



Town Council
Town of Millsboro
322 Wilson Highway
Millsboro, Delaware 19966
(302) 934-8171
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town@millsboro.org

Mayor Kimberley Kaan
Vice Mayor John Thoroughgood
President Pro Tem Ron O'Neal
Treasurer Robert McKee
Secretary Mary D'Silva
Councilman Matthew Davis
Councilman Marty Presley

Jamie Burk, Town Manager

Posted on December 30, 2024 at 10:20A.M.

A G E N D A

Town Council Meeting and Executive Session
Monday, January 6, 2025
7:00P.M.
Millsboro Town Center
322 Wilson Highway

NOTE: Unless otherwise indicated, there may be a vote and Council action taken on each and every agenda item set forth herein.

Call to Order Town Council Meeting at 7:00p.m.

Pledge of Allegiance/Council Roll Call

Adoption of the Agenda

Public Comment (3-minute limit)* - No action

Marvelous Millsboro Minute

Secretary's Report

- December 2, 2024 Town Council Meeting Minutes

Treasurer's Report

Bank balances
Invoices

Millsboro Fire Company Update- No action

Greater Millsboro Chamber of Commerce Update

Police Department's Report

Committee Reports

- Asset Management and Finance Committee
- Beebe Medical Center Project Committee
- Charter and Code Review Committee (*No Update*)

Committee Reports continued:

- Downtown Millsboro Committee
- Personnel Committee
- Tidal Health Committee (*No Update*)

Water and Sewer

Change order no. 1(CO1) for the Millsboro SPS 4 improvements project

Mayor's Report

Presentation and acceptance of the Annual Audit Report (Hall)

Recess

Executive Session—

Pursuant to 29 *Del. C.* §10004 (b) (1) and (9), the Town Council will be meeting in executive session related to personnel matters where individual personnel qualifications, competency and abilities are discussed.

Pursuant to 29 *Del. C.* §10004(4), strategy session with respect to collective bargaining regarding General Teamsters Local No. Union 326, affiliated with The International Brotherhood of Teamsters, AFL-CIO.

Call to order

Business Conducted in Executive Session

Town Manager Contract Renewal (Schridder-Fox)

Collective Bargaining Process (Burk/Schridder-Fox)

Resolution to formally request that the Delaware Department of Transportation immediately pursue various traffic safety and traffic control measures to protect and ensure the safety of the residents of the Town of Millsboro and the traveling public in and around corporate limits of the Town of Millsboro.

DELDOT Traffic Management Plan (McKee)

Annexation Committee Appointment: Application submitted by Intervet Inc. for the property located at 26445 E State Street, Millsboro. Formally known as tax map and parcel number 133-17.00-6.00.

Committee Procedures (Presley)

Plantation Lakes South Shore Community Center Improvement Plans

Deed of Dedication and Bill of Sale for dedication of public road and utility infrastructure in Plantation Lakes, Section B & C, Olney Way

MILLSBORO TOWN COUNCIL AGENDA
JANUARY 6, 2025
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Downtown Millsboro Committee Recommendation regarding what is considered the “downtown boundaries” (O’Neal)

Ethics Board (Kaan)

Rental Inquiry for the town owned building located at 111 W. Railroad Avenue, formally known as Sussex County tax map and parcel number 133-17.13-32.01 (Burk)

Supplemental Tax Billing (Hall)

Update regarding Council Goals (Burk)

Adjournment

**30-minute time limit. Time limit is 3 minutes per speaker, not to exceed a total of 30 minutes. Time may not be ceded to another member of the public. Each person making Public Comment shall identify themselves by name and place of residence for the record and shall address all remarks to the Town Council a body and not to any member thereof. Individuals may submit their comment to Town Council members in writing up to 24 hours in advance of the Town Council Meeting to town@millsboro.org or delivering it to 322 Wilson Avenue, Millsboro, De. No one other than a member of the Town Council or Town Staff is permitted to enter discussions without approval of the Mayor. No members of the public are permitted to ask questions of any speaker while they are addressing the Town Council, without permission from the Mayor. All persons at the Town Council meeting should conduct themselves in an orderly fashion. All shall follow the direction of the Mayor, no disruptive behavior is permitted, and electronic devices shall be silent. Please be courteous to those who are speaking during public comment by refraining from commenting from the audience while others are speaking. NOTE: (1) This agenda is subject to change. Such changes may include the addition of items that arise at the time of the meeting and/or the deletion of items. In the case of additions related to items that arise prior to the meeting, the change will be posted with as much notice as practicable under the circumstances—but in no case will the notification be provided less than 6 hours prior to the meeting start time—and the associated item will be (a) of an emergency nature and/or (b) unable to reasonably be deferred for handling at a future meeting. (2) One or more of the items listed may not be considered in sequence.*

01/1		Town of Millsboro		
mth		Account Balances		
		December 31, 2024		
Account				Interest
Type	Bank	Purpose	Book Balance	Earned
Checking/Money Market				
WSFS Bank				
	1	General Account	\$ 6,531,284.01	\$ 17,359.02
	2	Payroll	\$ 1,670.32	\$ 74.93
	3	Withholding	\$ 65,240.89	\$ 304.84
	4	Municipal Street Aid Fund (MSAF)	\$ 100,273.25	\$ 289.95
	5	Sewer Construction	\$ 2,602,301.36	\$ 6,853.03
	6	State Aid Local Law Enforcement (SALLE)	\$ 3,103.84	\$ -
	7	Emergency Illegal Drug Enforcement (EIDE)	\$ 4,671.80	\$ -
	8	Sewer Impact	\$ 3,345,815.44	\$ 8,637.98
	9	Water Impact	\$ 359,359.71	\$ 934.36
	10	Building Component Fee	\$ 1,706,255.00	\$ 4,629.04
	14	Transfer Tax 1% (3.75M in "set-asides")	\$ 9,869,652.33	\$ 26,047.30
	15	Fund to Combat Violent Crime (FCVC)	\$ 35,487.75	\$ -
	16	Police Protection Impact	\$ 490,451.01	\$ 36.86
	17	Transportation/Stormwater Impact	\$ 342,666.27	\$ 25.55
	18	Parks/Recreation Impact	\$ 51,889.50	\$ -
		Bicentennial Beautification Fund	\$ 11,940.43	\$ 31.44
	Total WSFS Bank		\$ 25,522,062.91	\$ 65,224.30
Citizens Bank				
	12	Transfer Tax Checking	\$ 3.85	
	11	Transfer Tax 1%	\$ 200,529.56	\$ 8.49
		Transfer Tax .5%	\$ 50,159.50	\$ 2.12
	Total Citizens		\$ 250,692.91	\$ 10.61
Total Checking/Money Market			\$ 25,772,755.82	\$ 65,234.91
Certificates of Deposit				
M&T Trust - formerly Wilmington Trust				
		Bicentennial Fund 0.03%	\$ 7,000.00	
	Total M&T Trust		\$ 7,000.00	
PNC Bank				
		WWTP Unrestricted General - 11/31/24	\$ 88,621.73	
		WWTP Membrane CD - 11/31/24	\$ 53,917.71	
	Total PNC Bank		\$ 142,539.44	\$ -
Total Certificates of deposit			\$ 149,539.44	\$ -
Total on Hand Cash & CD's			\$ 25,922,295.26	\$ 65,234.91

