
17. The Owner/Subdivider acknowledges and agrees that nothing in this agreement shall be deemed a waiver or limitation of any Town immunity, power or authority conferred by law including but not limited to special assessments and special charges.
18. The Owner/Subdivider acknowledges and agrees that nothing in this agreement waives any other requirement, obligation or fee of any Town ordinance or resolution.
19. This Agreement shall be interpreted consistent with the rules and requirements of Chapter 270, Code of the Town of Greenville.
20. This Agreement shall be binding on the Owner/Subdivider, its successors or assigns and shall constitute a covenant running with the land. This Agreement shall also constitute restrictions for public benefit pursuant to Section 236.293 Wis. Stats.
21. The Town may deny issuance of a building permit until compliance with the provisions of this Agreement and Chapter 270, Code of the Town of Greenville are met.
22. This Agreement may only be modified or amended in writing by the parties.



**SUBDIVIDER**

**TOWN OF GREENVILLE**

\_\_\_\_\_  
DJW Investments, LLC  
David Winkel, Sole Member

\_\_\_\_\_  
Jack Anderson, Town Chair

Personally came before me this \_\_\_\_  
day of \_\_\_\_\_, 2\_\_\_\_, the above

**ATTEST:**

\_\_\_\_\_  
to me known to be the person(s) who  
executed the foregoing instrument and  
acknowledged the same.

\_\_\_\_\_  
Wendy Helgeson, Town Clerk

Personally came before me this \_\_\_\_  
day of \_\_\_\_\_, 2\_\_\_\_, the above

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

\_\_\_\_\_  
to me known to be the person(s) who  
executed the foregoing instrument and  
acknowledged the same

\_\_\_\_\_  
Notary Public, State of Wisconsin  
My commission expires: \_\_\_\_\_

Drafted by:  
Richard J. Carlson  
331 E. Washington St.  
Appleton WI 54911



# Jennerjohn Field of Dreams

Part of Lot 4, CSM 7036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the the Southwest 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2). Wis. Stats. as provided by s. 236.12, Wis. Stats.

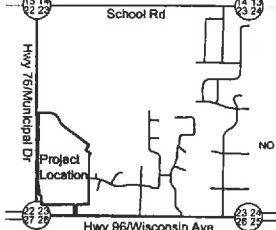
Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



## LOCATION MAP

SW 1/4 SEC 23, T 21 N, R 16 E,  
TOWN OF GREENVILLE,  
OUTAGAMIE COUNTY, WI



Bearings are referenced to the W/L of the Southwest 1/4 of Section 23 assumed to bear S00°28'18"W based on the Outagamie County coordinate system

## LEGEND

- △ 1/4" Rebar Found
- 3/4" Rebar Found
- 1/2" x 18" Steel Rebar @ 4.30lbs/LF SET
- All other corners
- 3/4" x 18" Steel Rebar @ 1.50lbs/LF SET
- SF Lot areas in square feet

Delineated Wetlands with 20' Conservation Easement

No access to right of way

## NOTES

- All linear measurements have been made to the nearest one hundredth of a foot.
- No Access area extends 50' each way of the block corner unless otherwise noted on the plat.
- No Improvements or structures are allowed between the right of way line and the highway setback line. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Wisconsin Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation for more information. The Phone number may be obtained by contacting the County Highway Department.
- All angular measurements have been made to the nearest 20 seconds and computed to the nearest half seconds.

## CURVE TABLE

Curve	Radius	Chord Direction	Chord Length	Arc Length	Central Angle	Tangent Bearing-in	Tangent Bearing-out
C1	233.00'	N 26°01'58" E	81.65'	82.08'	20°10'58"	N 15°56'30" E	N 36°07'28" E
C2	233.00'	N 27°16'52" E	71.64'	71.93'	17°41'13"	N 18°26'15" E	N 36°07'28" E
C3	233.00'	N 17°11'22" E	10.15'	10.15'	2°29'45"	N 15°56'30" E	N 18°26'15" E
C4	783.00'	S 03°45'09" W	330.64'	333.15'	24°22'41"	S 15°58'30" W	S 08°26'12" E
C5	783.00'	S 11°48'55" W	112.68'	112.78'	8°15'10"	S 15°56'30" W	S 07°41'19" W
C6	783.00'	S 04°08'23" W	96.94'	97.00'	7°05'53"	S 07°41'19" W	S 00°35'28" W
C7	783.00'	S 03°55'23" E	123.24'	123.36'	9°01'38"	S 00°35'28" W	S 08°26'12" E
C8	60.00'	N 84°31'32" E	12.31'	12.34'	11°46'50"	S 89°35'03" E	N 78°38'07" E
C9	140.00'	N 84°31'32" E	28.73'	28.78'	11°46'50"	S 89°35'03" E	N 78°38'07" E
C10	167.00'	S 07°01'43" E	42.96'	43.10'	14°47'08"	S 14°25'17" E	S 00°21'52" W
C11	233.00'	N 07°01'43" W	59.96'	60.13'	14°47'08"	N 00°21'51" E	N 14°25'17" W
C12	717.00'	N 00°45'37" E	375.53'	379.96'	30°21'47"	N 14°25'17" W	N 15°56'30" E
C13	717.00'	N 14°07'38" W	7.35'	7.35'	0°35'15"	N 14°25'17" W	N 13°50'02" W
C14	717.00'	N 10°10'28" W	91.54'	91.61'	7°19'13"	N 13°50'02" W	N 06°30'48" W
C15	717.00'	N 02°54'34" W	90.15'	90.21'	7°12'30"	N 06°30'48" W	N 00°41'41" E
C16	717.00'	N 04°30'12" E	95.25'	95.32'	7°37'01"	N 00°41'41" E	N 08°18'42" E
C17	717.00'	N 12°07'38" E	95.41'	95.48'	7°37'47"	N 08°18'42" E	N 15°56'30" E
C18	156.68'	N 26°01'58" E	58.52'	58.87'	21°31'51"	N 15°16'04" E	N 36°47'54" E
C19	156.68'	N 19°51'12" E	25.05'	25.08'	9°10'17"	N 15°16'04" E	N 24°26'21" E
C20	156.68'	N 29°56'41" E	30.06'	30.11'	11°00'41"	N 24°26'21" E	N 35°27'02" E

## LINE TABLE

Line	Bearing	Length
L1	S 89°31'36" E	32.64'
L2	N 36°07'28" E	20.25'
L3	S 63°48'25" E	76.16'
L4	S 00°21'52" W	45.04'
L5	N 87°34'18" W	66.04'
L6	N 89°38'08" W	36.96'
L7	S 00°21'52" W	66.83'
L8	N 45°51'27" W	72.28'
L9	S 14°21'26" E	1.75'
L10	S 88°03'16" W	84.68'



James R. Sehnoff, PLS 2692  
Date: 16 July 2011

File: 4350Final.dwg  
Date: 07/14/2016  
Drafted By: Jim  
Sheet: 1 of 2



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street, Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

Jul 14, 2016 10:51 am C:\Projects\4350\en\dwg\DW 4350.dwg User: jrs



# Jennerjohn Field of Dreams

Part of Lot 4, CSM 7036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the the Southwest 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin.

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified \_\_\_\_\_, 20\_\_\_\_

Department of Administration



## Surveyor's Certificate

I, James R. Sehlhoff, Professional land surveyor, hereby certify: That in full compliance with the provisions of Chapter 236 of the Wisconsin Statutes and the subdivision regulations of the Town of Greenville and Outagamie County, and under the direction of Jennerjohn Family Limited Partnership, owners of said land, I have surveyed divided and mapped Jennerjohn Field of Dreams; that such plat correctly represents all exterior boundaries and the subdivision of the land surveyed; and that this land is part of Lot 4, CSM 7036 being part of the Northwest 1/4 of the Southwest 1/4 and part of the the Southwest 1/4 of the Southwest 1/4, all being part of Section 23, Township 21 North, Range 16 East, Town of Greenville, Outagamie County, Wisconsin containing 1,067,353 Sq Ft (24.5031 Ac) of land described as follows:

Commencing at the Northwest corner of Section 23; thence along the West line of said Section 23, S00°26'16"W, 808.00 feet; thence S89°31'36"E, 32.64 feet to the Easterly right of way line of STH 76 said point also being the point of beginning; thence S89°31'36"E, 460.33 feet; thence N36°07'28"E, 209.20 feet; thence N03°50'56"E, 112.36 feet; thence N36°07'28"E 20.25 feet to the Southerly line of Towing Pines West; thence, along said Southerly line, S63°52'32"E, 290.00 feet; thence, continuing along said Southerly line, S83°48'25"E, 76.18 feet; thence S53°52'32"E, 160.00 feet; thence S36°07'28"W, 239.03 feet; thence S00°21'52"W, 431.45 feet; thence S06°43'20"W 90.56 feet; thence S00°24'18"W 126.86 feet; thence S88°03'16"W, 150.00 feet; thence S00°21'52"W, 45.04 feet; thence N87°34'16"W, 66.04 feet; thence S89°38'08"W, 36.96 feet; thence S47°27'17"W 154.34 feet; thence S00°21'52"W, 66.83 feet; thence S53°16'55"W, 184.95 feet; thence N00°28'48"W 95.78 feet; thence S65°01'30"W 290.06 feet; thence S00°33'41"E 168.22 feet; thence S88°59'31"W 20.00 feet to the Easterly right of way of STH 76; thence, along said Easterly right of way, N00°33'41"W 206.77 feet; thence, continuing along said Easterly right of way, N45°51'27"W 72.28 feet; thence, continuing along said Easterly right of way, N00°26'10"E 100.00 feet; thence, continuing along said Easterly right of way, N12°33'01"W 205.25 feet; thence, continuing along said Easterly right of way, N00°28'44"E 978.43 feet to the point of beginning, subject to all easements and restrictions of record.

Given under my hand this 16 day of July, 2016

James R. Sehlhoff, Wisconsin Professional Land Surveyor No. S-2692



## Utility Easement Provisions

An easement for electric, natural gas, and communications service is hereby granted by

Jennerjohn Family Limited Partnership, Grantor, to:

Wisconsin Electric Power Company and Wisconsin Gas, LLC, Wisconsin corporations doing business as We Energies, Grantee, SBC, Grantee, and Time Warner Cable, Grantee

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within these areas on the plat designated as "Utility Easement Areas" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incident to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement Areas" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than four inches without written consent of grantees.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Jennerjohn Family Limited Partnership

Managing Member \_\_\_\_\_ Date \_\_\_\_\_

Print Name \_\_\_\_\_

## Corporate Owner's Certificate

Jennerjohn Family Limited Partnership, a partnership duly organized and existing under and by virtue of the laws of the State of Wisconsin, as owner, does hereby certify that said corporation caused the land described on this plat to be surveyed, divided, mapped and dedicated as represented on this plat.

Jennerjohn Family Limited Partnership, does further certify this plat is required by s.236.10 or s.236.12 to be submitted to the following for approval or objection:

Outagamie County Planning and Zoning Committee  
Town of Greenville  
Department of Administration

IN WITNESS WHEREOF, the said Jennerjohn Family Limited Partnership, has caused these presents to

be signed by its authorized representatives, located at \_\_\_\_\_, Wisconsin

this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

In the Presence of: Jennerjohn Family Limited Partnership

By \_\_\_\_\_

print name \_\_\_\_\_

Title \_\_\_\_\_

State of Wisconsin )  
                                  ) ss  
                                  ) County )

Personally came before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

the above named, officers of said corporation, and acknowledged that they executed the foregoing instrument as such officers as the deed of said corporation, by its authority.

Notary Public, Wisconsin \_\_\_\_\_ My commission expires: \_\_\_\_\_

## County Planning Agency Approval Certificate

Resolved, that the plat of Jennerjohn Field of Dreams in the Town of Greenville, Outagamie County, Jennerjohn Family Limited Partnership owners, is hereby approved by Outagamie County.

