

Development Standards Charts Legend:

Symbol:		(C7)	Limited to the expansion of existing uses	(L3)	On Main St.	(L8)	On Gothard St.
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C8)	For development over 20,000 sf of building area	(L4)	On Ellis Ave. and Delaware St.	(L9)	On Ash St. and Cypress Ave.
---	Not permitted	(C9)	For development over 20 dwelling units or lodging rooms	(L5)	South of Atlanta Ave.	(L10)	On Warner Ave.
n/a	Not applicable	(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length				
required	These are required elements of all new development as indicated	(C11)	The number of spaces provided must include at least one space for each student	Use:			
conditional	Requires a conditional use permit	(C12)	Commercial projects proposing additions greater than 20% of existing sq. footage but not exceeding 50% have the option to provide the Classic Blvd. design or a Neighborhood St. configuration with a 6' sidewalk and 6' parkway; however Classic Blvd. street lights and furnishings shall apply	(U1)	For residential development with 3 or more units		
limited	Limitations apply as specified in section 2.4.3. Private Frontage Types			(U2)	Live Entertainment and Dancing not permitted		
				(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)		
				(U4)	Movie Theaters not permitted		
				(U5)	Ground floor Health & Exercise Clubs are conditional		
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	(C13)	Min. 10' setback along front and sides of building for a depth of min. 100' for structures above 3 stories	(U7)	Only Health & Exercise clubs		
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C14)	All residential projects shall include retail/commercial at street level; deviations may be permitted subject to a CUP from PC	(U8)	Only Gas Stations		
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C15)	CUP from PC shall be required for all residential and mixed use: residential/commercial projects	(U9)	Residential Required as Shown on Map		
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C16)	May be reduced to min. of 15' pursuant to a CUP from the PC	(U10)	Auto dealers only		
(A)	Exceptions apply to anchor retail buildings		Single story commercial buildings may be permitted to have a 15' front yard setback from primary St. and 10' front setback along secondary St. (may be reduced pursuant to a CUP from the PC)	(U11)	Not applicable to new or existing auto dealers		
Special Conditions:		(C17)	May be provided in tandem configuration; All projects with a residential component shall submit a parking management plan subject to review and approval by the Planning and Building Dept.	Signs:			
(C1)	Ground floor allowed	(C18)	Requires a CUP from the ZA	(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9.Signage Regulations		
(C2)	Upper floors only			(S3)	50% shall be allowable during the month of December		
(C3)	Parkway Landscaping required along Beach Blvd.			(S4)	Must occur as tower format		
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)			(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft		
(C5)	With shopfront	Location:		(S6)	Signs are restricted to corner stores only		
(C6)	Or 20% of parcel depth whichever is smaller	(L1)	On Beach Blvd.	(L6)	Between Ellis		
		(L2)	On Edinger Ave.	(L7)	North of Ellis		
				(S7)	Signs are permitted at entrances to multi-family buildings		

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	permitted
b) Community Oriented Anchors	permitted (L1 & L2) only
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	permitted (L1 & L2) only
e) Specialty Goods & Foods	permitted (L1 & L2) only
f) Entertainment & Recreation	conditional (C19) (L1 & L2) only (U4)
g) Convenience Uses	permitted (L1 & L2) only
h) Business Services	permitted (L1 & L2) only
i) Personal Services	permitted (L1 & L2) only
j) Personal Enrichment Services	permitted (L1 & L2) only
k) Service Commercial & Repair	permitted (L1 & L2) only
l) Large Scale Commercial Goods	permitted (L1 & L2) only
m) Vehicle Sales	permitted (L1) only
2) Civic & Cultural	conditional (C19)
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	conditional (C14 & C15)
b) Multi Family w/ Individual Entries	conditional (C14 & C15)
c) Attached Single Family	conditional (C14 & C15)
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	permitted (L1& L2) only
b) Corner Store	permitted
c) Drive-through	permitted (L1 & L2) only
2.2.3 Affordable Housing Requirement	
required or not required	required (U1)

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	1 story
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	4 story max
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	300 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing - Primary Volume Proportions	
Length : Height - Edinger/Beach/Main	3L:2H to 5L:2H
Length : Height - All other streets	2L:3H to 5L:2H

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required (A)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	(U11)
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum - Edinger	30 ft (C16 & C17)
minimum - Beach	30 ft (C16 & C17)
minimum - all other public streets	30 ft (C16 & C17)
upper story setback	Required (C13)
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	10 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	50% (U11)
minimum - all other streets	50% (A)
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
3) Classic Boulevard	required (L2, C12)
4) Palm Tree Boulevard	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1, L2)
2.5.2 Provision of New Streets - (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	1000 ft
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	required
2.5.6 Residential Transition-Boundary Street	
required or not required	required
2.5.7 Street Types (New Street Design)	
1) City Street	permitted
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood St.	permitted
5) Alley	permitted

Development Standards Charts

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
1) Retail	50 s.f. / 1000 s.f. (C8)(U11)
2) Civic & Cultural	n/a
3) Office	100 s.f. / 1000 s.f. (C8)
4) Lodging	30 s.f. / room (C9)
5) Live Work	50 s.f. / unit (C9)
6) Residential	50 s.f. / unit (C9)
2.6.2 Special Public Open Space	
	n/a
2.6.3 Provision of Private Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	
a) Attached & Multi-Family	60 s.f. / unit
b) Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
3) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.5 Setback Area Landscaping Types	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	permitted (C5) only
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L1 & L2)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
1) Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
2) Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
3) Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
4) Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
5) Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
6) Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
7) Presonl Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
7) Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
8) Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
9) Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
10) Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
11) Lodging	
spaces per guest room	1 min / no max
location	on site
12) Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
13) Residential Uses	
spaces per studio & 1 br unit	2 min
spaces per 2br unit	2 min
spaces per 3br+unit	2.5 min.
guest spaces per 10 units	5 min (0.5 per unit)
location	on site
14) Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
15) Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	--- (permitted U10)
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	--- (A) (permitted U10)
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required (U11)
Base	required (U11)
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	32 s.f.
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	20 ft
secondary sign	8 ft (S4)
bonus sign	5 ft
maximum area	100 s.f. (S4)
secondary sign	32 s.f.
bonus sign	25 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

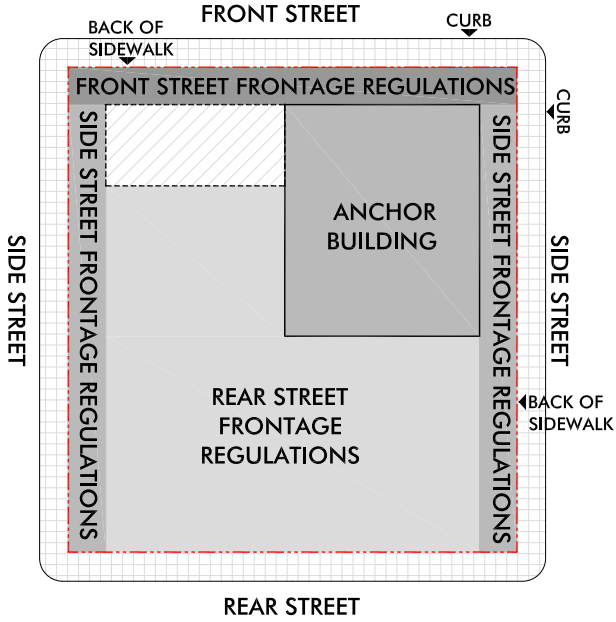
2.7 Parking Regulations Note: The maximum number of parking spaces permitted only applies to parking spaces that are provided in surface parking lots.

Special Requirements

a) Anchor Exceptions

Regulations listed in the Anchor Exceptions chart below may be applied to retail anchors exceeding 30,000 square feet as exceptions to the regulations indicated with an (A) in the Development Standards Charts. Anchor buildings shall have at least one “Front Street” that shall establish how these exceptions apply.

Beach Blvd. and Edinger Ave. shall always be Front Streets. Where these streets intersect, the Front Streets shall be determined by Planning Director/Designee. All streets that are not Front Streets are either Side Streets or Rear Streets as indicated in accompanying Anchor Buildings diagram.



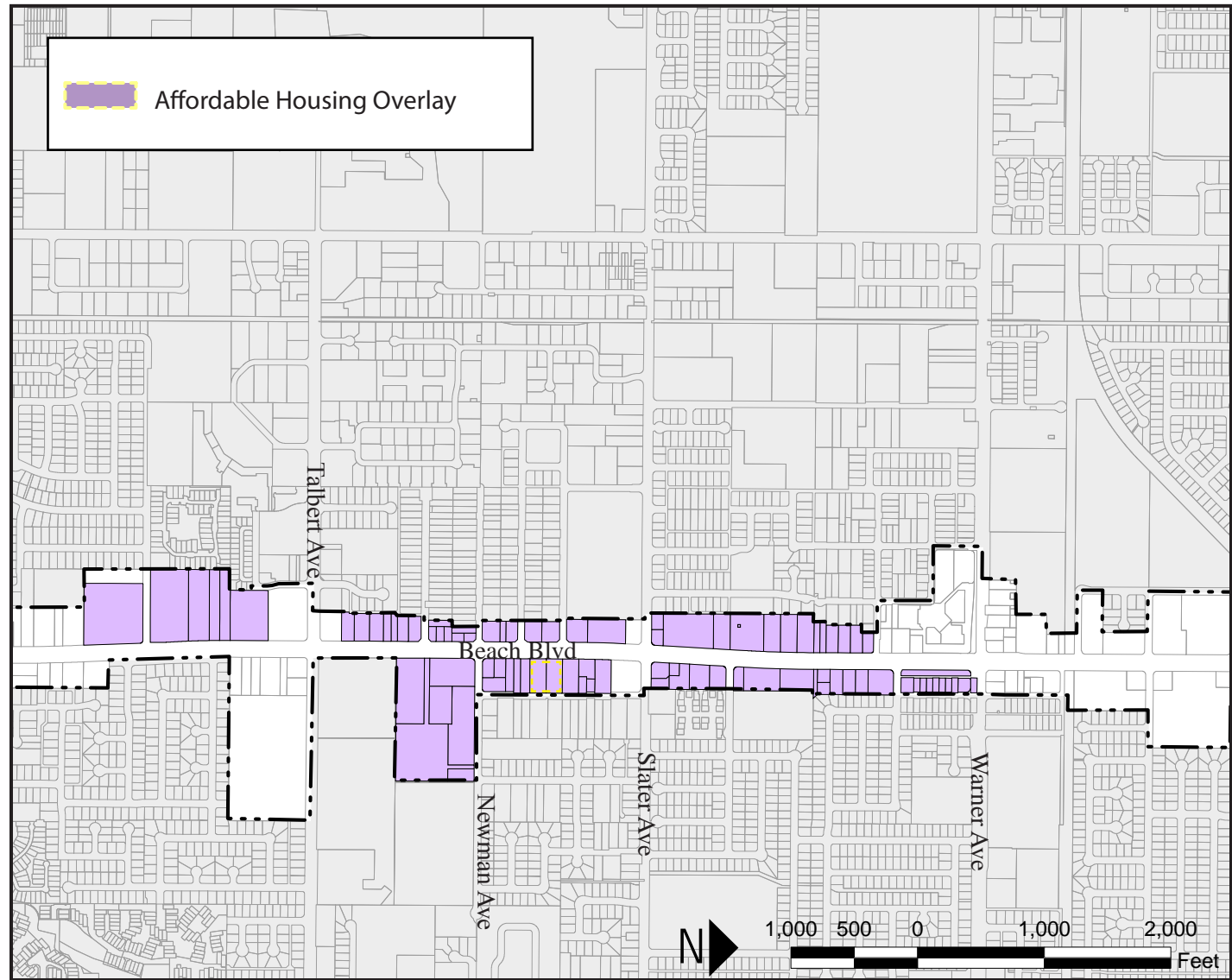
Regulations	Front Street	Side Street	Rear Street
2.4.1 Building Orientation			
required or not required	required	not required	not required
2.4.4 Front Yard Setback			
maximum	no deviation	no maximum	no maximum
2.4.8 Frontage Coverage			
minimum	no deviation	20%	0%
2.7.2 Parking Types			
Surface Lot - Exposed	no deviation	permitted	permitted
Structure - Wrapped on Ground Level	permitted	permitted	permitted
Structure - Exposed	no deviation	permitted	permitted
2.8.2 Architectural Element Regulations			
Façade Composition	no deviation	No minimum glazing requirement along two selected street frontages	



### 2.1.7 Neighborhood Boulevard Segment

## 2.1 DEVELOPMENT STANDARDS

## BOOK II: DEVELOPMENT CODE



### Development Standards Charts Legend:

Symbol:		(C7)	Limited to the expansion of existing uses		(L3)	On Main St.		(L8)	On Gothard St.		
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C8)	For development over 20,000 sf of building area		(L4)	On Ellis Ave. and Delaware St.		(L9)	On Ash St. and Cypress Ave.		
---	Not permitted	(C9)	For development over 20 dwelling units or lodging rooms		(L5)	South of Atlanta Ave.		(L10)	On Warner Ave.		
n/a	Not applicable	(C10)	Courtyard Buildings may exceed the indicated length as defined in 2.3.4 Building Length		Use:						
required	These are required elements of all new development as indicated	(C11)	The number of spaces provided must include at least one space for each student								
conditional	Requires a conditional use permit	(C12)	Commercial projects proposing additions greater than 20% of existing sq. footage but not exceeding 50% have the option to provide the Classic Blvd. design or a Neighborhood St. configuration with a 6' sidewalk and 6' parkway; however Classic Blvd. street lights and furnishings shall apply		(U1)	For residential development with 3 or more units					
limited	Limitations apply as specified in section 2.4.3. Private Frontage Types		(C13)	Min. 100' setback along front and sides of building for a depth of min. 100' for structures above 3 stories		(U2)	Live Entertainment and Dancing not permitted				
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)		(C14)	All residential projects shall include retail/commercial at street level; deviations may be permitted subject to a CUP from PC		(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2)				
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C15)	CUP from PC shall be required for all residential and mixed use: residential/commercial projects		(U4)	Movie Theaters not permitted					
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C16)	May be reduced to min. of 15' pursuant to a CUP from the PC		(U5)	Ground floor Health & Exercise Clubs are conditional					
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C17)	Single story commercial buildings may be permitted to have a 15' front yard setback from primary St. and 10' front setback along secondary St. (may be reduced pursuant to a CUP from the PC)		(U7)	Only Health & Exercise clubs					
(A)	Exceptions apply to anchor retail buildings	(C18)	May be provided in tandem configuration; All projects with a residential component shall submit a parking management plan subject to review and approval by the Planning and Building Dept.		(U8)	Only Gas Stations					
		(C19)	Requires a CUP from the ZA		(U9)	Residential Required as Shown on Map					
						(U10)	Auto dealers only				
						(U11)	Not applicable to new or existing auto dealers				
Special Conditions:		Location:				Signs:					
(C1)	Ground floor allowed	(L1)	On Beach Blvd.		(L6)	Between Ellis		(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9.Signage Regulations		
(C2)	Upper floors only	(L2)	On Edinger Ave.		(L7)	North of Ellis		(S3)	50% shall be allowable during the month of December		
(C3)	Parkway Landscaping required along Beach Blvd.					(S4)	Must occur as tower format				
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)					(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft				
(C5)	With storefront					(S6)	Signs are restricted to corner stores only				
(C6)	Or 20% of parcel depth whichever is smaller					(S7)	Signs are permitted at entrances to multi-family buildings				

## Development Standards Charts

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	permitted (L1)
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	NC (U2)
e) Specialty Goods & Foods	"NC (U3)"
f) Entertainment & Recreation	conditional (C19) (U4)
g) Convenience Uses	NC, CS
h) Business Services	NC, CS
i) Personal Services	NC, CS
j) Personal Enrichment Services	NC, CS
k) Service Commercial & Repair	permitted
l) Large Scale Commercial Goods	permitted
m) Vehicle Sales	permitted
2) Civic & Cultural	conditional (C19)
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	conditional (C14 & C15)
b) Multi Family w/ Individual Entries	conditional (C14 & C15)
c) Attached Single Family	conditional (C14 & C15)
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	permitted
b) Corner Store	permitted
c) Drive-through	permitted
2.2.3 Affordable Housing Requirement	
required or not required	required (U1)
2.2.4 Affordable Housing Overlay	see Section 2.2.4

2.3 Building Scale Regulations	Standards
<b>2.3.1 Building Height</b>	
<b>minimum height</b>	1 story
<b>maximum height</b>	4 stories
<b>2.3.2 Special Building Height Limits</b>	
<b>Edinger/Beach/Main</b>	n/a
<b>Across the Street From Housing</b>	plus 2 story max
<b>Adjacent to Housing</b>	required
<b>2.3.3 Building Length</b>	
<b>maximum</b>	300 ft
<b>2.3.4 Special Building Length Limits</b>	
<b>Limited Corner Building - maximum</b>	120 ft (C10)
<b>Limited Mid-Block Building - maximum</b>	80 ft (C10)
<b>2.3.5 Building Massing - Primary Volume Proportions</b>	
<b>Length : Height - Edinger/Beach/Main</b>	3L:2H to 5L:2H
<b>Length : Height - All other streets</b>	2L:3H to 5L:2H

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	(U11)
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	permitted
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	permitted
g) Stoop	permitted
h) Porch	---
i) Front Door	---
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum - Beach	30 ft (C16 & C17)
minimum - all other public streets	30 ft (C16 & C17)
upper story setback	Required (C13)
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	15 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	50% (U11)
minimum - all other streets	50% (A)(U11)
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
4) Palm Tree Boulevard	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1)
2.5.2 Provision of New Streets - (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood St.	permitted
5) Alley	permitted

Development Standards Charts

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
1) Retail	50 s.f. / 1000 s.f. (C8)(U11)
2) Civic & Cultural	n/a
3) Office	100 s.f. / 1000 s.f. (C8)
4) Lodging	30 s.f. / room (C9)
5) Live Work	50 s.f. / unit (C9)
6) Residential	50 s.f. / unit (C9)
2.6.2 Special Public Open Space	
	n/a
2.6.3 Provision of Private Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	
a) Attached & Multi-Family	60 s.f. / unit
b) Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
3) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	---
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.5 Setback Area Landscaping Types	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L1)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

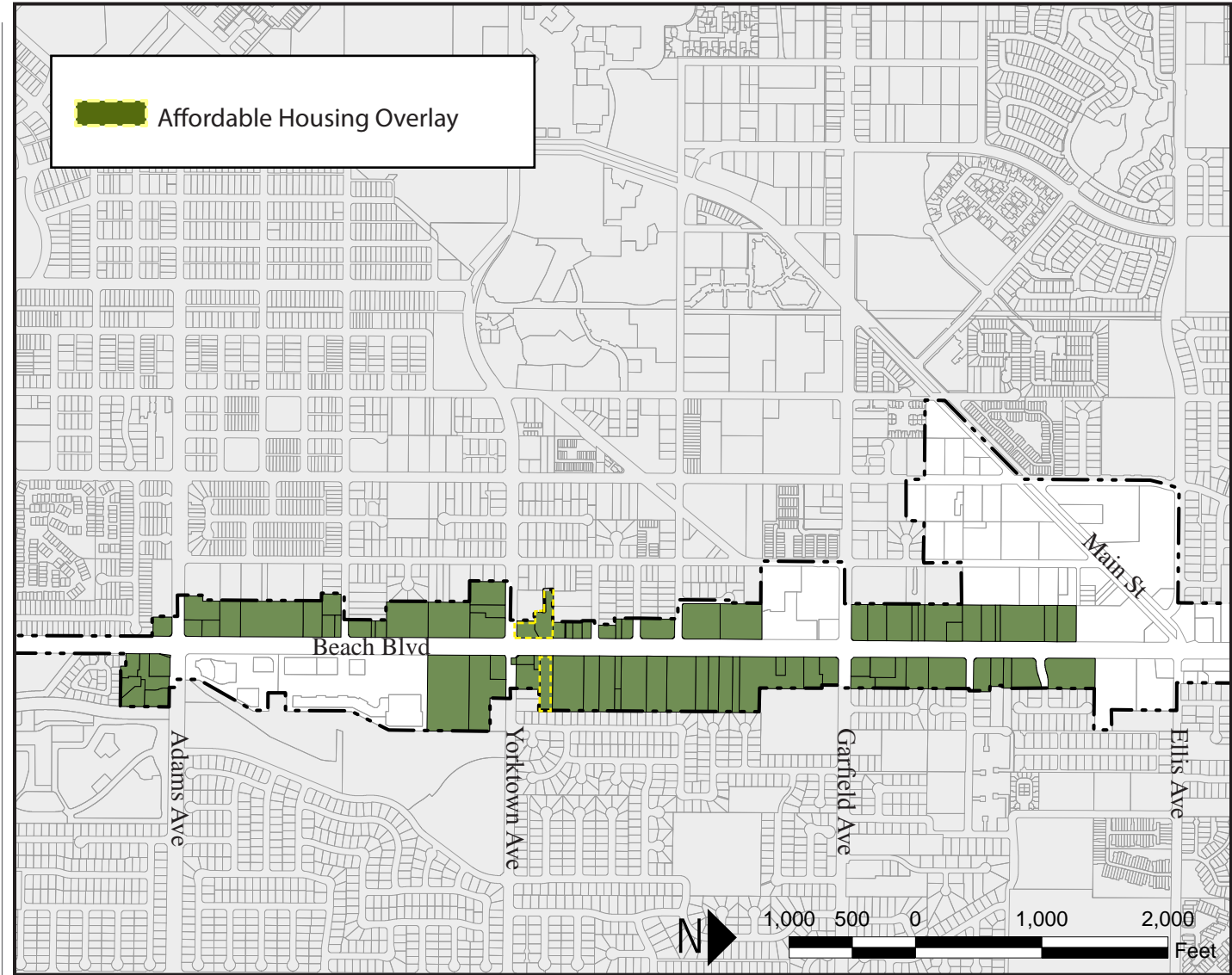
2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
1) Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
2) Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
3) Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
4) Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
5) Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
6) Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
7) Presonl Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
7) Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
8) Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
9) Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
10) Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
11) Lodging	
spaces per guest room	1 min / no max
location	on site
12) Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
13) Residential Uses	(C18)
spaces per studio & 1 br unit	2 min
spaces per 2br unit	2 min
spaces per 3br+unit	2.5 min.
guest spaces per 10 units	5 min (0.5 per unit)
location	on site
14) Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
15) Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	--- (permitted U10)
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	--- (permitted U10)
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required (U11)
Base	required (U11)

2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	48 s.f. (S1)
secondary sign	---
bonus sign	24 s.f.
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	15 ft
secondary sign	---
bonus sign	5 ft
maximum area	70 s.f. (S4)
secondary sign	---
bonus sign	30 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

2.7 Parking Regulations Note: The maximum number of parking spaces permitted only applies to parking spaces that are provided in surface parking lots.





