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April 7, 2021

VIA EMAIL & FEDERAL EXPRESS

Chair Gramkow and
Members of the Planning Board
429 Warren Street
Hudson, New York 12534
C/O Craig Haigh, Code Enforcement Officer

***Re: Supplemental Site Plan Submission – Galvan Initiatives Foundation
Property: 65-75 N. 7th Street, 602 Washington Street & 708 State Street***

Dear Chair Gramkow and Members of the Planning Board:

This firm represents Galvan Initiatives Foundation (“Galvan”), the owner of property located at 65-75 N. 7th Street, 602 Washington Street and 708 State Street, in the City of Hudson New York (tax IDs: 110.53-2-4, 110.53-2-3, 110.53-2-2, 110.9-1-54 and 110.9-1-66.1) (the “Project Site”). This letter is submitted to provide the City of Hudson Planning Board with supplemental information related to Galvan’s proposed mixed use project referred to as the Hudson Depot District (the “Project”). This submission includes responses to public comments received (Exhibit A) and specific information related to the proposed off-street parking area to be located on property located at 602 Washington Street (the “Washington Parking Area”).

As discussed at the March 2021 Planning Board meeting, Galvan now controls property located at 602 Washington Street in the City of Hudson, which is nearby to the Project Site. The Washington Parking Area is currently improved with a motor vehicle repair shop and accessory automobile storage. See Exhibit B [Aerial Photo]. Galvan proposes to clean up the parcel and install 40 additional off-street parking spaces. The Washington Parking Area is within walking distance to the Project Site and will be developed with appropriate lighting. As you can see from the aerial image, the proposed parking spaces are in the area where vehicles are currently stored for the automobile service use.

In furtherance of this project change, we have submitted a revised State Environmental Quality Review Act (“SEQRA”) Environmental Assessment Form (“EAF”) that includes an assessment of these new parking spaces. *See* Exhibit C [Revised SEQRA EAF]. We have also included a revised set of site plans, which includes the proposed improvements to the Washington Parking Area. *See* Exhibit D [Site Plans].

We thank you for your continued attention to this matter. In further support of this application, we respectfully submit 10 copies of the instant letter with the following enclosures:

Exhibit A: Response to Public Comments;
Exhibit B: Aerial Image of the Washington Parking Area;
Exhibit C: Revised SEQRA EAF; and
Exhibit D: Revised Project Site Plans, prepared by Taconic Engineering DPC.

We look forward to presenting at the Planning Board’s April 2021 meeting. Please do not hesitate to contact me with any questions or concerns at (518) 487-7612 or cgottlieb@woh.com.

Very Truly Yours,

/s/ *Charles J. Gottlieb*

Charles J. Gottlieb

cc: Craig Haigh, City of Hudson Code Enforcement Officer
Victoria Polidoro, Esq., City of Hudson Planning Board Attorney
Cheryl Roberts, Esq., City of Hudson Corporation Counsel
Chad A. Lindberg, P.E., Taconic Engineering DPC
Walter Chatham, FAAR, LEED AP
Daniel Hubbell, Esq., Whiteman, Osterman & Hanna, LLP
Galvan Initiatives Foundation

Exhibit A

Hudson Depot District Response to Public Comments (March 9, 2021 Public Hearing)

The below are responses to public comments received at the City of Hudson Planning Board's March 9, 2021 public hearing related to the Hudson Depot District project, proposed by the Galvan Initiative Foundation ("Galvan"). The below also includes responses to written comments that have been received to date. We have summarized the comments obtained and have omitted repetitive comments. Please note that these comments only address those members of the public that questioned the Project.

COMMENTS RELATED TO THE PROPOSED PAYMENT IN LIEU OF TAXES ("PILOT") AGREEMENT

- 1) What are the benefits being sought by the City of Hudson Industrial Development Agency ("IDA") and under what authority? Can the benefits be provided even with a majority of the units being market rate?**

RESPONSE: Galvan Foundation is seeking a PILOT agreement from the City of Hudson IDA which reduces property, mortgage recording, and sales taxes. The City of Hudson IDA published the enclosed criteria for awarding PILOT agreements, all of which are advanced by the Depot District project. The project creates jobs, invests private capital, benefits taxpayers by increasing the local tax base, strengthens local industry, revitalizes a distressed area, and serves the needs of residents by creating urgently needed mixed income housing. The Project, as designed, is eligible for IDA benefits.

The City of Hudson IDA is the sole permitting agency related to the IDA benefits/PILOT agreement. The City of Hudson Planning Board is reviewing the proposed site plan application pursuant to its jurisdiction under City of Hudson Zoning Code ("Zoning Code") Section 325-35. In making its determination, the Planning Board shall only review the criteria set forth in Zoning Code 325-25(H)(2), which does not include a consideration of IDA benefits.

That said, the Planning Board does have information already in the record related to the economics of the Project that are relevant for purposes of evaluating impacts under the New York State Environmental Quality Review Act ("SEQRA"). See Galvan, February 5, 2021 Planning Board Submission.

COMMENTS RELATED TO THE PROPOSED DEVELOPMENT

- 2) Why are there so many one-bedroom units?**

RESPONSE: Across the two buildings, 54% of the units are one-bedroom. This is consistent with market demand studies showing that 54% of projected household rental demand is for one-bedroom units. Galvan previously increased the number of three-bedroom units following input from elected officials and community members. The Project is designed to serve the City's needs

for housing, as such, the Project has been designed in accordance with market studies and reflects the type of development most needed in an urban environment.

3) What are the breakdown of units and bedroom counts for affordable units and how was that determined?

RESPONSE: Please see the following chart showing the unit and bedroom counts for affordable units. This mixed-income model was developed in response to the Hudson Strategic Housing Action plan, and through consultation with elected officials and community members. As a result of community input calling for deeper affordability, we included a focus on 40% and 50% AMI units. As a result of community input calling for different unit types, we removed studio units and replaced them with three-bedroom units.

	Number of	Number of		Maximum
Income Tier	Bedrooms	Units	Rent	Income
	1	8	\$580	\$24,420
40% of AMI	2	6	\$695	\$29,280
	3	3	\$804	\$33,840
	1	8	\$724	\$30,525
50% of AMI	2	6	\$869	\$36,600
	3	3	\$1,004	\$42,300
	1	10	\$869	\$48,840
80% of AMI	2	8	\$1,043	\$58,560
	3	2	\$1,205	\$67,680

4) Is it possible to include additional affordable units in the Project?

RESPONSE: As noted above, this Project is designed to include a mix of incomes and housing types as called for in Hudson's Strategic Housing Action Plan. One of the project goals is to create affordable housing options in Hudson that are located in areas where a majority of units are market-rate housing. Currently in Hudson, the majority of affordable housing is segregated in areas with a high concentration of affordable housing and households living below the poverty line. We do not plan to increase the number of affordable units, because doing so would disrupt this model.

5) Commenter called into question the method by which Galvan dealing with the City's affordable housing crisis. What is the plan with the properties that Galvan already owns? The lack of development by Galvan is resulting in the affordable housing crisis.

RESPONSE: Galvan is the only nonprofit affordable rental housing developer in Hudson, and the only organization to create affordable rental housing in Hudson over the last decade. Galvan has

completed construction on 39 buildings in Hudson, creating and preserving 225 units of housing. Since 2018, Galvan has completed construction on 9 residential buildings, creating 24 units of housing, 19 of which are voluntarily rented at affordable rents. In total, 95% of Galvan's residential rentals are leased at rents affordable for low to moderate income households. In addition to our success as an affordable housing developer, Galvan is promoting housing affordability through various initiatives:

- Donating over \$750,000 to a local nonprofit organization to preserve 143 units of existing affordable housing in Hudson.
- Operating a foreclosure prevention program, funded by New York State, preventing 15 foreclosures every year.
- Operating a Home Improvement Program providing \$200,000 per year to low and moderate income homeowners to make essential home repairs.
- Developing Galvan Civic Motel, a 24-room motel which serves as the only high quality, supportive emergency housing solution in Columbia County.

In addition, Galvan seeks to address the housing affordability crises by supporting education and economic opportunity in Hudson, including the following:

- Donating over \$3,000,000 to local nonprofits, including seed funding for the creation of Bard Early College Hudson and the Bridge Alternative Education Program.
- Creating a new, state-of-the-art home for Hudson Area Library in Galvan Armory, along with Hudson Senior Center, COARC's The Starting Place Day Care Center, and Perfect Ten Afterschool Program.
- Providing \$100,000 of grants and technical support to minority and women owned businesses this summer.
- Creating Galvan Graduation Program, a partnership with Columbia Green Community College providing over \$50,000 of annual scholarships and academic support to economically disadvantaged students.

6) Commenter questioned Galvan's transparency with regard to the project.

RESPONSE: All correspondences between the Planning Board and Galvan have been properly submitted and are posted on the website. Originally, in August of 2020, Galvan only proposed the building on the west side of 7th Street and did not include the plans for the additional housing building on the east side of 7th Street (known as the State Street Lot). This was because development plans for the State Street Lot were not yet mature for purposes of seeking approval. However, in December 2020, Galvan submitted the entire Depot District application to the Planning Board, allowing the Planning Board to see the vision for this area of the City in its entirety.

COMMENTS RELATED TO PARKING

- 7) **The Common Council removed the parking requirement by the 2019 local law while knowing that the parking would still be under scrutiny by the Planning Board as part of the approval and SEQRA process.**

RESPONSE: Comment noted. Galvan has supplied the Planning Board with parking studies that demonstrate that the proposed off-street parking, coupled with available on-street parking and municipal parking, will not result in a significant adverse impact. We will continue to work with the Planning Board's traffic/parking consultant to confirm these findings.

- 8) **This is a very dense and large development in a corner of the city that is a much less dense area. Planning Board needs to examine the parking study so the community can have the kind of development that is going to benefit in the long term.**

RESPONSE: See comment response #8 above. In addition, we submit that the project site is currently improved with single family residences and a vacant warehouse. The proposed development, as designed by the project architect, is of an appropriate mass and scale for this area of the City. This is supported by the architectural renderings and cross sections currently in the Planning Board record. We have submitted documentation for the record that demonstrates that the existing City infrastructure, school system and parking can handle the proposed density. Further, any reduction in the proposed number of dwelling units would not serve the housing needs of the City.

- 9) **Commenter concerned with the redevelopment of the former pocketbook factory (6th and Washington) and what the combined effect that that development and the Depot District will have on parking.**

RESPONSE: The pocketbook factory property and development is not under control or proposed by Galvan. We understand that the pocketbook factory is still in the planning phase. Galvan cannot, and is not required to, evaluate potential impacts from a project that is merely conceptual without any plans for development being before an approving agency. However, related to off-street parking, Galvan has now proposed additional off-street parking spaces at the northwestern corner of 6th Street and Washington. This additional parking lot is owned by Galvan and will not be impacted by any proposed future development.

The property owner of this parcel will have to conduct their own assessment in the area and identify impacts associated with their project and potential mitigation measures. This assessment will be required to consider built, approved or pending projects at the time it is presented to the Planning Board.

- 10) Commenter concerned with the effects that proposed restaurants/breweries/retail in the Depot District and surrounding area will have on parking. This includes the nine (9) retail spaces proposed to be included in the Depot District. These businesses will be open late at night and believes parking will be inadequate to support customers.**

RESPONSE: The parking assessment focused on peak demand of the residential component of the site which will occur during the middle of the night (between 10:00 p.m. and 4:00 a.m.) when the majority of residents return home after work. A review of *Parking Generation* published by the Institute of Transportation Engineers (ITE) indicates that parking demand between 5:00 and 9:00 p.m. drops to approximately 70% for multi-family residential uses which indicates that the site will not require as much on-street parking when local commercial uses such as restaurants and retail stores are still in operation. It is also noted that other local residential uses do not require as much on-street parking prior to peak overnight demand periods. This suggests that the parking supply earlier in the day will be greater than the peak overnight residential time period. In addition, the local restaurants, breweries, and retail uses generally support local community residents that will have an option to walk to these establishments which would minimize parking demand.

- 11) Commenter concerned with references to utilizing Columbia Street Municipal Lot. Says that because it is a metered lot, it is unrealistic that any residents will use it.**

RESPONSE: As noted in the Supplemental Parking Assessment letter dated March 3, 2021, City of Hudson parking meters are free on weekends and nights (between 5:00 p.m. and 9:00 a.m.); therefore, the use of the municipal lot on Columbia Street is a realistic overnight parking option for residents of the site. It is noted that the material prepared by Creighton Manning is being reviewed independently by a planning firm hired by the City of Hudson.

- 12) Commenter conducted his own parking study and found significantly less available spaces.**

RESPONSE: Comment noted. We understand that the Planning Board is hiring an independent planning firm to evaluate Galvan's parking study and related data.

- 13) Commenter stated that that Galvan did not take into account alternate spacing.**

RESPONSE: The Supplemental Parking Assessment letter dated March 3, 2021 did take into account alternate side parking. A supplemental parking assessment was conducted in February and March 2021.

- 14) Commenter would like to see the parking study include more vehicles. Says that 138 cars for the development is a minimum.**

RESPONSE: The *Supplemental Parking Assessment* letter dated March 3, 2021 used standard industry rates from *Parking Generation* published by ITE in order to determine that the site will require approximately 134 parking spaces overnight. The rates are based on 100% occupancy of

the units and an 85th percentile peak period parking demand rate which is not a “minimum” amount of parking needed for the development. Note that observed parking rates for existing affordable housing units located within the City of Hudson at *Bliss Towers* suggests that the parking demand proposed for the site is conservative.

MARCH 1, 2021 NYS HOMES AND COMMUNITY RENEWAL (“NYSHCR”) CORRESPONDENCE

- 15) The project sponsor would be required to submit a copy of a final impact determination letter from the NYS Office of Parks, Recreation and Historic Preservation (OPRHP). A final determination letter for the 7th Street sites found an “adverse effect” and the application would need to complete a Letter of Resolution or Memorandum of Agreement with HCR prior to clearance (20PR04826). It does not appear that the 708 State Street site was included in OPRHP’s determination.**

RESPONSE: Comment noted. As set forth in Galvan’s February 5, 2021 correspondence to the Planning Board, on January 21, 2021, SHPO made the following supplemental determination:

Based on this review, it is our opinion that sufficient efforts have been made to explore alternatives to the proposed demolition and that, given the programmatic needs of the project, preservation of 65-67 North 7th Street may not be feasible. In addition, design features of the proposed new construction along with adjacent projects from the same developer may reduce the overall impacts to the surrounding historic district.

We continue to work with SHPO for the preparation of a formal Memorandum of Agreement ("MOA") prior to any demolition and will coordinate review with NYSHCR.

- 16) The project sponsor would be required to submit copies of a SPDES General Stormwater Permit if the project would disturb one or more acres.**

RESPONSE: Comment noted. This will be sought from the New York State Department of Environmental Conservation subsequent the Planning Board completing SEQRA.

- 17) The project sponsor would be required to submit a copy of a Phase I Environmental Assessment report which must meet, at a minimum, the American Society for Testing and Materials standard for site assessment and include a Vapor Encroachment Screen. Any Recognized Environmental Conditions or environmental concerns would need to be resolved per HCR RFP requirements.**

RESPONSE: Comment noted.

- 18) The project sponsor would be required to submit a copy of all floodplain and wetland permits.**

RESPONSE: Comment noted. The project site is not within any floodplains.

19) The project sponsor would be required to submit evidence to support compliance with the NYS Smart Growth Public Infrastructure Policy Act.

RESPONSE: Comment noted. The Depot District project is well-aligned with the Smart Growth principals identified in the Smart Growth Public Infrastructure Policy Act, as a mixed-use, mixed-income development located in a municipal center. Galvan will submit evidence as required in the NYSHCR financing application.

20) The project sponsor would be required to submit a site suitability analysis per HCR requirements. The rail study included in the EAF documents appears to satisfy the rail portion of HCR's site suitability analysis. The remaining portions would need to be completed as part of an application for HCR funding.

RESPONSE: Comment noted. The Depot District meets NYSHCR Site Suitability Requirements and will submit documentation as required in the application for NYSHCR funding.

WRITTEN PUBLIC COMMENTS: This section will address comments not previously addressed and will only be responsive to questions and concerns related to the Project:

21) January 25, 2021 Email: Another thing to consider regarding Galvan's parking study, and to maybe ask them about: In addition to the 2 apartment buildings, they are hoping to have a brewery at that corner without a parking lot associated with it. A business that will, presumably, not close its doors before midnight on the weekends. Where will their patrons park their cars late into the night? On State Street and on 7th street, both streets which are inside the impact zone/study area/parking sphere for the apartment buildings. Where has Galvan taken this into consideration regarding parking impacts on the neighborhood - how many cars will arrive, say, on a Saturday night? Will they tell you that they HOPE to be allowed to have brewery patrons park in the nearby large Hudson Centre parking lot? Will you accept that as a sufficient answer? Or have they done nothing about this and just hope things work out okay? And would you be okay with that?

RESPONSE: See comment response #10.

22) January 25, 2021 Email: Then, of course, there is the impact of the several thriving retail stores at the street level of the project to consider. Where are those customers going to park? How many parking spaces for them will there be on 7th street north of State? Will there be any guaranteed parking for them or will they have to search the impact zone for a space? Will any of those shops be open late at night? Did Galvan factor this in to the parking study, that is, how many more cars beyond the tenants' cars will need parking spaces?

RESPONSE: As noted in the parking assessment for the project, it is not anticipated that the retail space associated with the project will require late night parking when demand for the residential uses associated with the site is at a maximum. As noted above, the local restaurants, breweries, and retail uses generally support local community residents that will have an option to walk to these establishments which would minimize parking demand during the day.

- 23) January 26, 2021 Email:** Galvan doesn't seem to indicate what, if anything, they will be doing with the remains of 620 State. Will it be made into a vacant site without any barriers to it? Or will it remain as is for all their new tenants to admire for years and years to come? Goodness gracious, I do hope so! Don't you? I mean, why would they bother doing anything with it any time soon if they've left it there for years in violation of the City of Hudson code from day one? If the city code enforcement office has no ability to enforce the code, why wouldn't Galvan just continue to do what they've done for all these years trying to improve the lives of all Hudson residents?

RESPONSE: 620 State is referenced in our initial application package as a site for potential future development. However, no such development is planned at this time and there is not timeline for development of this parcel. We have referenced the potential to be transparent, even though no concrete plans exist and therefore it cannot be evaluated at this time. The existing barriers are a required safety measure which will remain in place through construction, after which we will either develop the lot or install decorative safety fencing.

- 24) February 16, 2021 Email:** Just because peak demand for parking spaces is in the evening doesn't mean you look for spaces when they are only available at night. Those same spaces need to be available in the daytime as well, when the demand is not as great as at night. A parking lot that is used during the day for employees and customers, such as City Centre's, should not be considered. It's just not going to work. Don't waste your time talking or thinking about it or having Galvan do the same -- it's a waste of time!

RESPONSE: Mid-day parking demand for residential uses (like many of the other local residential homes) is much lower during normal business hours (closer to 50%); therefore, on-street parking supply is greater during this time period and does not represent worst-case conditions.

- 25) February 16, 2021 Email:** And the municipal lot on Columbia is similarly not worthy of consideration or discussion. There are parking meters there -- who the heck is going to park their car there at night and run over to fill the meter with quarters in the morning? Galvan expects its new tenants and residents like myself to do that? NO WAY! Not going to happen. But even if Galvan gets a few spaces in the lot from the city, who the heck wants to park that far away from their abode? What developer approaches a development like that? A developer that is not doing things correctly, just trying to push things through and hope no one checks their work. And they are wasting your time doing it.

RESPONSE: As noted in the Supplemental Parking Assessment letter dated March 3, 2021, City of Hudson parking meters are free on weekends and nights (between 5:00 p.m. and 9:00 a.m.); therefore, the use of the municipal lot on Columbia Street is a realistic parking option for residents of the site. Residents will generally leave for work prior to 9:00 a.m. on a typical weekday and would not need to feed the parking meter. It takes approximately three minutes and 45 seconds to walk from the site to the municipal lot on Columbia Street. This is a reasonable walking distance/time that residents will be aware of when deciding to rent an apartment at the proposed development.

- 26) **February 16, 2021 Email:** Galvan wants to house people? Fine -- build an apartment building on one side of 7th and a parking lot on the other. Anything else is just untenable, and a waste of time. They are grasping at straws looking here and there for parking -- they need close to 200 parking spaces if you include the brewery and the new retail. And now they talk of doing a "more robust parking study?" They looked around (actually, I did) and there are hardly any parking spaces available on a consistent basis in the neighborhood. What else do they need to know? That there are 4 spaces available some nights on 5th street near the Armory? What spaces are going to suddenly and magically appear that aren't a half mile or more from 7th and State?

RESPONSE: The *Supplemental Parking Assessment* letter dated March 3, 2021 indicates that adequate parking is provided in the project area. The Applicant has also secured an off-site parking area that will be able to accommodate an additional 40 parking spaces which will minimize on-street parking demand from the site.

