



## DEPARTMENT of CODE ENFORCEMENT

751 Warren Street, Suite #3  
Hudson, New York 12534  
Phone 518 828-3133 Fax 518 828-9241

Lisa Kenneally  
Chairwoman; ZBA  
City of Hudson  
520 Warren Street  
Hudson, NY 12534

July 8, 2024

RE: Mill Street Lofts, Hudson, NY 12534  
ID# 109.36-1-10

Attached are 2 area variance applications from the owner of the above referenced property. Application one is requesting a variance to reduce the City of Hudson Code requirement of a parking space size from 10'x20' to 9'x18'. Application two is requesting a variance to construct a 4-story building in the R4 zoning district which only allows 3 story buildings. The variance is for 1 story.

The property is located in the R4 zoning district and requires the scheduled bulk for the R4 multiple dwellings. The proposal is a permitted use.

Any questions you may have please contact my office.



Craig Haigh

Code Enforcement Official



City of Hudson  
Mayor's Office- Housing Dept.  
City Hall, 520 Warren St  
Hudson, NY 12534  
(518) 828-7217 | mayor@cityofhudson.org  
cityofhudson.org

June 10<sup>th</sup>, 2024

City of Hudson Zoning Board of Appeals  
520 Warren Street  
Hudson, NY 12534

RE: Mill Street Lofts Development

Dear Ms. Kenneally,

Please accept this letter as authorization to permit Kearney Realty & Development Group, Inc. with proceeding with an application to the Zoning Board of Appeals for tax map: 109.36-1-10.

Sincerely,

Kamal Johnson  
Mayor  
City of Hudson



June 7, 2024

Mr. Craig Haigh  
Code Enforcement Officer  
City of Hudson  
429 Warren Street  
Hudson, NY 12534

**Re Mill Street Lofts**  
ZBA Application  
CPL Project No. R23.01044.00

Dear Mr. Haigh:

CPL is submitting the enclosed materials on behalf of the applicant, Kearney Realty & Development Group, for review and discussion at the June 19, 2024, Zoning Board of Appeals meeting. Application fees and an authorization letter from the current property owner (City of Hudson) will be submitted under separate cover.

- ZBA Application for Area Variance – Parking Stall Size Reduction, dated June 5, 2024
- ZBA Application for Area Variance – No of Building Stories, dated June 5, 2024
- Full Environment Assessment Form (FEAF), dated April 26, 2024
- Site Plan drawing set, dated April 26, 2024
- Building Elevations & Floor Plan, dated February 27, 2024

The Mill Street Lofts project proposes to develop the vacant lot located at the intersection of Mill Street and North 3rd Street (SBL: 109.36-1-10). The project includes construction of two (2) new four-story residential buildings on the existing 3.31-acre lot. A total of 70 units are proposed between the two buildings. Along with the new buildings, the project proposes new parking, utilities, and amenities to serve the future tenants. The site is located within the Multiple Dwellings (R-4) zoning district and in accordance with the district regulations, area variances will be required for the proposed number of stories for each building (4 stories versus the allowable 3 stories) and the size of the proposed parking stalls (9'x18' versus the allowable 10'x20').

This project is under review by the City Planning Board which has circulated a notice of intent to be lead agency to all interested and involved agencies, including the Zoning Board of Appeals (ZBA). The enclosed Full Environmental Assessment Form (FEAF) was submitted to the Planning Board and was likely provided to this Board as part of the lead agency circulation.



Mr. Craig Haigh  
City of Hudson  
June 7, 2024  
Page 2 of 2

The enclosed ZBA application forms provide justification for the requested variances but in general the variances requested have the effect of reducing the overall footprint of the project with minimal impact to the surrounding area and the environment.

We look forward to discussing this project with the Board at the upcoming ZBA meeting. Should you have any questions or require additional information, please contact me at (845) 686-2306 or by email at [ALearn@CPLteam.com](mailto:ALearn@CPLteam.com).

Very truly yours,

A handwritten signature in black ink, appearing to read 'A. Learn', with a long horizontal flourish extending to the right.

Andrew L. Learn, PE  
Associate Principal

Enclosures

C: Sean Kearney, Kearney Realty & Development Group, via email  
Mario Salpepi, Coppola Associates, via email  
Christian Donahoe, Kearney Realty & Development Group, via email

**OFFICE USE ONLY**

Case#
Application filed Hearing Date
Decision filed



**APPLICATION TO THE CITY OF HUDSON, NEW YORK  
ZONING BOARD OF APPEALS  
FOR AREA VARIANCE**

**Name of Applicant:** Kearney Realty & Development Group

**Mailing Address:** 57 Route 6 Suite 207

**City State Zip** Baldwin Place NY 10505

**Telephone #** 845-306-7705

**Location of Property** Mill Street, Hudson, NY 12051

**Tax Map Number** 109.36-1-10

**Zoning District** R-4

**A. Article and Section Number of Zoning Ordinance being appealed:** 325-19E

**(Attach Decision of Code Enforcement Officer)**

**B. Nature of Variance Requested. Describe Project in Detail.**  
**(Attach additional sheets as needed)** Parking lot stall size  
reduced from required 10' x 20' to standard size of

9' x 18'

*325-19E*

**Area Variance Application**

**Important:** A site plan must accompany this application. It should be drawn to scale by a licensed engineer, landscape, architect or surveyor. The professional's name, address, and phone number noted on drawing. The plan shall show the location of all existing and proposed buildings, parking areas and any other pertinent information.

**C. Justification of Variance. (Attach additional sheets as needed):**

**(1) An undesirable change will not be produced in the CHARACTER of the neighborhood or a detriment to nearby properties, if granted, because:**

The requested variance will not result in any visual difference to the neighborhood.

**(2) The benefit sought by the applicant CANNOT be achieved by some method Feasible for the applicant to pursue, other than an area variance, because:**

Variance request is a positive benefit to the environment since it will allow for a decrease of overall asphalt pavement

**(3) The amount of relief is not substantial because:**

The requested stall dimensions are industry standard size that both allow for reasonable parking and the overall decrease in impervious area.

**(4) The variance will NOT have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district because:**

The requested variance will allow for greater number of parking stalls and reduction in impervious area. Both are considered positive impacts for the neighborhood

**(5) Has the requested variance been self created ( x ) Yes or ( ) No.**

**(6) Additional information about the surrounding topography and building areas that Relate to the difficulty in meeting the code requirements:**

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**D. County Referrals.** General Municipal Law Section 239-m requires certain zoning actions be referred to the County Planning Board before any action is taken. (The Hudson Zoning Board of Appeals by Resolution dated July 8, 1992 and in agreement with the County Planning Board have exempted certain actions that would not be subject to referral.)

(1) Is the property for which the variance is requested within 500 feet of any of the following?

	Yes	No	If yes, please describe
<b>Boundary Line of the City of Hudson</b>	_____	<u>  x  </u>	_____
			_____
			_____
<b>Boundary of any existing or proposed County or State Park or recreation area</b>	<u>  x  </u>	_____	<u>Bordered to</u> <u>Empire State Trail</u> <u>Hudson trailhead</u>
<b>Right of Way of any existing or proposed County or State Parkway, Thruway, Expressway, road, or highway</b>	_____	<u>  x  </u>	_____
			_____
			_____
<b>Any existing or proposed right of way of any stream or drainage channel owned by the County</b>	_____	<u>  x  </u>	_____
			_____
			_____
<b>The existing or proposed boundary of any County or state land on which public building or institution is situated.</b>	_____	<u>  x  </u>	_____
			_____
			_____

Area Variance Application

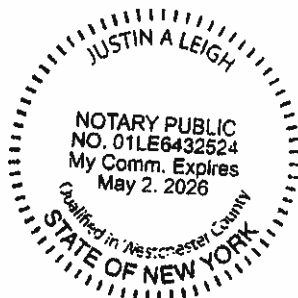
This is the MINIMUM that is necessary and adequate, and at the same time preserves and protects the character of the neighborhood and the health, safety, and welfare of the community.

[Signature]  
Signature of Appellant or Authorized Agent  
(Agent must submit Authorization from Owner)

Sworn to me this 5 day of June,

2004.

[Signature]  
Notary Public





**OFFICE USE ONLY**

Case#
Application filed Hearing Date
Decision filed



**APPLICATION TO THE CITY OF HUDSON, NEW YORK  
ZONING BOARD OF APPEALS  
FOR AREA VARIANCE**

**Name of Applicant:** Kearney Realty & Development Group

**Mailing Address:** 57 Route 6 Suite 207

**City State Zip** Baldwin Place NY 10505

**Telephone #** 845-306-7705

**Location of Property** Mill Street, Hudson, NY 12051

**Tax Map Number** 109.36-1-10

**Zoning District** R-4

**A. Article and Section Number of Zoning Ordinance being appealed:** 325-11

**(Attach Decision of Code Enforcement Officer)**

**B. Nature of Variance Requested. Describe Project in Detail.  
(Attach additional sheets as needed)** \_\_\_\_\_

Request permission to construct 4 story building

in R-4 district where three stories is the maximum.

**Area Variance Application**

**Important:** A site plan must accompany this application. It should be drawn to scale by a licensed engineer, landscape, architect or surveyor. The professional's name, address, and phone number noted on drawing. The plan shall show the location of all existing and proposed buildings, parking areas and any other pertinent information.

**C. Justification of Variance. (Attach additional sheets as needed):**

**(1) An undesirable change will not be produced in the CHARACTER of the neighborhood or a detriment to nearby properties, if granted, because:**

Requested variance will result in four stories but the maximum building height will comply with zoning.

**(2) The benefit sought by the applicant CANNOT be achieved by some method Feasible for the applicant to pursue, other than an area variance, because:**

The additional floor allows for less lot coverage, which is a benefit that can only be achieved vertically.

**(3) The amount of relief is not substantial because:**

The requested variance is not substantial because the overall building height will comply with zoning regulations.

**(4) The variance will NOT have an adverse effect or impact on the physical or environmental conditions in the neighborhood or district because:**

The variance sought will have a beneficial effect on the environment because by designing the additional floor the overall lot coverage is reduced

**(5) Has the requested variance been self created ( x ) Yes or ( ) No.**

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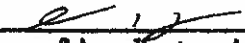
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			_____
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<b>Right of Way of any existing or proposed County or State Parkway, Thruway, Expressway, road, or highway</b>	_____	<u>  x  </u>	_____
			_____
			_____
<b>Any existing or proposed right of way of any stream or drainage channel owned by the County</b>	_____	<u>  x  </u>	_____
			_____
			_____
<b>The existing or proposed boundary of any County or state land on which public building or institution is situated.</b>	_____	<u>  x  </u>	_____
			_____
			_____

Area Variance Application

This is the MINIMUM that is necessary and adequate, and at the same time preserves and protects the character of the neighborhood and the health, safety, and welfare of the community.

  
\_\_\_\_\_  
Signature of Appellant or Authorized Agent  
(Agent must submit Authorization from Owner)

Sworn to me this 5 day of June,

<sup>2</sup>  
2004.   
\_\_\_\_\_  
Notary Public





June 7, 2024

Mr. Craig Haigh  
Code Enforcement Officer  
City of Hudson  
429 Warren Street  
Hudson, NY 12534

**Re Mill Street Lofts**  
ZBA Application  
CPL Project No. R23.01044.00

Dear Mr. Haigh:

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Mr. Craig Haigh  
City of Hudson  
June 7, 2024  
Page 2 of 2

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Very truly yours,

A handwritten signature in black ink, appearing to read 'A. Learn'.

Andrew L. Learn, PE  
Associate Principal

Enclosures

C: Sean Kearney, Kearney Realty & Development Group, via email  
Mario Salpepi, Coppola Associates, via email  
Christian Donahoe, Kearney Realty & Development Group, via email

**CITY OF HUDSON  
ZONING BOARD OF APPEALS  
INSTRUCTIONS**

**Application for Use Variance, Area Variance and Appeal the Written  
Determination of the Code Enforcement Officer.**

1. One Original and Nine copies of full application and supporting documents to the **Code Enforcement Office 429 Warren Street, Hudson, NY 12534** with \$100.00 Application Fee. (Payable to City of Hudson)
2. The Code Enforcement Office will send application forms to the ZBA.
3. The ZBA will notify the applicant of date of hearing and publish same in newspaper.
4. The applicant will be advised in writing of the Board's decision.

Check List:

- a) Applications (10 Full)  
Decision of Code Enforcement Officer  
Site Plan  
Other supporting documentation  
SEQR Form
- b) Application Fee

**APPLICATIONS SHOULD BE FILED IN A TIMELY MANNER**

The Zoning Board of Appeals may require additional information and/or elaboration with regard to the application.

**OFFICE USE ONLY**

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**APPLICATION TO THE CITY OF HUDSON, NEW YORK  
ZONING BOARD OF APPEALS  
FOR AREA VARIANCE**

**Name of Applicant:** Kearney Realty & Development Group

**Mailing Address:** 57 Route 6 Suite 207

**City State Zip** Baldwin Place NY 10505

**Telephone #** 845-306-7705

**Location of Property** Mill Street, Hudson, NY 12051

**Tax Map Number** 109.36-1-10

**Zoning District** R-4

**A. Article and Section Number of Zoning Ordinance being appealed:** 325-19E

**(Attach Decision of Code Enforcement Officer)**

**B. Nature of Variance Requested. Describe Project in Detail.**

**(Attach additional sheets as needed)** Parking lot stall size

reduced from required 10' x'20' to standard size of

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Right of Way of any existing or proposed County or State Parkway, Thruway, Expressway, road, or highway	_____	<u>  x  </u>	_____
Any existing or proposed right of way of any stream or drainage channel owned by the County	_____	<u>  x  </u>	_____
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Area Variance Application

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*[Signature]*  
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(Agent must submit Authorization from Owner)

Sworn to me this 5 day of June,

2024.  
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**APPLICATION TO THE CITY OF HUDSON, NEW YORK  
ZONING BOARD OF APPEALS  
FOR AREA VARIANCE**

**Name of Applicant:** Kearney Realty & Development Group

**Mailing Address;** 57 Route 6 Suite 207

**City State Zip** Baldwin Place NY 10505

**Telephone #** 845-306-7705

**Location of Property** Mill Street, Hudson, NY 12051

**Tax Map Number** 109.36-1-10

**Zoning District** R-4

**A. Article and Section Number of Zoning Ordinance being appealed:** 325-11

**(Attach Decision of Code Enforcement Officer)**

**B. Nature of Variance Requested. Describe Project in Detail.  
(Attach additional sheets as needed)** \_\_\_\_\_

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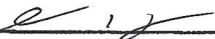
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			_____
			_____
Boundary of any existing or proposed County or State Park or recreation area	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<u>Bordered to</u> <u>Empire State Trail</u> <u>Hudson trainhead</u>
Right of Way of any existing or proposed County or State Parkway, Thruway, Expressway, road, or highway	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
			_____
			_____
Any existing or proposed right of way of any stream or drainage channel owned by the County	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
			_____
			_____
The existing or proposed boundary of any County or state land on which public building or institution is situated.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	_____
			_____
			_____



Area Variance Application

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Signature of Appellant or Authorized Agent  
(Agent must submit Authorization from Owner)

Sworn to me this 5 day of June,

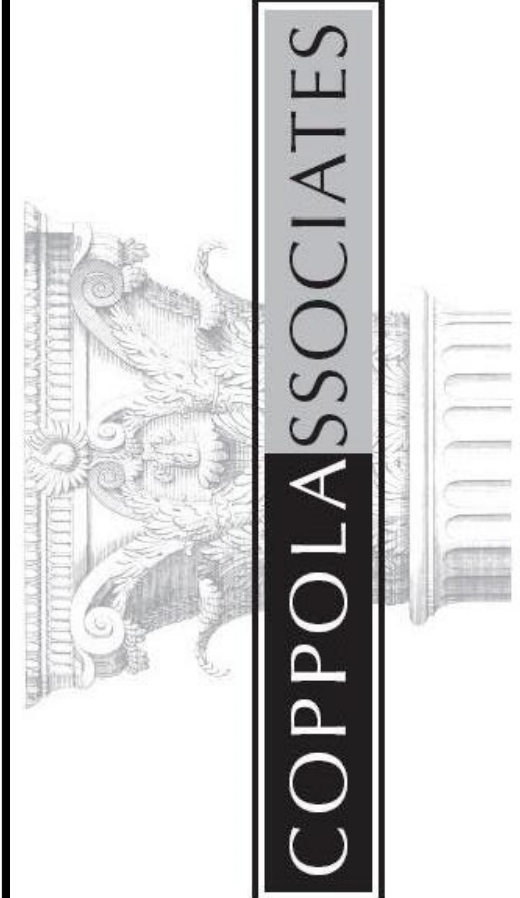
<sup>2</sup>  
2004.

  
Notary Public









*Design, Architecture & Planning*

6 Old North Plank Road  
Suite 101  
Newburgh, NY 12550  
TEL: 845-561-3559  
FAX: 845-561-2051  
ajcoppola@coppola-associates.com

LICENSE NUMBER: 018849

PROPOSED MULTIFAMILY DWELLINGS FOR

Mill St. Lofts

Hudson, NY

Building #2  
First Floor Plan &  
Front Elevation

REVISIONS

DATE

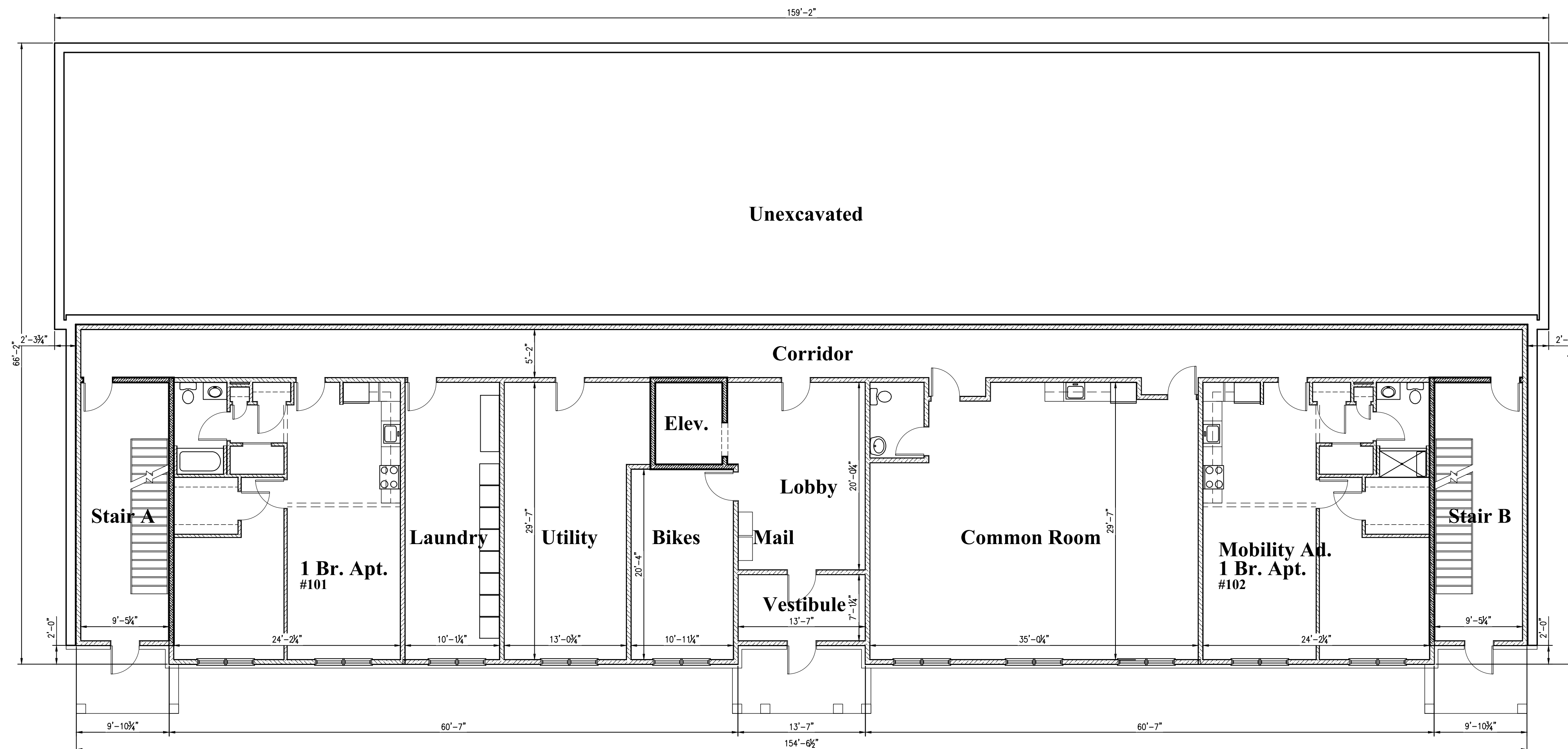
2/27/24

PROJECT NUMBER

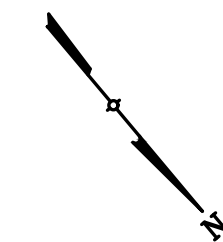
23-10

SHEET NUMBER

A2

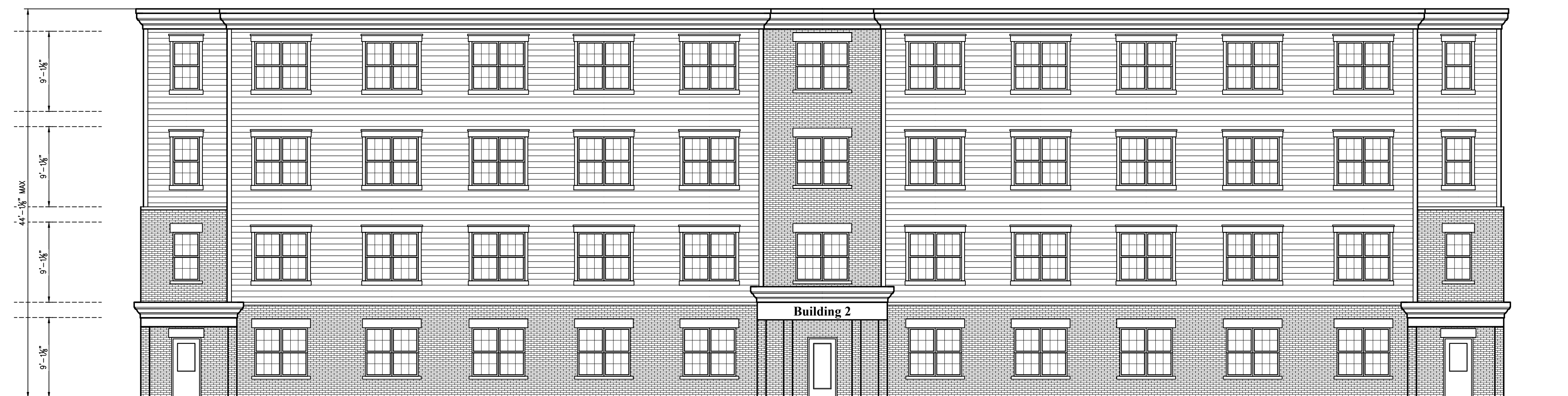


- FIRE RATED ASSEMBLIES:
1. CORRIDOR WALLS- 1 HOUR
  2. TENANT DEMISING WALLS- 1 HOUR
  3. STAIRWELL WALLS- 2 HOUR
  4. ELEVATOR WALLS- 2 HOUR
  5. COMMON ROOM WALLS- 1 HOUR
  6. EXTERIOR WALLS- 1 HOUR
  7. FRAMED FLOOR/CEILING- 1 HOUR
  8. ROOF SYSTEM- 1 HOUR



5,529 s.f. gross  
5,320 s.f. interior

**1 First Floor Plan**  
A2 Scale: 1/8" = 1'-0"

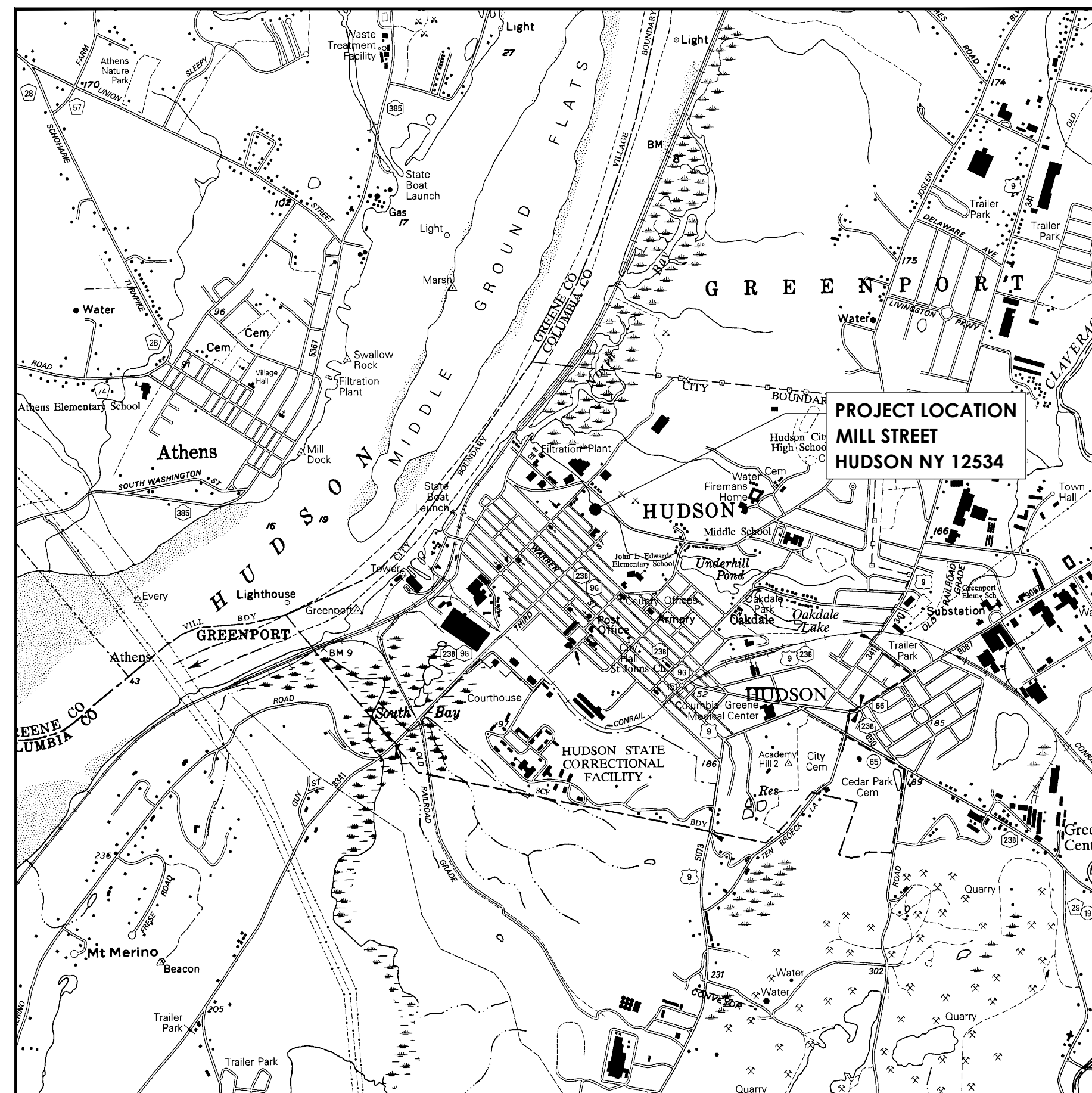


**2 Front Elevation**  
A2 Scale: 1/8" = 1'-0"

# KEARNEY REALTY & DEVELOPMENT GROUP MILL STREET LOFTS

## PLANNING BOARD SUBMISSION MAY 2024

CITY OF HUDSON  
COLUMBIA COUNTY, NEW YORK STATE



**LOCATION PLAN**  
SCALE: 1" = 2000'

**OWNER**

CITY OF HUDSON  
520 WARREN STREET  
HUDSON, NY 12534

**APPLICANT**

KEARNEY REALTY AND DEVELOPMENT GROUP  
57 ROUTE 6, SUITE 207  
BALDWIN PLACE, NY 10505

**ARCHITECT**

COPPOLA ASSOCIATES  
6 OLD NORTH PLANK ROAD, SUITE 101  
NEWBURGH, NY 12550

**CIVIL ENGINEER**

CPL  
26 IBM ROAD  
POUGHKEEPSIE, NY 12601

DRAWING LIST	
SHEET NUMBER	SHEET TITLE
PLANNING BOARD SET	
G000	TITLE SHEET
G001	GENERAL NOTES
C100	EXISTING CONDITIONS
C200	PROPOSED SITE PLAN
C201	PROPOSED GRADING PLAN
C202	UTILITY PLAN
C204	FIRE APPARATUS TURNING TEMPLATE
C205	GARBAGE TRUCK TURNING TEMPLATE
C206	LIGHTING PLAN
C300	DETAILS - 1
C302	DETAILS - 2
C302	DETAILS - 3
C303	DETAILS - 4
C304	DETAILS - 5
C305	DETAILS - 6
C306	DETAILS - 7
C307	DETAILS - 8



CPL | Architecture Engineering Planning  
26 IBM Road  
Poughkeepsie, NY 12601  
CPLearn.com  
NY ENGINEERING FIRM CERTIFICATE #018330



KEARNEY  
GROUP

**PROJECT INFORMATION**

Project Number  
**R23.01044.00**  
Client Name  
**KEARNEY REALTY & DEVELOPMENT GROUP**  
Project Name  
**MILL STREET LOFTS**

Project Address  
**MILL STREET HUDSON, NY 12051**

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON PB
2	05/20/2024	REVISIONS PER PB REVIEW LETTER 5/13/2024

**PROFESSIONAL STAMPS**

**FOR REVIEW ONLY  
NOT FOR PERMIT OR  
CONSTRUCTION**

NEW YORK STATE EDUCATION STATUTE  
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS  
REGULATIONS FOR ANY SPECIAL INSTRUCTION UNDER THE SUPERVISION OF A LICENSED  
ARCHITECT, ENGINEER OR LANDSCAPE ARCHITECT, TO THE ARCHITECTURAL BOARD, AND FOR  
REPAIRING THE SEAL OF AN ARCHITECT, ENGINEER OR LANDSCAPE ARCHITECT, THE ARCHITECT,  
ENGINEER OR LANDSCAPE ARCHITECT SHALL SIGN AND THE REVISIONS SHALL BE FOLLOWED BY  
THE SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE  
ALTERATION.

**SHEET INFORMATION**

Issued  
**APRIL 2024**  
Scale  
**AS NOTED**  
Project Status  
**PLANNING BOARD SUBMISSION**  
Drawn By  
**BGR**  
Checked By  
**ALL**  
Drawing Title  
**TITLE SHEET**

Drawing Number  
**KMS  
G000**  
Revision Number

GENERAL CONSTRUCTION NOTES

- 1. LOCATION OF EXISTING SITE UTILITIES ARE BASED ON INFORMATION PROVIDED BY OWNER AND ARE FOR ILLUSTRATIVE PURPOSES ONLY. OWNER AND ENGINEER SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE UTILITIES SHOWN. CONTRACTOR SHALL BE RESPONSIBLE FOR THE MARK OUT OF ALL UNDERGROUND UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION SITE SAFETY.
- 15. THE CONTRACTOR SHALL PROVIDE BARRICADES, INCLUDING TEMPORARY FENCING TO PREVENT UNAUTHORIZED ENTRY TO CONSTRUCTION AREAS AND TO PROTECT EXISTING AND NEW FACILITIES FROM DAMAGE BY CONSTRUCTION OPERATIONS OR VANDALISM.

PERMANENT SEEDING:

- ALL AREAS NOT SPECIFIED WITH GRAVEL, CONCRETE OR ASPHALT COVER IS TO BE SEEDED WITH A PERMANENT SEED MIXTURE IN ACCORDANCE WITH THE FOLLOWING:
SEEDING:
A) SHALL BE DONE BETWEEN MARCH 15 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1, EXCEPT OTHERWISE APPROVED IN WRITING BY THE ENGINEER.

- FERTILIZER:
A) COMMERCIAL (5-10-5) INORGANIC, OR ORGANIC, CONTAINING NOT LESS THAN 5 PERCENT NITROGEN, 10 PERCENT AVAILABLE PHOSPHORIC ACID AND 5 PERCENT WATER SOLUBLE POTASH.
B) OTHER FERTILIZERS WITH A 1-2-1 RATIO SUCH AS 10-20-10 OR 6-12-4 MAY BE SUBSTITUTED FOR ABOVE.

- MULCH:
A) OLD HAY OR SMALL GRAIN STRAW APPLIED AT A RATE OF NINETY (90) POUNDS PER ONE THOUSAND SQUARE FT. OR TWO TONS PER ACRE. WOODFIBER HYDROMULCH OR OTHER SPRAYABLE PRODUCTS APPROVED FOR EROSION CONTROL (NYLON WEB OR MESH) MAY BE USED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.

Table with 3 columns: AMOUNT BY WEIGHT IN MIXTURE, SPECIES, PERCENTAGE. Rows include Kentucky Bluegrass, Red Fescue, and Perennial Ryegrass.

- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CONSTRUCTION METHODOLOGY UNLESS OTHERWISE REQUIRED BY THESE PLANS AND SPECIFICATIONS.
- 17. ALL EXCAVATIONS SHALL BE BACK FILLED TO FINISHED GRADE. THE WORK ZONE SHALL BE PROTECTED WITH BARRELS SPACED NO MORE THAN 25 FEET APART AT THE END OF EACH WORKDAY.

GENERAL DEMOLITION NOTES

- 1. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970 (29 U.S.C. 451 et seq.), AS AMENDED, AND ALL REGULATIONS, AMENDMENTS, AND ORDINANCES TO SAME.
- 2. THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY OF ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.

- 17. ALL EXCAVATIONS SHALL BE BACK FILLED TO FINISHED GRADE. THE WORK ZONE SHALL BE PROTECTED WITH BARRELS SPACED NO MORE THAN 25 FEET APART AT THE END OF EACH WORKDAY.
- 18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS, AND ROADSIDE FEATURES INCLUDING LAWNS, DRIVES, CULVERTS, DRAINAGE SWALES, FENCES, SIGNS, MAILBOXES AND OTHER PUBLIC OR PRIVATE PROPERTY TO ITS PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE REQUIRED BY THESE PLANS AND/OR SPECIFICATIONS.

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PRESSURE - LEAKAGE TESTING WATER MAIN PIPE:

- A. TESTING SHALL BE CONDUCTED BETWEEN EACH VALVED SECTION AND TESTING THROUGH VALVES WILL NOT BE PERMITTED.
GENERAL: ALL PRESSURE TESTING SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF AWWA C600-05, EXCEPT AS ADDED OR AMENDED BELOW:
1. THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS AND EQUIPMENT NECESSARY FOR ANY AND ALL REQUIRED PIPE TAPS FOR TESTING, AND AS NECESSARY FOR TESTING AS SPECIFIED. EQUIPMENT WILL BE SUCH THAT THE ENGINEER MAY INSTALL HIS OWN PRESSURE GAUGE.

- 17. ALL EXCAVATIONS SHALL BE BACK FILLED TO FINISHED GRADE. THE WORK ZONE SHALL BE PROTECTED WITH BARRELS SPACED NO MORE THAN 25 FEET APART AT THE END OF EACH WORKDAY.
- 18. THE CONTRACTOR SHALL RESTORE ALL DISTURBED AREAS, AND ROADSIDE FEATURES INCLUDING LAWNS, DRIVES, CULVERTS, DRAINAGE SWALES, FENCES, SIGNS, MAILBOXES AND OTHER PUBLIC OR PRIVATE PROPERTY TO ITS PRE-CONSTRUCTION CONDITION UNLESS OTHERWISE REQUIRED BY THESE PLANS AND/OR SPECIFICATIONS.

STANDARD NOTES WATER SYSTEMS:

- 1. THE DESIGN, CONSTRUCTION AND INSTALLATION SHALL BE IN ACCORDANCE WITH THIS PLAN AND GENERALLY ACCEPTED STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION WHICH INCLUDE:
"RECOMMENDED STANDARDS FOR WATER WORKS (TEN STATES)"
"RURAL WATER SUPPLY, NEW YORK STATE DEPARTMENT OF HEALTH"

SURVEY LINETYPE LEGEND

Table mapping line styles to survey features: Dashed lines for DITCH, EASEMENTS, FENCE, STONE WALL, PARCEL LINE, etc. Solid lines for ROADWAY TRACKS, ROADWAY CENTERLINE, etc.

DESIGN LINETYPE LEGEND

Table mapping line styles to design features: Solid lines for PROJECT LIMIT LINE, ALIGNMENT CENTERLINE, DITCH, etc. Dashed lines for EASEMENTS, BARB WIRE FENCE, etc.



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NY ENGINEERING FRM CERTIFICATE #018330



PROJECT INFORMATION
Project Number: R23.01044.00
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP
Project Name: MILL STREET LOFTS

Project Address: MILL STREET HUDSON, NY 12051

PROJECT ISSUE & REVISION SCHEDULE
No. Date Description
1 04/23/2024 PRELIMINARY SUBMISSION TO HUDSON F8
2 05/28/2024 REVISIONS PER PER REVIEW LETTER 3/13/2024

PROFESSIONAL STAMPS

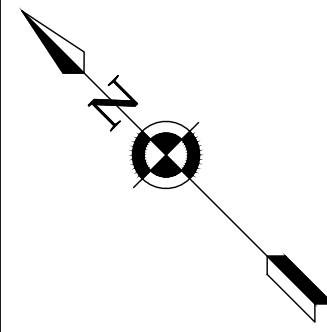
FOR REVIEW ONLY
NOT FOR PERMIT OR CONSTRUCTION

NEW YORK STATE EDUCATION STATUTE
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S REGULATIONS FOR ANY PROFESSIONAL ENGINEER, ARCHITECT, SURVEYOR, LAND SURVEYOR, REGISTERED PROFESSIONAL LANDSCAPE ARCHITECT, REGISTERED PROFESSIONAL INTERIOR DESIGNER, REGISTERED PROFESSIONAL GEOTECHNICAL ENGINEER, REGISTERED PROFESSIONAL ENVIRONMENTAL ENGINEER, REGISTERED PROFESSIONAL CHEMICAL ENGINEER, REGISTERED PROFESSIONAL ELECTRICAL ENGINEER, REGISTERED PROFESSIONAL MECHANICAL ENGINEER, REGISTERED PROFESSIONAL METALLURGICAL ENGINEER, REGISTERED PROFESSIONAL NUCLEAR ENGINEER, REGISTERED PROFESSIONAL CIVIL ENGINEER, REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER, REGISTERED PROFESSIONAL AGRICULTURAL MECHANICAL ENGINEER, REGISTERED PROFESSIONAL AEROSPACE ENGINEER, REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER, REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER, REGISTERED PROFESSIONAL AERONAUTICAL ENGINEER.