Development Standards Charts Legend:

Symbol:					
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C7)	Limited to the expansion of existing uses	(L3)	On Main St.
---	Not permitted	(C8)	For development over 20,000 sf of building area	(L4)	On Ellis Ave. and Delaware St.
n/a	Not applicable	(C9)	For development over 20 dwelling units or lodging rooms	(L5)	South of Atlanta Ave.
required	These are required elements of all new development as indicated	(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length	(L6)	Between Ellis
conditional	Requires a conditional use permit	(C11)	The number of spaces provided must include at least one space for each student	(L7)	North of Ellis
limited	Limitations apply as specified in section 2.4.3. Private Frontage Types	(C12)	Commercial projects proposing additions greater than 20% of existing sq. footage but not exceeding 50% have the option to provide the Classic Blvd. design or a Neighborhood St. configuration with a 6' sidewalk and 6' parkway; however Classic Blvd. street lights and furnishings shall apply	Use:	
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	(C13)	Min. 10' setback along front and sides of building for a depth of min. 100' for structures above 3 stories	(U1)	For residential development with 3 or more units
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C14)	All residential projects shall include retail/commercial at street level; deviations may be permitted subject to a CUP from the PC	(U2)	Live Entertainment and Dancing not permitted
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C15)	CUP from PC shall be required for all residential and mixed use: residential/commercial projects	(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C16)	May be reduced to min. of 15' pursuant to a CUP from the PC	(U4)	Movie Theaters not permitted
(A)	Exceptions apply to anchor retail buildings	(C17)	Single story commercial buildings may be permitted to have a 15' front yard setback from primary St. and 10' front setback along secondary St. (may be reduced pursuant to a CUP from the PC	(U5)	Ground floor Health & Exercise Clubs are conditional
Special Conditions:		(C18)	May be provided in tandem configuration; All projects with a residential component shall submit a parking management plan subject to review and approval by the Planning and Building Dept.	(U7)	Only Health & Exercise clubs
(C1)	Ground floor allowed	(C19)	Requires a CUP from the ZA	(U8)	Only Gas Stations
(C2)	Upper floors only	Location:		(U9)	Residential Required as Shown on Map
(C3)	Parkway Landscaping required along Beach Blvd.	(L1)	On Beach Blvd.	(U10)	Auto dealers only
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)	(L2)	On Edinger Ave.	(U11)	Not applicable to new or existing auto dealers
(C5)	With shopfront			Signs:	
(C6)	Or 20% of parcel depth whichever is smaller			(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9.Signage Regulations
				(S3)	50% shall be allowable during the month of December
				(S4)	Must occur as tower format
				(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
				(S6)	Signs are restricted to corner stores only
				(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	NC (L1 & U2)
e) Specialty Goods & Foods	NC (L1 & U3)
f) Entertainment & Recreation	---
g) Convenience Uses	NC (L1)
h) Business Services	NC (L1)
i) Personal Services	NC (L1)
j) Personal Enrichment Services	NC (L1)
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	NC
m) Vehicle Sales	NC (C7)
2) Civic & Cultural	conditional (C19)
3) Office	
a) Professional Services	permitted
b) Medical Services	permitted
4) Lodging	permitted
5) Live Work	permitted
6) Residential	
a) Multi-Family w/ Common Entry	conditional (C14 & C15)
b) Multi Family w/ Individual Entries	conditional (C14 & C15)
c) Attached Single Family	conditional (C14 & C15)
d) Detached Single Family	---
2.2.2 Special Retail Configurations	
a) Neighborhood Center	conditional (L1 & C4)
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirement	
required or not required	required (U1)
2.2.4 Affordable Housing Overlay	
see Section 2.2.4	

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	2 story min
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	180 ft (C10)
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing - Primary Volume Proportions	
Length : Height - Edinger/Beach/Main	3L:2H to 5L:2H
Length : Height - All other streets	2L:3H to 5L:2H

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required except (L1)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	(U11)
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	permitted
c) Arcade	---
d) Grand Portico	permitted
e) Forecourt	permitted
f) Common Lobby Entry	limited
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum - Beach	30 ft (C16 & C17)
minimum - all other public streets	30 ft (C16 & C17)
upper story setback	Required (C13)
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	25 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	no min
minimum - all other streets	70% (U11)
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	not required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
5) Parkway	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1)
2.5.2 Provision of New Streets - (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood St.	permitted
5) Alley	permitted

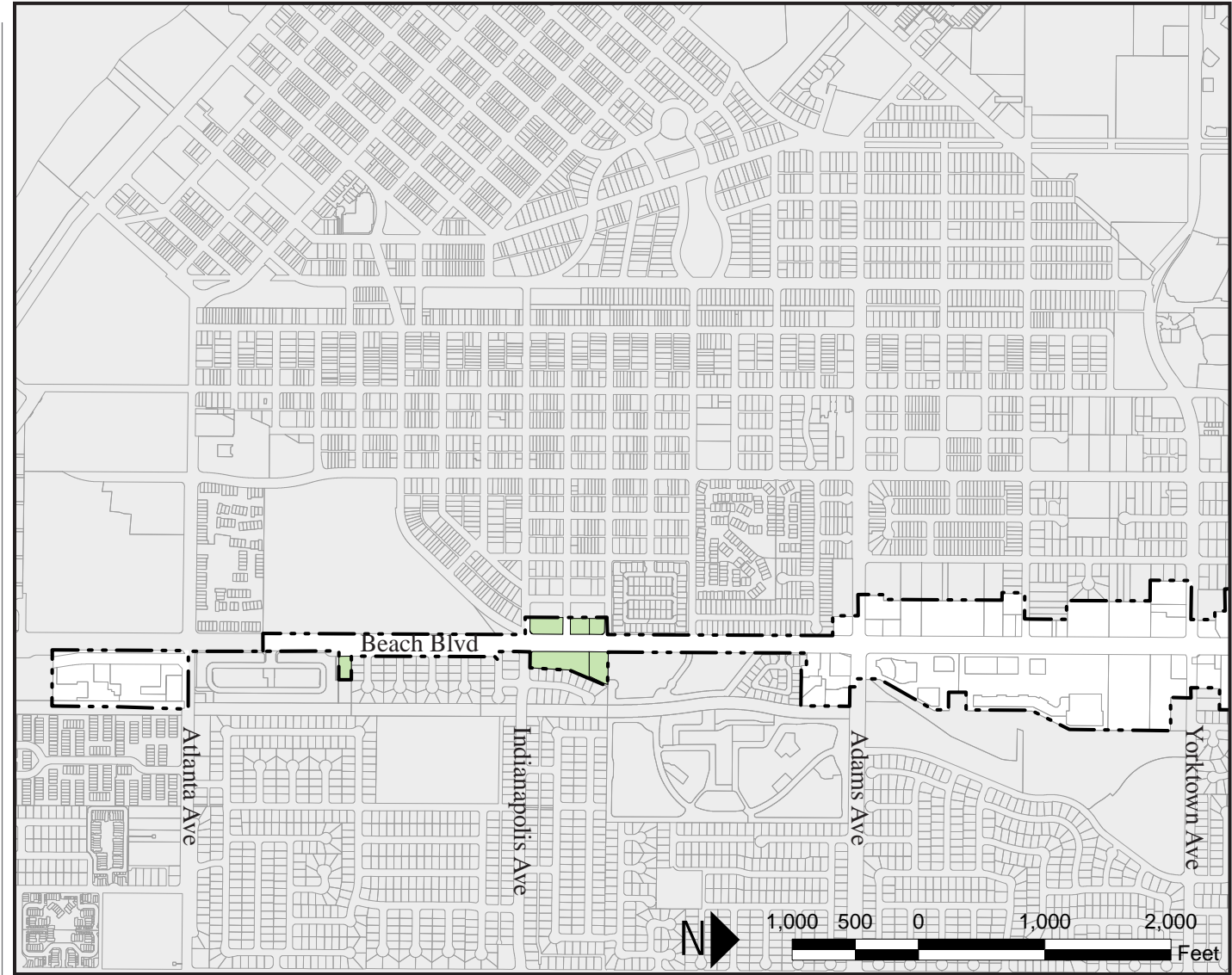
2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
1) Retail	50 s.f. / 1000 s.f. (C8)(U11)
2) Civic & Cultural	n/a
3) Office	100 s.f. / 1000 s.f. (C8)
4) Lodging	30 s.f. / room (C9)
5) Live Work	50 s.f. / unit (C9)
6) Residential	50 s.f. / unit (C9)
2.6.2 Special Public Open Space	
	n/a
2.6.3 Provision of Private Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	
a) Attached & Multi-Family	60 s.f. / unit
b) Detached Single-Family Homes	n/a
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
3) Square	permitted
4) Plaza	permitted
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.5 Setback Area Landscaping Types	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	required (L1)
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	required

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
1) Retail Anchors	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
2) Eating & Drinking Establishments	
spaces per 1000 s.f.	12 min / no max
location	within 500 feet
3) Specialty Foods / Goods	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
4) Entertainment & Recreation	
spaces per 1000 s.f.	6 min / 10 max
location	on site
5) Convenience Uses	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
6) Personal & Business Services	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
7) Presonl Enrichment Services	
spaces per 1000 s.f.	5 max (C11)
location	within 500 feet
7) Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	3 min / 5 max
location	within 500 feet
8) Civic & Cultural	
spaces per 1000 s.f.	4 min / no max
location	within 500 feet
9) Office - Professional	
spaces per 1000 s.f.	3.5 min / 4 max
location	within 500 feet
10) Office - Medical	
spaces per 1000 s.f.	4.5 min / 5.5 max
location	within 500 feet
11) Lodging	
spaces per guest room	1 min / no max
location	on site
12) Live-Work	
spaces per unit	1 min / 1 max
spaces per employee	0 min / 1 max
location	within 200 feet
13) Residential Uses	C18
spaces per studio & 1 br unit	2 min
spaces per 2br unit	2 min
spaces per 3br+unit	2.5 min
guest spaces per 10 units	5 min (0.5 per unit)
location	on site
14) Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
15) Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	--- (permitted U10)
2) Surface Lot - Side	permitted
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	--- (permitted U10)
5) Structure - Exposed	---
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required (U11)
Base	required (U11)
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	6 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	permitted (L1, L2)
maximum number of faces	2
maximum height	10 ft
secondary sign	---
bonus sign	5 ft
maximum area	50 s.f. (S4)
secondary sign	---
bonus sign	25 s.f.
Projecting Sign	permitted
maximum area	8 s.f.
Awning Face Sign	permitted
maximum area	20 % of awning face
Awning Valance Sign	permitted
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	permitted
maximum area	10% of umbrella surface
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

2.7 Parking Regulations Note: The maximum number of parking spaces permitted only applies to parking spaces that are provided in surface parking lots.





Development Standards Charts Legend:

Symbol:		(C7)	Limited to the expansion of existing uses	(L3)	On Main St.	(L8)	On Gothard St.	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types	(C8)	For development over 20,000 sf of building area	(L4)	On Ellis Ave. and Delaware St.	(L9)	On Ash St. and Cypress Ave.	
---	Not permitted	(C9)	For development over 20 dwelling units or lodging rooms	(L5)	South of Atlanta Ave.	(L10)	On Warner Ave.	
n/a	Not applicable	(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length	Use:				
required	These are required elements of all new development as indicated	(C11)	The number of spaces provided must include at least one space for each student	(U1)	For residential development with 3 or more units			
conditional	Requires a conditional use permit	(C12)	Commercial projects proposing additions greater than 20% of existing sq. footage but not exceeding 50% have the option to provide the Classic Blvd. design or a Neighborhood St. configuration with a 6' sidewalk and 6' parkway; however Classic Blvd. street lights and furnishings shall apply	(U2)	Live Entertainment and Dancing not permitted			
limited	Limitations apply as specified in section 2.4.3. Private Frontage Types		(C13)	Min. 10' setback along front and sides of building for a depth of min. 100' for structures above 3 stories	(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)		
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)	(C14)	All residential projects shall include retail/commercial at street level; deviations may be permitted subject to a CUP from PC	(U4)	Movie Theaters not permitted			
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)	(C15)	CUP from PC shall be required for all residential and mixed use: residential/commercial projects	(U5)	Ground floor Health & Exercise Clubs are conditional			
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)	(C16)	May be reduced to min. of 15' pursuant to a CUP from the PC	(U7)	Only Health & Exercise clubs			
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)	(C17)	Single story commercial buildings may be permitted to have a 15' front yard setback from primary St. and 10' front setback along secondary St. (may be reduced pursuant to a CUP from the PC	(U8)	Only Gas Stations			
(A)	Exceptions apply to anchor retail buildings		(C18)	May be provided in tandem configuration; All projects with a residential component shall submit a parking management plan subject to review and approval by the Planning and Building Dept.	(U9)	Residential Required as Shown on Map		
		(C19)	Requires a CUP from the ZA	(U10)	Auto dealers only			
					(U11)	Not applicable to new or existing auto dealers		
Special Conditions:					Signs:			
(C1)	Ground floor allowed				(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9.Signage Regulations		
(C2)	Upper floors only				(S3)	50% shall be allowable during the month of December		
(C3)	Parkway Landscaping required along Beach Blvd.				(S4)	Must occur as tower format		
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)				(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft		
(C5)	With shopfront				(S6)	Signs are restricted to corner stores only		
(C6)	Or 20% of parcel depth whichever is smaller				(S7)	Signs are permitted at entrances to multi-family buildings		
		Location:						
		(L1)	On Beach Blvd.	(L6)	Between Ellis			
		(L2)	On Edinger Ave.	(L7)	North of Ellis			

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	---
e) Specialty Goods & Foods	---
f) Entertainment & Recreation	---
g) Convenience Uses	CS
h) Business Services	CS
i) Personal Services	CS
j) Personal Enrichment Services	---
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	---
3) Office	
a) Professional Services	---
b) Medical Services	---
4) Lodging	---
5) Live Work	---
6) Residential	
a) Multi-Family w/ Common Entry	conditional (C14 & C15)
b) Multi Family w/ Individual Entries	conditional (C14 & C15)
c) Attached Single Family	conditional (C14 & C15)
d) Detached Single Family	conditional (C14 & C15)
2.2.2 Special Retail Configurations	
a) Neighborhood Center	---
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirement	
required or not required	required (U1)

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	4 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	2 story min
Across the Street From Housing	plus 2 story max
Adjacent to Housing	required
2.3.3 Building Length	
maximum	180 ft (C10)
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	120 ft (C10)
Limited Mid-Block Building - maximum	80 ft (C10)
2.3.5 Building Massing - Primary Volume Proportions	
Length : Height - Edinger/Beach/Main	3L:2H to 5L:2H
Length : Height - All other streets	2L:3H to 5L:2H

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required except (L1)
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted -U9 only
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	---
c) Arcade	---
d) Grand Portico	---
e) Forecourt	permitted
f) Common Lobby Entry	limited
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum - Beach	30 ft (C16 & C17)
minimum - all other public streets	30 ft (C16 & C17)
upper story setback	Required (C13)
2.4.4 Side Yard Setback	
min w/ living space windows	10 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	25 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	no min
minimum - all other streets	70%
2.4.8 Space Between Buildings	
minimum	20 ft
2.4.9 Build-to-Corner	
required or not required	not required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
5) Parkway	
a) Typical Configuration	required (L1)
7) Neighborhood Streets	required except (L1)
2.5.2 Provision of New Streets - (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	3000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	n/a
2.5.6 Residential Transition-Boundary Street	
required or not required	n/a
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	permitted
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood St.	permitted
5) Alley	permitted

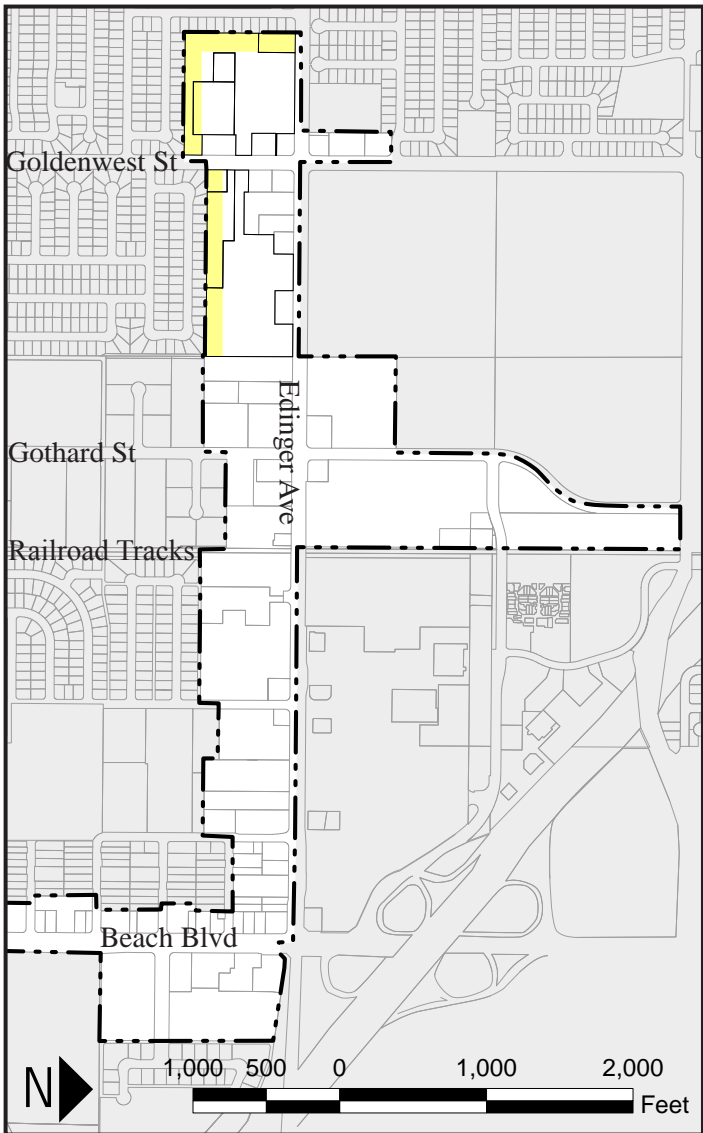
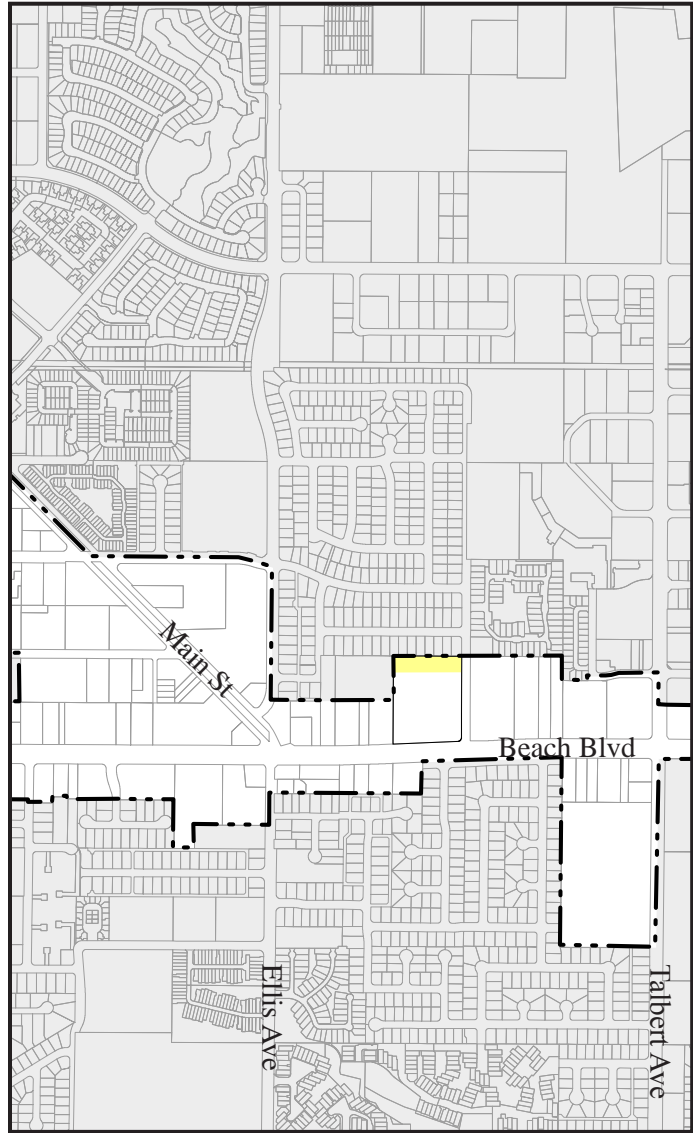
2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
1) Retail	50 s.f. / 1000 s.f. (C8)
2) Civic & Cultural	n/a
3) Office	100 s.f. / 1000 s.f. (C8)
4) Lodging	30 s.f. / room (C9)
5) Live Work	50 s.f. / unit (C9)
6) Residential	50 s.f. / unit (C9)
2.6.2 Special Public Open Space	
	n/a
2.6.3 Provision of Private Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	
a) Attached & Multi-Family	60 s.f. / unit
b) Detached Single-Family Homes	200 s.f. / unit
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
3) Square	permitted
4) Plaza	---
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.5 Setback Area Landscaping Types	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	required (L1)
c) Boulevard Landscaping	---
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
1) Retail Anchors	
spaces per 1000 s.f.	n/a
location	n/a
2) Eating & Drinking Establishments	
spaces per 1000 s.f.	n/a
location	n/a
3) Specialty Foods / Goods	
spaces per 1000 s.f.	n/a
location	n/a
4) Entertainment & Recreation	
spaces per 1000 s.f.	n/a
location	n/a
5) Convenience Uses	
spaces per 1000 s.f.	4 max
location	on street only
6) Personal & Business Services	
spaces per 1000 s.f.	5 max
location	on street only
7) Presonl Enrichment Services	
spaces per 1000 s.f.	n/a
location	n/a
7) Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
8) Civic & Cultural	
spaces per 1000 s.f.	n/a
location	n/a
9) Office - Professional	
spaces per 1000 s.f.	n/a
location	n/a
10) Office - Medical	
spaces per 1000 s.f.	n/a
location	n/a
11) Lodging	
spaces per guest room	n/a
location	n/a
12) Live-Work	
spaces per unit	n/a
spaces per employee	n/a
location	n/a
13) Residential Uses	C18
spaces per studio & 1br unit	2 min
spaces per 2br unit	2 min
spaces per 3br+unit	2.5 min
guest spaces per 10 units	5 min (0.5 per unit)
location	on site
14) Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
15) Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	res garage/driveway
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	required
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	4 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	---
maximum area	n/a
Awning Face Sign	permitted (S6)
maximum area	20 % of awning face
Awning Valance Sign	permitted (S6 & S7)
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted (S6 & S7)
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted (S6 & S7)
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted (S6 & S7)
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	---
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

2.7 Parking Regulations Note: The maximum number of parking spaces permitted only applies to parking spaces that are provided in surface parking lots.