01/1		Town of Millsboro		Account Balances		Interest Earned	
mth		December 31, 2024		December 31, 2024			
Account	Typ/Bank	Purpose	November 30, 2024 Book Balance	December 31, 2024 Book Balance	Net Change	Interest Earned	
Checking/Money Market							
WSFS Bank							
1	General Account		\$ 6,492,466.01	\$ 6,531,284.01	\$ 38,818.00	\$ 17,359.02	
2	Payroll		\$ 1,595.39	\$ 1,670.32	\$ 74.93	\$ 74.93	
3	Withholding		\$ 104,457.88	\$ 65,240.89	\$ (39,216.99)	\$ 304.84	
4	Municipal Street Aid Fund (MSAF)		\$ 107,374.77	\$ 100,273.25	\$ (7,101.52)	\$ 289.95	
5	Sewer Construction		\$ 2,595,448.33	\$ 2,602,301.36	\$ 6,853.03	\$ 6,853.03	
6	State Aid Local Law Enforcement (SALILE)		\$ 709.53	\$ 3,103.84	\$ 2,394.31	\$ -	
7	Emergency Illegal Drug Enforcement (EIDE)		\$ 3,521.04	\$ 4,671.80	\$ 1,150.76	\$ -	
8	Sewer Impact		\$ 3,119,677.46	\$ 3,345,815.44	\$ 226,137.98	\$ 8,637.98	
9	Water Impact		\$ 343,425.35	\$ 359,359.71	\$ 15,934.36	\$ 934.36	
10	Building Component Fee		\$ 1,897,901.84	\$ 1,706,255.00	\$ (191,646.84)	\$ 4,629.04	
14	Transfer Tax 1% (3.75M in "set-asides")		\$ 9,906,792.29	\$ 9,869,652.33	\$ (37,139.96)	\$ 26,047.30	
15	Fund to Combat Violent Crime (FCVC)		\$ 35,487.75	\$ 35,487.75	\$ -	\$ -	
16	Police Protection Impact		\$ 462,316.82	\$ 490,451.01	\$ 28,134.19	\$ 36.86	
17	Transportation/Stormwater Impact		\$ 313,640.72	\$ 342,666.27	\$ 29,025.55	\$ 25.55	
18	Parks/Recreation Impact		\$ -	\$ -	\$ -	\$ -	
	Bicentennial Beautification Fund		\$ 11,908.82	\$ 11,940.43	\$ 31.61	\$ 31.44	
	Total WSFS Bank		\$ 25,396,724.00	\$ 25,470,173.41	\$ 73,449.41	\$ 65,224.30	
Citizens Bank							
12	Transfer Tax Checking		\$ 3.85	\$ 3.85	\$ -	\$ -	
11	Transfer Tax 1%		\$ 200,521.07	\$ 200,529.56	\$ 8.49	\$ 8.49	
	Transfer Tax .5%		\$ 50,157.38	\$ 50,159.50	\$ 2.12	\$ 2.12	
	Total Citizens		\$ 250,682.30	\$ 250,692.91	\$ 10.61	\$ 10.61	
	Total Checking/Money Market		\$ 25,647,406.30	\$ 25,720,866.32	\$ 73,460.02	\$ 65,234.91	
Certificates of Deposit							
M&T Trust - formerly Wilmington Trust							
	Bicentennial Fund 0.03%		\$ 7,000.00	\$ 7,000.00	\$ -	\$ -	
	Total M&T Trust		\$ 7,000.00	\$ 7,000.00	\$ -	\$ -	
PNC Bank							
	MMWP Unrestricted General - 11/31/24		\$ 88,448.95	\$ 88,621.73	\$ 172.78	\$ -	
	MMWP Membrane CD - 11/31/24		\$ 53,792.07	\$ 53,917.71	\$ 125.64	\$ -	
	Total PNC Bank		\$ 142,241.02	\$ 142,539.44	\$ 298.42	\$ -	
	Total Certificates of deposit		\$ 149,241.02	\$ 149,539.44	\$ 298.42	\$ -	
	Total on Hand Cash & CD's		\$ 25,796,647.32	\$ 25,870,405.76	\$ 73,758.44	\$ -	

December 2024 Prepays

Bank	Check No	Date	Payee	Description	Total
GENE	24691	12/3/2024	CHESAPEAKE UTILITIES	GAS CHG 10/22-11/21/24	235.19
	24691 Total				235.19
	24692	12/3/2024	EYE MED	DEC/GENERAL (HIGH)	157.76
				DEC/POLICE (HIGH)	333.51
				DEC/SEWER (HIGH)	197.67
				DEC/WATER (HIGH)	79.04
	24692 Total				767.98
	24693	12/3/2024	EYE MED	DEC/POLICE (LOW)	50.57
				DEC/SEWER (LOW)	7.82
				DEC/WATER (LOW)	2.61
	24693 Total				61.00
	24694	12/3/2024	GOODE CLEANING LLC	POLICE DEPT CLEANING/NOV	1,088.00
				STRIP/WAX TOWN HALL FLOORS	2,895.00
				TOWN HALL CLEANING/NOV	892.00
	24694 Total				4,875.00
	24695	12/3/2024	MEDIACOM	DEC BILL-WTP OLNEY WAY	312.83
	24695 Total				312.83
	24696	12/3/2024	NECTAR CAFE & JUICE	EMPL CHRISTMAS PARTY-DEPOSIT	3,500.00
	24696 Total				3,500.00
	24697	12/3/2024	VERIZON WIRELESS	10/21-11/20/24 GEN	511.21
				10/21-11/20/24 SWR	816.16
				10/21-11/20/24 WTR	204.04
	24697 Total				1,531.41
	24698	12/3/2024	MID SOUTH AUDIO LLC	SOUND SYSTEM F/CHRISTMAS PARA	900.00
	24698 Total				900.00
	24699	12/10/2024	A-LERT MOTIVATIONS	BROCHURES/VICTIM SERVICES	205.75
	24699 Total				205.75
	24700	12/10/2024	CROWN CASTLE FIBER L	INTERNET-120 RR AVE/POLICE	550.00
				INTERNET-240 CHURCH/WTP	500.00
				INTERNET-261 W STATE/WWTP	550.00
				INTERNET-TOWN HALL	500.00
	24700 Total				2,100.00
	24701	12/10/2024	FUELMAN	NOV/GENERAL	296.57
				NOV/SEWER	1,300.36
				NOV/STREET	525.49
				NOV/WATER	492.94
	24701 Total				2,615.36
	24702	12/10/2024	FUELMAN	NOV/POLICE	3,229.57
	24702 Total				3,229.57
	24703	12/10/2024	MEDIACOM	12/10/24-1/9/25 WWTP	297.55
	24703 Total				297.55
	24704	12/10/2024	LAWN DOCTOR OF SUSSE	LAWN MAINT PPD/TOWN HALL	3,222.40
	24704 Total				3,222.40
	24705	12/10/2024	PEP-UP INC.	REPAIR HEATER-203 RR AVE	125.00
	24705 Total				125.00
	24706	12/10/2024	PRESTON FORD	2024 FORD F-250	383,795.00
				2024 FORD F-250 XL	61,849.00
	24706 Total				445,644.00
	24707	12/10/2024	VERIZON CONNECT FLEE	VEHICLE TRACK SUB-11/01-11/30	223.30
	24707 Total				223.30
	24708	12/10/2024	VERIZON CONNECT FLEE	VEHICLE TRACK SUB-NOV 2024	239.25
				VEHICLE TRACK SUB-OCT 2024	239.25
	24708 Total				478.50
	24709	12/18/2024	DELAWARE ELECTRIC CO	GRAVEL HILL-NOV/DEC	38.45
				HARDSCRABBLE PUMP/WWTP-NOV	167.30