- 27) **February 25, 2021 Email:** Those of us who have lived in Hudson for a while have seen some rather sneaky behavior by Galvan. Their idea to name the 7th Street area the DEPOT DISTRICT is another one of their efforts to cajole. I request that you reject using that term and maybe have them erase it from their plans. Who said they could name a neighborhood because they own so much of the property in it (but certainly not all the properties)? I'm no psychologist, but it seems like It's psychological manipulation to me. Galvan names a neighborhood and it becomes theirs. Now they have the upper hand. If I agree with them and call it the DEPOT DISTRICT or listen to them repeat it over and over verbally, or read it over and over, my brain accepts that this is Galvan's neighborhood, not a city neighborhood, not even my neighborhood. Galvan wants this and that in THEIR NEIGHBORHOOD, of course they should get it. This may not be my entire brain thinking this way, but just enough to keep the scales tipped in their favor. Ask Galvan if they have ever named a neighborhood elsewhere where they own property, and why they did it here in Hudson. Do they have plans to name any other portions of the city? Did they ask the mayor (or anyone in City Hall, or any residents...) if they could name a neighborhood? Who, if anyone, gave them permission to do so?

RESPONSE: Comment noted. Galvan chose to name this development the Depot District to highlight the historic Upper Hudson Depot building, which Galvan is currently restoring to create space for a brewery. The area surrounding the Depot Building was historically used for purposes related to the Depot.

28) **March 10, 2021 Email:** If the board hires a traffic consultant, please have him or her keep in mind, in addition to the 2 large proposed apartment buildings, what Galvan's and other's plans are for the neighborhood around 7th and State. The big picture: Galvan says they are trying to create a "commercial district" here where no retail businesses or eateries currently exist. GALVAN recently purchased the old community tennis center at the corner of 7th and Columbia, though their plans for that enormous building are unknown. The Asian restaurant on 7th is moving one block north to a building presently being built (not, I believe, a Galvan project). Galvan will be offering 9 retail spaces at their development. And they are opening at least two restaurants/breweries in the neighborhood -- one at the old Depot building, and, as I read on Gossips, another one directly around the corner in their warehouse at 724 Columbia that was the old tire center. Have I missed anything? Some of these businesses will be open late at night, maybe very late. Where are all the driving customers for these business going to park? How will it affect residents in the neighborhood accustomed to parking no more than one block from their abodes, and some directly in front of their abodes, both day and night?

RESPONSE: Comment noted. We understand that the Planning Board will be evaluating Galvan's parking study and related data.

29) **March 10, 2021 Email:** The former pocketbook factory, at 6th & Washington, within a 5 minute walk of Galvan's planned development, has been purchased and though it appears that it will not be used as an apartment building, the building is huge and will be a mixed use development of sorts, I guess.... so still, it will require parking spaces, and not just a few. This is across the street from Galvan's newly purchased property to be used as a parking lot. Be sure your traffic engineer is aware of this.

RESPONSE: See comment response #9. The new owner of this parcel on Washington Street and 6th Street will need to provide the City of Hudson with a concept plan for a proposed development on this lot and will need to determine impacts associated with their project. It is not the responsibility of the *Depot District Mixed-Use* development to mitigate potential impacts associated with future unplanned projects.

30) **March 10, 2021 Email:** Also, CM engineering's new revised parking "study" is, once again, just garbage. Winter conditions have 400 fewer spaces? Have them explain that in practical terms. Their winter/non-winter conditions distinction is simply a ruse and designed to show they did a thorough, professional study. I saw just 19 available spaces one evening recently, so let's call that the worst case scenario (though, of course, it could be even worse than that) -- the season in which those spaces were found is completely immaterial. Until alternate side parking rules have been permanently removed from the entire neighborhood, 19 should be the number of available spaces that any study refers to as THE WORST CASE SCENARIO for this proposed mega-development and the standard by which we move forward. This "revised study" should be torn up on that omission alone. A "revised study" which now supposedly acknowledges alternate side parking rules, with no change in actual parking conditions on the street (besides maybe 40 new spaces in a planned lot two blocks from the development), and according to the CM engineer "we feel confident that there is adequate parking in the city for this development." This is STILL pure fantasy, and it is, once again, insulting.

RESPONSE: Comment noted.

31) **March 10, 2021 Email:** HERE IS THE MOST ABSURD PART OF THE "STUDY" : They have now added "metered spaces" to it ("free, metered, municipal lot") WHERE ARE THE METERED SPACES WITHIN A 5 MINUTE WALK OF MY HOUSE THAT I OR ANY OF MY NEIGHBORS MIGHT HAVE TO PARK OUR CARS IN OVERNIGHT OR ALL DAY OR FOR DAYS? WOULD THEY BE LOCATED ON WARREN STREET? HOW MANY ARE AVAILABLE IN A WORST CASE SCENARIO?

RESPONSE: The *Supplemental Parking Assessment* letter dated March 3, 2021 identifies the location and number of metered parking spaces located within a five minute walk to the site. As noted above, City of Hudson parking meters are free on weekends and nights (between 5:00 p.m. and 9:00 a.m.). The residents of the proposed development will need to move their car periodically if they use these spaces and plan on leaving their vehicle parked on a City street for multiple days.

32) **March 16, 2021 Email:** I performed another unsolicited survey of the available parking in my neighborhood, at 3 am Sunday night/Monday morning. Nothing has changed over here. I saw a total of 16 available on-street parking spaces. 6 of them were on Washington between Franklin and 5th, which is quite a hike from the proposed development. The rest of Washington had 1 space available, though there was a car illegally parked on the north side of Washington with a fresh ticket. That car SHOULD have been in the available spot. All of State Street from 5th to 7th? ONE SPACE AVAILABLE.

RESPONSE: Comment noted. We understand that the Planning Board's traffic/parking consultant will be evaluating Galvan's parking study and related data.

33) March 16, 2021 Email: I did not venture onto 7th Street north of State because a) I was tired and b) it's difficult to say what parking on that portion of the street will be like if the apartment buildings go up. Add a few spaces from there to my total if you like, I don't mind and it really doesn't make a difference in the big picture. Where Galvan and CM continue to see an adequate supply of parking for 150-plus new cars in my neighborhood, I still do not. Or is it just 110 additional cars if you factor in their planned 40 space lot on Washington? They are going to need a few more poorly located parking lots to get where we need them to be, wouldn't you agree?

RESPONSE: As noted above, the Supplemental Parking Assessment letter dated March 3, 2021 indicates that adequate parking is provided in the project area. The Applicant has also secured an off-site parking area that will be able to accommodate an additional 40 parking spaces that will minimize on-street parking demand for the site.

34) March 16, 2021 Email: I also did not include the Columbia Street municipal lot in my survey, and not because I was cold or tired, but because the notion of ANYONE having to regularly park their car there is absurd, especially anyone living two blocks or more away. Otherwise, I surveyed all the streets in Table 2 of CM's original parking study, which, of course, did not take alternate side parking rules into consideration. If you like, I can give you my data for all those streets.

RESPONSE: The Supplemental Parking Assessment letter dated March 3, 2021 indicates that adequate parking is provided in the project area which takes into account alternate side parking. In addition and as noted above, the use of the municipal lot on Columbia Street is considered a reasonable parking alternative.

End.

ATTACHMENT

Project Review Criteria

The following six criteria will be used to evaluate a project's contribution to Columbia County. Different projects will make different contributions, and a project does not have to demonstrate an impact on all six areas to merit a recommendation.

Project review criteria are listed below. Please check each criteria that you wish the CEDC to consider in its evaluation. For each, please attach a brief written description of how the project meets the criteria.¹ Note that some project criteria request specific estimates, for example of jobs created, capital invested, or the value of local purchases.

- ☐ Create or Retain Jobs
- ☐ Invest Private Capital in the County
- ☐ Generate a Positive Fiscal Impact
- ☐ Strengthen Existing Industries
- ☐ Revitalize a Distressed Area
- ☐ Serve the Needs of Residents

¹ Supporting documents may be attached but CEDC does not commit to reviewing them. A written description must be provided as a summary.

Create or Retain Jobs

A project creates new jobs, or include an investment to retain existing jobs, commensurate with the type of business.

Project characteristics that will be viewed favorably:

- Creation of new jobs.
- Hiring policies that seek to maximize employment of Columbia County residents, including for skilled and management positions.
- Plans to provide on-the-job training or to support employee efforts to learn new skills and increase education levels.
- Collaboration with or participation in education and training efforts in the County.
- Plans to monitor transportation, shifts/schedules, or other constraints experienced by workers in rural areas, for example by working with public transportation providers.
- Participation by local contractors and workers during project construction.
- Plans to monitor and to provide information to the community about the success of hiring, training, and collaboration efforts over time.

A “Job” means direct employment, not contract employment, and must be located within Columbia County. Jobs should be expressed as full-time equivalent (FTE). The project applicant should provide a brief description of the type of job, wage levels and benefits, and indicate whether the position is full- or part time, permanent or seasonal.

Invest Private Capital in the County

A project can make a meaningful capital investment in the County, and increase the value of a commercial property with new or improved buildings or equipment to support economic activity.

Project characteristics that will be viewed favorably:

- Demonstration of the financial resources to make the investment, repay any debt, and meet the financial requirements of any grant award.
- Investment in permanent structures, fixtures, and equipment.
- Identification of local sources for construction materials and project equipment.
- Plans to use local vendors for ongoing supply chain purchases.
- Increased value of the commercial tax base in the County.

CEDC expects the applicant to commit its own equity to the project, in addition to loans, grants, or other sources of funds. Sources of funds should be clearly adequate to cover the costs of the project. The amount of equity and overall capital mix is expected to vary according to the type of project, but all applicants will be asked to provide information that is clear and confirmable, and documentation, for example a commitment letter from a bank, may be requested.

Please provide current estimates of the expenses and capital plan. Sources of Funds should be sufficient to cover Uses (project costs.) A sample format is below. Not all projects will use all categories, and a separate table may be created and attached.

Sources of Funds

Owner Equity	\$ _____
Debt	\$ _____
Grant Funding (if any)	\$ _____
Other Funding (if any)	\$ _____
Total Sources of Funds	\$ _____

Uses of Funds

Site Work	\$ _____
Construction	\$ _____
Equipment and Fixtures	\$ _____
Other	\$ _____
Contingency (if any)	\$ _____
Engineering/ Professional	\$ _____
Financing	\$ _____
Working Capital	\$ _____
Total Uses of Funds (should not exceed Total Sources)	\$ _____

Generate a Positive Fiscal Impact

A project can demonstrate a measurable, positive impact on the County's fiscal performance through different means. For example it may generate new sales tax or real property tax revenue, or reduce or avoid expenses the County may currently incur on behalf of a property.

Project characteristics that will be viewed favorably:

- Applicant demonstrates an understanding of the public resources needed to support the project, for example school enrollment and human services for housing projects, public safety for retail businesses, or significant use of water and sewer.
- Project will decrease existing or anticipated County expenditures, for example by undertaking infrastructure improvements that would otherwise have been paid with public funds.
- Project returns a parcel that is currently tax-exempt to taxable status.
- Ongoing project operations will result in the purchase taxable goods and services in the County, generating sales tax revenue.

If project operations will result in additional sales tax revenue through the purchase of local goods and services, please provide estimates of the type of purchases anticipated, and the annual dollar amount.

Please list the current and *anticipated* new assessed value of the parcel(s).²

If activity at the property is anticipated to *increase* direct County expenditures for education, public safety, road maintenance, water, or sewer, please provide a brief narrative of the reasons for the increased expenditures and estimates of the amount of increased use.

Strengthen Existing Industries

A project may support existing industries or contribute to the creation of a cluster of skills and expertise in the County.

Project characteristics that will be viewed favorably:

- Provides a local source for goods or services that businesses are currently purchasing from outside the County.
- Provides a business or industrial service that is not readily available, or is not available in sufficient quantity in the County, for example services such as accounting, engineering, or facilities maintenance.
- Purchases local raw or semi-finished materials from County businesses or farms.
- Project will share resources with another local business to the benefit of both, such as coordinating shipping of supplies, produce, or finished products.
- Project supports the growth or creation of a cluster of skills and expertise in the County in a particular industry sector.

² This estimate is for review only and will not be used in determining the final assessed value.

Revitalize a Distressed Area

A project may have a major positive impact, regardless of size, when it is located in an area that is economically distressed or where there has been long-term disinvestment and under-investment.

Project characteristics that will be viewed favorably:

- Capital improvements enhance the external appearance of the property.
- Un- or under-utilized property is returned to productive use.
- Private investment is made to improve the surrounding area, such as sidewalk repair, disability access, or enhancements beyond the building footprint.
- A service is provided that will attract workers and visitors to a distressed area, who may then patronize other businesses in the area.
- Hiring and training policies are planned and will be maintained to support employment by the residents of a distressed area.

Serve the Needs of Residents

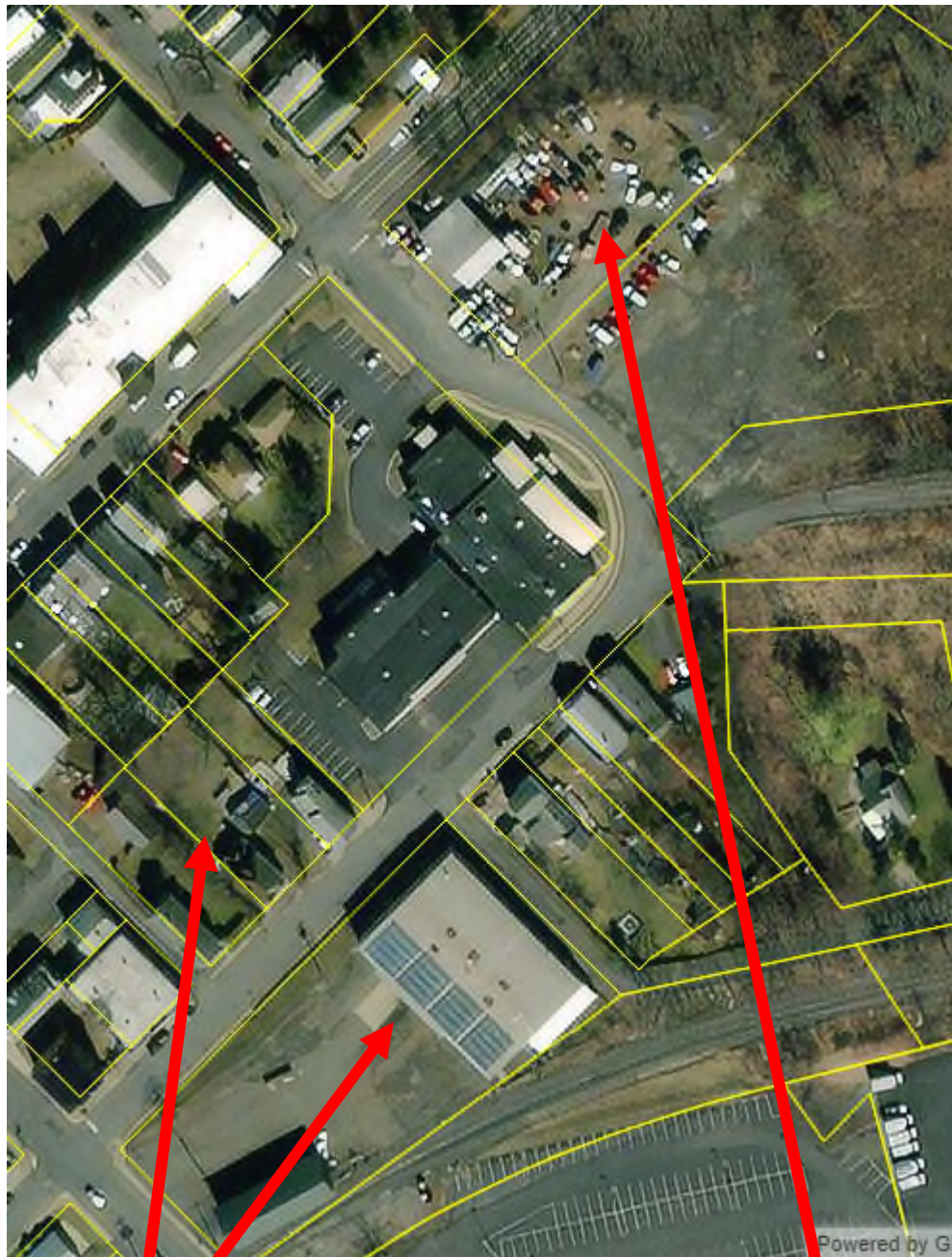
The project will provide goods or services not readily available to residents of the County.

Project characteristics that will be viewed favorably:

- Project increases access to critical needs such fresh food in an area underserved by existing grocery retail.
- Project co-locates with a related business or service to make it easier for residents to access both services, particularly for seniors, families, and disabled residents.
- Site design for the project corrects an existing problem with the property that affects surrounding parcels, for example relocating a driveway to improve safety.

Exhibit B

Aerial Image – 602 Washington Street



Project Site

Washington Parking Area

Exhibit C

Full Environmental Assessment Form
Part 1 - Project and Setting

Instructions for Completing Part 1

Part 1 is to be completed by the applicant or project sponsor. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

A. Project and Applicant/Sponsor Information.

Name of Action or Project: Hudson Depot District		
Project Location (describe, and attach a general location map): 65-75 N. 7th Street and 708 State Street (Tax IDs: 110.53-2-4, 110.53-2-3, 110.53-2-2, and 110.9-1-66.1); 602 Washington Street (Tax IDs: 110.-9-1-54)		
Brief Description of Proposed Action (include purpose or need): The proposed project includes two parcels, 65-75 N. 7th Street and 708 State Street. A residential/commercial building (14,593.21 sf) and a garage/maintenance building (462.49 sf) is proposed at 65-75 N. 7th Street with associated landscaping and utility connection to the City. The residential/commercial building will have five (5) commercial spaces available and seventy-five (75) residential units (mix of 1-3 bedroom units). A residential/commercial building (14,587.27 sf) is proposed at 708 State Street with associated landscaping, service drive, and utility connection to the City. This residential/commercial building will have five commercial spaces available and sixty-three (63) residential units (mix of 1-3 bedroom units). The proposed project also includes proposed parking area located at 602 Washington Street to serve the residential/commercial buildings at 65-75 N. 7th Street and 708 State Street. The proposed parking area will have forty (40) spaces in addition to the six (6) ADA spaces proposed at 708 State Street.		
Name of Applicant/Sponsor: Galvan Initiatives Foundation	Telephone: 917-449-5912	
	E-Mail: dkent@galvanfdn.org	
Address: 42 W. 39th Street, Floor 14		
City/PO: New York	State: NY	Zip Code: 10018
Project Contact (if not same as sponsor; give name and title/role): Daniel Kent, Vice President of Foundation	Telephone: 917-449-5912	
	E-Mail: dkent@galvanfdn.org	
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):	Telephone:	
	E-Mail:	
Address:		
City/PO:	State:	Zip Code:

B. Government Approvals

B. Government Approvals, Funding, or Sponsorship. (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees	Hudson IDA	January 2021
b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Planning Board Site Plan Review and Approval, C. of Hudson DPW, C. of Hudson Building Dept.	January 2021, May 2021, May 2021
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
g. State agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	NYS Homes and Community Renewal Funding, NYSERDA	April 2021, Funding Approved
h. Federal agencies <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
i. Coastal Resources. i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		

C. Planning and Zoning

C.1. Planning and zoning actions.

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed? ☐ Yes ☒ No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part 1

C.2. Adopted land use plans.

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located? ☒ Yes ☐ No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located? ☐ Yes ☒ No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?) ☐ Yes ☒ No

If Yes, identify the plan(s):

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan? ☐ Yes ☒ No

If Yes, identify the plan(s):

C.3. Zoning

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance. ☒ Yes ☐ No

If Yes, what is the zoning classification(s) including any applicable overlay district?

General Commercial Transitional Service Facility (G-C-T District)- 65-75 N. 7th Street and 708 State Street, 602 Washington Street (Partially)
One-Family Residence District (R-1 District)- 602 Washington Street (Partially)

b. Is the use permitted or allowed by a special or conditional use permit? ☒ Yes ☐ No

c. Is a zoning change requested as part of the proposed action? ☐ Yes ☒ No

If Yes,

i. What is the proposed new zoning for the site? _____

C.4. Existing community services.

a. In what school district is the project site located? Hudson City School District

b. What police or other public protection forces serve the project site?

Hudson Police Department

c. Which fire protection and emergency medical services serve the project site?

Hudson Fire Department

d. What parks serve the project site?

Oakdale Lake, 7th Street Park

D. Project Details

D.1. Proposed and Potential Development

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?