Development Standards Charts Legend:

Symbol:	
permitted	These elements are allowed, by right, unless otherwise specified in Section 2.2.1 Use Types
---	Not permitted
n/a	Not applicable
required	These are required elements of all new development as indicated
conditional	Requires a conditional use permit
limited	Limitations apply as specified in section 2.4.3. Private Frontage Types
plus	Development shall not exceed the height of housing across the street plus the number of stories indicated (see section 2.3.2 Special Building Height Limits)
CS	Permitted in a Corner Store configuration (see section 2.2.2. Special Retail Configurations)
NC	Permitted in a Neighborhood Center configuration (see section 2.2.2. Special Retail Configurations)
PP / N-PP	Required for Priority Projects / Encouraged for Non-Priority Projects (see section 2.6.7. Stormwater BMP Types)
(A)	Exceptions apply to anchor retail buildings
Special Conditions:	
(C1)	Ground floor allowed
(C2)	Upper floors only
(C3)	Parkway Landscaping required along Beach Blvd.
(C4)	Side, and rear yards shall consist of heavy screening (see section 2.6.7)
(C5)	With shopfront
(C6)	Or 20% of parcel depth whichever is smaller

(C7)	Limited to the expansion of existing uses
(C8)	For development over 20,000 sf of building area
(C9)	For development over 20 dwelling units or lodging rooms
(C10)	Courtyard buildings may exceed the indicated length as defined in 2.3.4 Building Length
(C11)	The number of spaces provided must include at least one space for each student
(C12)	Commercial projects proposing additions greater than 20% of existing sq. footage but not exceeding 50% have the option to provide the Classic Blvd. design or a Neighborhood St. configuration with a 6' sidewalk and 6' parkway; however Classic Blvd. street lights and furnishings shall apply
(C13)	Min. 10' setback along front and sides of building for a depth of min. 100' for structures above 3 stories
(C14)	All residential projects shall include retail/commercial at street level; deviations may be permitted subject to a CUP from PC
(C15)	CUP from PC shall be required for all residential and mixed use: residential/commercial projects
(C16)	May be reduced to min. of 15' pursuant to a CUP from the PC
(C17)	Single story commercial buildings may be permitted to have a 15' front yard setback from primary St. and 10' front setback along secondary St. (may be reduced pursuant to a CUP from the PC
(C18)	May be provided in tandem configuration; All projects with a residential component shall submit a parking management plan subject to review and approval by the Planning and Building Dept.
(C19)	Requires a CUP from the ZA
Location:	
(L1)	On Beach Blvd.
(L2)	On Edinger Ave.
(L6)	Between Ellis
(L7)	North of Ellis

(L3)	On Main St.
(L4)	On Ellis Ave. and Delaware St.
(L5)	South of Atlanta Ave.
(L8)	On Gothard St.
(L9)	On Ash St. and Cypress Ave.
(L10)	On Warner Ave.
Use:	
(U1)	For residential development with 3 or more units
(U2)	Live Entertainment and Dancing not permitted
(U3)	Large Scale Specialty Goods and Foods Only (see section 2.2.1)
(U4)	Movie Theaters not permitted
(U5)	Ground floor Health & Exercise Clubs are conditional
(U7)	Only Health & Exercise clubs
(U8)	Only Gas Stations
(U9)	Residential Required as Shown on Map
(U10)	Auto dealers only
(U11)	Not applicable to new or existing auto dealers
Signs:	
(S1)	Exceptions apply for changeable copy & other sign variations, see section 2.9.Signage Regulations
(S3)	50% shall be allowable during the month of December
(S4)	Must occur as tower format
(S5)	For churches, schools, and commercial recreation uses within public parks, maximum area of 32 sqft and maximum height of 6 ft
(S6)	Signs are restricted to corner stores only
(S7)	Signs are permitted at entrances to multi-family buildings

2.2 Building Use Regulations	Standards
2.2.1 Use Types	
1) Retail	
a) Specialty Goods Anchors	---
b) Community Oriented Anchors	---
c) Entertainment Anchors	---
d) Eating & Drinking Establishments	---
e) Specialty Goods & Foods	---
f) Entertainment & Recreation	---
g) Convenience Uses	CS
h) Business Services	CS
i) Personal Services	CS
j) Personal Enrichment Services	---
k) Service Commercial & Repair	---
l) Large Scale Commercial Goods	---
m) Vehicle Sales	---
2) Civic & Cultural	
3) Office	
a) Professional Services	---
b) Medical Services	---
4) Lodging	
5) Live Work	
6) Residential	
a) Multi-Family w/ Common Entry	---
b) Multi Family w/ Individual Entries	conditional (C14 & C15)
c) Attached Single Family	conditional (C14 & C15)
d) Detached Single Family	conditional (C14 & C15)
2.2.2 Special Retail Configurations	
a) Neighborhood Center	---
b) Corner Store	permitted
c) Drive-through	---
2.2.3 Affordable Housing Requirement	
required or not required	required (U1)

2.3 Building Scale Regulations	Standards
2.3.1 Building Height	
minimum height	n/a
maximum height	3 stories
2.3.2 Special Building Height Limits	
Edinger/Beach/Main	n/a
Across the Street From Housing	n/a
Adjacent to Housing	n/a
2.3.3 Building Length	
maximum	60 ft
2.3.4 Special Building Length Limits	
Limited Corner Building - maximum	n/a
Limited Mid-Block Building - maximum	n/a
2.3.5 Building Massing - Primary Volume Proportions	
Length : Height - Edinger/Beach/Main	n/a
Length : Height - All other streets	n/a

2.4 Frontage & Building Placement Regulations	Standards
2.4.1 Building Orientation to Streets & Public Open Space	
required or not required	required
2.4.2 Private Frontage Types	
3) Private Frontage Specification	
a) Shop-Front	permitted
Shopfront Length - maximum	N/A
Tenant Length - maximum	N/A
Articulation Length - maximum	50 ft
b) Corner Entry	---
c) Arcade	---
d) Grand Portico	---
e) Forecourt	---
f) Common Lobby Entry	---
g) Stoop	permitted
h) Porch	permitted
i) Front Door	permitted
j) Edge Treatment: Fenced	permitted
k) Edge Treatment: Terraced	permitted
l) Edge Treatment: Flush	permitted
2.4.3 Front Yard Setback	
minimum - Edinger	30 ft (C16 & C17)
minimum - all other public streets	30 ft (C16 & C17)
2.4.4 Side Yard Setback	
min w/ living space windows	15 ft
min w/out living space windows	5 ft
2.4.5 Rear Yard Setback	
minimum	25 ft
2.4.6 Alley Setback	
minimum	5 ft
2.4.7 Frontage Coverage	
minimum - Edinger/Beach/Main	60%
minimum - all other streets	60%
2.4.8 Space Between Buildings	
minimum	30 ft
2.4.9 Build-to-Corner	
required or not required	not required

2.5 Street Regulations	Standards
2.5.1 Improvements to Existing Streets	
7) Neighborhood Streets	required
2.5.2 Provision of New Streets - (see section 2.5.2)	
2.5.3 Block Size	
Maximum Block Size	2000 ft
Maximum Edinger Block Face	n/a
2.5.4 Street Connectivity	
required or not required	required
2.5.5 Required East-West Street Connection	
required or not required	required
2.5.6 Residential Transition-Boundary Street	
required or not required	required
2.5.7 Street Types (New Street Design)	
1) City Street	---
2) Public Open Space w/ City Street	---
3) Neighborhood Street	permitted
4) Public Open Space w/ Neighborhood St.	permitted
5) Alley	permitted

2.6 Open Space Regulations	Standards
2.6.1 Provision of Public Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	50 s.f. / unit (C9)
2.6.2 Special Public Open Space	
	n/a
2.6.3 Provision of Private Open Space	
1) Retail	n/a
2) Civic & Cultural	n/a
3) Office	n/a
4) Lodging	n/a
5) Live Work	n/a
6) Residential	
a) Attached & Multi-Family	60 s.f. / unit
b) Detached Single-Family Homes	200 s.f. / unit
2.6.4 Public Open Space Types	
1) Park	permitted
2) Linear Green	permitted
3) Square	permitted
4) Plaza	---
5) Mid-Block Green	permitted
6) Courtyard Plaza	permitted
7) Passage/Paseo	permitted
8) Pocket Park/Playground	permitted
2.6.5 Private Open Space Types	
1) Courtyard	permitted
2) Private Yard	permitted
3) Porch	permitted
4) Rooftop Deck or Garden	permitted
5) Balcony	permitted
2.6.6 Stormwater Management Best Management Practices	
required or not required	required
2.6.7 Stormwater BMP Types	
Source Control BMPs	required
Site Design BMPs	required
Treatment Control BMPs	PP / N-PP
2.6.8 Open Space Landscaping	
required or not required	required
2.6.5 Setback Area Landscaping Types	
1) Perimeter Block Setback Areas	
a) Sidewalk Extension	---
b) Parkway Landscaping	---
c) Boulevard Landscaping	required (L2)
d) Neighborhood Street Landscaping	permitted
2) Interior Block Setback Areas	
a) Groundcover	required
b & c) Moderate or Heavy Screening	permitted

2.7 Parking Regulations	Standards
2.7.1 Provision of Parking	
1) Retail Anchors	
spaces per 1000 s.f.	n/a
location	n/a
2) Eating & Drinking Establishments	
spaces per 1000 s.f.	n/a
location	n/a
3) Specialty Foods / Goods	
spaces per 1000 s.f.	n/a
location	n/a
4) Entertainment & Recreation	
spaces per 1000 s.f.	n/a
location	n/a
5) Convenience Uses	
spaces per 1000 s.f.	4 max
location	on street only
6) Personal & Business Services	
spaces per 1000 s.f.	5 max
location	on street only
7) Presonl Enrichment Services	
spaces per 1000 s.f.	n/a
location	n/a
7) Commercial Goods & Vehicle Sales	
spaces per 1000 s.f.	n/a
location	n/a
8) Civic & Cultural	
spaces per 1000 s.f.	n/a
location	n/a
9) Office - Professional	
spaces per 1000 s.f.	n/a
location	n/a
10) Office - Medical	
spaces per 1000 s.f.	n/a
location	n/a
11) Lodging	
spaces per guest room	n/a
location	n/a
12) Live-Work	
spaces per unit	n/a
spaces per employee	n/a
location	n/a
13) Residential Uses	C18
spaces per studio & 1 br unit	2 min
spaces per 2br unit	2 min
spaces per 3br+unit	2.5 min
guest spaces per 10 units	5 min (0.5 per unit)
location	on site
14) Neighborhood Center Exceptions	
spaces per 1000 s.f.	0 min / 3 max
15) Corner Store Exceptions	
spaces per 1000 s.f.	0 min
location	on street only
2.7.2 Parking Types	
1) Surface Lot - Front	---
2) Surface Lot - Side	---
3) Surface Lot - Rear	permitted
4) Surface Lot - Exposed	---
5) Structure - Exposed	res garage/driveway
6) Structure - Wrapped: Ground Level	---
7) Structure - Wrapped: All Levels	permitted
8) Partially Submerged Podium	permitted
9) Structure - Underground	permitted

2.8 Architecture Regulations	Standards
2.8.1 Facade Height Articulation Regulations	
Top	required
Base	---
2.9 Signage Regulations	Standards
2.9.1 Freestanding Sign Setbacks	(see section 2.9.1)
2.9.2 Total Sign Area	(see section 2.9.2)
2.9.3 Sign Type Regulations	
Grand Projecting Sign	---
maximum height	n/a
Marquee Sign	---
maximum number of faces	n/a
maximum area	n/a
Wall Sign	permitted (S6)
maximum size	200 s.f. (S1 & S5)
Monument Sign & Ground Sign	permitted
maximum number of faces	2
maximum height	4 ft
maximum area	32 s.f. (S1)
secondary sign	---
bonus sign	---
Pole Mounted Sign & Tower Sign	---
maximum number of faces	n/a
maximum height	n/a
secondary sign	n/a
bonus sign	n/a
maximum area	n/a
secondary sign	n/a
bonus sign	n/a
Projecting Sign	---
maximum area	n/a
Awning Face Sign	permitted (S6)
maximum area	20 % of awning face
Awning Valance Sign	permitted (S6 & S7)
lines of lettering	1
letter height (whichever is less)	2/3 valance height : 8 in
Awning Side Sign	permitted (S6 & S7)
lines of lettering	1
letter height	8 in
Canopy Fascia Sign	permitted (S6 & S7)
maximum height (whichever is less)	2/3 fascia height : 12 in
maximum width	2/3 canopy width
lines of lettering	1
Above Canopy Sign	permitted (S6 & S7)
maximum height (whichever is less)	1 1/2 fascia height : 24 in
maximum width	2/3 canopy width
lines of lettering	1
Café Umbrella Sign	---
maximum area	n/a
Recessed Entry Sign	permitted
maximum area	20 s.f.
Window Sign	permitted
maximum area	20% of window (S3)

2.7 Parking Regulations Note: The maximum number of parking spaces permitted only applies to parking spaces that are provided in surface parking lots.



## 2.2 BUILDING USE REGULATIONS

For the purposes of this Plan, all permitted and conditionally permitted building uses have been classified into Use Types. Each Use Type is defined in text below and includes uses such as those listed in the accompanying Use Charts. The Use Charts include specific permitted, conditional and prohibited uses for each Use Type.

Uses listed as “*permitted*” in the Development Standards Charts are further regulated herein and are defined as uses permitted by right subject to approval of a Site Plan Review. Uses listed as *conditional* in this section are defined as those which require special consideration either of their impacts on the neighborhood and land uses in the vicinity and/or of their physical organization and design. A conditional use shall be considered for approval if the proposed use conforms with all requirements specified in the conditional use policy, and if it conforms with the goals and vision of the Plan.

All permitted uses for a single Center or Segment are allowed either alone or in combination with any other permitted uses within a parcel. Proposed uses that are not explicitly listed in the Use Charts may be permitted if it is determined by the Planning Director that the proposed uses meet the purpose and intent of the Plan.

Legend:

--	Not Permitted
●	Included Use: these uses are allowed by right, subject to Site Plan Review.
ZA	Requires Conditional Use Permit approval by Zoning Administrator

### 2.2.1 Use Types

#### 1) Retail

- i) General Retail Requirements
- (1) Minimum interior height for ground level retail of all types is fourteen (14) feet from floor to ceiling. Use conversions in an existing building may not be required to meet this requirement.

(2) Any uses featuring outdoor sales or outdoor storage not clearly ancillary to use shall require a Conditional Use Permit.

(3) All building uses with alcohol sales and/or service require Conditional Use Permit approval by the Zoning Administrator. However, the following businesses proposing to sell alcoholic beverages for on-site or off-site consumption are exempt from the conditional use permit process:

(a) Retail uses with no more than 10% of the floor area devoted to sales, display, and storage of alcoholic beverages provided the sale of alcoholic beverages is not in conjunction with the sale of gasoline or other motor vehicle fuel.

(b) Restaurants, bars, and liquor stores located 300 feet or more from any R or PS district, public or private school, church, or public use.

(c) Florist shops offering the sale of a bottle of an alcoholic beverage together with a floral arrangement.

a) Specialty Goods Anchors

Definition: A “regional destination” non-food retail store that is at least 30,000 square feet in size and is a proven generator of significant pedestrian traffic and sales such as those listed.	Department stores	●
	General merchandise stores	●
	Book superstores	●
	Electronics superstores	●
	Quality home department superstores	●

b) Community Oriented Anchors		
Definition: A “local destination” convenience store that is at least 15,000 square feet in size and is a proven generator of pedestrian traffic and sales such as those listed	Supermarkets	●
	Specialty food markets	●
	Pharmacies & convenience superstores	●
	Community oriented anchors over 65,000 s.f.	c

c) Entertainment Anchors

Definition: An Establishment providing resources or activities for exercise, relaxation, or enjoyment that is at least 15,000 square feet in size and is a proven generator of significant pedestrian traffic and sales such as those listed.	Movie theaters	c
---	----------------	---

d) Eating & Drinking Establishments

Definition: Restaurants, bars, clubs, or other drinking/entertainment establishments such as those listed.	Full service	●
	w/ Outdoor dining	●
	w/ Live entertainment	c
	w/ Dancing	c
	w/ Alcohol	ZA
	Vendor carts, spaces, or stands	●
	Adult entertainment facilities	--

Special Conditions for Eating & Drinking Establishments

- (1) Vendor Carts, spaces, or stands within the public right-of-way shall require a conditional use permit.

(2) Chairs and tables for outdoor dining shall be permitted on sidewalks within the setbacks zone and within the public right-of-way provided that:

(a) The use maintains a minimum five-foot wide unobstructed portion of sidewalk corridor which is clear and unimpeded for pedestrian traffic.

(b) The use keeps the full width of the building entrance clear and unimpeded for building access.

e) Specialty Goods & Foods

Definition: General retail establishments selling quality/specialty goods such as those listed.	Apparel & accessory stores	●
	Book stores	●
Large Scale Goods: goods that, due to their size, may require close access by cars and trucks such as appliances, electronics, sporting goods, furniture, and home furnishings	Art galleries	●
	Open air markets	●
	Second hand / antique stores	●
	Appliance & electronics stores	●
	Sporting goods stores	●
	Furniture & home furnishings stores	●

f) Commercial Recreation & Entertainment

Definition: Establishments providing resources or activities for exercise, relaxation, or enjoyment such as those listed.	Small scale movie theaters	c
	Bowling centers & billiard parlors	c
	Health & exercise clubs	c
	Amusement arcades	c

g) Convenience Uses		
Definition: Small buisnesses selling food and goods, or providing convenience services, to serve nearby residential neighborhoods such as those listed.	Small scale pharmacies	●
	Small scale grocery or food sales	●
	Convenience stores	●
	Delicatessens, cafes, bakeries	●
	Florists	●
	Hardware stores / lock & key shops	●
	Video rentals	●
	Eating & drinking establishments w/ less than 12 seats	●

h) Business Services

Definition: Small to medium sized businesses providing services to local businesses and residents such as those listed.	Banks	●
	Mail / shipping services	●
	Office supply	●
	Photo copying & printing	●
Special Conditions for Business Services	Financial services	c

- (1) Financial services shall be permitted in this category providing that they are offer services that cater to and generate pedestrian traffic. Other financial services uses are to be considered under “3) Office,” in this section.

i) Personal Services

Definition: Small to medium sized businesses providing services to local households such as those listed.	Barber shops / hair & nail salons	●
	Tanning salons & spas	●
	Yoga & karate studios	●
	Dry cleaning establishments	●
	Self service laundromats	●

j) Personal Enrichment Services

Definition: Provision of instructional services or facilities	Driver education	●
	Yoga, dance, martial arts, or other fitness studios	●
	Fine arts & crafts	●

k) Service Commercial & Repair

Definition: Businesses providing services to industry, services that are industrial in nature, or services that are best suited to an auto-oriented environment such as those listed	Plumbing services	●
	Vacum cleaner, sewing, and appliance repair	●
	Gas stations	c

l) Large Scale Commercial Goods

Definition: Businesses whose primary activity is the sale or repair of large scale / commercial goods that are not particularly well suited to pedestrian districts and that require close access by cars and trucks such as those listed	Warehouse retail	●
	Equipment retail	●
	Construction supply	●
	Restaurant supply	●
	Auto supply stores	●

m) Vehicle Sales		
Definition: Businesses that sell any kind of motorized vehicle such as those listed.	Motor vehicle sales	●

2) Civic and Cultural		
Definition: Services (including education and utilities), cultural institutions, and recreational facilities made available to the general public for free or at a reasonable cost such as those listed.	Religious assembly	c
	Baseball, football, soccer, tennis, and other sports feilds and courts	c
	Community centers	c
	Educational facilities	c
	Indoor public recreation facilities	c
	Libraries	c
	Exhibition, convention, or conference centers	c
	City halls	c
	Hospitals	c
	Courthouses	c
	Museums	c
	Performing arts facilities	c
	Stadiums, not including stadiums for professional sports teams	c
	Swimming pools	c
	Post offices	c
	Transit facilities, terminals, & stations	c
	Police stations & fire stations	c

3) Office		
a) Professional Services		
Definition: Workplace uses including professional, administrative, research and development, financial, and educational activities for businesses, individuals, and non-profit organizations such as those listed.	Research & development offices	●
	Educational & institutional offices	●
	Print & electronic media offices (newspaper, magazine, radio, television)	●
	Data or telecommunications offices	●
	Any other professional, executive, or administrative office use	●

b) Medical Services		
Definition: Medical workplace uses and establishments with employees with medical licenses such as those listed.	Medical & dental offices or facilities	●
	Indoor veterinary clinics	●
	Acupuncture, physical therapy, chiropractor	●
	Psychiatric	●
	Mortuary services	●

4) Lodging		
Definition: Short-term commercial lodging facilities such as those listed	Bed & breakfast guest houses	●
	Hostels	●
	Hotels & motels	●

5) Live-work		
Definition: A dwelling unit in which the occupant conducts a home-based business or enterprise	Live-work units	●
i) Special Conditions for Live-Work		
(1) Work activities that require hazardous assembly, including fabrication, manufacturing, repair; or processing operations such as welding and woodworking; or venues including the handling of animals shall require a Conditional Use Permit		
(2) The maximum number of employees not including the owner/occupant is limited to two per unit.		
(3) Once established, Live-Work may not be converted to a solely commercial or business use. However, Live-Work units may revert to solely residential use.		

6) Residential		
Definition: All owner- and renter-occupied dwelling units, including attached and detached houses, multi-unit buildings, manufactured and mobile homes.		
a) Multi-family with Common Lobby Entry		
Definition: Buildings designed as a residence for multiple households where some dwelling units are accessed from a common lobby entry or shared hallway		
	Dwelling units, primary, two or more households per structure	c

b) Multi-family with Individual Entry		
Definition: Buildings designed as a residence for multiple households where all dwelling units have a dedicated entrance accessed directly from a public sidewalk.		
	Dwelling units, primary, two or more households per structure	c

c) Attached Single-Family Homes		
Definition: Attached homes on separate parcels sharing common walls with each home featuring an entrance accessed directly from a public sidewalk	Dwelling units, accessory	●
	Dwelling units, primary, one houshold per structure	c

d) Detached Single-Family Homes		
Definition: A detached building designed as a residence for one household.	Dwelling units, accessory	●
	Dwelling units, primary, one housholds per structure	c

## 2.2.2 Special Retail Configurations

**1) Definition**  
Special Retail Configurations limit the size of individual tenants and the total amount of retail permitted for Neighborhood Center and Corner Store retail “clusters” as well as the provision of drive-through services.

**2) Regulation**  
i) Where retail is permitted as part of a Neighborhood Center, Corner Store, or drive-through it shall conform to the following size and location requirements.

- a) *Neighborhood Center***  
Definition: A retail cluster (two or more abutting retail establishments) consisting of (permitted) convenience uses, small-scale shopping, and personal services that provide goods and services amenities to nearby residential neighborhoods.
- i) Special Conditions for Neighborhood Serving Retail
- (1) Limited to a maximum of two community oriented anchors.
  - (2) Limited to a maximum of 25,000 square feet of non-anchor retail.
  - (3) Limited to a maximum size of 5,000 square feet per Eating and Drinking establishments.
  - (4) Conditional Use Permit: Development including non-anchored retail uses exceeding a total of 25,000 square feet

- b) *Corner Store***  
Definition: A small store or cluster of stores integrated into a larger building on the corner of a city block. Corner Stores consist of (permitted) convenience uses, small-scale shopping, and personal services that serve homes or businesses located within easy walking distance.
- i) Special Conditions for Corner Store Retail
- (1) A maximum size of 2,500 square feet per use.
  - (2) A maximum size of 5,000 square feet total per cluster.
  - (3) Conditional Use Permit: Individual uses larger than 2,500 square feet. provided that the use is unique and not already provided within one (1) mile trade area.
  - (4) Corner Store Retail must be located on the corner of a block, and the entrance must face a public street, square, or plaza space.
- ii) Parking spaces intended for Corner Store Uses must be located on streets. Off-street parking is discouraged for corner store and shall require a conditional use permit.