SHEET INFORMATION
Issued: APRIL 2024
Scale: AS NOTED
Project Status: PLANNING BOARD SUBMISSION
Down By: BGR
Checked By: ALL
Drawing Title: GENERAL NOTES

Drawing Number: KMS G001
Revision Number:

Sheet Size: 24x36
Drawing Name: S:\Projects\Kearney\Hudson Properties\Design\ACAD\Civil\Cover\KMS\_R23.01044.00\_TS\_03.dwg
Date last accessed: 5/27/2024 5:57 PM
Date last plotted: 6/4/2024 1:38 PM
Plotted By: Andy Kearney

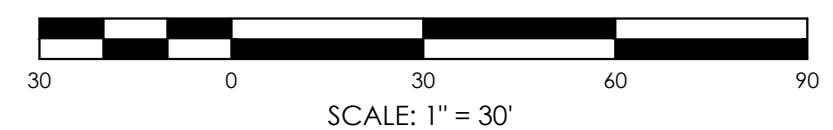


**PROJECT LOCATION:**  
MILL STREET  
HUDSON, NY 12051  
TAX ID: 109.36-1-10

**APPLICANT:** KEARNEY REALTY & DEVELOPMENT GROUP  
57 ROUTE 6 SUITE 207  
BALDWIN PLACE, NY 10505

- BASE MAP NOTES:**
- PARCEL BOUNDARY MAPPING SHOWN HEREON IS BASED ON A SURVEY PREPARED BY CONTROL POINT ASSOCIATES ENTITLED "MAP OF SURVEY OF LANDS OF THE CITY OF HUDSON" PREPARED FOR KEARNEY REALTY & DEVELOPMENT GROUP, DATED OCT 20TH, 2023. SAID SURVEY HAS NOT BEEN REVIEWED OR CERTIFIED TO BY THIS FIRM.
  - TOPOGRAPHIC MAPPING SHOWN HEREON WAS PREPARED BY CPL ON OR BEFORE JUNE 16, 2023. THE CONTOUR INTERVAL SHOWN HEREON IS 1' BASED ON NEW YORK STATE PLANE EAST ZONE, NAD 83, NAVD 88.
  - FLOOD ZONE AE - 100 YR FLOOD; BASE FLOOD ELEVATION ±11 FT
  - THE SITE IS WITHIN THE FLOOD ZONE X - 500 YR FLOOD

**1 EXISTING CONDITIONS PLAN**  
C100 SCALE: 1" = 30'



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CPLearn.com  
NY ENGINEERING FIRM CERTIFICATE #018330



**KEARNEY GROUP**

**PROJECT INFORMATION**

Project Number  
R23.01044.00

Client Name  
**KEARNEY REALTY & DEVELOPMENT GROUP**  
Project Name  
**MILL STREET LOFTS**

Project Address  
MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/26/2024	PRELIMINARY SUBMISSION TO HUDSON PB
2	06/28/2024	REVISIONS PER PB REVIEW LETTER 5/13/2024

**PROFESSIONAL STAMPS**

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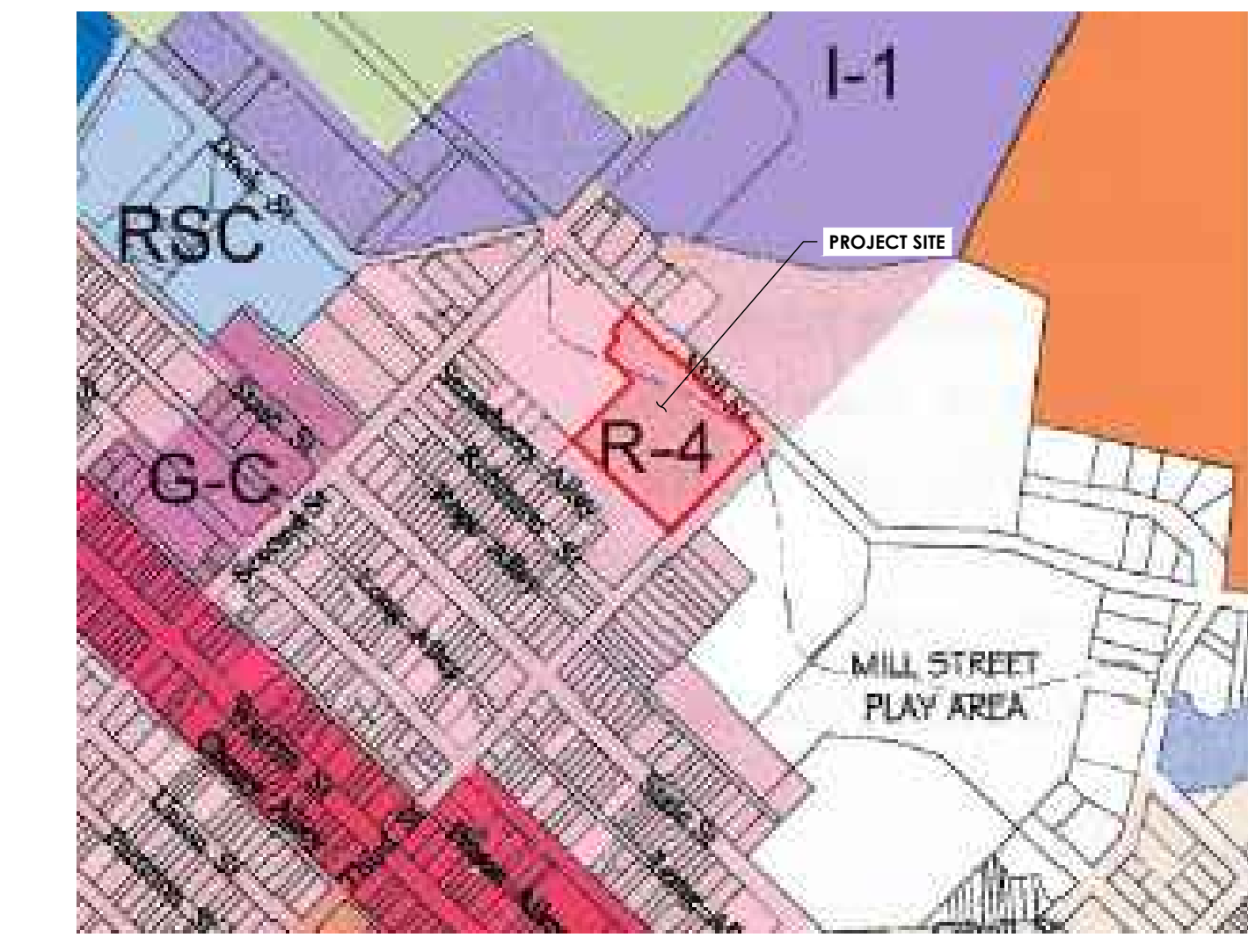
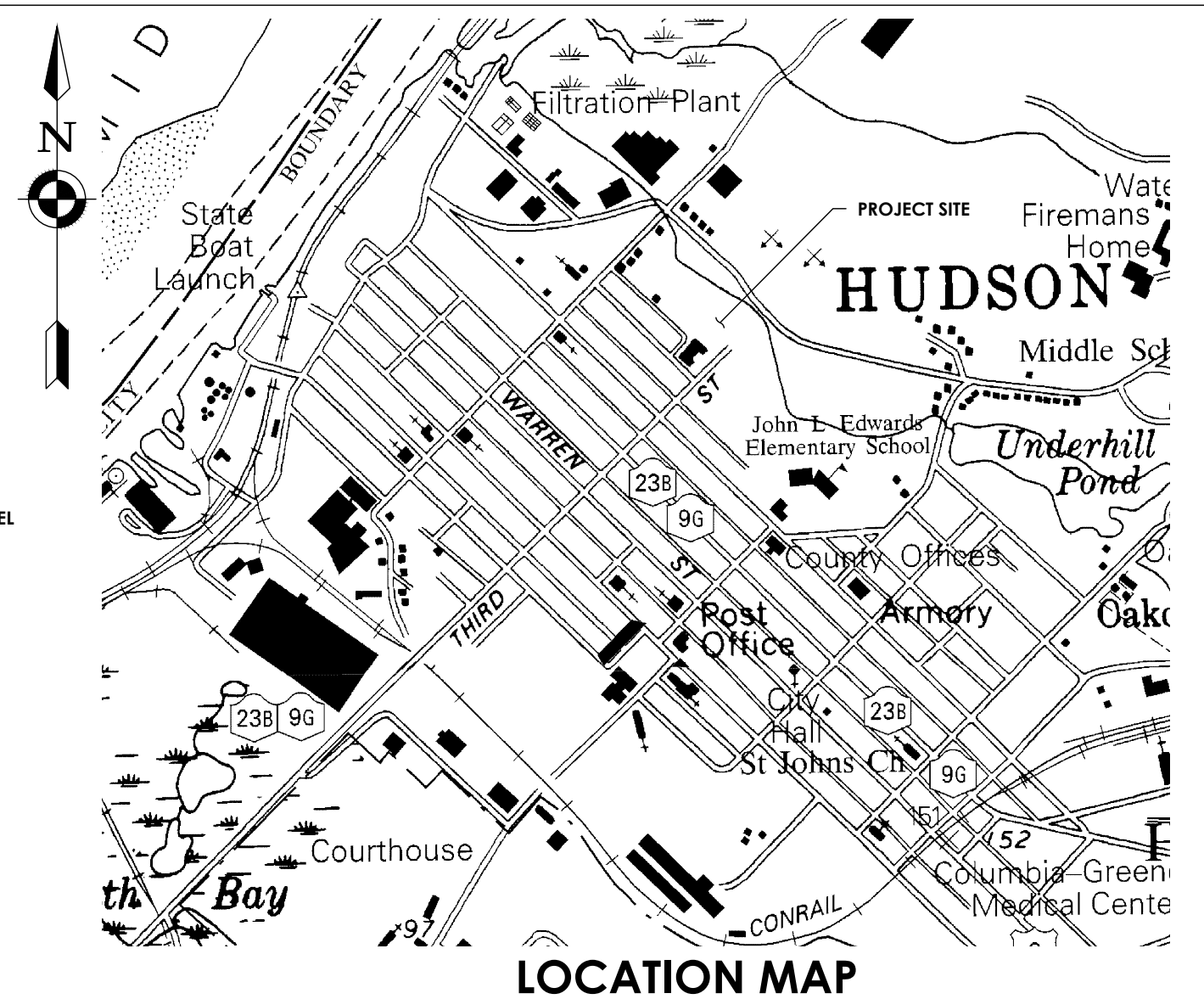
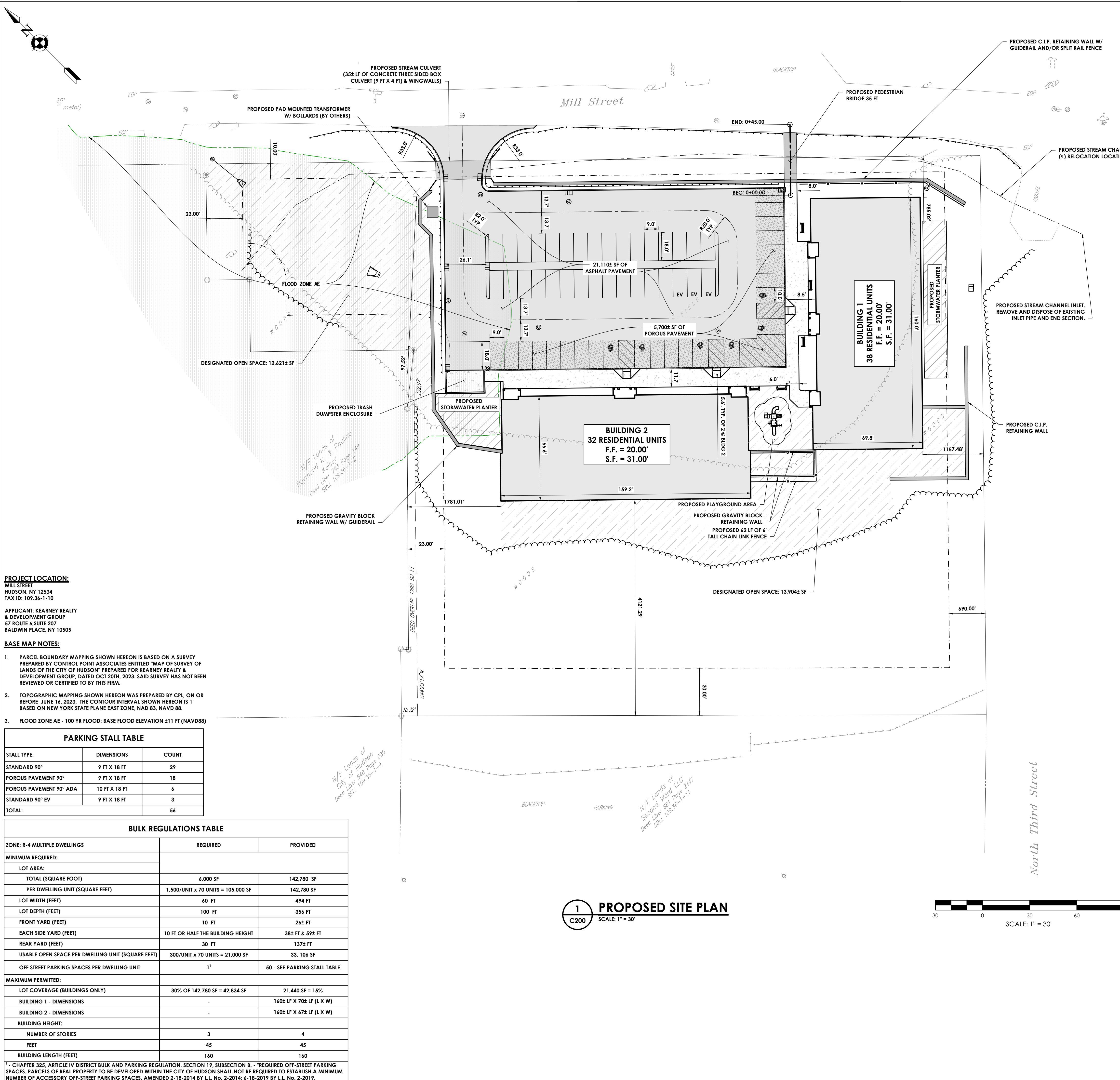
NEW YORK STATE EDUCATION STATUTE  
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S  
REGULATIONS FOR ANY PROFESSION, INDUSTRY, BUSINESS, OR SERVICE, UNDER THE SUPERVISION OF A LICENSED  
ARCHITECT, ENGINEER OR LAND SURVEYOR, TO THE ANNUAL FEE FOR A NEW YORK STATE  
BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE ARCHITECT,  
ENGINEER, LAND SURVEYOR OR THE REGISTERING BOARD, AND THE REGISTERING BOARD, FOLLOWING BY  
THEIR SIGNATURE AND THE DATE OF SUCH ALTERATION, AND A BRIEF DESCRIPTION OF THE  
ALTERATION.

**SHEET INFORMATION**

Issued	Scale
APRIL 2024	AS NOTED
Project Status	PLANNING BOARD SUBMISSION
Drawn By	Checked By
BGR	ALL
Drawing Title	EXISTING CONDITIONS PLAN

Drawing Number  
**KMS C100**  
Revision Number

Sheet Size: 24x36  
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Plotted By: Arvid Learn  
Date last plotted: 6/4/2024 8:41 PM  
Date last accessed: 5/31/2024 3:18 PM



**PROJECT LOCATION:**  
MILL STREET  
HUDSON, NY 12534  
TAX ID: 109.36-1-10

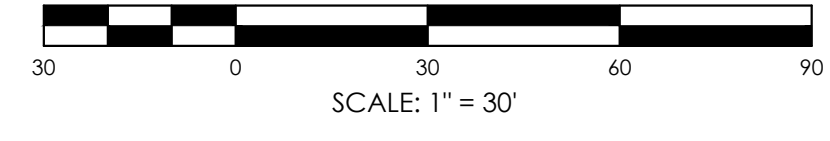
**APPLICANT:** KEARNEY REALTY & DEVELOPMENT GROUP  
57 ROUTE 4, SUITE 207  
BALDWIN PLACE, NY 10505

- BASE MAP NOTES:**
- PARCEL BOUNDARY MAPPING SHOWN HEREON IS BASED ON A SURVEY PREPARED BY CONTROL POINT ASSOCIATES ENTITLED "MAP OF SURVEY OF LANDS OF THE CITY OF HUDSON" PREPARED FOR KEARNEY REALTY & DEVELOPMENT GROUP, DATED OCT 20TH, 2023. SAID SURVEY HAS NOT BEEN REVIEWED OR CERTIFIED TO BY THIS FIRM.
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  - FLOOD ZONE AE - 100 YR FLOOD: BASE FLOOD ELEVATION ±11 FT (NAVD88)

STALL TYPE:	DIMENSIONS	COUNT
STANDARD 90°	9 FT X 18 FT	29
POROUS PAVEMENT 90°	9 FT X 18 FT	18
POROUS PAVEMENT 90° ADA	10 FT X 18 FT	6
STANDARD 90° EV	9 FT X 18 FT	3
TOTAL:		56

BULK REGULATIONS TABLE		
ZONE: R-4 MULTIPLE DWELLINGS	REQUIRED	PROVIDED
<b>MINIMUM REQUIRED:</b>		
LOT AREA:		
TOTAL (SQUARE FOOT)	6,000 SF	142,780 SF
PER DWELLING UNIT (SQUARE FEET)	1,500/UNIT x 70 UNITS = 105,000 SF	142,780 SF
LOT WIDTH (FEET)	60 FT	494 FT
LOT DEPTH (FEET)	100 FT	356 FT
FRONT YARD (FEET)	10 FT	26± FT
EACH SIDE YARD (FEET)	10 FT OR HALF THE BUILDING HEIGHT	38± FT & 59± FT
REAR YARD (FEET)	30 FT	137± FT
USABLE OPEN SPACE PER DWELLING UNIT (SQUARE FEET)	300/UNIT x 70 UNITS = 21,000 SF	33, 106 SF
OFF STREET PARKING SPACES PER DWELLING UNIT	1'	50 - SEE PARKING STALL TABLE
<b>MAXIMUM PERMITTED:</b>		
LOT COVERAGE (BUILDINGS ONLY)	30% OF 142,780 SF = 42,834 SF	21,440 SF = 15%
BUILDING 1 - DIMENSIONS	-	160± LF X 70± LF (L X W)
BUILDING 2 - DIMENSIONS	-	160± LF X 67± LF (L X W)
BUILDING HEIGHT:		
NUMBER OF STORIES	3	4
FEET	45	45
BUILDING LENGTH (FEET)	160	160

**1 PROPOSED SITE PLAN**  
SCALE: 1" = 30'



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26 BM Road  
Poughkeepsie, NY 12601  
CPLearn.com  
NY ENGINEERING RRM CERTIFICATE #018330



**PROJECT INFORMATION**  
Project Number: R23.01044.00  
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP  
Project Name: MILL STREET LOFTS  
Project Address: MILL STREET HUDSON, NY 12051

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON PB
2	05/28/2024	REVISIONS PER PB REVIEW LETTER 5/13/2024

PROFESSIONAL STAMPS

**FOR REVIEW ONLY  
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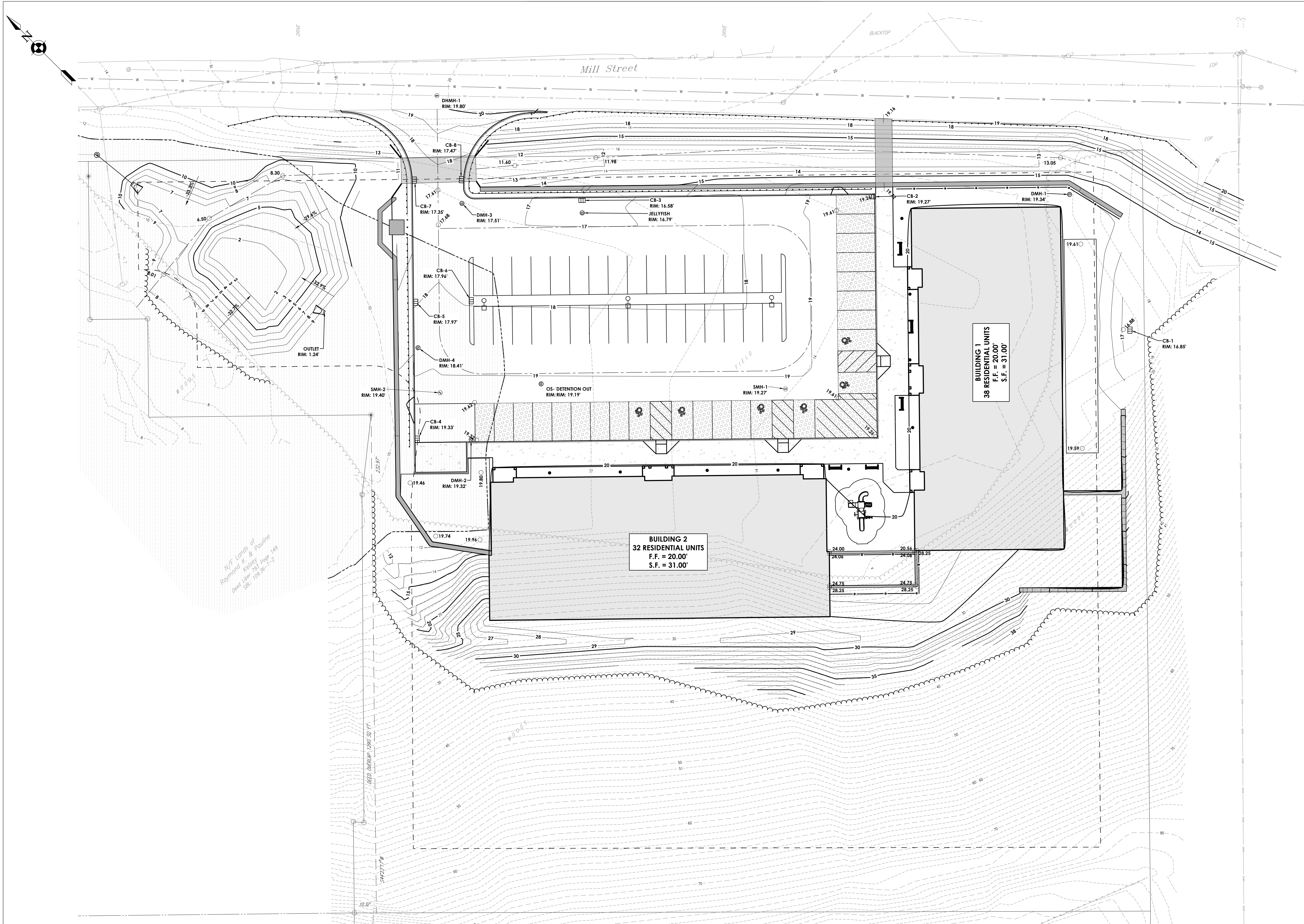
NEW YORK STATE EDUCATION STATEMENT  
I, A MEMBER OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONERS REGULATION FOR ANY PROFESSION, IN THE STATE OF NEW YORK, HAVE REVIEWED AND APPROVED THE QUALITY OF THE ARCHITECTURAL DRAWINGS AND THE TECHNICAL DRAWINGS PREPARED BY AN ARCHITECT, ENGINEER OR SURVEYOR AS ALLOTTED BY LAW, AND TO THE BEST OF MY SKILL AND THE INFORMATION I RECEIVED BY FOLLOWING THE REGULAR AND THE DATE OF SUCH ALLOCATION, AND A PROPER DESCRIPTION OF THE ACTIVITIES.

**SHEET INFORMATION**  
Issued: APRIL 2024  
Scale: 1" = 30'  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: PROPOSED SITE PLAN

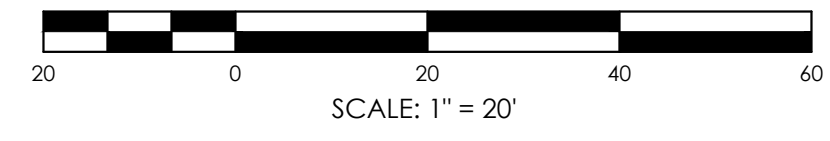
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Revision Number: C200

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Date last accessed: 6/6/2024 2:49 PM  
Date last plotted: 6/6/2024 8:41 PM  
Plotted By: Arady Learn





**1** PROPOSED GRADING PLAN  
C201 SCALE: 1" = 20'



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26 BM Road  
Poughkeepsie, NY 12601  
CPLearn.com  
NY ENGINEERING EXAM CERTIFICATE #018330



**PROJECT INFORMATION**  
Project Number: R23.01044.00  
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP  
Project Name: MILL STREET LOFTS

Project Address: MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/26/2024	PRELIMINARY SUBMISSION TO HUDSON P&B
2	05/28/2024	REVISIONS PER P&B REVIEW LETTER 5/13/2024

PROFESSIONAL STAMPS

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CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, being a duly licensed Professional Engineer in the State of New York, do hereby certify that I am the author of the design and drawings herein, and that I am a duly licensed Professional Engineer in the State of New York, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein.

**SHEET INFORMATION**  
Issued: APRIL 2024  
Scale: 1" = 20'  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: PROPOSED GRADING PLAN

Drawing Number: KMS  
Revision Number: C201

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 Date last plotted: 6/16/2024 8:41 PM  
 Plotted By: Arvid Learn

*N/F Lands of  
Raymond K. & Pauline  
Kearney  
Deed Liber 734 Page 149  
Sht. 108.36-1-1*



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 26 BM Road  
 Poughkeepsie, NY 12601  
 CPLearn.com  
 NY ENGINEERING RRM CERTIFICATE #018330



**KEARNEY**  
GROUP

**PROJECT INFORMATION**

Project Number  
R23.01044.00

Client Name  
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 Project Name  
**MILL STREET LOFTS**

Project Address  
MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON P/B
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**PROFESSIONAL STAMPS**

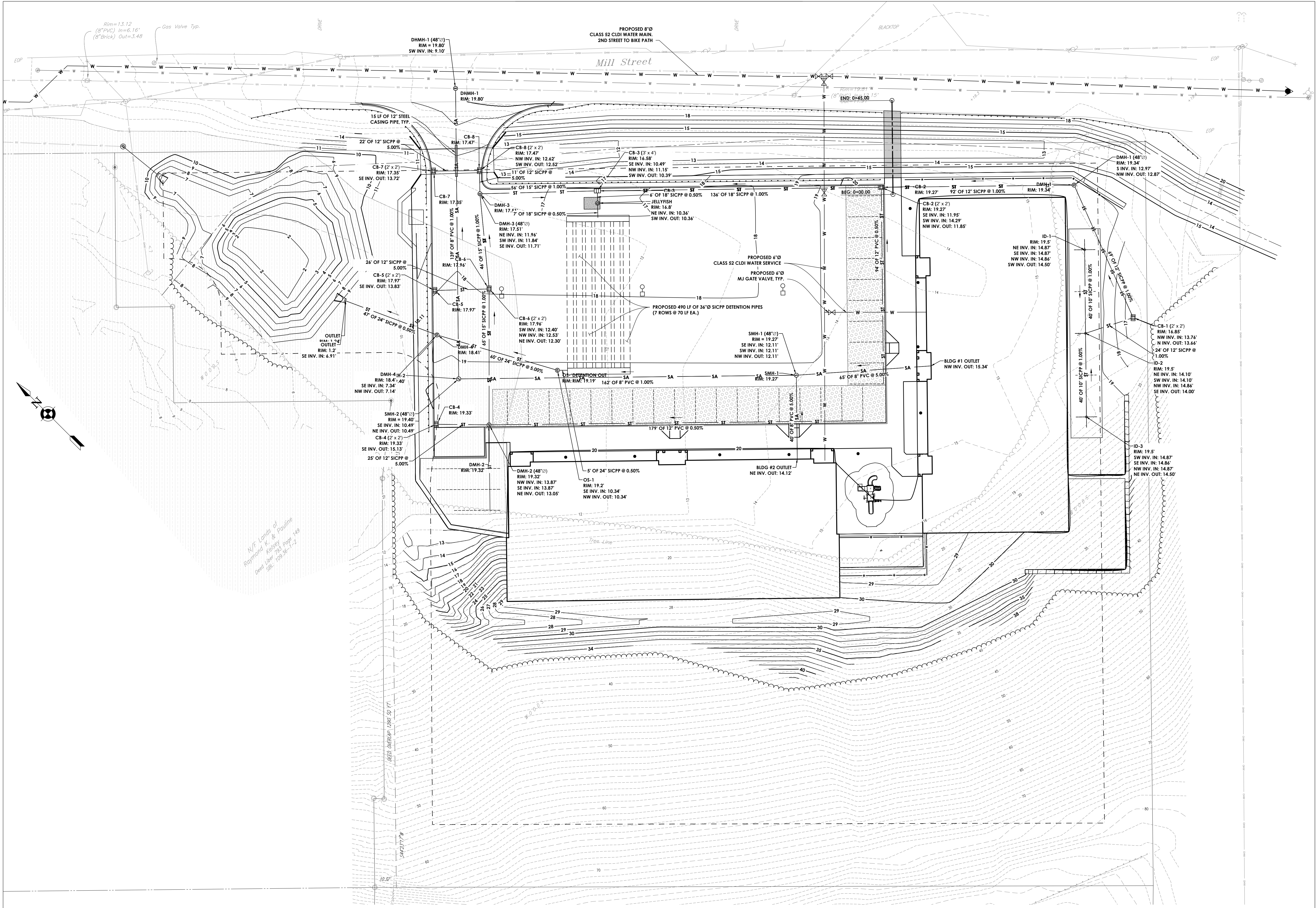
**FOR REVIEW ONLY  
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CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
 I, the undersigned, being a duly licensed Professional Engineer in the State of New York, do hereby certify that I am the author of the design and drawings herein, and that I am a duly licensed Professional Engineer in the State of New York, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein, and that I am duly qualified to perform the services herein.

**SHEET INFORMATION**

Issued  
APRIL 2024  
Scale  
AS NOTED  
Project Status  
PLANNING BOARD SUBMISSION  
Drawn By  
BGR  
Checked By  
ALL  
Drawing Title  
UTILITY PLAN

Drawing Number  
Revision Number  
**KMS**  
**C202**



**1 PROPOSED UTILITY PLAN**  
C202 SCALE: 1" = 20'

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 Date last plotted: 6/4/2024 8:44 PM  
 Plotted By: Arvid Learn

*N/E Corner of  
 Raymond Ave. & Pauline  
 Detail Liber. 93 Page 149  
 See: 108.36-1.2*



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 26 BM Road  
 Poughkeepsie, NY 12601  
 CPLearn.com  
 NY ENGINEERING FIRM CERTIFICATE #018330



**KEARNEY**  
 GROUP

**PROJECT INFORMATION**

Project Number  
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**KEARNEY REALTY &  
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 Project Name  
**MILL STREET LOFTS**

Project Address  
 MILL STREET HUDSON, NY 12051

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**PROFESSIONAL STAMPS**

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 CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
 I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that the above is a true and correct copy of the original as filed in my office.

**SHEET INFORMATION**

Issued  
 APRIL 2024

Scale  
 1"=500'

Project Status  
 PLANNING BOARD SUBMISSION

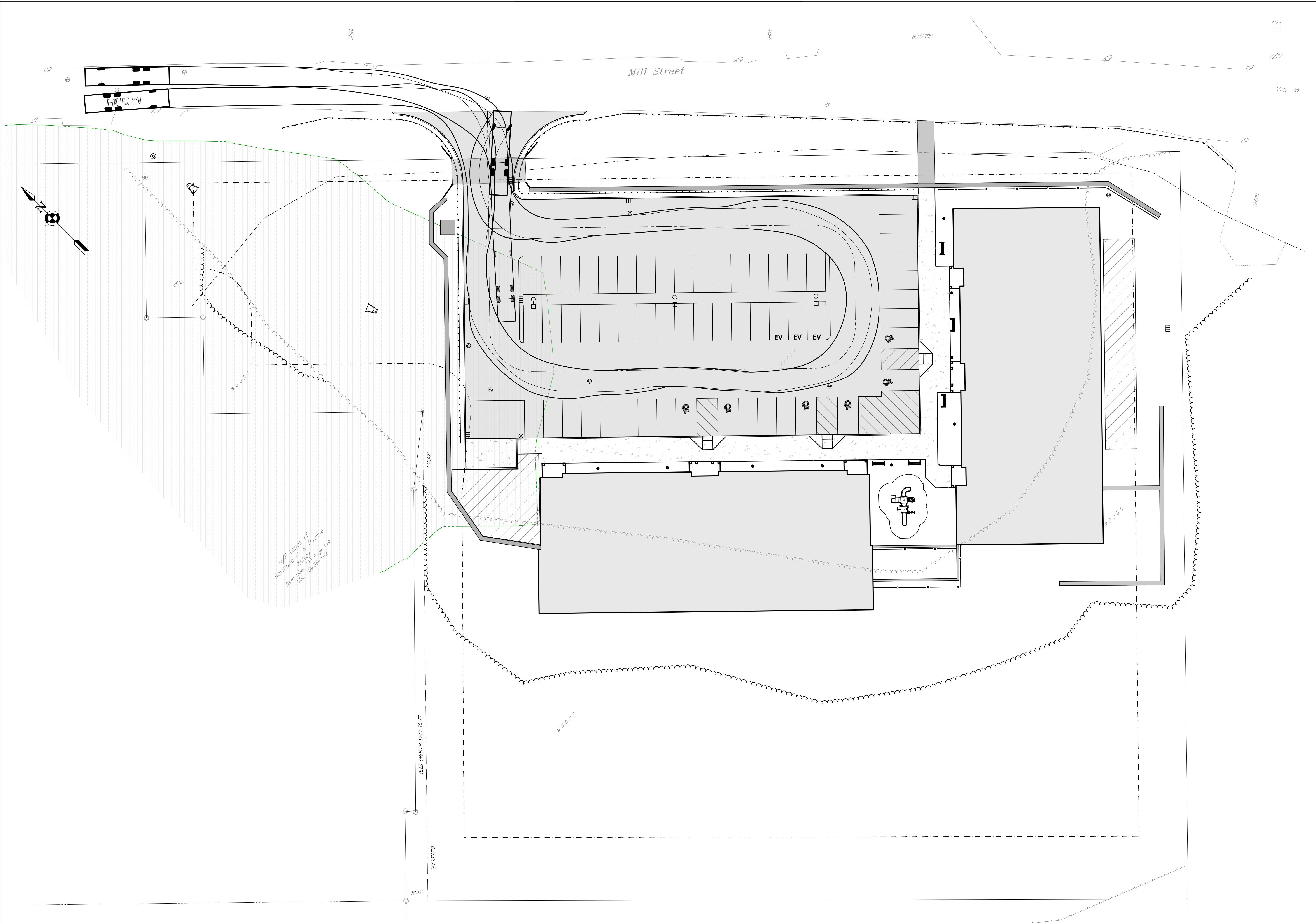
Drawn By  
 KRS

Checked By  
 ALL

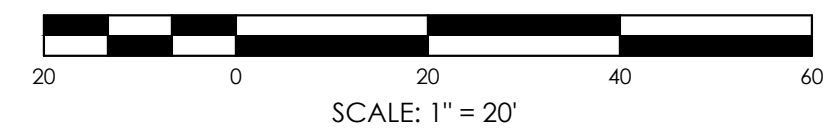
Drawing Title  
 NEIGHBORHOOD PLAN

Drawing Number  
 KMS

Revision Number  
 C-299



**1 AERIAL FIRE APPARATUS TURNING TEMPLATE**  
 C204 SCALE: 1" = 20'



Sheet Size: 24x36  
 Drawing Name: S:\Projects\Kearney\Hudson Properties\Design\ACAD\CAD\Site\KMS\_P23.01044.00\_ST\_c4.dwg  
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N/F Lands of  
 Raymond K. & Pauline  
 Deas, Liber 192 Page 149  
 S&C: 109.35-1-2



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 Poughkeepsie, NY 12601  
 CPLearn.com  
 NY ENGINEERING FIRM CERTIFICATE #018330



**KEARNEY**  
 GROUP

**PROJECT INFORMATION**

Project Number  
 R23.01044.00

Client Name  
**KEARNEY REALTY &  
 DEVELOPMENT GROUP**  
 Project Name  
**MILL STREET LOFTS**

Project Address  
 MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON PB
2	05/28/2024	REVISIONS PER PB REVIEW LETTER 5/13/2024

**PROFESSIONAL STAMPS**

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 CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
 I, the undersigned, being a duly licensed professional engineer and the commissioner  
 REGULATION OF ANY PROFESSION, IN THE STATE OF NEW YORK, AND THE COMMISSIONER  
 ARCHITECTS, ENGINEERS AND LAND SURVEYORS, DO HEREBY CERTIFY THAT I AM THE AUTHOR AND  
 BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR AS ALTERED, HAS BEEN  
 PARTIALLY MADE TO THE BEST OF MY SKILL AND THE BEST OF MY BELIEF IN ACCORDANCE  
 WITH THE REQUIREMENTS AND THE DATE OF SUCH ALTERATION, AND A SPECIFIC DESCRIPTION OF THE  
 ALTERATION.