County Zoning Administrator \_\_\_\_\_ Date \_\_\_\_\_

## Town of Greenville Approval Certificate

Resolved, that the plat of Jennerjohn Field of Dreams in the Town of Greenville, Outagamie County, Jennerjohn Family Limited Partnership; owners, is hereby approved by the Town Board of the Town of Greenville.

Chairman \_\_\_\_\_ Date \_\_\_\_\_

I hereby certify that the foregoing is a copy of a resolution adopted by the Town Board of the Town of Greenville.

Clerk \_\_\_\_\_ Date \_\_\_\_\_

## Treasurer's Certificate

We, being the duly elected, qualified and acting Treasurer's of the Town of Greenville and Outagamie County, do hereby certify that in accordance with the records in our office, there are no unredeemed tax sales and unpaid taxes, or special assessments on and of the land included in this plat.

Town Treasurer \_\_\_\_\_ Date \_\_\_\_\_

County Treasurer \_\_\_\_\_ Date \_\_\_\_\_

## Notes:

1. Outlot 1 ownership will be dedicated to the public for trail purposes Outlot 2 ownership will be dedicated to the public for retention pond and trail purposes.

2. The anticipated use of Lot 7 & 8 is for Multi-Family

3. The trail shown noted on the map will be owned by the Town. The construction and maintenance of the trail will be specified in the developers agreement.

4. Lots 3, 4, 7, 16 & 17 contain wetlands. There will be a 20' Conservation Easement around all delineated wetlands unless the easement is otherwise dimensioned on the plat.

5. Surface water flows into an area listed as Generalized Unique Geologic Features.

## Notes:

### Field Tile Statement:

Any agricultural drain tile which is disturbed, cut or broken as part of the development of the plat (CSM) or excavation for home construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed. The cost of repair and/or replacement of the drain tile must be born by the party damaging the drain tile.

### Right to Farm Statement:

The lots created on this map are adjacent to properties that, as of the date of this document, are being used for agricultural purposes. Some individuals believe that the activities associated with the agricultural use constitute a nuisance or conflict with the quiet enjoyment of their property. This statement is intended to provide third parties with notice that agricultural activities may exist on the adjacent properties.

### Grading Statement:

All grading and final grades for the construction of any public or private improvement shall conform to the surface water drainage plan as approved by the Town of Greenville Planning Commission.

### Street Lighting Statement

Lots within this plat shall be subject to assessments on an annual basis for the operation and maintenance of street lights and the purchase of any lot constitutes a waiver of objection and agreement to pay said annual assessments which shall be placed upon the annual tax bill as a special assessment.

### Benchmark Note:

Benchmarks will be established on the tag bolts of the fire hydrants after utility construction has been completed.

### Drainage Easement Statement:

The Town of Greenville shall have an unqualified right to enter upon any drainage easement for inspection and to maintain and repair all drainage ways and drainage improvements. Lots shall be equally assessed for maintenance and repair of all drainage way and drainage improvements.

### Conservancy Assessments Note:

Lots within this plat shall be subject to assessments on an annual basis for operation and maintenance of conservancy and detention pond area and the purchase of any lot constitutes a waiver of objection and agreement to pay said annual assessments which shall be placed upon the annual tax bill as a special assessment

### Drainage Easement Restrictions:

The following uses and structures are prohibited within all drainage easements and outlots in the subdivision plat: filling, grading and excavating except for construction of drainage ways and drainage facilities; the cultivation of crops, fruits or vegetables; the dumping or depositing of ashes, waste, compost or materials of any kind; the storage of vehicles, equipment, materials or personal property of any kind; and constructing, erecting or moving any building or structure, including fences, within the drainage easement.

### Conservation Easement Note

A conservation easement is located on Lots 25, 28 & 37. The easement is for the preservation of existing wetland located within the boundary of the easements. Any filling, grading, planting or construction of any structure is strictly prohibited within the easement.

### Pedestrian Trail Note:

A pedestrian trail will be located in the road right of way. For exact location please refer to the engineering plans.

### Geotechnical Note:

Lots 12 is in an area mapped as "severe" soil rating for construction of homes. Foundations for these homes shall be designed by and construction of the foundations shall be overseen by a licensed engineer.

### Access Restriction Statement:

As owner I hereby restrict all lots and blocks in that no owner, possessor, user, nor licensee, nor other person shall have any right of direct vehicular ingress or egress with STH 76, as shown on the plat, it being expressly intended that this restriction shall constitute a restriction for the benefit of the public according to s.236.293, Stats., and shall be enforceable by the Wisconsin Department of Transportation.

This Final Plat is contained wholly within the property described in the following recorded instruments:

the property owner of record:	Recording Information:	Parcel Number(s):
Jennerjohn Family Limited Partnership	Doc No. 1776874	Part of 110084108
		All of 110084200



DAVEL ENGINEERING &  
ENVIRONMENTAL, INC.  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

Revision Date: Jul 16, 2016

File: 4350Final.dwg  
Date: 07/16/2016  
Drafted By: Jim  
Sheet: 2 of 2

Jul 16, 2016 - 12:07pm J:\Projects\4350Jen\dwg\Civil 3D\4350Final.dwg Printed by: JIM



Exhibit 2

Jennerjohn Field of Dreams  
Utility & Street Construction  
Town of Greenville  
Preliminary Opinion of Probable Cost  
McM No. W0986-9-18-00645.02.01

						Storm Water Pond		Alana Lane	
Item	Description	Quantity	Unit	Unit Cost	Total Cost	Quantity	Cost	Quantity	Cost
Sanitary Sewer:									
1	8-inch sanitary sewer	3,855	L.F.	\$25.00	\$96,375.00			403	\$10,075.00
2	48-inch sanitary sewer manhole	177.0	V.F.	\$220.00	\$38,940.00			15.98	\$3,515.60
3	4-inch SCH40 PVC sanitary sewer lateral	2,430	L.F.	\$20.00	\$48,600.00				
					Subtotal = \$	183,915.00	\$ -	\$	13,590.60
Water main:									
4	8-inch water main	4,700	L.F.	\$26.00	\$122,200.00			685	\$17,810.00
5	6-inch water main	100	L.F.	\$30.00	\$3,000.00			24	\$720.00
6	8-inch resilient wedge gate valve	14	EACH	\$1,500.00	\$21,000.00			2	\$3,000.00
7	6-inch resilient wedge gate valve	11	EACH	\$1,000.00	\$11,000.00			2	\$2,000.00
8	Hydrant	11	EACH	\$3,500.00	\$38,500.00			2	\$7,000.00
9	1 1/4-inch SDR 9 PE water lateral	2580	L.F.	\$15.00	\$38,700.00				
10	1 1/4-inch corporation, curb stop & stop box	54	EACH	\$350.00	\$18,900.00				
					Subtotal = \$	253,300.00	\$ -	\$	30,530.00
Storm Sewer:									
11	29-inch x 45-inch HERCP storm sewer	35	L.F.	\$ 100.00	\$3,500.00	35	\$3,500.00		
12	42-inch storm sewer	292	L.F.	\$ 90.00	\$26,280.00	132	\$11,880.00		
13	36-inch storm sewer	149	L.F.	\$ 75.00	\$11,175.00				
14	24-inch storm sewer	561	L.F.	\$ 45.00	\$25,245.00				
15	21-inch storm sewer	175	L.F.	\$ 45.00	\$7,875.00				
16	18-inch storm sewer	1,436	L.F.	\$ 40.00	\$57,440.00			344	\$13,760.00
17	15-inch storm sewer	591	L.F.	\$ 35.00	\$20,685.00			36	\$1,260.00
18	12-inch storm sewer	438	L.F.	\$ 30.00	\$13,140.00	124	\$3,720.00		
19	10-inch storm sewer	783	L.F.	\$ 28.00	\$21,924.00				
20	96-inch diameter storm sewer manhole	6.4	V.F.	\$ 650.00	\$4,160.00				
21	60-inch diameter storm sewer manhole	16.7	V.F.	\$ 350.00	\$5,845.00				
22	48-inch diameter storm sewer manhole	57.4	V.F.	\$ 250.00	\$14,350.00			14.28	\$3,570.00
23	48-inch diameter storm sewer inlet-manhole	31.7	V.F.	\$ 250.00	\$7,925.00			7.24	\$1,810.00
24	36-inch diameter storm sewer manhole	8.8	V.F.	\$ 225.00	\$1,971.00	4.00	\$900.00		
25	24-inch diameter storm sewer manhole	30.5	V.F.	\$ 200.00	\$6,100.00				
26	Inlet	16	EACH	\$ 1,500.00	\$24,000.00			1	\$1,500.00
27	4-inch SCH 40 PVC storm sewer lateral	2,430	L.F.	\$ 15.00	\$36,450.00				
28	29-inch x 45-inch HERCP flared end section	1	EACH	\$ 1,200.00	\$1,200.00	1	\$1,200.00		
29	42-inch RCP flared end section	6	EACH	\$ 1,000.00	\$6,000.00	4	\$4,000.00		
30	24-inch RCP flared end section	5	EACH	\$ 650.00	\$3,250.00				
31	12-inch RCP flared end section	1	EACH	\$ 550.00	\$550.00	1	\$550.00		
					Subtotal = \$	299,065.00	\$ 25,750.00	\$	21,900.00
Street Construction:									
32	Strip & stockpile topsoil	32,900	S.Y.	\$1.50	\$49,350.00			7,076	\$10,613.33
33	Common excavation (roadway)	8,650	C.Y.	\$6.50	\$56,225.00			1,725	\$11,210.33
34	Type SAS fabric	17,100	S.Y.	\$2.00	\$34,200.00			3,449	\$6,898.67
35	6-inch base aggregate dense 1 1/4-inch	5,710	TONS	\$11.00	\$62,810.00			1,150	\$12,647.56
36	6-inch base aggregate dense 3-inch	4,510	TONS	\$11.00	\$49,610.00				
37	9-inch base aggregate dense 3-inch	1,800	TONS	\$11.00	\$19,800.00			1,725	\$18,971.33
38	30-inch mountable concrete curb & gutter	8,620	L.F.	\$12.00	\$103,440.00			1,592	\$19,104.00
39	1 3/4-inch HMA pavement, 3 LT 58-28S	1,140	TONS	\$60.00	\$68,400.00				
40	2 1/4-inch HMA pavement, 3 LT 58-28S	400	TONS	\$60.00	\$24,000.00			400	\$24,000.00
41	1 3/4-inch HMA pavement, 4 LT 58-28S	1,450	TONS	\$60.00	\$87,000.00			297	\$17,830.40
42	Lawn restoration	17,700	S.Y.	\$5.00	\$88,500.00			3,803	\$19,015.56
43	Common excavation (trail)	778	C.Y.	\$8.00	\$6,224.00				
44	6-inch base aggregate dense (trail)	1,244	TONS	\$15.00	\$18,660.00				
45	2-inch HMA pavement (trail)	380	TONS	\$80.00	\$30,400.00				
46	Lawn restoration (trail)	3,111	S.Y.	\$5.00	\$15,555.00				
47	Drainage easement grading (grading, topsoil, seed, fertilize & mulch)	2,200	L.F.	\$7.00	\$15,400.00				
48	Erosion Control (silt fence, hay bales, ditch checks)	1	L.S.	\$10,000.00	\$10,000.00				
49	Detention pond excavation	20,800	C.Y.	\$6.50	\$135,200.00	20,800	\$135,200.00		
50	Removal of excess detention pond excavated material off-site	10,000	C.Y.	\$5.10	\$51,000.00				
51	Detention pond outlet structure	1	L.S.	\$5,000.00	\$5,000.00	1	\$5,000.00		
52	Detention pond restoration (4.655-acres)	1	L.S.	\$50,000.00	\$50,000.00	1	\$50,000.00		
53	Detention pond bird deterrent grid	1	L.S.	\$70,000.00	\$70,000.00	1	\$70,000.00		
54	Medium Rip-rap	770	C.Y.	\$40.00	\$30,800.00	636	\$25,457.78		
55	STH 76 Intersection improvements	1	L.S.	\$60,500.00	\$60,500.00			1	\$60,500.00
56	Fiber Optic & Utility Relocation at STH 76 & Alana Lane	1	L.S.	\$30,000.00	\$30,000.00			1	\$30,000.00
					Subtotal =	\$1,172,074.00	\$285,657.78	\$	\$230,791.18
						Utility Total = \$	736,280.00	\$	66,020.60
						Street Total = \$	1,172,074.00	\$	230,791.18
						Construction Subtotal = \$	1,908,354.00	\$	311,407.78
						Construction Engineering Fees = \$	66,792.39	\$	10,388.41
						15% Contingency = \$	286,253.10	\$	44,521.77
						Total = \$	2,261,399.49	\$	369,018.22
								\$	351,721.96

Note: 1. Item 55 unit price from Bid Tabulation (Davel Engineering)  
2. There is storm sewer along Fallon Ln that is oversized to provide service to Lot 7; the oversizing cost should be allocated to Lot 7.  
3. There is storm sewer along outlots 3 & 4 where a portion of the cost should be allocated to the Town of Greenville.