**c) *Drive-Through***  
Definition: Service from a building to persons in vehicles through an outdoor service window.



### 2.2.3 Affordable Housing Requirement

This section contains standard and guidelines to ensure that affordable housing is provided throughout the Specific Plan area, consistent with the City’s General Plan Housing Element.

#### 1) Regulation

##### a) General

This section shall apply to new residential projects three (3) or more units in size.

##### b) Requirements

- i) A minimum of 10 percent of all new residential construction shall be affordable housing units, unless the project is within the redevelopment project area, in which case the equivalent of 15 percent of all new residential construction shall be affordable housing units.
- ii) For sale units included in the project shall be made available to moderate income households as defined by California Health and Safety Code Section 50093, or a successor statute.
- iii) Developers of residential projects may elect to pay a fee in lieu of providing the units on-site to fulfill the requirement of this section as allowed and pursuant to the requirements of Section 230.26 of the Huntington Beach Zoning and Subdivision Ordinance.
- iv) Developers of residential projects may elect to provide the affordable units at an off-site location. If affordable units are off-site, they must be under the full control of the applicant, or other approved party and must be located within the Beach Edinger Corridors Specific Plan area boundary.
- v) New residential projects shall include construction of an entirely new project or new units added to an existing project. For purposes of determining the required number of affordable housing units, only new units shall be counted.

##### c) Off-site Construction of Affordable Units

- i) Except as may be required by California Government Code Section 65590 or a successor statute, developers may provide the required affordable housing off-site, at one or several sites, within the City of Huntington Beach in the Beach Edinger Corridors Specific Plan area.
- ii) Off-site projects may be new construction or substantial rehabilitation, as defined by the Code Section 33413 affordable housing production requirements, of existing non-restricted units conditioned upon being restricted to long-term affordability. “At Risk” units identified in the Housing Element or mobile homes may be used to satisfy this requirement.
- iii) All affordable off-site housing shall be constructed or rehabilitated prior to or concurrently with the primary project. Final approval (occupancy) of the first market rate residential units shall be contingent upon the completion and public availability, or evidence of the applicant’s reasonable progress towards attainment of completion, or the affordable units.

##### d) Miscellaneous Provisions

- i) The conditions of approval for any project that requires affordable units shall

specify the following items:

- (1) The number of affordable units;
- (2) The number of units at each income level as defined by the California Health and Safety Code; and
- (3) A list of any other incentives offered by the City.
- ii) An Affordable Housing Agreement outlining all aspects of the affordable housing provisions shall be executed between the applicant and the City and recorded with the Orange County Recorder’s Office prior to issuance of the first building permit.
- iii) The Agreement shall specify an affordability term as specified by Section 230.26 of the Huntington Beach Zoning and Subdivision Ordinance.
- iv) All affordable on-site units in a project shall be constructed concurrently with or prior to the construction of the primary project units unless otherwise approved through a phasing plan. Final approval (occupancy) of the first market rate residential units shall be contingent upon the completion and public availability, or evidence of the applicant’s reasonable progress towards attainment of completion, of the affordable units.
- v) All affordable units shall be reasonably dispersed throughout the project unless otherwise designed through a master plan, shall contain on average the same number of bedrooms as the market rate units in the project and shall be comparable with the market rate units in terms of exterior appearance, materials and finished quality.
- vi) New affordable units shall be occupied in the following manner:
  - (1) If residential rental units are being demolished and the existing tenant(s) meets the eligibility requirements, he/she shall be given the right of first refusal to occupy the affordable units(s); or
  - (2) If there are no qualified tenants, or if the qualified tenant(s) chooses not to exercise the right of first refusal, or if no demolition of residential rental units occurs, then qualified households or buyers will be selected.

##### e) Price of Affordable Units

Affordable housing cost shall be calculated in accordance with the Code Section 50052.5 standards for ownership units and Code Section 50053 standards for rental units.

##### f) Reduced Fees for Affordable Housing

Projects that exceed inclusionary requirements on-site will be eligible for reduced City fees, pursuant to an Affordable Housing Fee Reduction Ordinance, upon adoption by the City Council.

##### g) Density Bonus Incentives

Projects that meet the affordability provisions of Section 230.14 of the Huntington Beach Zoning and Subdivision Ordinance for density bonus shall be granted an incentive(s) or concession(s) pursuant to Section 230.14.

### 2.2.4 Affordable Housing Overlay

#### 1) Regulations

##### a) General

- i) This section shall apply to new residential projects proposing a minimum of 20 percent of the dwelling units affordable to lower income households as defined by California Health and Safety Code Section 50079.5, or a successor statute, on sites designated within the Affordable Housing Overlay.
- ii) For purposes of calculating the number of affordable units required, resulting fractional units shall be rounded up to the nearest whole number.
- iii) All affordable units shall be provided on-site.
- iv) The affordable housing provisions of Section 2.2.3 d), e), f) and g) shall apply to all residential projects proposed pursuant to this section.
- v) Residential projects proposed pursuant to this section shall not be subject to the residential MAND specified in Section 2.1.1. Residential development within the Overlay shall allow for the construction of 413 lower income units.

##### b) Development Standards

- i) Residential projects proposed pursuant to this section shall be permitted by right and a Site Plan Review application shall be submitted for review by the Department of Community Development.
- ii) There shall be no requirement for commercial uses or square footage in residential projects proposed pursuant to this section.
- iii) On-site parking shall be required as follows:

Studio/1-bedroom:	1 space per unit
2 bedrooms:	2 spaces per unit
3 or more bedrooms:	2.5 spaces per unit
Guests:	0.5 space per unit
- iv) Except as permitted in this subsection, all other development standards specified in the applicable specific plan segment shall apply.

##### c) Miscellaneous Provisions

The regulations of this section shall not apply to residential projects on sites within the Affordable Housing Overlay that do not provide at least 20 percent affordable lower income units on-site. In addition, all of the following shall apply:

- (1) The residential MAND as specified in Section 2.1.1;
- (2) The affordable housing requirements of Section 2.2.3; and
- (3) All other requirements of this specific plan.

2.3 BUILDING SCALE REGULATIONS

2.3.1 Building Height

1) Definition

Building height is defined as the vertical extent of a structure as measured from finished grade to the top of cornice, parapet, or eave line of a peaked roof. Height for buildings with mansard roofs shall be measured from finished grade to the top of the mansard roof ridge line.

2) Regulation

a) General

- i) Height for buildings is regulated by the number of stories permitted (see Fig.2.3.1 Building Height). New structures must conform to the minimum and maximum number of stories as specified in section 2.1 – Development Standards.
- ii) Story Vertical Height Dimensions: Story heights shall not exceed twelve (12) feet from interior finished floor to ceiling. Ground floor retail, office, hotel or residential lobby use may not exceed sixteen (16) feet from floor to ceiling. Ground floor retail must be a minimum of fourteen (14) feet from floor to ceiling.
- iii) Inhabitable floor area located in attics shall be counted as stories.
- iv) Mezzanines covering more than one third of the space of a story shall be counted as stories.
- v) The number of stories shall include all stories located above the finished grade.
- vi) Parking podiums that extend more than five (5) feet above finished grade shall be counted as a story.
- vii) Rooftop equipment must be set back a minimum of ten (10) feet from building walls, screened on all sides, and integrated into the overall building design.

b) Exceptions

- i) Habitable attics, inhabited spaces located above a roof’s eave line, are only permitted for detached single-family homes.
- ii) Portions of the building that extend above the primary building mass, such as dormers, roof-top cupolas, elevator and mechanical equipment enclosures, roof deck trellises, gazebos, and other special features, shall not exceed the maximum height requirement by more than ten (10) feet.
- iii) Accessory buildings, including non-dwelling units such as freestanding garages for individual residential units, service structures and tool sheds, shall not exceed one and one-half stories or fourteen (14) feet.
- iv) Towers and other prominent special architectural features shall not exceed the permitted maximum height by more than twenty (20) feet.

+

2.3.2 Special Building Height Limits

1) Along Edinger Ave. / Beach Blvd. / Main St.

The height of development along Edinger Ave., Beach Blvd, and Main St. shall be limited for a distance of sixty-five (65) feet measured from the Back-of-Sidewalk as shown in Fig. “2.3.2. Special Building Height Limits – 1) /Edinger Ave. /Beach Blvd/ Main St” (to locate Back-of-Sidewalk see section 2.4.2.b).

2) Across the Street From Housing

The height of new development (excluding Edinger Ave., Beach Blvd., or Main St. block faces) across the street from existing, approved, or zoned residential buildings three (3) floors tall or less shall not exceed the height of the lowest building along the block face by the number of stories specified in section 2.1 – Development Standards within sixty-five (65) feet of the Back-of-Sidewalk as shown in Fig.2.3.2 “Special Building Height Limits – 2) Across the Street From Housing” (to locate Back-of-Sidewalk see section 2.4.2.b).

3) Adjacent to Housing

- i) The height of new development on a parcel abutting a parcel with existing, approved, or zoned residential buildings three (3) floors tall or less shall be limited as follows and shown in Fig. 2.3.2. Special Building Height Limits – 3) Adjacent to Housing:
  - (1) Originating at a height of one (1) floor above the height of the adjacent building’s eave line
  - (2) Extending through a point located along the new development’s side façade.
  - (3) With a forty-five (45) degree slope (creating a one (1) to one (1) height to stepback relationship).
- ii) The height of new development shall not exceed a line

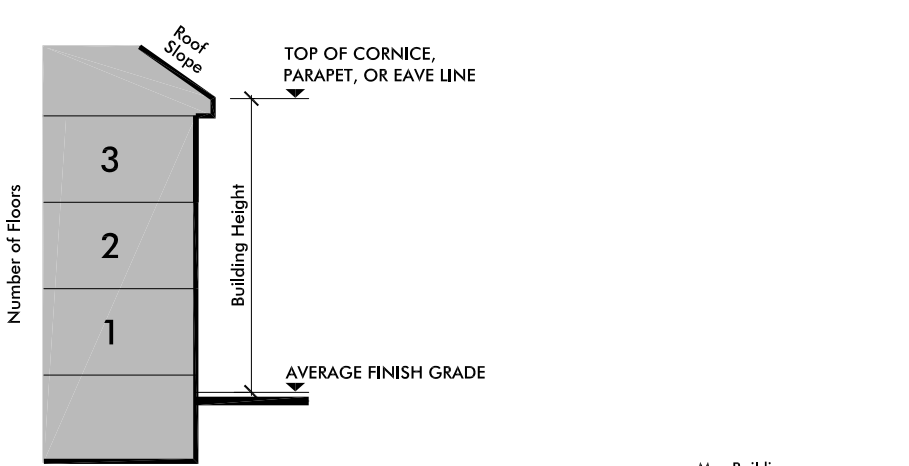


Fig.2.3.1 Building Height

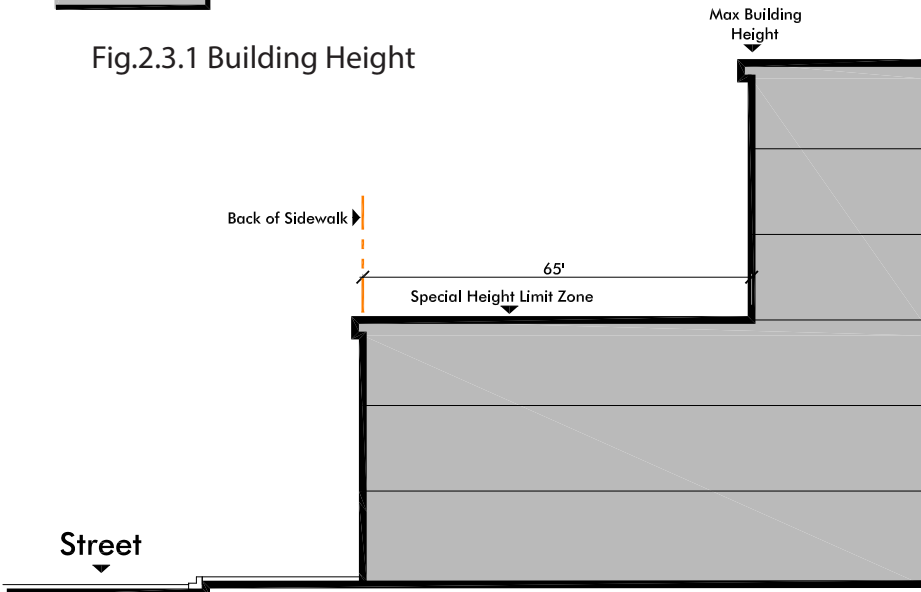


Fig.2.3.2 Special Building Height Limits - 1) Edinger Ave. / Beach Blvd. / Main St. and 2) Across the Street From Housing

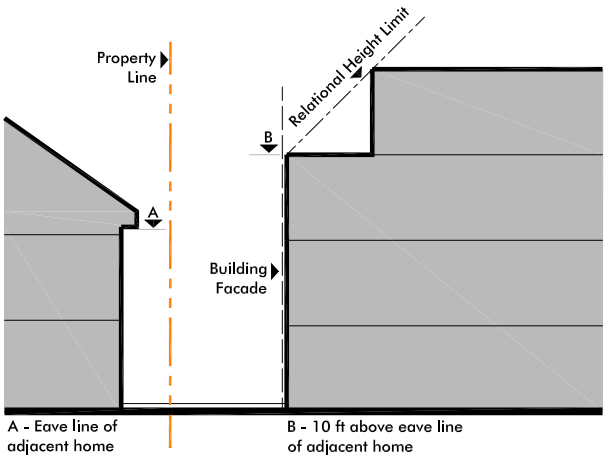


Fig.2.3.2. Special Building Height Limits - 3) Adjacent to Housing



2.3.3 Building Length

1) Definition

Building length is defined as the total length of a primary building mass lining a street or open space as shown in Fig.2.3.3 Building Length.

2) Regulation

- i) New buildings shall not exceed the specified Maximum Length as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) A developer may build multiple buildings, each with an individual length that does not exceed the Maximum Building Length.

3) Exceptions

- (1) Where specified in section 2.1. – Development Standards, building volumes shall be measured as separate buildings as shown in Fig.2.3.3. Building Length if they are separated by:
  - (a) A Paseo (see section 2.6.4 – Open Space Types for the definition of a Paseo).
  - (b) A forecourt with a minimum depth of forty (40) feet.

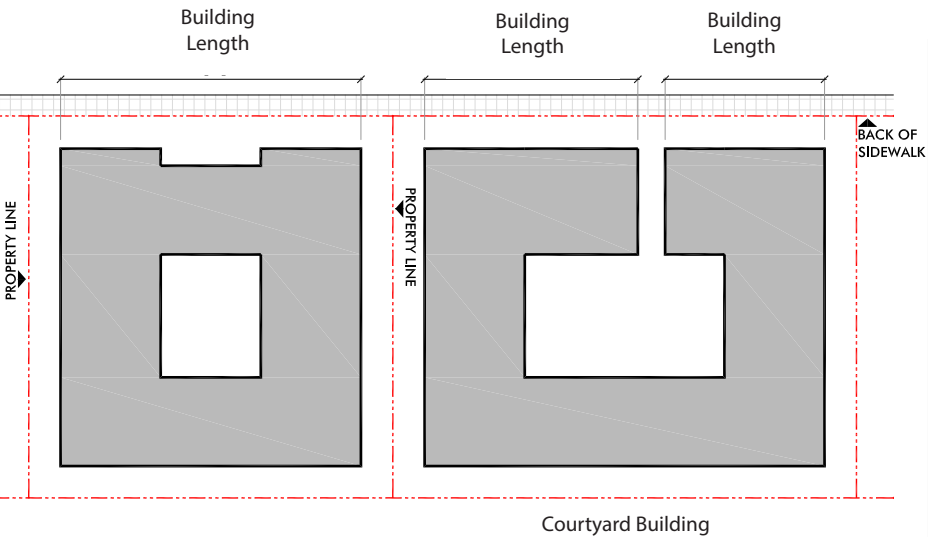


Fig.2.3.3 Building Length

2.3.4 Special Building Length Limits

1) Definition

Special Building Length Limits apply to new development along any block face (excluding Edinger Ave., Beach Blvd., or Main St. block faces) where there are existing or proposed residential buildings with front facades shorter than sixty (60) feet as shown in Fig.2.3.4 Special Building Length Limits.

2) Limited Corner Buildings

The maximum length of buildings that extend to the corner of the block shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

3) Limited Mid-Block Buildings

The maximum length of Limited Mid-Block Buildings that do not extend to the corner of the block shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

- A - Residential building with a front facade shorter than 60 feet
- B - Limited Mid-Block Building
- C - Limited Corner Building
- D - Public Open Space
- X - Special Building Length Limits Do Not Apply

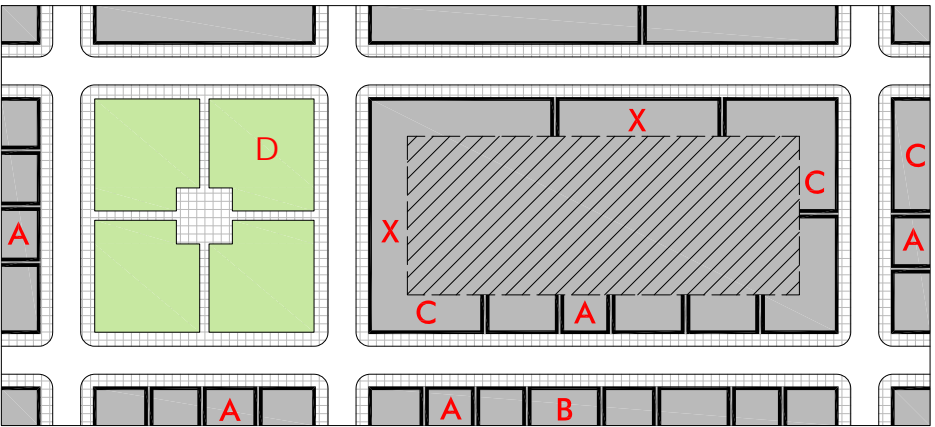


Fig.2.3.4 Special Building Length Limits

### 2.3.5 Building Massing

#### 1) Definition

- i) A building's visual or apparent mass consists of one or more individual 3-dimensional volumes.
- ii) A primary volume is a 3-dimensional volume that extends the entire height of a building (it does not include porches, bay windows, or other sub-volumes).
- iii) A Primary Volume's proportions are the ratio of the length of the volume relative to its height as shown in Fig.2.3.5 Building Mass Proportions.

#### 2) Regulation

- i) Buildings shall be composed of at least one Primary Volume that conforms to Building Massing regulations. The Primary Volume must be the longest volume on the building.
- ii) The range of proportions permitted for Primary Volumes shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- iii) See section 2.8. – Architecture Regulations for additional façade articulation requirements and regulations related to architectural elements.

#### 3) Building Massing Elements

Primary Volumes shall be defined with the following elements:

##### a) Major Façade Offset

- i) A Major Façade Offset is a substantial vertical plane break in a façade.
- ii) The depth of a Major Façade Offset shall be a minimum of five (5) percent of the width of the largest adjacent horizontal façade segment.

##### b) Notch

- i) A Notch is a substantial recess in a façade.
- ii) The width of a façade notch shall be a minimum of five (5) feet. The depth of the notch shall be a minimum of three (3) feet.

##### c) Façade Composition Change

- i) A Façade Composition Change is a substantial change in architectural elements on adjacent segments of an otherwise flat façade. The result is the impression of separate volumes.
- ii) To qualify as a Façade Composition Change, adjacent volumes shall feature a changed roof form and/or height variation in addition to one of the following:
  - (1) Incorporate a prominent central feature or sub-volume such as a balcony, bay window, porch, or portico.
  - (2) Feature changed wall cladding materials/colors
  - (3) Feature changed window pattern/form
- iii) Utilizing a vertical expression line such as a pier, molding, downspout, minor façade offset, or butt joint simulating a party wall between adjacent volumes is recommended.

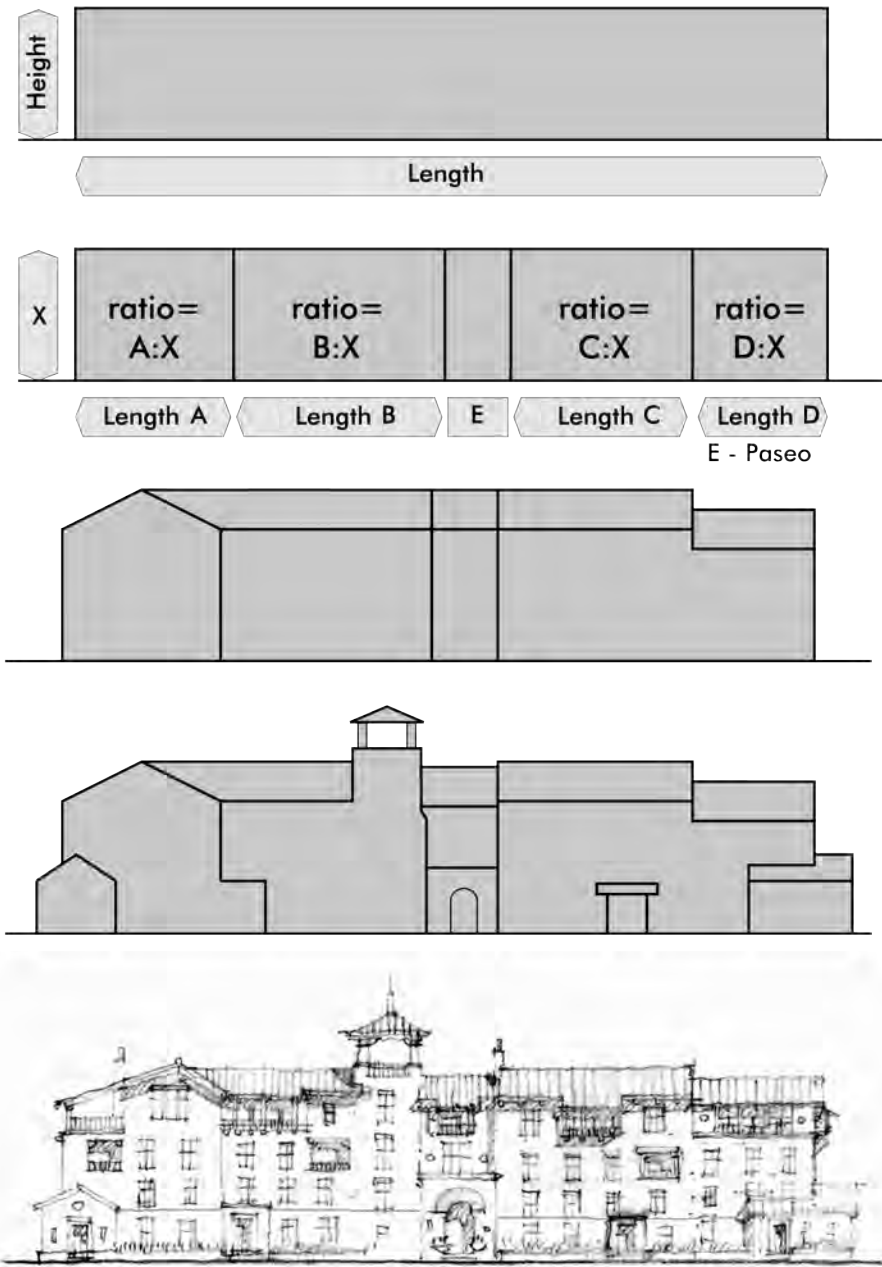


Fig.2.3.5 Building Massing Proportions

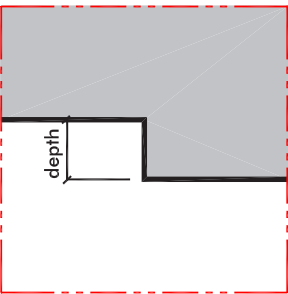
• Building Envelope

• Primary Volumes

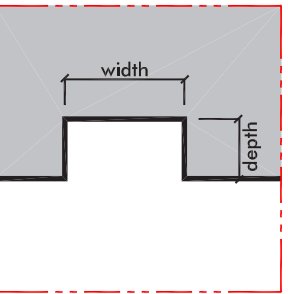
• Introduce Roofs

• Introduce Porches and other sub volumes

• Resulting Building Elevations



a) Facade Offset - Plan View



b) Notch - Plan View

Fig.2.3.5 Building Massing - 3) Elements



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## 2.4 FRONTAGE & BUILDING PLACEMENT REGULATIONS

### 2.4.1 Building Orientation to Streets and Public Open Spaces

#### 1) Definition

A building is oriented to a street or public open space if it has a building entrance configured as a Private Frontage Type that faces that street or open space, as shown in Fig.2.4.1 Building Orientation to Streets and Public Open Spaces.