**SHEET INFORMATION**

Issued April 2024 Scale 1"=500'

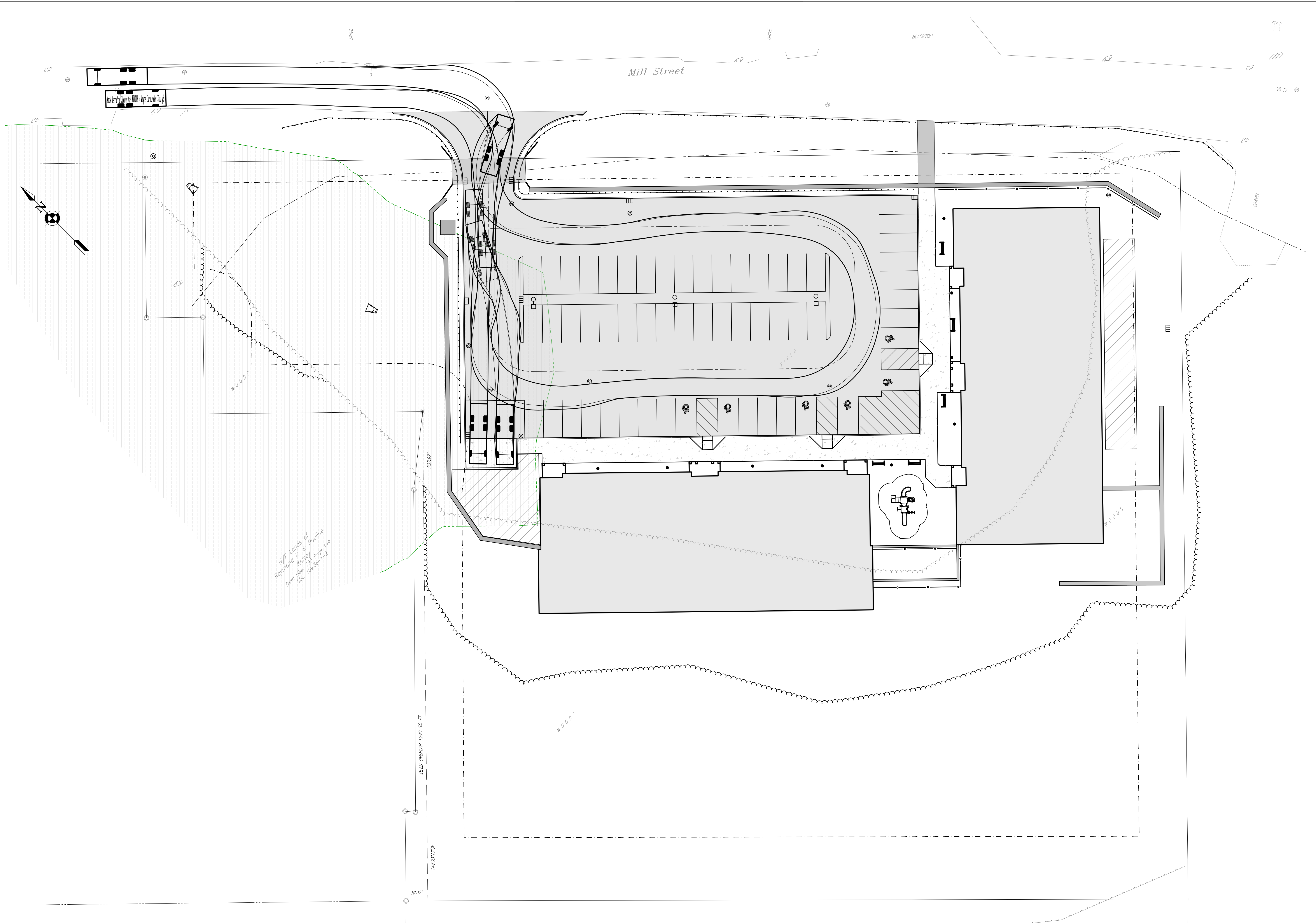
Project Status  
 PLANNING BOARD SUBMISSION

Drawn By KRS Checked By ALL

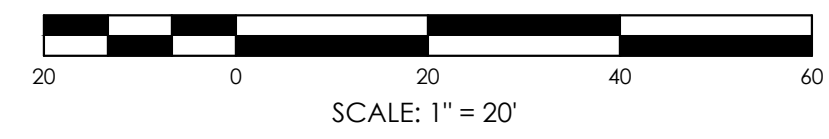
Drawing Title  
 NEIGHBORHOOD PLAN

Drawing Number Revision Number

**KMS**  
**C-299**



**1 AERIAL FIRE APPARATUS TURNING TEMPLATE**  
 C204 SCALE: 1" = 20'



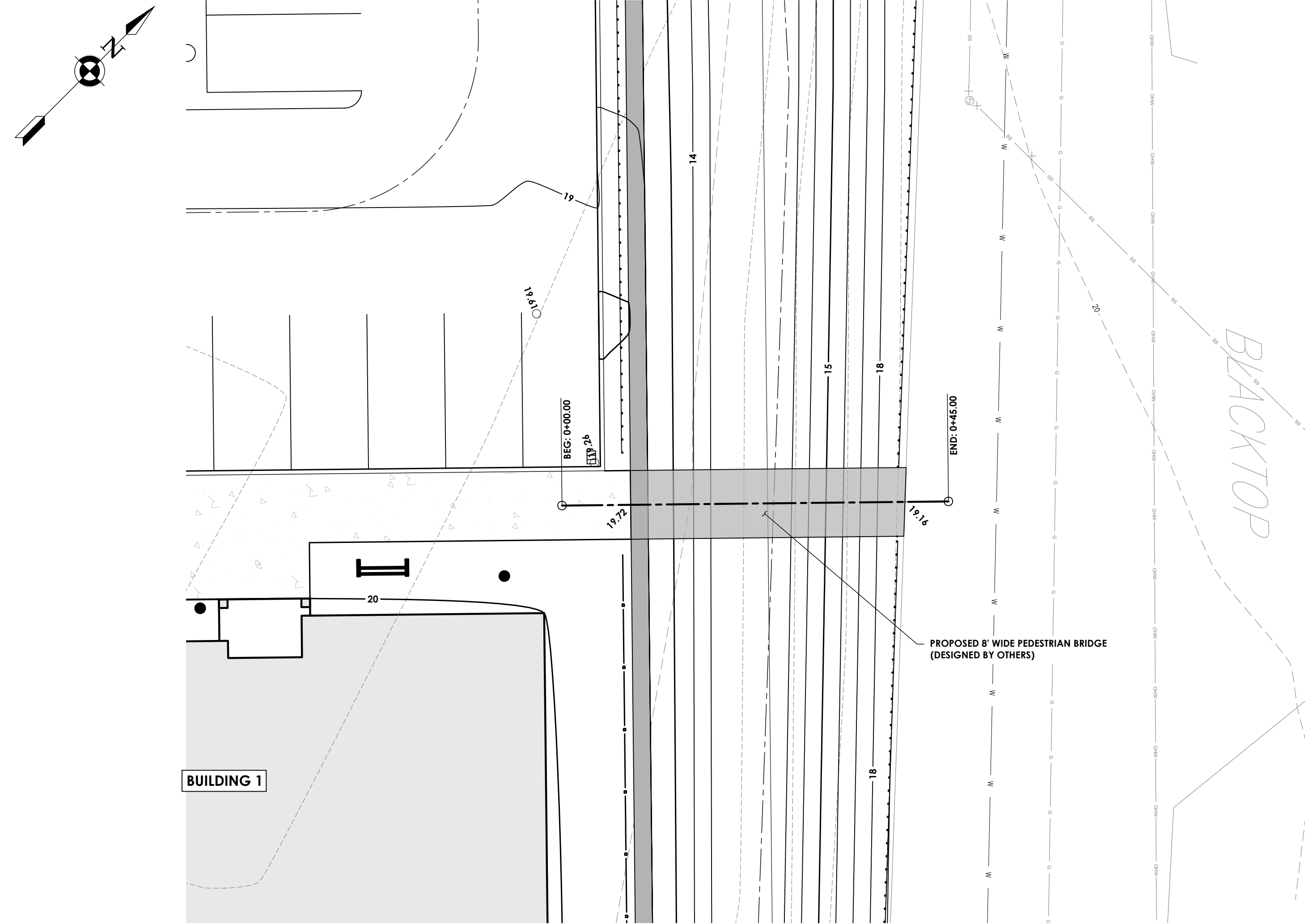
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 Date last plotted: 6/6/2024 8:44 PM  
 Plotted By: Arvid Learn

Plotted By: Arvid Learn

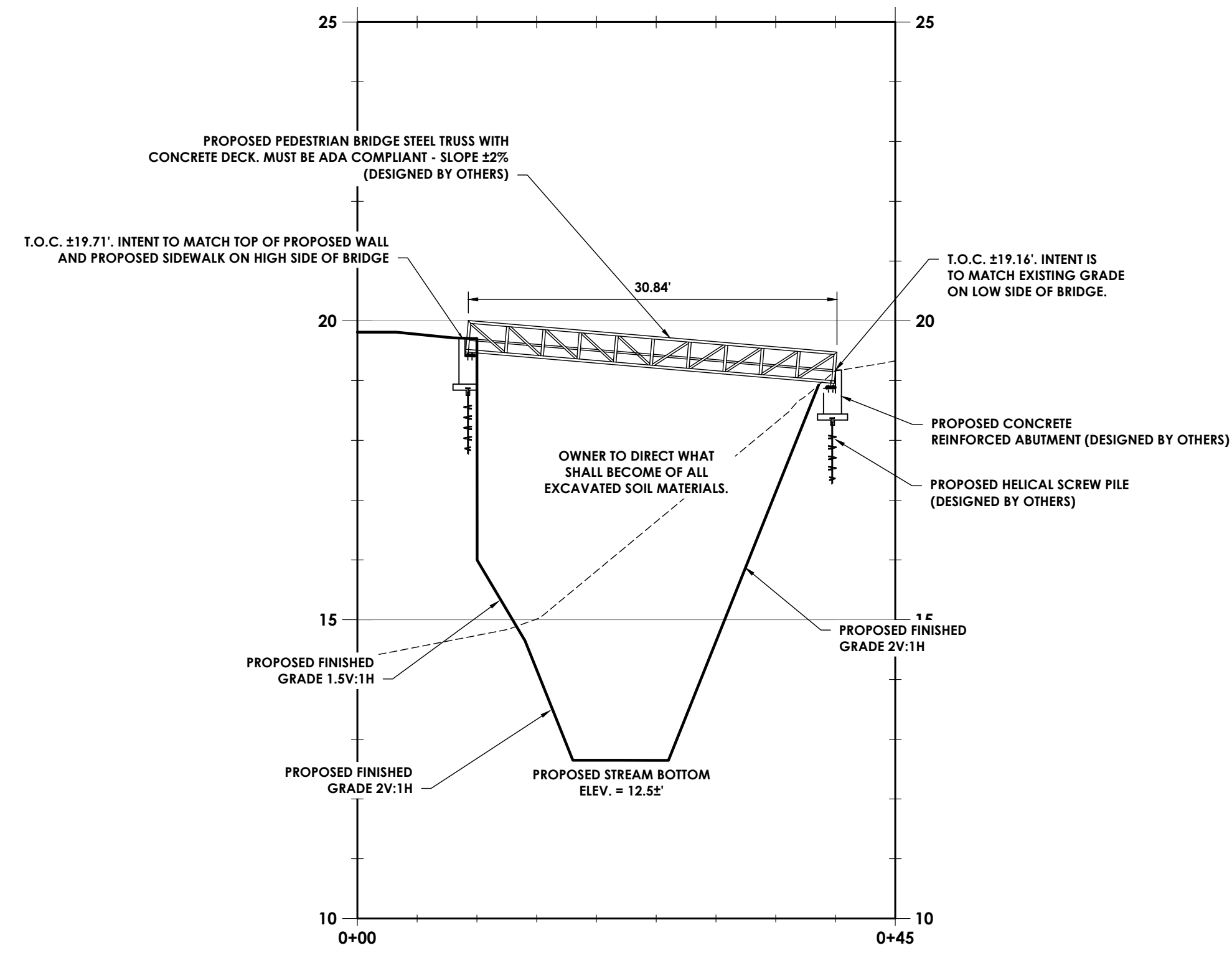
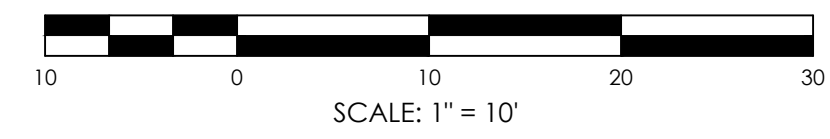
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Date last accessed: 6/6/2024 2:49 PM

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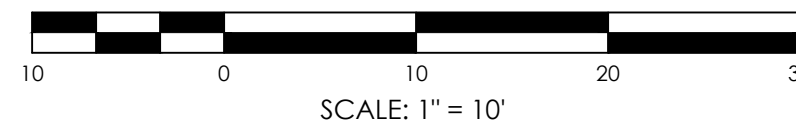


**1 PROPOSED PEDESTRIAN BRIDGE PLAN**  
 SCALE: 1" = 10'



**PROFILE - PEDESTRIAN BRIDGE CL STA. 0+00 TO STA. 0+45**

SCALE: 1" = 10' H  
 SCALE: 1" = 2' V



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Project Number  
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Project Name  
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Project Address  
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NEW YORK STATE EDUCATION STATUTE  
 FILE A VIOLATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S  
 REGULATIONS FOR ANY PERSON ENGAGED IN THE PRACTICE OF ARCHITECTURE OR ENGINEERING  
 ARCHITECTS REGISTERED IN AND SUBJECT TO THE STATE EDUCATION LAW AND THE  
 REGULATIONS OF THE STATE EDUCATION BOARD SHALL BE HELD RESPONSIBLE FOR ANY  
 VIOLATION OF THE STATE EDUCATION LAW AND THE REGULATIONS OF THE STATE  
 EDUCATION BOARD AND THE DATE OF SUCH VIOLATION, AND A SPECIFIC DESCRIPTION OF THE  
 VIOLATION.

**SHEET INFORMATION**

Issued  
 APRIL 2024

Scale  
 AS NOTED

Project Status  
 PLANNING BOARD SUBMISSION

Drawn By  
 BGR

Checked By  
 ALL

Drawing Title  
 PEDESTRIAN BRIDGE PLAN

Drawing Number  
 KMS

Revision Number  
 C206



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KEARNEY  
 GROUP

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**PROFESSIONAL STAMPS**

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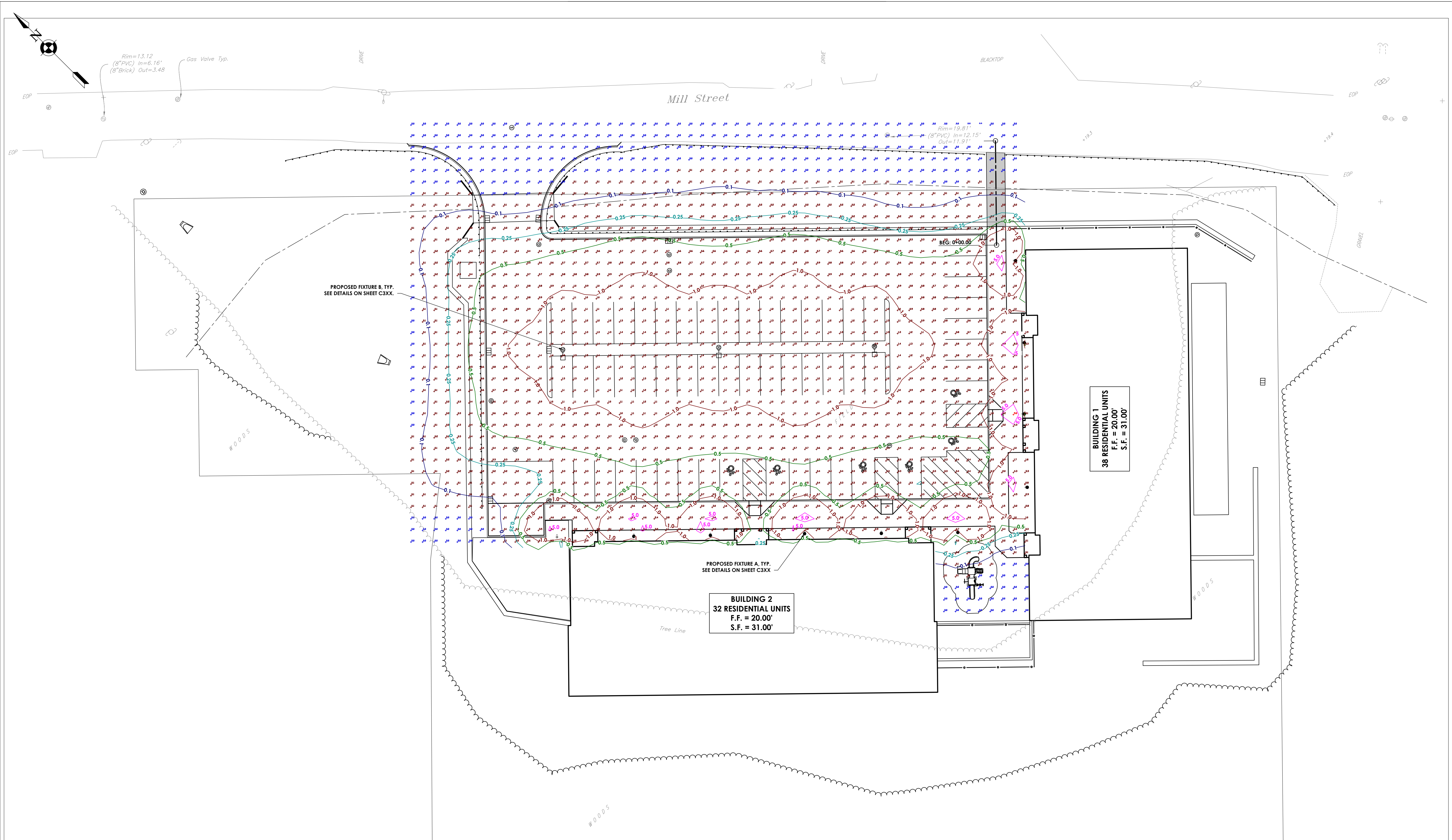
NEW YORK STATE EDUCATION STATEMENT  
 I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that I am the author of the design and drawings herein, or that I am a duly licensed professional engineer in the State of New York, and that I am duly qualified to perform the services herein provided for, and that I am duly licensed in the State of New York, and that I am duly qualified to perform the services herein provided for, and that I am duly licensed in the State of New York, and that I am duly qualified to perform the services herein provided for.

**SHEET INFORMATION**

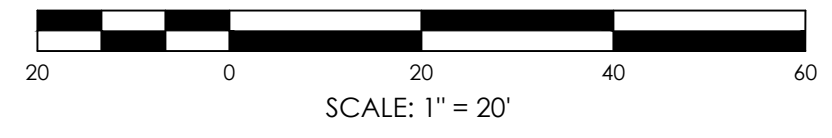
Issued  
 APRIL 2024  
 Scale  
 AS NOTED  
 Project Status  
 PLANNING BOARD SUBMISSION  
 Drawn By  
 BGR  
 Checked By  
 ALL  
 Drawing Title  
 LIGHTING PLAN

Drawing Number  
 Revision Number

KMS  
 C206



**1 PROPOSED LIGHTING (ISOLUMEN) PLAN**  
 C206 SCALE: 1" = 20'



**ISOLUMENS LEGEND**

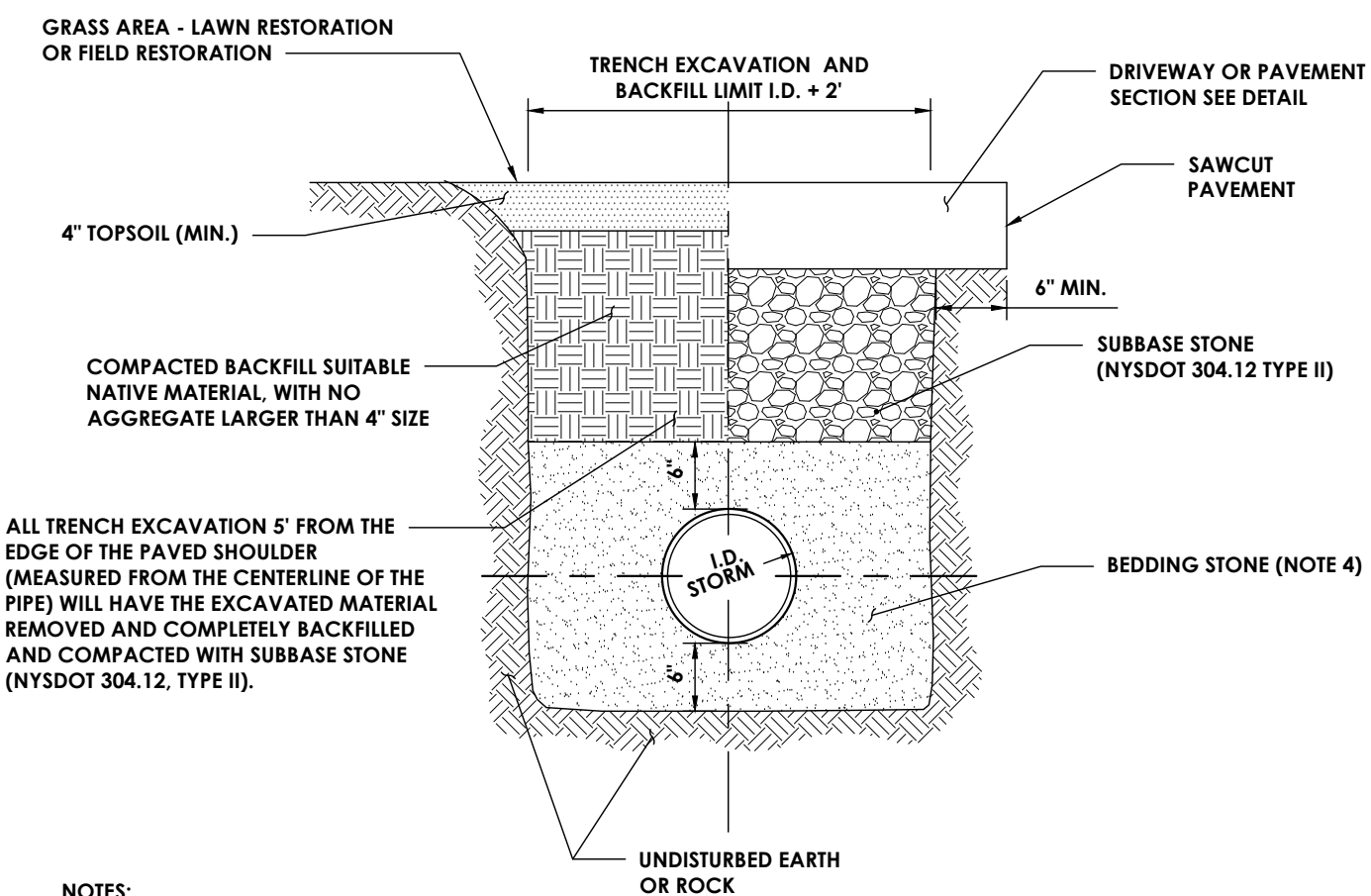
Blue line	0.1 FOOTCANDLES
Green line	0.25 FOOTCANDLES
Yellow line	0.5 FOOTCANDLES
Orange line	1.0 FOOTCANDLES
Pink line	5.0 FOOTCANDLES

**LIGHT FIXTURE TABLE**

FIXTURE	TYPE	MODEL <sup>1</sup>	MOUNTING HEIGHT	COUNT
A	BOLLARD	3110C-H42-BC08-40K-MVOLT-FT-IDIM	42 INCHES	9
B	POLE MOUNTED	DSX1-P1-40K-70CRI-15W-MVOLT-SPA-PER7-DBLXD-DLL127F 1.5JU	15 FEET	3

<sup>1</sup>. CONTRACTOR TO SUPPLY LISTED MODEL OR APPROVED EQUAL.

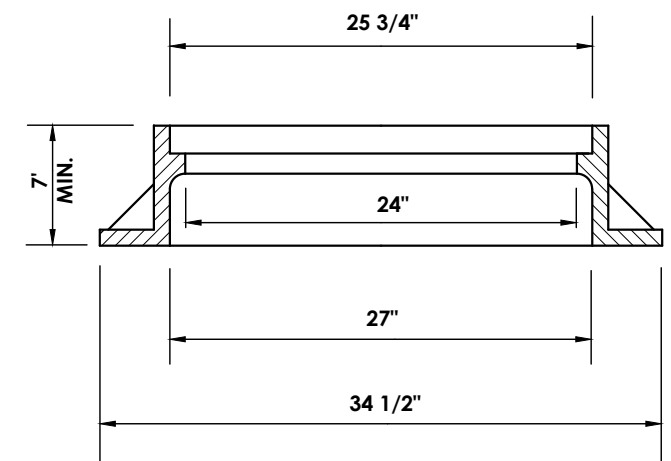
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 Plotted By: Arvid Learn  
 Date last plotted: 6/6/2024 8:44 PM  
 Date last accessed: 6/6/2024 2:33 PM



- NOTES:**
- CONTRACTOR TO PROVIDE SAFE EXCAVATION; SLOPE TRENCH WALLS, USE TRENCH BOX, OR SHEETING & BRACING PER OSHA SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OR PIPE BEFORE BACKFILLING ABOVE SPRING LINE.
  - PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED ROADWAYS.
  - ALL WORK FOR STORM SEWER TRENCHING SHALL BE INCLUDED. THIS WORK INCLUDES, BUT IS NOT LIMITED TO TRENCHING, EXCAVATION AND ALL BACKFILL. NO ADDITIONAL PAYMENTS WILL BE MADE FOR BACKFILL.
  - PROVIDE BEDDING STONE MEETING NYS DOT 203.07 GRADED WITHIN THE FOLLOWING LIMITS:

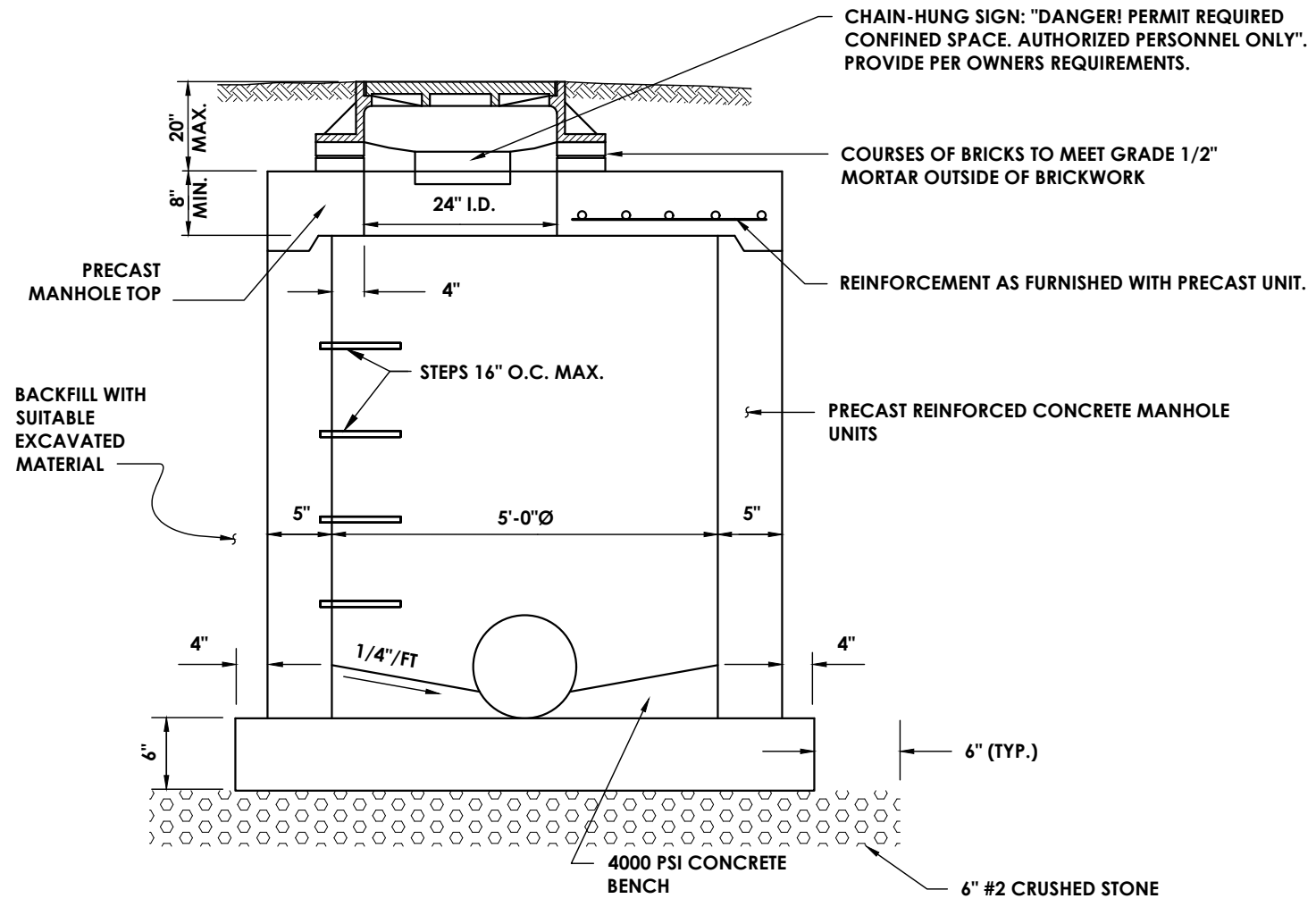
SIEVE SIZE	PERCENT PASSING
1 INCH	100
1/4 INCH	35 TO 60
#40	10 TO 25
#200	5 TO 10

1



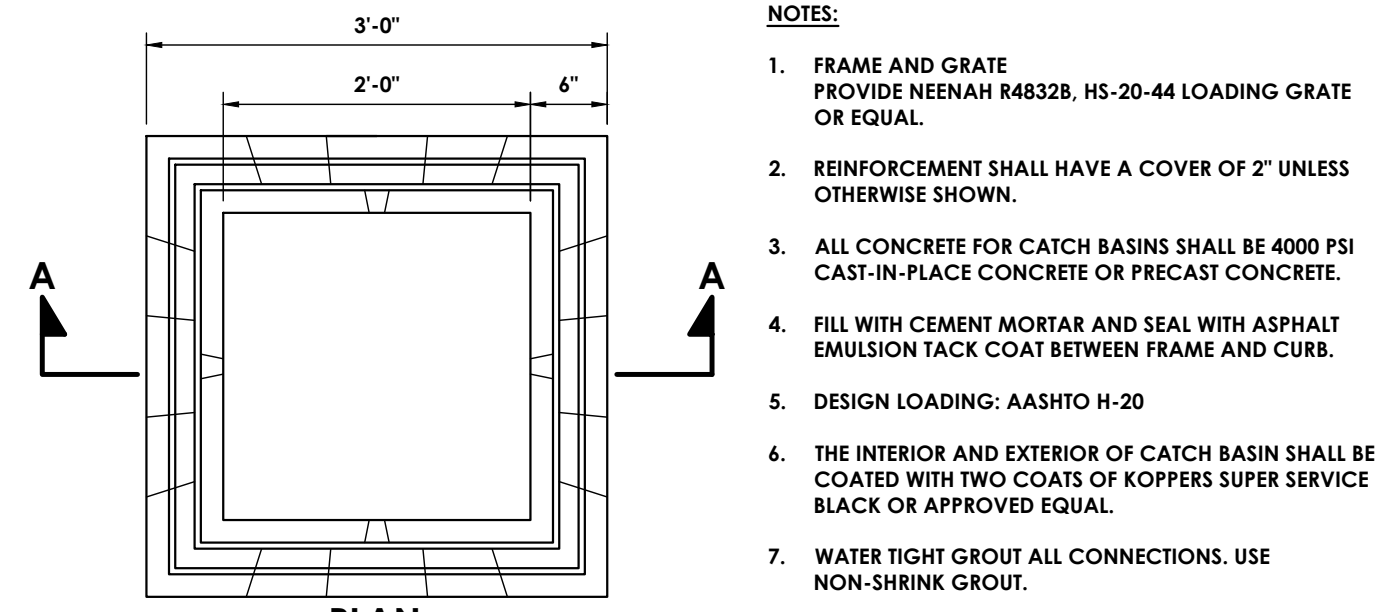
**MANHOLE FRAME**

- NOTES:**
- MANHOLE STEPS ARE REQUIRED FOR ANY STRUCTURE DEEPER THAN 4 FT.
  - MANHOLE TOP SLABS, FRAMES AND COVERS SHALL BE DESIGNED FOR USE UNDER ANY H - 20 LOADING.
  - MANHOLE FRAME AND GRATE/COVER TO BE: INLET M.H.: NEENAH MODEL R-2556 OR APPROVED EQUAL. SOLID M.H.: NEENAH MODEL R-1642 TYPE F OR APPROVED EQUAL.



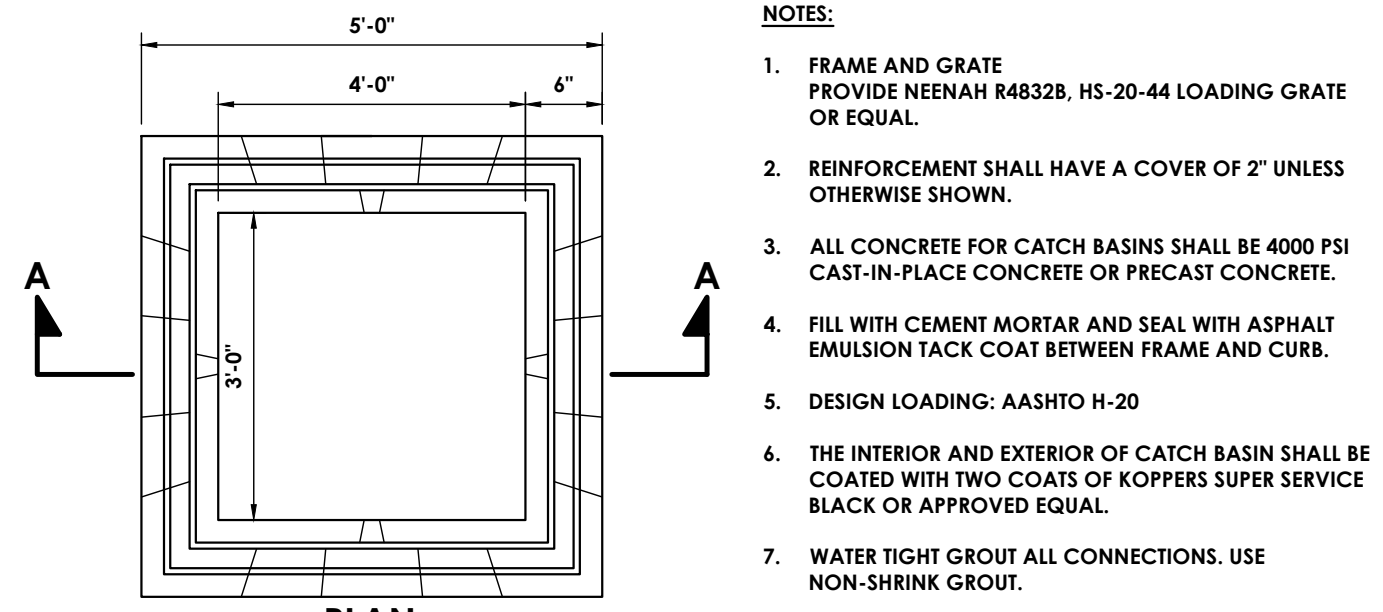
**MANHOLE SECTION**

4 **STORM SEWER MANHOLE**  
N.T.S.



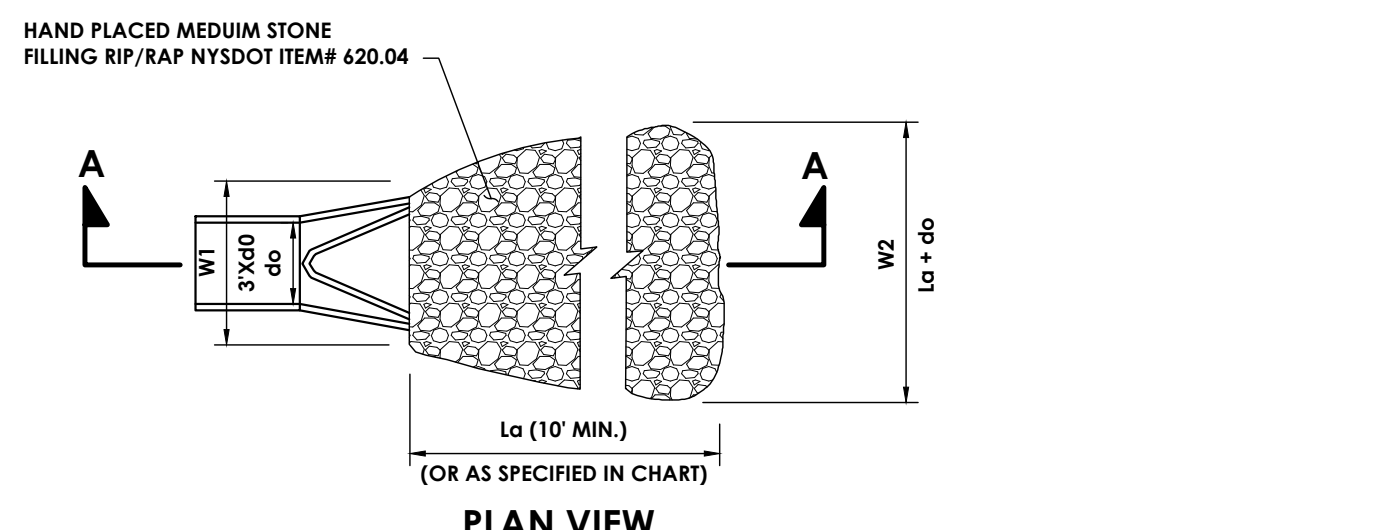
- NOTES:**
- FRAME AND GRATE PROVIDE NEENAH R48328, HS-20-44 LOADING GRATE OR EQUAL.
  - REINFORCEMENT SHALL HAVE A COVER OF 2" UNLESS OTHERWISE SHOWN.
  - ALL CONCRETE FOR CATCH BASINS SHALL BE 4000 PSI CAST-IN-PLACE CONCRETE OR PRECAST CONCRETE.
  - FILL WITH CEMENT MORTAR AND SEAL WITH ASPHALT EMULSION TACK COAT BETWEEN FRAME AND CURB.
  - DESIGN LOADING: AASHTO H-20
  - THE INTERIOR AND EXTERIOR OF CATCH BASIN SHALL BE COATED WITH TWO COATS OF KOPPERS SUPER SERVICE BLACK OR APPROVED EQUAL.
  - WATER TIGHT GROUT ALL CONNECTIONS. USE NON-SHRINK GROUT.

2 **2'x2' CATCH BASIN**  
N.T.S.



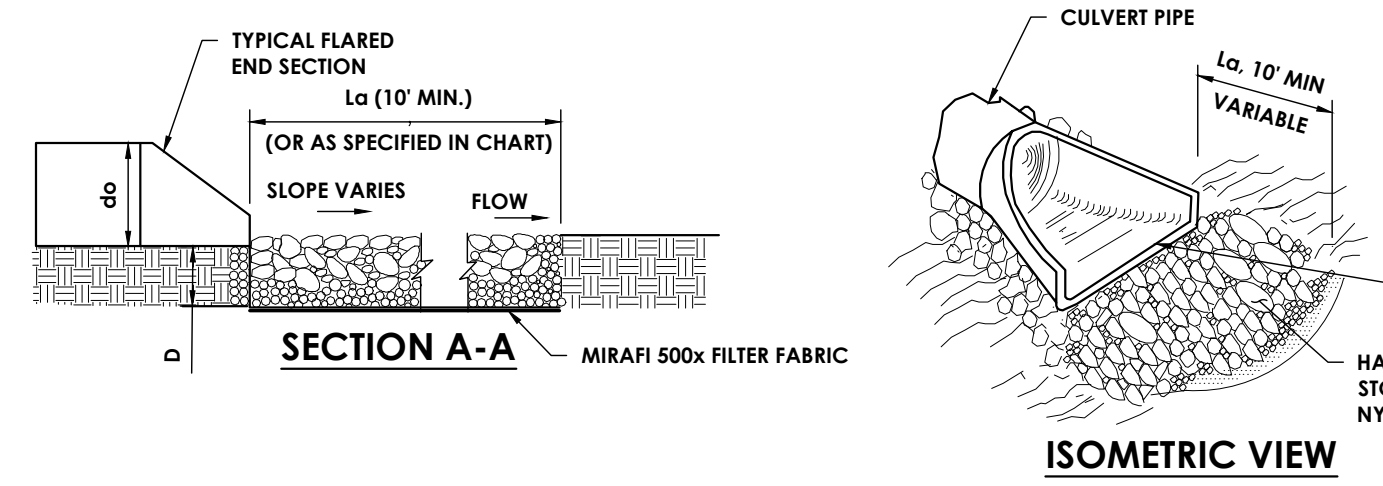
- NOTES:**
- FRAME AND GRATE PROVIDE NEENAH R48328, HS-20-44 LOADING GRATE OR EQUAL.
  - REINFORCEMENT SHALL HAVE A COVER OF 2" UNLESS OTHERWISE SHOWN.
  - ALL CONCRETE FOR CATCH BASINS SHALL BE 4000 PSI CAST-IN-PLACE CONCRETE OR PRECAST CONCRETE.
  - FILL WITH CEMENT MORTAR AND SEAL WITH ASPHALT EMULSION TACK COAT BETWEEN FRAME AND CURB.
  - DESIGN LOADING: AASHTO H-20
  - THE INTERIOR AND EXTERIOR OF CATCH BASIN SHALL BE COATED WITH TWO COATS OF KOPPERS SUPER SERVICE BLACK OR APPROVED EQUAL.
  - WATER TIGHT GROUT ALL CONNECTIONS. USE NON-SHRINK GROUT.

3 **3'x4' CATCH BASIN**  
N.T.S.