Mixed Use: Residential and Commercial

b. a. Total acreage of the site of the proposed action? 3.04 ⁺ acres

b. Total acreage to be physically disturbed? +/- 2.4 acres

c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 3.04 acres

c. Is the proposed action an expansion of an existing project or use? ☐ Yes ☒ No

i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % _____ Units: _____

d. Is the proposed action a subdivision, or does it include a subdivision? ☐ Yes ☒ No

If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)

ii. Is a cluster/conservation layout proposed? ☐ Yes ☐ No

iii. Number of lots proposed? _____

iv. Minimum and maximum proposed lot sizes? Minimum _____ Maximum _____

e. Will the proposed action be constructed in multiple phases? ☒ Yes ☐ No

i. If No, anticipated period of construction: _____ months

ii. If Yes:

- Total number of phases anticipated 2
- Anticipated commencement date of phase 1 (including demolition) 7 month 2021 year
- Anticipated completion date of final phase _____ month _____ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: _____

Possibility of future buildings for commercial and residential space. The build-out of future buildings is unknown at this time.

f. Does the project include new residential uses? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No				
If Yes, show numbers of units proposed.				
	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	138			
At completion of all phases	157			

g. Does the proposed action include new non-residential construction (including expansions)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Total number of structures <u>2</u>	
ii. Dimensions (in feet) of largest proposed structure: <u>66.79</u> height; <u>150</u> width; and <u>148</u> length	
iii. Approximate extent of building space to be heated or cooled: <u>+/- 12,110</u> square feet	

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes,	
i. Purpose of the impoundment: <u>Stormwater Management Bioretention</u>	
ii. If a water impoundment, the principal source of the water: <input type="checkbox"/> Ground water <input type="checkbox"/> Surface water streams <input checked="" type="checkbox"/> Other specify: <u>Stormwater Runoff</u>	
iii. If other than water, identify the type of impounded/contained liquids and their source.	
iv. Approximate size of the proposed impoundment. Volume: <u>TBD</u> million gallons; surface area: <u>TBD</u> acres	
v. Dimensions of the proposed dam or impounding structure: <u>N/A</u> height; <u>N/A</u> length	
vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete): <u>N/A</u>	

D.2. Project Operations

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both? (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite) <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes:	
i. What is the purpose of the excavation or dredging? <u>Building Foundation Construction and Parking Area</u>	
ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?	
<ul style="list-style-type: none"> • Volume (specify tons or cubic yards): <u>160,098 cubic yards</u> • Over what duration of time? <u>4-6 months</u> 	
iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.	
<u>Clay soils characteristic of the City of Hudson to be hauled off site by Contractor and stockpiled for future use off site.</u>	
iv. Will there be onsite dewatering or processing of excavated materials? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If yes, describe. _____	
v. What is the total area to be dredged or excavated? <u>1.13</u> acres	
vi. What is the maximum area to be worked at any one time? <u>1.13</u> acres	
vii. What would be the maximum depth of excavation or dredging? <u>14</u> feet	
viii. Will the excavation require blasting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
ix. Summarize site reclamation goals and plan: <u>Excavation is limited to necessary foundation construction. Reclamation will be the final landscape plan for the project sites.</u>	

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes:	
i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): _____	

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

iii. Will the proposed action cause or result in disturbance to bottom sediments? ☐ Yes ☐ No
If Yes, describe: _____

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation? ☐ Yes ☐ No
If Yes:

- acres of aquatic vegetation proposed to be removed: _____
- expected acreage of aquatic vegetation remaining after project completion: _____
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): _____
- proposed method of plant removal: _____
- if chemical/herbicide treatment will be used, specify product(s): _____

v. Describe any proposed reclamation/mitigation following disturbance: _____

c. Will the proposed action use, or create a new demand for water? ☒ Yes ☐ No
If Yes:

i. Total anticipated water usage/demand per day: _____ 27,501 gallons/day

ii. Will the proposed action obtain water from an existing public water supply? ☒ Yes ☐ No
If Yes:

- Name of district or service area: Hudson Service Area
- Does the existing public water supply have capacity to serve the proposal? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No
- Do existing lines serve the project site? ☒ Yes ☐ No

iii. Will line extension within an existing district be necessary to supply the project? ☐ Yes ☒ No
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: _____
- Source(s) of supply for the district: _____

iv. Is a new water supply district or service area proposed to be formed to serve the project site? ☐ Yes ☒ No
If Yes:

- Applicant/sponsor for new district: _____
- Date application submitted or anticipated: _____
- Proposed source(s) of supply for new district: _____

v. If a public water supply will not be used, describe plans to provide water supply for the project: _____

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: _____ gallons/minute.

d. Will the proposed action generate liquid wastes? ☒ Yes ☐ No
If Yes:

i. Total anticipated liquid waste generation per day: _____ 27,501 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): _____
Sanitary wastewater: 110 gpd per bedroom per residential unit plus 0.1 gpd per square foot of retail commercial space

iii. Will the proposed action use any existing public wastewater treatment facilities? ☒ Yes ☐ No
If Yes:

- Name of wastewater treatment plant to be used: City of Hudson WWTP
- Name of district: Hudson Sewer District
- Does the existing wastewater treatment plant have capacity to serve the project? ☒ Yes ☐ No
- Is the project site in the existing district? ☒ Yes ☐ No
- Is expansion of the district needed? ☐ Yes ☒ No

<ul style="list-style-type: none"> • Do existing sewer lines serve the project site? _____ • Will a line extension within an existing district be necessary to serve the project? If Yes: <ul style="list-style-type: none"> • Describe extensions or capacity expansions proposed to serve this project: _____ 	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
iv. Will a new wastewater (sewage) treatment district be formed to serve the project site? If Yes: <ul style="list-style-type: none"> • Applicant/sponsor for new district: _____ • Date application submitted or anticipated: _____ • What is the receiving water for the wastewater discharge? _____ 	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans): _____ _____	
vi. Describe any plans or designs to capture, recycle or reuse liquid waste: _____ There are no plans to capture, recycle or reuse liquid waste.	
e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction? If Yes: <ul style="list-style-type: none"> i. How much impervious surface will the project create in relation to total size of project parcel? _____ Square feet or <u>1.48</u> acres (impervious surface) _____ Square feet or <u>3.04</u> acres (parcel size) ii. Describe types of new point sources. <u>Roof leaders and on-site catch basins</u> iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)? <u>On-site catch basins and to City of Hudson catch basins</u> • If to surface waters, identify receiving water bodies or wetlands: _____ • Will stormwater runoff flow to adjacent properties? _____ 	
iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?	
f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations? If Yes, identify: <ul style="list-style-type: none"> i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles) ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers) iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation) 	
g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit? If Yes: <ul style="list-style-type: none"> i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year) ii. In addition to emissions as calculated in the application, the project will generate: <ul style="list-style-type: none"> • _____ Tons/year (short tons) of Carbon Dioxide (CO₂) • _____ Tons/year (short tons) of Nitrous Oxide (N₂O) • _____ Tons/year (short tons) of Perfluorocarbons (PFCs) • _____ Tons/year (short tons) of Sulfur Hexafluoride (SF₆) • _____ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs) • _____ Tons/year (short tons) of Hazardous Air Pollutants (HAPs) 	

<p>h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate methane generation in tons/year (metric): _____</p> <p>ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): _____</p>			
<p>i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): _____</p>			
<p>j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. When is the peak traffic expected (Check all that apply): <input checked="" type="checkbox"/> Morning <input checked="" type="checkbox"/> Evening <input checked="" type="checkbox"/> Weekend <input type="checkbox"/> Randomly between hours of _____ to _____.</p> <p>ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): _____</p> <p>iii. Parking spaces: Existing <u>6</u> Proposed <u>46</u> Net increase/decrease <u>40</u></p> <p>iv. Does the proposed action include any shared use parking? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: _____</p> <p>vi. Are public/private transportation service(s) or facilities available within ½ mile of the proposed site? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Estimate annual electricity demand during operation of the proposed action: _____ Use of commercial space has yet to be determined.</p> <p>ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): <u>Local Utility</u></p> <p>iii. Will the proposed action require a new, or an upgrade, to an existing substation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p>			
<p>l. Hours of operation. Answer all items which apply.</p> <table style="width: 100%;"> <tr> <td style="width: 50%; vertical-align: top;"> <p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>6am - 6pm</u> • Saturday: <u>6am - 6pm</u> • Sunday: <u>None</u> • Holidays: <u>None</u> </td> <td style="width: 50%; vertical-align: top;"> <p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Saturday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Sunday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Holidays: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> <p><small>*Commercial use not yet established</small></p> </td> </tr> </table>		<p>i. During Construction:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>6am - 6pm</u> • Saturday: <u>6am - 6pm</u> • Sunday: <u>None</u> • Holidays: <u>None</u> 	<p>ii. During Operations:</p> <ul style="list-style-type: none"> • Monday - Friday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Saturday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Sunday: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> • Holidays: <u>6am-TBD (Commercial) 24 hrs/day (Residential)</u> <p><small>*Commercial use not yet established</small></p>
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<p>m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes:</p> <p>i. Provide details including sources, time of day and duration:</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen? <input type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>n. Will the proposed action have outdoor lighting? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If yes:</p> <p>i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:</p> <p>Exterior wall sconces are proposed and to be mounted at approximately 11' above sidewalk grade. Exterior fixtures will be dark sky compliant that aim downward. Parking area is proposed to have exterior lighting.</p>	
<p>ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Describe: _____</p> <p>_____</p>	
<p>o. Does the proposed action have the potential to produce odors for more than one hour per day? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: _____</p> <p>_____</p> <p>_____</p>	
<p>p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Product(s) to be stored _____</p> <p>ii. Volume(s) _____ per unit time _____ (e.g., month, year)</p> <p>iii. Generally, describe the proposed storage facilities: _____</p> <p>_____</p>	
<p>q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe proposed treatment(s):</p> <p>_____</p> <p>_____</p> <p>_____</p>	
<p>ii. Will the proposed action use Integrated Pest Management Practices? <input type="checkbox"/> Yes <input type="checkbox"/> No</p>	
<p>r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p> <p>If Yes:</p> <p>i. Describe any solid waste(s) to be generated during construction or operation of the facility:</p> <ul style="list-style-type: none"> • Construction: _____ 40-50 tons per _____ Proposed Building (unit of time) • Operation : _____ 1 tons per _____ Day (unit of time) <p>ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:</p> <ul style="list-style-type: none"> • Construction: N/A _____ • Operation: N/A _____ <p>iii. Proposed disposal methods/facilities for solid waste generated on-site:</p> <ul style="list-style-type: none"> • Construction: Dumpsters for managing construction waste, hauled off site by licensed hauler regularly. _____ • Operation: Contract with local waste hauler to remove to local transfer station. _____ 	

s. Does the proposed action include construction or modification of a solid waste management facility? ☐ Yes ☒ No

If Yes:

i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): _____

ii. Anticipated rate of disposal/processing:

- _____ Tons/month, if transfer or other non-combustion/thermal treatment, or
- _____ Tons/hour, if combustion or thermal treatment

iii. If landfill, anticipated site life: _____ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste? ☐ Yes ☒ No

If Yes:

i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: _____

ii. Generally describe processes or activities involving hazardous wastes or constituents: _____

iii. Specify amount to be handled or generated _____ tons/month

iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: _____

v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility? ☐ Yes ☐ No

If Yes: provide name and location of facility: _____

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: _____

E. Site and Setting of Proposed Action

E.1. Land uses on and surrounding the project site

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

☒ Urban ☐ Industrial ☒ Commercial ☒ Residential (suburban) ☐ Rural (non-farm)

☐ Forest ☐ Agriculture ☐ Aquatic ☒ Other (specify): Municipal Fire House

ii. If mix of uses, generally describe: _____

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces	1.2	1.55	+0.35
• Forested	0.53	0.53	0
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)	1.32	0.94	-0.38
• Agricultural (includes active orchards, field, greenhouse etc.)	0	0	0
• Surface water features (lakes, ponds, streams, rivers, etc.)	0.012	0.012	0
• Wetlands (freshwater or tidal)	0	0	0
• Non-vegetated (bare rock, earth or fill)	0	0	0
• Other Describe: _____			

c. Is the project site presently used by members of the community for public recreation? <i>i.</i> If Yes: explain: _____	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site? If Yes, <i>i.</i> Identify Facilities: _____	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
e. Does the project site contain an existing dam? If Yes: <i>i.</i> Dimensions of the dam and impoundment:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<ul style="list-style-type: none"> • Dam height: _____ feet • Dam length: _____ feet • Surface area: _____ acres • Volume impounded: _____ gallons OR acre-feet <i>ii.</i> Dam's existing hazard classification: _____ <i>iii.</i> Provide date and summarize results of last inspection: _____ _____ _____	
f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility? If Yes: <i>i.</i> Has the facility been formally closed?	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<ul style="list-style-type: none"> • If yes, cite sources/documentation: _____ <i>ii.</i> Describe the location of the project site relative to the boundaries of the solid waste management facility: _____ _____ <i>iii.</i> Describe any development constraints due to the prior solid waste activities: _____ _____ _____	
g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste? If Yes: <i>i.</i> Describe waste(s) handled and waste management activities, including approximate time when activities occurred:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
_____ _____ _____	
h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site? If Yes: <i>i.</i> Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Yes <input type="checkbox"/> No
<input type="checkbox"/> Yes – Spills Incidents database Provide DEC ID number(s): _____ <input type="checkbox"/> Yes – Environmental Site Remediation database Provide DEC ID number(s): _____ <input type="checkbox"/> Neither database	
<i>ii.</i> If site has been subject of RCRA corrective activities, describe control measures: _____ _____ _____	
<i>iii.</i> Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database? If yes, provide DEC ID number(s): B00172	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
<i>iv.</i> If yes to (i), (ii) or (iii) above, describe current status of site(s): Removal actions completed at the site have eliminated any future potential exposures _____ _____	

v. Is the project site subject to an institutional control limiting property uses? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No																									
<ul style="list-style-type: none"> • If yes, DEC site ID number: _____ • Describe the type of institutional control (e.g., deed restriction or easement): _____ • Describe any use limitations: _____ • Describe any engineering controls: _____ • Will the project affect the institutional or engineering controls in place? <input type="checkbox"/> Yes <input type="checkbox"/> No • Explain: _____ 																									
E.2. Natural Resources On or Near Project Site																									
a. What is the average depth to bedrock on the project site? _____ greater than 6 feet																									
b. Are there bedrock outcroppings on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, what proportion of the site is comprised of bedrock outcroppings? _____ %																									
c. Predominant soil type(s) present on project site: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 60%;">UrB (Silty Loam, Silty Clay Loam)</td> <td style="width: 20%; text-align: right;">86 %</td> <td style="width: 20%;"></td> </tr> <tr> <td>HvE (Silt Loam, Silty Clay Loam)</td> <td style="text-align: right;">14 %</td> <td></td> </tr> <tr> <td></td> <td style="text-align: right;">%</td> <td></td> </tr> </table>		UrB (Silty Loam, Silty Clay Loam)	86 %		HvE (Silt Loam, Silty Clay Loam)	14 %			%																
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d. What is the average depth to the water table on the project site? Average: _____ 1-3 feet																									
e. Drainage status of project site soils: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 30%;"><input type="checkbox"/> Well Drained:</td> <td style="width: 30%; text-align: right;">_____ % of site</td> <td style="width: 40%;"></td> </tr> <tr> <td><input checked="" type="checkbox"/> Moderately Well Drained:</td> <td style="text-align: right;">100 % of site</td> <td></td> </tr> <tr> <td><input type="checkbox"/> Poorly Drained</td> <td style="text-align: right;">_____ % of site</td> <td></td> </tr> </table>		<input type="checkbox"/> Well Drained:	_____ % of site		<input checked="" type="checkbox"/> Moderately Well Drained:	100 % of site		<input type="checkbox"/> Poorly Drained	_____ % of site																
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f. Approximate proportion of proposed action site with slopes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 40%;"><input checked="" type="checkbox"/> 0-10%:</td> <td style="width: 30%; text-align: right;">86 % of site</td> <td style="width: 30%;"></td> </tr> <tr> <td><input type="checkbox"/> 10-15%:</td> <td style="text-align: right;">14 % of site</td> <td></td> </tr> <tr> <td><input type="checkbox"/> 15% or greater:</td> <td style="text-align: right;">_____ % of site</td> <td></td> </tr> </table>		<input checked="" type="checkbox"/> 0-10%:	86 % of site		<input type="checkbox"/> 10-15%:	14 % of site		<input type="checkbox"/> 15% or greater:	_____ % of site																
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<input type="checkbox"/> 15% or greater:	_____ % of site																								
g. Are there any unique geologic features on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If Yes, describe: _____																									
h. Surface water features. <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?</td> <td style="width: 20%; text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> <tr> <td>ii. Do any wetlands or other waterbodies adjoin the project site?</td> <td style="text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> <tr> <td colspan="2">If Yes to either <i>i</i> or <i>ii</i>, continue. If No, skip to E.2.i.</td> </tr> <tr> <td>iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?</td> <td style="text-align: right;"><input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</td> </tr> <tr> <td colspan="2">iv. For each identified regulated wetland and waterbody on the project site, provide the following information:</td> </tr> <tr> <td> <ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name <u>Oakdale Lake</u> Classification <u>PUBHh</u> • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ </td> <td></td> </tr> <tr> <td colspan="2"> v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____ </td> </tr> <tr> <td colspan="2"> i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </td> </tr> <tr> <td colspan="2"> j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </td> </tr> <tr> <td colspan="2"> k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No </td> </tr> <tr> <td colspan="2"> l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">i. Name of aquifer: <u>Principal Aquifer</u></td> <td style="width: 20%;"></td> </tr> </table> </td> </tr> </table>		i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	ii. Do any wetlands or other waterbodies adjoin the project site?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	If Yes to either <i>i</i> or <i>ii</i> , continue. If No, skip to E.2.i.		iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	iv. For each identified regulated wetland and waterbody on the project site, provide the following information:		<ul style="list-style-type: none"> • Streams: Name _____ Classification _____ • Lakes or Ponds: Name <u>Oakdale Lake</u> Classification <u>PUBHh</u> • Wetlands: Name _____ Approximate Size _____ • Wetland No. (if regulated by DEC) _____ 		v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No If yes, name of impaired water body/bodies and basis for listing as impaired: _____		i. Is the project site in a designated Floodway? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		j. Is the project site in the 100-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		k. Is the project site in the 500-year Floodplain? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No If Yes: <table style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 80%;">i. Name of aquifer: <u>Principal Aquifer</u></td> <td style="width: 20%;"></td> </tr> </table>		i. Name of aquifer: <u>Principal Aquifer</u>	
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<p>m. Identify the predominant wildlife species that occupy or use the project site: _____</p> <p>Barn Owl _____</p> <p>_____</p>	<p>_____</p> <p>_____</p>
<p>n. Does the project site contain a designated significant natural community? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe the habitat/community (composition, function, and basis for designation): _____</p> <p style="margin-left: 20px;">ii. Source(s) of description or evaluation: _____</p> <p style="margin-left: 20px;">iii. Extent of community/habitat:</p> <ul style="list-style-type: none"> • Currently: _____ acres • Following completion of project as proposed: _____ acres • Gain or loss (indicate + or -): _____ acres 	
<p>o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing (endangered or threatened): _____</p> <p>_____</p> <p>_____</p>	
<p>p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Species and listing: _____</p> <p>_____</p>	
<p>q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If yes, give a brief description of how the proposed action may affect that use: _____</p> <p>_____</p>	
<p>E.3. Designated Public Resources On or Near Project Site</p>	
<p>a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes, provide county plus district name/number: _____</p>	
<p>b. Are agricultural lands consisting of highly productive soils present? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p style="margin-left: 20px;">i. If Yes: acreage(s) on project site: _____</p> <p style="margin-left: 20px;">ii. Source(s) of soil rating(s): _____</p>	
<p>c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature</p> <p style="margin-left: 20px;">ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____</p> <p>_____</p> <p>_____</p>	
<p>d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>If Yes:</p> <p style="margin-left: 20px;">i. CEA name: _____</p> <p style="margin-left: 20px;">ii. Basis for designation: _____</p> <p style="margin-left: 20px;">iii. Designating agency and date: _____</p>	

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="display: flex; justify-content: space-between; margin-top: 5px;"> i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site <input type="checkbox"/> Historic Building or District </div>	
ii. Name: <u>Eligible property: HARDER KNITTING MILL, Hudson Historic District</u>	
iii. Brief description of attributes on which listing is based: <u>Warren Street Historic District</u>	
f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
g. Have additional archaeological or historic site(s) or resources been identified on the project site? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Describe possible resource(s): _____ </div>	
ii. Basis for identification: _____	
h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Identify resource: <u>Hudson Almshouse</u> </div>	
ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): <u>National Register of Historic Places</u>	
iii. Distance between project and resource: _____ <u>0.40</u> miles.	
i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
If Yes: <div style="margin-top: 5px;"> i. Identify the name of the river and its designation: _____ </div>	
ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <input type="checkbox"/> Yes <input type="checkbox"/> No	

F. Additional Information

Attach any additional information which may be needed to clarify your project.