December 2024 Prepalds

GENERAL	24709	45644	DELAWARE ELECTRIC CO	HARDSCRABBLE WTR TOWER-NOV	66.30
				HARDSCRABBLE/15752561-NOV	462.69
				OLNEY WAY WTP-NOV	3,627.70
				PS#7 BRUNSWICK/LENNAR FINAL B	200.24
				PUMP STATION #7/BRUNSWICK	43.28
				SHEEP PEN RD-WELL#7 (33853982)	179.41
				SHEEP PEN RD-WELL#8 (28727556)	172.16
				WHARTON'S BLUFF-NOV	261.72
	24709 Total				5,219.25
	24710	12/18/2024	DOMINION NATIONAL	JAN 2025 BILLING/POLICE	27.94
	24710 Total				27.94
	24711	12/18/2024	GRANITE TELECOMMUNIC	BRANDYWINE/DEC	29.45
				CUPOLA/DEC	46.37
				MILLWOOD/DEC	57.82
				PLANTATION LAKES/DEC	56.96
				POLICE/DEC	599.73
				RADISH FARM/DEC	144.88
				RETREAT/DEC	41.88
				SEWER PLANT/DEC	7.15
				TOWN HALL CTR/DEC	810.00
				TOWN HALL/DEC	144.48
				WATER PLANT/DEC (OLD)	60.08
				WHARTON'S BLUFF/DEC	62.12
	24711 Total				2,060.92
	24712	12/18/2024	HOLIDAY DESIGNS, INC	ICE-LITE TREE-5' BASE	4,049.20
				ICE-LITE TREE-6' BASE	3,218.10
	24712 Total				7,267.30
	24713	12/18/2024	HOPKINS CONSTRUCTION	INSTALLATION OF VALVE @ WAWA	18,450.00
	24713 Total				18,450.00
	24714	12/18/2024	VERIZON	SEWER/DEC INTERNET	104.24
	24714 Total				104.24
	24715	12/18/2024	VERIZON	SWR DSL LINE	17.57
	24715 Total				17.57
	24716	12/18/2024	WASTE MANAGEMENT	NOV 2024 BILLING	1,092.32
	24716 Total				1,092.32
	24717	12/18/2024	WSFS BANK VISA	ADOBE-FLIERS, VIDEOS & MKTING	29.99
				BJ'S/HOLIDAY MARKET	137.88
				BJ'S-CITIZEN'S POLICE ACAD	67.96
				CANVAS CHAMP-CPA 2024 PICTURE	51.39
				CHECKSFORLESS	119.95
				DNREC EXAM/SMITH	100.00
				DNREC LICENSE/MELNICK	50.00
				DOLLAR GENERAL/CHRISTMAS DECO	18.00
				EASTSIDE CARWASH	10.20
				EZ PASS REPLENISHMENT	25.00
				FOGLES/PORTABLE TOILETS	660.00
				FORCE SCIENCE INST-EBKE	395.00
				INDEED/EMPLOYMENT ADS	155.08
				MATT'S FISH CAMP/BUSINESS LUN	62.25
				MICROSOFT 10/24-11/23	152.92
				MICROSOFT EXCH 11/10-12/15	104.00
				MICROSOFT EXCH-10/16-11/15	100.00
				MRO ELEC SUPPLY/SWR REPAIRS	1,495.00
				NORTH AMERICN RESCUE-TRAINER	200.58
				SAME DAY AWARDS/PARADE	59.42
				SIGNWORLD/CHRISTMAS DECORATIO	250.00
				USPS-6 ENVELOPES	17.27
				USPS-CERTIFIED LETTER	9.68
				VISTA PRINT/BUSINESS CARDS	81.97

December 2024 Prepaids

GENERAL	24717 Total				4,353.54
	24718	12/23/2024	AMERICAN WATER WELL	REPAIR WELL CASING	3,850.00
	24718 Total				3,850.00
	24719	12/23/2024	DELTA DENTAL OF DELA	JAN/GENERAL	512.61
				JAN/POLICE	1,691.90
				JAN/SEWER	893.79
				JAN/WATER	340.64
	24719 Total				3,438.94
	24720	12/23/2024	DELMARVA POWER	DEC/CHRISTMAS	162.71
				DEC/CIVIC	345.36
				DEC/MEDIAN	161.72
				DEC/PARK	162.38
				DEC/POLICE	1,833.68
				DEC/RR AVE GARAGE	136.80
				DEC/SEWER	23,703.92
				DEC/TOWN	2,845.64
				DEC/WATER	5,692.95
				DEC/WB ATKINS BALLPARK	344.22
	24720 Total				35,389.38
	24721	12/23/2024	DEPARTMENT OF HUMAN	JAN/GENERAL	11,896.75
				JAN/POLICE	51,031.69
				JAN/SEWER	21,854.24
				JAN/WATER	8,276.14
	24721 Total				93,058.82
	24722	12/23/2024	DIVISION OF PUBLIC H	WTR LICENSE APPLI-DABAL	100.00
	24722 Total				100.00
	24723	12/23/2024	NECTAR CAFE & JUICE	EMPL CHRISTMAS PARTY-BAL DUE	1,900.00
	24723 Total				1,900.00
	24724	12/23/2024	PEP-UP INC.	DELIVERY 12/18/24-307 MAIN	622.34
	24724 Total				622.34
	24725	12/23/2024	PRINCIPAL LIFE INSUR	JAN 2025 BILLING	1,583.13
	24725 Total				1,583.13
	24726	12/23/2024	VERIZON WIRELESS	10/29-11/28/24 POLICE	869.26
	24726 Total				869.26
	24727	12/30/2024	MEDIACOM	JAN BILL/TOWN HALL	175.90
	24727 Total				175.90
	24728	12/30/2024	MEDIACOM	BILLING 12/23/24-1/22/25-SWR	115.00
				BILLING 12/23/24-1/22/25-WTR	114.99
	24728 Total				229.99
	24729	12/30/2024	SELECTIVE INSURANCE	POLICY S3207718/PW VEHICLES	6,933.00
				WC 7010889/23-24 AUDIT	(2,300.00)
	24729 Total				4,633.00
	24730	12/30/2024	VERIZON WIRELESS	11/21-12/20/24 GEN	182.17
				11/21-12/20/24 SWR	816.16
				11/21-12/20/24 WTR	204.04
	24730 Total				1,202.37
	121124	12/11/2024	INTEGRA ADMINISTRATI	HRA DEC 2024	500.00
	121124 Total				500.00
	5023277	12/16/2024	PAYROLL, TOWN OF MIL	PR WK 12-20-2024	48,716.56
	5023277 Total				48,716.56
	5317035	12/23/2024	PAYROLL, TOWN OF MIL	PR WK 12-27-2024	48,939.35
	5317035 Total				48,939.35
	8363962	12/3/2024	PAYROLL, TOWN OF MIL	PR WK 12-06-2024	47,322.74
	8363962 Total				47,322.74
	8402184	12/10/2024	T.O.M.BUILDING FD 02	NOV 2024 BLDG PERMITS	43,500.00
	8402184 Total				43,500.00
	12112024	12/11/2024	INTEGRA ADMINISTRATI	HRA ADMIN FEE-DEC	50.00
	12112024 Total				50.00
	13784429	12/10/2024	T.O.M. POLICE PRO IM	NOV 2024 BLDG PERMITS	28,097.33