**PLAN VIEW**

do = PIPE DIA. (SEE PLANS)  
La = APRON LENGTH  
W = APRON WIDTH (CENTERED ON PIPE)  
D = APRON DEPTH



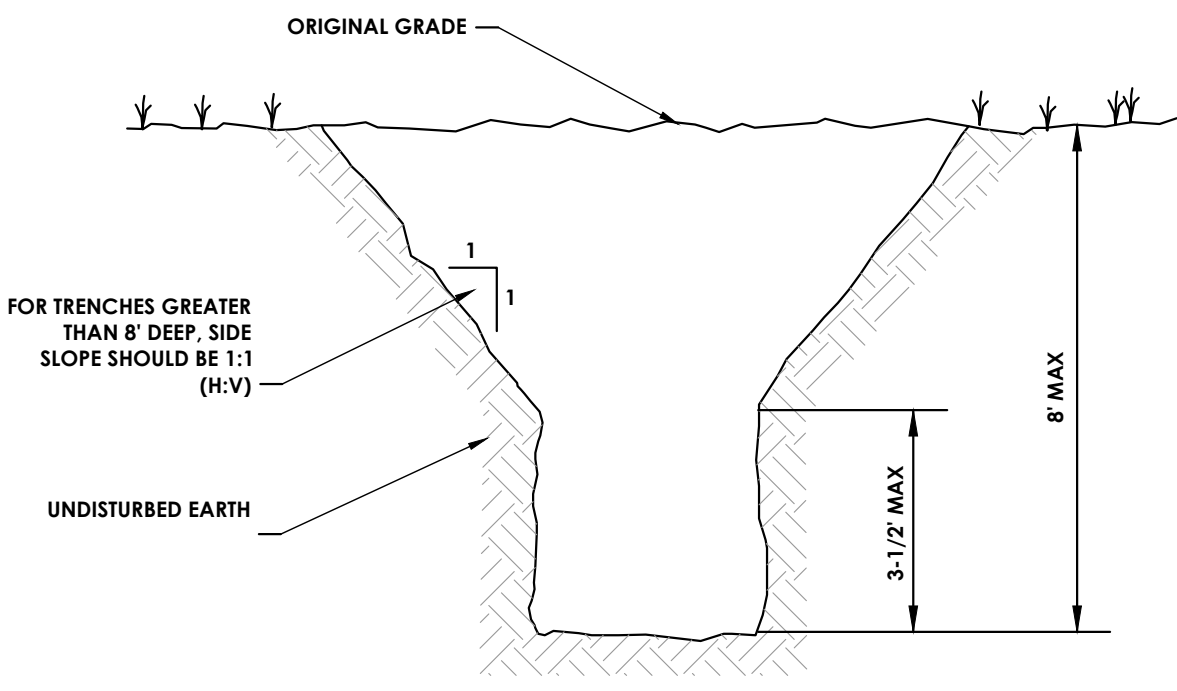
**SECTION A-A**

**ISOMETRIC VIEW**

RIP RAP SIZING CHART				
PIPE DIA.	W1 - MINIMUM	W2 - MINIMUM	La - MINIMUM	D - MINIMUM
12"	3'	11'	10'	13.5'
18"	4.5'	11.5'	10'	13.5'
24"	6'	12'	10'	13.5'
36"	9'	12.5'	10'	13.5'

- NOTES:**
- G = 1.5 TIMES THE MAXIMUM STONE BUT NO LESS THAN 4".
  - INSTALL FILTER MIRAFI 500x OR APPROVED EQUAL FILTER FABRIC BETWEEN RIP-RAP AND SUBGRADE.

5 **RIP-RAP OUTLET PROTECTION DETAIL**  
N.T.S.



- NOTES:**
- ALL EXCAVATIONS 8 FEET OR LESS WHICH HAVE UNSUPPORTED VERTICALLY SIDED LOWER PORTIONS SHALL HAVE A MAXIMUM ALLOWABLE SLOPE OF 1:3/4 RISE OVER RUN AND A MAXIMUM VERTICAL SIDE OF 3-1/2 FEET.
  - ALL EXCAVATIONS MORE THAN 8 FEET BUT NOT MORE THAN 12 FEET IN DEPTH WHICH HAVE UNSUPPORTED VERTICALLY SIDED LOWER PORTIONS SHALL HAVE A MAXIMUM ALLOWABLE SLOPE OF 1:1 RISE OVER RUN AND A MAXIMUM VERTICAL SIDE OF 3-1/2 FEET.
  - CONFORMS TO OSHA 2207 APPENDIX B, SUBPART B OF 11-14-90.
  - EXCAVATIONS OF MORE THAN 12 FEET IN DEPTH SHALL BE MADE UTILIZING TRENCH BOXES OR TRENCH SLOPING IN ACCORDANCE WITH CURRENT OSHA STANDARDS.

6



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NY ENGINEERING FIRM CERTIFICATE #018330



**PROJECT INFORMATION**  
Project Number: R23.01044.00  
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP  
Project Name: MILL STREET LOFTS  
Project Address: MILL STREET HUDSON, NY 12051

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PROFESSIONAL STAMPS

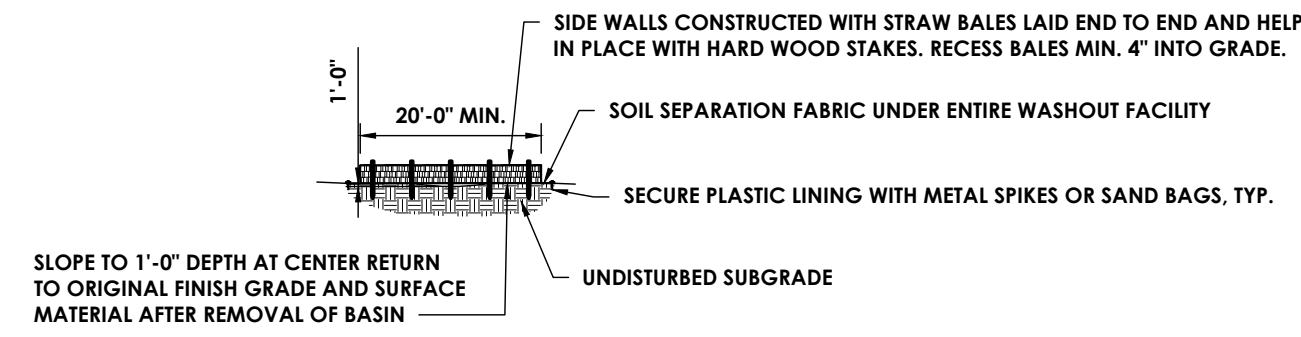
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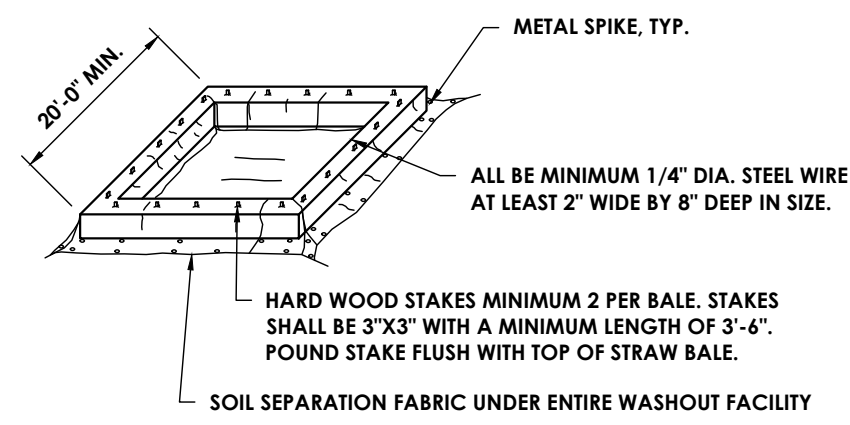
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Issued: APRIL 2024  
Scale: AS NOTED  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: DETAILS - 1

Drawing Number: KMS  
Revision Number: C300

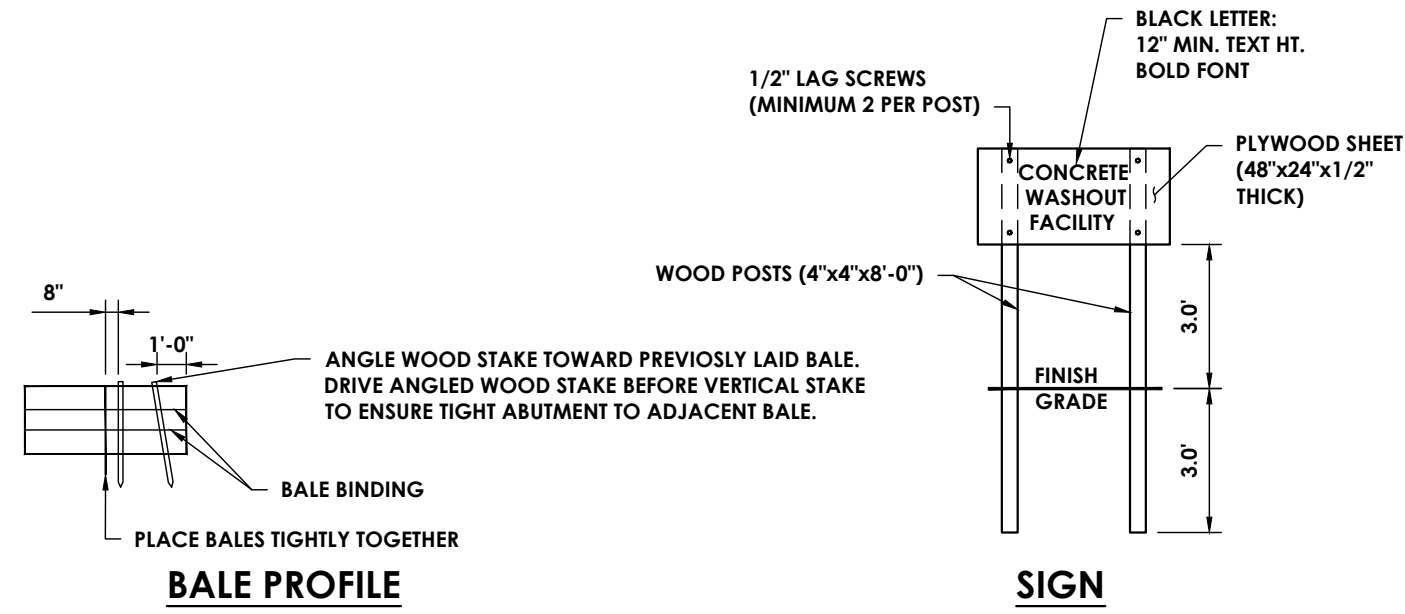
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 Date last plotted: 6/6/2024 8:47 PM  
 Plotted By: Arvid Learn



**PROFILE OF FACILITY**



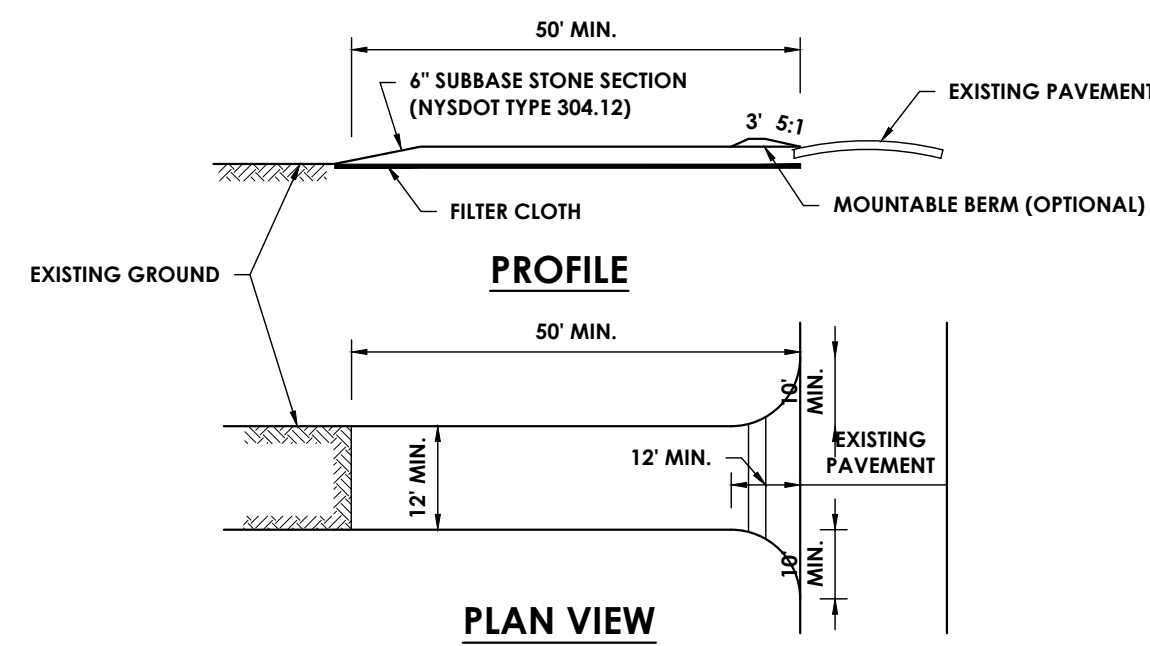
**ISOMETRIC VIEW OF FACILITY**



**BAILE PROFILE**

**SIGN**

**1 CONCRETE TRUCK WASHOUT**  
N.T.S.

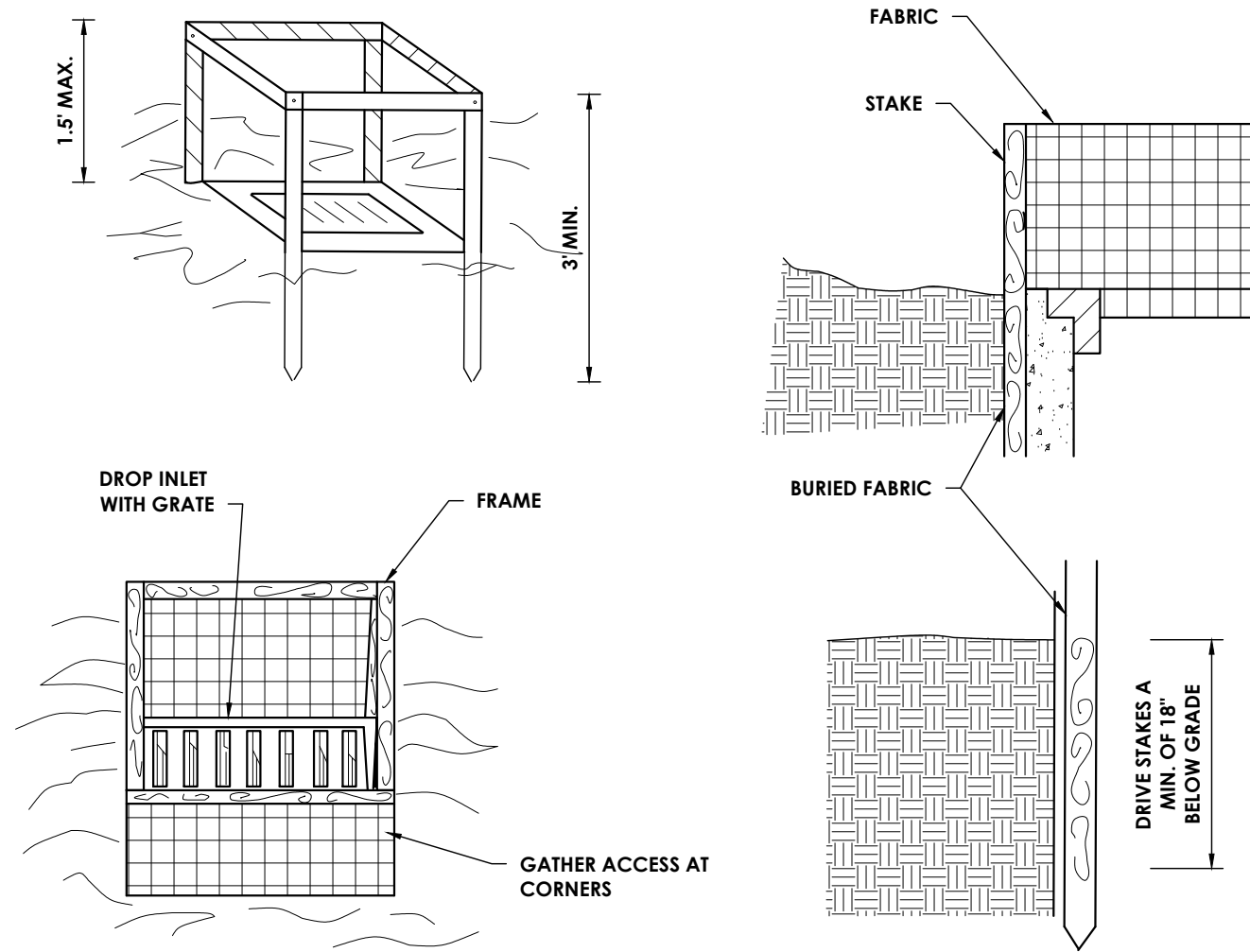


**CONSTRUCTION NOTES:**

- STONE SIZE - USE 1-4 INCH STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
- LENGTH - NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY)
- THICKNESS - NOT LESS THAN SIX (6) INCHES
- WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
- GEOTEXTILE - WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
- SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ACCESS SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5% SLOPES WILL BE PERMITTED.
- MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
- WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
- PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

**4 STABILIZED CONSTRUCTION ENTRANCE/DRIVEWAY**  
N.T.S.

**2"x4" WOOD FRAME**

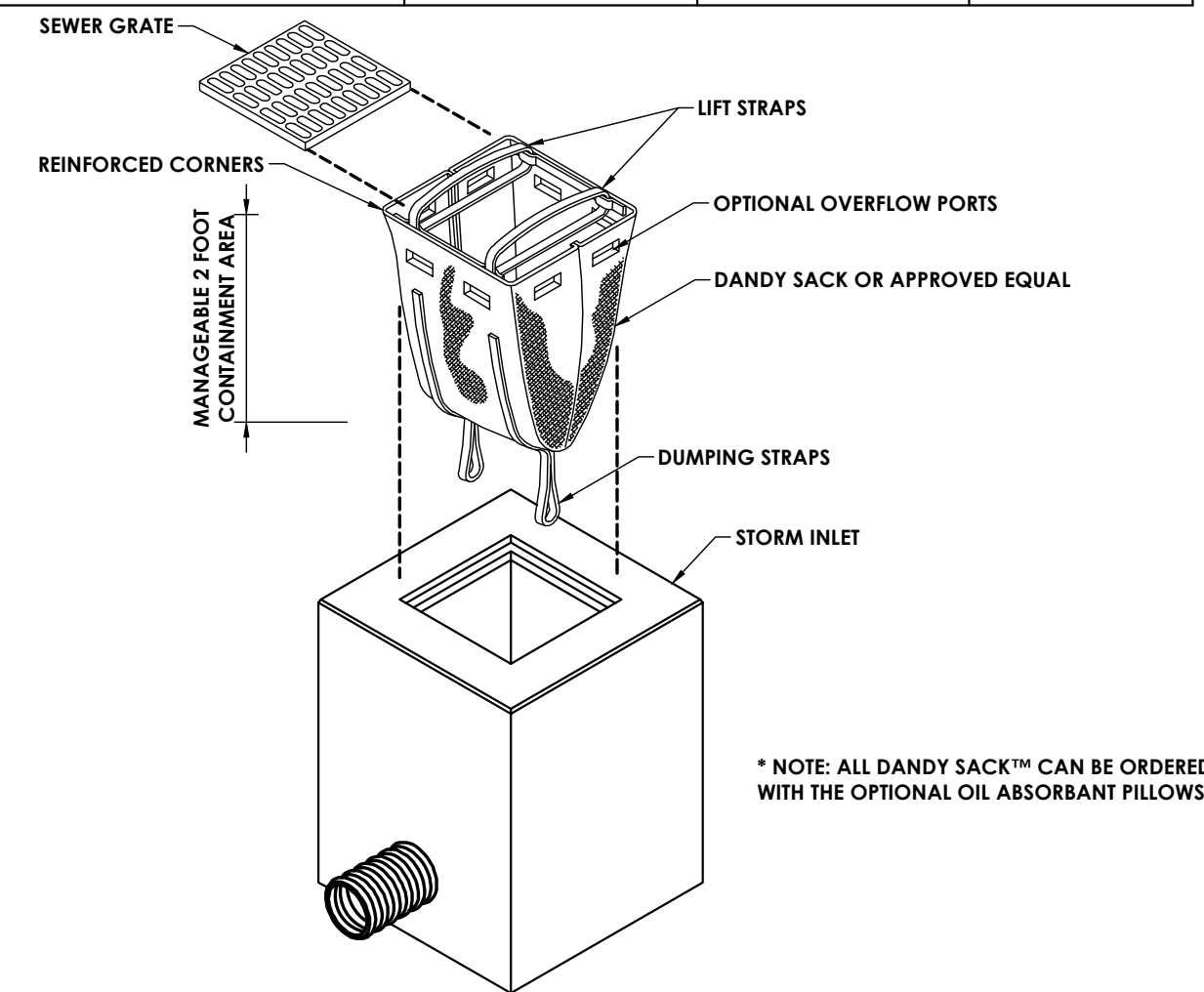


**CONSTRUCTION SPECIFICATIONS**

- FILTER FABRIC SHALL HAVE AN EOS OF 40-85. BURLAP MAY BE USED FOR SHORT TERM APPLICATIONS.
  - CUT FABRIC FROM A CONTINUOUS ROLL TO ELIMINATE JOINTS. IF JOINTS ARE NEEDED THEY WILL BE OVERLAPPED TO THE NEXT STAKE.
  - STAKE MATERIALS WILL BE STANDARD 2" x 4" WOOD OR EQUIVALENT. METAL WITH A MINIMUM LENGTH OF 3 FEET.
  - SPACE STAKES EVENLY AROUND INLET 3 FEET APART AND DRIVE A MINIMUM 18 INCHES DEEP. SPANS GREATER THAN 3 FEET MAY BE BRIDGED WITH THE USE OF WIRE MESH BEHIND THE FILTER FABRIC FOR SUPPORT.
  - FABRIC SHALL BE EMBEDDED 1 FOOT MINIMUM BELOW GROUND AND BACKFILLED. IT SHALL BE SECURELY FASTENED TO THE STAKES AND FRAME.
  - A 2" x 4" WOOD FRAME SHALL BE COMPLETED AROUND THE CREST OF THE FABRIC FOR OVER FLOW STABILITY.
- \*MAXIMUM DRAINAGE AREA 1 ACRE

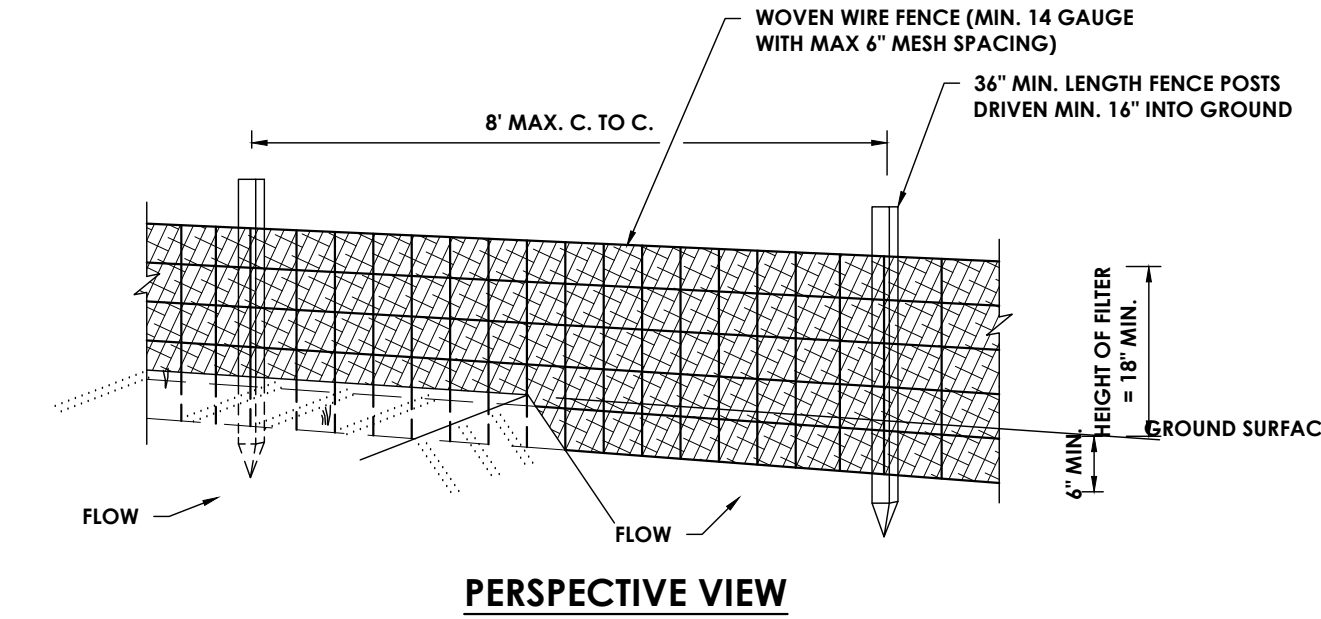
**2 FILTER FABRIC DROP INLET PROTECTION**  
N.T.S.

REGULAR FLOW DANDY SACK™ (BLACK)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	LBS	400 X 315
GRAB TENSILE ELONGATION	ASTM D 4632	%	15 X 15
PUNCTURE STRENGTH	ASTM D 4833	LBS	150
MULLEN BURST STRENGTH	ASTM D 3786	psi	800
TRAPEZOID TEAR STRENGTH	ASTM D 4533	LBS	150 X 165
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	US STD SIEVE	40
FLOW RATE	ASTM D 4491	GAL/MIN/FF <sup>2</sup>	70
PERMITTIVITY	ASTM D 4491	SEC <sup>-1</sup>	0.90
HI-FLOW DANDY SACK™ (SAFETY ORANGE)			
MECHANICAL PROPERTIES	TEST METHOD	UNITS	MARV
GRAB TENSILE STRENGTH	ASTM D 4632	LBS	365 X 200
GRAB TENSILE ELONGATION	ASTM D 4632	%	24 X 10
PUNCTURE STRENGTH	ASTM D 4833	LBS	90
MULLEN BURST STRENGTH	ASTM D 3786	psi	450
TRAPEZOID TEAR STRENGTH	ASTM D 4533	LBS	115 X 75
UV RESISTANCE	ASTM D 4355	%	90
APPARENT OPENING SIZE	ASTM D 4751	US STD SIEVE	40
FLOW RATE	ASTM D 4491	GAL/MIN/FF <sup>2</sup>	145
PERMITTIVITY	ASTM D 4491	SEC <sup>-1</sup>	2.10

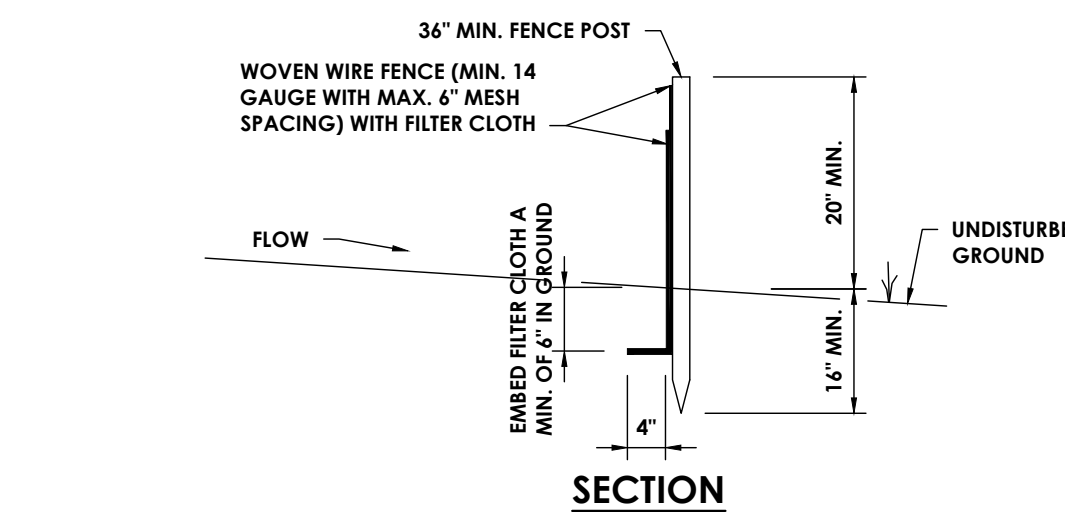


\* NOTE: ALL DANDY SACK™ CAN BE ORDERED WITH THE OPTIONAL OIL ABSORBANT PILLOWS

**5 FILTER SACK INLET PROTECTION**  
N.T.S.



**PERSPECTIVE VIEW**

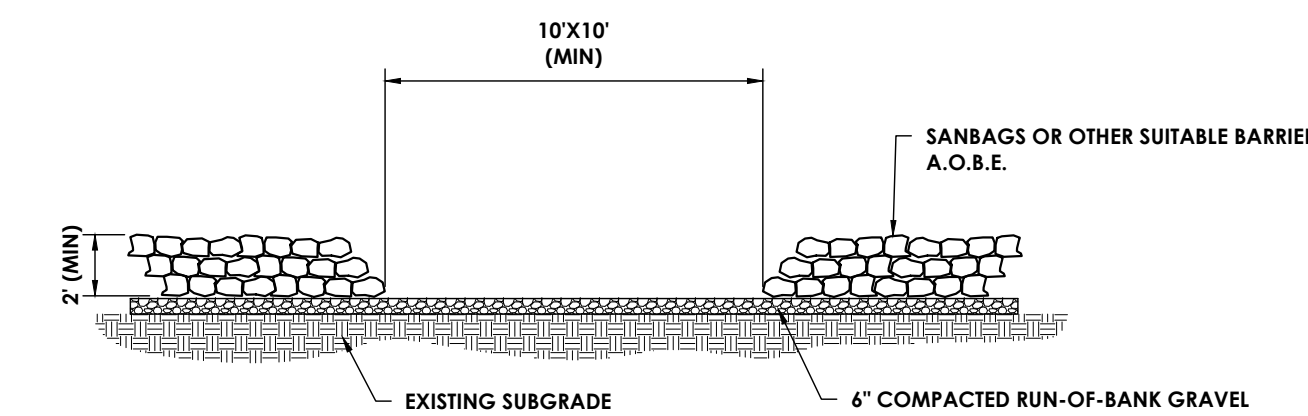


**SECTION**

**CONSTRUCTION SPECIFICATIONS**

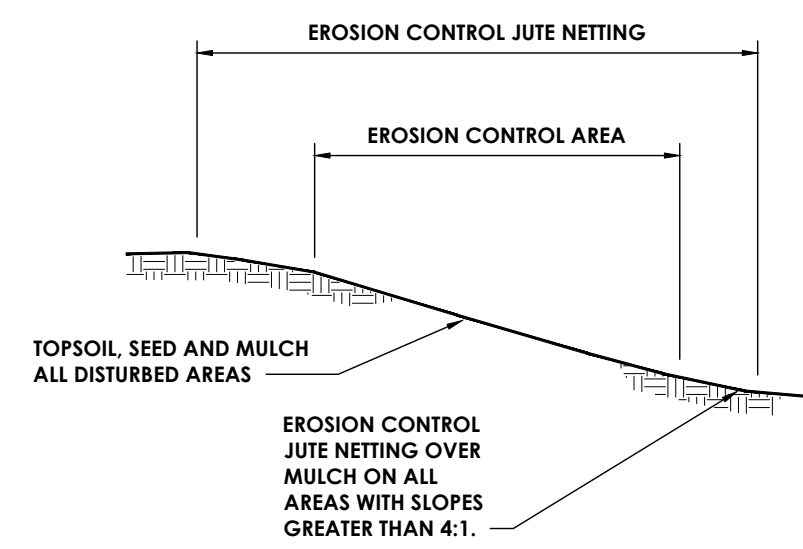
- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIRES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP OF MID SECTION. FENCE SHALL BE WOVEN WIRE 6" MAXIMUM MESH OPENING.
- WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVERLAPPED BY 6" AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N OR APPROVED EQUAL.
- PREFABRICATED UNITS SHALL MEET THE MINIMUM REQUIREMENTS SHOWN.
- MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE

**3 SILT FENCE**  
N.T.S.



NOTE: THE VEHICLE WASH AREA SHALL BE LOCATED UPSTREAM FROM A PROPOSED CATCH BASIN THAT DRAINS TOWARDS THE TEMPORARY SEDIMENT BASIN. ANY EXCESS WASH FROM THIS AREA SHALL BE DIVERTED TO A TEMPORARY SEDIMENT TRAPPING DEVICE

**6 VEHICLE WASH DETAIL**  
N.T.S.



**7 EROSION CONTROL NETTING**  
N.T.S.



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Poughkeepsie, NY 12601  
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NY ENGINEERING RRM CERTIFICATE #018330



**PROJECT INFORMATION**  
Project Number: R23.01044.00  
Client Name: KEARNEY REALTY & DEVELOPMENT GROUP  
Project Name: MILL STREET LOFTS

Project Address: MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON FPB
2	05/28/2024	REVISIONS PER FPB REVIEW LETTER 5/13/2024

PROFESSIONAL STAMPS

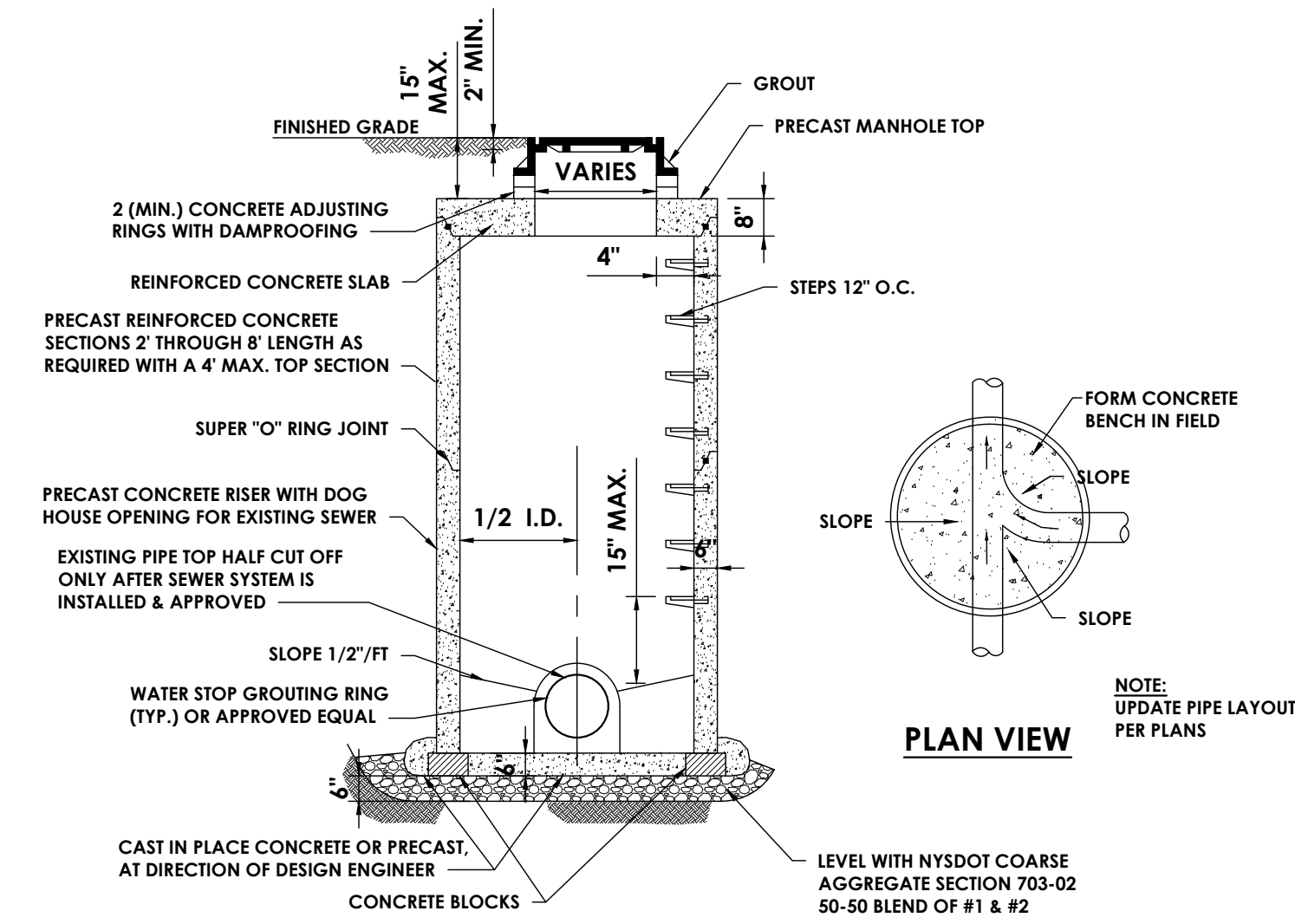
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CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, a duly licensed professional engineer in the State of New York, hereby certify that I am the author of the design and construction of the above described project and that I am duly licensed to practice my profession in the State of New York.