#### 2) Regulation

##### a) General

- i) Where building orientation to streets and public open spaces is required, all buildings shall have primary entrances that face and open directly on to publicly accessible streets or public open spaces.
- ii) In instances where a choice must be made between orientation toward a primary public street or a public open space, the primary public street should be given precedence.
- iii) Parking structures, garages, carriage houses, and accessory buildings are permitted and should be located along alleys and not along streets or public open spaces.

##### b) Corner Parcels

Buildings on Corner Parcels shall have an entrance(s) oriented towards at least one street or incorporated into a Corner Entry Private Frontage Type (see section 2.4.3).

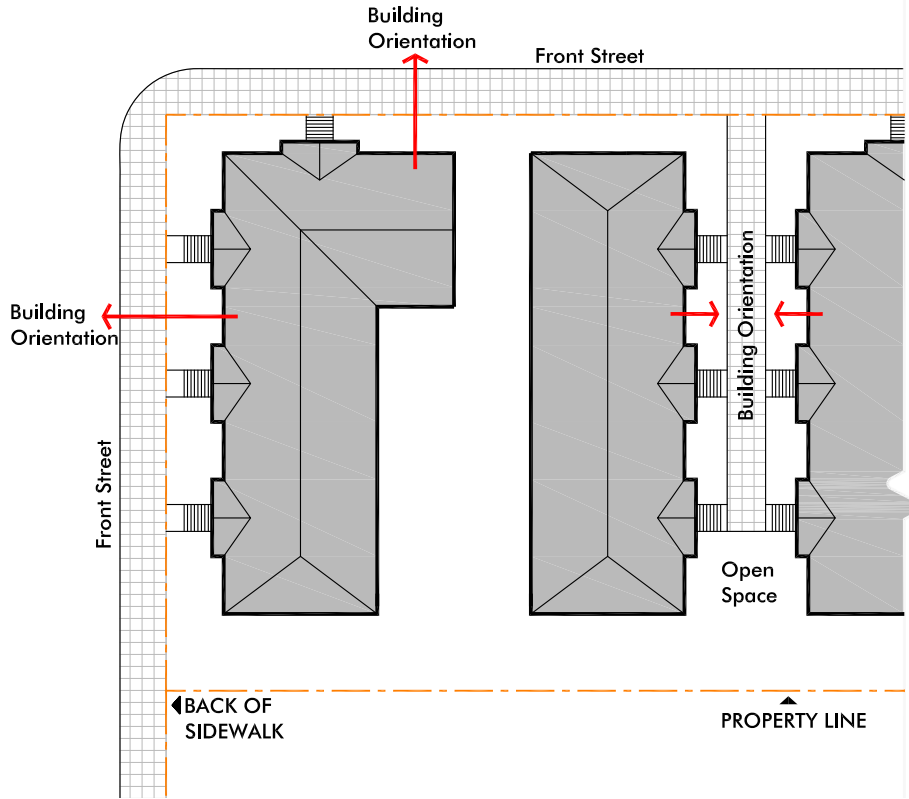


Fig.2.4.1 Building Orientation to Streets and Public Open Spaces



## 2.4.2 Private Frontage Types

### 1) Definition

- Portions of a property between the back-of-sidewalk line and the primary building façade along any Street .
- Portions of all primary building facades up to the top of the first or second floor, including building entrances, located along and oriented toward streets as shown in Fig.2.4.2.Private Frontage Types – 1) Definition.

### 2) Regulation

#### a) General

- Private Frontage types regulate the configuration of a building's primary entrance, the treatment of its front and side setback zones, as well as the type of features permitted to encroach into the required setback zones.
- All buildings shall be designed to incorporate a Private Frontage Type configured in compliance with the regulations is contained in this section.
- Every Primary Building Volume (see section 2.3.5 – Building Massing) shall have at least one Private Frontage Type.
- A property's permitted and/or required Private Frontage Types shall be limited to those frontage types specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- All permitted frontage types are allowed either alone or in combination with any other permitted frontage type within a single building.
- The disposition of the Front Yard Setback zone is further illustrated in section 2.4.4.
- Private frontage regulations apply along the full length of the property frontage, even where there is no building façade.
- Where building orientation toward public streets/public open spaces is not required, buildings must still satisfy Private Frontage and Edge Treatment requirements but are not required to locate an entrance that opens directly on to a street or public open space.
- Reminder:* Private Frontage Types that incorporate stairs must also refer to access and visibility requirements of the Americans with disabilities Act by means of providing alternate entrance(s) with level or ramped connections to the sidewalk, or by incorporating an ADA-compliant ramp additively to the design of the required Private Frontage Type.
- Transformers, backflow devices, etc. will be allowed in the front yard setbacks as long as it is screened with landscaping or architectural details (see section 2.6.8.7 Utility and Service Area Sitting and Screening).

### b) Corner Parcels

On corner parcels, frontage treatments shall extend along the entire length of the back-of-sidewalk line for both street frontages as shown in Fig.2.4.2. Private Frontage Types – 2) Corner Parcels.

### c) Edge Treatments

- Fenced Edge, Terraced Edge, and Flush Edge are edge treatments that are combined with other Private Frontage Types and establish a desirable relationship between front setback areas and the public sidewalk.
- When landscaping Grand Portico, Forecourt, Grand Entry, Common Lobby Entry, Stoop, Porch, and Front Door setback areas, an edge treatment must be selected from those permitted for the given Corridor Center and Segment and applied to the setback area in accordance with the specified edge treatment's regulations.

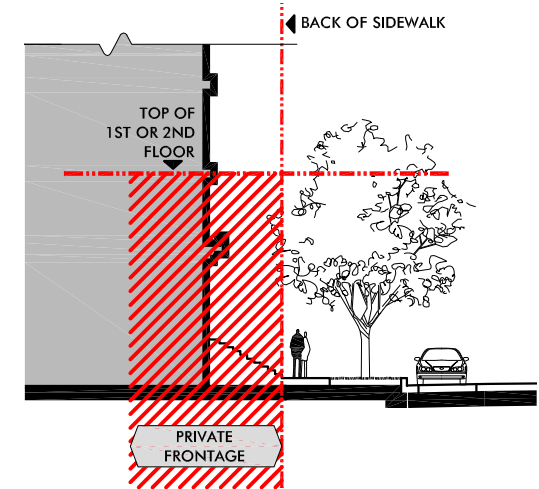


Fig.2.4.2 Private Frontage Types - 1)  
Definition

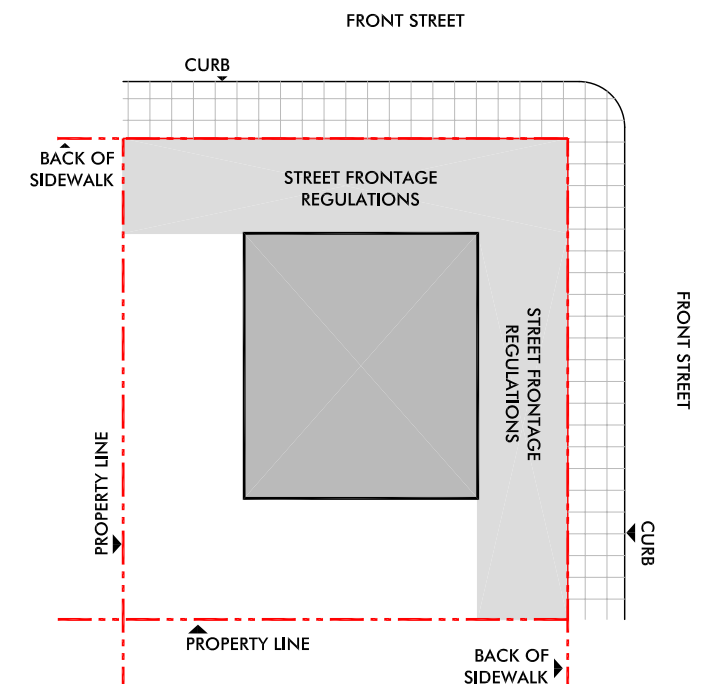


Fig.2.4.2 Private Frontage Types - 2)  
Corner Parcels

3) Private Frontage Specifications

a) Shopfront

i) Definition

A frontage type featuring a multiplicity of welcoming entrances and display windows built at the edge of and projecting directly on to the public sidewalk.

ii) Application

Shopfronts are the appropriate treatment for ground-level retail and service uses oriented to display and access directly from public sidewalks.

iii) Façade & Entrance Treatment

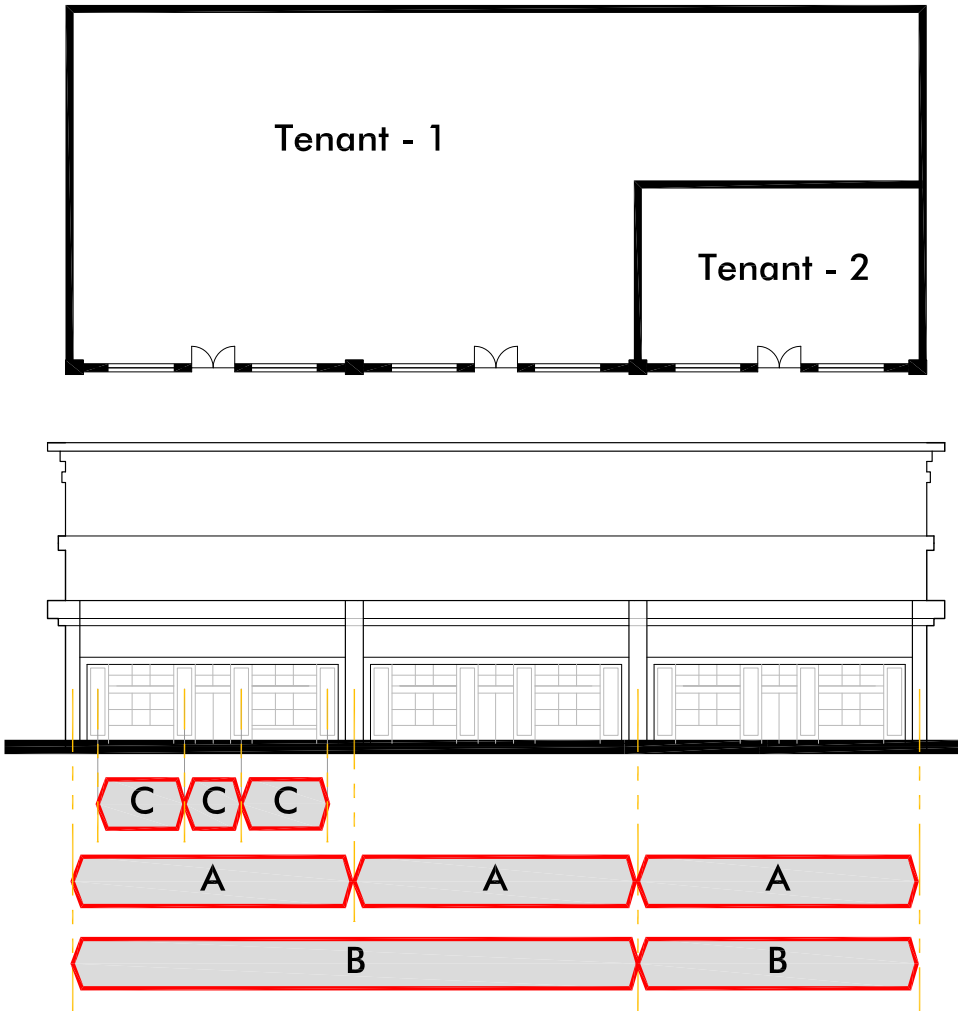
- (1) Each shopfront shall contain:
  - a) At least one prominent building entrance that is always unlocked during regular business hours.
  - b) A minimum of 70% of the storefront façade must feature clear-glass display windows framed within storefront pilasters and base.
  - c) A minimum 3 foot zone behind the window glazing that provides an unobstructed view of the establishment’s goods & services, either via display oriented to the sidewalk, or via a direct view into the store.
- (2) Recessed entrances are permitted up to a maximum width of 15 feet.
- (3) Restaurant shopfronts that are not located on street corners may set back a portion of the shopfront façade to create an outdoor dining alcove that is a maximum of 12 feet deep.
- (4) Shopfront and awning design should vary from shopfront to shopfront.
- (5) Close proximity to high volumes of pedestrian traffic make attention to craft and visual interest within the Shopfront façade important.
- (6) Shopfront composition should include well-designed projecting signs, window signs and awning signs.

iv) Shopfront Length

- (1) Along key pedestrian streets, shopfront and tenant length is strictly limited to insure a variety of entrances to occur at ground level. Shopfronts shall not exceed the lengths shown in Section 2.1 – Development Standards Charts.
  - a) Larger retail space may be enabled by being set behind a row of smaller shopfront spaces; this technique is often referred to as “liner retail.”
- (2) Shopfront lengths are defined using Pilasters/Piers.
  - a) The horizontal width of a protruding pilaster or pier shall be a minimum of five (5) percent of the width of the largest adjacent horizontal façade segment. The adjacent wall surface shall setback from the face of the pilaster or pier a minimum of twenty (20) percent of the pier width. Pilasters/Piers shall not protrude into the public right-of-way.

v) Setback Area Treatment

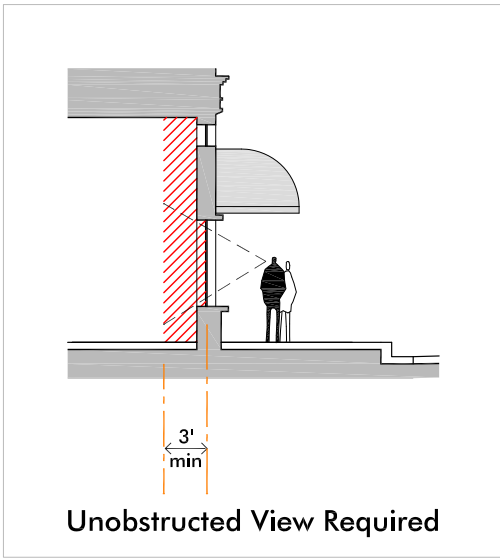
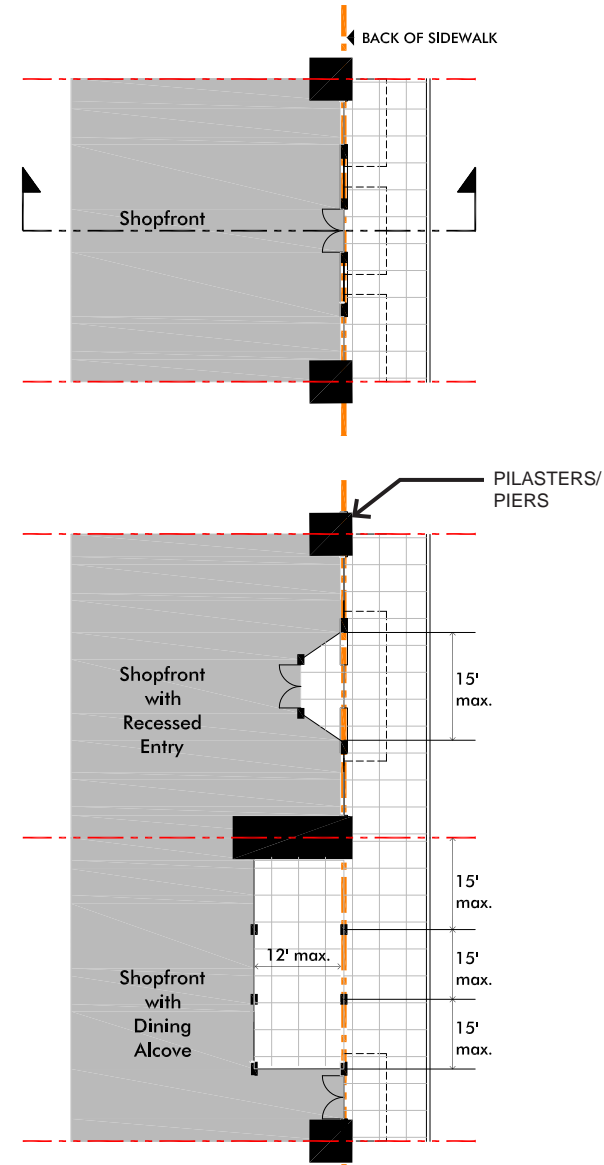
- (1) Shopfronts shall be built up to the back of the public sidewalk at sidewalk grade
- (2) Setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.



A - Shopfront Length is the length of each Shopfront Frontage Type segments as measured from centerline of the articulations elements at either edge of the Shopfront segments.

B - Tenant Length is the length of each Tenant Frontage that faces directly onto a Front or Side Street.

C- Articulation Increment is the length between each Articulation Element in a Shopfront segment as measured from centerline to centerline of permitted Shopfront Length Articulation Elements.





**b) Corner Entry**

i) Definition

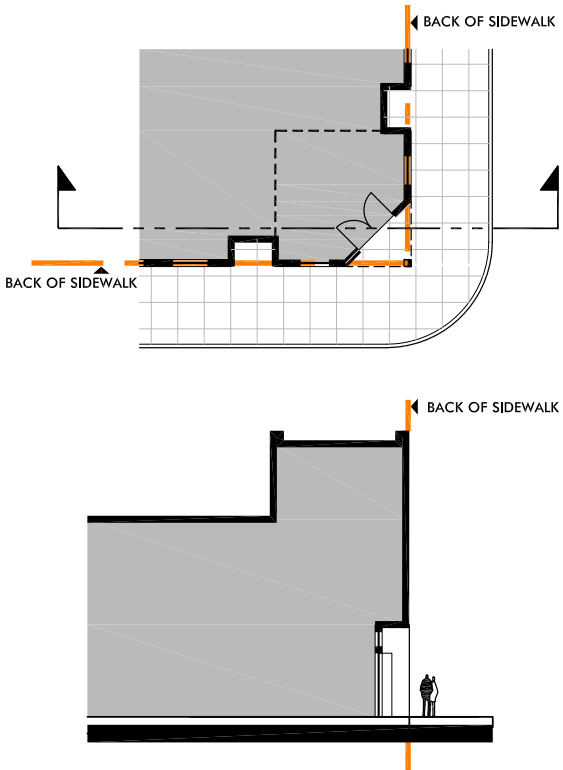
A frontage type featuring a building entrance and an associated or detached treatment to visually emphasize the corner of a building.

ii) Façade & Entrance Treatment

A Corner Entry draws prominent visual attention to the corner of the building primarily through vertical massing and articulation with elements such as a corner tower and by “flatiron” shapes.

iii) Setback Area Treatment

- (1) Setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.
- (2) A corner entry mass may encroach into the required setback areas but may not encroach into the public right-of-way.



**c) Arcade**

i) Definition

A frontage type featuring a colonnaded space at the base of a building created by setting back the ground-floor further than the upper floors, and resulting in a covered sidewalk space.

ii) Application

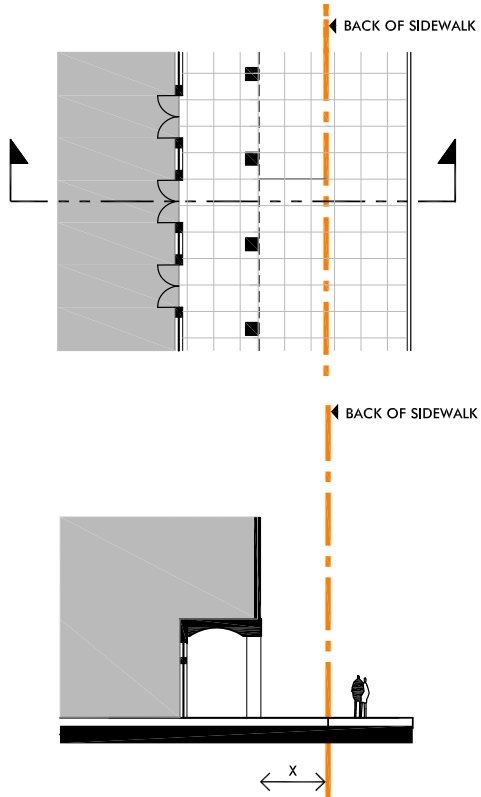
- (1) When applied to buildings featuring ground level shopfronts, the arcades should overlap the sidewalk within 2 ½ feet of the curb face.
- (2) Arcades are not appropriate for buildings with ground-level residential units.

iii) Façade & Entrance Treatment

- (1) Arcade columns should be attractively proportioned and detailed.
- (2) Ceiling beams and light fixtures that are located within the column spacing greatly enhance the quality of the space and are recommended.

iv) Setback Area Treatment

- (1) Setback areas (indicated by an “x” in the illustration below) for arcades built to the back of sidewalk shall be treated as paved/sidewalk extension per section 2.6.9.
- (2) Setback areas (indicated by an “x” in the illustration below) for arcades that are not built to the back of sidewalk shall be landscaped per section 2.6.9.