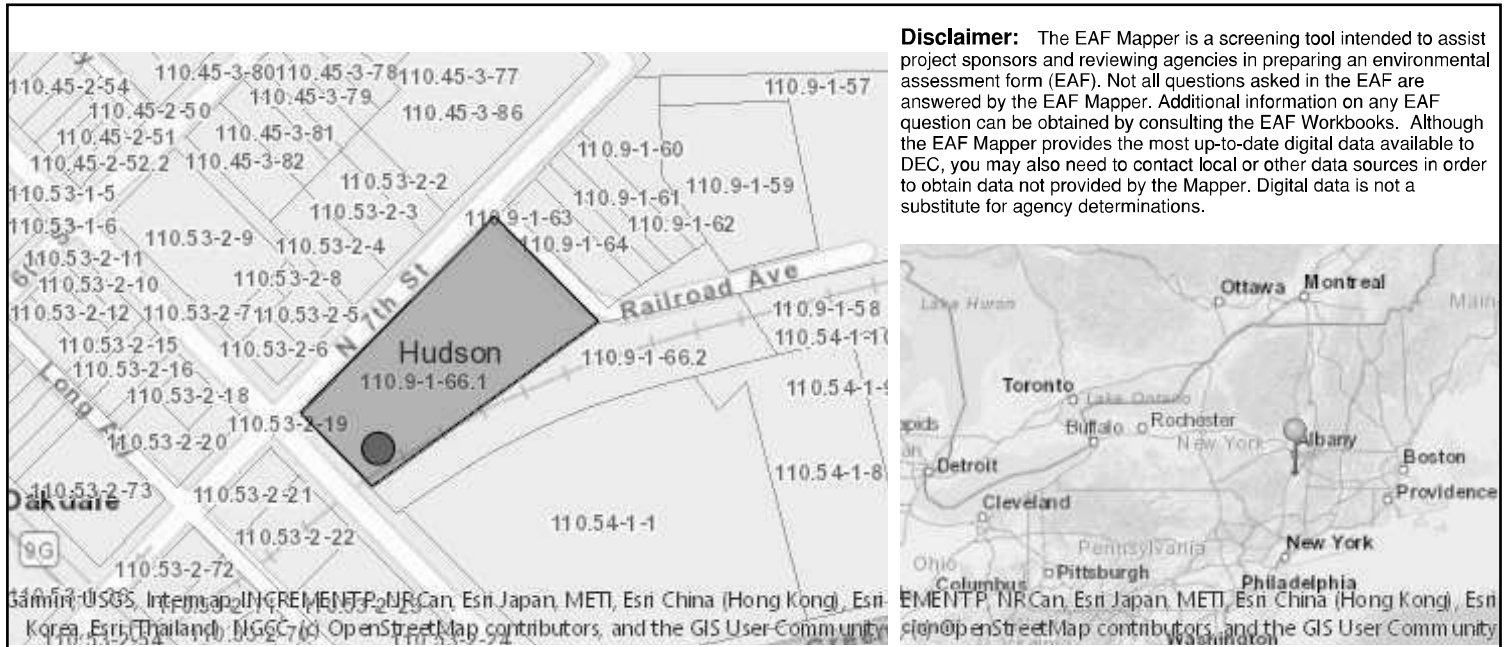
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

G. Verification

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name _____ Date _____

Signature _____ Title _____



B.i.i [Coastal or Waterfront Area]	No
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	No
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	No
E.2.h.ii [Surface Water Features]	No
E.2.h.iii [Surface Water Features]	No
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	No

E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:HARDER KNITTING MILL, Hudson Historic District
E.3.f. [Archeological Sites]	No
E.3.i. [Designated River Corridor]	No

Exhibit D

HUDSON DEPOT DISTRICT

SITE PLAN

PREPARED FOR:

GALVAN INITIATIVES FOUNDATION
42 WEST 39TH ST, 14TH FLOOR
NEW YORK, NEW YORK 10018

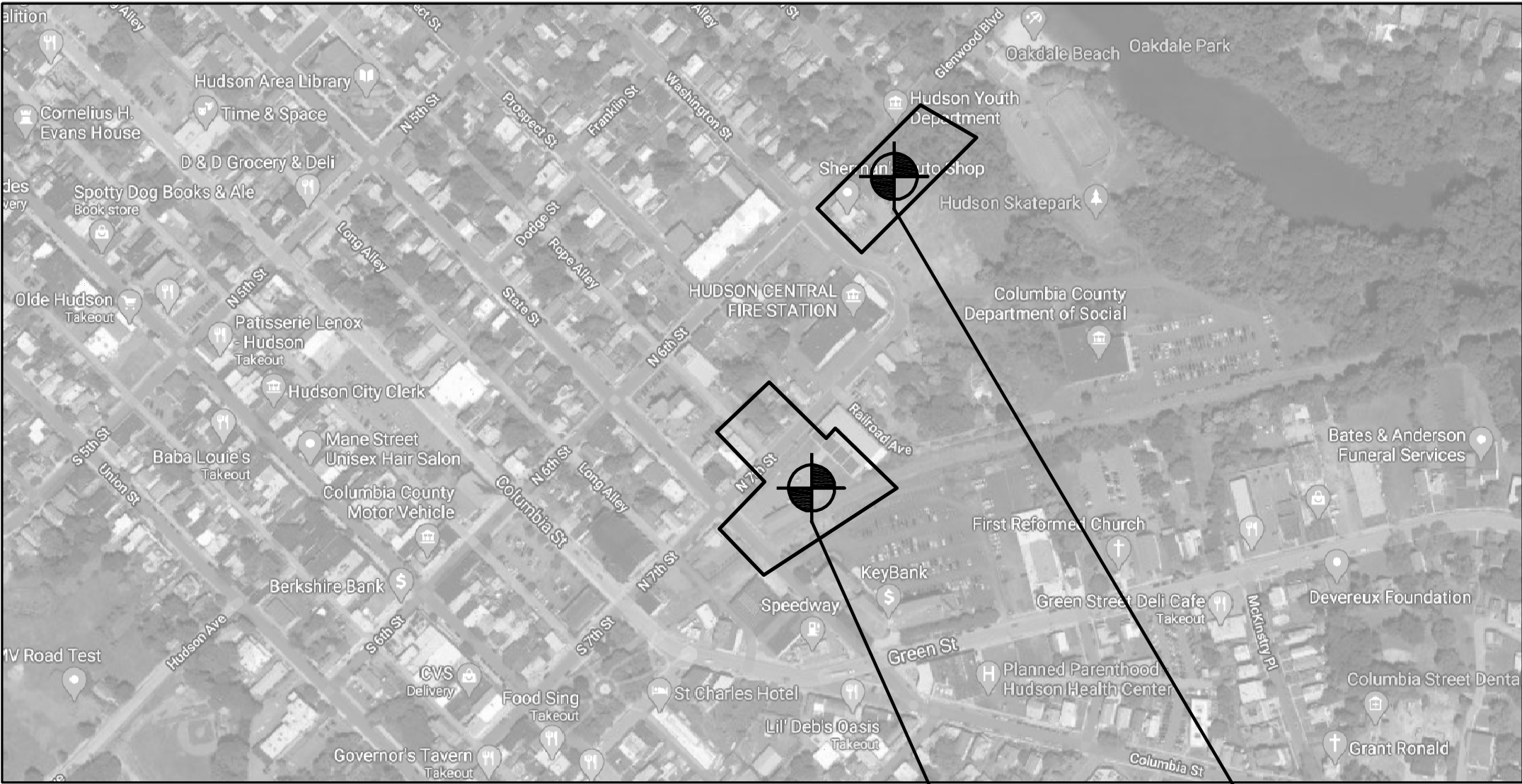
DECEMBER 2020

DRAWING SUMMARY

- C100 - TITLE
- C101 - SITE PLAN - EXISTING CONDITIONS
- C102 - SITE PLAN - PROPOSED CONDITIONS
- C103 - GRADING & DRAINAGE PLAN
- C104 - LANDSCAPE PLAN
- C105 - LIGHTING PLAN
- C106 - EROSION & SEDIMENT CONTROL PLAN
- C501 - LIGHTING SPECIFICATIONS
- C502 - SITE DETAILS
- C503 - SITE DETAILS

GENERAL SITE NOTES

- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL MUNICIPAL, COUNTY, STATE, FEDERAL, AND OSHA REGULATIONS.
- CONTRACTOR SHALL REFER TO THE SITE PLANS FOR EXACT LOCATIONS OF ANY AND ALL AREAS OR OBJECTS OF INTEREST.
- ALL DISTURBED AREAS ARE TO RECEIVE A MINIMUM OF FOUR (4) INCHES OF TOPSOIL, SEED, MULCH, AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED, UNLESS OTHERWISE NOTED.
- EXISTING STRUCTURES WITHIN CONSTRUCTION LIMITS THAT ARE TO BE ABANDONED, REMOVED OR RELOCATED, SHALL BE DONE IN A PROPER MANNER OFF SITE, AS NECESSARY.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH.
- CONTRACTOR IS RESPONSIBLE FOR REPAIRS TO DAMAGE OF ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION, SUCH AS BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING.
- CONTRACTOR TO VERIFY ALL REQUIRED SETBACKS AND ENSURE MINIMUM SLOPES ARE MAINTAINED. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATION OF ALL EXISTING ABOVE GROUND AND BURIED UTILITIES AND TANKS PRIOR TO CONSTRUCTION AND SHALL COORDINATE ALL EXCAVATION AND CONSTRUCTION OF SYSTEM WITH OTHER TRADES INVOLVED WITH PROJECT. CONTRACTOR TO PERFORM FIELD SURVEY TO VERIFY EXISTING TOPOGRAPHY OF SITE.
- AS PER NYS CODE RULE 753, THE CONTRACTOR SHALL PROVIDE DUE AND TIMELY NOTICE TO "DIG SAFELY NEW YORK" AT 1-800-962-7962 AT LEAST TWO WORKING DAYS PRIOR TO COMMENCING DEMOLITION OR EXCAVATION. THE CONTRACTOR SHALL COMPLY WITH ALL REQUIREMENTS OF THE NYS CODE RULE 753. UPON DISCOVERY OF UNKNOWN UNDERGROUND FACILITIES, CABLING, ETC. WORK IN THAT AREA SHALL CEASE. NOTIFY UFPO, OWNER AND ENGINEER IMMEDIATELY. DO NOT PROCEED WITH WORK UNTIL RECEIVING WRITTEN DIRECTION TO DO SO FROM THE OWNER'S PROJECT REPRESENTATIVE.
- ALL EXCAVATIONS SHALL BE BRACED IN ACCORDANCE WITH THE PROVISION OF THE OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION. IF SHALLOW GROUNDWATER CONDITIONS ARE ENCOUNTERED DURING ANY EXCAVATION FOR SYSTEM COMPONENTS, CONTRACTOR SHALL NOTIFY DESIGN ENGINEER PRIOR TO PROCEEDING WITH INSTALLATION.



SITE LOCATION MAP
SCALE: 1" = 200'

SITE LOCATIONS

PROPOSED MIXED USE DEV:
708 STATE STREET
HUDSON, NY 12534
TAX ID: 110-9-1-66.1

SITE LOCATIONS

PROPOSED PARKING AREA:
602 WASHINGTON STREET
HUDSON, NY 12534
TAX ID: 110-9-1-54

65-75 N. 7TH STREET
HUDSON, NY 12534
TAX ID: 110.53-2-2, 110.53-2-3, 110.53-2-4

C100

SCALE:
AS SHOWN

REV. NO.	DESCRIPTION	DATE	BY	S/C
1	STREET BUILDING AND SIDEWALK EAST AND IMPROVED ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING	2/22/21	SJC	
2	ADD PROPOSED PARKING LOT PARCEL	3/31/21	SJC	

TITLE

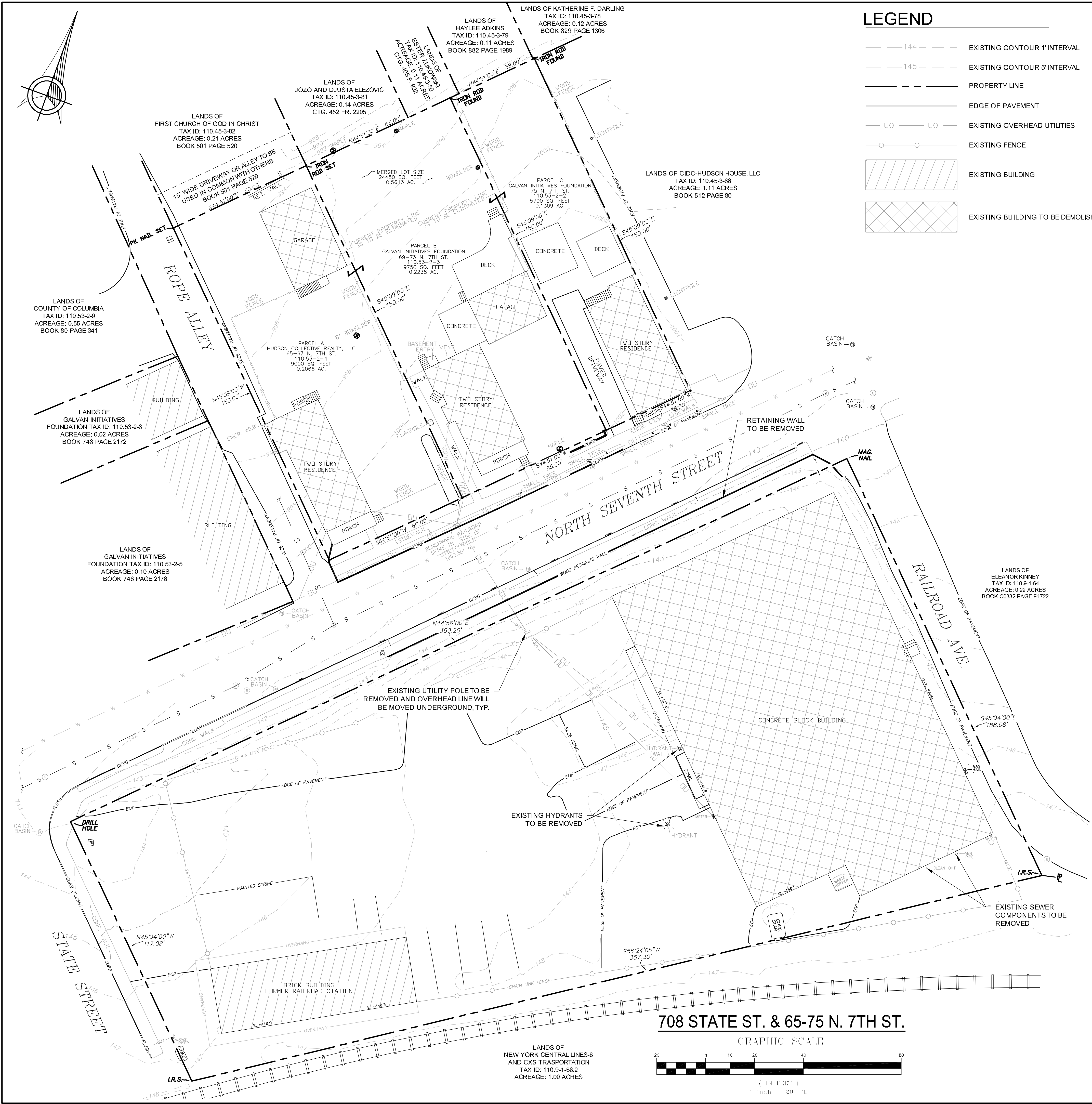
HUDSON DEPOT DISTRICT



TACONIC JOB#
20200
SHEET

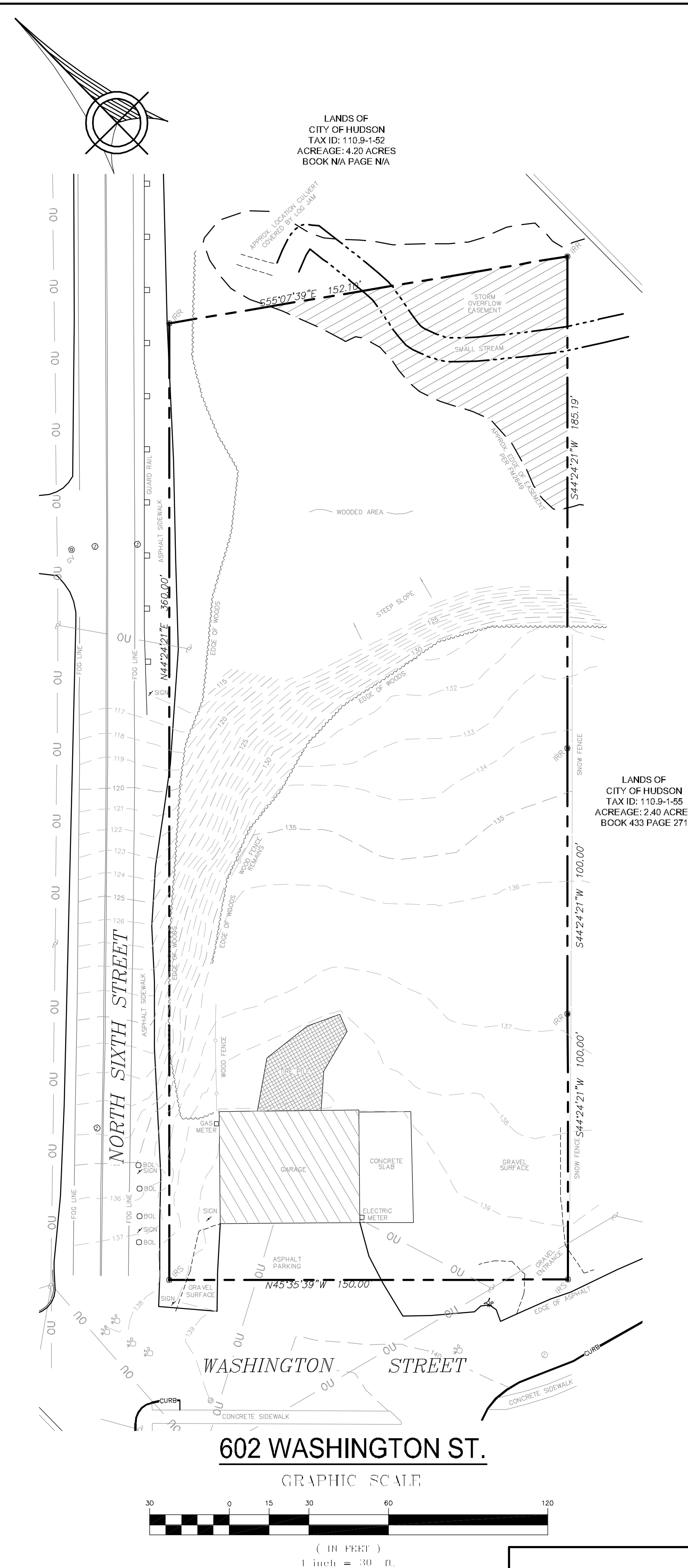
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DESIGNED BY: SJC
APPROVED BY: CAL
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12-23-20

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WITHOUT THE WRITTEN PERMISSION OF TACONIC ENGINEERING, DPC



LEGEND

- 144 ——— EXISTING CONTOUR 1' INTERVAL
- 145 ——— EXISTING CONTOUR 5' INTERVAL
- — — — — PROPERTY LINE
- — — — — EDGE OF PAVEMENT
- UO — UO EXISTING OVERHEAD UTILITIES
- ○ — ○ — EXISTING FENCE
- [Hatched Box] EXISTING BUILDING
- [Cross-hatched Box] EXISTING BUILDING TO BE DEMOLISHED



NOTES:

- BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY FOR THE MERGER OF LANDS OF PARCEL A- HUDSON COLLECTIVE REALTY, LLC AND PARCEL B AND C- GALVAN INITIATIVES FOUNDATION" BY DANIEL J RUSSELL, PLS, DATED APRIL 27, 2020.
- BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY OF PROPERTY OF GALVAN INITIATIVES FOUNDATION" BY JEFFREY W. PLASS, NYSLS, DATED MAY 1, 2014.
- NEIGHBORING PROPERTY INFORMATION OBTAINED FROM COLUMBIA COUNTY TAX MAP, 2020.
- AS A RESULT OF SITE PLAN APPROVAL, THE THREE (3) TAX PARCELS (LABELED PARCEL A-C) ON NORTH SEVENTH STREET WILL BE CONSOLIDATED. SURVEY PLAT WITH NEW SURVEY BOUNDARY WILL BE FILED WITH THE COUNTY.