- Note: 1. Item 55 unit price from Bid Tabulation (Davel Engineering)  
2. There is storm sewer along Fallon Ln that is oversized to provide service to Lot 7; the oversizing cost should be allocated to Lot 7.  
3. There is storm sewer along outlots 3 & 4 where a portion of the cost should be allocated to the Town of Greenville.  
4. Unit cost for Item 50 is assuming disposal within 4 miles of site.



## Exhibit 2

Jennerjohn Field of Dreams  
Utility & Street Construction  
Town of Greenville  
Preliminary Opinion of Probable Cost  
McM No. W0986-9-18-00645.02.01

Summary of Storm Water Pond Costs					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
11	29-inch x 45-inch HERCP storm sewer	35	L.F.	\$ 100.00	\$ 3,500.00
12	42-inch storm sewer	132	L.F.	\$ 90.00	\$ 11,880.00
18	12-inch storm sewer	124	L.F.	\$ 30.00	\$ 3,720.00
24	36-inch diameter storm sewer manhole	4.0	V.F.	\$ 225.00	\$ 900.00
28	29-inch x 45-inch HERCP flared end section	1	EACH	\$ 1,200.00	\$ 1,200.00
29	42-inch RCP flared end section	4	EACH	\$ 1,000.00	\$ 4,000.00
31	12-inch RCP flared end section	1	EACH	\$ 550.00	\$ 550.00
49	Detention pond excavation	20,800	C.Y.	\$6.50	\$ 135,200.00
51	Detention pond outlet structure	1	L.S.	\$5,000.00	\$ 5,000.00
52	Detention pond restoration (4.655-acres)	1	L.S.	\$50,000.00	\$ 50,000.00
53	Detention pond bird deterrent grid	1	L.S.	\$70,000.00	\$ 70,000.00
54	Medium Rip-rap	636	C.Y.	\$40.00	\$ 25,457.78
				<b>Construction Subtotal =</b>	<b>\$ 311,407.78</b>
				Construction Engineering Fees =	\$ 10,899.27
				15% Contingency =	\$ 46,711.17
				<b>Total =</b>	<b>\$ 369,018.22</b>

Note 3: Town of Greenville Storm Water Pond Direct Costs					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
14	24-inch storm sewer (R-81.1 to pond)	222	L.F.	\$ 45.00	\$ 9,990.00
24	36-inch diameter storm sewer manhole (R-81.1)	4.8	V.F.	\$ 225.00	\$ 1,071.00
30	24-inch RCP flared end section	1	EACH	\$ 650.00	\$ 650.00
50	Removal of excess detention pond excavated material off-site	10,000	C.Y.	\$5.10	\$ 51,000.00
				<b>Construction Subtotal =</b>	<b>\$ 62,711.00</b>
				Construction Engineering Fees =	\$ 2,194.89
				15% Contingency =	\$ 9,406.65
				<b>Total =</b>	<b>\$ 74,312.54</b>

Note 2: Storm Sewer Oversizing Costs to service Lots 7 & 8					
Item	Description	Quantity	Unit	Unit Cost	Total Cost
	Storm Sewer Oversizing 18-inch to 15-inch (R-52.2 to R-60.1)	42	L.F.	\$ 5.00	\$ 210.00
	Storm Sewer Oversizing 24-inch to 18-inch (R-60.1 to R-51.1)	164	L.F.	\$ 5.00	\$ 820.00
	Storm Sewer Oversizing 36-inch to 18-inch (R-51.1 to R-50.3)	149	L.F.	\$ 35.00	\$ 5,215.00
	Storm Sewer Manhole Oversizing 60-inch to 48-inch (R-51.1)	7.89	V.F.	\$ 100.00	\$ 789.00
				<b>Construction Subtotal =</b>	<b>\$ 7,034.00</b>
				15% Contingency =	\$ 1,055.10
				<b>Total =</b>	<b>\$ 8,089.10</b>

Jennerjohn Field of Dreams Summary of Costs					
				<b>Total Construction Cost =</b>	<b>\$ 2,261,399.49</b>
				Storm Water Pond Credit (Drainage Area Based) =	\$ 216,882.89
				Alana Lane Credit =	\$ 351,721.96
				Town of Greenville Direct Storm Sewer Costs =	\$ 74,312.54
				Storm Sewer Oversizing Costs to service Lots 7 & 8 =	\$ 8,089.10
				<b>Total Field of Dreams Cost =</b>	<b>\$ 1,610,393.00</b>



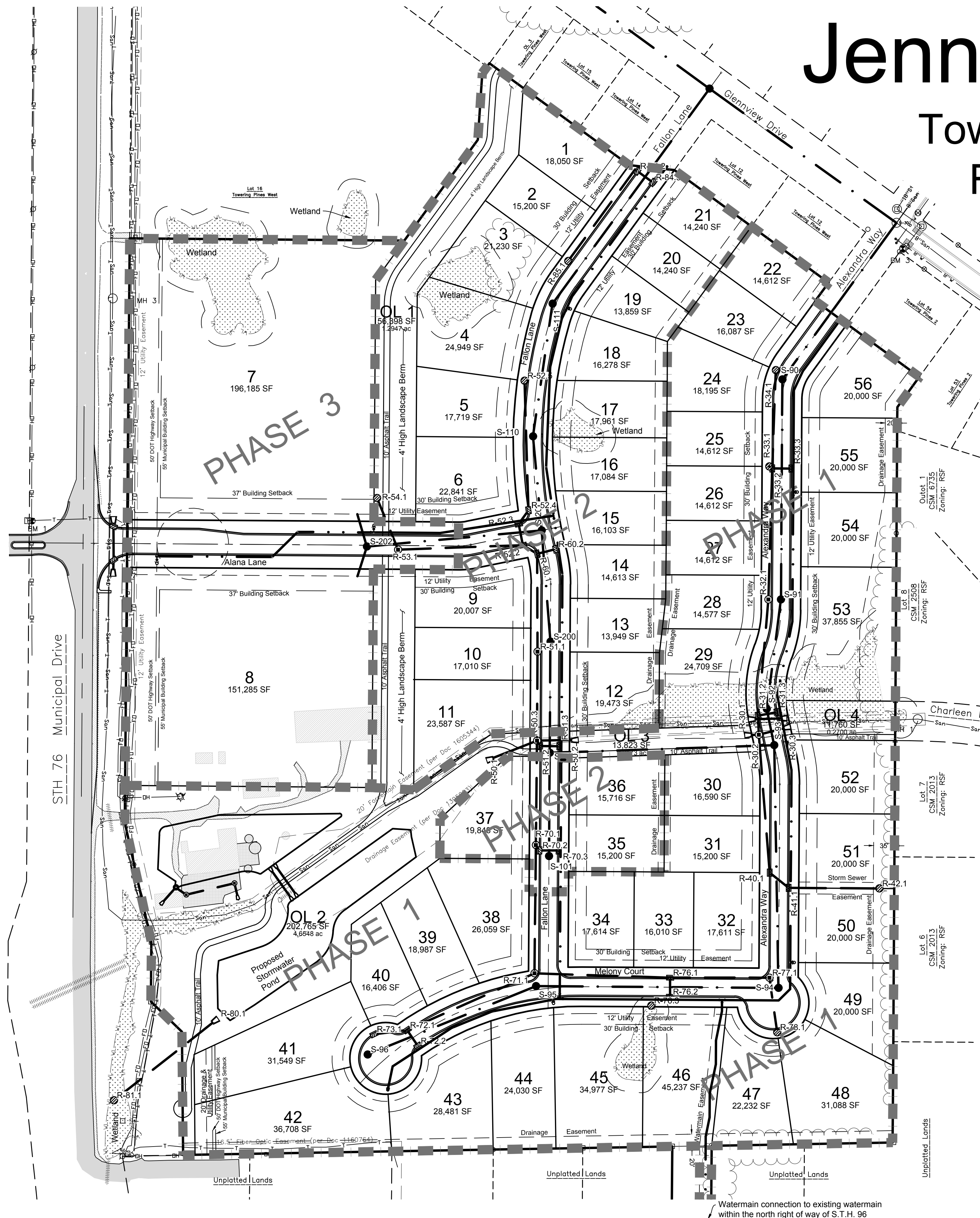
Exhibit 3: Phasing Costs

Item	Description	Cost
1	Construction Cost Subtotal	\$ 1,908,354.00
4	Less Town's pond costs (\$271,407 x .495) <i>rounded</i>	\$ (154,150.00)
5	Less Town's street storm sewer construction subtotal costs	\$ (62,711.00)
6	Total Field of Dreams construction costs	\$ 1,691,493.00
8	Less Alana Lane (Phase III) Construction Subtotal	\$ (296,811.78)
9	54 Lot/street/utility costs	\$ 1,394,681.22
10	Per lot cost (\$1,394,681.22/54 lots)	\$ 25,827.43
11	Phase 1: 32 lots x \$25,827.43	\$ 826,477.76
12	Phase 1 LOC 120% of \$826,477.76	\$ 991,773.31
13	Phase 2: 22 lots x \$25,827.43	\$ 568,203.46
14	Phase 2 LOC 120% of \$568,203.46	\$ 681,844.15
15	Phase 3: Alana Lane	\$ 296,811.78
16	Phase 3 LOC 120% of \$296,811.78	\$ 356,174.14
Total	Total Cost of Phases I, II & III (Equals Line 6)	\$ 1,691,493.00