**d) Grand Portico**

i) Definition

A frontage treatment featuring is a roofed entrance supported by columns appended to the primary plane of the building’s front façade. A “Grand Portico” is a portico expressed at a civic scale, meant to project the image of an important community building.

ii) Application

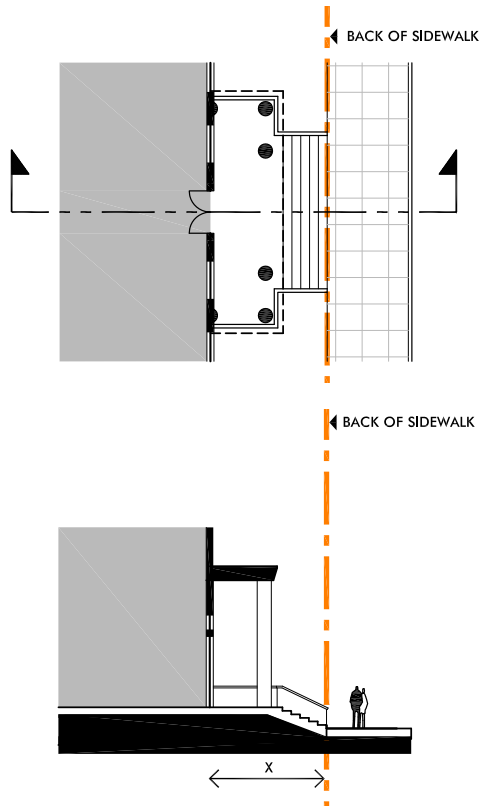
- (1) A Grand Portico is an appropriate frontage for civic buildings such as city halls, libraries, post offices, as well as for quasi-civic buildings such as hotels with ground level convention facilities, or movie theaters.
- (2) This frontage type is not conventional for residential buildings.

iii) Façade & Entrance Treatment

A “grand stair” makes an excellent appendage to a grand portico frontage.

iv) Setback Area Treatment

- (1) The portico and stair may encroach into the front setback area.
- (2) Setback areas (indicated with an “x” in the illustration below) for non-commercial buildings shall be landscaped per section 2.6.9.
- (3) Setback areas for commercial buildings may be treated as Paved/Sidewalk Extension per section 2.6.9.



3) Private Frontage Specifications (cont.)

e) Forecourt

i) Definition

A frontage type featuring a courtyard forming an entrance and lingering space for a single building or several buildings in a group, and opening onto the public sidewalk. The forecourt is the result of setting back a portion of the primary building wall.

ii) Application

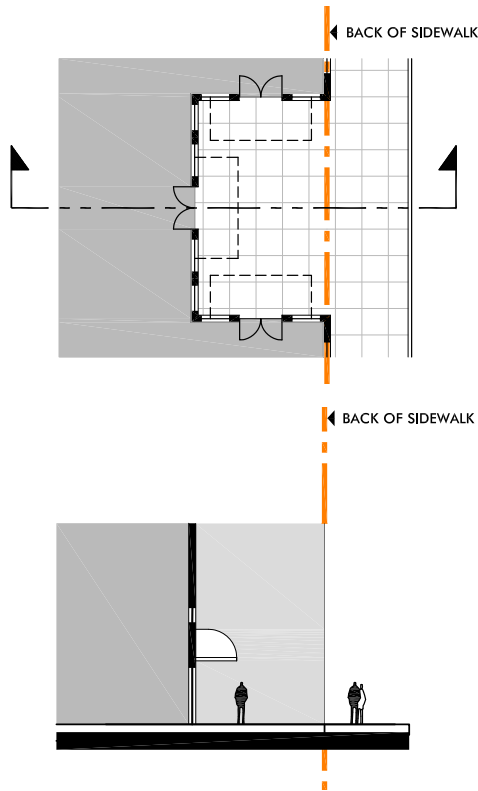
- (1) A forecourt can be applied appropriately to any use. In is not recommended in instances where there is insufficient street wall definition.
- (2) Forecourt frontage treatment must be combined with stoops, flush single entries, or with shopfront frontage types.

iii) Façade & Entrance Treatment

- (1) The courtyard must be enclosed on three sides by building masses on the same property, and therefore cannot be built on corners, or adjacent to a building already set back from the sidewalk.
- (2) The forecourt opening shall be a maximum of 30 feet wide.
- (3) When combined with stoops, the courtyard may be slightly raised from sidewalk grade and landscaped or paved, with a low decorative wall along the sidewalk edge.
- (4) When combined with retail, restaurant and service uses, all three sides of the courtyard must feature shopfront entrances and display windows and the forecourt must be treated as an extension of the sidewalk space.

iv) Setback Area Treatment

Any setback area treatment is determined by the development’s primary frontage type.



f) Common Lobby Entry

i) Definition

A frontage type featuring a type of building entrance that provides access to a multiplicity of private residential units, office spaces or hotel rooms via a semi-public building lobby space. The private spaces are accessible via private entrances are typically not accessible from a public outdoor space.

ii) Application

- (1) This Frontage types is generally appropriate for office, residential or hotel buildings.
- (2) *Limited* Application permitted in Development Standards: Where common lobby entry is specified in (Section 2.1 – Development Standards) as “limited” this private frontage type may only interrupt continuous ground level shopfronts up to two locations per block face, and may not be applied to building facades as the sole private frontage treatment along any façade elevation.

iii) This frontage type is appropriate for office, multi-family residential, and lodging uses where:

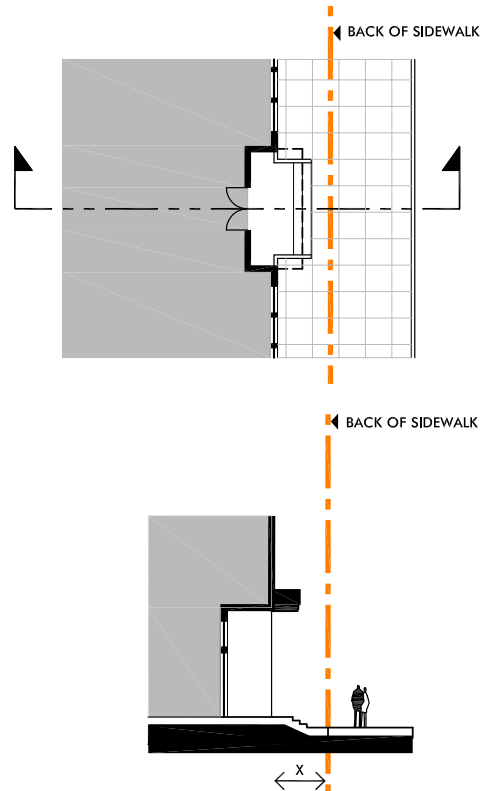
- (1) Such uses are positioned above a ground-level retail and parking podium.
- (2) Where direct access to/from such uses from streets and other public spaces is not a priority

iv) Façade & Entrance Treatment

- (1) A common lobby entry should be visually prominent and easy to identify
- (2) Multi-family residential buildings featuring Common Lobby Entry treatments shall have a Common Lobby Entry a minimum of every 100 feet
- (3) Entrances may be inset up to 5 feet from the primary building wall and are typically raised above the sidewalk.

v) Setback Area Treatment

- (1) Setback areas (indicated with an “x” in the illustration below) may be landscaped, paved, or be a combination of landscaping and paving per section 2.6.9.
- (2) Where specified in Development Standards Charts as *limited* the setback areas shall be treated as Paved/Sidewalk Extension per section 2.6.9.





g) Stoop

i) Definition

A frontage treatment featuring an entrance stairway to a residence typically constructed close to the sidewalk.

ii) Application

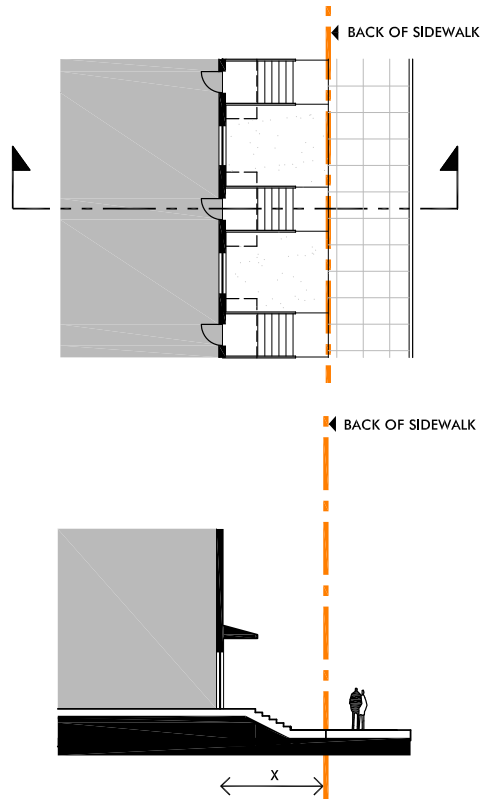
This frontage type is suitable only for residential use.

iii) Façade & Entrance Treatment

- (1) Stoops may feature a portico entrance at the top of the stair, and may encroach into the front setback area.
- (2) Stoops may serve multiple entrances.
- (3) Multiple stoops may be combined to increase the scale of the entrance.

iv) Setback Area Treatment

Setback areas (indicated with an “x” in the illustration below) may be landscaped, paved, or be a combination of landscaping and paving per section 2.6.9.



h) Porch

i) Definition

A frontage type featuring is a roofed space, open along two or more sides and adjunct to a building, commonly serving to shelter an entrance and provide a private outdoor space appended to a residence.

ii) Application

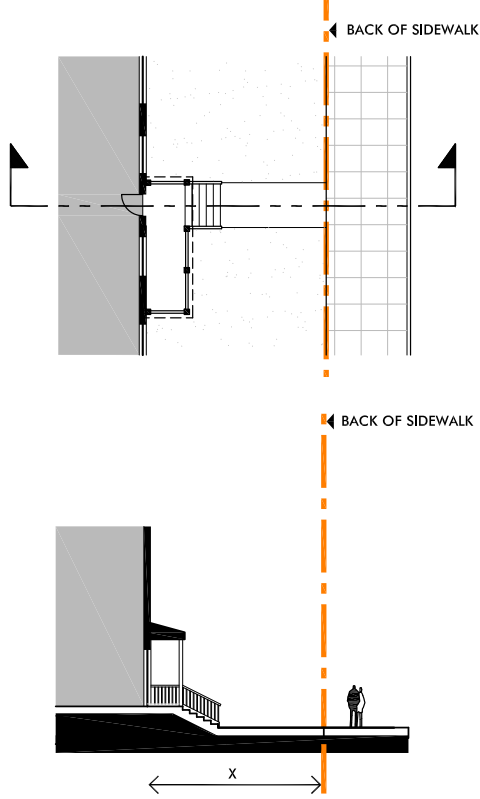
This frontage type is appropriate for residential use only.

iii) Façade & Entrance Treatment

Porches may serve multiple entrances.

iv) Setback Area Treatment

- (1) When expressed as a separate mass appended to the primary front building plane, the porch may encroach into the front setback zone.
- (2) Setback areas (indicated with an “x” in the illustration below) shall be landscaped per section 2.6.9.



i) Front Door

i) Definition

A frontage type featuring the main entrance to a residence, in combination with a deep landscaped setback.

ii) Application

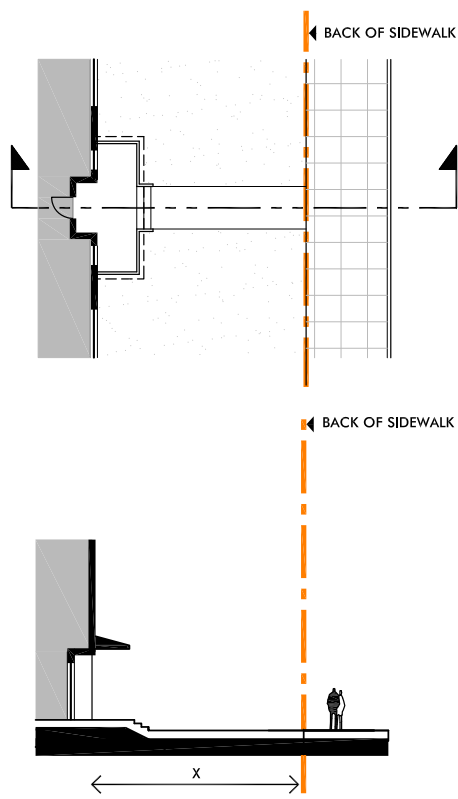
This frontage type is appropriate for residential use only.

iii) Façade & Entrance Treatment

Front Doors may feature a covered entrance or entrance platform that may encroach into the front setback area.

iv) Setback Area Treatment

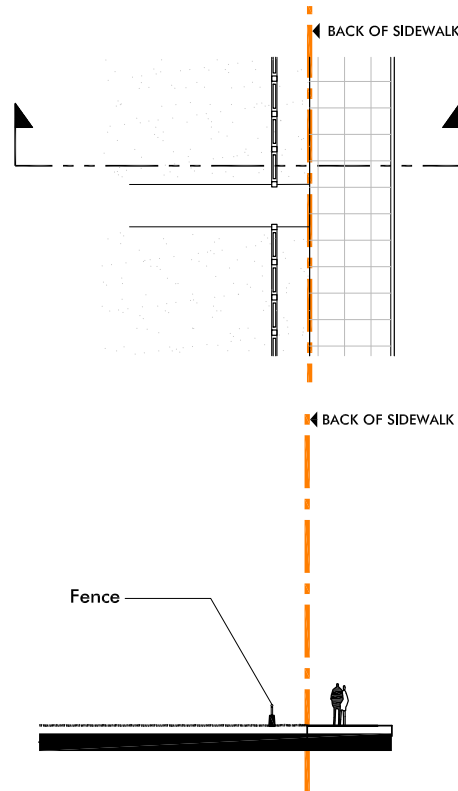
Setback areas (indicated with an “x” in the illustration below) shall be landscaped per section 2.6.9.



3) Private Frontage Specifications (cont.)

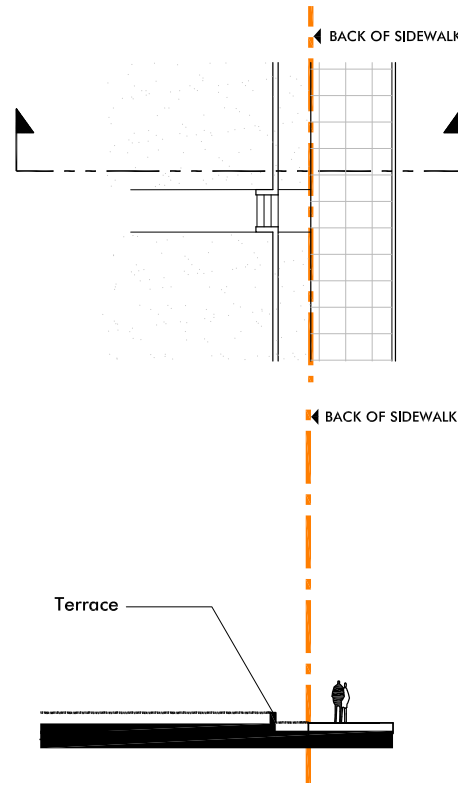
j) Edge Treatment: Fenced

- i) Definition  
An edge treatment characterized by a low decorative fence constructed at or very close to the edge of the public sidewalk.
- ii) Setback Area Treatment
  - (1) A low masonry base makes an excellent addition to the decorative fence.
  - (2) The fence may be located along the public sidewalk or setback as shown.
  - (3) Any setback area treatment is determined by the development’s primary frontage type.



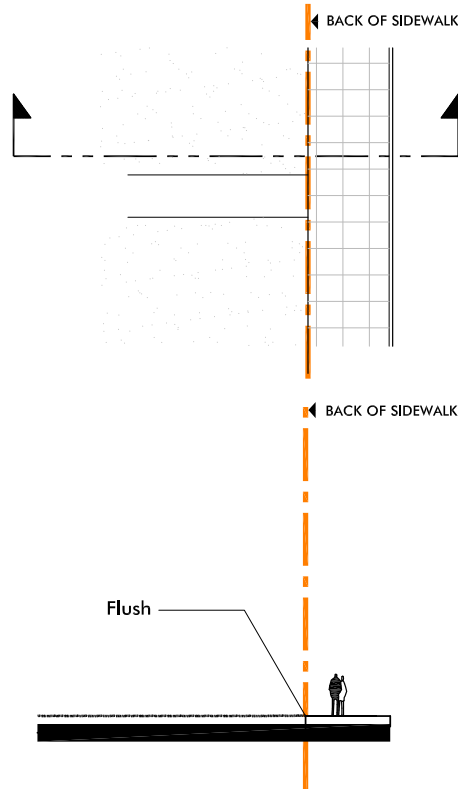
k) Edge Treatment: Terraced

- i) Definition  
An edge treatment characterized by a raised planted front yard and decorative low retaining wall at or very close to the edge of the public sidewalk.
- ii) Setback Area Treatment
  - (1) The retaining wall may be located along the public sidewalk or setback as shown.
  - (2) Any setback area treatment is determined by the development’s primary frontage type.



l) Edge Treatment: Flush

- i) Definition  
An edge treatment built at sidewalk grade and that extends to the edge of the public sidewalk.
- ii) Setback Area Treatment  
Any setback area treatment is determined by the development’s primary frontage type.



### 2.4.3 Front Yard Setback

#### 1) Definition

Front Yard Setback is defined as the required minimum or permitted (maximum) distance from the back-of-sidewalk line to the primary building façade as shown in Fig.2.4.3 Front Yard Setback. (see section 2.4.2. – Public Frontage Types to determine how to locate back-of-sidewalk)

#### 2) Regulation

##### a) General

- All buildings must be located to conform to the minimum and maximum Front Yard Setback Standards specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- The Front Yard Setback for each Private Frontage Type shall be located as depicted by the Private Frontage Type Illustrations in Section 2.4.2.
- Portions of a building that are not part of the primary building mass, such as entrance porticos, bays and stoops, are not required to meet minimum height requirements.

##### b) Additional Requirements

- At required setback areas, arcades, awnings, entrance porticos, porches, stoops, stairs, balconies, bay windows, eaves, covered and entrance overhangs, are permitted to encroach up to six feet within the required front street setback as shown in the frontage type illustrations.
- At zero-setback areas, building overhangs such as trellises, canopies and awnings may extend horizontally beyond the back-of-sidewalk, but may not under any circumstances encroach further than within two and half (2 ½) feet of the face-of-curb.
  - Encroachments may extend up to a maximum of six (6) feet into the public frontage areas.
  - These overhangs must provide a minimum of eight (8) feet clear height above sidewalk grade.

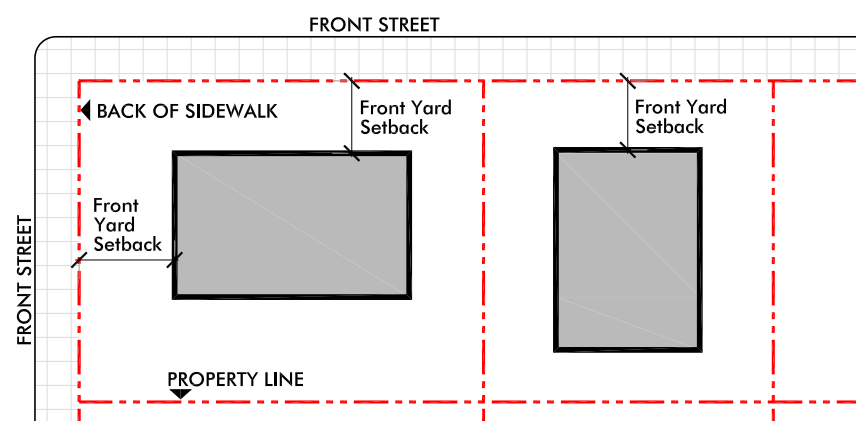


Fig.2.4.3 Front Yard Setback

iii) The disposition and treatment of Front Yard Setbacks is furthered regulated in the following sections:

- Private Open Space Types provides addition specific regulation for the treatment of setback zones in conjunction with various private open space types.
- Section 2.6.8 – Open Space Landscaping establishes landscape standards and guidelines for the treatment of front yard setback zones

### 2.4.4 Side Yard Setback

#### 1) Definition

Side Yard Setback is defined as the required distance from the side property line to any building as shown in Fig.2.4.4. Side Yard Setback.

#### 2) Regulation

##### a) General

- All buildings must be located to conform to the minimum Side Yard Setback standards as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- The required Side Yard Setback shall depend upon whether or not the side facade has windows into active living spaces.
- The side yard setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

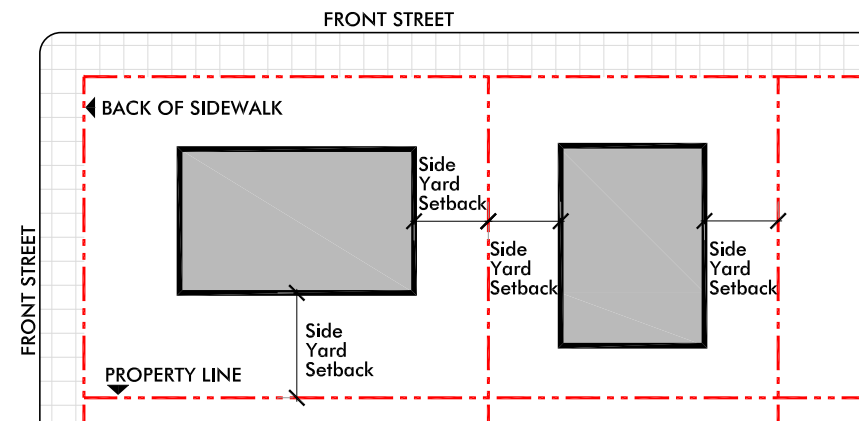


Fig.2.4.4 Side Yard Setback

### 2.4.5 Rear Yard Setback

#### 1) Definition

Rear Yard Setback is defined as the required distance from the rear property line to any building as shown in Fig.2.4.5. Rear Yard Setback.

#### 2) Regulation

##### a) General

- All buildings must be located to conform to the minimum Rear Yard Setback standards as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- The rear yard setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

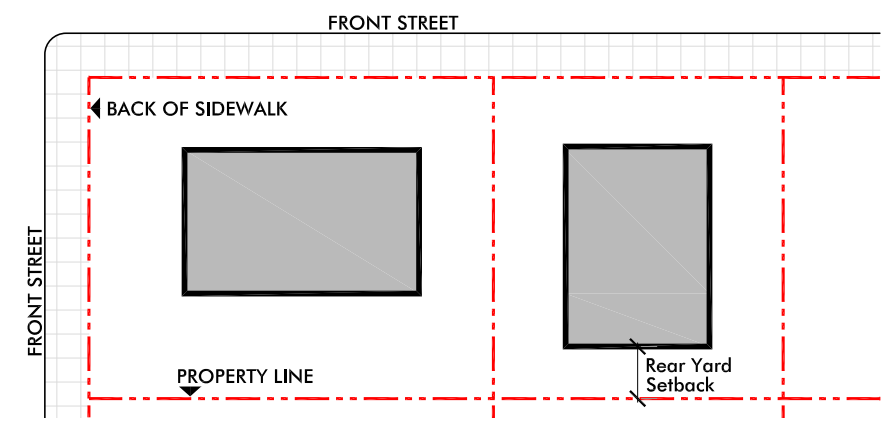


Fig.2.4.5 Rear Yard Setback



2.4.6 Alley Setback

1) Definition

Alley Setback is defined as the distance from an alley right-of-way to any building as shown in Fig.2.4.6. Alley Setback.