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C101

SCALE:
AS SHOWN

REV. NO.	DATE	DESCRIPTION
1	2/22/21	SHIFT BUILDING AND SIDEWALK EAST AND UPRATED ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING
2	3/31/21	ADD PROPOSED PARKING LOT PARCEL

SITE PLAN-
EXISTING CONDITIONS

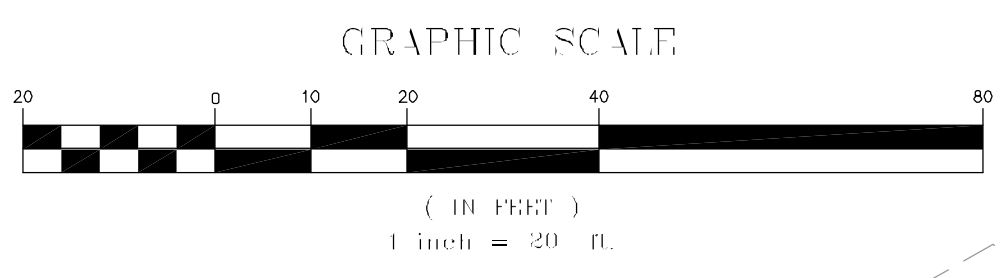
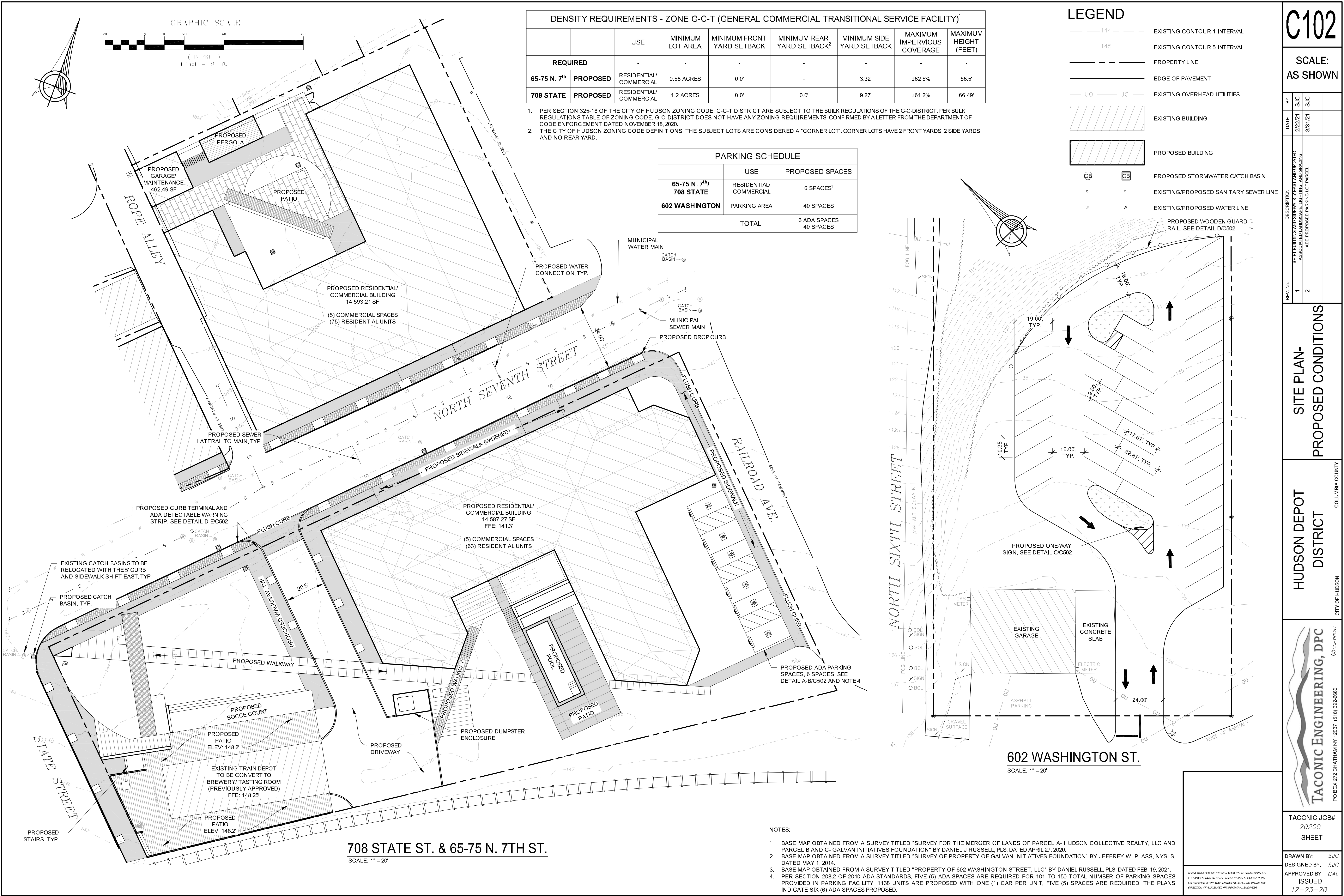
HUDSON DEPOT
DISTRICT

COLUMBIA COUNTY
CITY OF HUDSON

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DENSITY REQUIREMENTS - ZONE G-C-T (GENERAL COMMERCIAL TRANSITIONAL SERVICE FACILITY) ¹								
		USE	MINIMUM LOT AREA	MINIMUM FRONT YARD SETBACK	MINIMUM REAR YARD SETBACK ²	MINIMUM SIDE YARD SETBACK	MAXIMUM IMPERVIOUS COVERAGE	MAXIMUM HEIGHT (FEET)
REQUIRED		-	-	-	-	-	-	-
65-75 N. 7 th	PROPOSED	RESIDENTIAL/COMMERCIAL	0.56 ACRES	0.0'	-	3.32'	±62.5%	56.5'
708 STATE	PROPOSED	RESIDENTIAL/COMMERCIAL	1.2 ACRES	0.0'	0.0'	9.27'	±61.2%	66.49'

1. PER SECTION 325-16 OF THE CITY OF HUDSON ZONING CODE, G-C-T DISTRICT ARE SUBJECT TO THE BULK REGULATIONS OF THE G-C-DISTRICT. PER BULK REGULATIONS TABLE OF ZONING CODE, G-C-DISTRICT DOES NOT HAVE ANY ZONING REQUIREMENTS. CONFIRMED BY A LETTER FROM THE DEPARTMENT OF CODE ENFORCEMENT DATED NOVEMBER 18, 2020.
2. THE CITY OF HUDSON ZONING CODE DEFINITIONS, THE SUBJECT LOTS ARE CONSIDERED A "CORNER LOT". CORNER LOTS HAVE 2 FRONT YARDS, 2 SIDE YARDS AND NO REAR YARD.

PARKING SCHEDULE		
	USE	PROPOSED SPACES
65-75 N. 7 th / 708 STATE	RESIDENTIAL/COMMERCIAL	6 SPACES ¹
602 WASHINGTON	PARKING AREA	40 SPACES
	TOTAL	6 ADA SPACES 40 SPACES

LEGEND

144

EXISTING CONTOUR 1' INTERVAL

145

EXISTING CONTOUR 5' INTERVAL

PROPERTY LINE

EDGE OF PAVEMENT

UO

EXISTING OVERHEAD UTILITIES

EXISTING BUILDING

PROPOSED BUILDING

CB

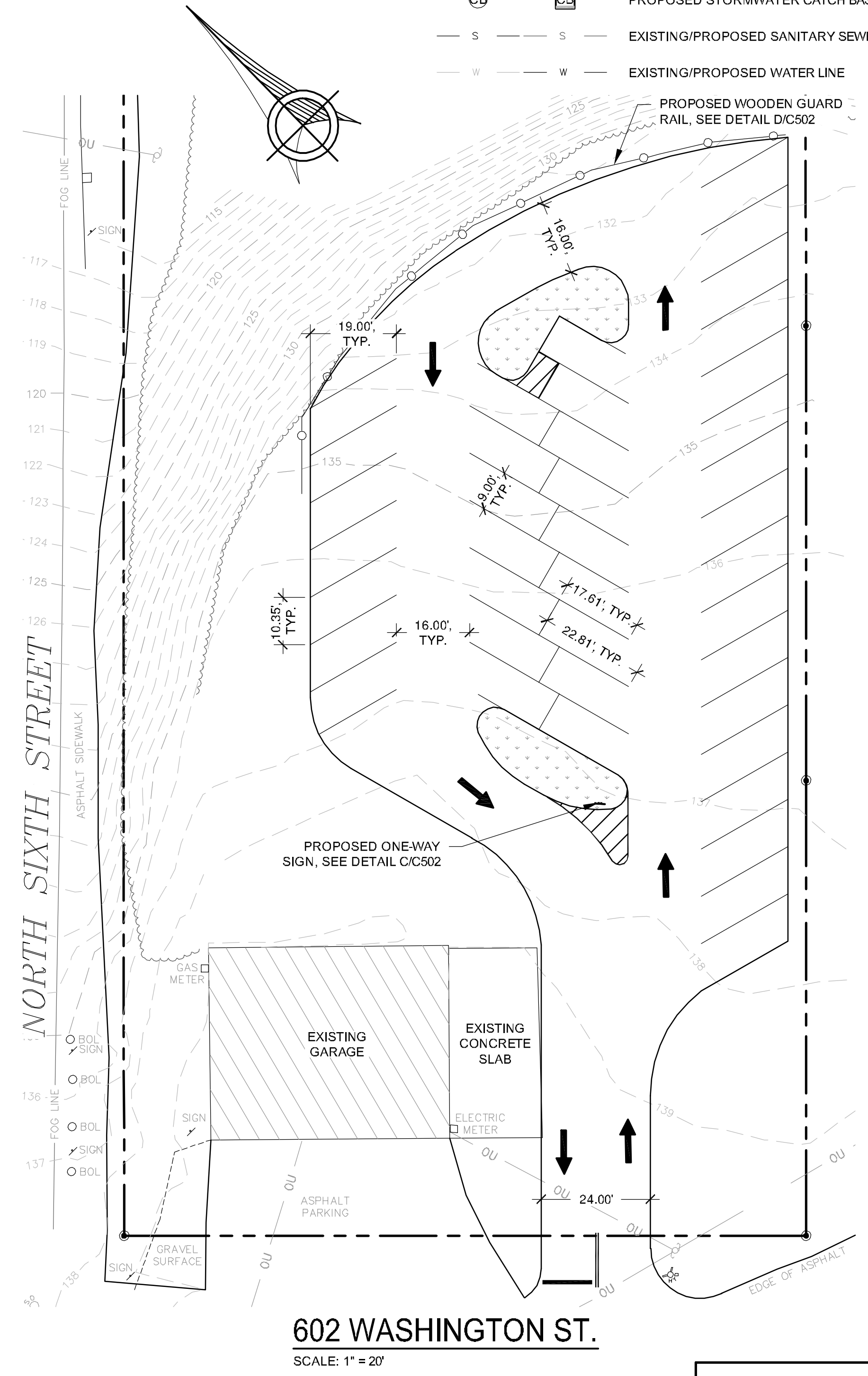
PROPOSED STORMWATER CATCH BASIN

S

EXISTING/PROPOSED SANITARY SEWER LINE

W

EXISTING/PROPOSED WATER LINE



- NOTES:
1. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY FOR THE MERGER OF LANDS OF PARCEL A- HUDSON COLLECTIVE REALTY, LLC AND PARCEL B AND C- GALVAN INITIATIVES FOUNDATION" BY DANIEL J RUSSELL, PLS, DATED APRIL 27, 2020.
2. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY OF PROPERTY OF GALVAN INITIATIVES FOUNDATION" BY JEFFREY W. PLASS, NYSLS, DATED MAY 1, 2014.
3. BASE MAP OBTAINED FROM A SURVEY TITLED "PROPERTY OF 602 WASHINGTON STREET, LLC" BY DANIEL RUSSELL, PLS, DATED FEB. 19, 2021.
4. PER SECTION 208.2 OF 2010 ADA STANDARDS, FIVE (5) ADA SPACES ARE REQUIRED FOR 101 TO 150 TOTAL NUMBER OF PARKING SPACES PROVIDED IN PARKING FACILITY; 1138 UNITS ARE PROPOSED WITH ONE (1) CAR PER UNIT, FIVE (5) SPACES ARE REQUIRED. THE PLANS INDICATE SIX (6) ADA SPACES PROPOSED.

C102

SCALE:
AS SHOWN

BY	SJC
DATE	2/22/21
DESCRIPTION	SHIFT BUILDING AND SIDEWALK EAST AND UPRATED ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING
REV. No.	1
	2

SITE PLAN-
PROPOSED CONDITIONS

HUDSON DEPOT
DISTRICT

COLUMBIA COUNTY
CITY OF HUDSON

TACONIC ENGINEERING, DPC

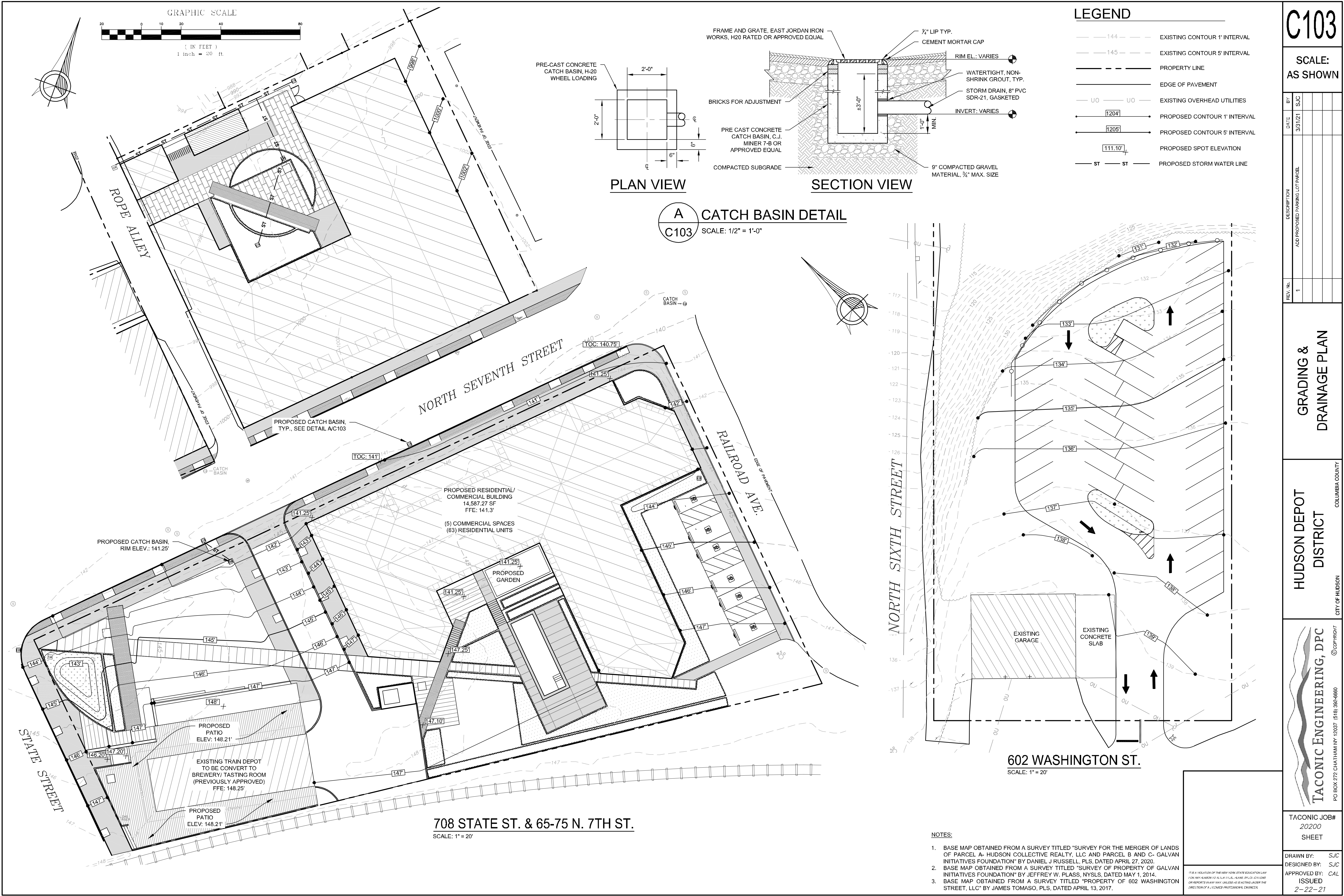
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C103

SCALE:
AS SHOWN

BY:	SJC
DATE:	3/31/21
DESCRIPTION:	ADD PROPOSED PARKING LOT PARCEL
REV. NO.:	1

GRADING &
DRAINAGE PLAN

HUDSON DEPOT
DISTRICT

COLUMBIA COUNTY
CITY OF HUDSON

TACONIC ENGINEERING, DPC

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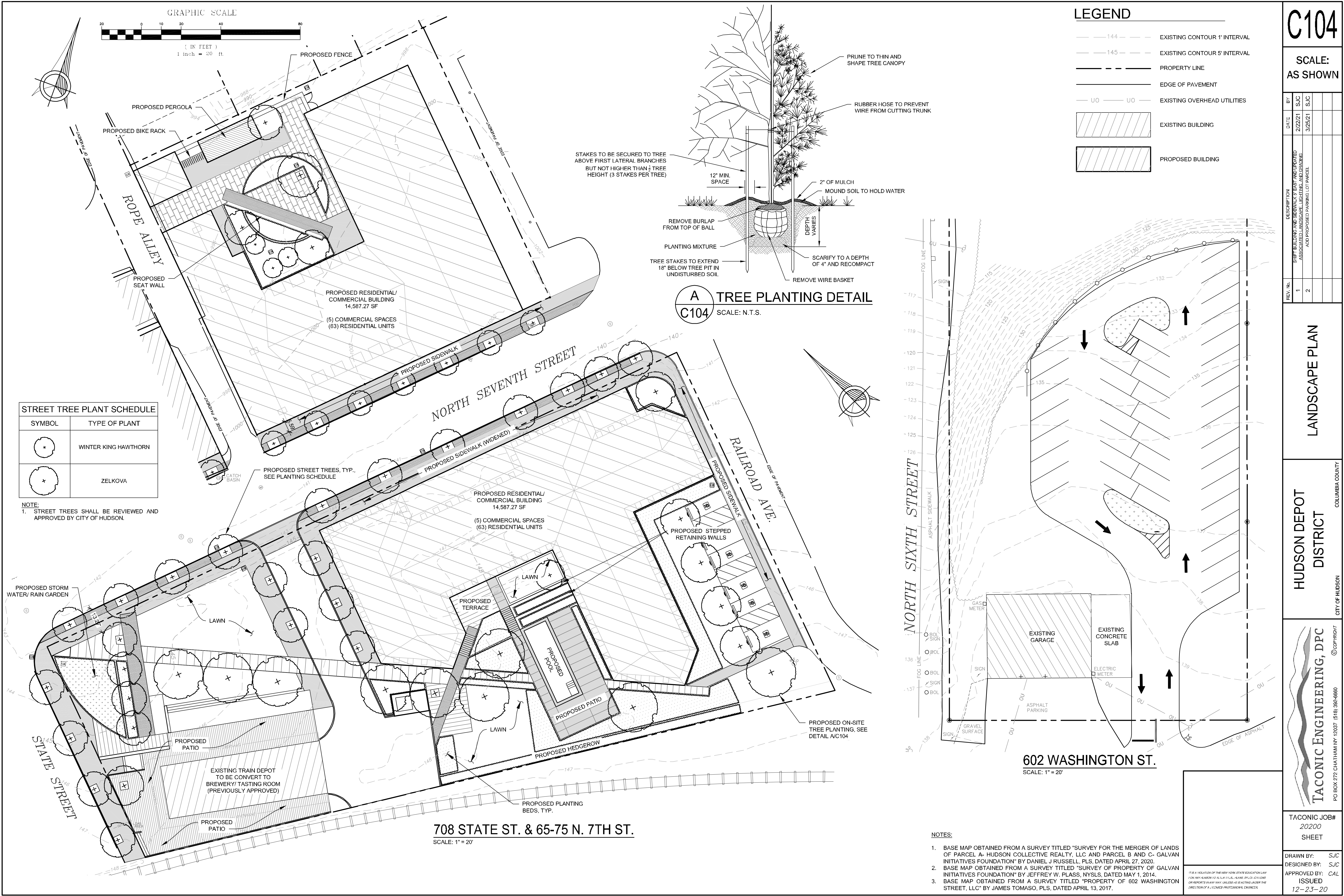
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APPROVED BY: CAL
ISSUED
2-22-21

NOTES:

1. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY FOR THE MERGER OF LANDS OF PARCEL A- HUDSON COLLECTIVE REALTY, LLC AND PARCEL B AND C- GALVAN INITIATIVES FOUNDATION" BY DANIEL J RUSSELL, PLS, DATED APRIL 27, 2020.
2. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY OF PROPERTY OF GALVAN INITIATIVES FOUNDATION" BY JEFFREY W. PLASS, NYSLS, DATED MAY 1, 2014.
3. BASE MAP OBTAINED FROM A SURVEY TITLED "PROPERTY OF 602 WASHINGTON STREET, LLC" BY JAMES TOMASO, PLS, DATED APRIL 13, 2017.