**SHEET INFORMATION**  
Issued: APRIL 2024  
Scale: AS NOTED  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: DETAILS - 2

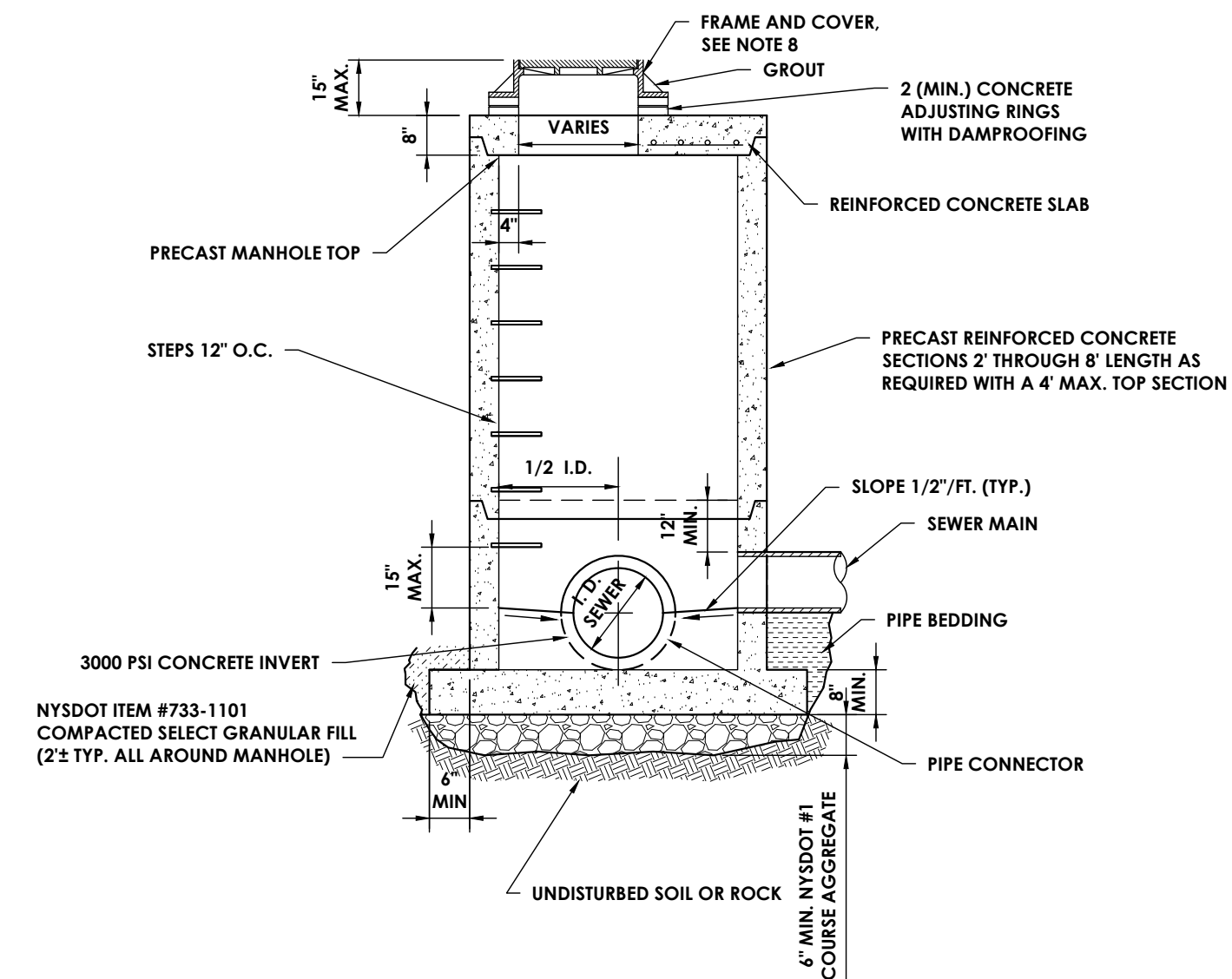
Drawing Number: KMS  
Revision Number: C301





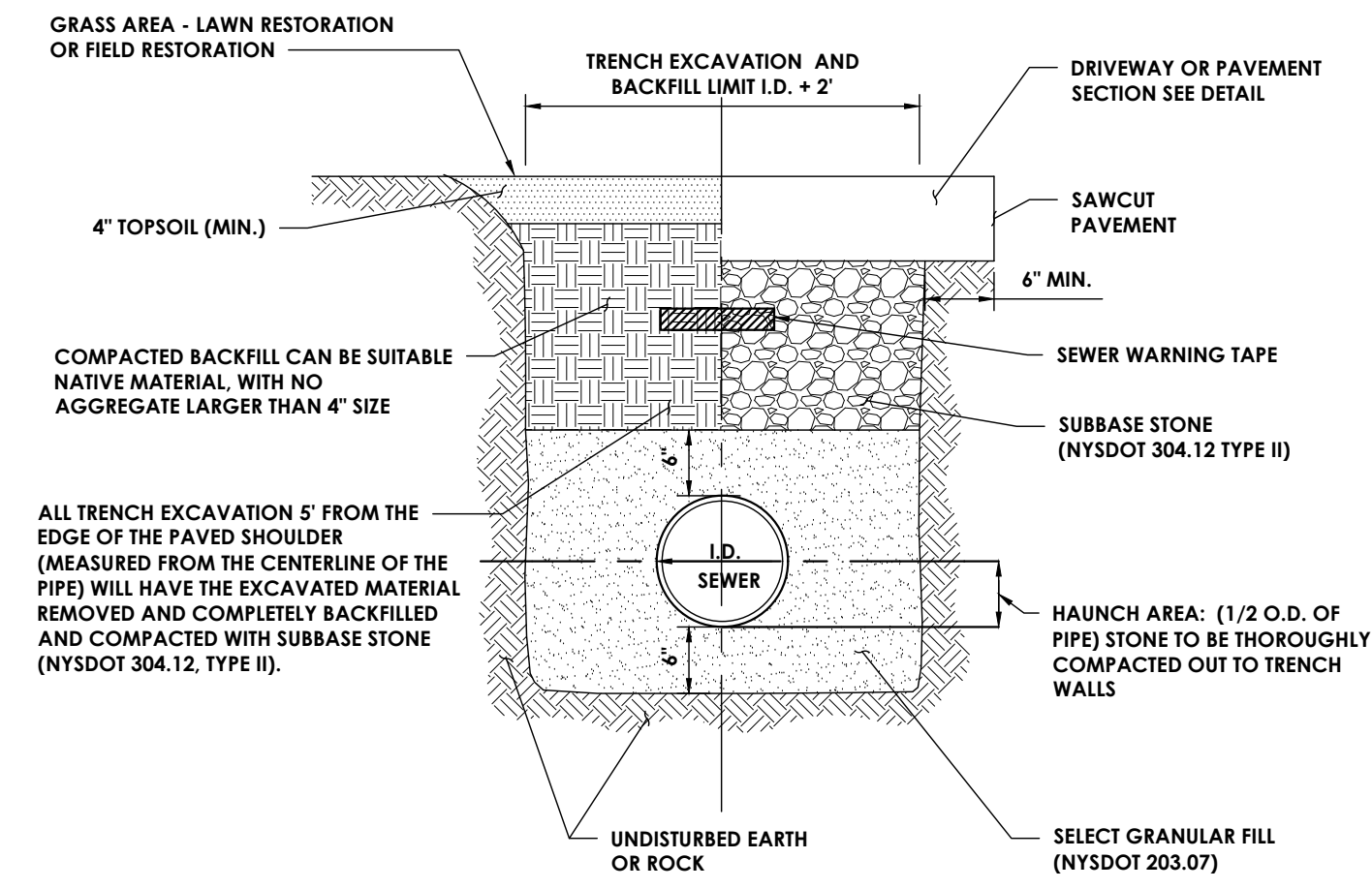
- NOTES:**
- STUBS 4" MAX. R.C.P., 1" MAX. ALL OTHER PIPE MATERIALS FROM OUTSIDE FACE.
- USE TWO COATS OF SIKAGUARD NO. 62 BY SIKA OR DURALCOTE BY DURAL OR APPROVED EQUIVALENT FOR INTERIOR COATING OF BASE TO TOP OF HIGHEST PIPE. USE TWO COATS OF KOPPERS SUPER SERVICE BLACK OR APPROVED EQUIVALENT ON OTHER INTERIOR AND ALL EXTERIOR SURFACES.
  - ALL RISER JOINTS SHALL BE RUBBER RING GASKETS CONFORMING TO A.S.T.M. C443 WITH FLEXIBLE JOINT SEALER ON OUTSIDE OF JOINTS.
  - PIPE CONNECTIONS TO MANHOLE BASE SHALL BE BELL WALL FITTINGS FOR R.C.P. WITH STEEL RING JOINTS. FOR ALL OTHER PIPES USE PRESS-SEAL CAST-A-SEAL 12-08 CAST IN BOOT OR PSX DIRECT DRIVE CONNECTOR. CONNECTION SHALL BE GROUTED AND ALL SURFACES COATED.
  - PRECAST BASES, RISER SECTIONS AND TOP SLABS SHALL CONFORM WITH A.S.T.M. C478.
  - CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL NOT BE LESS THAN 6" FROM A RISER JOINT.
  - MANHOLE TOP SLABS, FRAMES AND COVERS SHALL BE DESIGNED FOR USE UNDER H-20 LOADING.
  - REQUIRE 24" I.D. FRAME AND COVER, NEENAH R-1713, OR APPROVED EQUAL.
  - ALL BRICK MASONRY UNITS SHALL BE ASTM DESIGNATION C-32 GRADE SS.
  - PROVIDE TEMPORARY SUPPORT FOR LINE SEWER UNTIL BENCH IS POURED. GROUT (NON-SHRINK) VOID AROUND EXISTING SEWER. PROVIDE 1 FT. THICK CONCRETE COLLAR AROUND EXTERIOR OF PIPE / M.H. WALL JUNCTION

**1 DOGHOUSE MANHOLE**  
N.T.S.



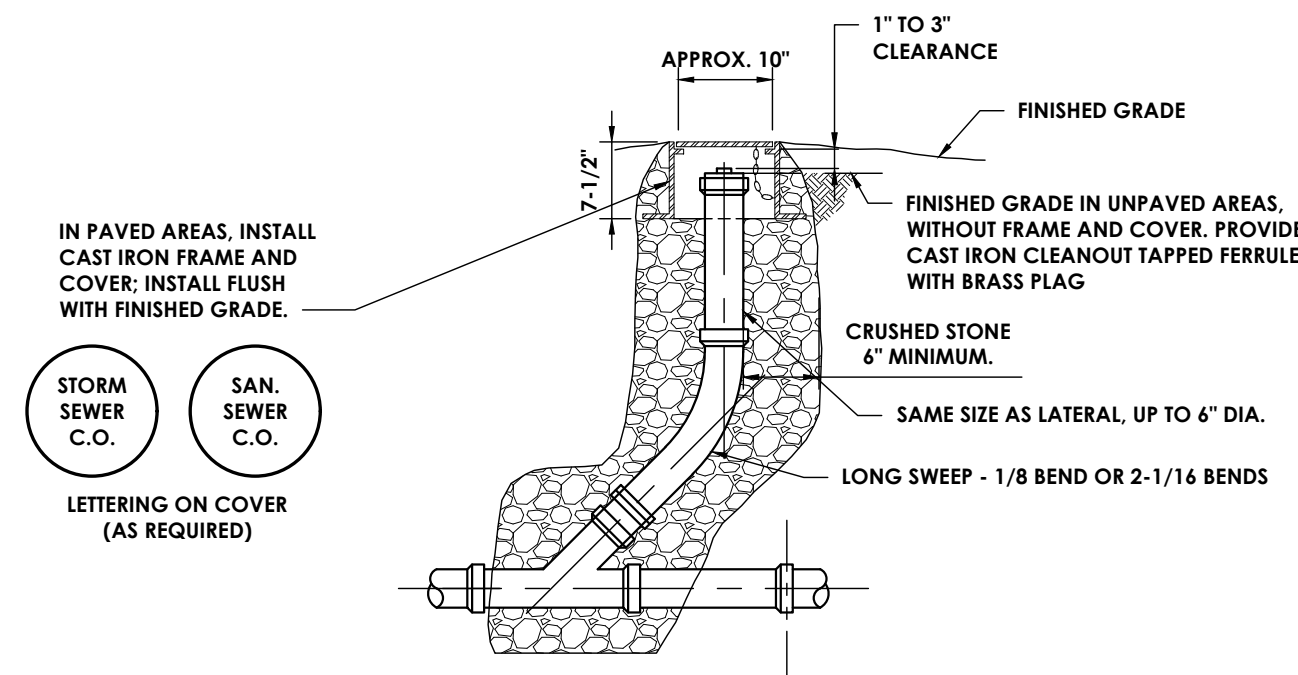
- NOTES:**
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  - USE TWO COATS OF SIKAGUARD NO. 62 BY SIKA OR DURALCOTE BY DURAL OR APPROVED EQUIVALENT FOR INTERIOR COATING OF BASE TO TOP OF HIGHEST PIPE. USE TWO COATS OF KOPPERS SUPER SERVICE BLACK OR APPROVED EQUIVALENT ON OTHER INTERIOR AND ALL EXTERIOR SURFACES.
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  - PRECAST BASES, RISER SECTIONS AND TOP SLABS SHALL CONFORM WITH A.S.T.M. C478.
  - CORED OPENINGS IN MANHOLE RISER SECTIONS SHALL NOT BE LESS THAN 6" FROM A RISER JOINT.
  - MANHOLE TOP SLABS, FRAMES AND COVERS SHALL BE DESIGNED FOR USE UNDER H-20 LOADING.
  - REQUIRE 24" I.D. FRAME AND COVER, NEENAH R-1713, OR APPROVED EQUAL.
  - ALL WORK FOR PRECAST SANITARY MANHOLES SHALL BE PAID FOR UNDER SANITARY PRECAST MANHOLE ITEMS. WORK INCLUDES EXCAVATION AND BACKFILL.

**2 PRECAST SANITARY MANHOLE**  
N.T.S.



- NOTES:**
- CONTRACTOR TO PROVIDE SAFE EXCAVATION; SLOPE TRENCH WALLS. USE TRENCH BOX, OR SHEETING & BRACING PER OSHA SPECIFICATIONS. TRENCH BOX OR SHEETING AND BRACING TO BE LIFTED ABOVE THE SPRING LINE OF PIPE BEFORE BACKFILLING ABOVE SPRING LINE
  - PAVEMENT BACKFILL AND RESTORATION REQUIREMENTS SHALL APPLY TO WORK PERFORMED UNDER PROPOSED ROADWAYS.
  - BACKFILL OF SUITABLE MATERIAL SHALL BE COMPACTED IN 6" LIFTS.
  - ALL DISTURBED AREAS SHALL BE MULCHED OR HAVE TURF ESTABLISHMENT WITHIN 10 DAYS IF IN A GRASS AREA.

**3 SANITARY SEWER AND LATERAL TRENCH**  
N.T.S.



**4 SEWER CLEAN-OUT**  
N.T.S.



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PROFESSIONAL STAMPS

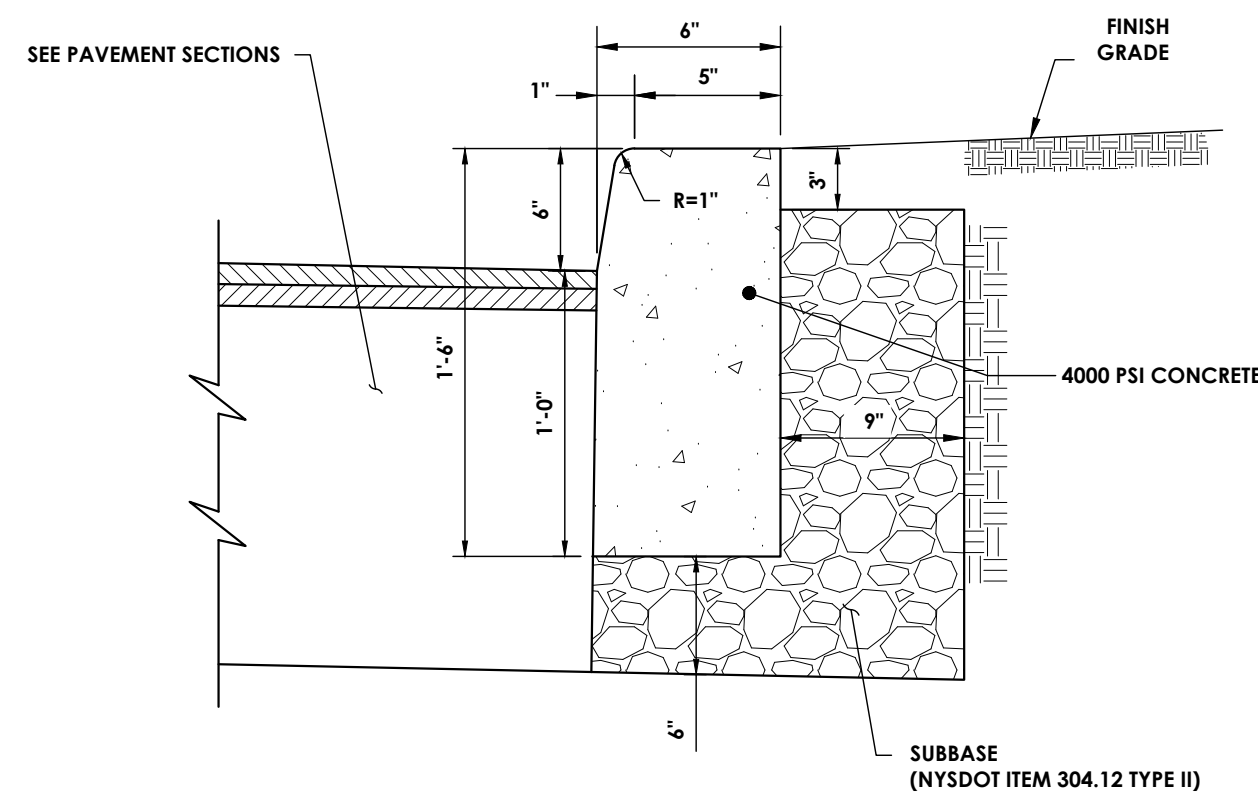
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NEW YORK STATE EDUCATION STATEMENT  
FILE A DECLARATION OF THE NEW YORK STATE EDUCATION LAW AND THE COMMISSIONER'S  
REGULATIONS FOR ANY PRELIMINARY, PRELIMINARY ACTION UNDER THE SUPERVISION OF A LICENSED  
ARCHITECT, ENGINEER OR LAND SURVEYOR. TO USE AN E-Stamp FROM ANY STATE OR JURISDICTION  
BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR IS ALTERED, THE AGENCY,  
PRINTED NAME, AND TO THE E-Stamp SIGNATURE AND THE SIGNATURE IS USED IN ACCORDANCE WITH  
THEIR SIGNATURE AND THE DATE OF SUCH A SIGNATURE, AND A PROPER DESCRIPTION OF THE  
ACTIVITY.

**SHEET INFORMATION**

Issued	Scale
APRIL 2024	AS NOTED
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Drawing Number  
**KMS  
C302**  
Revision Number



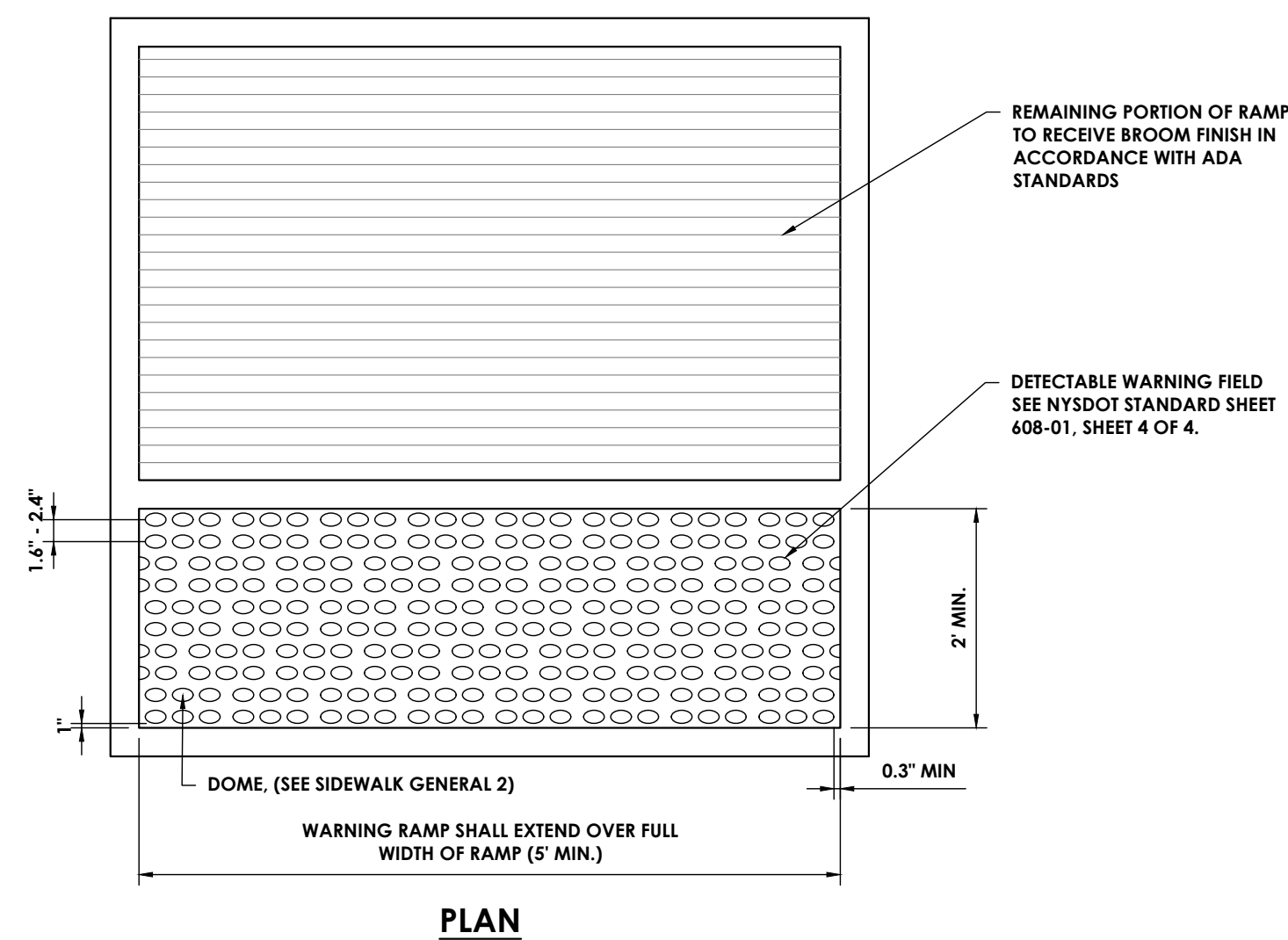
- CONTRACTION JOINTS TO BE AT 10 FOOT INTERVALS AND SHALL BE FORMED OR SAW CUT TO A DEPTH OF 1/2 INCH BELOW THE SURFACE OF THE CURB.
- EXPANSION JOINTS TO BE AT 50 FOOT INTERVALS AND SHALL BE FORMED WITH 3/4 INCH WIDE PREMOULDED BITUMINOUS JOINT FILLER. THE FILLER MATERIAL SHALL BE CUT TO CONFORM TO THE CROSS SECTION OF THE CURB.
- EXPANSION JOINTS AND FORMED CONTRACTION JOINTS ARE TO BE EDGED WITH CONCRETE FINISHING TOOLS.
- CONCRETE SEALING AGENT SHALL BE APPLIED THE SAME DAY THAT CURBS ARE CONSTRUCTED.

### 1 CONCRETE CURB

N.T.S.

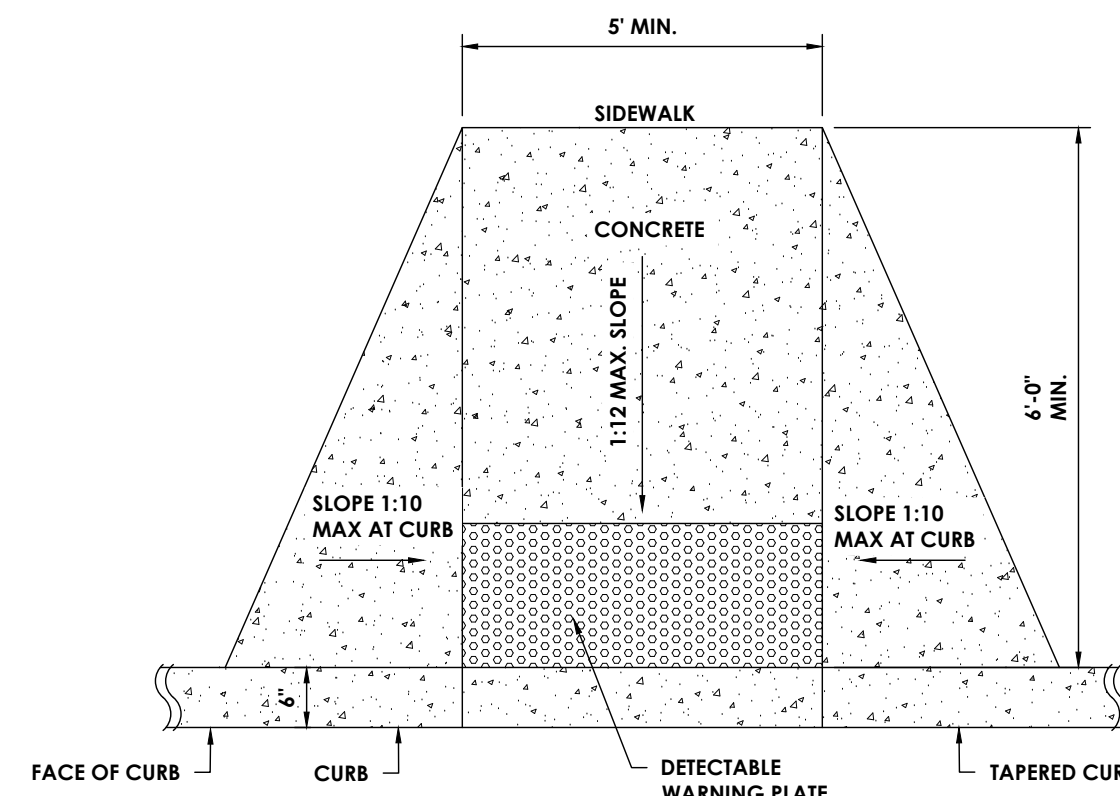
#### NOTES:

- REFER TO NYSDOT STANDARD DETAILS AND SPECIFICATIONS FOR COMPLETE DETAILS (STANDARD SHEETS 608-01).
- THE COLOR OF THE DETECTABLE WARNING SURFACE SHALL BE RED.
- DETECTABLE WARNING SHALL BE LOCATED SO THAT THE EDGE OF WARNING FIELD NEAREST TO THE ROADWAY / STREET, OR FROM THE BACK OF THE DROPPED CURB, WHERE A DROPPED CURB CONTINUES ACROSS THE BOTTOM OF THE SIDEWALK CURB RAMP, THE DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE.
- INSTALLATION SHALL MEET OR EXCEED ALL APPLICABLE ADA CODES & STANDARDS.
- TRANSITION & FLUSH SECTIONS SHALL BE CUT STRAIGHT OR TO THE PROPER AS DESIGNATED ON PLANS.
- FLUSH CURB SECTIONS ARE 5' LONG EXCEPT WHERE NOTED OTHERWISE ON PLANS.
- FLUSH CURB SECTIONS ARE TO MEET LEVEL WITH ASPHALT CONCRETE PAVEMENT SURFACES. MAXIMUM REVEAL AT FLUSH CURB SHALL BE 1/4".
- PROVIDE COARSE BROOM FINISH ON ALL CONCRETE RAMP SURFACES PERPENDICULAR TO RAMP SLOPE.
- CENTER FLUSH CURB SECTION IN ACCESSIBLE AISLE WHEN ADJACENT TO ACCESSIBLE PARKING SPACES.
- WHERE CURB RAMPS ARE INDICATED FOR CONSTRUCTION AREAS OF PRE CAST PAVERS, ESTABLISH RAMP & TRANSITION SECTIONS WITH GRADE BREAKS AS ILLUSTRATED BELOW.
- DETECTABLE WARNING SURFACE TO COVER FIRST 2' OF SURFACE FOR FULL WIDTH RAMP.



### 4 DETECTABLE WARNING RAMP DETAIL

N.T.S.



### PLAN VIEW

- NOTES:**
- INSTALL DETECTABLE WARNING PLATES WHERE SPECIFIED ON PLANS.
  - WARNING PLATES ARE TO BE SELECTED AND INSTALLED AS PER SPECIFIED BY THE NYSDOT. DETECTABLE WARNING PLATES ARE TO EXTEND THE FULL WIDTH OF THE RAMP AND SHALL BE PLACED 6" TO 9" FROM THE EDGE OF CURB ALONG THE ROADWAY AND EXTEND 24" UP THE RAMP.
  - DETECTABLE WARNING PLATES SHALL BE 7005 SERIES DETECTABLE WARNING PLATES, MANUFACTURED BY EAST JORDAN IRON WORKS, INC. OR EQUAL. THEIR COLOR SHALL VISUALLY CONTRAST THE ADJOINING RAMP AND WALKWAY.

### 2 SIDEWALK HANDICAP ACCESS

N.T.S.

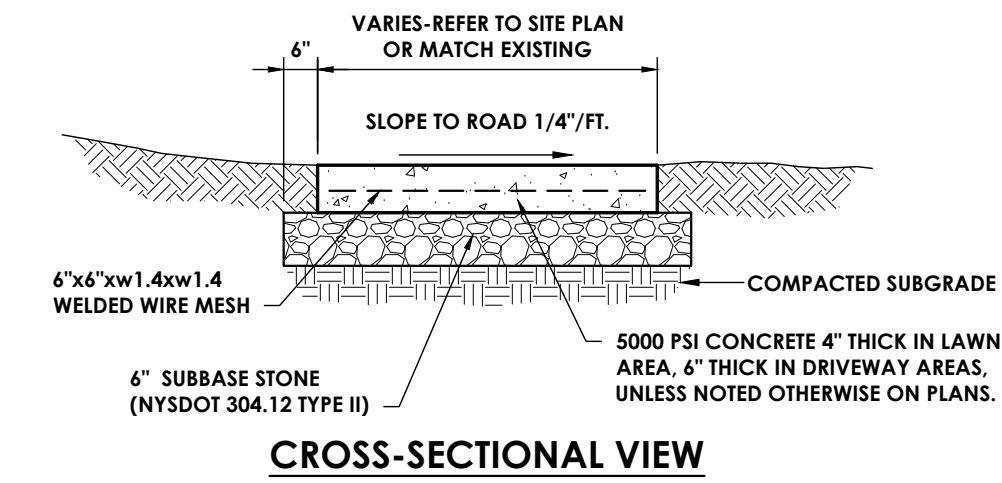
### SIDEWALK NOTES

#### GENERAL:

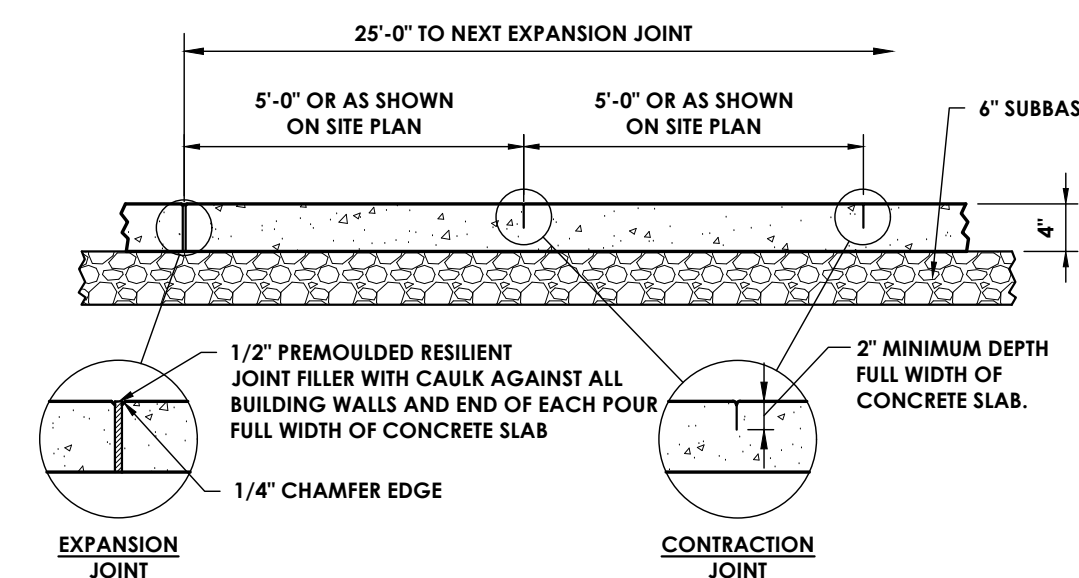
- THE DIMENSIONS AND SLOPE PRESENTED IN THE DETAILS ARE THE MINIMUM NECESSARY TO COMPLY WITH THE ADA AND DOT STANDARDS. ANY DEVIATION LESS THAN THE MINIMUM WIDTH OR GREATER THAN THE MAXIMUM SLOPE FROM THESE STANDARDS MUST BE DOCUMENTED WITH THE STANDARDS BEING MET TO THE GREATEST EXTENT PRACTICABLE AND CONSISTENT WITH THE MOST CURRENT ADAAG.
- THE DETAILS PROVIDED ARE NOT DRAWN TO SCALE. THE QUALITY OF DOMES DEPICTED ON THE DETECTABLE WARNING UNIT (THE DOMES AND THE ENTIRE 24" LEVEL SURFACE) IS FOR ILLUSTRATION ONLY.
- CURB RAMPS, LANDINGS AND BLENDED TRANSITIONS MAY REQUIRE THE USE OF DETECTABLE WARNINGS. DETECTABLE WARNINGS ON THIS SHEET ARE SHOWN FOR ILLUSTRATION ONLY. REFER TO THE DETECTABLE WARNING DETAILS FOR DETAILS ON PLACEMENT, ORIENTATION & DIMENSIONS. REFER TO CHAPTER 18 OF THE HIGHWAY DESIGN MANUAL FOR MORE INFORMATION.
- THE CONFIGURATIONS SHOWN GENERICALLY REPRESENT THE MOST COMMON SITUATIONS ENCOUNTERED. THEY ARE INTENDED TO PRESENT CURB RAMP DESIGN CONCEPTS. SITE CONDITIONS AT INDIVIDUAL LOCATIONS REQUIRE SPECIFIC DESIGNS.
- COORDINATE TRAFFIC CONTROL DEVICES, UTILITY LOCATIONS, SIGNS, STREET FURNITURE AND DRAINAGE TO ENSURE A CONTINUOUS PEDESTRIAN ACCESS ROUTE AT ALL CURB RAMP LOCATIONS. GUIDANCE FOR CROSSWALK MARKINGS AND TRAFFIC CONTROL DEVICES IS PROVIDED IN THE MUTCD.
- USE TYPE 8 ONLY WHERE OTHER RAMPS ARE UNUSABLE. SINGLE DIAGONAL OR DEPRESSED CORNER CURB RAMPS SERVING TWO STREET CROSSING DIRECTIONS SHOULD BE AVOIDED IN NEW CONSTRUCTION AND SHOULD ONLY BE CONSIDERED WHERE CONDITIONS REQUIRE THEIR USE. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- GRATES SHALL NOT BE LOCATED ON CURB RAMPS, BLENDED TRANSITIONS OR LANDINGS. ACCESS TO COVERS OF SIMILAR SURFACES SHALL COMPLY WITH APPLICABLE SURFACE REQUIREMENTS.
- UTILITIES, SIGNS AND OTHER FIXED OBJECTS MAY NOT BE PLACED ON A CURB, OR IN A MANNER THAT INTERFERES WITH THE USE OF THE CURB RAMP.
- THE SURFACE OF ALL CURB RAMPS SHALL BE STABLE, FIRM AND SLIP RESISTANT. A COARSE BROOM FINISH RUNNING PERPENDICULAR TO THE SLOPE IS RECOMMENDED ON CONCRETE RAMP SURFACES, EXCLUSIVE OF THE DETECTABLE WARNING FIELDS.
- THERE SHALL BE A LANDING AT THE TOP OF EACH PERPENDICULAR CURB RAMP AND A LANDING AT THE BOTTOM OF RAMPS TYPE 6 & 9. SEE NYSDOT STANDARD SHEETS 608-01 FOR RAMP TYPES.
- LANDINGS MAY OVERLAP WITH ADJACENT LANDINGS OR A SINGLE LANDING MAY SERVE MULTIPLE CURB RAMPS.
- LANDINGS MAY OVERLAP WITH THE CLEAR GROUND SPACE REQUIRED AT PEDESTRIAN SIGNAL PUSH BUTTONS.

#### CURB RAMP NOTES:

- THE MINIMUM WIDTH FOR SIDEWALK CURB RAMPS IS 5'-0".
- THE RUNNING SLOPE OF A CURB RAMP SHALL BE 1:20 (5%) MINIMUM (PREFERRED) AND 1:12 (8.33%) MAXIMUM.
- WHERE THE SLOPE OF THE ROADWAY EXCEEDS 8.33% THE CURB RAMP LENGTH IS THE LENGTH NECESSARY TO MEET THE EXISTING SIDEWALK. IT IS NOT NECESSARY THAT THE RAMP LENGTH EXCEED 15'-0".
- THE CROSS SLOPE OF CURB RAMPS SHOULD BE AS FLAT AS POSSIBLE, NOT TO EXCEED 1:50 (2%). THE CROSS SLOPE AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.
- THE VERTICAL ALIGNMENT OF A CURB RAMP, EXCLUDING THE FLARES, SHALL BE PLANAR. GRADE BREAKS SHALL BE FLUSH AND PERPENDICULAR TO THE DIRECTION OF THE RAMP.
- RAMP TRANSITIONS BETWEEN WALKS, LANDINGS, GUTTERS, OR STREETS SHALL BE FLUSH AND FREE OF ABRUPT VERTICAL CHANGES (1/4" MAX).
- WHERE A PEDESTRIAN CIRCULATION PATH CROSSES THE CURB RAMP, FLARED SIDES WITH A SLOPE OF 10% MAXIMUM, MEASURED PARALLEL TO THE CURB LINE, SHALL BE PROVIDED.



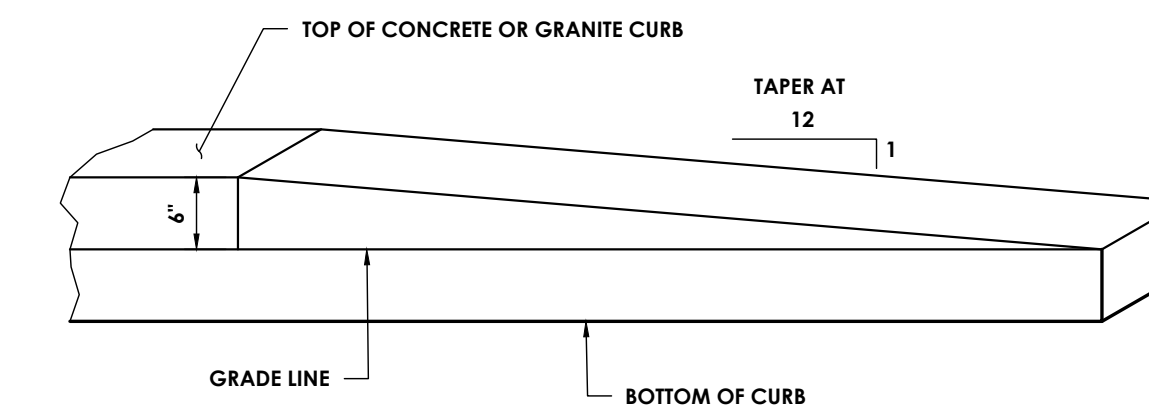
### CROSS-SECTIONAL VIEW



### SIDE VIEW

### 3 TYPICAL CONCRETE SIDEWALK

N.T.S.



### 5 CURB TRANSITION / TERMINAL

N.T.S.

#### LANDING NOTES:

- LANDINGS SHALL HAVE A MINIMUM CLEAR DIMENSION OF A 5'-0" BY 5'-0"
- THE RUNNING AND CROSS SLOPES ON LANDINGS AT INTERSECTIONS IS 1:50 (2%) MAXIMUM. THE RUNNING AND CROSS SLOPES AT MIDBLOCK CROSSINGS MAY BE WARPED TO MEET STREET OR HIGHWAY GRADE.

#### DETECTABLE WARNING UNIT DIMENSIONS:

- THE SIZE OF THE DETECTABLE WARNING FIELD SHALL BE 24" IN THE DIRECTION OF TRAVEL AND SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP OR FLUSH SURFACE, EXCLUSIVE OF SIDE FLARES.

#### DETECTABLE WARNINGS LOCATIONS:

- DETECTABLE WARNINGS SHALL BE LOCATED SO THAT THE EDGE OR CORNER OF THE WARNING FIELD NEAREST TO THE ROADWAY IS 5" TO 9" FROM THE FRONT OF THE CURB OR THE ROADWAY EDGE (12" WHERE TRAVERSABLE CURB IS USED).
- THE EDGE OF THE DETECTABLE WARNING FIELD NEAREST TO A RAILROAD CROSSING SHALL BE 6'-0" MINIMUM AND 15'-0" MAXIMUM FROM THE CENTERLINE OF THE NEAREST RAIL.

#### DOMES ALIGNMENT:

- THE ROWS OF DOMES SHALL BE ALIGNED TO BE PERPENDICULAR OR RADIAL TO THE GRADE BREAK BETWEEN THE RAMP LANDING OR CURB RAMP AND THE STREET.
- WHERE DOMES ARE ARRANGED RADIIALLY THEY MAY DIFFER IN DOME DIAMETER AND CENTER-TO-CENTER SPACING WITHIN THE RANGES SPECIFIED ON THIS SHEET.

#### COLOR REQUIREMENTS:

- THE DETECTABLE WARNING FIELD SHALL BE THE COLOR SPECIFIED IN THE CONTRACT DOCUMENTS OR MEET THE REQUIREMENTS OF THE STANDARD SPECIFICATIONS.