2) Regulation

a) General

- i) All buildings shall be sited to conform to the minimum Alley Setback dimensions. As specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- ii) The alley setback area must be landscaped per section 2.6.8 – Open Space Landscaping.

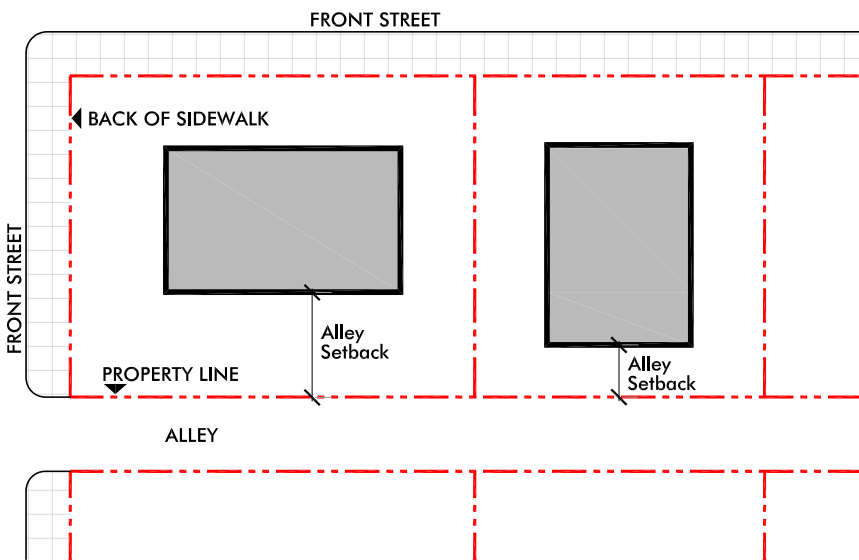


Fig.2.4.6 Alley Setback

2.4.7 Frontage Coverage

1) Definition

- i) Frontage Coverage is defined as the minimum percentage of the length of the frontage coverage zone that shall be occupied by a primary building façade(s).
- ii) The Frontage Coverage Zone is defined as the space between the minimum and maximum front yard setback lines and the minimum side yard or front yard setback lines as shown in Fig.2.4.7. Frontage Coverage.

2) Regulation

a) General

All development shall include buildings located within the Frontage Coverage Zone such that minimum frontage coverage requirements are met, as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

b) Exceptions

- i) In order to provide vehicular access to parking areas in the interior or at the rear of a parcel if no other access is available, a vehicular breezeway may count toward frontage coverage requirements:
  - (1) A vehicular breezeway is a covered driveway penetrating the building.
  - (2) The width of a vehicular breezeway shall not exceed the width of the curb cut plus the width of an adjacent ADA compliant pedestrian sidewalk.
- ii) In order to connect the public sidewalk with publicly accessible spaces such as courtyards, parking areas, and alleys in the interior or at the rear of a parcel, a pedestrian breezeway may count toward frontage coverage requirements:
  - (1) A pedestrian breezeway is covered walkway penetrating the building for pedestrian use only.
  - (2) The width of a pedestrian breezeway shall not exceed fifteen (15) feet.

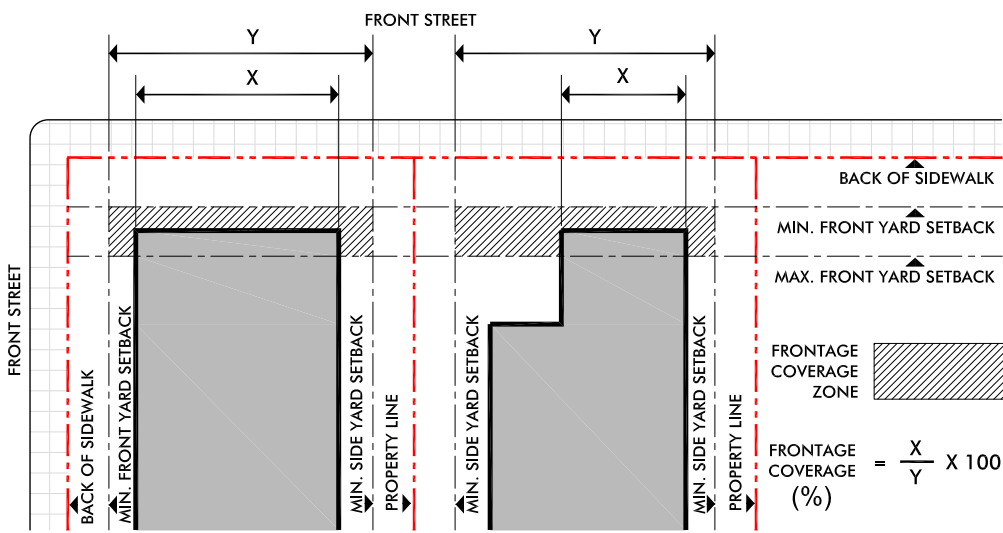


Fig.2.4.7 Frontage Coverage

2.4.8 Space Between Buildings

1) Definition

Space between buildings is defined as the distance measured between the primary building mass of two adjacent buildings on a single property as shown in Fig.2.4.8 Space Between Buildings.

2) Regulation

If a developer is building multiple buildings on a single property, the required minimum space between buildings shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

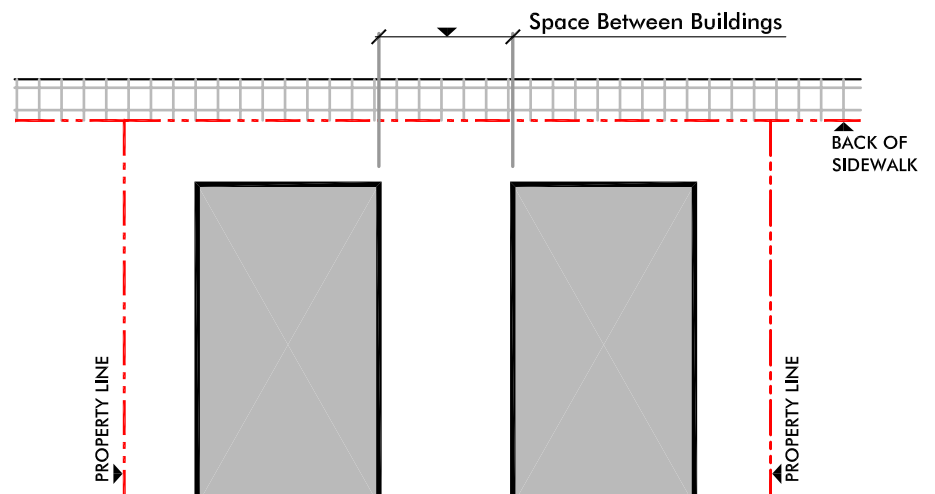


Fig.2.4.8 Space Between Buildings

## 2.4.9 Build-to-Corner

### 1) Definition

- i) Build-to-Corner is defined as a portion of a building that occupies the build-to-corner zone at the intersection of two streets.
- ii) The Build-to-Corner Zone is defined as the space between the required minimum and maximum front yard setback lines for each intersecting streets as shown in Fig.2.4.9 Build-To-Corner.

### 2) Regulation

All development shall include buildings sited within the build-to-corner zone such that minimum build-to-corner requirements are met as specified for each Corridor Center and Segment in section 2.1. – Development Standards.

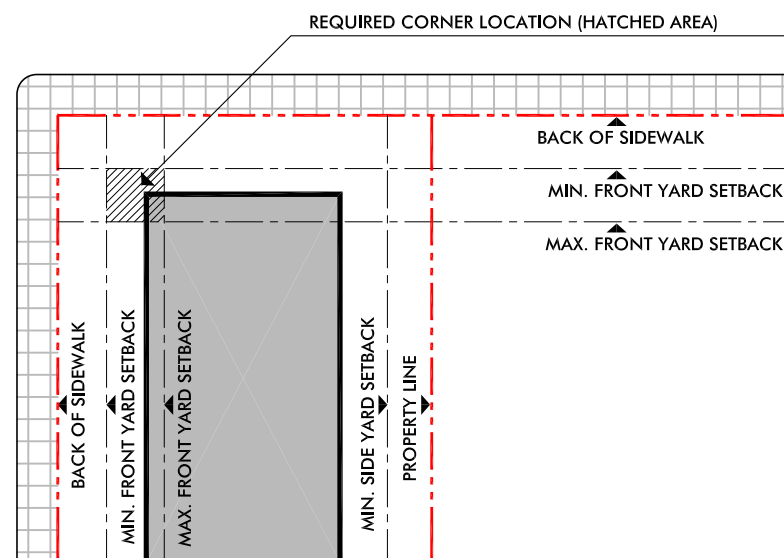


Fig.2.4.9 Build-to-Corner

2.5 STREET REGULATIONS

This section contains Regulations and Guidelines for the improvement, provision, configuration, and design of streets. Implementation of improvements required along *existing streets* is also addressed in Book III Public Improvements.

Street Regulations are set forth to ensure that streets and blocks throughout the Plan Area are upgraded or built with the quality and care necessary to enhance the connectivity of streets, to create safe and attractive streetscape environments, and to encourage walking throughout the plan area as it intensifies.

The *Street* is defined as the area between back-of-sidewalk lines. It includes the moving lanes, parking lanes and medians as well as the sidewalk and any sidewalk landscape areas (see Fig. 2.5 Corridor Definition of Terms).

Streets can be publicly or privately owned and maintained. All new streets within the Plan Area, both public and private, shall be designed and configured according to the following regulations.

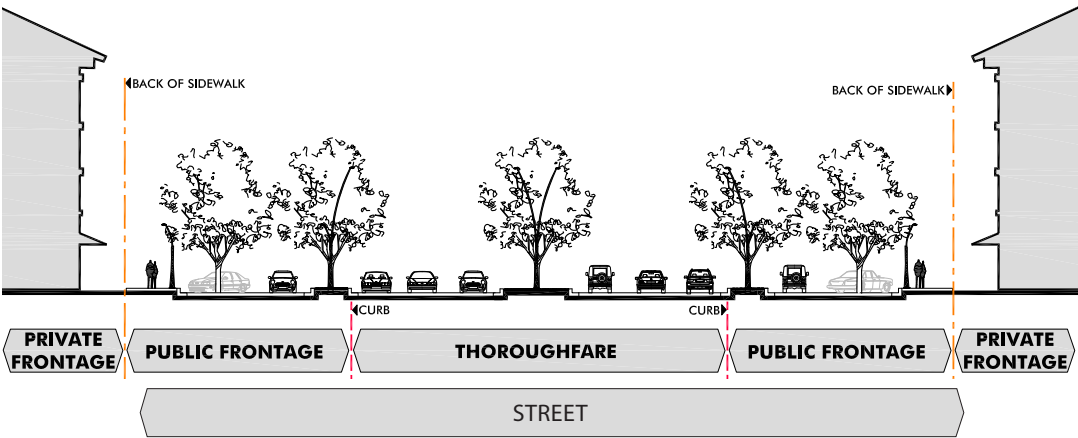


Fig.2.5 Corridor Definitions of Terms

2.5.1 Improvements to Existing Streets

Streetscape improvements to existing streets are required to promote the type of change envisioned by the community by providing attractive and compatible environments for the desired types of new development, as well as for highly valued existing development.

The design of specific streetscape improvements is integrated with the configuration of Centers and Segments established in Fig. 2.1. Corridor Centers and Segments Map. This coordination results in the organization of streetscape improvements into three primary segment improvement types: “Classic Boulevard” improvements along Edinger Avenue, “Palm Tree Boulevard” improvements along Beach Boulevard north of Main Street and “Parkway” improvements along Beach Boulevard south of Main Street. Further detail on the extent and implementation of streetscape improvements can be found in Book III.

1) Definition

- i) The Thoroughfare is the area between a street’s curbs. It includes the moving lanes, parking lanes, and central medians.
- ii) Public Frontage is the area between the thoroughfare curb face and the back-of-sidewalk line, including the sidewalk and any sidewalk landscape areas as shown in Fig. 2.5 Corridor Definition of Terms.

2) Regulation

a) General

- i) Improvements to existing streets are required for each Corridor Center and Segment as specified in section 2.1. – Development Standards along all street frontages.
- ii) Street Improvements along Beach Blvd., Edinger Ave., and all other existing streets shall be designed and constructed as illustrated in the Streetscape Specifications established in this section.
- iii) In instances where existing street areas already contain Public Frontage of Thoroughfare features that are sufficiently similar to those required in the Plan and depending on the condition of those features, all or part of the required Street Improvements may be waived by the Public Works Director.
- iv) In instances where the City of Huntington Beach has preceded the proposed new development with the installation of the required Street Improvements, the property owner shall reimburse the City for the costs of that portion of the installation along the length of the private property. Funding mechanisms such as a reimbursement agreement, Community Facilities District, or other mechanism may be considered.
- v) In instances where new streets must be constructed – that is, in instances where there are no existing public frontage or thoroughfare conditions – the public frontage and thoroughfare will be installed as part of the required new street standards specified in Section 2.5.2. Street Types (New Street Design). The developer will be responsible for the design and construction of the public frontage and the thoroughfare along these streets.

- vi) All development applications shall clearly identify fire access routes subject to Fire Department Review. *Note: Developers must reference Huntington Beach Fire Department City Specification # 401 (Minimum Standards for Fire Apparatus Access) and City Specification #415 (Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties) for Fire Access Road requirements.*

b) Thoroughfare Improvements

- i) Thoroughfare Improvements along existing streets from the face of curb to the thoroughfare centerline shall be paid for by the developer as development occurs.
- ii) Responsibility for and timing of the installation of Thoroughfare Improvements shall be determined by the Public Works Director.

c) Public Frontage Improvements

- i) The installation of new Public Frontage Improvements (from the back-of-sidewalk to the face of curb) is required as development occurs.
- ii) In instances where installation of required public frontage improvements as part of on-site construction are found to be impractical - for example in instances where the private frontage is particularly narrow or fragmented, the property Owner/Developer may request to the City that an in-lieu fee be paid for the required public frontage improvements when they can be combined with those on adjacent properties or as part of a city-sponsored street improvement program. If the city agrees, a cost estimate shall be submitted to the City by the developer for review and acceptance.
- iii) In instances where installation of required public frontage improvements require Classic Boulevard improvements and the proposed project has less than a full block of street frontage, the public frontage improvements may be phased in at a later date, subject to the approval of the Directors of Planning and Building and Public Works, provided that the buildings are sited to accommodate the public frontage improvements, i.e. setback. In the interim condition, the public frontage area shall be fully landscaped with minimal driveway openings.

d) Locating Back- of-Sidewalk

- i) All Existing Street Improvement diagrams are installed behind the location of the face of curb existing at the time of property development. Therefore, the location of the back of the newly installed sidewalk (the back of the sidewalk is furthest from the curb) is determined by adding up the cross-section dimensions of the required Public Frontage Improvements in-board of the existing face-of-curb.



### 3) Classic Boulevard Specifications

Classic Boulevard improvements, thoroughfare and public frontage must include the following specifications (see diagrams):

#### i) Thoroughfare Configuration:

Three (3) through lanes in each direction, a landscaped center median with left turn pockets at select intersections.

#### ii) Center Median:

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) Iconic double arm boulevard-scale street lighting located along centerline of the median at approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade and centered between street trees. Finish color: fresh green.
- (3) Moderately large single species tree – Jacaranda mimosifolia – located along the centerline of the median approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.
- (4) Median to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

#### iii) Access Lane Configuration

- (1) Protected access lanes with a row of angled parking oriented at forty-five (45) degrees to the curb are separated from the through lanes by curbed landscaped separators.
- (2) Moderately large single species tree – Jacaranda mimosifolia – located in flush tree grates in the angled parking zone at approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.

#### iv) Access Lane Separator:

- (1) A nine (9) foot curbed landscape separator (six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides) located between the thoroughfare and access lanes.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting located within the curbed landscaped separators with a spacing of approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.

- (3) Moderately large single species tree – Jacaranda mimosifolia – located along the centerline of the curbed landscaped separators with a spacing of approximately thirty (30) feet on-center and aligned across the street with other trees as much as possible. Tree canopy to be trained into a round-shaped form with an open habit. Special sub-surface construction is required to allow for proper tree growth and health.
- (4) Separator to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

#### v) Pedestrian Zone

- (1) A minimum twelve (12) foot wide sidewalk.
- (2) Iconic single arm, pedestrian-scale street lighting located on the sidewalk at back-of-curb and spaced approximately at sixty (60) feet on-center and centered between trees in the access lane. Finish color: fresh green.
- (3) Picket fence style benches with Jarrah wood or FSC certified Ipe wood slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork finish color: fresh green.

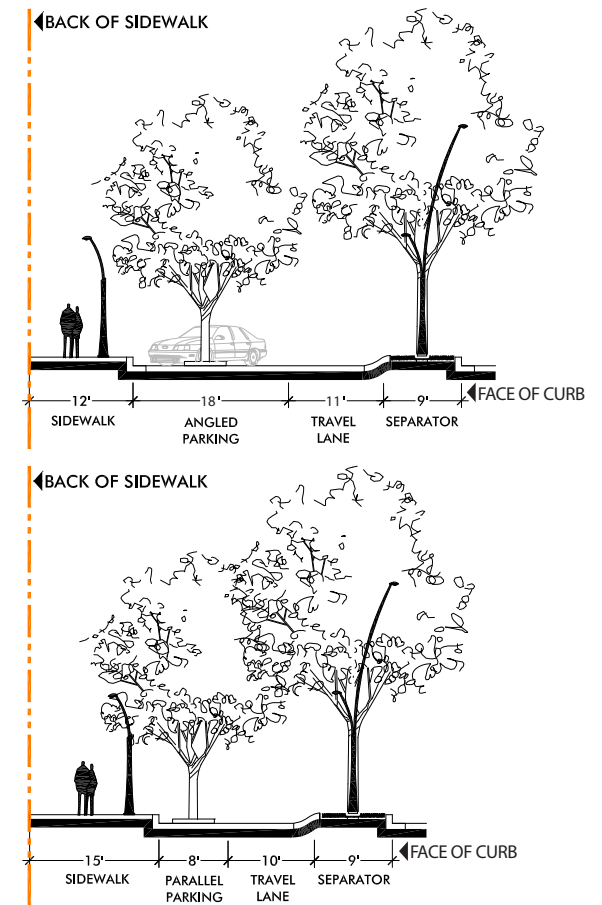
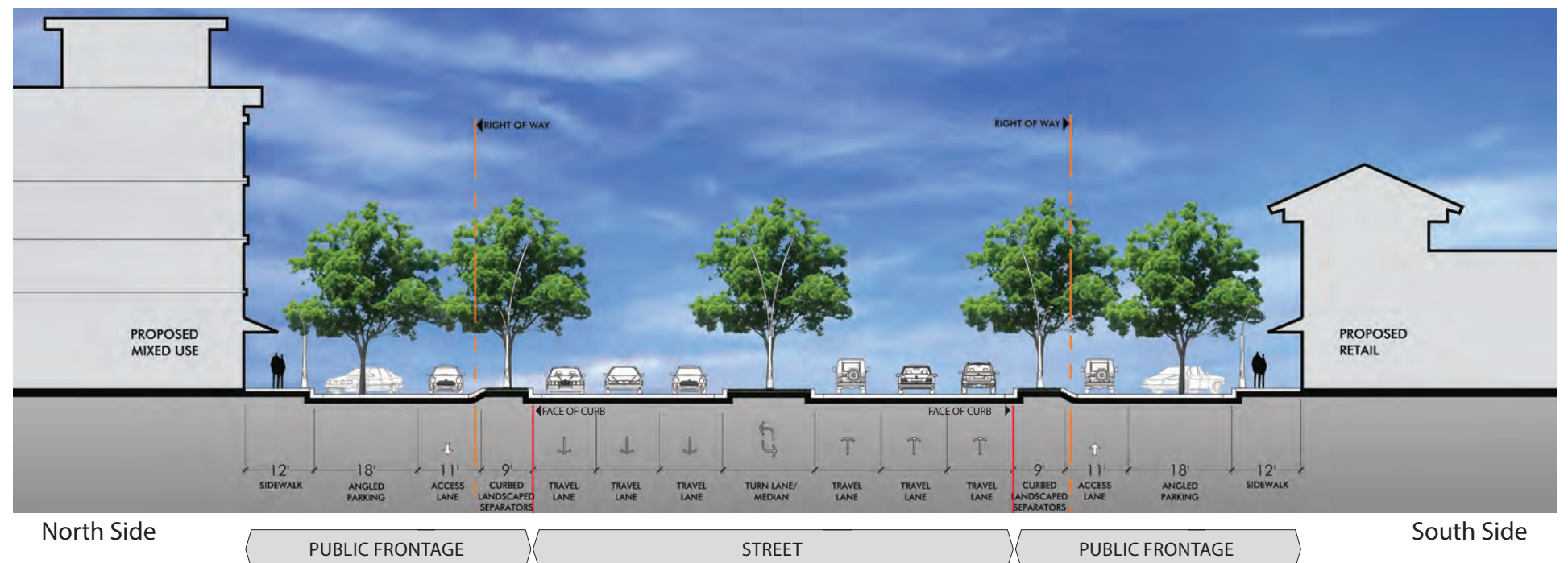


Fig.2.5.1. - 3) Classic Boulevard Public Frontage



#### 4) Palm Tree Boulevard Specifications

Palm Tree Boulevard improvements, thoroughfare must include the following specifications (see diagram):

i) **Thoroughfare Configuration:**

- (1) Four (4) through lanes in each direction and a landscaped center median with left turn pockets at select intersections.

ii) **Center Median:**

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) Iconic double arm boulevard-scale street lighting located along centerline of the median at approximately ninety to one hundred and twenty (90-120) feet on-center (or every three (3) clusters of palm trees). Street lighting to be the first vertical element at the ends of the median and light source should be located twenty-five to thirty (25-30) feet above finished grade.
- (3) Clusters of three single-species, tall palm trees – Roystonea regia - arranged roughly every thirty to thirty-five (30-35) feet. Trees to be uplit at night.
- (4) Median to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.

a) ***Typical Configuration:***

Palm Tree Boulevard improvements, public frontage must include the following specification (see diagram):

- (1) A minimum six (6) foot wide sidewalk separated from the back of curb by a four (4) foot continuous planter strip.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting located within the planter strip at approximately ninety (90) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.
- (3) Planter strip to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.
- (4) Picket fence style benches with Jarrah wood or FSC certified Ipe wood slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork finish color: fresh green.