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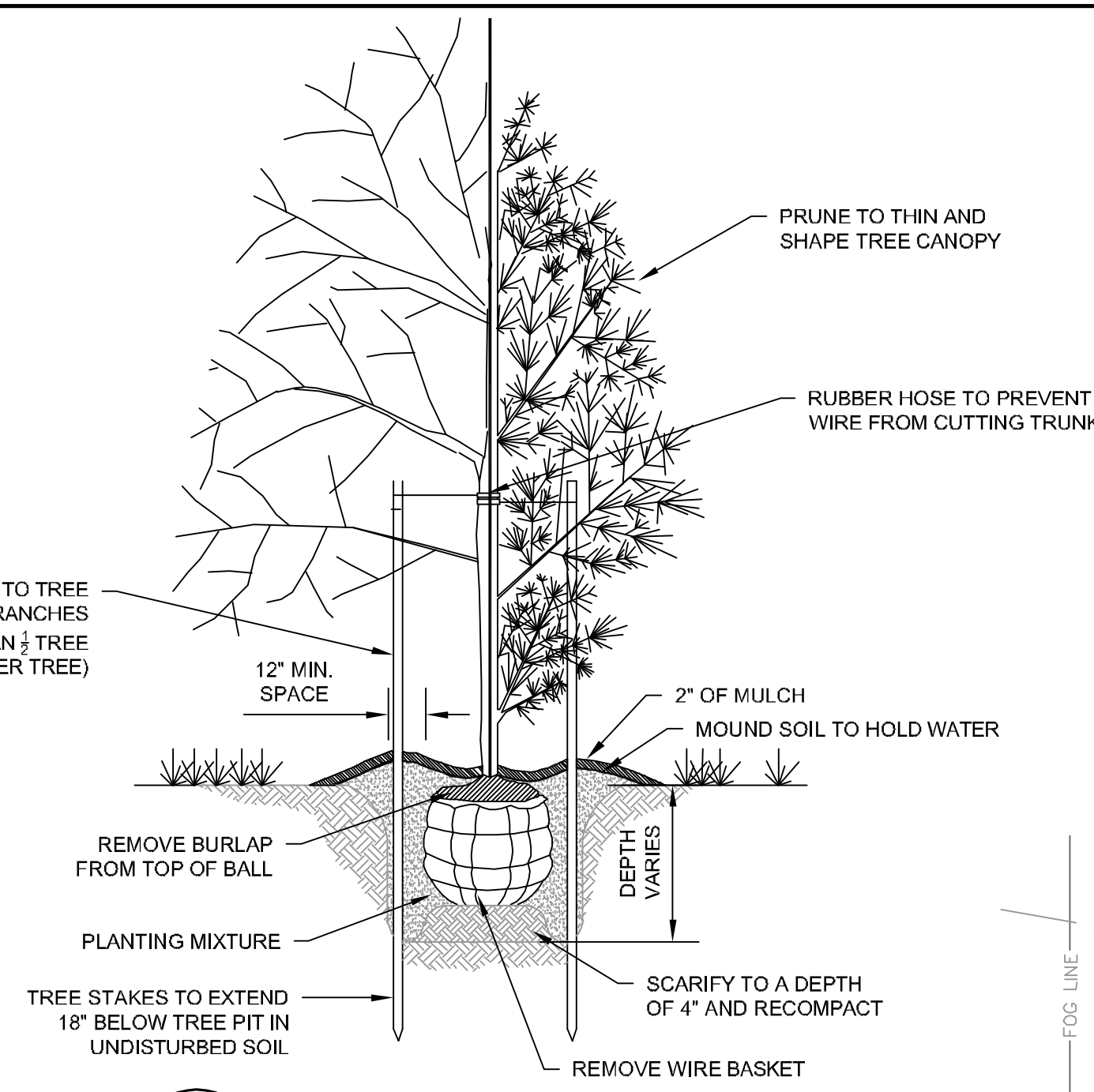


STREET TREE PLANT SCHEDULE	
SYMBOL	TYPE OF PLANT
	WINTER KING HAWTHORN
	ZELKOVA

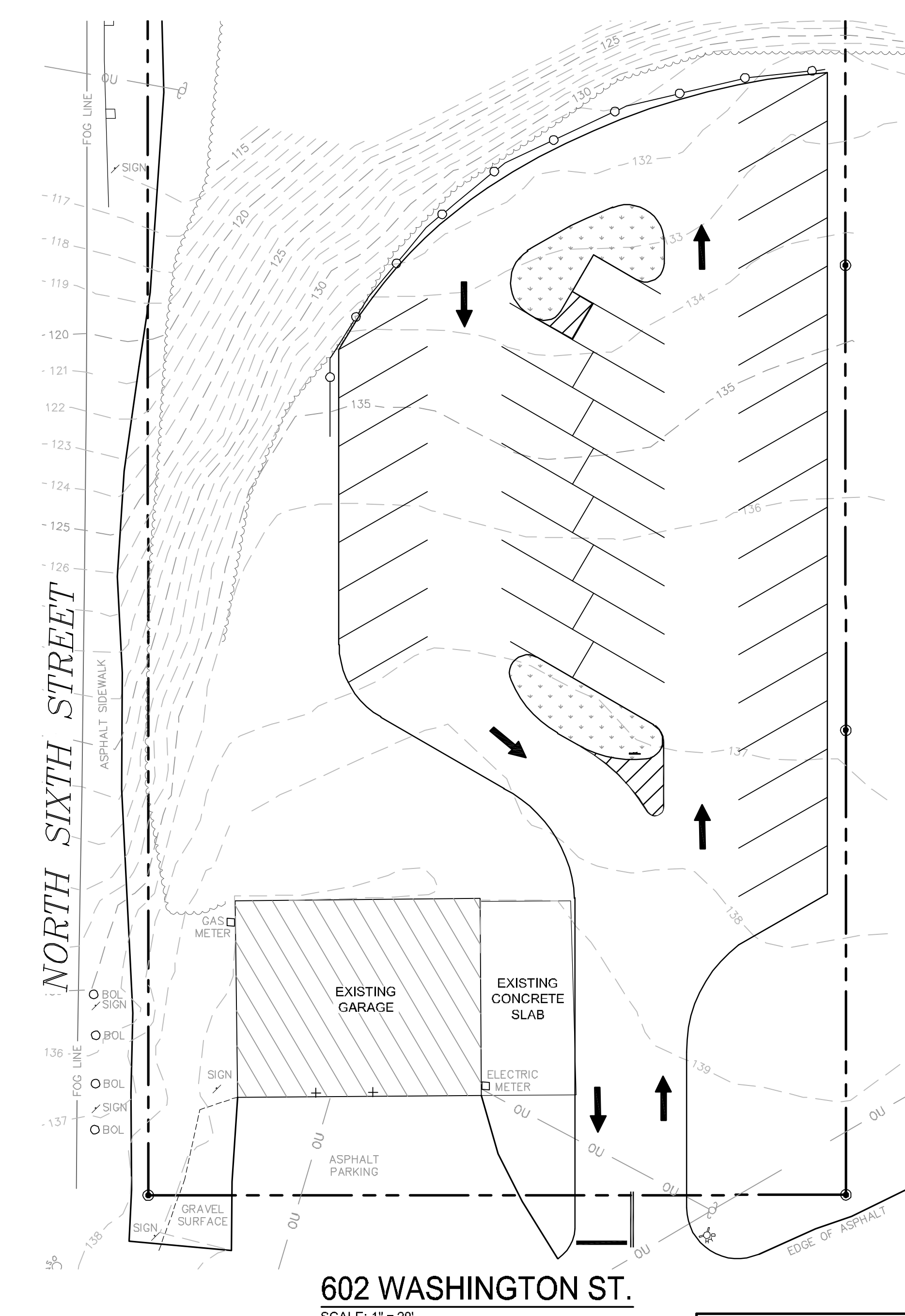
NOTE:
1. STREET TREES SHALL BE REVIEWED AND APPROVED BY CITY OF HUDSON.

A TREE PLANTING DETAIL

C104 SCALE: N.T.S.



LEGEND	
	EXISTING CONTOUR 1' INTERVAL
	EXISTING CONTOUR 5' INTERVAL
	PROPERTY LINE
	EDGE OF PAVEMENT
	EXISTING OVERHEAD UTILITIES
	EXISTING BUILDING
	PROPOSED BUILDING



- NOTES:
1. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY FOR THE MERGER OF LANDS OF PARCEL A- HUDSON COLLECTIVE REALTY, LLC AND PARCEL B AND C- GALVAN INITIATIVES FOUNDATION" BY DANIEL J RUSSELL, PLS, DATED APRIL 27, 2020.
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 3. BASE MAP OBTAINED FROM A SURVEY TITLED "PROPERTY OF 602 WASHINGTON STREET, LLC" BY JAMES TOMASO, PLS, DATED APRIL 13, 2017.

C104

SCALE:
AS SHOWN

BY	SJC
DATE	2/22/21
DESCRIPTION	STREET BUILDING AND SIDEWALKS EAST AND UPRATED ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING
REV. NO.	1
REV. NO.	2

LANDSCAPE PLAN

HUDSON DEPOT DISTRICT

COLUMBIA COUNTY

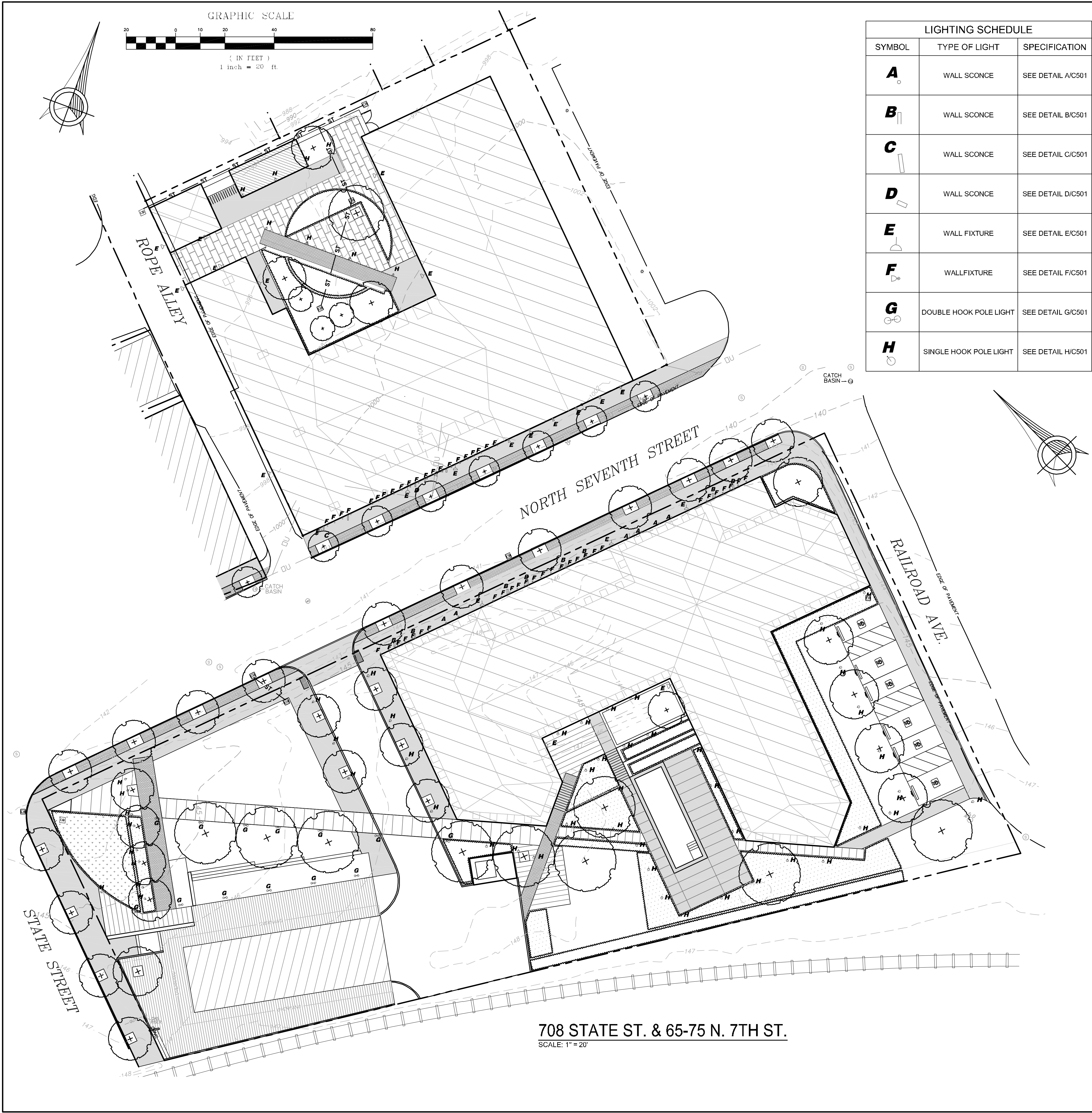
CITY OF HUDSON

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TACONIC JOB#
20200
SHEET

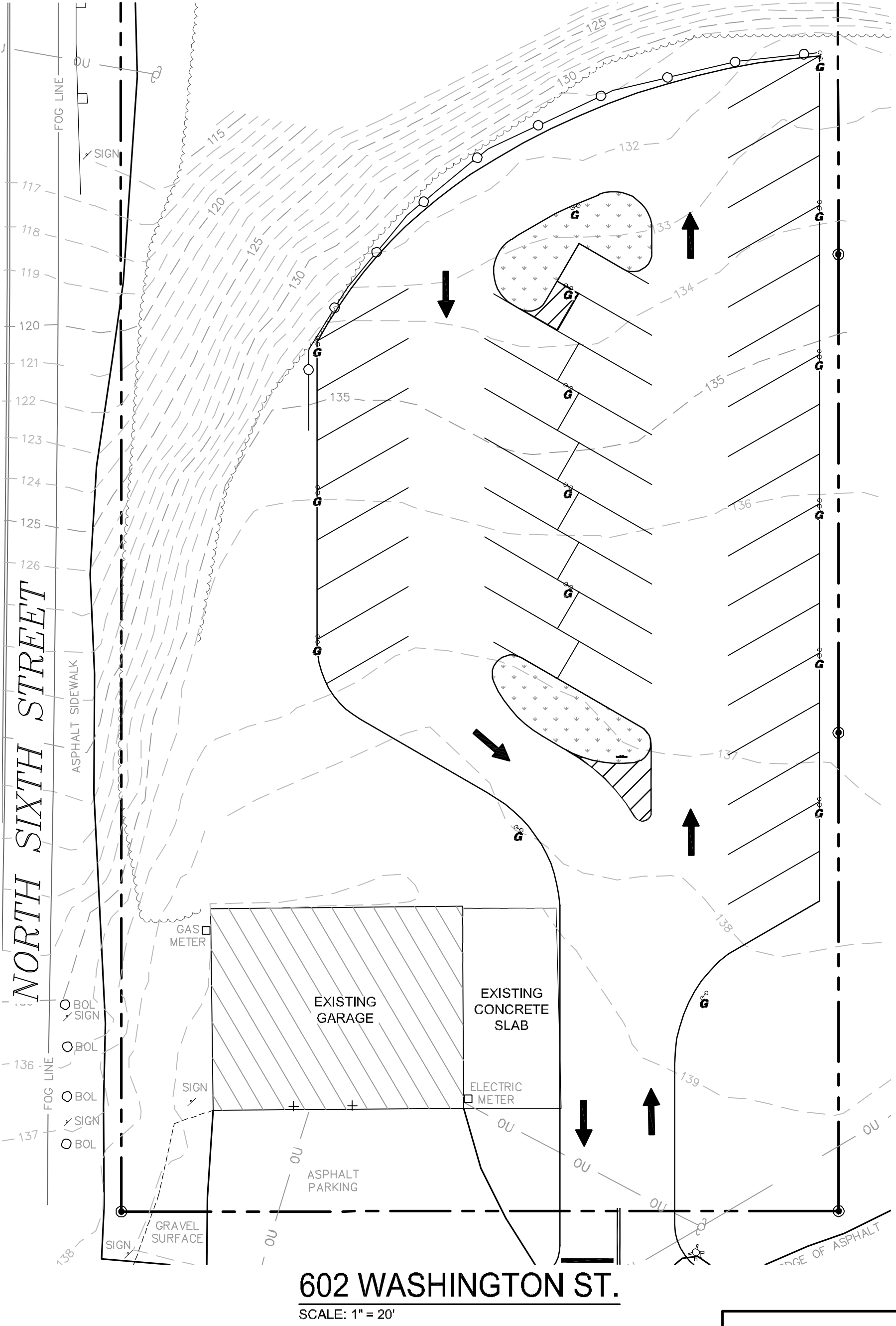
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DESIGNED BY: SJC
APPROVED BY: CAL
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LIGHTING SCHEDULE		
SYMBOL	TYPE OF LIGHT	SPECIFICATION
A	WALL SCONCE	SEE DETAIL A/C501
B	WALL SCONCE	SEE DETAIL B/C501
C	WALL SCONCE	SEE DETAIL C/C501
D	WALL SCONCE	SEE DETAIL D/C501
E	WALL FIXTURE	SEE DETAIL E/C501
F	WALL FIXTURE	SEE DETAIL F/C501
G	DOUBLE HOOK POLE LIGHT	SEE DETAIL G/C501
H	SINGLE HOOK POLE LIGHT	SEE DETAIL H/C501

LEGEND

- 144 — EXISTING CONTOUR 1' INTERVAL
- 145 — EXISTING CONTOUR 5' INTERVAL
- - - - - PROPERTY LINE
- — — — — EDGE OF PAVEMENT
- U0 — U0 — EXISTING OVERHEAD UTILITIES
- [Hatched Box] EXISTING BUILDING
- [Hatched Box] PROPOSED BUILDING



- NOTES:
1. BASE MAP OBTAINED FROM A SURVEY TITLED "SURVEY FOR THE MERGER OF LANDS OF PARCEL A- HUDSON COLLECTIVE REALTY, LLC AND PARCEL B AND C- GALVAN INITIATIVES FOUNDATION" BY DANIEL J RUSSELL, PLS, DATED APRIL 27, 2020.
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 3. BASE MAP OBTAINED FROM A SURVEY TITLED "PROPERTY OF 602 WASHINGTON STREET, LLC" BY JAMES TOMASO, PLS, DATED APRIL 13, 2017.

C105

SCALE:
AS SHOWN

REV. NO.	DATE	DESCRIPTION	BY	S/C
1	2/22/21	STIFF BUILDING AND SIDEWALK EAST AND UPRATED ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING	S/C	
2	3/31/21	ADD PROPOSED PARKING LOT PARCEL	S/C	

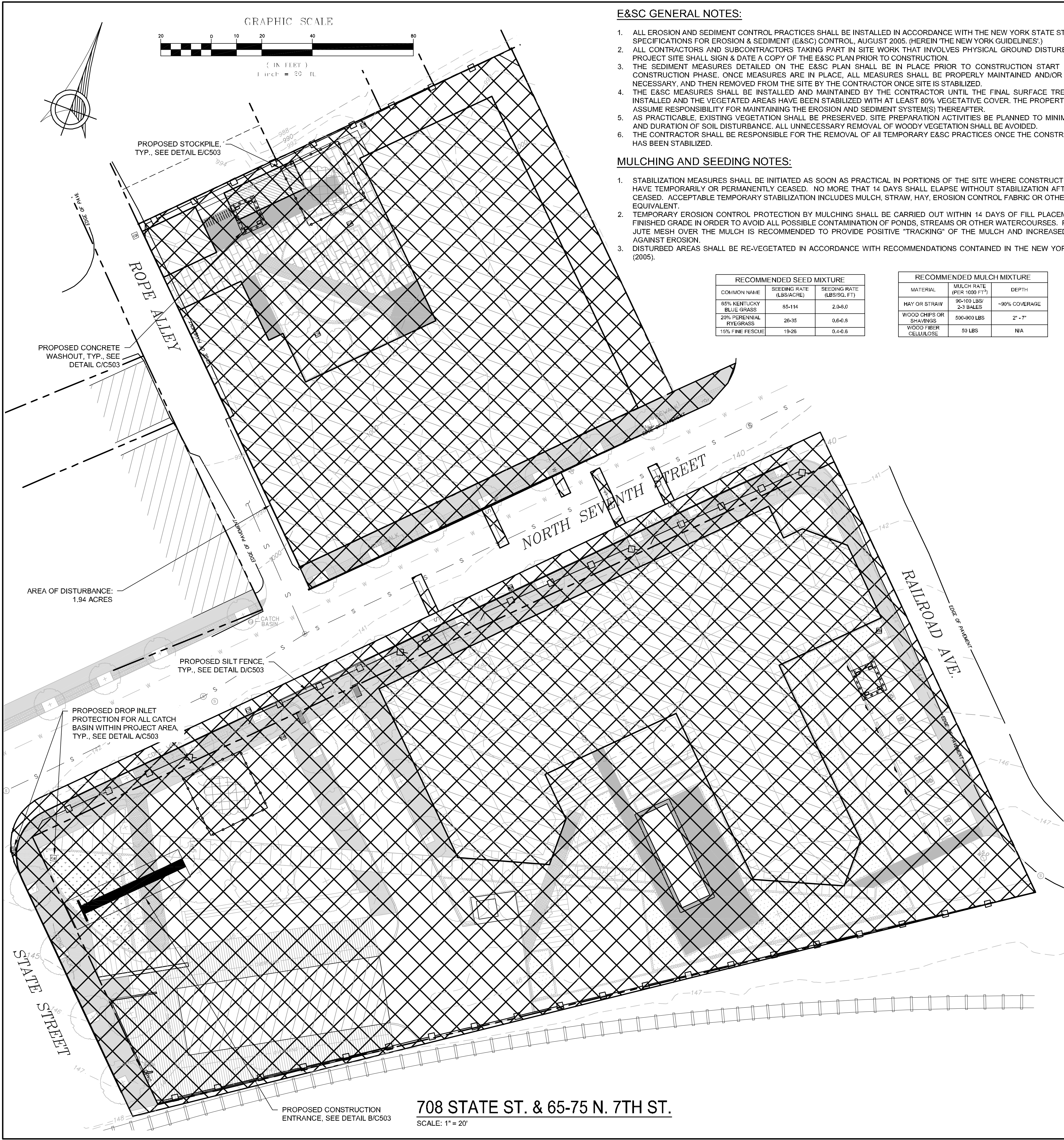
LIGHTING PLAN

HUDSON DEPOT
DISTRICT

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TACONIC JOB#
20200
SHEET

DRAWN BY: S/C
DESIGNED BY: S/C
APPROVED BY: CAL
ISSUED
12-23-20



E&SC GENERAL NOTES:

1. ALL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED IN ACCORDANCE WITH THE NEW YORK STATE STANDARDS AND SPECIFICATIONS FOR EROSION & SEDIMENT (E&SC) CONTROL, AUGUST 2005. (HEREIN THE NEW YORK GUIDELINES.)
2. ALL CONTRACTORS AND SUBCONTRACTORS TAKING PART IN SITE WORK THAT INVOLVES PHYSICAL GROUND DISTURBANCE ON THE PROJECT SITE SHALL SIGN & DATE A COPY OF THE E&SC PLAN PRIOR TO CONSTRUCTION.
3. THE SEDIMENT MEASURES DETAILED ON THE E&SC PLAN SHALL BE IN PLACE PRIOR TO CONSTRUCTION START UP FOR EACH CONSTRUCTION PHASE. ONCE MEASURES ARE IN PLACE, ALL MEASURES SHALL BE PROPERLY MAINTAINED AND/OR REPLACED AS NECESSARY, AND THEN REMOVED FROM THE SITE BY THE CONTRACTOR ONCE SITE IS STABILIZED.
4. THE E&SC MEASURES SHALL BE INSTALLED AND MAINTAINED BY THE CONTRACTOR UNTIL THE FINAL SURFACE TREATMENTS ARE INSTALLED AND THE VEGETATED AREAS HAVE BEEN STABILIZED WITH AT LEAST 80% VEGETATIVE COVER. THE PROPERTY OWNER WILL ASSUME RESPONSIBILITY FOR MAINTAINING THE EROSION AND SEDIMENT SYSTEM(S) THEREAFTER.
5. AS PRACTICABLE, EXISTING VEGETATION SHALL BE PRESERVED. SITE PREPARATION ACTIVITIES BE PLANNED TO MINIMIZE THE AREA AND DURATION OF SOIL DISTURBANCE. ALL UNNECESSARY REMOVAL OF WOODY VEGETATION SHALL BE AVOIDED.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL TEMPORARY E&SC PRACTICES ONCE THE CONSTRUCTION PHASE HAS BEEN STABILIZED.