December 2024 Prepaids

GENERAL	13784429 Total				28,097.33
	22241687	12/16/2024	WITHHOLDING, TOWN OF	PR WK 12-20-2024	34,529.60
	22241687 Total				34,529.60
	31694926	12/10/2024	T.O.M. PARKS/RECREA	NOV 2024 BLDG PERMITS	14,500.00
	31694926 Total				14,500.00
	34954502	12/10/2024	T.O.M. WATER IMPACT	NOV 2024 BLDG PERMITS	15,000.00
	34954502 Total				15,000.00
	51710987	12/3/2024	WITHHOLDING, TOWN OF	PR WK 12-06-2024	34,028.25
	51710987 Total				34,028.25
	52111467	12/10/2024	WITHHOLDING, TOWN OF	PR WK 12-13-2024	38,315.16
	52111467 Total				38,315.16
	54581051	12/10/2024	PAYROLL, TOWN OF MIL	PR WK 12/13/2024	66,174.43
	54581051 Total				66,174.43
	73765864	12/23/2024	WITHHOLDING, TOWN OF	PR WK 12-27-2024	38,967.33
	73765864 Total				38,967.33
	76718701	12/10/2024	T.O.M. TRANSP/SW IMP	NOV 2024 BLDG PERMITS	29,000.00
	76718701 Total				29,000.00
	83050133	12/10/2024	T.O.M. SEWER IMPACT	NOV 2024 BLDG PERMITS	217,500.00
	83050133 Total				217,500.00
GENERAL	Total				1,361,111.80
WITHH	5389	12/18/2024	AFLAC	NOV 2024 BILLING	3,188.12
	5389 Total				3,188.12
	5390	12/18/2024	LEGAL SHIELD	DEC 2024 BILLING	210.40
	5390 Total				210.40
	113024	12/9/2024	DPERS	NOV/POLICE	29,742.30
	113024 Total				29,742.30
	123124	12/31/2024	DPERS	DEC/POLICE	23,753.16
	123124 Total				23,753.16
	1285771	12/13/2024	GF PASS THRU 941/CD	PR WK 12-13-2024	22,018.22
	1285771 Total				22,018.22
	1397640	12/6/2024	DIVISION OF REVENUE	PR WK 12-06-2024	3,546.93
	1397640 Total				3,546.93
	1406429	12/13/2024	DIVISION OF REVENUE	PR WK 12-13-2024	3,880.16
	1406429 Total				3,880.16
	1414601	12/20/2024	DIVISION OF REVENUE	PR WK 12-20-2024	3,619.42
	1414601 Total				3,619.42
	1422139	12/27/2024	DIVISION OF REVENUE	PR WK 12-27-2024	3,647.01
	1422139 Total				3,647.01
	5700726	12/20/2024	MISSIONSQUARE RETIRE	457B CONTRIBUTIONS	175.00
	5700726 Total				175.00
	8999577	12/27/2024	MISSIONSQUARE RETIRE	457B CONTRIBUTIONS	175.00
	8999577 Total				175.00
	11302024	12/9/2024	DPERS	NOV/TOWN	16,966.93
	11302024 Total				16,966.93
	12312024	12/31/2024	DPERS	DEC/TOWN	14,234.08
	12312024 Total				14,234.08
	17311405	12/6/2024	GF PASS THRU 941/CD	PR WK 12-06-2024	17,849.36
	17311405 Total				17,849.36
	54716105	12/23/2024	GENERAL FUND, TOWN O	2024 VEHICLE ALLOWANCE	4,140.00
	54716105 Total				4,140.00
	70708579	12/20/2024	GF PASS THRU 941/CD	PR WK 12-20-2024	18,277.82
	70708579 Total				18,277.82
	71593640	12/6/2024	MISSIONSQUARE RETIRE	457B CONTRIBUTIONS	375.00
	71593640 Total				375.00
	76198850	12/13/2024	MISSIONSQUARE RETIRE	457B CONTRIBUTIONS	175.00
	76198850 Total				175.00
	80167037	12/27/2024	GF PASS THRU 941/CD	PR WK 12-27-2024	18,723.86
	80167037 Total				18,723.86
WITHHOLDING	Total				184,697.77

December 2024 Prepaids

MSAF	1673	12/23/2024	DELMARVA POWER	NOV-DEC/MAGNOLIA	731.67
				NOV-DEC/MILL LANDING	304.87
				NOV-DEC/STREET	6,354.93
	1673 Total				7,391.47
MSAF Total					7,391.47
SALLI	85735959	12/10/2024	GENERAL FUND, TOWN O	OVERTIME-REIMB BANK 1	659.53
	85735959 Total				659.53
SALLE Total					659.53
EIDE	21298309	12/10/2024	GENERAL FUND, TOWN O	D-19-24 PR 6/2,6/3.9/4	3,471.04
	21298309 Total				3,471.04
EIDE Total					3,471.04
WSFS	1205	12/18/2024	HOPKINS CONSTRUCTION	PS#4-M&T IMPROVEMENTS	29,551.27
	1205 Total				29,551.27
WSFS TT 1% Total					29,551.27
Grand Total					1,586,882.88

December 2024 Bills

Sum of	Total		
Bank	Vendor	Description	Total
GENERAL	A.E. MOORE JANITORIAL	DEC/POLICE	238.90
		DEC/TOWN	361.31
	A.E. MOORE JANITORIAL Total		600.21
	AC SCHULTES OF DELAWARE,	REPAIR PUMP C/WTP CHURCH ST	19,520.00
	AC SCHULTES OF DELAWARE, Total		19,520.00
	ADVANCE AUTO PARTS	GASKET	145.84
		GASKET RET'D WRONG PART	(91.15)
		IGNITION KNOCK SENSOR (2)	94.06
		IGNITION KNOCK SENSOR HARNESS	36.11
		SOLENOID/2004 CHEV SILVERADO	58.95
		SOLENOID-RET'D WRONG PART	(24.56)
	ADVANCE AUTO PARTS Total		219.25
	ADVANTECH	MONITORING SECURITY SYSTEMS	188.50
	ADVANTECH Total		188.50
	AECOM TECHNICAL SERVICES,	2000955871/TIDAL HEALTH	623.80
		2000955874/BUILDING INSPEC	22,828.90
		2000957479/MID SUSSEX WASHX	2,995.66
		2000959772/GENERAL SERVICES	3,900.17
		2000966384/BUILDING INSPEC	32,228.02
		2000966395/PLANTATION LAKES	2,394.77
		2000966402/AIRBASE CARPET EXP PLAN REV	197.14
		2000966411/TIDAL HEALTH	394.28
		2000966449/WEIS MKT PLAN REV	3,380.82
		2000966621/TRIPLE D CONTR SHOPS SITE PI	941.19
	AECOM TECHNICAL SERVICES, Total		69,884.75
	A-LERT MOTIVATIONS	WOMEN'S POLO & EMBROIDERY	38.98
	A-LERT MOTIVATIONS Total		38.98
	AMAZON CAPITAL SERVICES	2025 ERASABLE CALENDAR 48X32	29.53
		AA BATTERIES/48 PK (2)	29.18
		AAA BATTERIES/48 PK (2)	34.84
		BALLPOINT PENS (50/PK)	17.99
		BUSINESS CARD HOLDER (2)	17.78
		CORK BOARD DAMAGED/RET'D	(13.88)
		CORRECTION TAPE (10/PK)	13.78
		CPR TRAINING MASKS (4 4PK)	98.95
		DIGITAL CAMERA (2)	91.98
		FILE CABINET LABEL HOLDER (60/PK)	7.99
		FILE FOLDERS (250/BX)	33.14
		FORD EXPL WHEEL HUB COVER (3 SETS)	210.49
		GAVEL & SOUND BLOCK SET	12.88
		LATERAL FILE CABINET-4 DRAWER	399.98
		LEGAL PADS (12 PK)	14.07
		MECHANICAL PENCILS (12 PK)	6.77
		MONEY RECEIPT BOOK (4)	38.77
		N95 RESPIRATOR (20/PK)	18.99
		PENTEL PENS (12 PK)	8.89
		POST RULED STICK MEMO PADS (12 PK)	8.95
		RESUME PAPER	10.12
		STENO BOOKS (12 PK)	19.07
		TONER CARTRIDGE (2)	279.02
		TRASH BAGS/56 GAL (6 CS)	300.66
		TYVEK ENVELOPES 10X13	44.89