#### b) Neighborhood Center Streetfront

Where Neighborhood Center Streetfront improvements are required, public frontage must include the following specification (see diagram):

i) **Pedestrian Zone**

- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
- (2) Iconic double arm boulevard-scale and pedestrian-scale street lighting at approximately eighty (80) feet on-center. Light source should be located twenty-five to thirty (25-30) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Finish color: fresh green.
- (3) Light standards selection to be specified by Planning and Building Director and Public Works Director/Designee.
- (4) Furnishings

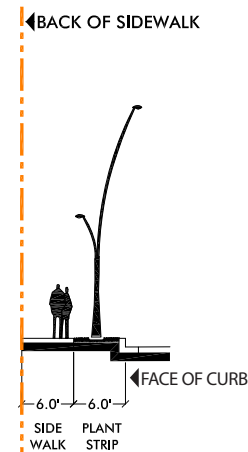


Fig.2.5.1. - 4)a) Typical Public Frontage

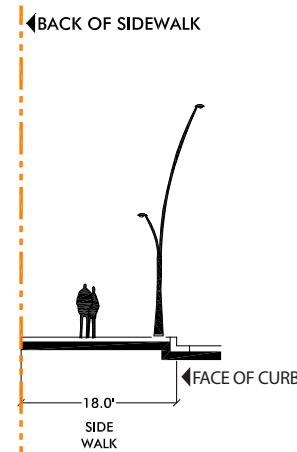
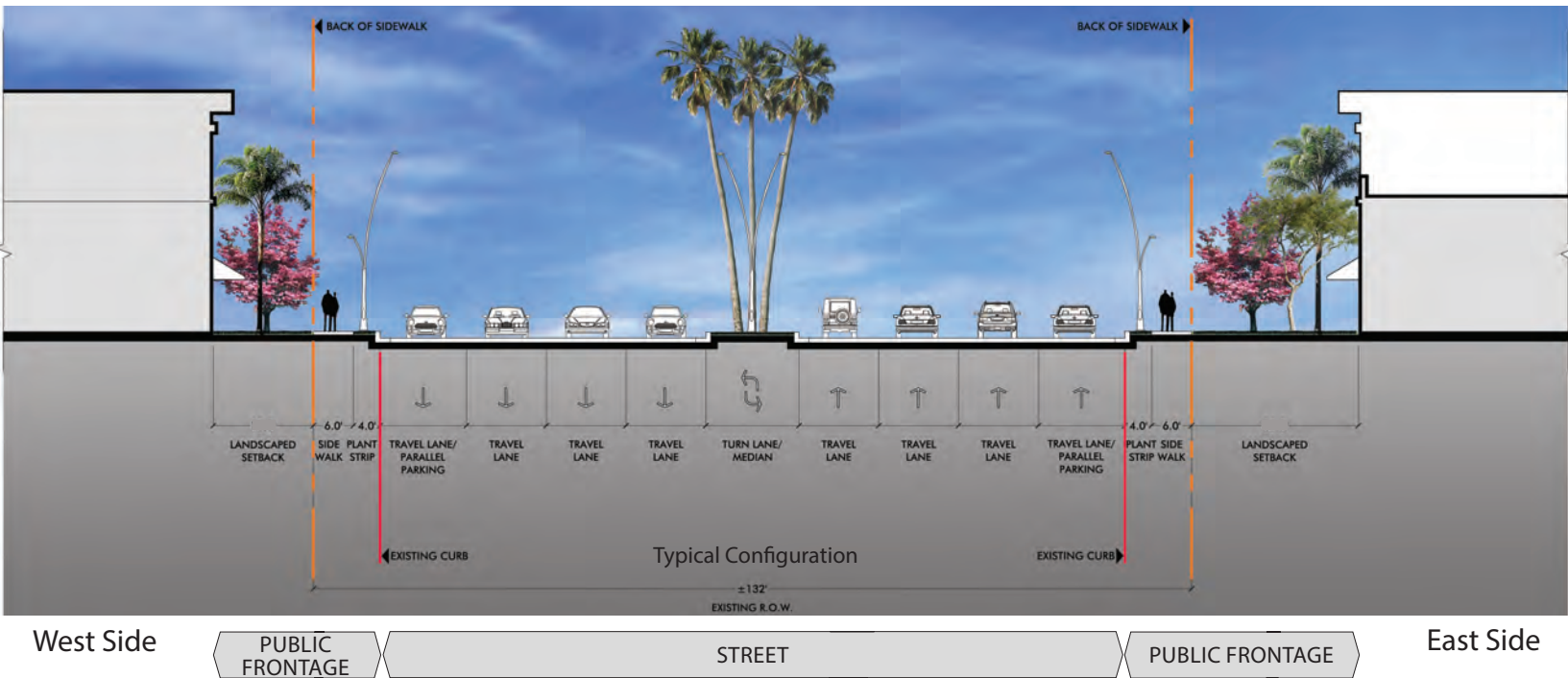


Fig.2.5.1. - 4.)b) Neighborhood Center Streetfront Public Frontage





## 5) Parkway Specifications

Parkway improvements, thoroughfare must include the following specifications (see diagram):

### i) Thoroughfare Configuration:

- (1) Three (3) through lanes in each direction with occasional parallel parking along the sidewalk curb, and a landscaped center median with left turn pockets at select intersections.

### ii) Center Median:

- (1) Curbed landscaped median with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides.
- (2) An arrangement of alternating, informally shaped clusters of vegetation (Type A and Type B – described below) planted on within the median roughly every fifty to sixty (50-60) feet on-center. Strategically selected clusters of vegetation to be uplit at night. Low, native/water efficient groundcover of green foliage to be intermittent with the vegetation clusters.
  - (a) Type A cluster: a single multi-trunk palm tree - *Phoenix reclinata* - broad-leaf tall native/ water efficient grasses and medium-height native/ water efficient groundcover with flowers.
  - (b) Type B cluster: a cluster of single-trunk, medium-height palm trees - *Wodyetia bifurcata* (trees selected from nurseries that seeded the trees in California) - small accent pigmy palms – *Phoenix roebelenii* - and low native/ water efficient grasses and/or groundcover, preferably with flowers.

### a) Typical Configuration:

Parkway improvements, public frontage must include the following specification (see diagram):

### i) Pedestrian Zone

- (1) A minimum six (6) foot wide sidewalk separated from the back of curb by a seven and a half (7 ½) inch continuous planter strip with twelve (12) inch wide stamped concrete safety strip along the back of curb.
- (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located within the planting strip with a spacing of roughly eighty to ninety (80-90) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.

- (3) Within planter strip, arrangements of two tall palm trees, with thick and very straight trunks - *Roystonea regia* – thirty (30) feet apart with a street light centered in between, are intermittent with an informal composition of medium-height palm trees - *Wodyetia bifurcata* and small accent pigmy palm trees - *Phoenix roebelenii*.
- (4) Planter strips to be built as functional stormwater management facilities whenever possible, landscaped with a mix of native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.
- (5) When parallel parking along the curb occurs, provide for breaks across the planting strip with stepping stones, in order to allow for passengers to reach the sidewalk.
- (6) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.



Fig.2.5.1. - 5a) Typical Configuration Public Frontage





**b) *Neighborhood Center Streetfront with Access Lane***

Neighborhood Center with Access Lane improvements must include the following specification (see diagram):

- i) **Access Lane Configuration:**
- (1) Protected access lane with a row of angled parking, in between the sidewalk and the existing curb face, is separated from the through lane by a curbed landscaped separator.
  - (2) Palm trees located in flush tree wells centered in the parking lane approximately forty (40) feet on-center or every two to three (2-3) parking stalls. Tree species to be specified by Planning and Building Director and Public Works Director/Designee.
- ii) **Access Lane Separator:**
- (1) A nine (9) foot curbed landscape separator with six (6) inch curbs and twelve (12) inch stamped concrete safety stepping areas on both sides located between the throughfare and access lane.
  - (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located within the separator with a maximum spacing of eighty (80) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
  - (3) Palm trees planted at a maximum spacing of forty (40) feet on-center. Tree species to be specified by Planning and Building Director and Public Works Director/Designee.
  - (4) Separator to be planted with native/ water efficient, low groundcover of green foliage, which requires minimal irrigation and a low level of maintenance.
- iii) **Pedestrian Zone**
- (1) A minimum twelve (12) foot wide sidewalk.
  - (2) Unique single arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) at a maximum spacing of eighty to ninety (80-90) feet on-center along the sidewalk back of curb and placed between trees in the access lane. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
  - (3) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.

**c) *Neighborhood Center Streetfront with Palm***

Neighborhood Center Streetfront with Palm improvements must include the following specification (see diagram):

- i) **Pedestrian Zone**
- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
  - (2) Unique double arm pedestrian-scale street lighting (reminiscent of colored Venetian lanterns that speaks to the romance and festive atmosphere of the beach in a modern way) located along the back of curb with a maximum spacing of eighty (80) feet on-center. The light source should be located at fourteen (14) feet from the finished grade with filters to create colored effects through a wrap-around foliage mask. Finish color: gun-metal.
  - (3) Tall palm trees located in flush tree wells along the back of curb with an average spacing of forty (40) feet on center. Tree species to be specified by Planning and Building Director and Public Works Director/Designee.
  - (4) Picket fence style benches with polysite slats and steel frame, and steel trash receptacles with an aesthetic that evokes the beach and surf culture. Metalwork and polysite finish color: white.

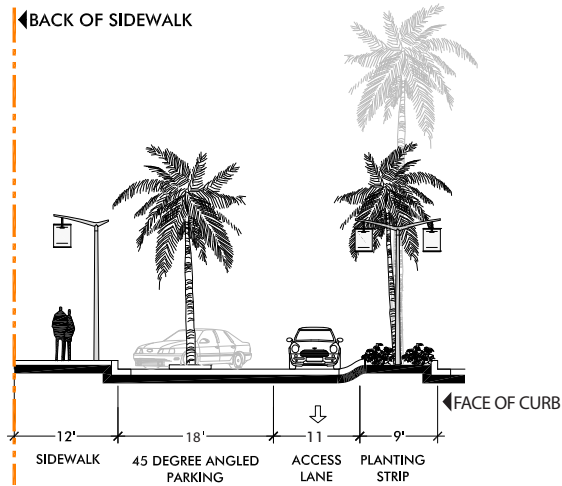


Fig.2.5.1. - 5)b)Neighborhood Center Streetfront with Access Lane Public Frontage

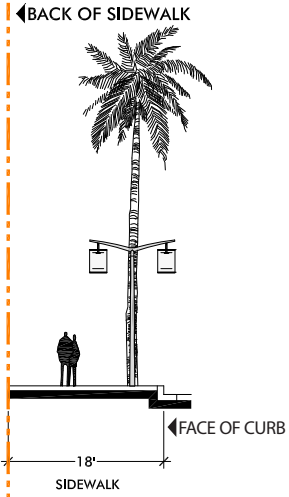


Fig.2.5.1. - 5)c) Neighborhood Center Streetfront with Palm Public Frontage

6) Standard Avenue

Standard Avenue improvements must include the following specification (see diagram):

i) Pedestrian Zone

- (1) A minimum eighteen (18) foot wide sidewalk shall provide ample room for pedestrians to walk, and to encourage activities including outdoor dining, locations for kiosks, food carts, and flower stalls.
- (2) Decorative double arm boulevard-scale and pedestrian-scale street lighting at maximum spacing of eighty (80) feet on-center. Light source should be located eighteen to twenty-five (18-25) feet above finished grade for boulevard-scale street lighting and twelve to fourteen (12-14) feet above finished grade for pedestrian-scale street lighting. Light standards selection to be specified by Planning and Building Director and Public Works Director/Designee.
- (3) Palm trees to be planted in flush tree wells at back of curb with a maximum spacing of forty (40) feet on-center. Tree species to be specified by Planning and Building Director and Public Works Director/Designee.
- (4) Trees should be maintained in a way that provides unobstructed views to showroom windows and building signage.

7) Neighborhood Streets

Neighborhood Street improvements must include the following specification (see diagrams):

i) Pedestrian Zone

- (1) A minimum six (6) feet wide sidewalk with a minimum six (6) feet wide continuous planting strip or twelve (12) feet wide sidewalk without continuous planting strip.
- (2) Streets with five (5) lanes or more shall provide pedestrian-scale/ boulevard-scale decorative street lighting at a maximum spacing of ninety (90) feet on-center. Pedestrian-scale light source should be located twelve to fourteen (12-14) feet above finished grade and boulevard-scale light sources should be located eighteen to twenty-five (18-25) feet above finished grade.
- (3) Streets with four (4) lanes or less shall provide pedestrian-scale decorative street lighting at a maximum spacing of ninety (90) feet on-center. Light source should be located twelve to fourteen (12-14) feet above finished grade.
- (4) Light standards selection to be specified by Planning and Building Director/Designee.
- (5) Each block shall have a single species of moderately large shade tree with a maximum spacing of thirty (30) feet on-center. Palm trees can be used as accents. Special sub-surface construction is required to allow for proper tree growth and health. Tree species to be specified by Planning and Building Director/Designee.
- (6) Where no on street parking is present: trees must be located in continuous planting strips located along the back of curb (to buffer pedestrians from the adjacent roadway).
- (7) Where parallel parking is present: trees may be located in planting wells (with flush mounted tree grates as an option), or in continuous planting strips located along the back of curb.
- (8) Where angled parking is present: Trees shall be located in planting wells (with flush mounted tree grates as an option) at the back of curb.
- (9) Native/ water efficient, low groundcovers and shrubs, which require minimal irrigation and a low level of maintenance, must be located within planting strips.

ii) Landing Zone

- (1) The planting strip shall include a one (1) foot wide, paved auto passenger landing located along the back of curb.



Fig.2.5.1. - 6) Standard Avenue

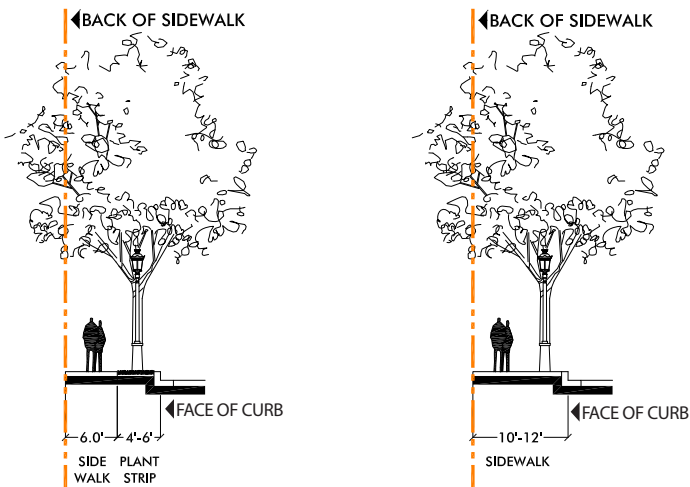


Fig.2.5.1 - 7) Neighborhood Streets

2.5.2 Provision of New Streets

1) Regulation

- i) The construction of new publicly accessible streets is required in instances where:
  - (1) The acreage of land to be developed exceeds the Maximum Block Size development standard.
  - (2) The satisfaction of East-West Street Connection requirements result in the required construction of a new street.
  - (3) The satisfaction of Residential Transition Boundary Street requirements result in the required construction of a new street.
  - (4) The satisfaction of Building Orientation to Streets and Public Open Spaces result in the required construction of a new street.
- ii) A single new street may satisfy multiple new street requirements if the street conforms to all regulations for each requirement.
- iii) New streets intended for public access may also be constructed voluntarily to fulfill the design and development objectives of the private property owner.
- iv) The provision, location, design and configuration of new streets shall conform to the regulations specified in the following sections.
- v) All development applications shall clearly identify fire access routes subject to Fire Department Review. *Note: Developers must reference Huntington Beach Fire Department City Specification # 401 (Minimum Standards for Fire Apparatus Access) and City Specification #415 (Fire Lanes Signage and Markings on Private, Residential, Commercial and Industrial Properties) for Fire Access Road requirements.*

2.5.3 Block Size

1) Definition

- i) Block Size is a measure of the total length of the street-fronting property lines along all block faces enclosed within the nearest surrounding publicly accessible streets.
- ii) Block Face is a measure of the length of the public right-of-way line between two street intersections.

2) Regulation

a) Maximum Block Size

- i) The Maximum Block Size regulation specifies the maximum total linear perimeter of contiguous property lines that form an individual city block.
- ii) Maximum Block Size regulations result in limitations on the amount of contiguous property that may be developed within the boundaries of publicly accessible streets.
- iii) Single properties or assemblages of contiguous properties - that exceed the specified Maximum Block Size standard must as part of new development, construct new publicly accessible streets in locations that result in the creation of city blocks that do not exceed the Maximum Block Size.
- iv) New streets must be designed, configured, and located in accordance with the standards specified in the following sections.
- v) The Maximum Block Size shall be as specified for each Corridor Center and Segment in section 2.1. – Development Standards.
- vi) In no case do alleys or passages qualify as defining edges of a block. For the purposes of determining block size, alleys and passages must always be considered as part of the interior of a block.

b) Maximum Edinger Avenue Block Face

- i) Any development proposed on a single parcel or assembled parcel 1) with Edinger Avenue frontage, 2) with a perimeter greater than 1900 feet and 3) located on a block with a block face longer than the Maximum Edinger Avenue Block Face shall provide:
  - (1) At least one new street perpendicular to Edinger Avenue
  - (2) The new street shall create a connection to a street parallel to Edinger Avenue.

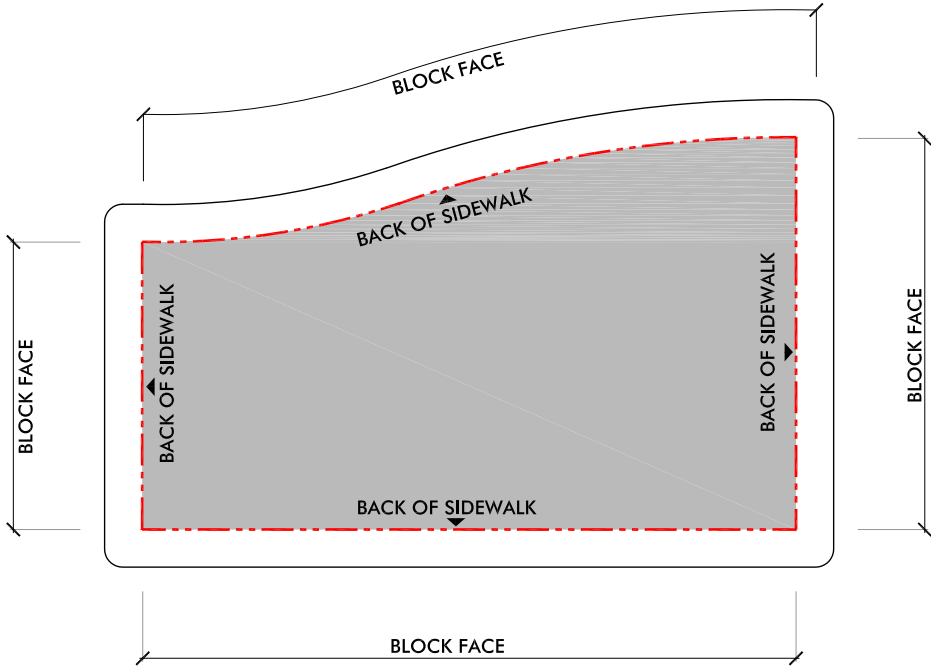


Fig.2.5.3 Block Size



## 2.5.4 Street Connectivity

### 1) Regulation

- All new Streets shall connect with existing streets and be configured to allow for future extension whenever possible.
- Dead end streets and new gated internal streets shall not be permitted.
- In order to maintain the accessibility provided by the block structure of the corridor, existing public streets or alleys may not be closed permanently unless the closure is part of the provision of a network of new streets that provide equivalent mobility and satisfy all street regulations.

## 2.5.5 Required East-West Street Connection

### 1) Regulation

- All properties with a side or rear property line along the plan area boundaries and indicated in the map below shall contribute to a connected vehicular through street parallel to Edinger Avenue.
- Newly constructed segments of this street shall establish vehicular connections with segments previously constructed on adjacent properties.
- Street segments shall be configured to allow for future extension whenever possible.
- Coordinate transition of the street segments for each section.

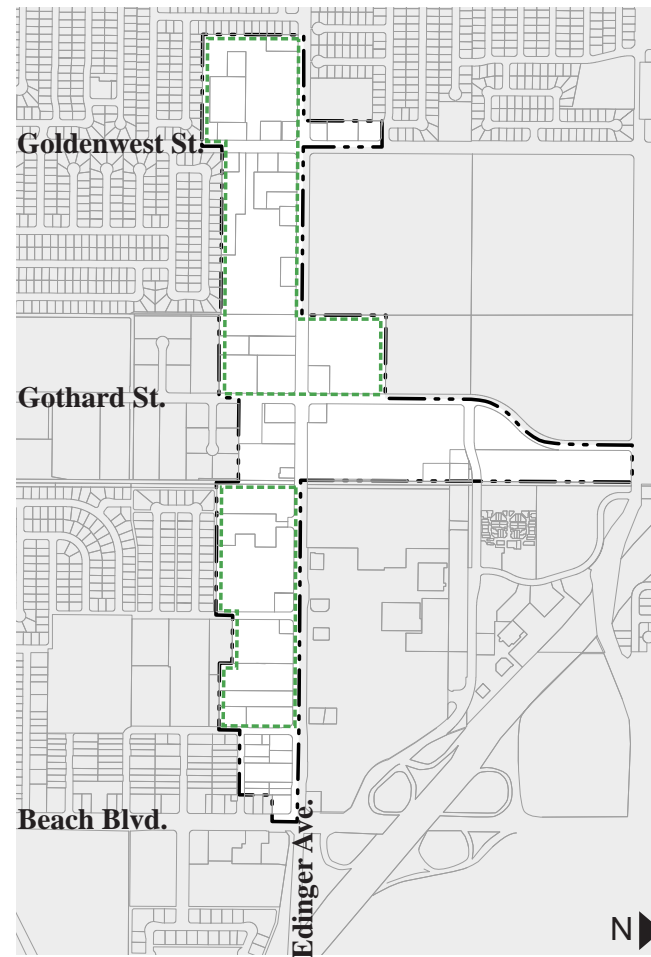


Fig.2.5.5 Required East-West Street Connection

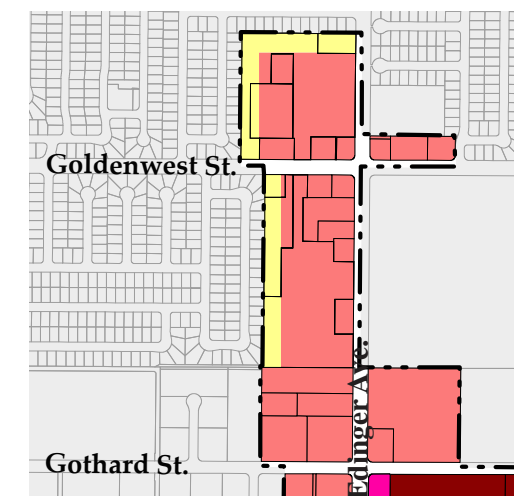
## 2.5.6 Residential Transition Boundary Street

### 1) Regulation

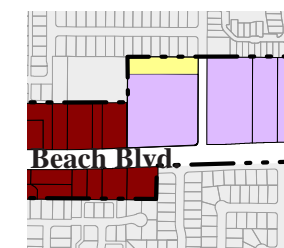
- A street shall be located along the Residential Transition Zone boundary within the Plan area. As shown in Fig.2.5.6 Residential Transition Boundary Street.
- Newly constructed segments of this street shall establish vehicular connections with segments previously constructed on adjacent properties.
- The provision of this street satisfies the required east-west street connection requirement.



2.5.6 Residential Transition Boundary Street



Residential Transition Near Edinger Ave.



Residential Transition Near 5-Points