MULCHING AND SEEDING NOTES:

1. STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED. NO MORE THAT 14 DAYS SHALL ELAPSE WITHOUT STABILIZATION AFTER WORK HAS CEASED. ACCEPTABLE TEMPORARY STABILIZATION INCLUDES MULCH, STRAW, HAY, EROSION CONTROL FABRIC OR OTHER FUNCTIONAL EQUIVALENT.
2. TEMPORARY EROSION CONTROL PROTECTION BY MULCHING SHALL BE CARRIED OUT WITHIN 14 DAYS OF FILL PLACEMENT TO FINAL FINISHED GRADE IN ORDER TO AVOID ALL POSSIBLE CONTAMINATION OF PONDS, STREAMS OR OTHER WATERCOURSES. PLACEMENT OF JUTE MESH OVER THE MULCH IS RECOMMENDED TO PROVIDE POSITIVE "TRACKING" OF THE MULCH AND INCREASED PROTECTION AGAINST EROSION.
3. DISTURBED AREAS SHALL BE RE-VEGETATED IN ACCORDANCE WITH RECOMMENDATIONS CONTAINED IN THE NEW YORK GUIDELINES (2005).

RECOMMENDED SEED MIXTURE		
COMMON NAME	SEEDING RATE (LBS/ACRE)	SEEDING RATE (LBS/SQ. FT.)
85% KENTUCKY BLUE GRASS	85-114	2.0-6.0
20% PERENNIAL RYEGRASS	26-35	0.6-0.9
15% FINE FESCUE	19-26	0.4-0.6

RECOMMENDED MULCH MIXTURE		
MATERIAL	MULCH RATE (PER 1000 FT ²)	DEPTH
HAY OR STRAW	90-100 LBS/ 2-3 BALES	~30% COVERAGE
WOOD CHIPS OR SHAVINGS	500-900 LBS	2" - 7"
WOOD FIBER CELLULOSE	50 LBS	N/A

SILT FENCE NOTES:

1. SILT FENCE SHALL BE CONSTRUCTED BEFORE UPSLOPE GROUND COVER IS REMOVED. CLEARING, GRUBBING, AND STUMPING CAN OCCUR BEFORE SILT FENCE INSTALLATION IF GROUND COVER IS NOT REMOVED.
2. ALL SILT FENCE SHALL BE PLACED AS CLOSE TO THE CONTOUR AS POSSIBLE SO THAT WATER WILL NOT CONCENTRATE AT LOW POINTS IN THE FENCE AND SO THAT SMALL SWALES OR DEPRESSIONS THAT MAY CARRY SMALL CONCENTRATED FLOWS TO THE SILT FENCE ARE DISSIPATED ALONG ITS LENGTH.
3. ENDS OF THE SILT FENCES SHALL BE BROUGHT UPSLOPE SLIGHTLY SO THAT WATER PONDED BY THE SILT FENCE WILL BE PREVENTED FROM FLOWING AROUND THE ENDS.
4. SILT FENCE SHOULD PREFERABLY BE A MINIMUM OF 10 FEET FROM THE TOE OF SLOPE.
5. THE TRENCH SHALL BE MADE WITH A TRENCHER, CABLE LAYING MACHINE, SLICING MACHINE, OR OTHER SUITABLE DEVICE THAT WILL ENSURE AN ADEQUATELY UNIFORM TRENCH DEPTH.
6. WHERE TWO SECTIONS OF PREFABRICATED SILT FENCE ARE COMBINED INTO ONE RUN, THE END POSTS SHALL BE CONNECTED TOGETHER, NOT SIMPLY OVERLAPPED.
7. SILT FENCE SHALL ALLOW RUNOFF TO PASS ONLY AS DIFFUSE FLOW THROUGH THE GEOTEXTILE. IF RUNOFF OVERTOPS THE SILT FENCE, FLOWS AROUND THE ENDS, OR IN ANY OTHER WAY BECOMES A CONCENTRATED FLOW, ONE OF THE FOLLOWING SHALL BE PERFORMED, AS APPROPRIATE: A) AN ADDITIONAL RUN OF SILT FENCE SHALL BE PLACED UPSTREAM, B) THE LAYOUT OF THE SILT FENCE SHALL BE CHANGED, C) ACCUMULATED SEDIMENT SHALL BE REMOVED, OR D) OTHER PRACTICES SHALL BE IMPLEMENTED.
8. SEDIMENT DEPOSITS SHALL BE REMOVED WHEN THE DEPOSIT REACHES APPROXIMATELY ONE-HALF OF THE HEIGHT OF THE SILT FENCE.
9. ALL STOCKPILES SHALL BE INCIRCLED WITH SILT FENCE.
10. BE EITHER FILTERX, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT. ALTERNATE SILT FENCE FABRIC SHALL MEET THE FOLLOWING SPECIFICATIONS: MINIMUM TENSILE STRENGTH 120 LBS., ASTM D 4632; MAXIMUM ELONGATION AT 60 LBS., 15%, ASTM D 4632; MINIMUM PUNCTURE STRENGTH 50 LBS., ASTM D 4833; MINIMUM TEAR STRENGTH 40 LBS., ASTM D 4533, APPARENT OPENING SIZE <= 0.84MM, ASTM D 4751; MINIMUM PERMITTIVITY 1X10-2SEC-1, ASTM D 4491; WATER FLOW RATE 15GAL./MIN/SQ. FT.; UV EXPOSURE STRENGTH RETENTION, 70%, ASTM G 4355.

DROP INLET PROTECTION NOTES:

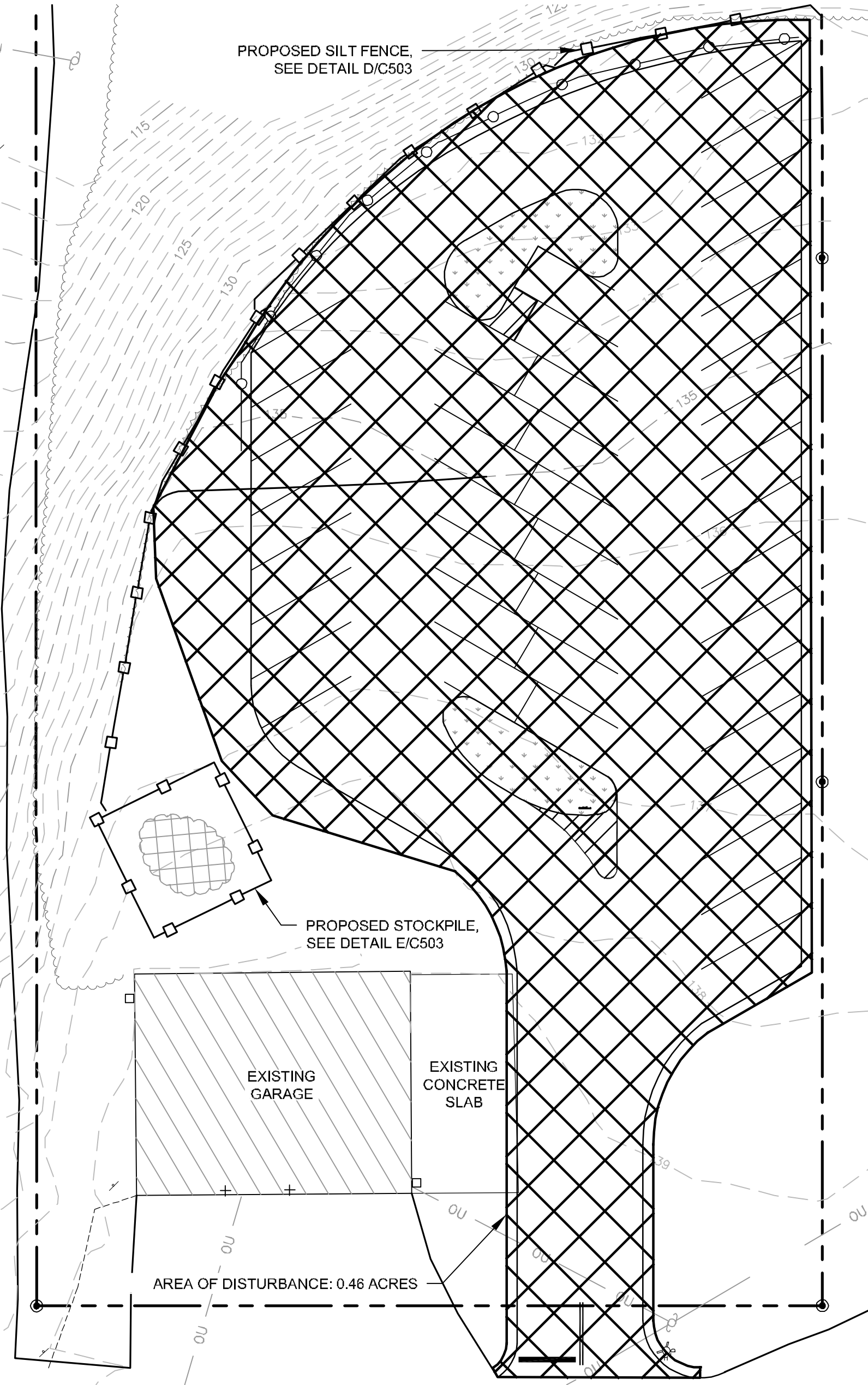
1. FILTER GRAVEL OF INLET PROTECTION SHALL BE REPLACED WHEN BECOMES CHOKED WITH SEDIMENT DURING CONSTRUCTION.

STABILIZED CONSTRUCTION ENTRANCE NOTES:

1. WHERE NECESSARY, STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED TO PREVENT SOIL AND SEDIMENT FROM BEING TRACKED ONTO ROADWAYS.
2. TRAFFIC CORRIDORS SHALL BE ESTABLISHED AND "ROUTES OF CONVENIENCE" SHALL BE AVOIDED. CONSTRUCTION TRAFFIC SHALL NOT CROSS STREAMS OR DITCHES EXCEPT AT SUITABLE CROSSING FACILITIES, AND SHALL NOT OPERATE UNNECESSARILY WITHIN WATERWAYS OR DRAINAGE DITCHES.
3. IF INTERNAL CONSTRUCTION ROADS ARE A SOURCE OF SEDIMENT-LADEN RUNOFF TO SENSITIVE AREAS, MEASURES SHALL BE TAKEN TO STABILIZE THE INTERNAL ROADWAYS AS SOON AS PRACTICABLE.

STOCKPILE NOTES:

1. SILT FENCE OR HAY BALE BERMS SHALL BE CONSTRUCTED AROUND ALL STOCKPILE OF FILL, TOPSOIL, AND EXCAVATED OVERBURDEN THAT ARE TO REMAIN EXPOSED FOR PERIODS LESS THAN 14 DAYS. SILT FENCE OR HAY BALE BERMS ARE TO REMAIN IN PLACE UNTIL SUCH TIME AS SAID STOCKPILES ARE REMOVED AND STOCKPILE AREAS ARE BROUGHT BACK TO FINAL GRADE AND PERMANENTLY STABILIZED.
2. TOPSOIL AND SOIL THAT IS TO REMAIN STOCKPILED ONSITE PER PERIODS GREATER THAN 14 DAYS SHALL BE STABILIZED BY SEEDING. STOCKPILES SHALL BE GRADED TO PROMOTE SEED/MULCH APPLICATION AND PROPAGATION.



602 WASHINGTON ST.

SCALE: 1" = 20'

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DIRECTION OF A LICENSED PROFESSIONAL ENGINEER

C106

SCALE:
AS SHOWN

BY	DATE	DESCRIPTION	REV. NO.
SJC	2/22/21	SILT FENCE AND STOCKPILE EAST AND WEST ASSOCIATED LANDSCAPE LIGHTING AND GRADING	1
SJC	3/31/21	ADD PROPOSED PARKING LOT PARCEL	2

EROSION & SEDIMENT
CONTROL PLAN

HUDSON DEPOT
DISTRICT

TACONIC ENGINEERING, DPC
PO BOX 272 CHATHAM NY 12037 (518) 362-6860
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TACONIC JOB#
20200
SHEET

DRAWN BY: SJC
DESIGNED BY: SJC
APPROVED BY: CAL
ISSUED
12-28-20



Pittock 3-1/4" Single Sconce Black Enamel with Opal Shade Item #A2152 http://www.rejuvenation.com/s/190qn	
Specification	Detail
Item #	A2152
Width	5-7/8"
Height	11-3/8"
Depth	7-1/8"
Weight	4.5 lbs.
Fitter Size	3-1/4"
Number of Sockets	1
Wattage	40W
Canopy Diameter	4-7/8"

A

C501

WALL SCONCE SPECIFICATION

SCALE: N.T.S.



Thorburn Wide Wall Sconce Matte White Item #A3637 http://www.rejuvenation.com/s/1bfms	
Specification	Detail
Item #	A3637
Width	5"
Height	12"
Depth	6-1/2"
Sockets	2
Maximum Wattage per Socket	40W
Backplate Dimnsions	4-1/2W x 9" H
Price as shown*: \$359.00	
*Shipping and handling fees apply	

B

C501

WALL SCONCE SPECIFICATION

SCALE: N.T.S.



Carson Straight Arm LED Wall Fixture Item #A6612 http://www.rejuvenation.com/s/171fg	
Specification	Detail
Item #	A6612
Finish	Carbon
Projection	18"
Arm Support	None
Shade	80039-14 in-MM
Shade SKU	90039-14 in-MM
UL Listed	UL Listed
Location	Wet
Canopy	5"
Overall fixture width	11-1/2"
Length	18-3/8"
Overall fixture depth	23-3/4"
LED lumens	2700 lm
LED CRI	80
LED color temperature	3000°
Shade height	10"
LED	20W

F

C501

WALL FIXTURE SPECIFICATION

SCALE: N.T.S.



Yaquina 24" LED Sconce Oil-Rubbed Bronze with White Glass Item #A2414 http://www.rejuvenation.com/s/192i4	
Specification	Detail
Item #	A2414
Width	5-1/4"
Height	24-1/4"
Depth	4"
Sockets	Integrated LED
LED Color Temperature	3000K
LED Brightness	1200 lumens
CRI	90

C

C501

WALL SCONCE SPECIFICATION

SCALE: N.T.S.



Yaquina 12" LED Sconce Oil-Rubbed Bronze with White Glass Item #A2410 http://www.rejuvenation.com/s/192hw	
Specification	Detail
Item #	A2410
Width	5-1/4"
Height	12-1/4"
Depth	4"
LED Color Temperature	3000K
LED Brightness	1200 lumens
CRI	90

D

C501

WALL SCONCE SPECIFICATION

SCALE: N.T.S.



Carson 16" Double Shepherd's Hook LED Post Light Matte Black Item #A9750 http://www.rejuvenation.com/s/18eb3	
Specification	Detail
Item #	A9750
Overall Width	16"
Overall Height	28"
Projection	46"
Wattage	20W
Lumens	2700
Color Temperature	3000K
CRI	80
UL Location Rating	Wet
Overall Height with 8' Post	10' 1'-5/8"
Overall Height with 10' Post	12' 1'-5/8"
Overall Height with 12' Post	14' 1'-5/8"
Shade Only Diameter	16"
Arm Only Projection	30"
Arm Pipe Diameter	1-1/16"
Wire Length	6" lead wire

G

C501

POLE LIGHTING SPECIFICATION

SCALE: N.T.S.



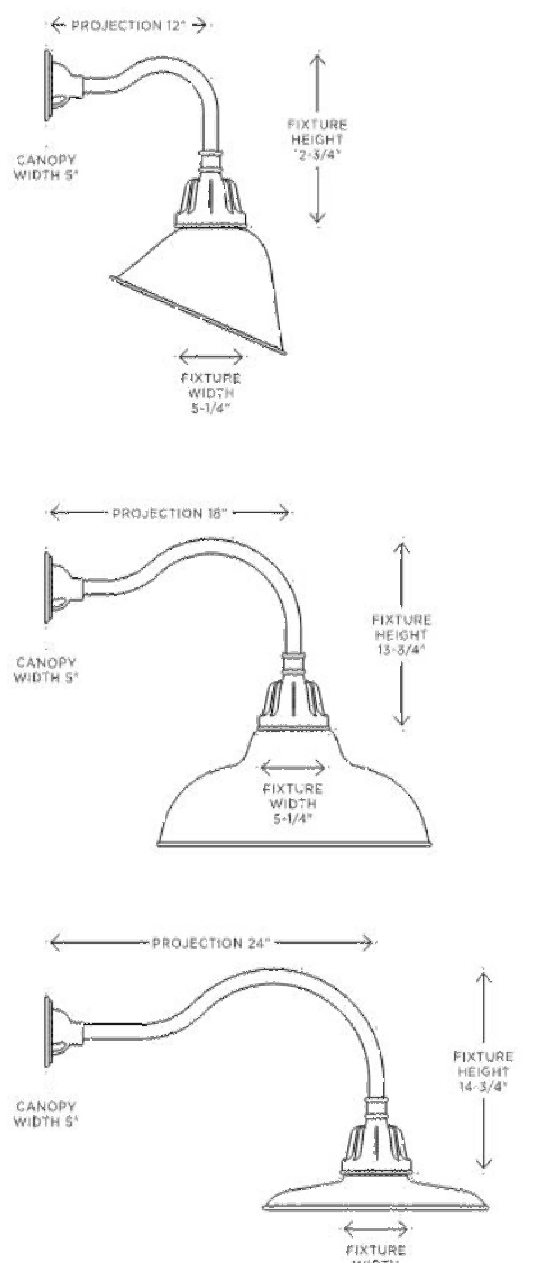
Carson 20" Shepherd's Hook LED Post Light Gloss Signal Red Item #A1288 http://www.rejuvenation.com/s/18lm6	
Specification	Detail
Item #	A1288
Overall Width	20"
Overall Height	27-1/2"
Projection	26-1/4"
Wattage	20W
Lumens	2700
Color Temperature	3000K
CRI	80
UL Location Rating	Wet
Overall Height with 8' Post	10' 1'-1/4"
Overall Height with 10' Post	12' 1'-1/4"
Overall Height with 12' Post	14' 1'-1/4"
Shade Only Diameter	20"
Arm Only Projection	14-1/2"
Arm Pipe Diameter	1-1/16"
Wire Length	6" lead wire

H

C501

POLE LIGHTING SPECIFICATION

SCALE: N.T.S.