# Jennerjohn Field of Dreams

Town of Greenville, Outagamie County, WI  
For: Jennerjohn Field of Dreams LLC



## LEGEND

— CATV	Underground Cable TV	○	Sanitary MH / Tank / Base	□	CATV Pedestal
— FO	Underground Fiber Optic	○	Clean Out / Curb Stop / Pull Box	□	Gas Regulator
— OH	Overhead Electric Lines	○	Storm Manhole	□	Railroad Signal
— San	Sanitary Sewer	○	Catch Basin / Yard Drain	□	Sign
— Sto	Storm Sewer	○	Water MH / Well	□	Tower / Silo
— E	Underground Electric	○	Hydrant	□	Post / Guard Post
— G	Underground Gas Line	○	Utility Valve	□	Satellite Dish
— T	Underground Telephone	○	Utility Meter	□	Large Rock
— W	Water Main	○	Utility Pole	□	Flag Pole
— F-Steel	Fence - Steel	○	Light Pole / Signal	□	Deciduous Tree
— F-Wood	Fence - Wood	○	Guy Wire / Pump	□	Coniferous Tree
— F-Barbed	Fence - Barbed Wire	○	Electric Pedestal	□	Bush / Hedge
— WL	Wetlands	○	Electric Transformer	□	Stump
— Treeline	Treeline	○	Air Conditioner	□	Soil Boring
— Railroad Tracks	Railroad Tracks	○	Telephone Pedestal	□	Benchmark
— Culvert	Culvert	○	Telephone Manhole	□	Asphalt Pavement
— Index Contour	Index Contour	○		□	Concrete Pavement
— Intermediate Contour	Intermediate Contour	○		□	
— Proposed Storm Sewer	Proposed Storm Sewer	○		□	
— Proposed Sanitary Sewer	Proposed Sanitary Sewer	○		□	
— Proposed Water Main	Proposed Water Main	○		□	
— Proposed Contour	Proposed Contour	○		□	
— Proposed Swale	Proposed Swale	○		□	
— Proposed Culvert	Proposed Culvert	○		□	
		○	Ex Spot Elevation	○	Proposed Reducer
		○	Proposed Sanitary Manhole	○	Proposed Plug
		○	Proposed Storm Manhole	○	Proposed Water MH
		○	Proposed Curb Inlet	○	Proposed Tee
		○	Prop. Catch Basin / Yard Drain	○	Proposed Cross
		○	Proposed Endwall	○	Proposed 90° Bend
		○	Proposed Hydrant	○	Proposed 45° Bend
		○	Proposed Valve	○	Proposed 22.5° Bend
		○	Proposed Curb Stop	○	

Sewer and Water shall be constructed in accordance with the State of Wisconsin Standard Specifications for Sewer and Water Construction, and all Special Provisions of the Town of Greenville.

Streets shall be constructed in accordance with the State of Wisconsin Standard Specifications for Highway and Structures Construction, and all Special Provisions of the Town of Greenville.

Contractor shall locate all buried facilities prior to excavating. This plan may not correctly or completely show all buried utilities.

The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.

The Contractor shall comply with all conditions of the Erosion Control Plan and the Storm Water discharge Permit. All Erosion Control shall be done in accordance with the Plan and Wisconsin DNR Technical Standards.

The contractor shall coordinate with provider for electric, gas, and telecommunication service connection and relocations.

Pipe lengths are measured to center of structure. Endwalls are included in pipe length.

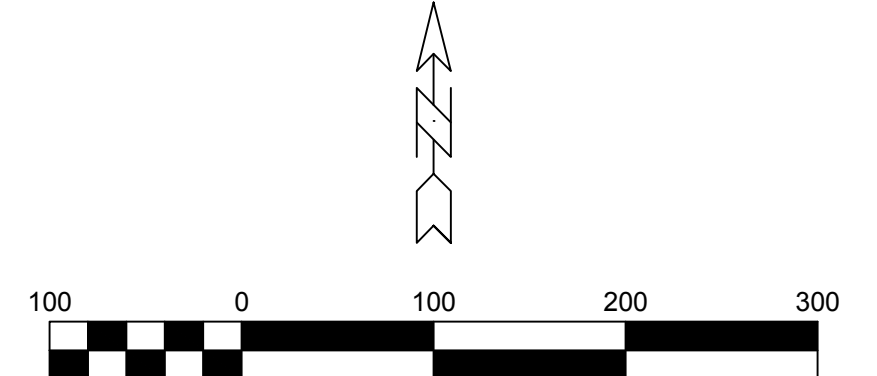
Any agricultural drain tile encountered during construction of the subdivision shall be reconnected and remain operational if serving offsite property.

Any construction within the 20' sanitary force main easement requires contacting Dan Klansky (Town of Greenville) 920-841-8550

Field tile to be reconnected in a hydraulically efficient fashion if broken during construction. Any agricultural drain tile which is disturbed, cut or broken as part of the development of the property or excavation for construction must be repaired and/or relocated to allow for the drain tile to continue to drain as originally designed.

Construction phase 1 shall include storm sewer installation from Melony Court, north within Fallon Lane to the pond storm sewer outfall R-50.1. Construction phase 2 shall include a temporary trail connection across Alana Lane with sewer and water construction to include S-202, R-54.1, adjacent hydrant.

Well located on Lot 8 shall be properly abandoned.

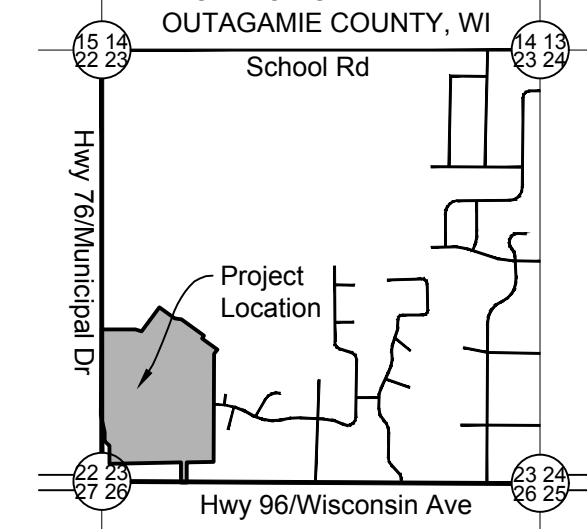


## SHEET INDEX:

Sheet	Page
Sewer & Water Cover Sheet	1.1
Drainage and Grading Plan	1.2
Erosion & Sediment Control Plan	1.3
Landscape Plan	1.4
Construction Details	2.1
Sewer & Water Details	2.2
Erosion & Sediment Control Details	2.3
S.T.H. 76 Intersection Detail	2.4
Pavement Markings & Traffic Control Plan	2.5
Stormwater Pond Details	2.6
Plan & Profile: Alana Lane - Sta 0+00 to 8+94.61	3.1
Plan & Profile: Fallon Lane - Sta 0+00 to 10+00	3.2
Plan & Profile: Fallon Lane - Sta 10+00 to 16+50	3.3
Plan & Profile: Melony Court / Alexandria Way - Sta 12+50 to 20+00	3.4
Plan & Profile: Alexandria Way - Sta 20+00 to 27+00	3.5
Plan & Profile: Alexandria Way - Sta 27+00 to 31+70.41	3.6
Plan & Profile: Hwy 96 Watermain Loop - Sta 0+00 to 5+00	3.7
Plan & Profile: Outlot 3 Sanitary - Sta 0+00 to 5+00	3.8
Cross Sections: S.T.H. 76	4.1
Cross Sections: S.T.H. 76	4.2
Cross Sections: Alana Lane	4.3

## LOCATION MAP

SW 1/4 SEC 23, T 21 N, R 16 E,  
TOWN OF GREENVILLE  
OUTAGAMIE COUNTY, WI



## SEWER & WATER COVER SHEET



**DAVEL ENGINEERING & ENVIRONMENTAL, INC.**  
CIVIL ENGINEERING CONSULTANTS  
1811 Racine Street Menasha, WI 54952  
Ph: 920-991-1866 Fax: 920-830-9595  
www.davel.pro

Project Number: 4350  
November 14, 2018

Page  
1.1



**MEETING:** Town Board  
**DATE:** April 22 2019

**AGENDA ITEM #:** TB - 9a  
**ACTION TYPE:** Approval/Denial



*"Town of Greenville"*

## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Brian Rickert, Public Works Director  
**Date:** 4/11/2019  
**RE:** CTH CB and Atlantis Roundabout Land Acquisition

**ACTION TYPE:** This item is for possible Town Board Approval/Denial

**BACKGROUND & SUMMARY:** In November of 2018, the Town was approached by OMNNI and Associates about the construction of a Roundabout at CTH CB and Atlantis intersection. The roundabout is scheduled to be constructed beginning in August of 2019. This project was brought to light after the budget was approved for 2018, the Town did not budget for the upcoming work. Work items will include the installation of a water and electrical service for maintenance of the landscaping, relocation of the water service to Plexus, relocation of water valves, vertical adjustments of water valves and sanitary manholes.

The attached documents are for Right of Way and Easement adjustments that need to be made to allow for the construction and sloping of the Roundabout. Currently the Town has a Permanent Limited Easement for the Trail that is located on the east side of CTH CB. Due to the size of the Roundabout the trail will need to be relocated and the permanent limited easement will become Right of way.

**STAFF RECOMMENDATION:** Staff recommends the Board approve the signatures for the Conveyance of Rights in Land and the Temporary Construction Easement. If the Board is in agreement, the following motion may be made: ***"Motion to sign the Temporary Construction Easement and Conveyance of Land allowing for the construction of the Roundabout at CTH CB and Atlantis."***

**POLICY/PLAN REFERENCE(S):**

Town Purchasing Policy – Adopted August 2017

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$1.00  
Is it currently budgeted or planned? No  
Amount budgeted: \$0  
Account #: General Fund



**Attachments:**

1. Conveyance of Rights in Land
2. Parcel 91 Legal Description
3. Temporary Construction Easement
4. Transportation Project Plat (2 Pages)



## CONVEYANCE OF RIGHTS IN LAND

### (Non-Fee Land Interests)

Exempt from filing transfer form s.77.21(1) Wis. Stats.

Locals 11/2016

**Town of Greenville**, GRANTOR, for and in consideration of the sum of One Dollar (\$1.00) and other good and valuable consideration, grants and conveys any and all rights and interest which, by virtue of prior title, easement, license, or other legal devices, GRANTOR holds in the land described below to Outagamie county GRANTEE, for the purposes of constructing, operating, and maintaining a public highway and appurtenant facilities on, over, under, or across the said land; provided, however that GRANTOR reserves to itself the subordinate right to cross, traverse, or otherwise occupy said land with its present and future overhead or underground transmission lines, appurtenant facilities, and supporting structures in a manner consistent with the purposes of this conveyance and in a manner which will not interfere with normal roadway maintenance and operation; provided, further, that the costs of any relocation or alteration, now or in the future, of the transmission lines, appurtenant facilities, or supporting structures when required by the GRANTEE for any reason, including accommodating future expanded or additional highway facilities on, over, under or across said land, will be paid by the GRANTEE; provided, however, that the costs of such relocation or alteration, or of the installation of new or additional facilities when done at the instance of and for the purposes of the GRANTOR, will be defrayed by the GRANTOR.

This conveyance shall be binding on the GRANTOR, GRANTEE, and their respective successors and assigns.

Other persons having an interest in record in the property:  
None

This space is reserved for recording data

Return to

Attn: Cindy Roberts

Outagamie County Highway Department

1313 Holland Road

Appleton, WI 54911

Parcel Identification Number/Tax Key Number

110089500

**Legal Description:** Legal is attached and made a part of this document by reference

The undersigned certify that this instrument is executed pursuant to a resolution of the Board of Directors (or shareholders, stockholders, or members, if authorized by law) of GRANTOR corporation or cooperative.

#### Acknowledgment

\_\_\_\_\_  
(Grantor Name)  
\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Title)  
\_\_\_\_\_  
(Print Name)  
\_\_\_\_\_  
(Signature)  
\_\_\_\_\_  
(Title)  
\_\_\_\_\_  
(Print Name)

\_\_\_\_\_  
(Date)  
State of \_\_\_\_\_ )  
\_\_\_\_\_) ss.  
\_\_\_\_\_ County )  
On the above date, this instrument was acknowledged before me by  
the named person(s).  
\_\_\_\_\_  
(Signature, Notary Public)  
\_\_\_\_\_  
(Print or Type Name, Notary Public)  
\_\_\_\_\_  
(Date Commission Expires)

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## **Parcel 91**

### **Legal Description**

All that part of the Lands subject to the Grantor's easement or interest included in lands acquired by the improvement of County Highway CB by the Grantee in:

Parcel 2 of Transportation Project Plat 6527-03-01-4.01, recorded as Document 2152266;

all in the Outagamie Office of the Register of Deeds, and all subsequent revisions.