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R23.01044.00

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KEARNEY REALTY &  
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Project Name

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Project Address

MILL STREET HUDSON, NY 12051

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PROFESSIONAL STAMPS

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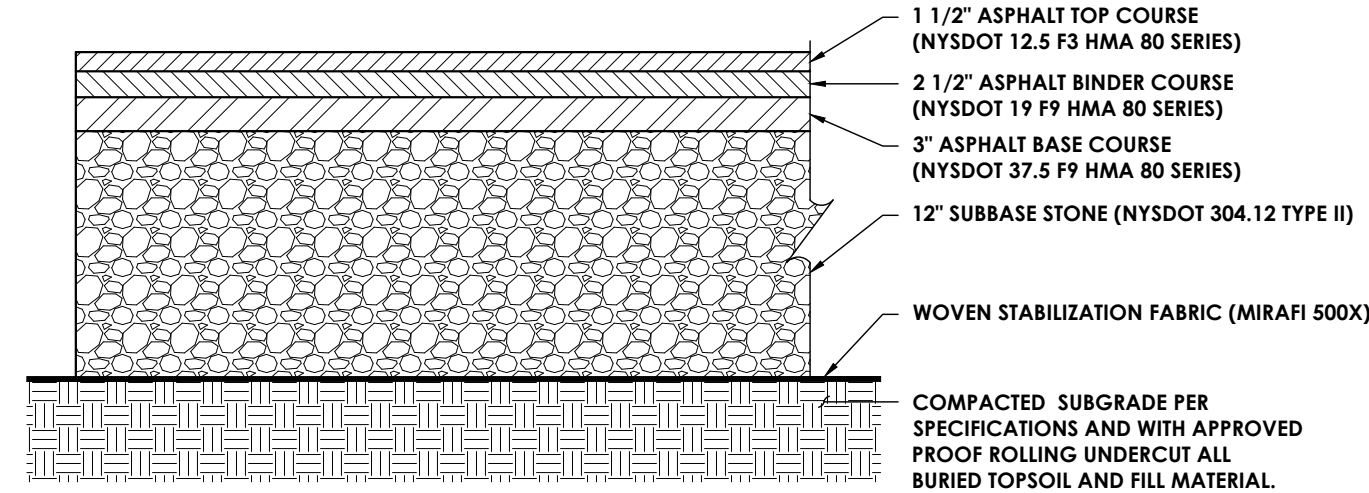
NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, being a duly qualified architect or engineer, hereby certify that the foregoing drawings, specifications and reports were prepared by me or under my direct supervision and that I am a duly licensed architect or engineer in the State of New York.

#### SHEET INFORMATION

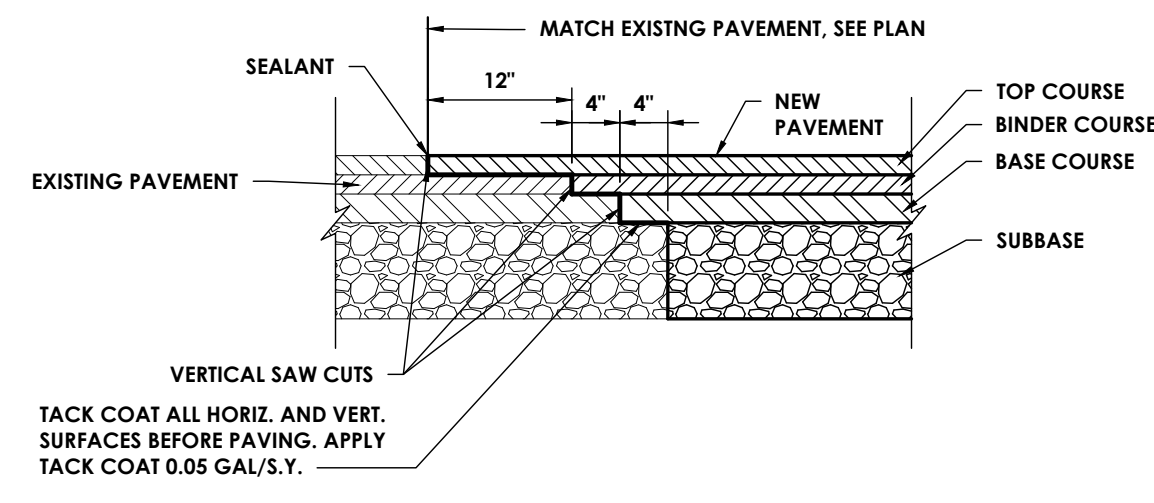
Issued  
APRIL 2024  
Scale  
AS NOTED  
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Drawn By  
BGR  
Checked By  
ALL  
Drawing Title  
DETAILS - 4

Drawing Number  
Revision Number

KMS  
C303



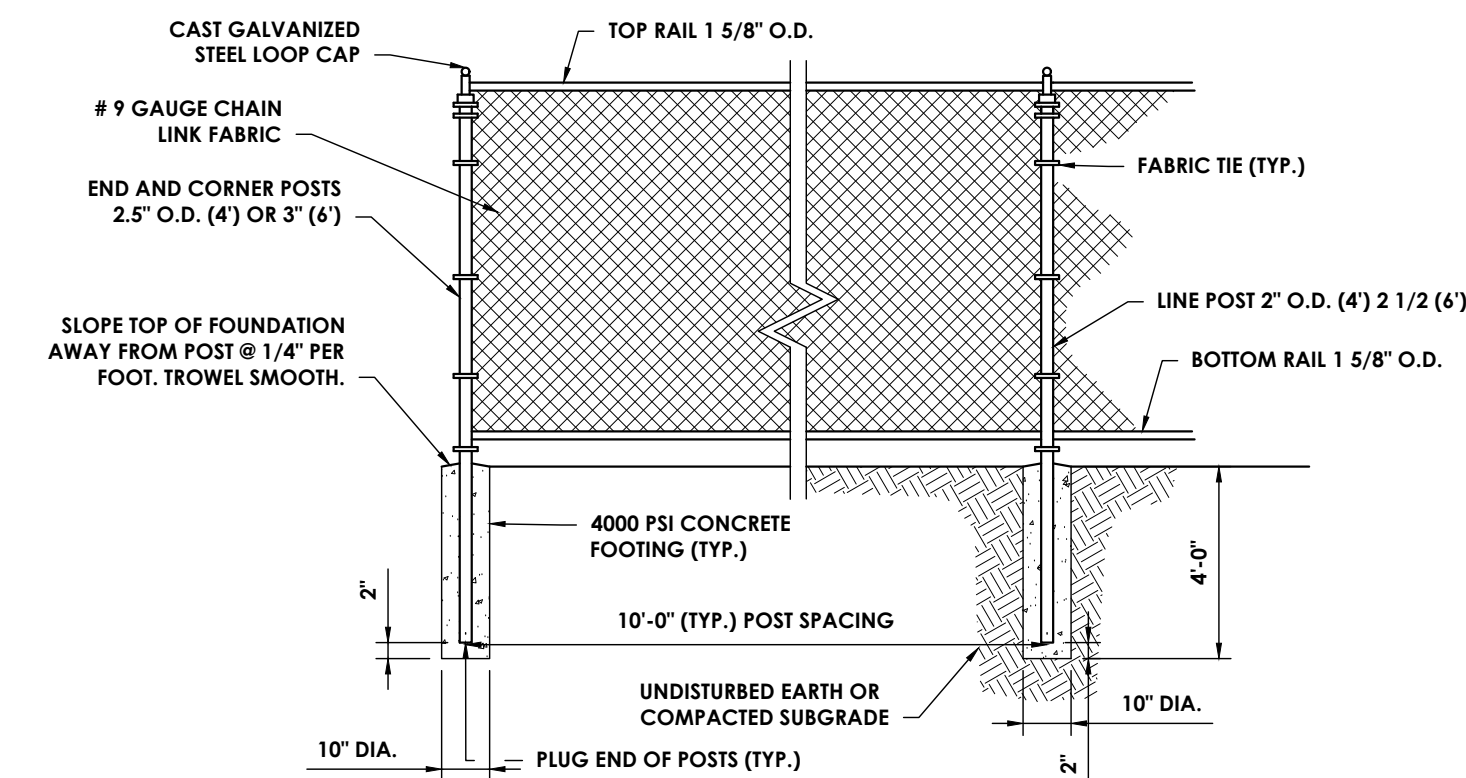
**1 HEAVY DUTY ASPHALT PAVEMENT SECTION**  
N.T.S.



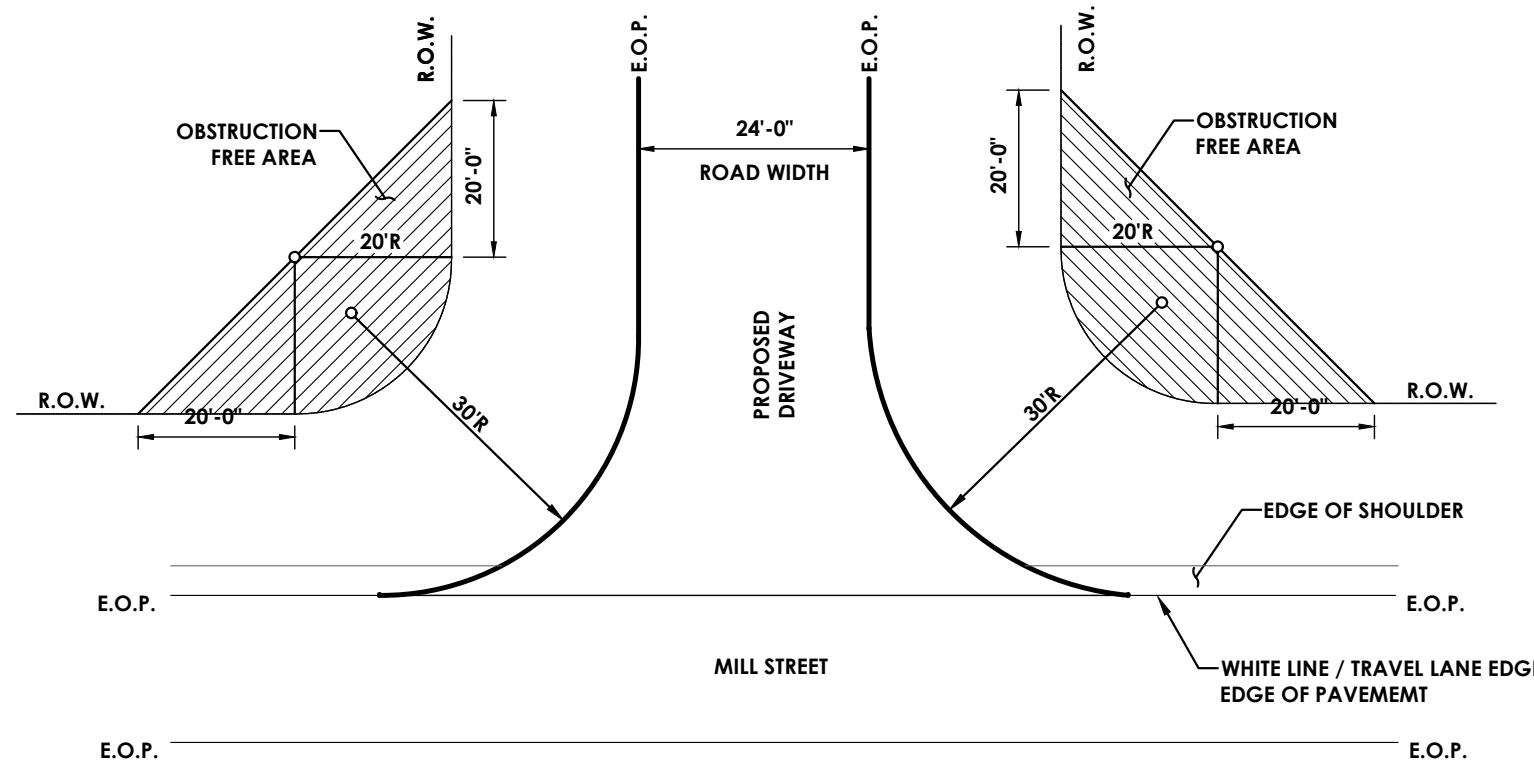
**NOTES:**

- PAVEMENT COURSES TO MATCH EXISTING IN DEPTH FOR WIDTH OF SHEAR STEP AND SHALL TRANSITION TO THE APPROPRIATE ASPHALT COURSE DEPTHS AND TYPES AS SPECIFIED.
- EXISTING PAVEMENT SHALL BE SAW CUT TO OBTAIN A STRAIGHT AND NEAT EDGE FOR PAVING. FINAL SAW CUT SHALL BE MADE PRIOR TO PAVING AND AFTER SUBBASE STONE IS PLACED.

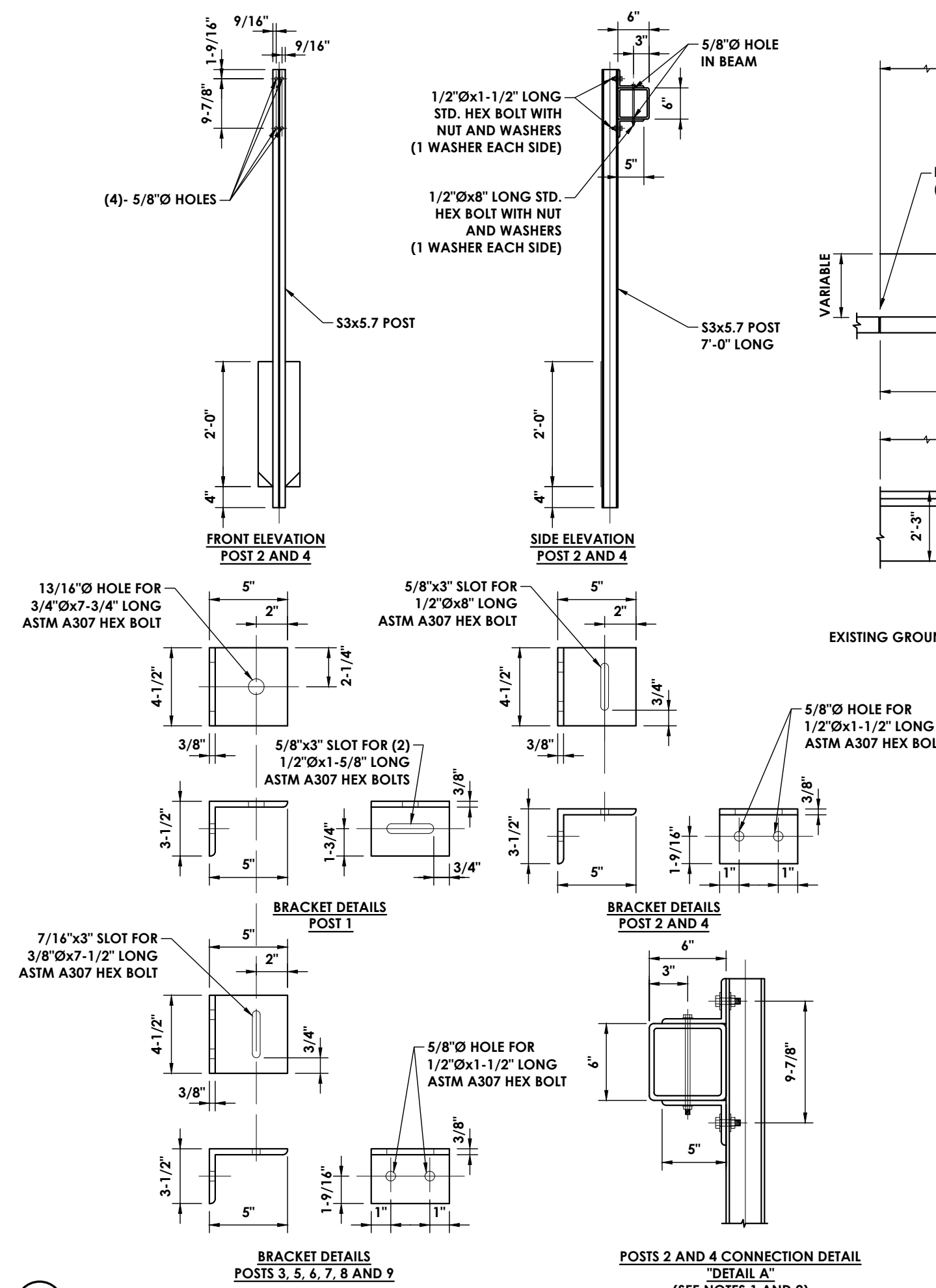
**2 HEAVY DUTY PAVEMENT JOINT**  
N.T.S.



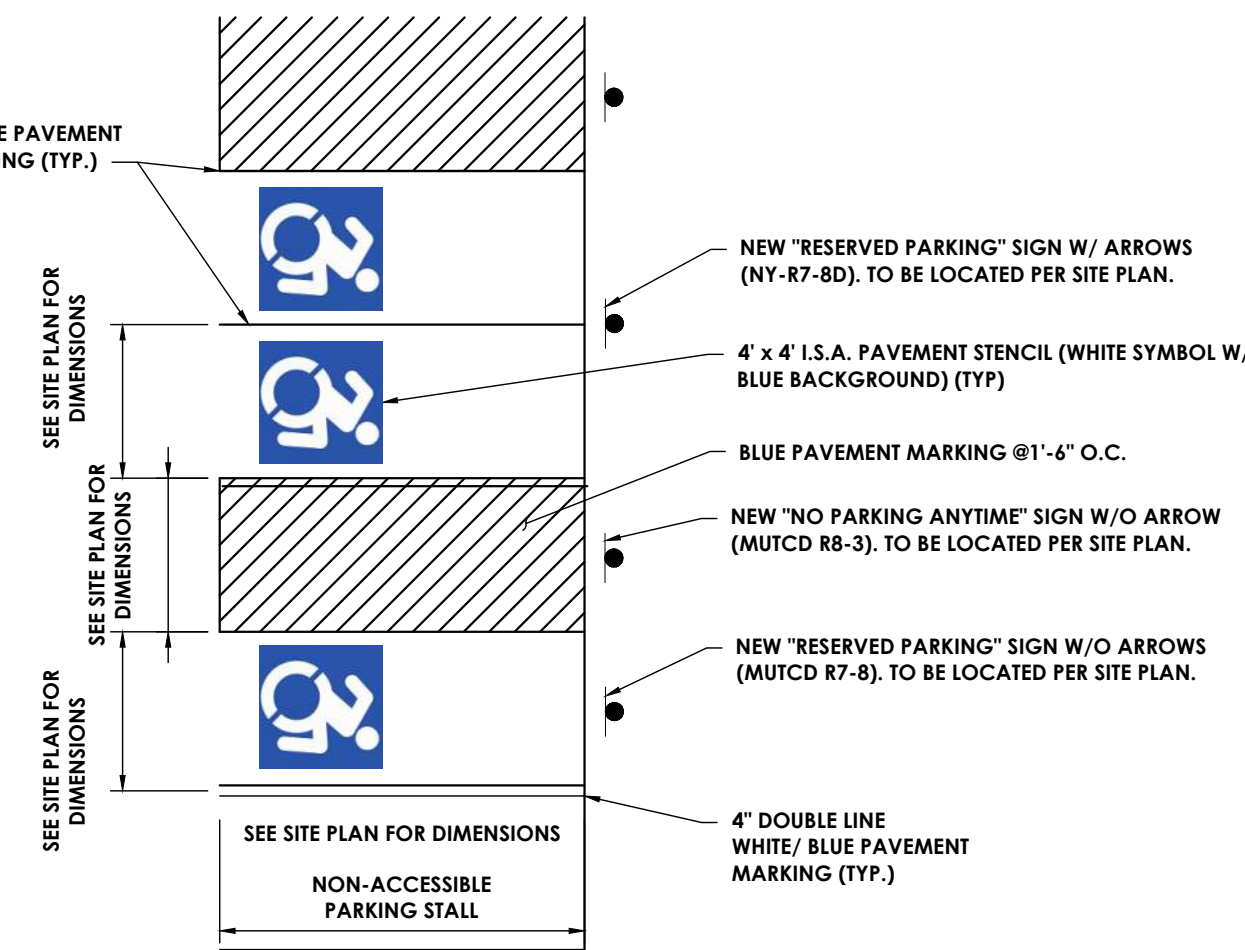
**4' CHAIN LINK FENCE**  
N.T.S.



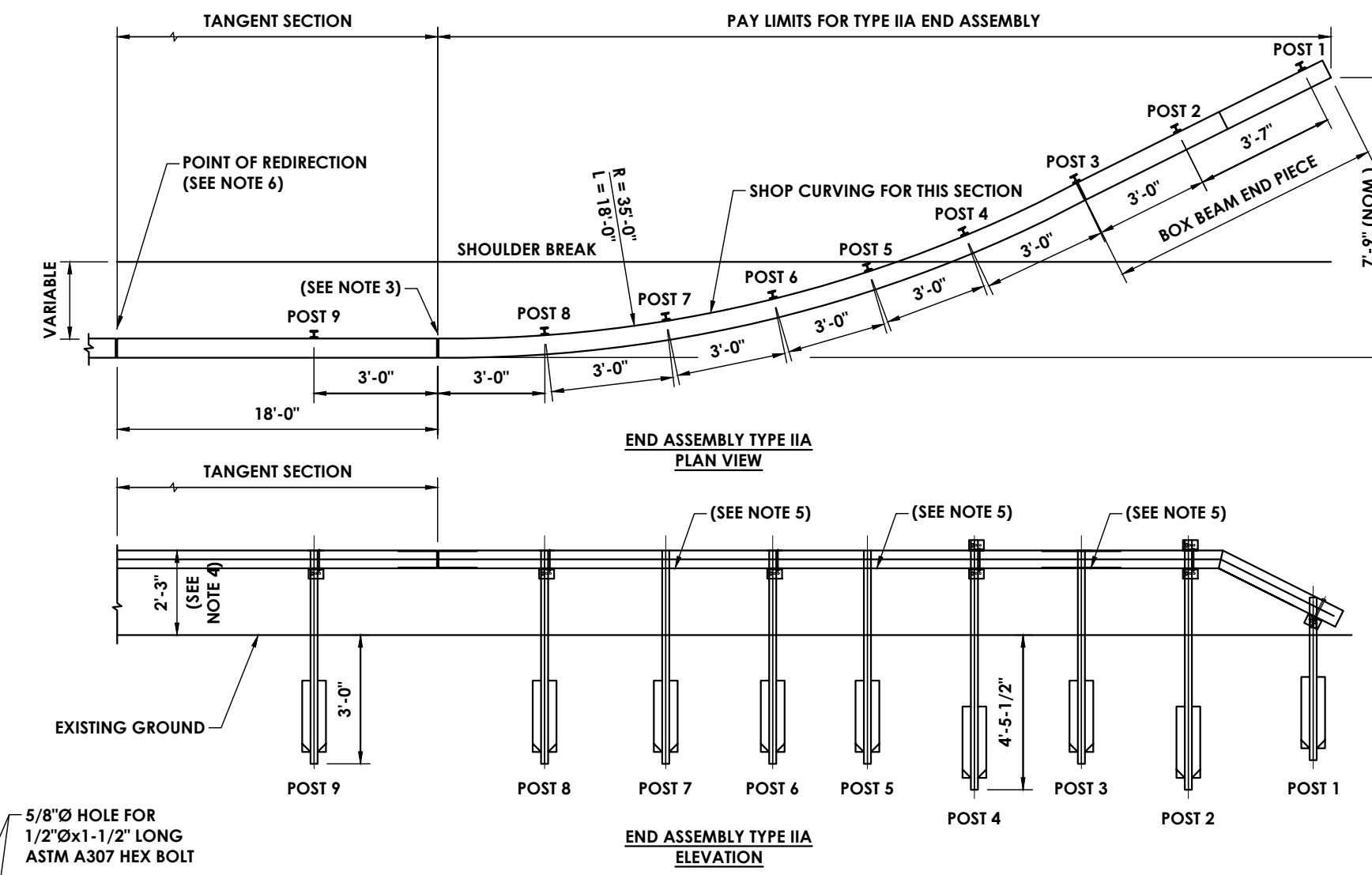
**5 DRIVEWAY ENTRANCE DETAIL**  
N.T.S.



**3 BOX BEAM GUIDE RAIL**  
N.T.S.

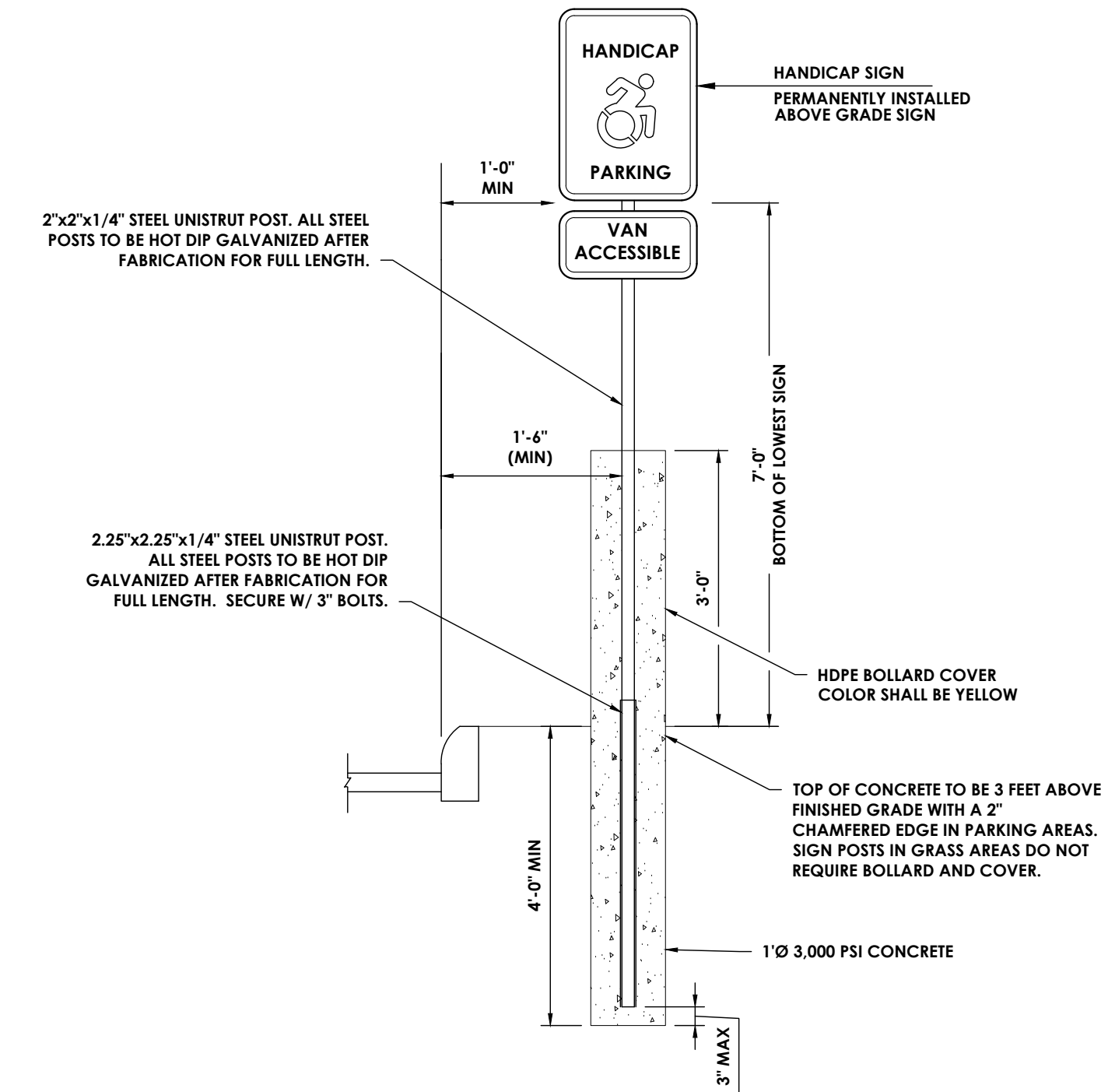


**6 TYPICAL ACCESSIBLE PARKING STRIPING**  
N.T.S.



**TYPE IIA NOTES:**

- POSTS 2 AND 4 SHALL BE EXTRA LONG POSTS. POSTS 3, 5, 6, 7, 8, AND 9 SHALL BE STANDARD LENGTH.
- POSTS 2 AND 4 SHALL BE FASTENED TO THE RAIL USING DETAIL "A".
- FOR SIDE SLOPES 1:5 OF FLATTER, THE 18' OF CURVED BOX BEAM MAY BE PROVIDED IN A CURVED POSITION OF A 24' OR 36' PIECE. OTHERWISE, AN 18' SECTION IS TO BE SIZED AT THE POINT OF TANGENCY.
- THE DRAWING INDICATED THE TERMINAL INSTALLED ON LEVEL GROUND. WHEN INSTALLED OVER A SLOPE OR DITCH, THE TERMINAL END SHOULD BE PUSHED DOWN WITH THE EQUIVALENT OF APPROXIMATELY 100 LBS EFFORT TO DEPRESS THE TERMINAL DOWN.
- POSTS 3, 5, AND 7 SHALL NOT BE CONNECTED TO BOX BEAM GUIDE RAIL. HOWEVER, FOR RUNS LESS THAN 130' IN LENGTH, ALL BACKUP POSTS SHALL BE FASTENED TO THE RAIL.
- FOR DESIGN SPEEDS UNDER 50 MPH THE POINT OF REDIRECTION WILL BE AT THE POINT OF TANGENCY.



**7 TYPICAL ADA PARKING SIGN & POST**  
N.T.S.



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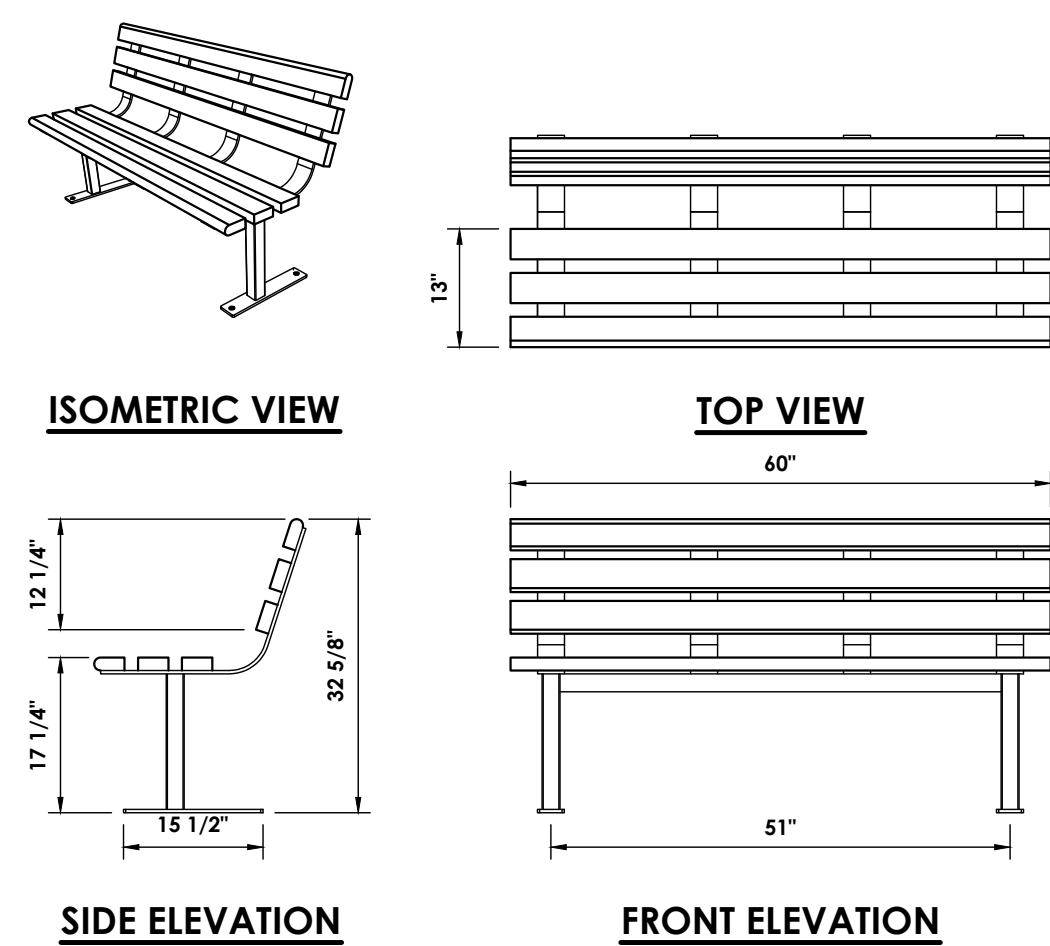
PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that I am the author of the design and drawings hereon, and that I am a duly licensed professional engineer in the State of New York, and that I am duly qualified to perform the services hereon, and that I am duly qualified to perform the services hereon, and that I am duly qualified to perform the services hereon.

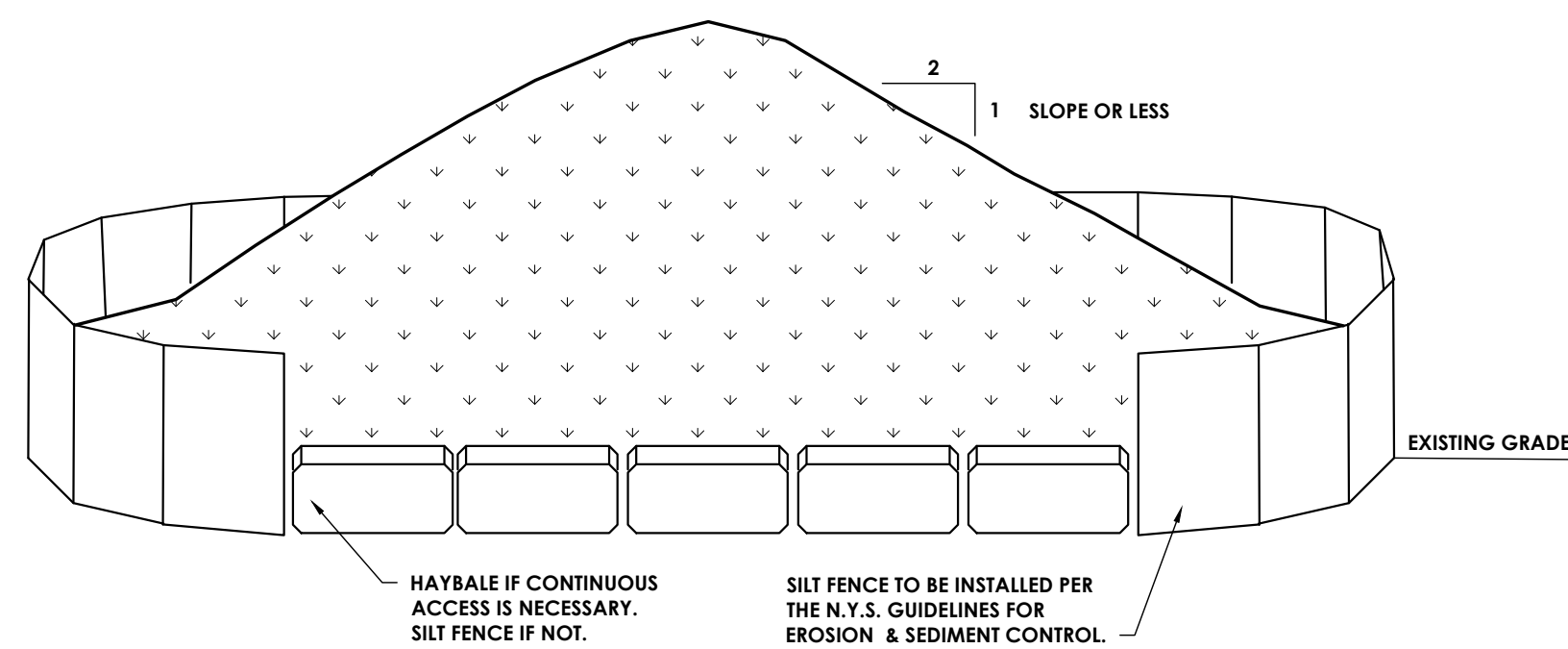
**SHEET INFORMATION**  
Issued: APRIL 2024  
Scale: C304  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: DETAILS - 5

Drawing Number: KMS  
Revision Number: C304



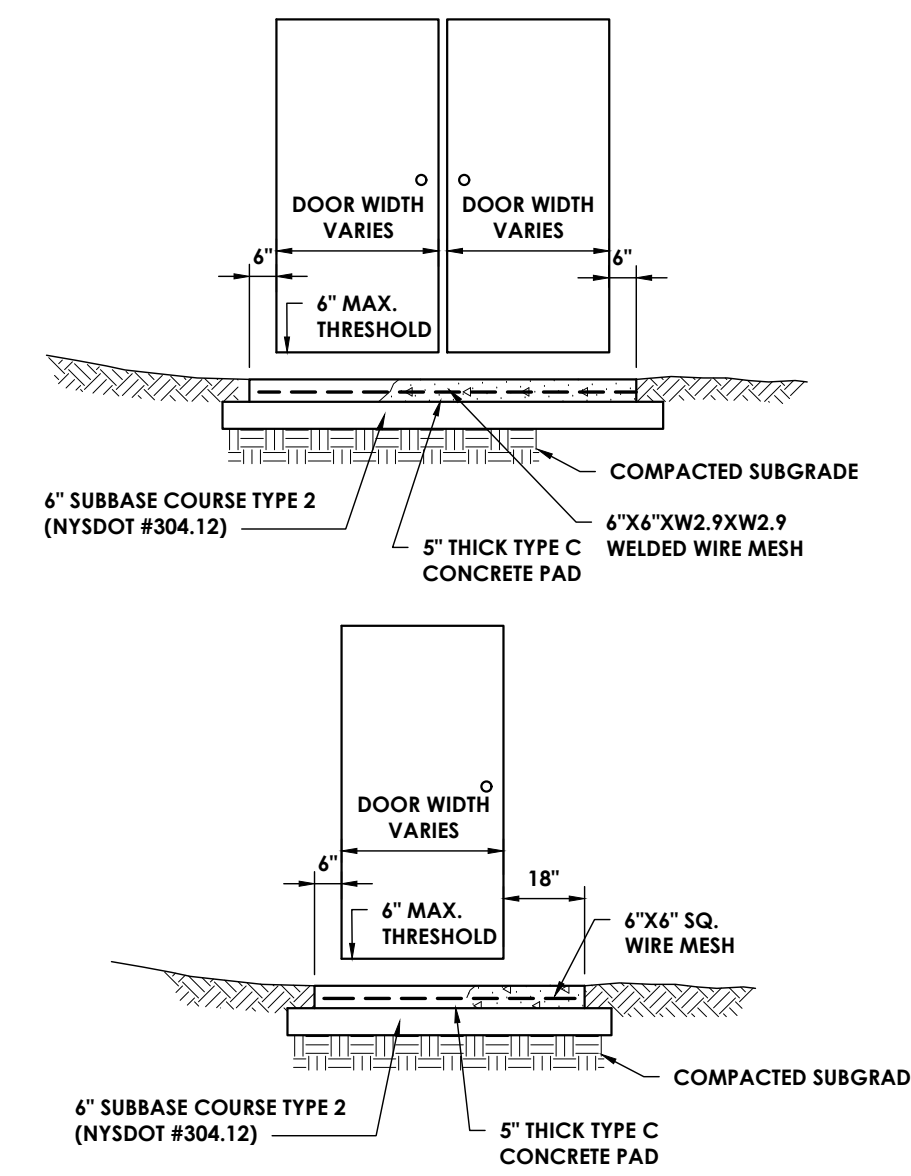
- NOTES:**
1. PROVIDE STANDARD PARK BENCH 5 FT (PB-5) AS MANUFACTURED BY WISHBONE SITE FURNISHINGS OR APPROVED EQUAL.
  2. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.
  3. BENCH TO BE SURFACE MOUNTED TO CONCRETE PAD.
  4. COLORS TO BE SELECTED BY OWNER.