December 2024 Bills

GENERAL	AMAZON CAPITAL SERVICES Total		1,734.83
	ARK SYSTEMS, INC.	FIRE ALARM MONITORING-NEW WTP	595.00
	ARK SYSTEMS, INC. Total		595.00
	BAKER'S HARDWARE CO.	DEC/CHRISTMAS	39.96
		DEC/SWR REPAIRS & MAINT	154.83
		DEC/SWR SUPPLIES	466.43
		DEC/WTR MISC EXPENSE	5.97
		DEC/WTR REPAIRS & MAINT	92.43
		DEC/WTR RPR MAINT-VEHICLE/EQUIP	63.98
		DEC/WTR SUPPLIES	65.93
	BAKER'S HARDWARE CO. Total		889.53
	BUCKLER, RICHARD L.	BOOTS	104.99
	BUCKLER, RICHARD L. Total		104.99
	BUNTING & BERTRAND SUPPLY	CRUDE OIL	17.10
		THERMOSTAT	101.75
		TIME CLOCK SWITCHES/CHRISTMAS	40.40
	BUNTING & BERTRAND SUPPLY Total		159.25
	BURK, JAMIE	DEC 2024 CELL PHONE REIMB	50.00
	BURK, JAMIE Total		50.00
	CAPITOL CLEANERS	NOV BILLING	144.50
	CAPITOL CLEANERS Total		144.50
	CINTAS	AED MONTHLY LEASE AGREEMENT	117.00
		MEDICAL CABINET CHECKED	84.84
	CINTAS Total		201.84
	CLEAN DELAWARE, INC.	PUMP OUT DIVERTED INFLUENT	2,632.20
		PUMP OUT SLUDGE-WWTP	2,412.85
		PUMPED OUT SLUDGE/DIGESTER WWTP	4,515.40
		PUMPED OUT SLUDGE/WWTP	4,606.35
		REMOVE SLUDGE/DIGISTER	3,070.90
	CLEAN DELAWARE, INC. Total		17,237.70
	COASTAL POINT LLC	BOA PUBLIC HEARING-CRAMER	54.00
		CHRISTMAS PARADE AD	181.00
		PUBLIC NOTICE-INTERVET ANNEX	54.00
	COASTAL POINT LLC Total		289.00
	COMPLETE TREE CARE, INC.	CLEAN OUT FLOWER BEDS/PD	275.00
		CUT MEDIAN-10/10,24	2,080.00
	COMPLETE TREE CARE, INC. Total		2,355.00
	CORELOGIC	OVERPAYMENT FY25 TAXES	589.29
		REF OVERPMT FY25 PROPERTY TAXES	16,590.85
	CORELOGIC Total		17,180.14
	CORPUS, ALEXZANDRO	BOOTS	150.00
	CORPUS, ALEXZANDRO Total		150.00
	COYNE CHEMICAL CO.	BLEACH	5,772.02
		BLEACH (BULK)	4,871.50
		BLEACH (BULK)-CHURCH ST	2,855.00
		BLEACH (DRUMS)	7,361.83
		CAUSTIC	8,217.20
		CAUSTIC (BULK)	4,119.64
		CAUSTIC (DRUMS)	1,698.30
		CAUSTIC 50%	3,727.18
		CES PACL	9,771.68
		CITRIC	4,900.00
		LIME	887.22
		POLYMER	6,577.18
	COYNE CHEMICAL CO. Total		60,758.75
	CRW FLAGS, INC.	US FLAGS 5X8 (3)	210.37

December 2024 Bills

GENERAL	CRW FLAGS, INC. Total		210.37
	CUMMINS - WAGNER	COMPRESSOR RENTAL-10/29-11/29/24	2,200.00
		COMPRESSOR RENTAL-11/29-12/29/24	2,200.00
		COMPRESSOR REPAIR	652.00
	CUMMINS - WAGNER Total		5,052.00
	DELAWARE DEPT OF LABOR	98022-6 24-4	589.63
	DELAWARE DEPT OF LABOR Total		589.63
	DELAWARE SOLID WASTE AUTH	439840/SLUDGE	348.60
		440383/SLUDGE	525.70
		440887/SLUDGE	590.80
		441331/SLUDGE	434.00
		441714/SLUDGE	360.50
		442584/SLUDGE	317.80
		442937/TRASH-SWR PLANT	25.20
		443064/SLUDGE	245.00
		443584/SLUDGE	457.10
		443882/SLUDGE	434.00
		444278/SLUDGE	378.70
		444470/TRASH-POLICE DEPT	19.60
		445305/SLUDGE	481.60
		445627/SLUDGE	349.30
		446058/SLUDGE	421.40
		446186/TRASH-SWR PLANT	11.55
		446186/TRASH-WTR PLANT	11.55
		446517/SLUDGE	226.80
		446974/SLUDGE	363.30
		447860/SLUDGE	401.10
		448665/SLUDGE	382.90
		448818/TRASH-SWR PLANT	11.20
		448818/TRASH-WTR PLANT	11.20
		449286/SLUDGE	374.50
		450440/SLUDGE	420.00
		450723/TRASH-SWR PLANT	23.80
		451078/SLUDGE	438.20
		CREDIT/OVERCHARGED JULY 2024	(786.10)
	DELAWARE SOLID WASTE AUTH Total		7,279.30
	DOLPHIN ELECTRIC LLC	RPR ELECTRIC/MEDIAN	500.00
		WTR TANK LIGHTING REPAIR	565.00
	DOLPHIN ELECTRIC LLC Total		1,065.00
	DUFFIELD ASSOCIATES, INC	91823/PS#4 DEWATERING	629.85
		91824/ALDERLEAF MEADOWS	1,292.00
		91825/WESTTOWN VILLAGE SUB REV	294.02
		91826/PLANTA LAKES SUB REV	13,790.16
		91827/MILLSBORO MISC-GEN	3,120.99
		91827A/WEIS MKT	513.71
		91827B/SOMERTON CHASE	91.67
		91827C/PRESTON EXP	91.67
		91827D/MID SUSSEX WASHX	506.35
		91827E/INTERVET ANNEX POS	1,598.61
		91839/M&T BANK PS REPLAC	12,373.40
	DUFFIELD ASSOCIATES, INC Total		34,302.43
	EBKE, CHRISTOPHER	CLI TRAINING-1ST DAY 1/26/25	60.00
		CLI TRAINING-LAST DAY 1/31/25	60.00
		CLI TRAINING-M&IE 1/27/25	80.00
		CLI TRAINING-M&IE 1/28/25	80.00
		CLI TRAINING-M&IE 1/29/25	80.00

December 2024 Bills

GENERAL	EBKE, CHRISTOPHER	CLI TRAINING-M&IE 1/30/25	80.00
	EBKE, CHRISTOPHER Total		440.00
	ENVIROCORP, INC.	DEC/SEWER	4,829.00
		DEC/WATER	1,030.00
		NOV/SEWER	4,066.00
		NOV/WATER	1,043.00
	ENVIROCORP, INC. Total		10,968.00
	FERGUSON	ANCHORS/OLNEY WTP	210.90
	FERGUSON Total		210.90
	FIRST SHORE FEDERAL SAVIN	OVERPAYMENT FY25 TAXES	255.84
	FIRST SHORE FEDERAL SAVIN Total		255.84
	FLEET TITANS LLC	INSTALL PLOW 2022 F250	6,510.00
	FLEET TITANS LLC Total		6,510.00
	FOX ROTHSCHILD LLP	NOV BILLING THROUGH 11/30/24	811.50
	FOX ROTHSCHILD LLP Total		811.50
	GENERAL CODE PUBLISHERS	SUPPLEMENT NO.71-UPDATE (8)	815.00
	GENERAL CODE PUBLISHERS Total		815.00
	GEORGE, MILES & BUHR, LLC	PLANTA LAKES/ONSITE INSPEC	2,612.32
		SOMERTON CHASE/ONSITE INSPEC	13,350.92
	GEORGE, MILES & BUHR, LLC Total		15,963.24
	GOODE CLEANING LLC	POLICE DEPT CLEANING/DEC	1,088.00
		TOWN HALL CLEANING/DEC	892.00
	GOODE CLEANING LLC Total		1,980.00
	HARBOR FREIGHT TOOLS USA,	AIR LINES-WTP CHURCH ST	49.98
		SUPPLIES FOR STREET REPAIRS	100.95
		SUPPLIES/WWTP	115.94
		SUPPLIES-WWTP	389.93
		TOOLS FOR 2024 F-250	566.96
		TOOLS/2024 F-250	70.96
	HARBOR FREIGHT TOOLS USA, Total		1,294.72
	HARRY CASWELL INC	RPR PLUMBING ISSUES/CHAMBER BLDG	369.69
	HARRY CASWELL INC Total		369.69
	HAXZONE ENTERPRISES, LLC	REFUND/BUSINESS LICENSE	50.00
	HAXZONE ENTERPRISES, LLC Total		50.00
	HILLS' ELECTRIC MOTOR SER	60HP CIRCULATION PUMP REBUILD	34,149.25
		AIR BLOCKERS/MEMBRANES-WWTP (3)	3,147.94
		EXHAUST FAN MOTORS (2)	1,056.40
		REPAIR INFLUENT PUMP	33,819.33
		RPR PUMP#3/M&T PS	13,599.15
	HILLS' ELECTRIC MOTOR SER Total		85,772.07
	HILYARD'S INC	CONTRACT 12/18/24 TO 3/17/25	136.92
	HILYARD'S INC Total		136.92
	HIRERIGHT, LLC	SAMPLE DRAW 10/7/24	62.35
	HIRERIGHT, LLC Total		62.35
	HOSE PROS	FITTING/WWTP	13.80
	HOSE PROS Total		13.80
	HR DIRECT	NEW EMPLOYEE RIGHTS POSTERS	108.94
	HR DIRECT Total		108.94
	HYDROCORP	CROSS CONNECT CONTROL-12/24	979.00
	HYDROCORP Total		979.00
	INTERNATIONAL INSTITUTE O	MUNICIPAL CLERKS ANNUAL DUES	195.00
	INTERNATIONAL INSTITUTE O Total		195.00
	JOHN HIOTT	PMI INSPECTION 12/10/24	2,840.00
	JOHN HIOTT Total		2,840.00
	JONES, RANDOLPH	JONES/DOT PHYSICAL 12/31/24	80.00
	JONES, RANDOLPH Total		80.00