**TEMPORARY CONSTRUCTION EASEMENT  
(Transportation Project Plat)**

**Town of Greenville**, Grantor, which has an interest in the lands described below, grants to **Outagamie County**, Grantee, the right and permission to occupy Grantor's easement area for highway improvement purposes, which may include but are not limited to: 1) Constructing slopes and drainage facilities on the following described lands, including the right to operate necessary equipment thereon; 2) The right of ingress and egress, as long as required for such public purpose, including the right to preserve, protect, remove or plant thereon any vegetation that the highway authorities may deem desirable to prevent erosion of the soil, provided such activities are consistent with the rights held by the Grantor under its easement.

The said lands are situated in the Town of Greenville, Outagamie County, Wisconsin and are shown on Transportation Project Plat 6527-03-01-4.01, which depicts the right-of-way required for Highway Construction Project accordance with Wisconsin Statutes. This plat is available for viewing at the Outagamie County Register of Deeds Office located at 410 Walnut Street, Appleton, Wisconsin.

The said lands are part of Parcel 2 as shown on said Transportation Project Plat and are further described as lying in part of SW¼ of the NE ¼, Section 25, T21N, R16E, Town of Greenville.

This Temporary Construction Easement establishes the right of Grantee to occupy lands on which Grantor has easement interests. However, Grantor reserves to itself the right to continue to use said easement area with its present and future overhead and/or underground facilities in a manner which is consistent with this grant, and further, that the costs of any relocation or alteration of any facilities of Grantor required by Grantee to accomplish its work, now or in the future, will be paid by Grantee.

This Temporary Construction Easement shall terminate upon completion of Construction Project 6527-03-01 for which this instrument is given. The Grantor has a prescriptive right or an easement and therefore grants this Temporary Construction Easement as a holder of a property interest and not as a property owner.

The Grantor's easement is recorded as Document No. 2019635 recorded in the Outagamie County Register of Deeds Office or exists by prescriptive rights as defined by Wisconsin Statutes, Section 893.28.

1-28-2019

(Document Created Date)

**Town of Greenville**

(Company)

(Signature)

(Date)

(Title)

(Signature)

(Date)

(Title)



SECTION LINE  
QUARTER LINE  
SIXTEENTH LINE  
NEW REFERENCE LINE  
NEW ROW LINE  
EXISTING ROW OR R/L LINE  
PROPERTY LINE  
LOCAL STREET  
MAGNUS LANE  
SLOVE INTERCEPT  
CORPORATE LIMITS  
UNDERGROUND FACILITY  
COMMUNICATIONS CABLE (12)  
NEW ROW (10' 0" R/W)  
NEW ROW (10' 0" R/W)  
TEMPORARY LIMITED  
FACILITY AREA  
ASSEMBLY AREA  
EXISTING OR  
RESTRICTED DEVELOPMENT  
TRANSMISSION STRUCTURE  
BUILDING  
BRIDGE

[illegible]

OUTLET	OL	LONG CHORD	LCH	WATER
PAGE	P	LONG CHORD BEARING	LCB	GAS
POINT OF TANGENCY	PT	MODULUS OF CURVATURE	M	TELEPHONE
PERMANENT POINT	PTE	GEOMETRIC ANGLE	ANG	TRANSMISSION LINES
EASEMENT	E	LENGTH OF CURVE	L	ELECTRIC
POINT OF BEGINNING	PBB	TANGENT	T	CABLE TELEVISION
POINT OF CURVATURE	PC	DIRECTION HEAD	DA	OPTIC FIBER
POINT OF COMPOUND CURVE	PCC	DIRECTION HAD	DB	STORM SEWER

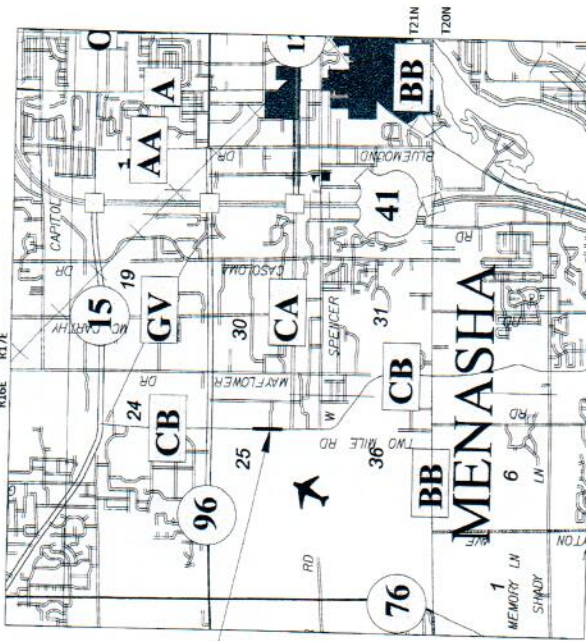
	NUMBER	OUTLUT	PAGE	POINT OF TANGENCY PERMANENT LIMITED EASEMENT	POINT OF BEGINNING POINT OF CURVATURE	POINT OF COMPOUND CURVE	CURVE DATA
	N0	QC	PT	PLE	POB	PC	LONG CHORD LONG CHORD BEARING RADIUS CENTRAL ANGLE LENGTH OF CURVE TANGENT DIRECTION AHEAD DIRECTION BACK
	D	L	T			DA	

FILE NAME : F:\TIRUMHURTHA\TWIN CHALANTANIS DRIVE\CIVIL JD 2016\RW\TTP.DWG  
LAYOUT NAME: TITLE SHEET

FILE NAME : F:\TR\WIRPO  
LAYOUT NAME: TITLE SHEET

A TITHEMAYOR'S RIGHT OF ASSESSMENT IS A RIGHT OF CONSTRUCTION PURPOSES, AS DEFINED HEREIN, INCLUDING THE RIGHT TO OBTAIN NECESSARY EXEMPTIONS FROM TAXES AND FEES, INCLUDING ASSESSMENT FOR SUCH PUBLIC PURPOSES, INCLUDING THE RIGHT TO PRESERVE PROPERTIES AND TO PREVENT ANY PERSON ANY VIOLATION OF THE RIGHT TO PRESERVE PROPERTIES. ALL THE INFORMATION REQUIRED FOR THE CONSTRUCTION OF THIS INSTRUMENT IS GIVEN.

PROPERTY INTERESTS SHOWN ON THIS PLAT ARE DRAWN FROM DATA DERIVED FROM MAPS AND DOCUMENTS OF RECORD AND/OR EXISTING OCCUPATIONAL UNITS. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF THE PROPERTY INTERESTS, INCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.



LAYOUT

SCALE 0 0.5 MI. 1.0 MI.

PLOT DATE: 9/16/2015 3:04 PM PLOT BY: JAIRO MAZAREGOS PLOT NAME:

PROJECT NUMBER  
SHEET 2 OF 2



THAT PART OF LOT 1, OUTAGAMIE COUNTY CERTIFIED SURVEY MAP NO. 6325, LOCATED IN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER, SECTION 25, THAT PART OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER, AND THAT PART OF THE NORTHEAST QUARTER OF THE SOUTHWEST QUARTER OF SECTION 25, T21N, R16E, TOWN OF GREENVILLE, OUTAGAMIE COUNTY, WISCONSIN.

TO PROPERLY ESTABLISH, LAY OUT, WIDEN, ENLARGE, EXTEND, CONSTRUCT, RECONSTRUCT, IMPROVE, OR MAINTAIN A PORTION OF THE HIGHWAY DESIGNATED ABOVE, OUTAGAMIE COUNTY DEEMS IT NECESSARY TO RELOCATE OR CHANGE SAID HIGHWAY AND ACQUIRE CERTAIN LANDS AND INTERESTS OR RIGHTS IN LANDS FOR THE ABOVE PROJECT.

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SECTION 83.07 AND 83.08, WISCONSIN STATUTES, OUTAGAMIE COUNTY HEREBY ORDERS THAT:

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SECTION 83.07 AND 83.08, WISCONSIN STATUTES, OUTAGAMIE COUNTY HEREBY ORDERS THAT:

1. THAT PORTION OF SAID HIGHWAY AS SHOWN ON THIS PLAT IS Laid OUT AND ESTABLISHED TO THE LINES AND WIDTHS AS SO SHOWN FOR THE ABOVE PROJECT.

2. THE LANDS OR INTERESTS OR RIGHTS IN LANDS AS SHOWN ON THIS PLAT ARE ACQUIRED BY OUTAGAMIE COUNTY FOR THE ABOVE PROJECT AND SHALL BE ACQUIRED IN THE NAME OF THE OUTAGAMIE COUNTY, PURSUANT TO THE PROVISIONS OF SECTION 83.07 AND 83.08, WISCONSIN STATUTES.

PTA	STATION	OFFSET
25	+209.54	49.10
26	+208.87	71.81
27	+207.24	73.89
28	+227.63	46.52
29	+441.03	41.82
30	+458.00	85.14
31	+466.41	90.70
32	+601.46	112.15
33	+612.35	159.44
34	+611.83	190.00
35	+408.51	457.03
36	+658.87	676.43
37	+655.90	317.58
38	+775.28	315.69
39	+775.28	106.37
40	+1241.16	106.33
41	+1241.16	95.00
42	+774.02	247.07
45	+409.52	378.05
46	+041.93	375.00

TOWN

TOWN

PTH	Y	X	STA	C/S
14	563861.857	801295.713	375.96	42.54
15	564631.963	801295.344	+487.3	41.68
16	564729.923	801344.731	+548.46	80.12
17	564711.735	801324.292	+646.38	91.38
18	564525.959	801322.123	+732.07	66.55
19	564220.616	801319.854	+789.35	52.54
20	564377.338	801500.483	+851.25	42.53
21	564383.950	801799.448	+875.69	41.47
22	564426.833	801500.630	+900.46	41.52
23	564454.559	801491.511	+900.46	33.00
24	56328.714			

UTILITY INTEREST REQUIRED		
UTILITY	OWNERS	INTEREST REQUIRES
90	WE ENERGIES ELECTRICAL	RELEASE OF RIGHTS
92	TOWN OF GREENVILLE	RELEASE OF RIGHTS
92	WE ENERGIES GAS	RELEASE OF RIGHTS
93	TIME WARNER CABLE	RELEASE OF RIGHTS
94	APPLETON INTERNATIONAL AIRPORT	RELEASE OF RIGHTS
96	NETLEC	RELEASE OF RIGHTS

### SCHEDULE OF LANDS AND INTEREST

PARCEL NO.	OWNER	INTEREST REQUIRED	AREA ACRES REQUIRED			TOTAL	TLE AREA
			NEW	EXISTING	TOTAL		
1	CUTAGAME COUNTY	TLE	0.00 AC	0.00 AC	0.00 AC	0.00 AC	5.43 AC
2	PLEXUS CORPORATION	FEF TLE	0.36 AC	0.00 AC	0.36 AC	0.36 AC	0.25 AC

\*OWNERS' NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO TRANSFER OF LAND INTERESTS TO THE COUNTY

Tax Panel No. 110089500, 110092400.

**OMNI**  
ASSOCIATES

I, DAVID A. YURK, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 84.095 OF THE WISCONSIN STATUTES AND UNDER THE DIRECTION OF THE DEPARTMENT OF TRANSPORTATION, I HAVE MAPPED THIS TRANSPORTATION PROJECT PLAT AND SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE SURVEYED LAND.