**1 PARK BENCH**  
N.T.S.



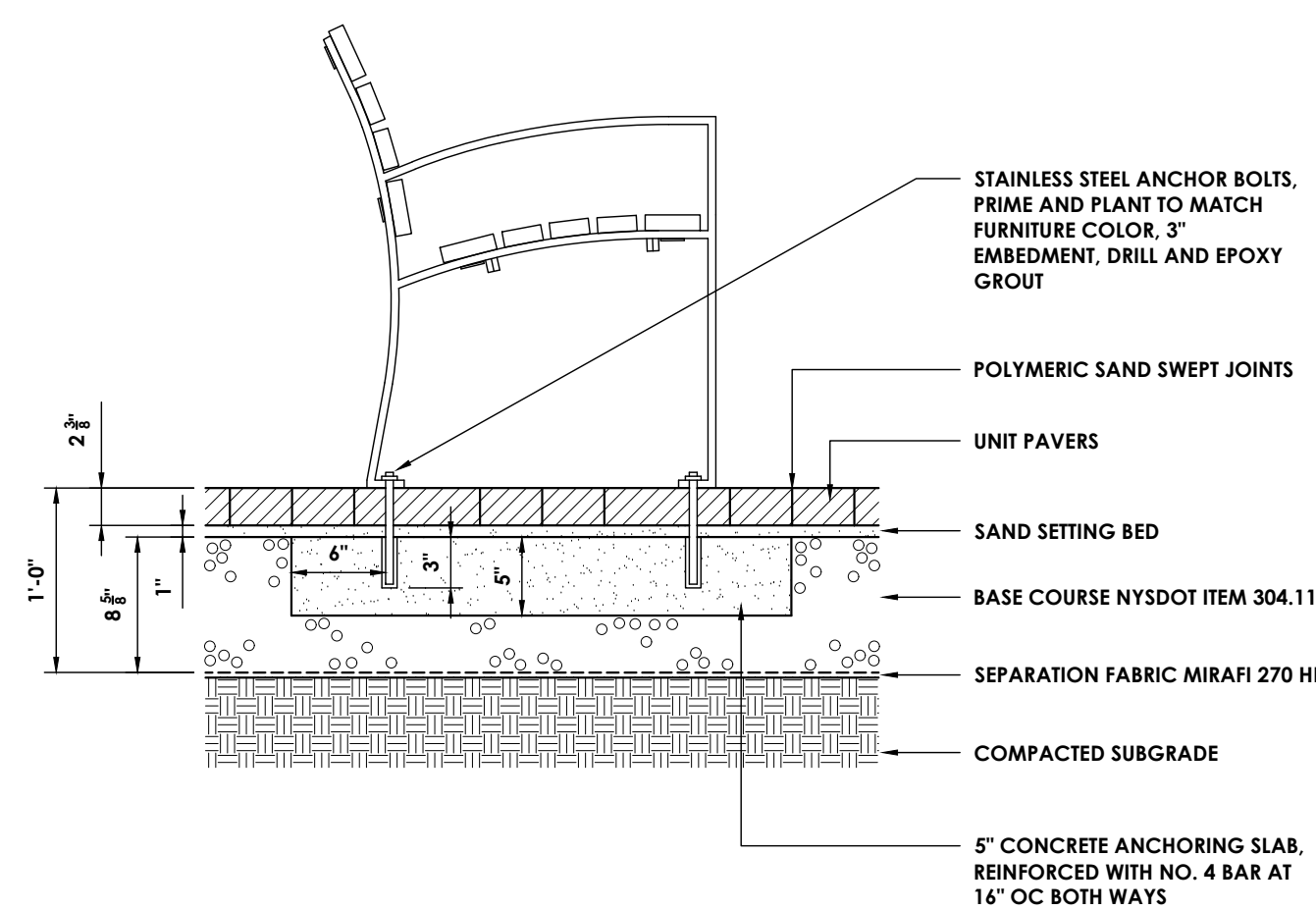
- NOTES:**
1. AREA CHOSEN FOR STOCKPILING SHALL BE DRY AND STABLE.
  2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
  3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR HAY BALES AND STABILIZED SEED AND MULCH OR JUTE MESH.
  4. SEE SPECIFICATIONS FOR INSTALLATION OF SILT FENCE AND HAY BALES.
  5. SIZE OF STOCKPILE SHALL NOT EXCEED THE LIMITATIONS OF DRAINAGE AREA PER SILT FENCE SPECIFICATIONS.
  6. INSTALL SILT FENCE AND OR HAY BALES A MINIMUM OF 10' FROM THE TOE OF THE STOCKPILE.

**2 SOIL STOCKPILE STABILIZATION DETAIL**  
N.T.S.



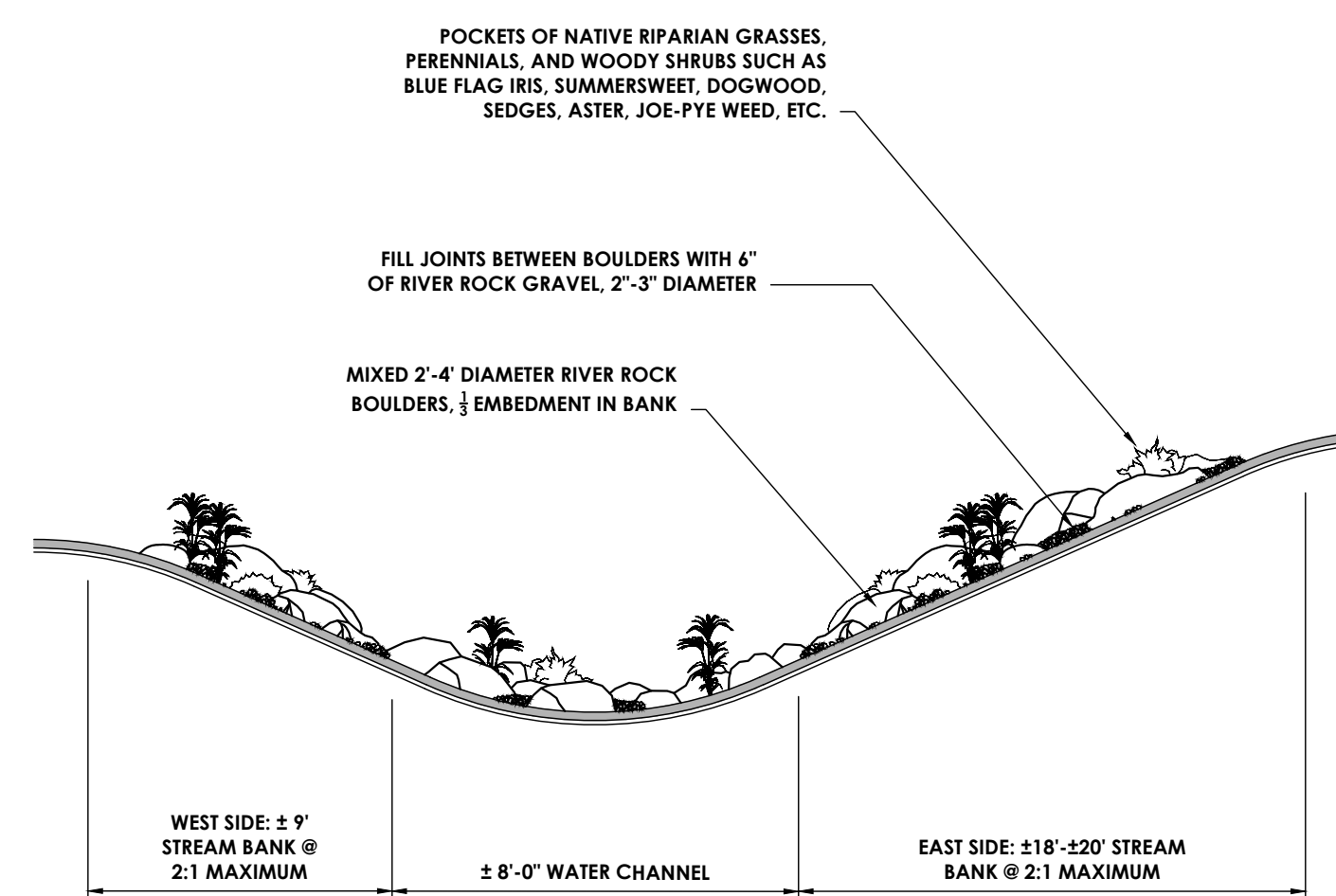
- NOTES:**
1. CONCRETE SLAB SHALL PROJECT 5'-0" OUT FROM BUILDING FACE.
  2. MIN. 1% SLOPE DOWN AWAY FROM BUILDING.

**3 CONCRETE PAD AT DOOR**  
N.T.S.



NOTE: WHERE UNIT PAVERS ABUT AREAS OF SOIL OR OTHER LOOSE GRANULAR MATERIAL PROVIDE EDGE RESTRAINT UNIT PAVES EDGE RESTRAINT DETAIL.

**4 FURNITURE ANCHOR - UNIT PAVERS**  
N.T.S.



**5 STREAM SECTION**  
N.T.S.



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Poughkeepsie, NY 12601  
CPLearn.com  
NY ENGINEERING FIRM CERTIFICATE #018330



**PROJECT INFORMATION**

Project Number  
R23.01044.00

Client Name  
**KEARNEY REALTY & DEVELOPMENT GROUP**  
Project Name  
**MILL STREET LOFTS**

Project Address  
MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON PB
2	05/28/2024	REVISIONS PER PB REVIEW LETTER 5/13/2024

PROFESSIONAL STAMPS

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NEW YORK STATE EDUCATION STATEMENT  
I, THE ARCHITECT, ENGINEER, PLANNING ARCHITECT AND THE COMMISSIONER'S REGULATOR OF ANY PROFESSION, HAVE REVIEWED THE DRAWING AND I HEREBY CERTIFY THAT I AM A LICENSED PROFESSIONAL IN THE STATE OF NEW YORK AND I AM BEARING THE SEAL OF AN ARCHITECT, ENGINEER OR SURVEYOR AS APPLICABLE. I HAVE PREPARED THIS DRAWING OR I HAVE REVIEWED IT AND I HAVE SIGNED AND DATED THIS DRAWING AND THE DATE OF SUCH SIGNATURE AND A SPECIFIC DESCRIPTION OF THE ARCHITECTURE.

**SHEET INFORMATION**

Issued  
APRIL 2024

Scale  
AS NOTED

Project Status  
PLANNING BOARD SUBMISSION

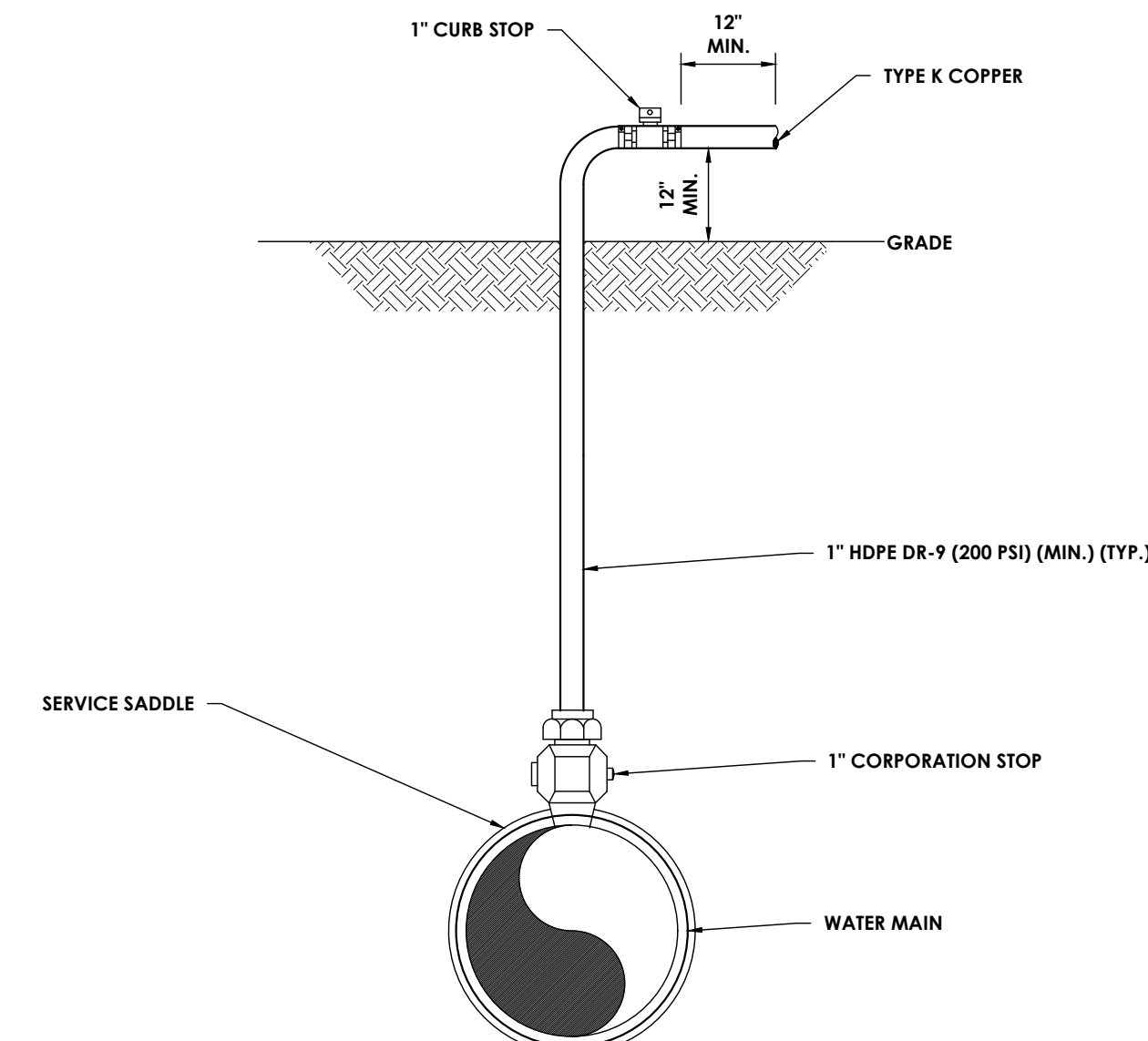
Drawn By  
BGR

Checked By  
ALL

Drawing Title  
DETAILS - 6

Drawing Number  
**KMS  
C305**

Revision Number

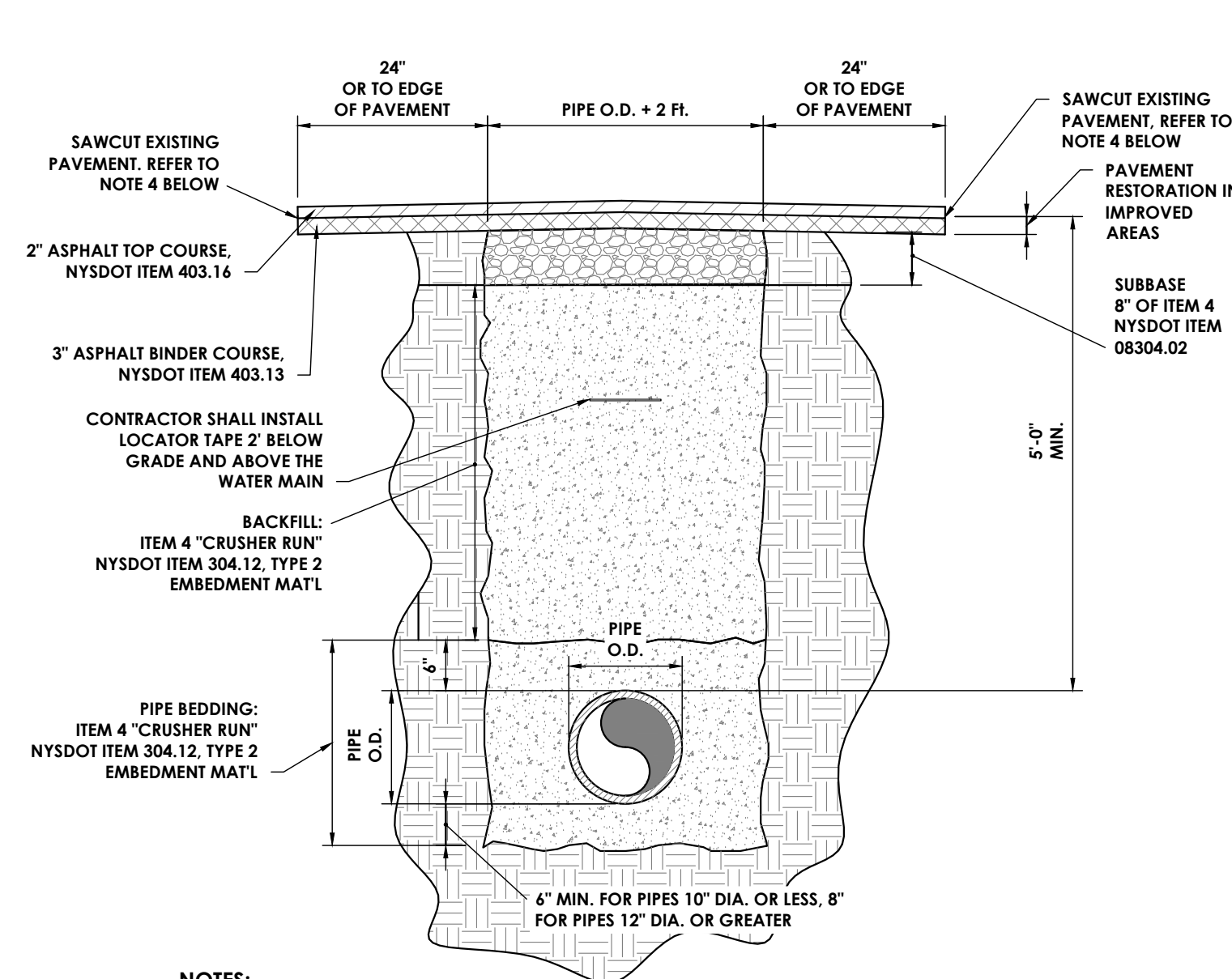


- NOTES:**
1. STAINLESS STEEL INSERTS SHALL BE USED AT ALL HDPE CONNECTIONS.
  2. SADDLE AND CORPORATION STOP SHALL BE PLACED AT 22-1/2 DEGREES FROM HORIZONTAL IF IT WILL BE USED AS A SERVICE LOCATION.
  3. IMMEDIATELY PRIOR TO THE WATER DEPARTMENT PLACING THE WATER MAIN IN SERVICE, CONTRACTOR SHALL REMOVE ALL COMPONENTS ASSOCIATED WITH TEMPORARY FACILITIES (i.e. SAMPLING TAPS, ETC.). THE CORPORATION STOP SHALL BE PLACED IN THE CLOSED POSITION AND THE QUICK CONNECT COUPLING PLUGGED IF THE LOCATOR IS NOT USED AS A WATER SERVICE.
  4. THE WATER MAIN SHALL BE DISINFECTED EQUAL TO AWWA STANDARD FOR DISINFECTING WATER MAINS DESIGNATION C651. FOLLOWING DISINFECTION, THE WATER MAIN SHALL BE FLUSHED UNTIL THE CHLORINE CONCENTRATION IN THE WATER LEAVING THE MAIN IS NO HIGHER THAN THAT GENERALLY PREVAILING IN THE SYSTEM. THE SAMPLING POINT(S) MUST BE DECONTAMINATED BY FLAMING.
  5. FIRE HYDRANTS ARE NOT ACCEPTABLE SAMPLING POINTS.
  6. ALL WATER MAIN FITTINGS NOT RECEIVING 24-HOUR CHLORINATION DISINFECTION CONTACT TIME MUST BE SWAB DISINFECTED 30 MINUTES PRIOR TO INSTALLATION.
  7. THE WATER MAIN SHALL NOT BE PLACED INTO SERVICE UNTIL SO AUTHORIZED BY THE DEPARTMENT OF HEALTH.

**TEMPORARY DISINFECTION/BLOW-OFF/SAMPLING**

**1 TAP WITH SERVICE SADDLE**

N.T.S.

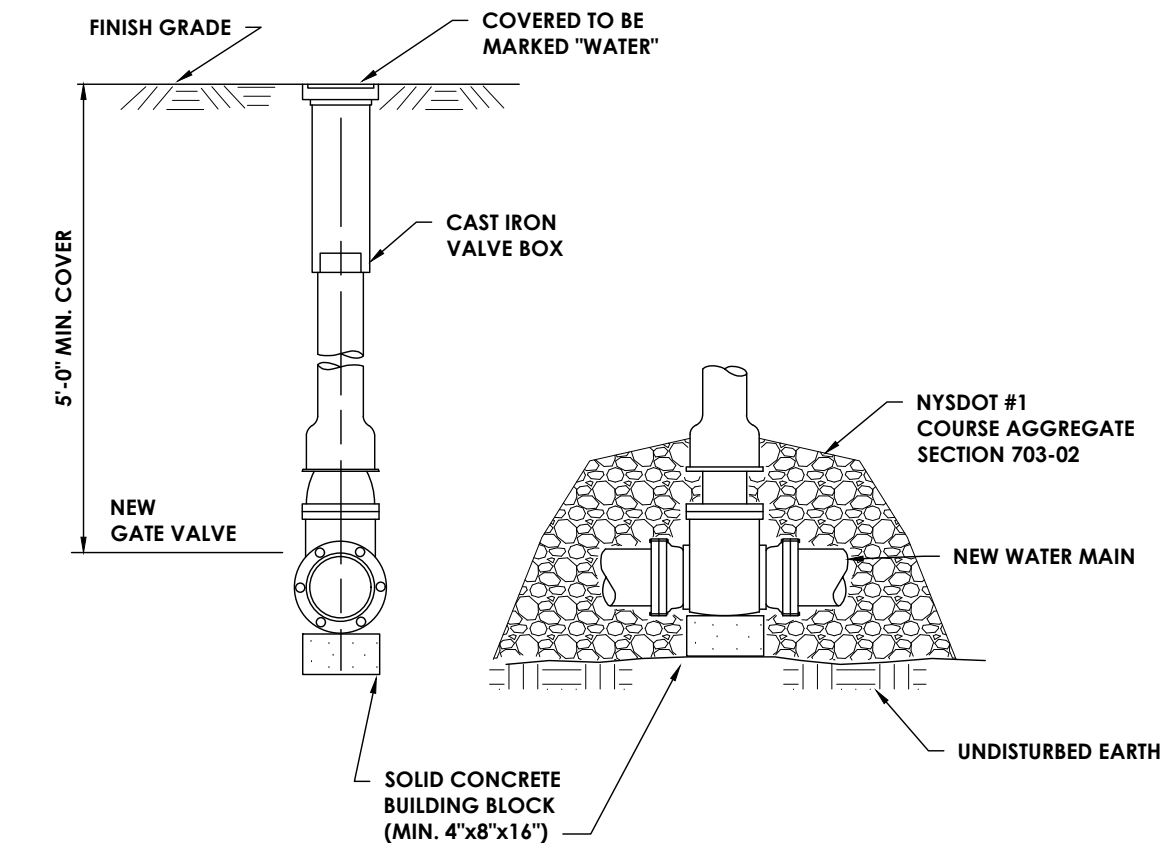


- NOTES:**
1. THIS APPLIES TO ALL WORK UNDER TOWN ROADS AND EXCAVATIONS WHEN THE EDGE OF TRENCHING IS LESS THAN 5' FROM THE EDGE OF PAVEMENT ON ANY TOWN ROAD.
  2. AREAS OUTSIDE OF THE EXISTING PAVED ROAD BUT WITHIN 12' OF THE TOWN ROAD SHALL BE RESTORED WITH A 4\"/>

**2 APPLIES TO CITY ROADWAYS OUTSIDE OF DOT RIGHT OF WAY ONLY**

**2 TYPICAL CITY ROAD TRENCH DETAIL**

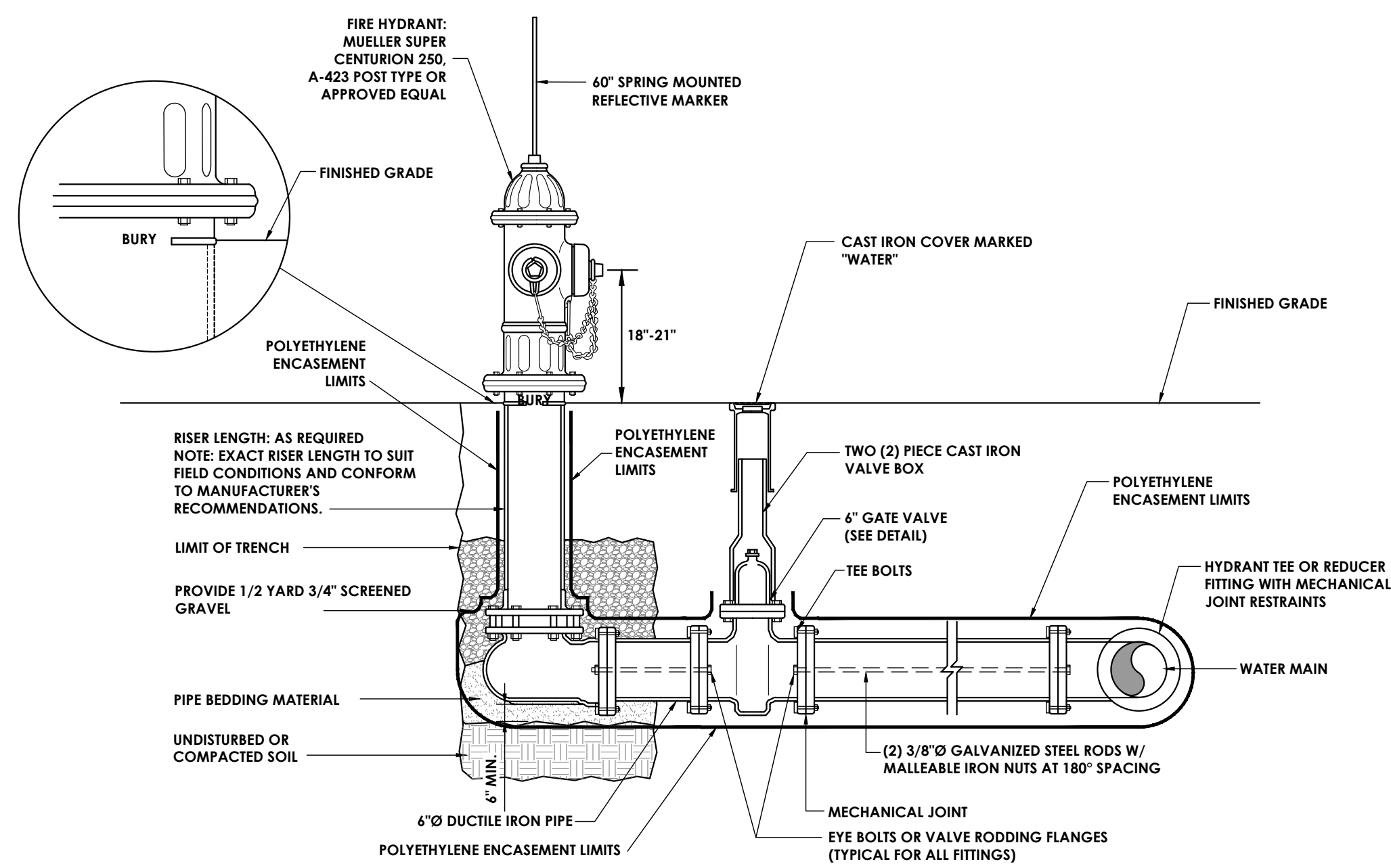
N.T.S.



- NOTES:**
1. VALVE BOX SHALL BE CENTERED ON VALVE AND SET ON COMPACTED FILL.
  2. VALVE SHALL NOT SUPPORT VALVE BOX.
  3. ALL BODY AND BONNET BOLTS SHALL BE STAINLESS STEEL.
  4. ALL VALVES SHALL BE OPEN LEFT.
  5. FOR HDPE PIPE INSTALLATIONS SEE DETAIL \"PIPE TRANSITION DETAIL WITH MECHANICAL JOINT ADAPTOR CONNECTION\".
  6. POLY WRAP PIPES.

**3 WATER MAIN GATE VALVE**

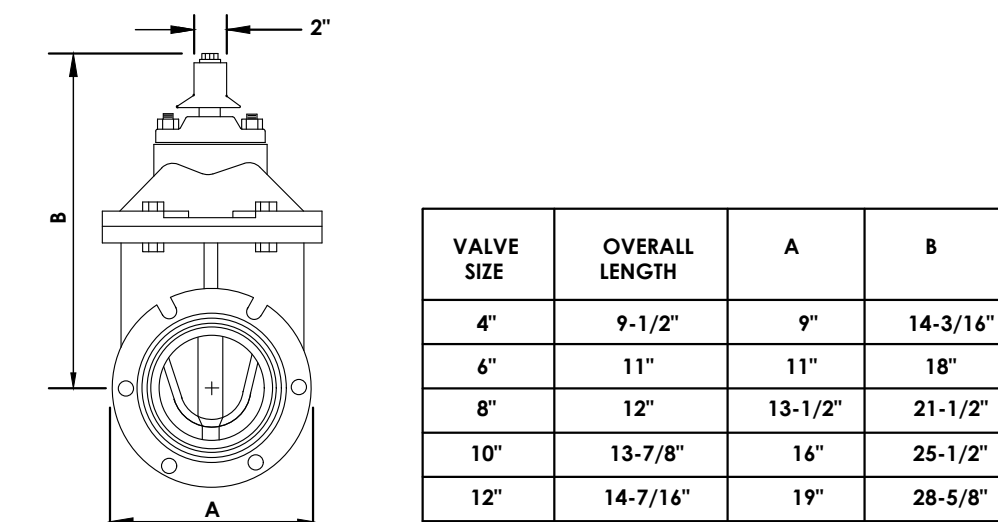
N.T.S.



- HYDRANT NOTES:**
1. HYDRANT SHALL BE LOCATED 4'-0\"/>

**4 TYPICAL HYDRANT & VALVE ASSEMBLY SETTING DETAIL**

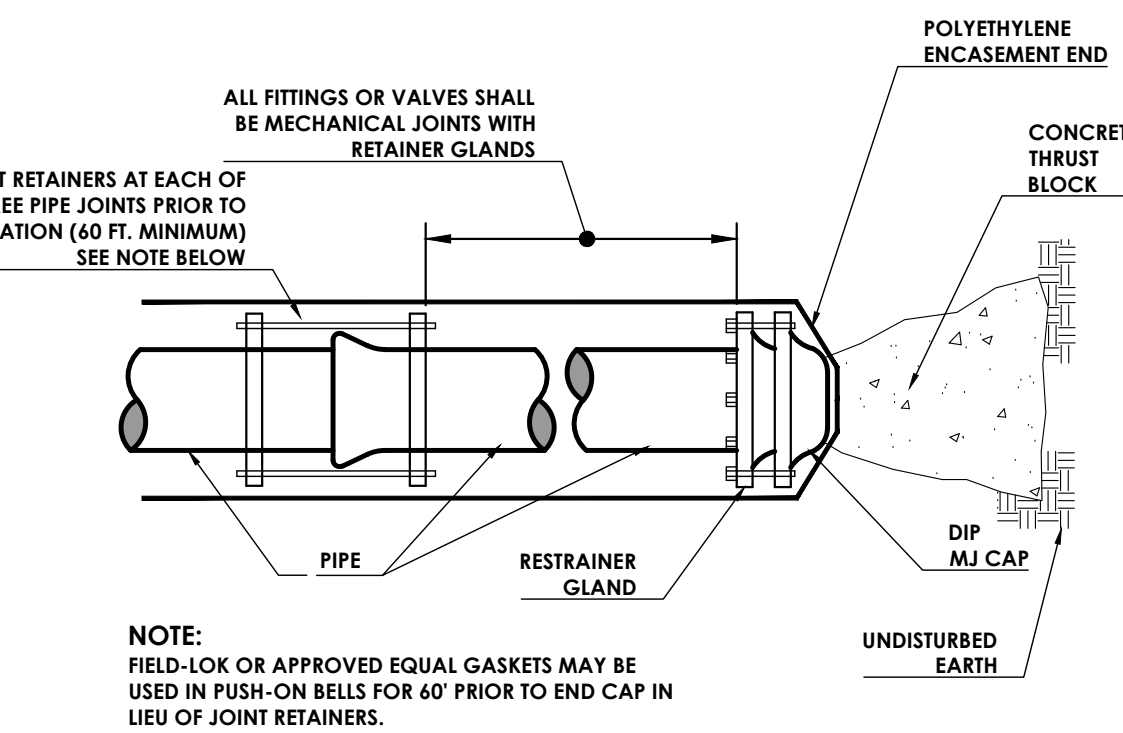
N.T.S.



- ALL GATE VALVES SHALL BE:
1. MECHANICAL JOINT
  2. LEFT TURN OPENING
  3. WATER WORKING PRESSURE - 250 psi

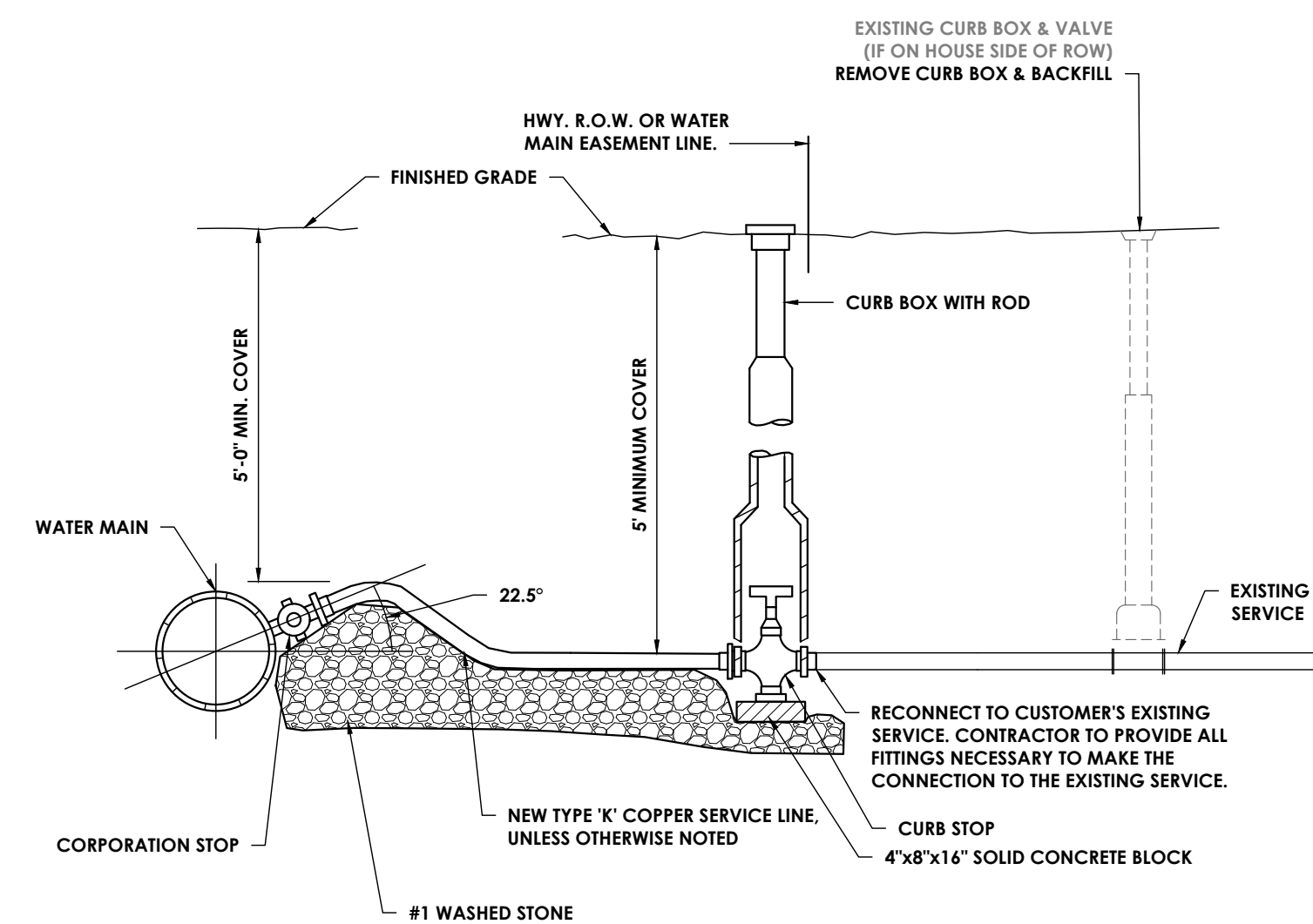
**5 TYP. RESILIENT WEDGE GATE VALVE**

N.T.S.



**6 PIPE CUT & CAP DETAIL**

N.T.S.



- NOTES:**
1. FOR SERVICES 1 1/2\"/>

**7 TYPICAL WATER SERVICE**

N.T.S.



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Poughkeepsie, NY 12601  
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NY ENGINEERING FIRM CERTIFICATE #018330



**PROJECT INFORMATION**

Project Number  
R23.01044.00

Client Name  
**KEARNEY REALTY & DEVELOPMENT GROUP**  
Project Name  
**MILL STREET LOFTS**

Project Address  
MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON FIB
2	05/28/2024	REVISIONS PER FIB REVIEW LETTER 5/13/2024

**PROFESSIONAL STAMPS**

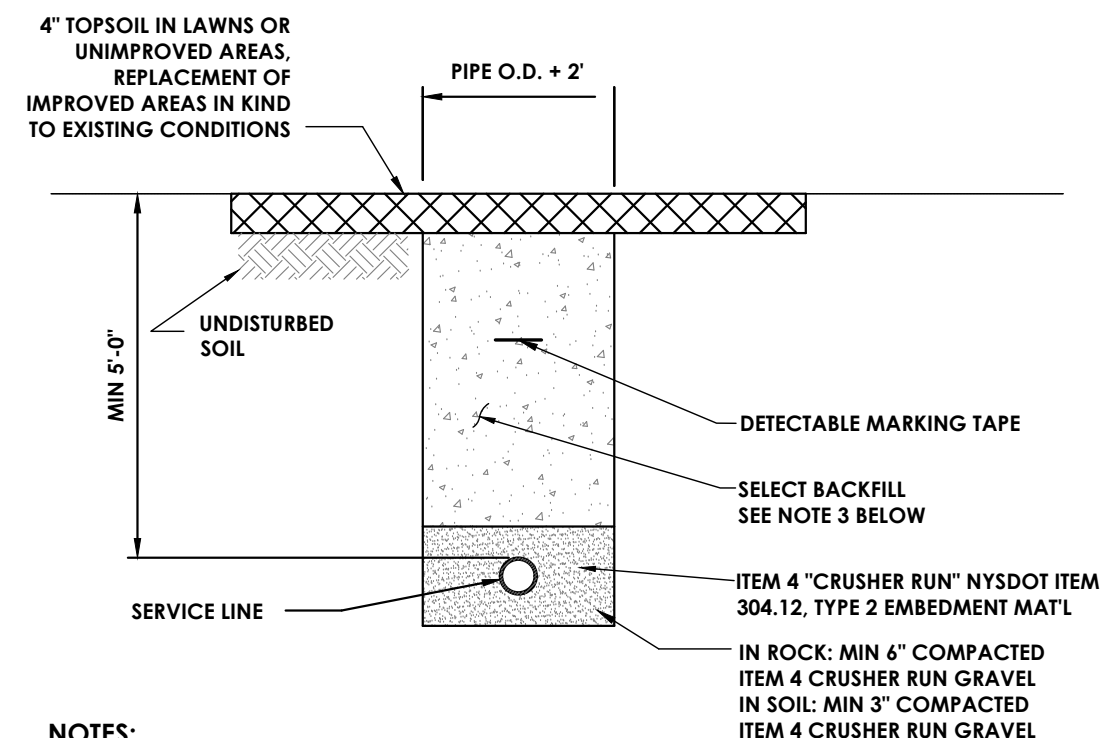
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CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that the above is a true and correct copy of the original design and specifications for the project described herein, and that I am a duly licensed professional engineer in the State of New York.