December 2024 Bills

GENERAL	L/B WATER SERVICE INC	ANNUAL RNI SAAS FEE	8,487.20
		ANNUAL SENSUS ANALYTICS	7,242.00
	L/B WATER SERVICE INC Total		15,729.20
	LOWE'S	ANCHORS & BIT SET	28.46
		FURRING STRIPS (12)	15.72
		GASKETS FOR TOILETS	18.96
		PARTS TO INSTALL ICE MAKER/PD	18.49
		PUSH BROOM	25.61
		REPAIR EXHAUST FANS/WTP CHURCH ST	31.86
		REPAIR EXHAUST FANS-WTP/CHURCH ST	32.43
		REPAIR ISSUES AT CHAMBER BLDG	47.21
		REPAIRS/CHURCH ST WTP	34.17
		REPAIRS/OLNEY WAY WTP	36.79
		REPLACE WALL LIGHT	196.59
		ROUGH PUSH BROOM (2)	31.32
		SHOE ORGANIZER	47.48
		SHOVEL (4)	94.92
		SMOOTH PUSH BROOM	18.03
		SUPPLIES TO REPAIR WTP-CHURCH ST	138.43
		SUPPLIES/RPR OLNEY WAY WTR TANK	324.62
		SUPPLIES/WWTP	246.92
		SUPPLIES-WWTP	53.10
		TOILET (2) CHAMBER BLDG	188.10
		TOILET SUPPLY LINE	6.82
		TOOLS FOR 2024 F-250	80.45
		TOOLS FOR 2024 F-250-WTP	206.03
		UTILITY HANGER	9.48
		WOOD SHIMS	6.63
	LOWE'S Total		1,938.62
	MAGNUM ELECTRONICS INC.	CABLE MOUNTING FOR RADIO	148.38
		RENEWAL NETCLOUD LICENSE (8)	729.88
	MAGNUM ELECTRONICS INC. Total		878.26
	MARVEL'S PORTABLE WELDING	METAL/REPAIRS FOR WWTP	674.11
	MARVEL'S PORTABLE WELDING Total		674.11
	MCGEE, KEITH	BOOTS	150.00
	MCGEE, KEITH Total		150.00
	MCMULLEN, JAMES	BOOTS	150.00
	MCMULLEN, JAMES Total		150.00
	MEDIACOM	JAN BILL-OLNEY WAY WTP	304.49
	MEDIACOM Total		304.49
	MEDICAL ALTERNATIVE CARE	DRUG SCREENING/PHYSICAL-RECRUIT	199.00
	MEDICAL ALTERNATIVE CARE Total		199.00
	MOYER, DAVID	CVSA TRAINING-1ST DAY 2/3/25	60.00
		CVSA TRAINING-LAST DAY 2/7/25	60.00
		CVSA TRAINING-M&IE 2/4/25	80.00
		CVSA TRAINING-M&IE 2/5/25	80.00
		CVSA TRAINING-M&IE 2/6/25	80.00
	MOYER, DAVID Total		360.00
	MUNICIPAL EMERGENCY SERVI	CARRIERS FOR VESTS (2)	244.00
	MUNICIPAL EMERGENCY SERVI Total		244.00
	NAPA AUTO PART-WAS463	DEF/SWR VEHICLES	61.45
		EXTERIOR DOOR HANDLE/2004 CHEV SILVERA	24.27
	NAPA AUTO PART-WAS463 Total		85.72
	OFFICER STORE	GLOCK-SEMI AUTO	429.00
		RED DOT SIGHT HOLSTER/RET'D	(133.59)
	OFFICER STORE Total		295.41

December 2024 Bills

GENERAL	OMNISITE	WIRELESS SERV/PL PS	404.00
		WIRELESS SERV/PS #12B	404.00
		WIRELESS SERV/PS#1	290.00
	OMNISITE Total		1,098.00
	ONE CALL CONCEPTS, INC.	NOV 2024 BILLING	187.14
	ONE CALL CONCEPTS, INC. Total		187.14
	PC LAW ASSOCIATES	OVERPAYMENT FY25 TAXES	159.59
	PC LAW ASSOCIATES Total		159.59
	PEP-UP INC.	FUEL/GENERATOR-120 RR AVE	692.15
	PEP-UP INC. Total		692.15
	PITTSVILLE MOTORS	REPAIR 2015 CHEV TAHOE	2,412.86
		REPL ALTERNATOR-2015 CHEV TAHOE	1,052.45
		REPL BRAKE PADS/2019 FORD EXPL	25.25
	PITTSVILLE MOTORS Total		3,490.56
	POSTMASTER	OCT-DEC WTR/SWR BILLING	2,076.46
	POSTMASTER Total		2,076.46
	POWERBACK SERVICES LLC	REPLACED SWITCH /HALL KITCHEN	190.00
	POWERBACK SERVICES LLC Total		190.00
	PTA / DELVAL INC.	QTRLY BILLING/DATABASE MAINT	8,793.75
	PTA / DELVAL INC. Total		8,793.75
	PYRZ WATER SUPPLY CO., IN	PUMP STATORS (4)	3,168.00
	PYRZ WATER SUPPLY CO., IN Total		3,168.00
	QUILL CORPORATION	COPY PAPER (2)	293.92
	QUILL CORPORATION Total		293.92
	ROGERS SIGN CO, INC.	DECALS FOR NEW TRUCKS (6)	660.00
	ROGERS SIGN CO, INC. Total		660.00
	SANDER, ASHLEIGH	DEC 2024 CELL PHONE REIMB	50.00
		NOV 2024 CELL PHONE REIMB	50.00
		POSTAGE/NY REPL PARTS RETURN	23.17
	SANDER, ASHLEIGH Total		123.17
	SECURITAS TECHNOLOGY CORP	2025 SERVICE AGREEMENT	463.08
	SECURITAS TECHNOLOGY CORP Total		463.08
	SERVICE TIRE TRUCK CENTER	REPAIR TIRES ON STREET SWEEPER	454.40
	SERVICE TIRE TRUCK CENTER Total		454.40
	SHORE TINT & MORE, INC.	WINDOW TINT-DOOR & WINDSHIELD	200.00
	SHORE TINT & MORE, INC. Total		200.00
	SIRCHIE FINGER PRINT	FIRST AID KIT	132.46
		NARK II DRUG KIT	179.32
	SIRCHIE FINGER PRINT Total		311.78
	STEEN, WAHLER & SCHRIDER	NOV 2024 BILLING	3,438.98
	STEEN, WAHLER & SCHRIDER Total		3,438.98
	TRACKER PRODUCTS, LLC	CLOUD STORAGE LICENSE	4,515.00
	TRACKER PRODUCTS, LLC Total		4,515.00
	UNIFIRST CORPORATION	GENERAL MAINT SUPPLIES	98.00
		UNIFORM RENTAL-SWR DEPT	245.30
		UNIFORM RENTAL-WTR DEPT	245.28
	UNIFIRST CORPORATION Total		588.58
	UNITED ELECTRIC SUPPLY-DA	BLANK DEEP EXPOSED BOX	10.66
		BREAKERS (2)	55.08
		BREAKERS FOR MEMBRANES	5.74
		ELECTRIC PARTS/MEDIAN	189.02
		SWITCH	3.17
		TOGGLE SWITCH COVER	24.30
	UNITED ELECTRIC SUPPLY-DA Total		287.97
	USA BLUE BOOK	CURB BOX	344.85
		CURB BOX KEY (4)	303.80