SIGNATURE: Daniel A. Judd DATE: 1-9-2011

PRINT NAME: DAVID A. YURK  
REGISTRATION NUMBER: S-2048

THIS PLAT AND RELOCATION ORDER ARE APPROVED FOR  
THE WISCONSIN DEPARTMENT OF TRANSPORTATION

SIGNATURE: *A. E. L.*

OMNI ASSOCIATES  
ONE SYSTEMS DRIVE APPLETON,  
WI 54914-2654  
PHONE (920) 735-6900

OR, HEREBY CERTIFY THAT IN  
N 84.095 OF THE WISCONSIN  
TMENT OF TRANSPORTATION, I  
AND SUCH PLAT CORRECTLY  
VEYED LAND.

DATE: 1-9-201

ER: S-2848

ATION ORDER ARE APPROVED FOR  
MENT OF TRANSPORTATION

DEPT OF TRANSPORTATION  
 2-1-1

145



MEETING: Town Board

AGENDA ITEM #: 9.b

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial.

*"Town of Greenville"*



## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski  
**Date:** April 22, 2019  
**RE:** Agreement for Professional Services with Ehlers to prepare Tax Incremental Finance District Annual Report.

---

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:**

Wis. Stat. §66.1105(6m)(c) requires that any political subdivision with a tax incremental district (TID) file an annual report with all overlapping taxing jurisdictions and the Wisconsin Department of Revenue (DOR). Additionally, a meeting of the Joint Review Board must be convened to review the annual report and to review the performance and status of each of the political subdivision's TIDs. Political subdivisions must file their annual report (DOR Form PE-300) electronically through the DOR's website not later than July 1 annually.

The Joint Review Board must meet each year to review the annual report and the performance and status of each district governed by the Board. A single meeting can be held for purposes of reviewing all active TIDs within the political subdivision if all are overlapped by the same taxing jurisdictions. A Class 1 notice of the meeting must be published at least five days before the meeting.

Staff is recommending to work with our advisor Ehlers to assist us in complying with its annual TID reporting and JRB meeting requirement under Wisconsin Statutes. Ehlers has provided the attached engagement letter and scope of services.

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

Town Purchasing Policy - Adopted August 2017



MEETING:	Town Board	AGENDA ITEM #:	9.b
DATE:	April 22, 2019	ACTION TYPE:	This item is for possible Town Board Approval/Denial.

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, (\$1,500).

Is it currently budgeted or planned? Yes, FY2019

Amount budgeted: \$1,500

###

**Attachments:**

[TID Reporting Engagement Letter.pdf](#)

[Ehlers TID Reporting Summary\\_2019.pdf](#)



## Letter of Engagement (“Letter”) to Retain Ehlers to Provide Assistance with Annual Tax Incremental District Reporting

As a governmental entity (“Client”) with one or more active Tax Incremental Districts (“TIDs”) you are required to prepare and file an annual report with the Wisconsin Department of Revenue not later than July 1. Following filing, the Joint Review Board (“JRB”) must meet to review the annual report, and to review the performance and status of each district governed by the JRB.

Client has requested that Ehlers assist Client in complying with its annual TID reporting and JRB meeting requirement under Wisconsin Statutes 66.1105(6m)(c)(intro) and 66.1105(4m)(f)1. Ehlers proposes and agrees to provide the following scope of services and for the following fees:

### Scope of Service & Fee Compensation

#### Annual Report Submission

Annual reports must be filed electronically by Client not later than July 1 through the Department of Revenue’s website with copies provided to each overlapping taxing entity. The information needed to complete the report will be found within Client’s financial statements and supporting accounting records.

**Scope:** If requested, Ehlers will provide input to Client and Client’s auditor with respect to required report entries.

**Fee:** **No charge for routine questions or review of report entries.**

Additional assistance may be subject to hourly charges. Client will be advised prior to incurring fees for this scope item if charges become necessary.

#### Preparation of Supplemental Information for JRB

Given that the DOR annual report format provides limited information for a single fiscal year, Ehlers recommends preparation of supplemental information that will assist Client in more fully presenting the TID’s current financial position, key activities, and anticipated future performance.

- Scope:**
1. Request from Client information necessary for preparation of summary page and updated TID cash flow.
  2. Prepare supplemental information package to include:
    - a. Cover and summary page.
    - b. Current map of TID boundaries.
    - c. Updated cash flow projection.
    - d. Copy of Annual Report.



**Fee: \$1,500 flat fee per TID.**

Flat fee applicable if Ehlers has available an existing cash flow model to update. If a cash flow model must be created, the additional time required for that task may be billed hourly. Client will be advised prior to incurring hourly fees for this scope item if charges become necessary. In the event Ehlers has already prepared an updated cash flow for the current year as part of other work for which it has been compensated, the fee charged may be reduced.

## JRB Meeting Coordination

Following submission of the annual report with the Department of Revenue, the JRB must meet to review the annual report, and to review the performance and status of each district governed by the JRB.

- Scope:**
1. Obtain from Client preferred meeting dates and times and contact overlapping taxing jurisdictions to confirm availability and attendance.
  2. Prepare required Class 1 meeting notice and transmit to Client's Official Newspaper for publication.
  3. Prepare, and via electronic mail, provide Client and overlapping taxing jurisdictions with:
    - a. Cover letter with meeting details and requirements.
    - b. Agenda.
    - c. Supplemental information package.
    - d. Joint Review Board resolution.

**Fee: \$500 flat fee per meeting.**

It is recommended that Client hold a single meeting for review of all active TIDs. (Separate meetings may be required in certain cases where more than one county, school district or technical college are involved).

## JRB Meeting Attendance

**Scope:** Attend Joint Review Board meeting to review cash flow projections and answer questions. Meeting attendance may be in person, or by conference call, as agreed to by Client. Ehlers can provide a call-in number for meetings to be held telephonically. If phone participation in meetings is permitted by Client's ordinance or policy, this may also be used to facilitate attendance by taxing jurisdiction representatives.

**Fee: \$500 Flat Fee per meeting. In addition, travel time to and from the meeting will be billed hourly, not to exceed \$1,000.**

It is recommended that Client hold a single meeting for review of all active TIDs. (Separate meetings may be required in certain cases where more than one county, school district or technical college are involved).



### Fee Example

A Client with three active TIDs for which all services are requested would be charged \$4,500 for preparation of the supplemental reports (\$1,500 per TID), \$500 for JRB meeting coordination and \$5000 for JRB meeting attendance for a total of \$5,500. This assumes a single JRB meeting is held and excludes hourly charges for travel.

### Hourly Charges

For any service requested by Client related to the Project that exceeds the Scope of Service defined in this Letter, Client will be charged on an hourly basis. Hourly charges will also apply as identified in the Scope of Services & Fee Compensation section of this Letter. Ehlers will bill Client at our then current hourly rates dependent upon the task/staff required to meet Client request. Prior to charging Client hourly fees, Ehlers will first advise Client of the anticipated charges and receive authorization to proceed. (Does not apply to hourly fees charged for travel if in person JRB meeting attendance is requested).

### Payment for Services

Ehlers will invoice Client upon completion of the work. The invoice is due and payable upon receipt by Client.

### Future Fee Changes

Prior to any fee adjustments, Client will be notified in writing of the revised fees and their effective date.

### TID Eligible Expense

Fees charged by Ehlers for the services outlined in this Letter are a TID eligible expense.

### Client Responsibility

For each TID that Ehlers is assisting with, Client agrees to:

- Provide Ehlers with the following information:
  - A copy of the TID Annual Report as filed with the Department of Revenue. (Client must also provide a copy directly to each overlapping taxing jurisdiction).
  - A copy of the prior year's audited financial statements if available.
  - A copy of the prior year's DOR Form PC-202 (Tax Increment Collection Worksheet).
  - A current TID boundary map.
  - Copies of documents related to TID debt or other TID liabilities which Client may have incurred, and which Ehlers does not have on file.
- Complete and return a questionnaire which we will provide you inquiring as to other information we may need to prepare an updated cash flow.
- Post the Annual JRB meeting agenda and provide notification as required by statute. (Ehlers will prepare and coordinate publication of the Class I Notice if this service is elected).
- Take and prepare minutes at the Annual JRB meeting.



- Provide any technology required for telephonic meeting participation by Ehlers or other parties if such participation is allowed by Client.
- Pay the following costs, which are not include within our Scope of Services:
  - Services rendered by Client's engineers, planners, surveyors, appraisers, assessors, attorneys, auditors and others that may be called on by Client to assist with preparing the annual report or related supplemental information.
  - Publication charge for the Notice of Joint Review Board meeting.

## Acceptance

Client hereby accepts this Letter and engages Ehlers to provide the services accepted below. This Letter shall be effective as of the date of its acceptance by Client and shall remain in effect for a period of one (1) year. This Letter shall thereafter renew automatically for successive one (1) year periods.

Notwithstanding the foregoing, this Letter may be terminated by either party upon sixty (60) days prior written notice. Client may change their scope of service elections or modify the list of TIDs for which services are being provided prior to commencement of each annual reporting cycle.

Scope of Service	Election of Services
Preparation of Supplemental Information for JRB	<input type="checkbox"/> Accept This Service <input type="checkbox"/> Decline This Service
JRB Meeting Coordination	<input type="checkbox"/> Accept This Service <input type="checkbox"/> Decline This Service
JRB Meeting Attendance	<input type="checkbox"/> Accept This Service <input type="checkbox"/> Decline This Service

☐ Provide these services for all active TIDs.

OR

☐ Provide these services for the following TIDs only: \_\_\_\_\_

By: \_\_\_\_\_

Title: \_\_\_\_\_

Name: \_\_\_\_\_

Date: \_\_\_\_\_



## Annual TIF Reporting Requirements

Wis. Stat. §66.1105(6m)(c) requires that any political subdivision with a tax incremental district (TID) file an annual report with all overlapping taxing jurisdictions and the Wisconsin Department of Revenue (DOR). Additionally, a meeting of the Joint Review Board must be convened to review the annual report and to review the performance and status of each of the political subdivision's TIDs.

### Required Report

Political subdivisions must file their annual report (DOR Form PE-300) electronically through the DOR's website not later than July 1 annually. A separate report must be filed for each active TID.

The PE-300 form contains mandatory field entries and consists largely of the information found on the Statement of Revenues, Expenditures and Changes in Fund Balance in a typical audited financial statement. Municipalities must also report their estimated future revenues and future costs. In addition to filing the online form, a copy of the submitted report must also be transmitted by the political subdivision to each overlapping taxing entity.

The reporting requirement applies to all types of political subdivisions and to all types of TIDs, to include environmental TIDs, industry-specific Town TIDs created under Wis. Stat. § 60.23 and Town TIDs created under Wis. Stat. § 60.85.

### Estimated and Amended Reports

If a governmental unit is not prepared to file its annual report by the July 1<sup>st</sup> deadline, an estimated report may be filed. There is a penalty for a late filing beginning 60 days after the report is past due. The penalty is \$100 per district per day, with a maximum penalty of \$6,000 per District. Amendments to filed reports can be made up until November 1.

### Joint Review Board Meeting Requirement

The Joint Review Board must meet each year to review the annual report and the performance and status of each district governed by the Board. A single meeting can be held for purposes of reviewing all active TIDs within the political subdivision if all are overlapped by the same taxing jurisdictions. A Class 1 notice of the meeting must be published at least five days before the meeting.



While the law requires that the meeting be held on July 1, or when the annual report becomes available, DOR has issued guidance indicating that there is no specific requirement as to how soon the Joint Review Board meeting must occur following availability of the annual report. As such, meetings should be scheduled based on the availability of Joint Review Board representatives noting that county and technical college district representatives will be asked to attend multiple meetings throughout their jurisdictions in the same general timeframe. While each local government's requirements may vary as to the permissibility of phone participation in meetings, neither statute or DOR rules require Joint Review Board members to participate in person which makes teleconference an option that can be considered to facilitate maximum attendance.