**SHEET INFORMATION**

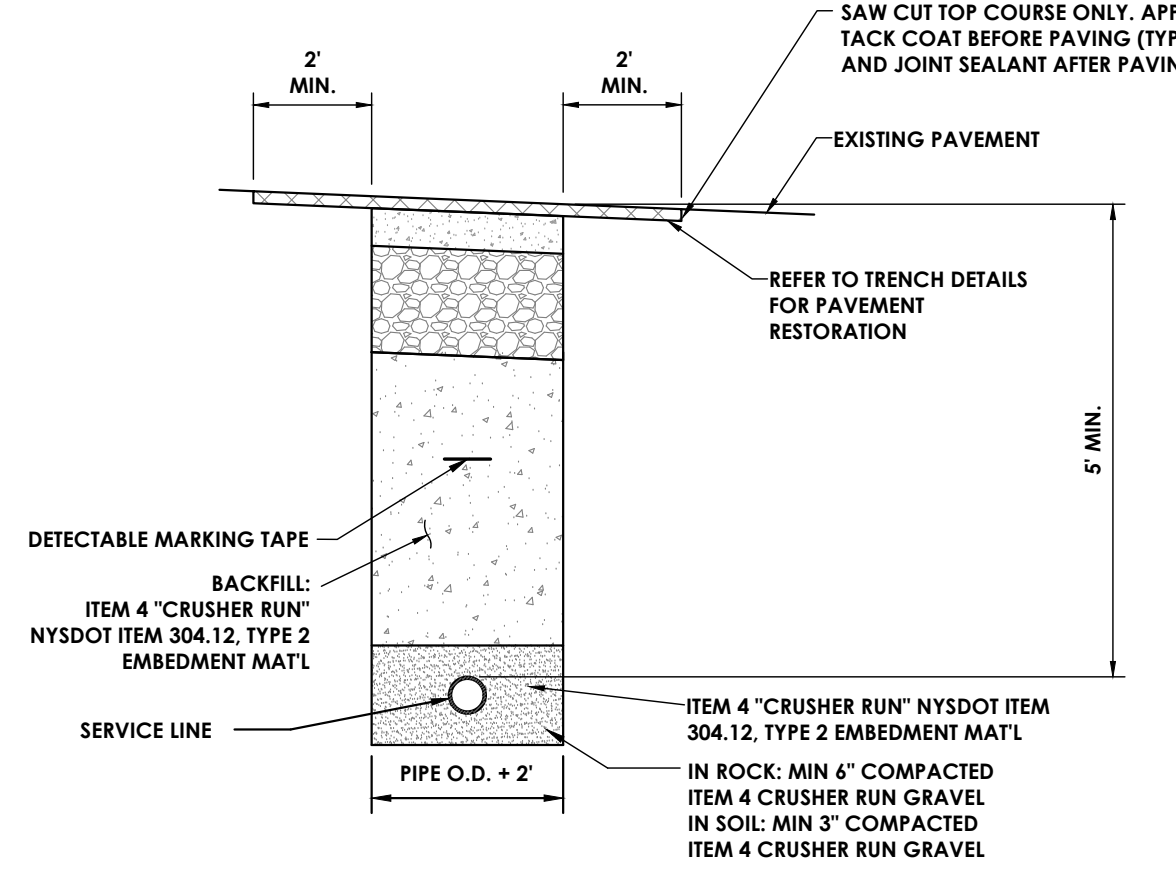
Issued: APRIL 2024  
Scale: AS NOTED  
Project Status: PLANNING BOARD SUBMISSION  
Drawn By: BGR  
Checked By: ALL  
Drawing Title: DETAILS - 7

Drawing Number: KMS  
Revision Number: C306



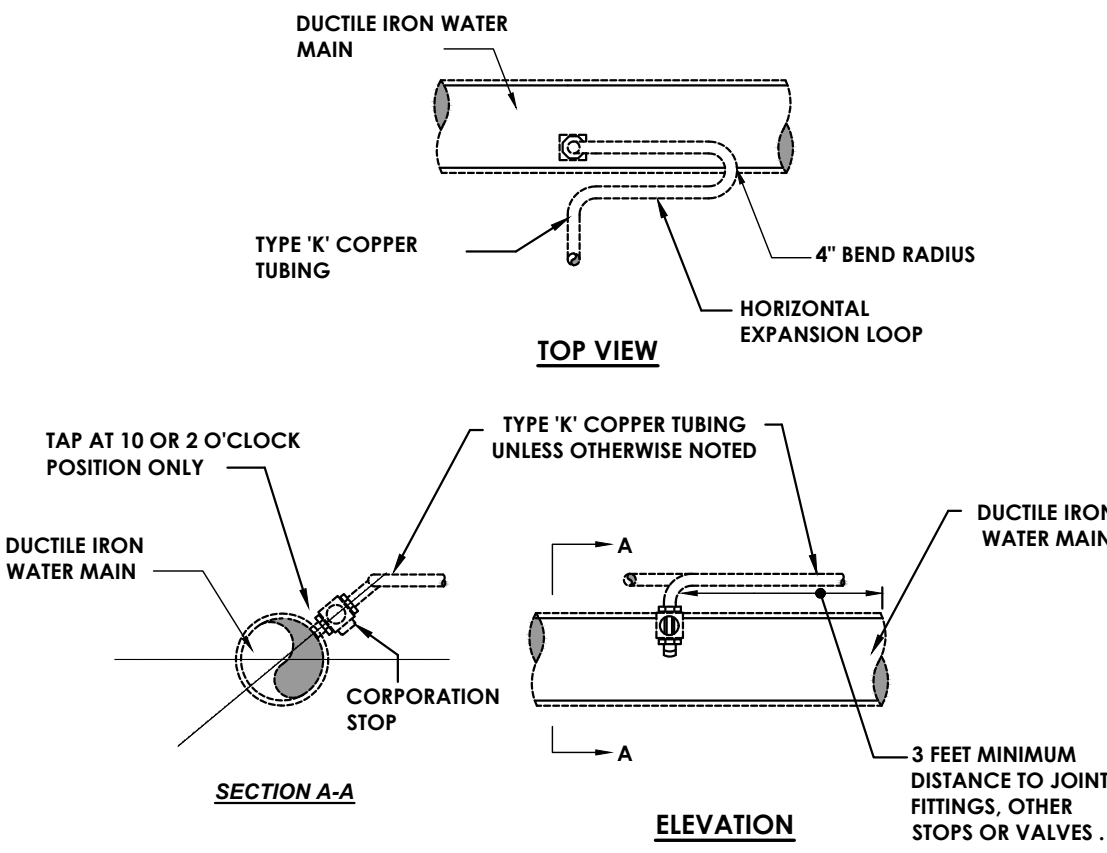
- NOTES:**
1. THIS APPLIES TO ALL WORK ALONG ROADS AND EXCAVATIONS WHEN THE EDGE OF TRENCHING IS GREATER THEN 6 FEET FROM THE EDGE OF STATE ROAD OR GREATER THAN 2 FEET FROM EDGE OF TOWN ROAD.
  2. AREAS OUTSIDE OF THE EXISTING PAVED ROAD BUT IN THE RIGHT-OF-WAY SHALL BE RESTORED WITH A 4\"/>

OFF ROAD  
**1 TYPICAL SERVICE TRENCH DETAIL**  
 N.T.S.



- NOTES:**
1. FOR ROAD CROSSINGS, SERVICES 2\"/>

PAVED  
**2 TYPICAL SERVICE TRENCH DETAIL**  
 N.T.S.



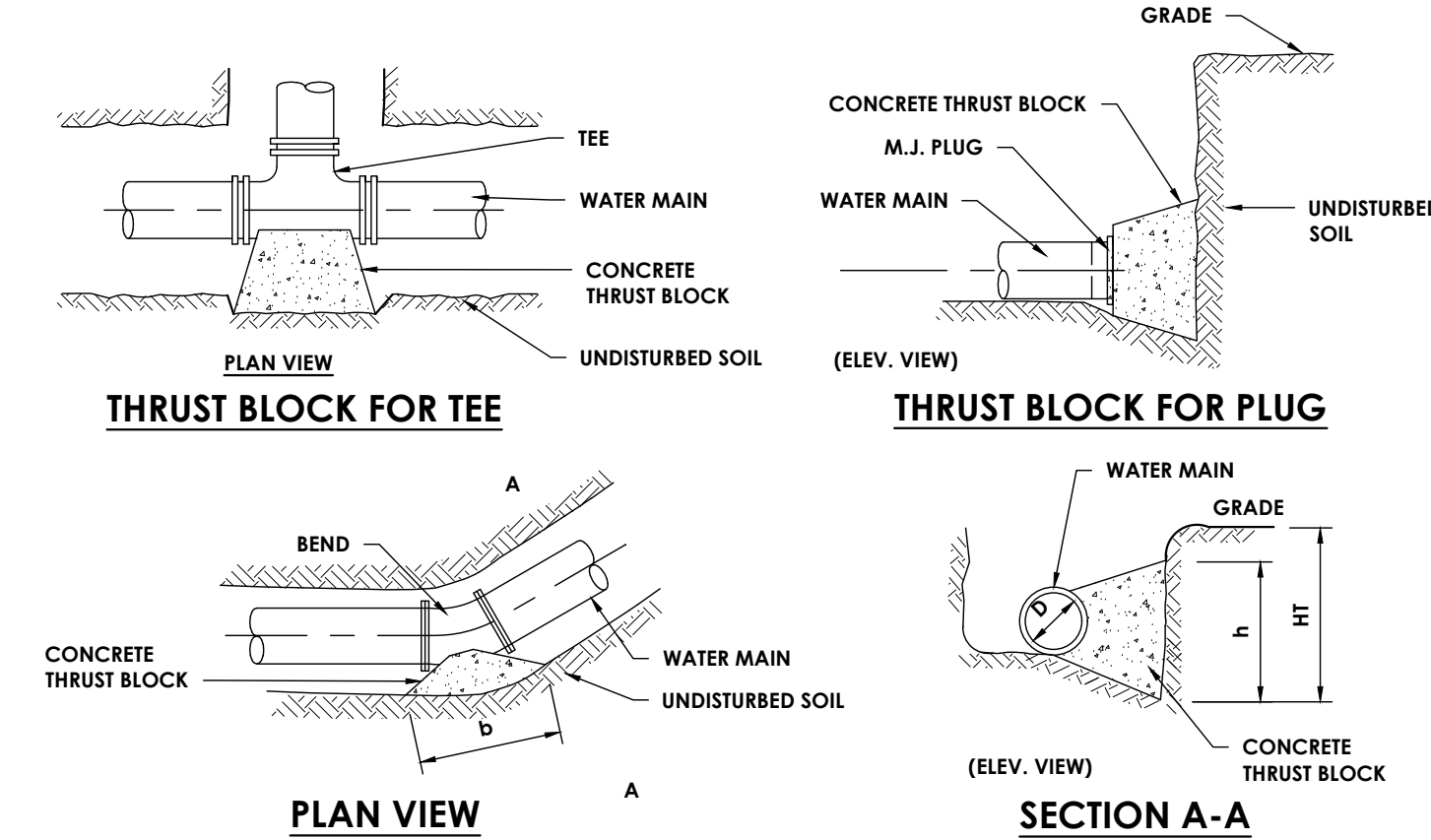
- NOTES:**
1. THE SERVICE LOCATION FOR EACH LOT SHALL BE REVIEWED AND CONFIRMED BY THE CONTRACTOR WITH EACH OWNER PRIOR TO INSTALLATION.
  2. SERVICE SADDLES ARE REQUIRED FOR SERVICE CONNECTIONS LARGER THAN 1\"/>

**3 TYPICAL WATER SERVICE CONNECTION TO WATER MAIN**  
 N.T.S.

**MINIMUM AREA OF BEARING FACE OF CONCRETE THRUST BLOCK (IN SQ. FT.) TO BE POURED AGAINST UNDISTURBED SOIL**

PIPE SIZE	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND	TEE/TS&V	PLUG
4\"/>						

- NOTES:**
1. BLOCK HEIGHT (h) SHOULD BE EQUAL TO OR LESS THAN ONE-HALF THE TOTAL DEPTH TO THE BOTTOM OF THE BLOCK, (HT), BUT NOT LESS THAN PIPE DIAMETER (D).
  2. BLOCK HEIGHT (h) SHOULD BE TWO TIMES THE BLOCK WIDTH (b).

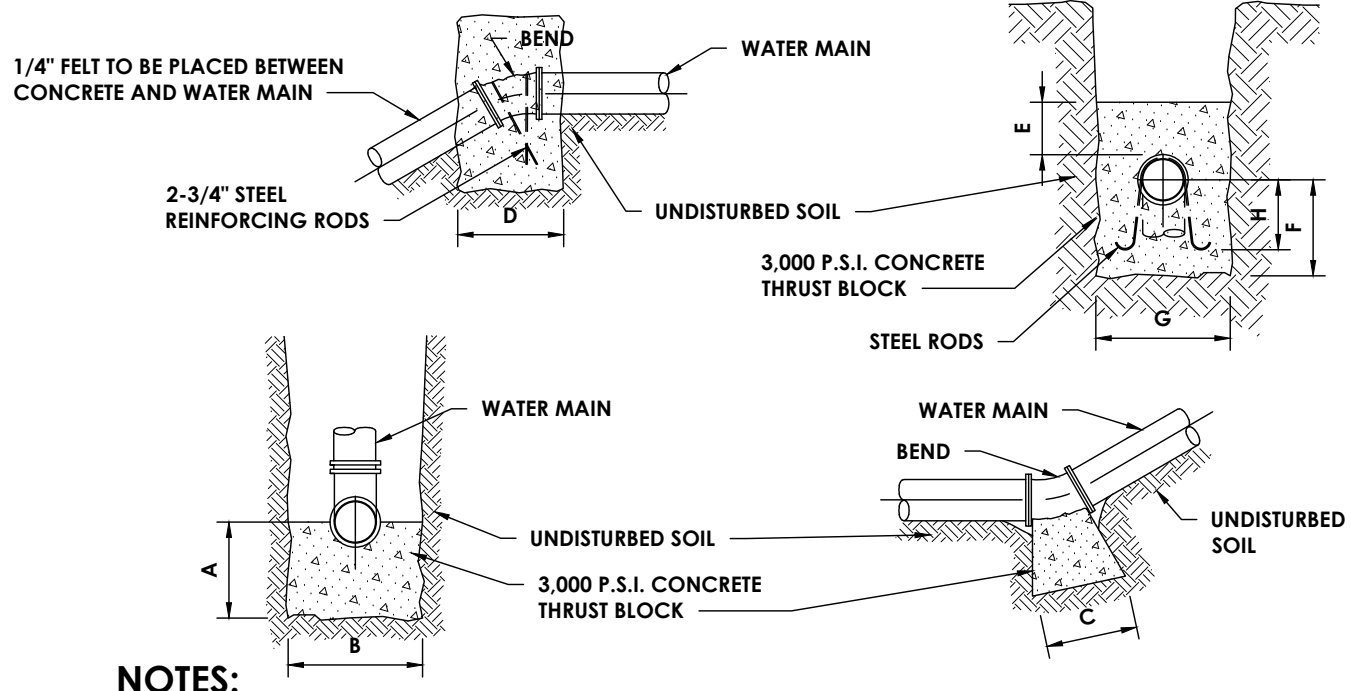


- NOTES:**
1. NO CONCRETE IS TO ENCOMPASS ANY BOLTS OR BELL ENDS WHERE POSSIBLE.
  2. THRUST BLOCKS ARE TO EXTEND TO UNDISTURBED SOIL (INCLUDING ALL FITS).
  3. MEGALUGS ARE TO BE USED IN ADDITION TO THRUST BLOCKS AT ALL FITTINGS.

**4 HORIZONTAL THRUST BLOCK**  
 N.T.S.

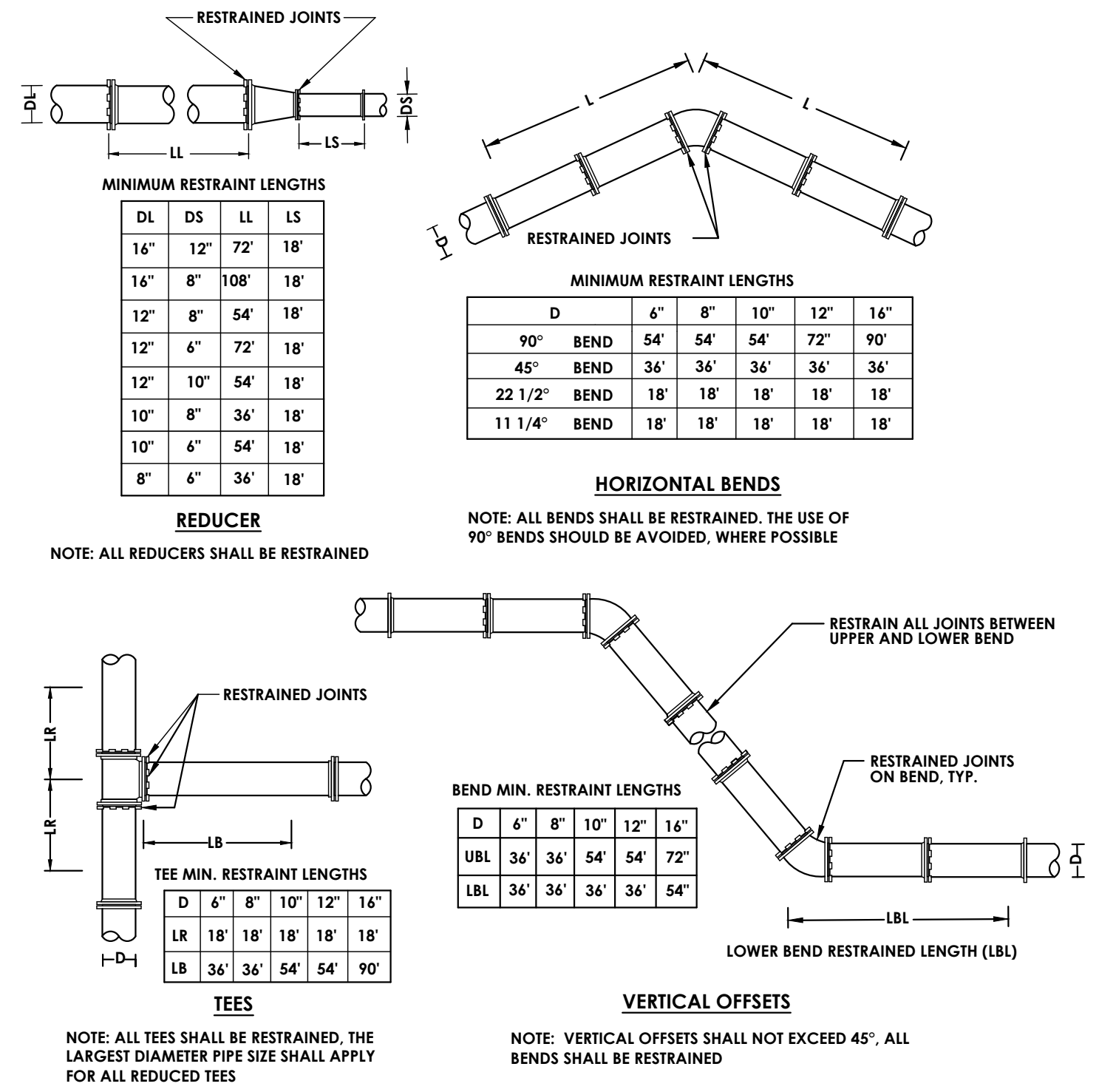
BEND	Min. Volume of Concrete For Block dimensions D,E,F,G	MINIMUM ALLOWABLE DIMENSION FOR VERTICAL THRUST BLOCKS (IN FEET)							ROD LENGTH H
		A	B	C	D	E	F	G	
6\"/>									

**NOTE:** THE DEVELOPER MAY ELECT TO USE REINFORCING RODS AS OPPOSED TO CONCRETE THRUST BLOCKS FOR VERTICAL BENDS. ALL THRUST RESTRAINT BY ROD SHALL BE APPROVED BY THE WATER SYSTEM OPERATOR PRIOR TO INSTALLATION.



- NOTES:**
1. NO CONCRETE IS TO ENCOMPASS ANY BOLTS OR BELL ENDS WHERE POSSIBLE.
  2. DIP FITTINGS SHALL BE WRAPPED WITH 2 MIL THICK POLYETHYLENE, 2 FEET BEYOND FITTING ON PVC PIPE.
  3. GRIP RING PIPE RESTRAINER SHALL BE USED AT ALL FITTING TO PVC PIPE CONNECTIONS.

**5 VERTICAL THRUST BLOCK**  
 N.T.S.



**REDUCER:** NOTE: ALL REDUCERS SHALL BE RESTRAINED.

**TEES:** NOTE: ALL TEES SHALL BE RESTRAINED, THE LARGEST DIAMETER PIPE SIZE SHALL APPLY FOR ALL REDUCED TEES.

**VERTICAL OFFSETS:** NOTE: VERTICAL OFFSETS SHALL NOT EXCEED 45°, ALL BENDS SHALL BE RESTRAINED.

- NOTES:**
1. PIPE LENGTHS SHOWN IN MULTIPLES OF 18\"/>

**6 TYPICAL RESTRAINING JOINT DETAILS**  
 N.T.S.



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 Poughkeepsie, NY 12601  
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**PROJECT INFORMATION**  
 Project Number: R23.01044.00  
 Client Name: KEARNEY REALTY & DEVELOPMENT GROUP  
 Project Name: MILL STREET LOFTS

Project Address: MILL STREET HUDSON, NY 12051

**PROJECT ISSUE & REVISION SCHEDULE**

No.	Date	Description
1	04/25/2024	PRELIMINARY SUBMISSION TO HUDSON FIB
2	05/28/2024	REVISIONS PER PER REVIEW LETTER 5/13/2024

PROFESSIONAL STAMPS

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 CONSTRUCTION**

NEW YORK STATE EDUCATION STATEMENT  
 I, the undersigned, being a duly licensed professional engineer in the State of New York, do hereby certify that I am the author of the design and drawings herein, and that I am a duly licensed professional engineer in the State of New York, and that I am a duly licensed professional engineer in the State of New York, and that I am a duly licensed professional engineer in the State of New York.

**SHEET INFORMATION**  
 Issued: APRIL 2024  
 Scale: AS NOTED  
 Project Status: PLANNING BOARD SUBMISSION  
 Drawn By: BGR  
 Checked By: ALL  
 Drawing Title: DETAILS - 8

Drawing Number: Revision Number:  
**KMS  
 C307**

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either “Yes” or “No”. If the answer to the initial question is “Yes”, complete the sub-questions that follow. If the answer to the initial question is “No”, proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

Name of Action or Project:		
Project Location (describe, and attach a general location map):		
Brief Description of Proposed Action (include purpose or need):		
Name of Applicant/Sponsor:		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Project Contact (if not same as sponsor; give name and title/role):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:
Property Owner (if not same as sponsor):		Telephone:
		E-Mail:
Address:		
City/PO:	State:	Zip Code:

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** (“Funding” includes grants, loans, tax relief, and any other forms of financial assistance.)

Government Entity	If Yes: Identify Agency and Approval(s) Required	Application Date (Actual or projected)
a. City Counsel, Town Board, or Village Board of Trustees <input type="checkbox"/> Yes <input type="checkbox"/> No		
b. City, Town or Village Planning Board or Commission <input type="checkbox"/> Yes <input type="checkbox"/> No		
c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No		
d. Other local agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
e. County agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No		
i. Coastal Resources. <ul style="list-style-type: none"> <li data-bbox="121 829 1485 861">i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 892 1485 924">ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> <li data-bbox="121 924 1485 955">iii. Is the project site within a Coastal Erosion Hazard Area? <input type="checkbox"/> Yes <input type="checkbox"/> No</li> </ul>		

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- **If Yes**, complete sections C, F and G.
- **If No**, proceed to question C.2 and complete all remaining sections and questions in Part 1

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_



**C.3. Zoning**

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?

\_\_\_\_\_

\_\_\_\_\_

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No

If Yes,

i. What is the proposed new zoning for the site? \_\_\_\_\_

**C.4. Existing community services.**

a. In what school district is the project site located? \_\_\_\_\_

b. What police or other public protection forces serve the project site?  
\_\_\_\_\_

c. Which fire protection and emergency medical services serve the project site?  
\_\_\_\_\_

d. What parks serve the project site?  
\_\_\_\_\_  
\_\_\_\_\_

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)?  
\_\_\_\_\_

b. a. Total acreage of the site of the proposed action? \_\_\_\_\_ acres  
b. Total acreage to be physically disturbed? \_\_\_\_\_ acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? \_\_\_\_\_ acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,

i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
\_\_\_\_\_

ii. Is a cluster/conservation layout proposed?  Yes  No

iii. Number of lots proposed? \_\_\_\_\_

iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No

i. If No, anticipated period of construction: \_\_\_\_\_ months

ii. If Yes:

- Total number of phases anticipated \_\_\_\_\_
- Anticipated commencement date of phase 1 (including demolition) \_\_\_\_\_ month \_\_\_\_\_ year
- Anticipated completion date of final phase \_\_\_\_\_ month \_\_\_\_\_ year

• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases: \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

f. Does the project include new residential uses?  Yes  No  
 If Yes, show numbers of units proposed.

	<u>One Family</u>	<u>Two Family</u>	<u>Three Family</u>	<u>Multiple Family (four or more)</u>
Initial Phase	_____	_____	_____	_____
At completion	_____	_____	_____	_____
of all phases	_____	_____	_____	_____

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,

i. Total number of structures \_\_\_\_\_

ii. Dimensions (in feet) of largest proposed structure: \_\_\_\_\_ height; \_\_\_\_\_ width; and \_\_\_\_\_ length

iii. Approximate extent of building space to be heated or cooled: \_\_\_\_\_ square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,

i. Purpose of the impoundment: \_\_\_\_\_

ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify: \_\_\_\_\_

iii. If other than water, identify the type of impounded/contained liquids and their source.  
 \_\_\_\_\_

iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres

v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length

vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):  
 \_\_\_\_\_

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:

i. What is the purpose of the excavation or dredging? \_\_\_\_\_

ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?

- Volume (specify tons or cubic yards): \_\_\_\_\_
- Over what duration of time? \_\_\_\_\_

iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe. \_\_\_\_\_  
 \_\_\_\_\_

v. What is the total area to be dredged or excavated? \_\_\_\_\_ acres

vi. What is the maximum area to be worked at any one time? \_\_\_\_\_ acres

vii. What would be the maximum depth of excavation or dredging? \_\_\_\_\_ feet

viii. Will the excavation require blasting?  Yes  No

ix. Summarize site reclamation goals and plan: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:

i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description): \_\_\_\_\_  
 \_\_\_\_\_

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, or alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet or acres:

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments? Yes  No

If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No

If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No

If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No

If Yes:

- Name of district or service area: \_\_\_\_\_
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No

If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): \_\_\_\_\_

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No

If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No

• Do existing sewer lines serve the project site?  Yes  No  
 • Will a line extension within an existing district be necessary to serve the project?  Yes  No  
 If Yes:  
 • Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No  
 If Yes:  
 • Applicant/sponsor for new district: \_\_\_\_\_  
 • Date application submitted or anticipated: \_\_\_\_\_  
 • What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No  
 If Yes:  
 i. How much impervious surface will the project create in relation to total size of project parcel?  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (impervious surface)  
     \_\_\_\_\_ Square feet or \_\_\_\_\_ acres (parcel size)  
 ii. Describe types of new point sources. \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
 \_\_\_\_\_  
 \_\_\_\_\_  
 • If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

• Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

---

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No  
 If Yes, identify:  
 i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)  
 \_\_\_\_\_  
 ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)  
 \_\_\_\_\_  
 iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)  
 \_\_\_\_\_  
 \_\_\_\_\_

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g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No  
 If Yes:  
 i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No  
 ii. In addition to emissions as calculated in the application, the project will generate:  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)  
 • \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)  
 • \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydroflouorocarbons (HFCs)  
 • \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?  Yes  No  
 If Yes:  
 i. Estimate methane generation in tons/year (metric): \_\_\_\_\_  
 ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

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i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No  
 If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

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j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No  
 If Yes:  
 i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.  
 ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_  
 iii. Parking spaces: Existing \_\_\_\_\_ Proposed \_\_\_\_\_ Net increase/decrease \_\_\_\_\_  
 iv. Does the proposed action include any shared use parking?  Yes  No  
 v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_  
 vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No  
 vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No  
 viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

---

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No  
 If Yes:  
 i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
 ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other): \_\_\_\_\_  
 iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

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l. Hours of operation. Answer all items which apply.  
 i. During Construction:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_  
 ii. During Operations:  
 • Monday - Friday: \_\_\_\_\_  
 • Saturday: \_\_\_\_\_  
 • Sunday: \_\_\_\_\_  
 • Holidays: \_\_\_\_\_

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?  Yes  No  
 If yes:  
 i. Provide details including sources, time of day and duration:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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n. Will the proposed action have outdoor lighting?  Yes  No  
 If yes:  
 i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No  
 Describe: \_\_\_\_\_  
 \_\_\_\_\_

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o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No  
 If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No  
 If Yes:  
 i. Product(s) to be stored \_\_\_\_\_  
 ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)  
 iii. Generally, describe the proposed storage facilities: \_\_\_\_\_  
 \_\_\_\_\_

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q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No  
 If Yes:  
 i. Describe proposed treatment(s):  
 \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

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r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No  
 If Yes:  
 i. Describe any solid waste(s) to be generated during construction or operation of the facility:  
 • Construction: \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 • Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)  
 ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Proposed disposal methods/facilities for solid waste generated on-site:  
 • Construction: \_\_\_\_\_  
 \_\_\_\_\_  
 • Operation: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?  Yes  No  
 If Yes:  
 i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_  
 ii. Anticipated rate of disposal/processing:  
 • \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or  
 • \_\_\_\_\_ Tons/hour, if combustion or thermal treatment  
 iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No  
 If Yes:  
 i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_  
 \_\_\_\_\_  
 ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month  
 iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_  
 \_\_\_\_\_  
 v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No  
 If Yes: provide name and location of facility: \_\_\_\_\_  
 \_\_\_\_\_  
 If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility:  
 \_\_\_\_\_  
 \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.  
 i. Check all uses that occur on, adjoining and near the project site.  
 Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)  
 Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_  
 ii. If mix of uses, generally describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

b. Land uses and covertypes on the project site.

Land use or Covertypes	Current Acreage	Acreage After Project Completion	Change (Acres +/-)
• Roads, buildings, and other paved or impervious surfaces			
• Forested			
• Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural)			
• Agricultural (includes active orchards, field, greenhouse etc.)			
• Surface water features (lakes, ponds, streams, rivers, etc.)			
• Wetlands (freshwater or tidal)			
• Non-vegetated (bare rock, earth or fill)			
• Other Describe: _____ _____			

c. Is the project site presently used by members of the community for public recreation?  Yes  No  
i. If Yes: explain: \_\_\_\_\_

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d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities:  
\_\_\_\_\_

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e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  

- Dam height: \_\_\_\_\_ feet
- Dam length: \_\_\_\_\_ feet
- Surface area: \_\_\_\_\_ acres
- Volume impounded: \_\_\_\_\_ gallons OR acre-feet

ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection:  
\_\_\_\_\_

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f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  

- If yes, cite sources/documentation: \_\_\_\_\_

ii. Describe the location of the project site relative to the boundaries of the solid waste management facility:  
\_\_\_\_\_

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g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred:  
\_\_\_\_\_

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h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database      Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database      Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
\_\_\_\_\_

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iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): \_\_\_\_\_  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
\_\_\_\_\_



v. Is the project site subject to an institutional control limiting property uses?  Yes  No

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

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**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? \_\_\_\_\_ feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
 If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_%

c. Predominant soil type(s) present on project site: \_\_\_\_\_ %  
 \_\_\_\_\_ %  
 \_\_\_\_\_ %

d. What is the average depth to the water table on the project site? Average: \_\_\_\_\_ feet

e. Drainage status of project site soils:  Well Drained: \_\_\_\_\_ % of site  
 Moderately Well Drained: \_\_\_\_\_ % of site  
 Poorly Drained \_\_\_\_\_ % of site

f. Approximate proportion of proposed action site with slopes:  0-10%: \_\_\_\_\_ % of site  
 10-15%: \_\_\_\_\_ % of site  
 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
 If Yes, describe: \_\_\_\_\_  
 \_\_\_\_\_

h. Surface water features.

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No  
 If Yes to either *i* or *ii*, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Lakes or Ponds: Name \_\_\_\_\_ Classification \_\_\_\_\_
- Wetlands: Name \_\_\_\_\_ Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) \_\_\_\_\_

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No  
 If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_  
 \_\_\_\_\_

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i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No  
 If Yes:  
 i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: _____ _____ _____	
n. Does the project site contain a designated significant natural community? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Describe the habitat/community (composition, function, and basis for designation): _____ _____ ii. Source(s) of description or evaluation: _____ iii. Extent of community/habitat: <ul style="list-style-type: none"> <li>• Currently: _____ acres</li> <li>• Following completion of project as proposed: _____ acres</li> <li>• Gain or loss (indicate + or -): _____ acres</li> </ul>	
o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing (endangered or threatened): _____ _____ _____	
p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Species and listing: _____ _____	
q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If yes, give a brief description of how the proposed action may affect that use: _____ _____	
<b>E.3. Designated Public Resources On or Near Project Site</b>	
a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes, provide county plus district name/number: _____	
b. Are agricultural lands consisting of highly productive soils present? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> i. If Yes: acreage(s) on project site? _____ ii. Source(s) of soil rating(s): _____	
c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. Nature of the natural landmark: <input type="checkbox"/> Biological Community <input type="checkbox"/> Geological Feature ii. Provide brief description of landmark, including values behind designation and approximate size/extent: _____ _____ _____	
d. Is the project site located in or does it adjoin a state listed Critical Environmental Area? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span> If Yes: i. CEA name: _____ ii. Basis for designation: _____ iii. Designating agency and date: _____	

<p>e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Nature of historic/archaeological resource: <input type="checkbox"/> Archaeological Site      <input type="checkbox"/> Historic Building or District</p> <p style="margin-left: 20px;">ii. Name: _____</p> <p style="margin-left: 20px;">iii. Brief description of attributes on which listing is based: _____</p>
<p>f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>
<p>g. Have additional archaeological or historic site(s) or resources been identified on the project site? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Describe possible resource(s): _____</p> <p style="margin-left: 20px;">ii. Basis for identification: _____</p>
<p>h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify resource: _____</p> <p style="margin-left: 20px;">ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): _____</p> <p style="margin-left: 20px;">iii. Distance between project and resource: _____ miles.</p>
<p>i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p> <p>If Yes:</p> <p style="margin-left: 20px;">i. Identify the name of the river and its designation: _____</p> <p style="margin-left: 20px;">ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666? <span style="float: right;"><input type="checkbox"/> Yes <input type="checkbox"/> No</span></p>

**F. Additional Information**

Attach any additional information which may be needed to clarify your project.

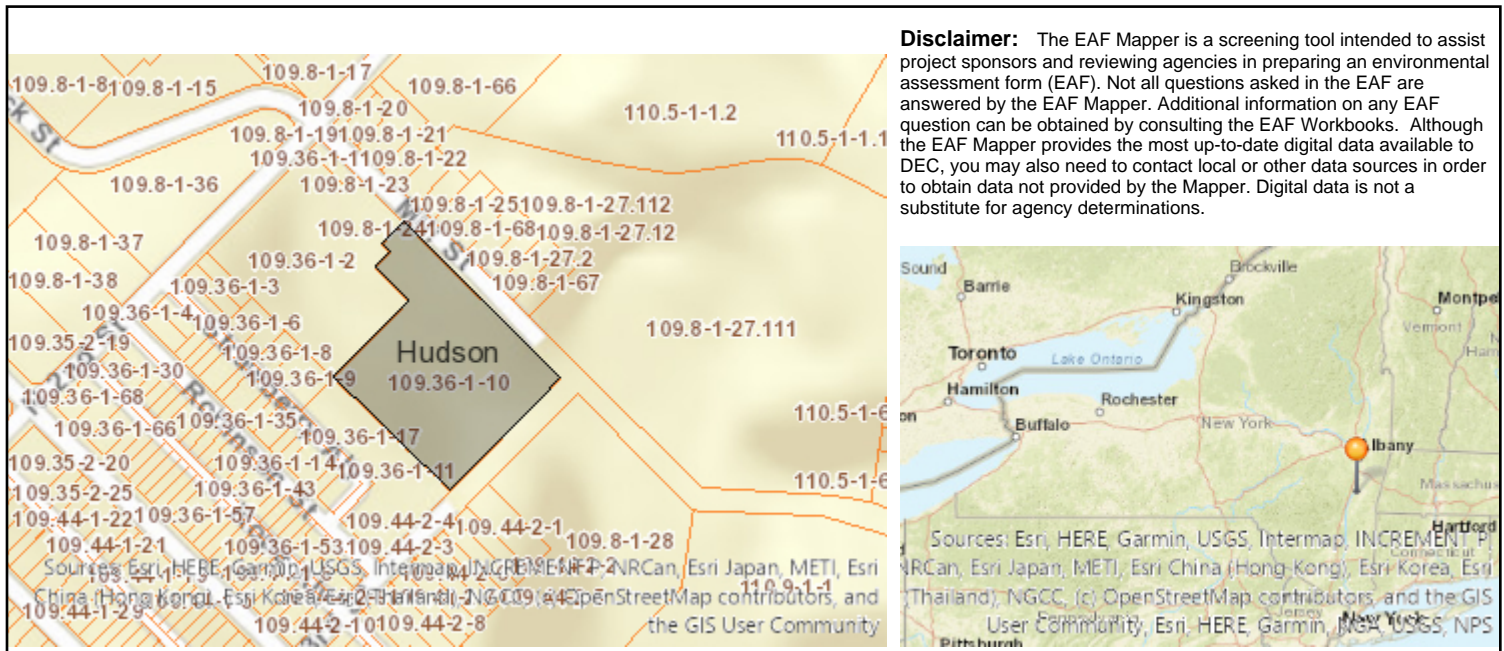
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

Applicant/Sponsor Name \_\_\_\_\_ Date \_\_\_\_\_

Signature  \_\_\_\_\_ Title \_\_\_\_\_



B.i.i [Coastal or Waterfront Area]	Yes
B.i.ii [Local Waterfront Revitalization Area]	No
C.2.b. [Special Planning District]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h [DEC Spills or Remediation Site - Potential Contamination History]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Listed]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.i [DEC Spills or Remediation Site - Environmental Site Remediation Database]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.1.h.iii [Within 2,000' of DEC Remediation Site]	Yes
E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]	546031, B00184, B00172
E.2.g [Unique Geologic Features]	No
E.2.h.i [Surface Water Features]	Yes
E.2.h.ii [Surface Water Features]	Yes
E.2.h.iii [Surface Water Features]	Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook.
E.2.h.iv [Surface Water Features - Stream Name]	863-257
E.2.h.iv [Surface Water Features - Stream Classification]	C
E.2.h.iv [Surface Water Features - Wetlands Name]	Federal Waters
E.2.h.v [Impaired Water Bodies]	No
E.2.i. [Floodway]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.

E.2.j. [100 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.k. [500 Year Floodplain]	Digital mapping data are not available or are incomplete. Refer to EAF Workbook.
E.2.l. [Aquifers]	No
E.2.n. [Natural Communities]	No
E.2.o. [Endangered or Threatened Species]	Yes
E.2.o. [Endangered or Threatened Species - Name]	Shortnose Sturgeon, Bald Eagle, Least Bittern
E.2.p. [Rare Plants or Animals]	No
E.3.a. [Agricultural District]	No
E.3.c. [National Natural Landmark]	No
E.3.d [Critical Environmental Area]	No
E.3.e. [National or State Register of Historic Places or State Eligible Sites]	Yes - Digital mapping data for archaeological site boundaries are not available. Refer to EAF Workbook.
E.3.e.ii [National or State Register of Historic Places or State Eligible Sites - Name]	Eligible property:Charles S. Williams Memorial School, Eligible property:247 Robinson Street, Hudson, NY 12534
E.3.f. [Archeological Sites]	Yes
E.3.i. [Designated River Corridor]	No