CARSON
GOOSENECK

WAREHOUSE WALL FIXTURE

AVAILABLE SIZES: A2949 - 12\"/>



DETAILS

UL RATING: Wet

NUMBER OF SOCKETS: 1

MAX WATTAGE: 300W

AVAILABLE SOCKET TYPES: Standard incandescent or GU24

NUMBER OF AVAILABLE COMBINATIONS: 120+

SHADE SHOWN: 90039 - Angled Dome in Gloss Green

AVAILABLE FIXTURE FINISH: Carbon

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C501

SCALE:
AS SHOWN

BY:	SJC		
DATE:	2/22/21	3/31/21	
DESCRIPTION:	SHIFT BUILDING AND SIDEWALK PAVING EAST AND GRADING ASSOCIATED LANDSCAPE, LIGHTING, AND GRADING ADD PROPOSED PARKING LOT PARCEL		
REV. No.	1	2	

LIGHTING
SPECIFICATIONS

HUDSON DEPOT
DISTRICT

COLUMBIA COUNTY

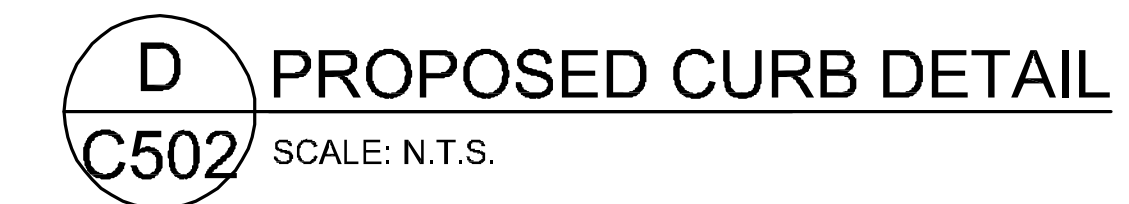
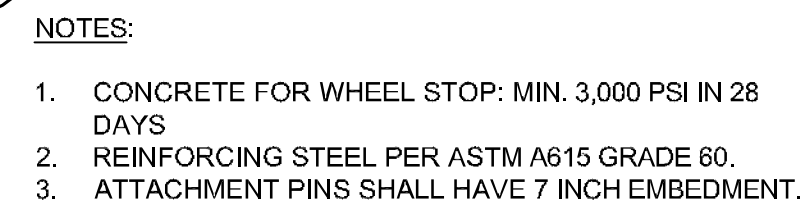
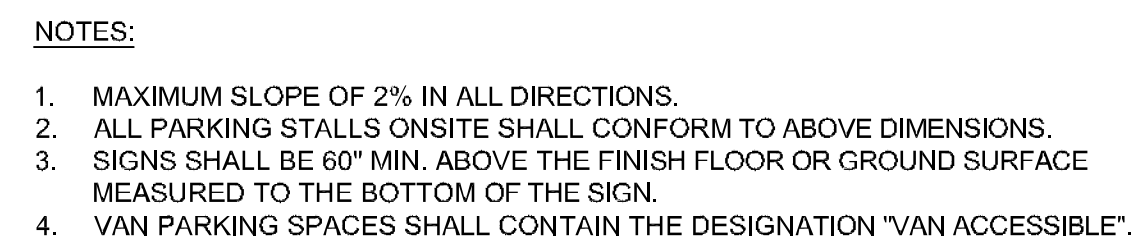
CITY OF HUDSON

TACONIC ENGINEERING, DPC

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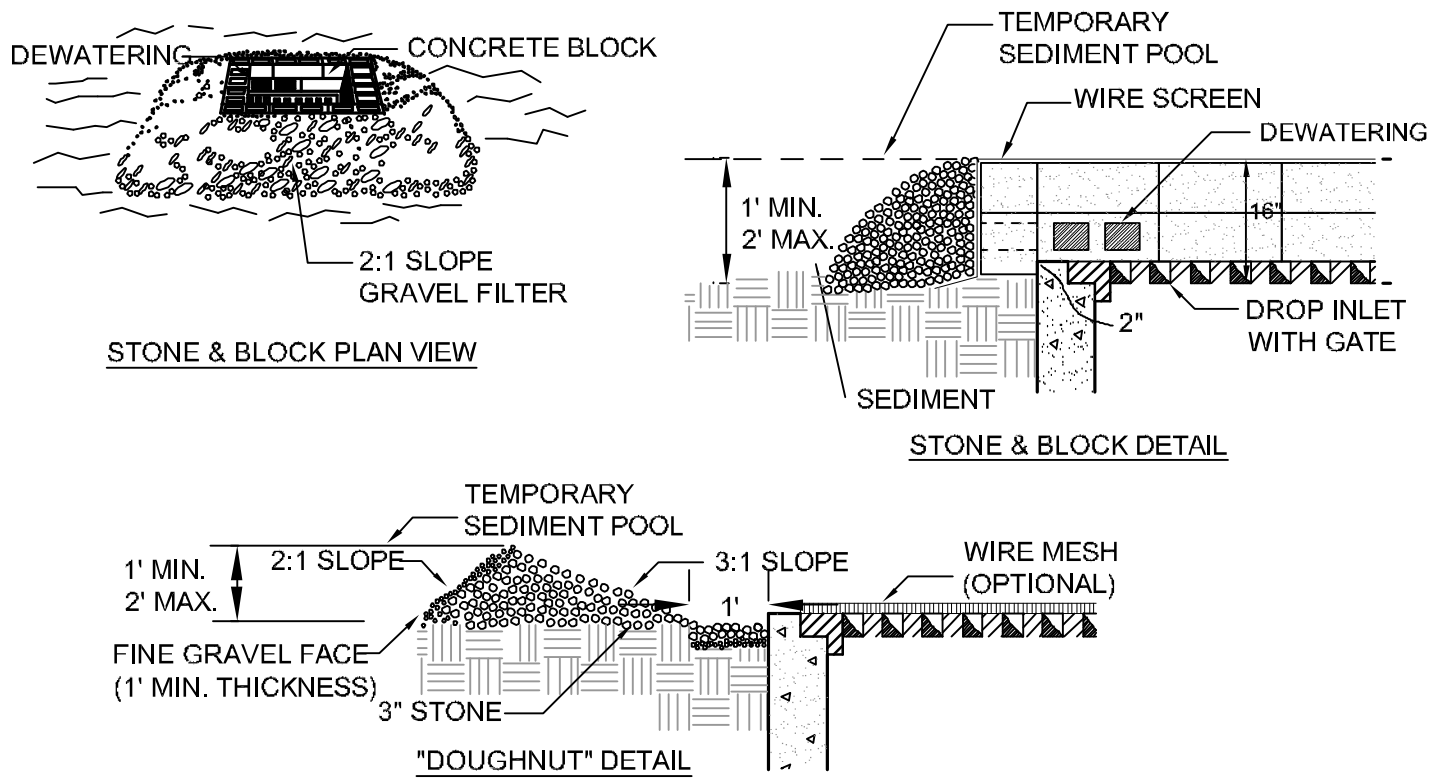
TACONIC JOB#
20200
SHEET

DRAWN BY: SJC
DESIGNED BY: SJC
APPROVED BY: CAL
ISSUED
12-28-20



DRAWN BY: SJC
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12-28-20

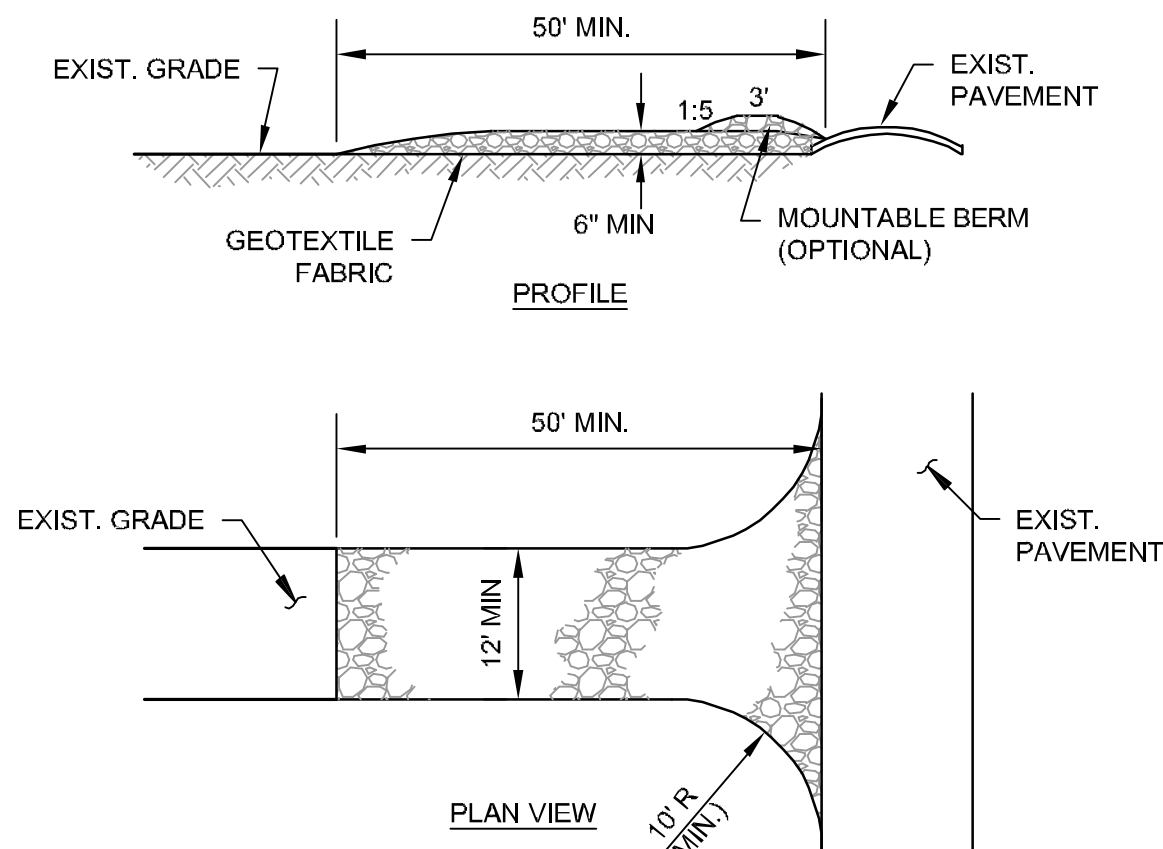
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CONSTRUCTION SPECIFICATIONS

1. LAY ONE BLOCK ON EACH SIDE OF THE STRUCTURE ON ITS SIDE FOR DEWATERING. FOUNDATION SHALL BE 2 INCHES MINIMUM BELOW REST OF INLET AND BLOCKS SHALL BE PLACED AGAINST INLET FOR SUPPORT.
2. HARDWARE CLOTH OR 1/2" WIRE MESH SHALL BE PLACED OVER BLOCK OPENINGS TO SUPPORT STONE.
3. USE CLEAN STONE OR GRAVEL 1/2-3/4 INCH IN DIAMETER PLACED 2 INCHES BELOW TOP OF THE BLOCK ON A 2:1 SLOPE OR FLATTER.
4. FOR STONE STRUCTURES ONLY, A 1 FOOT THICK LAYER OF THE FILTER STONE WILL BE PLACED AGAINST THE 3 INCH STONE AS SHOWN ON THE DRAWINGS. MAXIMUM DRAINAGE AREA 1 ACRE

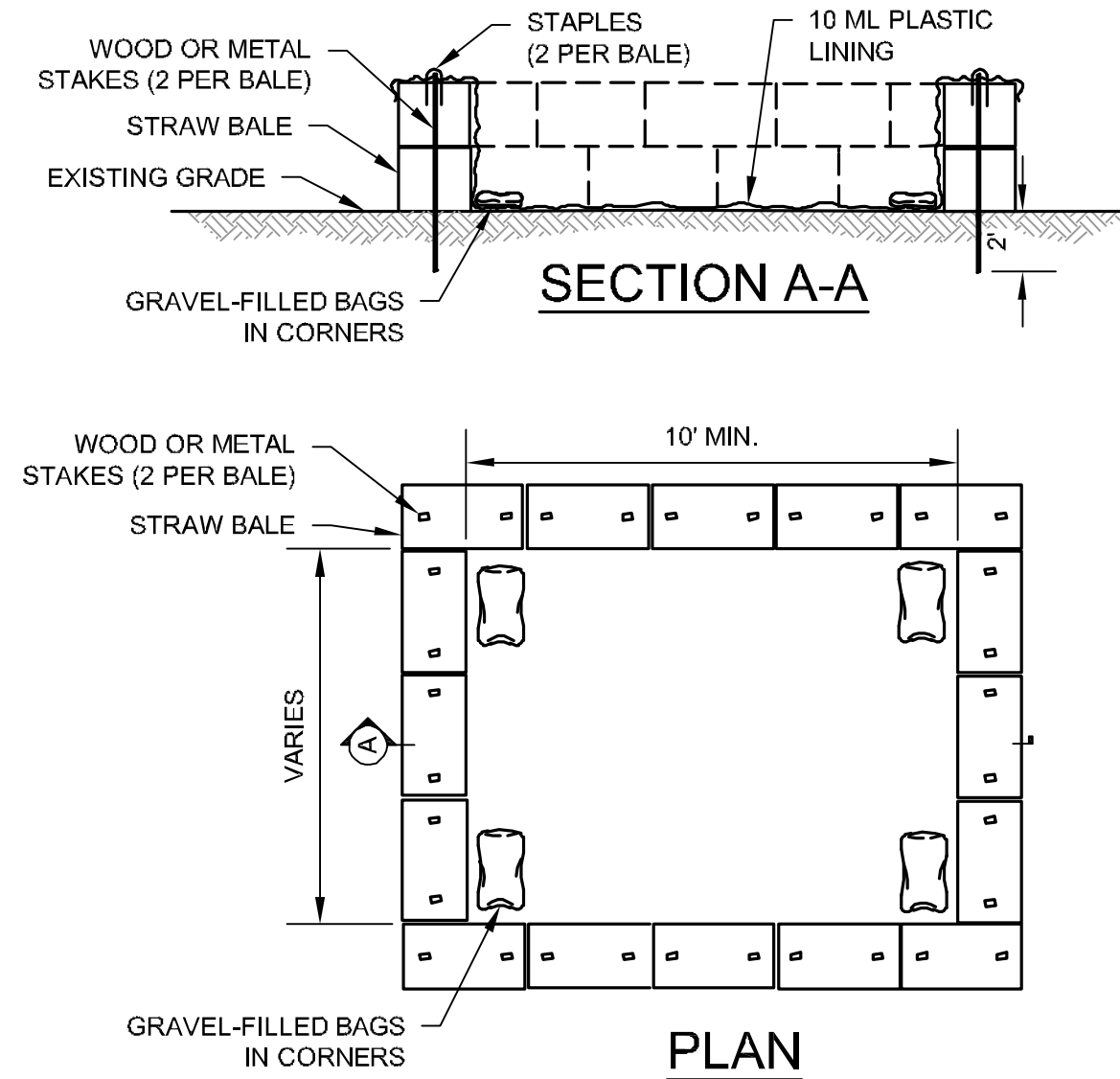
A DROP INLET PROTECTION DETAIL
C503 SCALE: N.T.S.



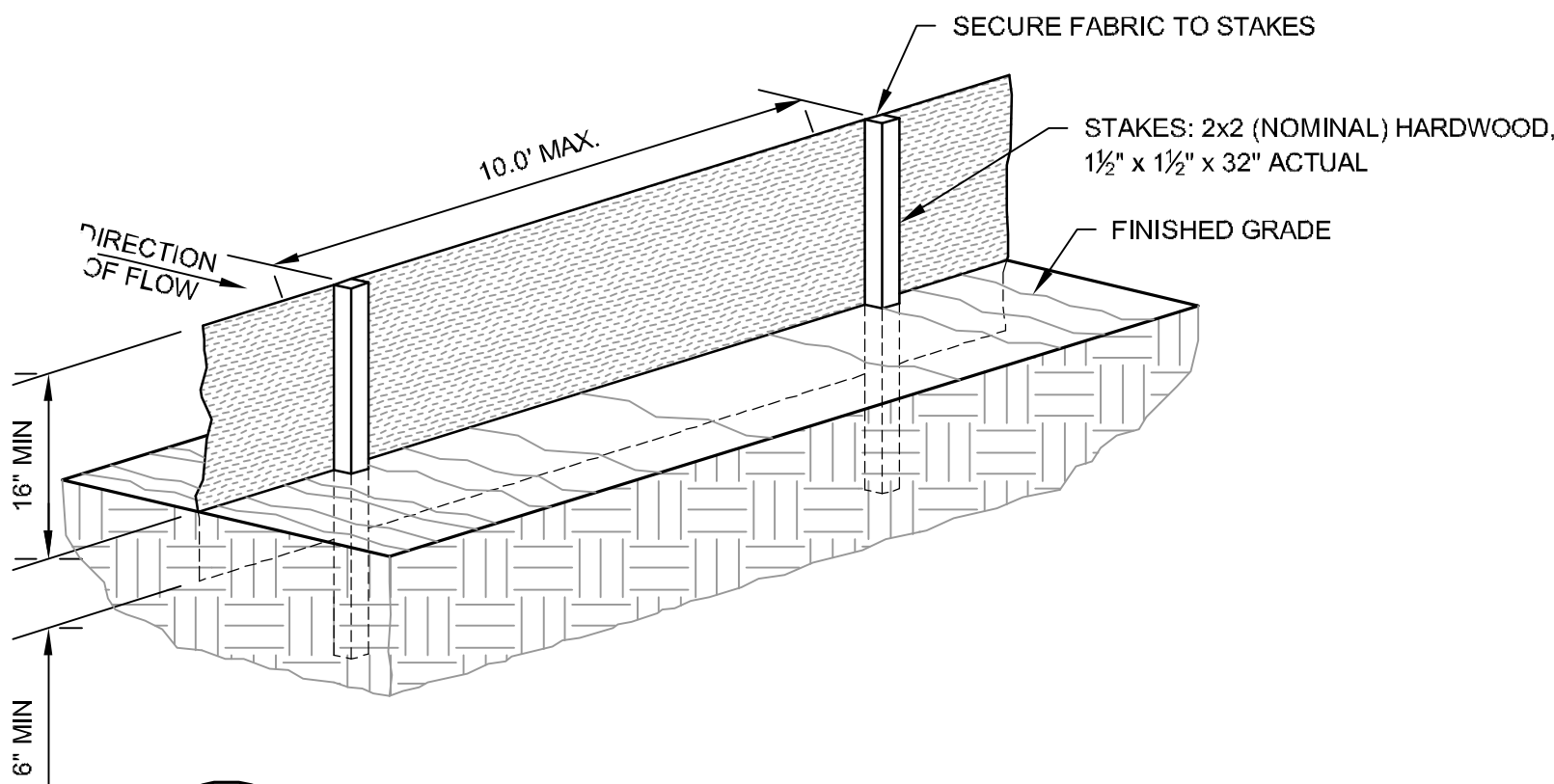
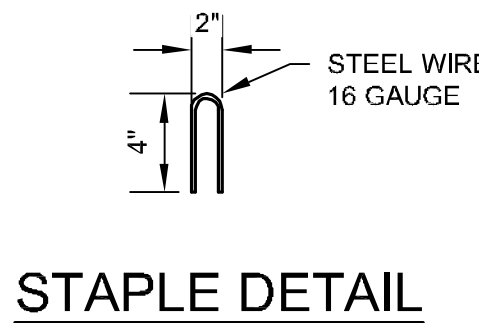
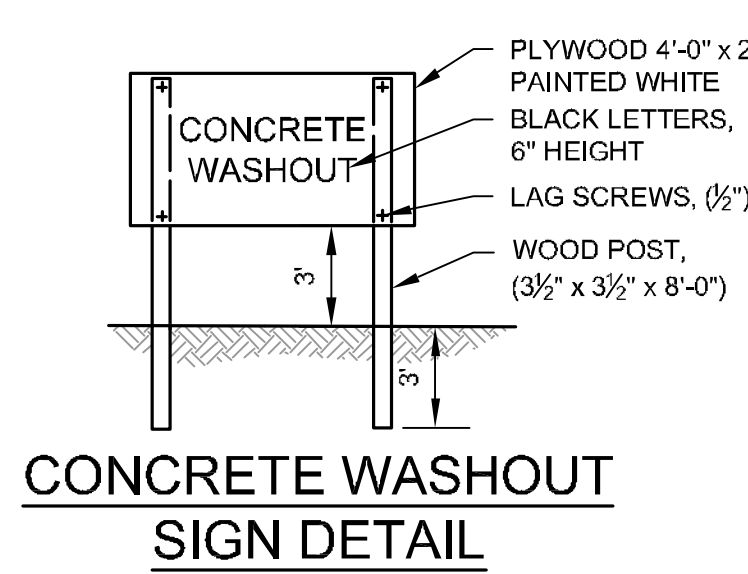
NOTES:

1. STONE SIZE - USE 2" STONE OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. LENGTH - AS REQUIRED, BUT NOT LESS THAN 50' (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30' MINIMUM LENGTH WOULD APPLY.)
3. THICKNESS - NOT LESS THAN 6".
4. WIDTH - 10' MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS.
5. FILTER CLOTH - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO THE PLACING OF STONE. FILTER WILL NOT BE REQUIRED ON A SINGLE FAMILY RESIDENCE LOT
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES SHALL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEAN-OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WASHING - WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC RIGHTS-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

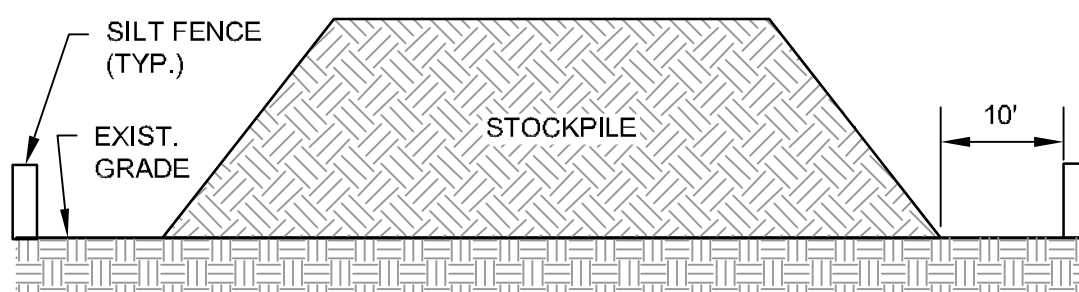
B CONSTRUCTION ENTRANCE DETAIL
C503 SCALE: N.T.S.



C CONCRETE WASHOUT DETAIL
C503 SCALE: N.T.S.



D SILT FENCE DETAIL, TYP.
C503 SCALE: N.T.S.



E STOCKPILE DETAIL, TYP.
C503 SCALE: N.T.S.

NOTES:

1. SILT FENCE TO EXTEND AROUND ENTIRE PERIMETER OF STOCKPILE OR TO EXTEND AROUND DOWNSTREAM PORTION IF STOCKPILE IS ON A SLOPE.

C503

SCALE:
AS SHOWN

BY				
DATE				
DESCRIPTION				
REV. NO.				

SITE DETAILS

HUDSON DEPOT
DISTRICT

CITY OF HUDSON
COLUMBIA COUNTY



TACONIC JOB#
20200
SHEET

DRAWN BY: SJC
DESIGNED BY: SJC
APPROVED BY: CAL
ISSUED
3-31-21

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