As the purpose of the meeting is to review the annual report, no action by the Joint Review Board is required other than to convene the meeting. As a best practice, Ehlers recommends that the Joint Review Board be asked to approve a resolution acknowledging filing of the annual report and compliance with the annual meeting requirement.

To make the annual meeting a more useful exercise, Ehlers recommends preparation of updated forward looking cash flow projections for your TIDs and provision of other supplemental information that helps to more fully explain the current position of each TID. While the PE-300 form is the only required information to be reported each year, it does not address the future performance of the district or identify its projected year of closure. Since a TID is a partnership with the other taxing jurisdictions, this information is helpful to alert taxing jurisdictions to a potential TID closure or explain remaining initiatives to be accomplished within the TID.

## How Can Ehlers Help?

Ehlers has developed a scope of services for governmental units that may require or prefer assistance in complying with some or all these requirements. Contact an Ehlers' Municipal Advisor to discuss these services so that you can determine what assistance you may need.



MEETING: Town Board

AGENDA ITEM #: 9.c

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial.

*"Town of Greenville"*



## AGENDA MEMORANDUM

---

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski  
**Date:** April 22, 2019  
**RE:** Relocation of Telecommunication Utilities with ATT&T for Greenville Fire and Safety Building.

---

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:**

ATT&T has an overhead coaxial cable utility line along the western side of STH 76 running three-quarters of the length of the Town owned property where the new Fire & Safety Building is being constructed. This overhead utility line is in conflict with the driveway location of the existing emergency vehicles at STH 76. Staff has secured a proposal to direct bury the cable lines that will be in conflict with the driveways.

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

Town Purchasing Policy – Adopted August 2017.

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, (\$22,895).

Is it currently budgeted or planned? Yes, FY2019

Amount budgeted: 400-5722-820-1908 Fire & Safety Building Construction

###

**Attachments:**

[ATT ACTUAL COST INVOICE ATTACHED CR 200200 PROJECT A01KKWK.pdf](#)



MEETING: Town Board

AGENDA ITEM #: 9.c

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial.





# Estimate of Cost and Authority to Work Special Construction Charge and Invoice

## ACTUAL COST BASIS

Customer Request Number : 200200  
Project Number : A01KKWK

Date : 04/16/2019  
Customer ID : 150756

### Billing Information

Billing Party's Name : TOWN OF GREENVILLE  
Phone : (920) 969-7654  
Billing Address : W6860 PARKVIEW DRIVE  
GREENVILLE, WI 54942  
Contact Name : JOEL GREGOZESKI  
Phone : (920) 969-7654

Work Description & APQ: JOELG@TOWNOFGREENVILLE.COM, ON SITE KRIS.OCONNOC@MIRON-CONSTRUCTION.COM

Engineering Remarks :

Expenses	Amount
Engineering Labor	\$ 3,390.79
Material Cost	\$ 9,406.19
Construction Labor	\$ 13,939.41
Contractor Cost	\$ 8,824.80
Misc. Tax	\$0.00
<b>Total Estimated Costs</b>	<b>\$ 35,561.19</b>

OSPE Representative: TRISTRAM VILLIERS

Title: CUSTOMER CONTRACTS SPECIALIST

Phone #: (262) 970-8420





# Estimate of Cost and Authority to Work Special Construction Charge and Invoice

## ACTUAL COST BASIS

Customer Request Number : 200200  
Project Number : A01KKWK

Date : 04/16/2019  
Customer ID : 150756

### DESCRIPTION OF CUSTOM WORK:

APQ: JOELG@TOWNOFGREENVILLE.COM, ON SITE KRIS.OCONNOC@MIRON-CONSTRUCTION.COM

### ESTIMATED COST FOR CUSTOM WORK: \$ 35,561.19

Applicant understands that pursuant to the tariffs on file with the FCC and with the State of Wisconsin and/or in order to induce AT&T to relinquish or modify its property right, it is my responsibility to pay these costs incurred by Wisconsin Bell, Inc., d/b/a SBC Wisconsin, a Wisconsin corporation to complete the work requested.

Applicant has asked AT&T to perform the above-described custom work for which Applicant shall pay AT&T the contract price of Thirty-Five Thousand Five Hundred Sixty-One Dollars And Nineteen Cents/ \$35,561.19 in advance of the start of any AT&T work.

Applicant shall pay for the work on an "Actual Cost" basis. Upon completion of the work, AT&T will compute the actual cost of the work. Any difference between the amount of advance payment and the actual cost will be either paid by the Applicant to AT&T or refunded to Applicant by AT&T as the case may be. Applicant understands that this amount is only an estimate of approximate costs, and that the actual cost incurred by AT&T and for which the Applicant is responsible may be different.

Charges are calculated in accordance with AT&T's ordinary accounting practices under the Uniform System of Accounts for Class A telephone companies and include allocated costs for labor, engineering, materials, transportation, motor vehicles, tool and supply expenses and corporate overhead loadings.

**The estimated amount of Thirty-Five Thousand Five Hundred Sixty-One Dollars And Nineteen Cents/ \$35,561.19 is valid for only thirty (30) days and is therefore subject to change/cancellation after May 16, 2019 if AT&T has not received an executed copy of the Application and advance payment by that date.**

If Applicant cancels the work prior to completion, Applicant shall pay AT&T for all costs AT&T has incurred before being notified in writing to cease work.

### ACCEPTED FOR APPLICANT:

BY: \_\_\_\_\_  
Printed Name: \_\_\_\_\_  
Title: \_\_\_\_\_  
Date Signed: \_\_\_\_\_

### SEND PAYMENT PAYABLE TO:

**AT&T Midwest - CWO Center  
220 Wisconsin Avenue - Floor 2,  
Waukesha, WI 53186**



MEETING: Town Board  
DATE: April 22, 2019

AGENDA ITEM #: 9.d  
ACTION TYPE: This item is for possible Town Board Approval/Denial.

*"Town of Greenville"*



## AGENDA MEMORANDUM

---

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski  
**Date:** April 22, 2019  
**RE:** Professional Services Agreement with Moss & Associates for Appraisal and Acquisition of Public Right-of-Way for Tax Incremental Finance District #1.

---

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:**

The Town of Greenville has been planning for the extension of Design Drive between CTH CB and Mayflower Road to support development in the Tax Incremental Finance District #1. In order to begin acquiring the appropriate land and right-of-way for public infrastructure, the Town must perform an appraisal of property to determine the value of land for negotiating purposes. Town staff has met with each affected land owner; each agreed to allow the Town to perform the appraisal.

Staff has requested a proposal from Moss & Associates to begin the process of appraising and negotiating the acquisition of right-of-way and land for public infrastructure. Moss & Associates will meet with owners, deliver offers, mail documents to Register of Deeds for recording, prepare Jurisdictional Offers if necessary, prepare Award of Damages if necessary.

Town of Greenville will be responsible for providing right of way plats and construction plans, making payments to owners and paying for recording fees.

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

Town Purchasing Policy - Adopted August 2017

**FISCAL IMPACT:**



MEETING:	Town Board	AGENDA ITEM #:	9.d
DATE:	April 22, 2019	ACTION TYPE:	This item is for possible Town Board Approval/Denial.

Varies based on nominal acquisition of ROW/PLEs/TLEs for construction of Design Drive and regional stormwater pond.

###

**Attachments:**

[Moss & Associates Proposal For Appraisal and Acquisition Services to Town of Greenville Design Drive Extension.pdf](#)



Proposal Town of Greenville  
Design Drive Extension

NEGOTIATION:

Acquisition of parcels as Nominal (No appraisal acquired)	\$450/parcel
Acquisition of parcels requiring appraisal	\$600/parcel
Right of Way Certification	\$750

Moss & Associates will meet with owners, deliver offers, mail documents to Register of Deeds for recording, prepare Jurisdictional Offers if necessary, prepare Award of Damages if necessary.

Town of Greenville will be responsible for providing right of way plats and construction plans, making payments to owners and paying for recording fees.

APPRAISALS:

Short Form Appraisals: \$1,850

Full narrative Appraisals: \$2,750

Testimony prep time: \$150.00 per hour

Court Testimony: \$150.00 per hour



MEETING: Town Board

AGENDA ITEM #: 9.e

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial.

*"Town of Greenville"*



## AGENDA MEMORANDUM

**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski  
**Date:** April 22, 2019  
**RE:** Fox Cities Regional Partnership Funding Request

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:**

The Fox Cities Regional Partnership has submitted its annual funding request to provide economic development services to Greenville. In the past Greenville has provided a minimal amount for its services which has been approximately \$2,500. The Partnership has requested \$5,000 from Greenville for 2019. Greenville did not budget for the request for 2019 and if Town Board would approve the request a funding source would need to be identified.

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

Town Purchasing Policy - Adopted August 2017

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$5,000

Is it currently budgeted or planned? No

Amount budgeted: \$0

Account #: n/a

###



MEETING:	Town Board	AGENDA ITEM #:	9.e
DATE:	April 22, 2019	ACTION TYPE:	This item is for possible Town Board Approval/Denial.

**Attachments:**

[Pledge Letter 20180401.pdf](#)



April 1, 2019

Mr. Joel Gregozeski  
Town of Greenville  
PO Box 60  
Greenville WI 54942-0060

Dear Joel,

Thank you for your continued support of Fox Cities Regional Partnership. We are dedicated to the growth of the Fox Cities' economy through workforce and economic development. These efforts will help you, our investors, to be profitable and successful. As an investor in the Regional Partnership, you play an essential role in our public/private partnership which strives to improve our quality of life by supporting business development. The Regional Partnership's strong, experienced team is here to support our existing employers, attract new employers, and grow the talent pool within our region.

- **BUSINESS RETENTION AND EXPANSION (BR&E) VISITS**

Jennifer Brown leads the efforts to contact 150 businesses on annually. She makes these appointments to build working relationships, explore expansion opportunities, provide assistance, and identify issues that might impede companies' competitiveness. When she calls you, please accept the appointment. Working together with our companies, local municipalities, WEDC and other resources, we bring solutions to our local businesses, be it site selection assistance, funding options, or talent acquisition.

- **SUPPORTING TALENT & WORKFORCE ATTRACTION AND RETENTION INITIATIVES**

Talent plays an increasingly critical role in company decision-making. Talent Upload has been a model for entry-level workforce attraction, but that model needs updating. Under Amy Andersen's leadership, the Partnership is refreshing Talent Upload to meet today's workforce attraction needs. The new program will include a Fox Cities Days component where our businesses and the Partnership recruit talented students on college campuses before bringing them to the Fox Cities. The Regional Partnership also supports K-12 initiatives and the Fox Cities Chamber's PULSE Young Professionals network. Events like Bazaar After Dark, an open-air night market, and the Young Professionals Week provide unique experiences for existing talent to engage within our community.

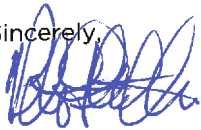
- **ENHANCING THE VISIBILITY OF THE FOX CITIES**

The Partnership continues to make contacts with site selectors and developers, ensuring that the Fox Cities remain on the radar for expansion projects. Another new initiative in 2019 is the Partnership's foray into Foreign Direct Investment (FDI). Every passing year the world becomes smaller. We are working with a partner in Berlin, Germany, to identify European-based businesses looking for a North American presence, thereby expanding our attraction targets.

An economy is a dynamic force. We know that in order to be considered a world-class community attractive to business and workforce alike, it is imperative that we grow and attract the type of jobs needed to prosper now and in the future. We also know that we cannot do the job of economic development alone. Our efforts require collaboration between business, government, education and non-profits.

The Chamber and the Partnership appreciate your financial support, but also we are asking for your involvement on committees and your participation in our events which help build our local economy. Your time is just as precious as your financial assistance. We thank you for your vision in providing the resources to move this region forward, and pledge that we will continue to do all we can to assure our mutual success.

Sincerely,



Peter Thillman, Vice President  
Fox Cities Regional Partnership





## Town of Greenville

### FINDINGS FROM DISCOVERY MEETING:

1. The Town's Primary focus is on business retention.
2. The Town is platting residential neighborhoods and continues to show solid residential growth potential.
3. The Town may benefit from attraction efforts to support the increased residential growth in the community
4. The Town has "certain" issues with development around ATW.
5. The Town may have issues moving forward with WDNR regarding isolated wetland designations.
6. The Town is working through the process of incorporation.

### Fox Cities Chamber recommends Prestige level at \$5,000:

#### ACCESS BENEFITS

- Access to an economic development team that helps employers locate to and expand within the Fox Cities.
  - Attraction efforts that support the residential growth and increase the town tax base.
  - Target market for hotel development and Foreign Direct Investment in and around ATW
  - Market opportunity for the TIDs as business expansion areas.
- Exclusive access to key information on legislation and public policies affecting business.
  - Potential changes to TIF law and the impacts on Pay-Go TIFs
  - Administrative rule vigilance especially related to wetland delineation
  - Dark Store legislation monitoring
- Access to a Chamber staff advocating on your behalf for local, state and federal pro-business issues.
  - Registered lobbyist on staff
- Access to participate in workforce development initiatives.
- Discounts available to Fox Cities Chamber members through our Member Advantage program (*including exclusive access to the FCC...*).
- Use of the Chamber's conference rooms and meeting spaces (*Subject to usage policies – the Fox Cities Chamber does not endorse the sale of products*).
- All employees in one business location hold membership status.
- Access to complimentary e-newsletters for all registered employees.
- Complimentary subscription for your organization to The Business News (est. value \$26/annually).
- Complimentary subscription to Fox Cities Chamber BUSiNESS magazine.
- Access to free certificates of origin. (4 annually).
- Access to notary services (no limit).

#### MARKETING BENEFITS

- Name recognition at Business Breakfast Bytes, Lunch n Learns, Public Policy, task forces/committees.



- Opportunity to submit editorials in Fox Cities Chamber BUSiNESS magazine. (*Subject to availability and approval.*)
- Enhanced online directory listing for up to UNLIMITED businesses/locations under the same ownership.
- Opportunity for inclusion in social media and website postings.
- Opportunity to show membership through Chamber window decal and digital logo placement on website/social media.
- Chamber-assisted ribbon cutting ceremony for milestone events (one event annually).
- Company recognition/ability to display business materials in Chamber lobby.
- Access to affordable advertising rates in digital communications and Chamber BUSiNESS magazine.
- Access to online job board postings on Chamber website.

#### ENGAGEMENT BENEFITS

- Access to multiple networking opportunities.
- Opportunity for involvement in Chamber committees.
- Access to participate in young professional initiatives through our PULSE Young Professionals Network.

#### EDUCATIONAL BENEFITS

- Access to monthly Business Breakfast Bytes educational sessions.
- Discounted member pricing for Leadership Fox Cities program (*Subject to standard application process/acceptance*).
- Discounted member rates for select workshops and seminars in partnership with Fox Valley Technical College.
- Access to obtain one active member list in Excel format per membership year.
- Complimentary Member 411 advertising: 3 ads per membership year (\$150 value).
- One written “Member Spotlight” feature per membership year (*Subject to availability and space permitting*) **or** the opportunity to upgrade “Member Spotlight” feature as a 60-second video feature (one per membership year) (est. value = about \$500).
- Ability to post Member-to-Member Deals on Chamber website.
- Ability for licensed brokers to sell applicable offering from FCC.
- Access to discounted rate for Executive Roundtables program (Subject to standard application process).
- Access to complimentary event tickets = 2 tickets to each of the following:
  - Pinnacle Awards Gala
  - Business Awards Luncheon
  - Future 15 Young Professionals Awards
  - Invitation to exclusive annual premier leaders’ event
  - Economic Outlook Lunch
  - Guests must register within 30 days of each event (est. Value = \$630)



MEETING: Town Board

AGENDA ITEM #: 9.f

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial.



*"Town of Greenville"*

## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Joel Gregozeski  
**Date:** April 22, 2019  
**RE:** Proclamation RU4-15 Supporting the Reconstruction of the State Highway 15 Bypass Project

---

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial.

**BACKGROUND & SUMMARY:**

On April 15, 2019 the Village of Hortonville hosted a news conference for the purposes of displaying public support toward the Governor's biennial budget proposal and the inclusion of the STH 15 bypass project. The Village drafted the attached proclamation seeking support from all municipalities impacted by the project. Chairperson Anderson, Public Works Director Rickert and I attended the conference and indicated we'd bring this proclamation to the full Town Board for consideration.

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

N/A

**FISCAL IMPACT:**

N/A

###

**Attachments:**

[Proclamation RU4 - 15 - Keeping Highway 15 Bypass Project on Schedule.pdf](#)



## Proclamation RU4-15

### A PROCLAMATION IN FAVOR OF KEEPING THE HIGHWAY 15 BYPASS PROJECT ON SCHEDULE

WHEREAS, WIS 15 is a busy commuter route and that commuter traffic flows through Cities, Towns, and Villages of the Fox West Region; and

WHEREAS, WIS 15 has insufficiencies in roadway structure and design that, along with the heavy load of commuter traffic, creates an increased number of safety issues; and

WHEREAS, multiple accidents through-out the region has caused an alarming amount of injuries and fatalities to occur; and

WHEREAS, the Highway 15 Bypass project will address these safety issues and enhance vehicle travel through the region; and

WHEREAS, the Wisconsin Department of Transportation (WisDOT) has completed their studies and preliminary engineering and has purchased many properties along the proposed route in preparation for the start of the Highway 15 Bypass construction; and

WHEREAS, delay of the Highway 15 Bypass project once again will continue to have a negative effect on safety, planning, and economic development for the cities, towns, and villages affected; and

WHEREAS, This project is non-partisan in manner, and that Governor Tony Evers the 46<sup>th</sup> Governor of the Great State of Wisconsin has declared this project as **major** in nature in the 2019 – 2021 biennium budget; and

WHEREAS, the Wisconsin Department of Transportation (WisDOT) has supported the Governor and has named this project STH 76 – New London on its Major Projects Expenditure Schedule dated February 2019; and

WHEREAS, the officials present in this room representing multiple Counties of Wisconsin, law enforcement agencies, Emergency Medical contractors, local Villages, Cities, Townships, as well as planning consortiums and transportation companies, all want to see this project remain on schedule and come to fruition for the benefit of its users;

NOW THEREFORE BE IT RESOLVED that this assembly of officials support the WIS 15 Expansion Project as proposed by WisDOT and supports the beginning of construction on schedule in 2021.

BE IT FURTHER RESOLVED that a copy of this proclamation shall be forwarded to Governor Evers, Representatives in the State Legislature as well as the Wisconsin Department of Transportation WisDOT Officials.



IN WITNESS WHEREOF, The following officials have come together as an act of unification to declare their support for Project ID# 1146-75-00 commonly known as the STH 15 Reconstruction Project.  
Signed this date 4-15-2019:

**Name**

# Title

**Signature**

[illegible][illegible]



# MAJOR PROJECTS EXPENDITURE SCHEDULE

Data from February 2019 TPC Report

Region	Hwy	Project Name	Enum	2019	2020	2021	2022	2023	2024	2025	2026
NE	10/441	CTH CB - Oneida St.	2011								
NE	15	STH 76 - New London	2011								
SW	18/151	Verona Rd.	2011								
NE	23	STH 67 - USH 41	1999								
SW	39/90	US 12 - Illinois SL	2011								
SE	50	I 94 - 43rd Avenue	2014								
SW	53	La Crosse Corridor	1997								

Planned Expenditures



MEETING: Town Board

AGENDA ITEM #: 9.g

DATE: April 22, 2019

ACTION TYPE: This item is for possible Town Board Approval/Denial

*"Town of Greenville"*



## AGENDA MEMORANDUM

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**To:** Honorable Town Chairperson and Town Supervisors  
**From:** Wendy Helgeson  
**Date:** April 22, 2019  
**RE:** Operator's License Application Fee

---

**ACTION TYPE:**

This item is for possible Town Board Approval/Denial

**BACKGROUND & SUMMARY:**

In an attempt to streamline and facilitate a restructuring of our Operator Licensing, a report related to license fees and schedules is included and the following information provided to the Town Board:

1. Attachment including current fees and scheduling
2. Attachment of proposed license fees and scheduling

**STAFF RECOMMENDATION:**

**POLICY/PLAN REFERENCE(S):**

1. The Town of Greenville Fee Schedule as per Resolution #79-18 – Resolution Amending Fees and Licenses Schedule

**FISCAL IMPACT:**

Is there a fiscal impact? Yes, \$35.00 per first time applicant; \$25.00 per renewal applicant  
Is it currently planned? No, FY19-20 starting July 1, 2019 (state licensing period)

###



MEETING:	Town Board	AGENDA ITEM #:	9.g
DATE:	April 22, 2019	ACTION TYPE:	This item is for possible Town Board Approval/Denial

**Attachments:**

[TB - Fox Valley Area Operator License Fees and Schedule.docx](#)

[TB - Comparison Evidence and Proposal.docx](#)



## Fox Valley Area Operator License Fees and Schedule

Name	1 year	2 year	Application Fee	Provisional
Sparta	N/A	60	15	15
Appleton	60	N/A	7	15
Kaukauna	50	N/A	N/A	15
Grand Chute	85.00 New or 70.00 Renewal	N/A	N/A	15
Neenah	60	N/A	N/A	15
Little Chute	32	50	N/A	15
Greenville	25	N/A	N/A	5

1. Communities of the Fox Valley and surrounding areas regulate their pricing based on approved local Resolutions.
2. The option of one or two year licensing is up to each community.
3. Operator license terms begin on July 1<sup>st</sup> and terminate on June 30<sup>th</sup> pursuant to State Statute Sections 125.32(2) and 125.68(2).
4. Provisional License are available to Operators who would like to work prior to the background check completion and Board approval, and is valid for 60 days. If a Provisional License is desired it may only be purchased at the time of applying for an Operator's License.



## Comparison Evidence and Proposal

		Total Fees	
Name	New	Renewal	Timeframe
Sparta	90	75	Renewed Every Other Year
Appleton	82	67	Renewed Every Year
Kaukauna	65	50	Renewed Every Year
Grand Chute	100	70	Renewed Every Year
Neenah	75	60	Renewed Every Year
Little Chute	47/1 year or 65/2 year	32/1 year or 50/2 year	Operator Choice
Greenville	30	25	Renewed Every Year

Currently, communities in the Fox Valley and surrounding areas average \$69.00 for new Operator License applicants and \$59.00 for Operator License renewals. These amounts are significantly higher than the current cost in Greenville of \$30.00 for new applicants and \$25.00 for renewal applicants. With increased costs and wages along with an enhanced approval process, raising the licensing cost would ensure an alignment to our cost of providing such license. The Clerk's office ensures all paperwork is completed; copies are made of the applicant's photo ID and license to serve, background checks performed, and in questionable cases, forwarded on to police for further review. Information is then sent to the Town Board for approval or denial, and licenses are then processed and distributed through the mail. Although the increase may seem significant, it is still very much in line with current costs of other nearby communities and less than the yearly average of those communities.

The recommendation to consider is to increase the Provisional Operator License cost to \$15.00, and increase the yearly Operator License cost to \$50.00. There would only ever be a onetime charge for the Provisional Operator License at the initial point of purchase of the Operator License (first time applicants).