December 2024 Bills

GENERAL	USA BLUE BOOK	FLUORIDE REAGENT (4)	407.80
		FLUORIDE SATURATOR	4,303.00
		HAND KEY WRENCH (4)	179.80
		VALVE BOX CLEANERS (4)	1,079.80
		VALVE BOX KEY (4)	483.80
	USA BLUE BOOK Total		7,102.85
	VERDANTAS LLC	124354/WW SEWER MODELING	28,165.00
		124355/MORRIS ST-WTR MAIN IMPROV	1,378.75
	VERDANTAS LLC Total		29,543.75
	WESTTOWN VILLAGE	REFUND/PASS THROUGH INV	2,091.92
	WESTTOWN VILLAGE Total		2,091.92
	WILMINGTON TRUST N.A.	PL FY25 11/27-12/31/24	2,786.74
	WILMINGTON TRUST N.A. Total		2,786.74
	WROTEN, BRIAN W.	INFLUENT PUMP A TRIPPING	788.16
		REPLACED INFLUENT VFD A	1,344.66
	WROTEN, BRIAN W. Total		2,132.82
GENERAL Total			466,517.34
	WITHHOLDING TEAMSTERS LOCAL 326	JAN 2025 BILLING	757.00
	TEAMSTERS LOCAL 326 Total		757.00
WITHHOLDING Total			757.00
	BUILDING C DAVIS, BOWEN & FRIEDEL, I	2022A005.E01/PROCURE & CONSTRUC PHASE	1,000.00
	DAVIS, BOWEN & FRIEDEL, I Total		1,000.00
BUILDING COMP FEE Total			1,000.00
	WSFS TT 1% L/B WATER SERVICE INC	BASE STATION EXT WARRANTY	3,644.14
		IPERL METERS 1" W/CABLE	3,595.80
		IPERL METERS 2"-17" LENGTH	30,358.56
	L/B WATER SERVICE INC Total		37,598.50
WSFS TT 1% Total			37,598.50
Grand Total			505,872.84

Millsboro Police Department Monthly Report



Town of Millsboro Council Report

December 2024

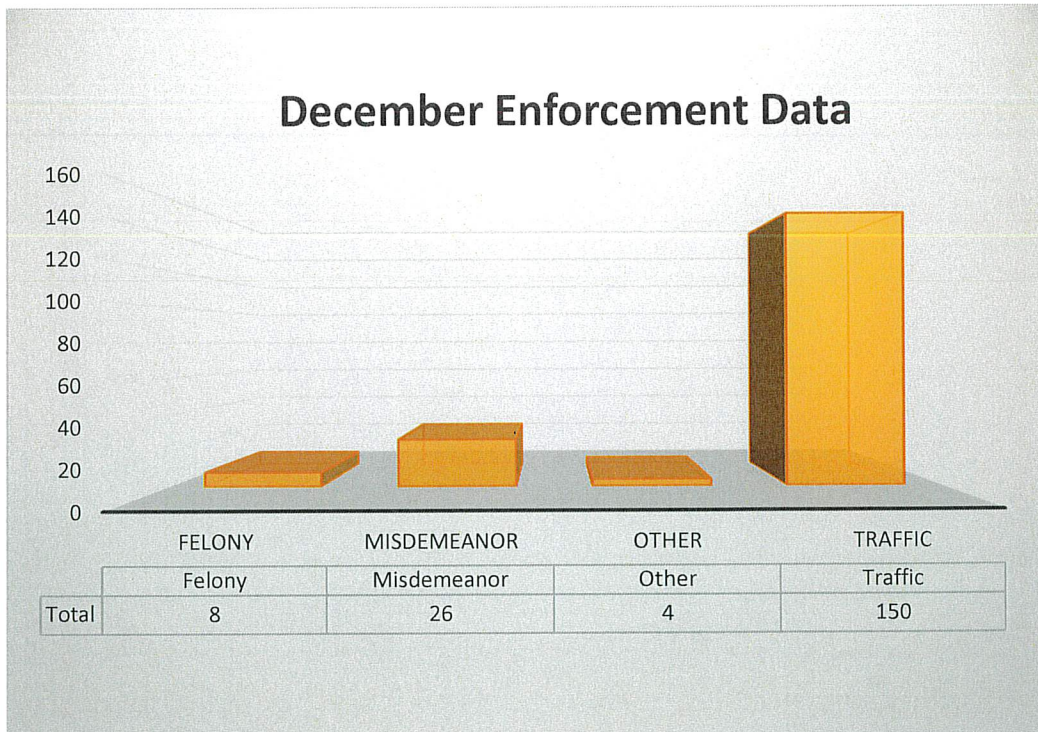
(November 23, 2024 – December 22, 2024)

MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

Millsboro Police Enforcement Data

Millsboro PD Reported Incidents	December	November	October
Complaints / Incident Reports	135	165	162
Crime Reports	26	33	34
Domestic Incident Reports	17	17	8
Assist other Agency Reports	11	9	13
Field Service Reports	66	78	77
Overdose / Narcan Admin	6	3	0
Overdose Fatal	0	0	0
Traffic Stops	171	189	173
Traffic Citations	84	104	99
DUI	1	3	3

December Enforcement Data



MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

December 2024 YTD Crime Statistics			
PART I OFFENSES			
Offense_Order	Crime_Categ	2024	2023
A03	Kidnap	<u>5</u>	<u>0</u>
A04	Rape	<u>12</u>	<u>18</u>
A06	Robbery	<u>3</u>	<u>1</u>
A07	Assault/Aggravated	<u>27</u>	<u>26</u>
A08	Burglary	<u>29</u>	<u>21</u>
A09	Theft	<u>171</u>	<u>154</u>
A10	Theft/Auto	<u>3</u>	<u>3</u>
A12	All Other	<u>11</u>	<u>8</u>
PART I OFFENSES		261	231
PART II OFFENSES			
Offense_Order	Crime_Categ	2024	2023
A10	Theft/Auto	<u>6</u>	<u>11</u>
A13	Other Assaults	<u>239</u>	<u>229</u>
A14	Rec. Stolen Property	<u>0</u>	<u>1</u>
A15	Criminal Mischief	<u>85</u>	<u>80</u>
A16	Weapons	<u>19</u>	<u>21</u>
A17	Other Sex Offenses	<u>3</u>	<u>3</u>
A18	Alcohol	<u>1</u>	<u>1</u>
A19	Drugs	<u>95</u>	<u>135</u>
A20	Noise/Disorderly Premises	<u>96</u>	<u>99</u>
A21	Trespass	<u>123</u>	<u>84</u>
A22	Disorderly Conduct	<u>83</u>	<u>78</u>
A23	Other	<u>1,041</u>	<u>985</u>
PART II OFFENSES		1791	1727
PART III OFFENSES			
Offense_Order	Crime_Categ	2024	2023
A24	Alarm	<u>277</u>	<u>311</u>
A25	Animal Control	<u>14</u>	<u>13</u>
A26	Recovered Property	<u>73</u>	<u>75</u>
A27	Service	<u>794</u>	<u>757</u>
A28	Suspicious Per/Veh	<u>306</u>	<u>262</u>
PART III OFFENSES		1464	1418
Summary		3516	3376

MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

December 2024
Quality of Life Calls

Centerview Shopping Center	Count of CRIME DESC.
911 DISCONNECT	1
AGGRAVATED ASSAULT/FAMILY OTHER DANGEROUS WEAPON	1
BURGLAR/ROBBERY ALARMS	7
CHECK ON WELL BEING	1
CIVIL DISPUTE	1
DRIVING UNDER THE INFLUENCE/DRUGS	1
HEROIN/POSSESSION	1
LOCAL FUGITIVE/WANTED	1
PUBLIC ASSISTANCE	1
SUSPICIOUS PERSON	1
SUSPICIOUS VEHICLE	2
TRESPASSING/FREE TEXT	2
Grand Total	20
Food Lion Shopping Center	Count of CRIME DESC.
BURGLAR/ROBBERY ALARMS	3
CHECK ON WELL BEING	1
LARCENY/FROM BUILDING	1
LARCENY/SHOPLIFTING	3
LOCAL FUGITIVE/WANTED	1
POSSESSION OF DRUG PARAPHERNALIA	1
Grand Total	10
Plantation Lakes	Count of CRIME DESC.
ASSIST OTHER POLICE AGENCY	4
BURGLAR/ROBBERY ALARMS	3
CHECK ON WELL BEING	3
CIVIL DISPUTE	1
DISORDERLY CONDUCT/LIQUOR INVOLVEMENT	1
DOMESTIC SITUATION/NON CRIMINAL/CUSTODY DISPUTE	2
FIGHT IN PROGRESS	1
HARASSING COMMUNICATION/PHONE/WIRE/MAIL ONLY	1
INTIMIDATION/RECKLESS ENDANGER/TERRORISTIC THREAT/HARASSMENT/OTHER ASSAULTS/NON-AGGRAVATED	1
LARCENY/FROM BUILDING	1
NOISE COMPLAINT (LOUD PARTY/RADIO, PERSON SCREAMING, ETC.)	1
OFFENSIVE TOUCHING/OTHER ASSAULTS/NON-AGGRAVATED	1
PUBLIC ASSISTANCE	3
SIMPLE ASSAULT/NON-FAMILY/OTHER ASSAULTS/NON-AGGRAVATED	1
SUSPICIOUS PERSON	1
TRAFFIC VIOLATIONS	1
TRANSPORT TO HOSPITAL	2
Grand Total	28

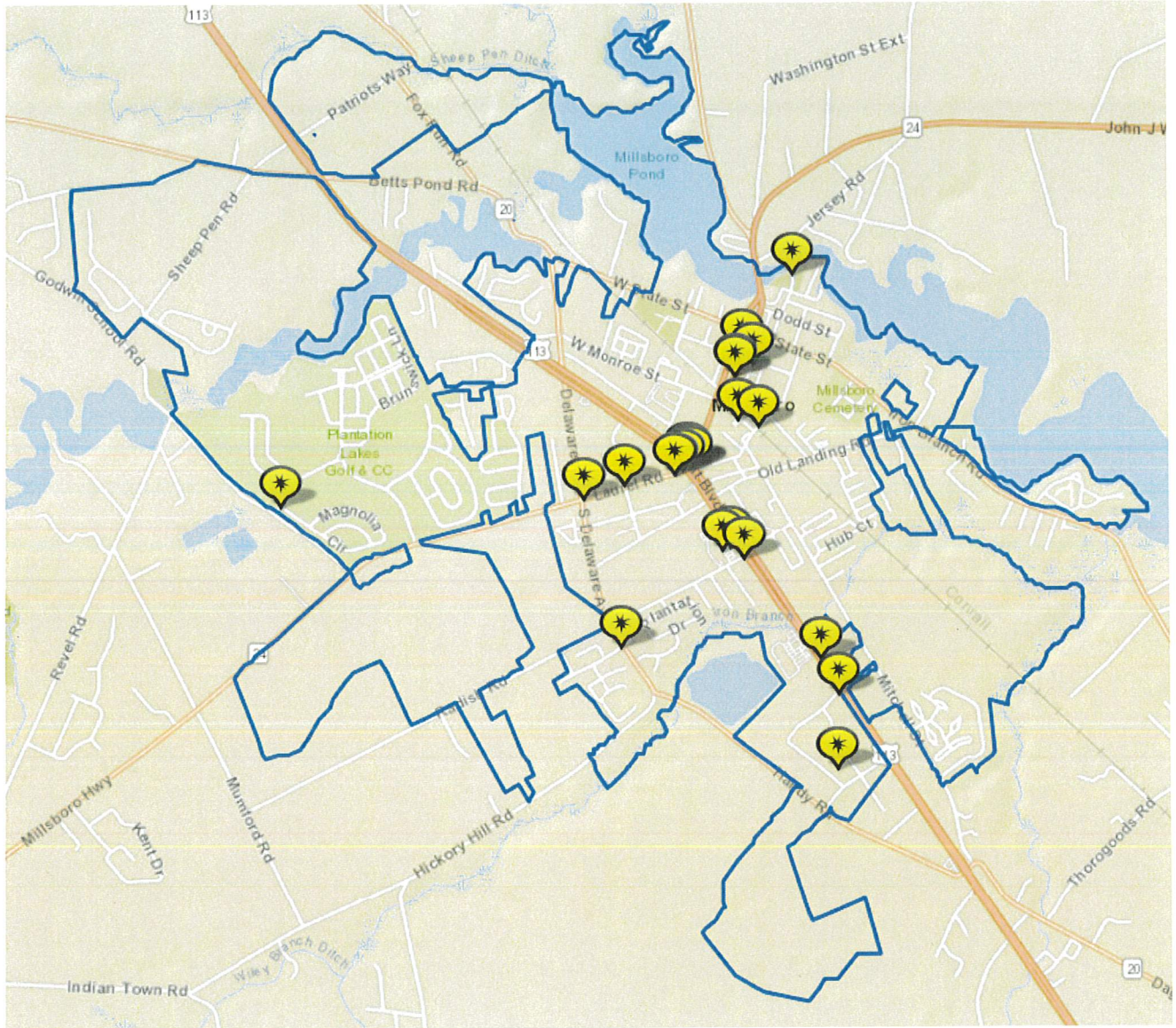
MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

December 2024
Quality of Life Calls

Mill Chase Apts	Count of CRIME DESC.
AGGRAVATED ASSAULT/NON-FAMILY FIREARM	1
CHECK ON WELL BEING	2
CIVIL DISPUTE	1
COCAINE/POSSESSION WITH INTENT TO DELIVER	1
CONTRIBUTING TO THE DELINQUENCY OF A MINOR/ENDANGERING THE WELFARE OF A CHILD	1
DAMAGE/PRIVATE PROPERTY	2
DOMESTIC SITUATION/NON CRIMINAL/CUSTODY DISPUTE	1
DOMESTIC/NON-FAMILY/VERBAL	1
INTIMIDATION/RECKLESS ENDANGER/TERRORISTIC THREAT/HARASSMENT/OTHER ASSAULTS/NON-AGGRAVATED	1
OFFENSIVE TOUCHING/OTHER ASSAULTS/NON-AGGRAVATED	2
POSSESSION OF DRUG PARAPHERNALIA	1
RESISTING ARREST	1
TRANSPORT TO HOSPITAL	1
UNAUTHORIZED USE OF MOTOR VEHICLE	1
VIOLATION OF PROTECTION FROM ABUSE ORDER (PFA)	1
Grand Total	18
Brandywine Apts	Count of CRIME DESC.
CHECK ON WELL BEING	1
CONDITIONAL RELEASE VIOLATION	1
DAMAGE/BUSINESS PROPERTY	1
DOMESTIC SITUATION/NON CRIMINAL/CUSTODY DISPUTE	1
LOST OR MISPLACED PROPERTY/OTHER PROPERTY RECOVERS/OPR/INCLUDES DRUGS	1
NOISE COMPLAINT (LOUD PARTY/RADIO, PERSON SCREAMING, ETC.)	2
OFFENSIVE TOUCHING/OTHER ASSAULTS/NON-AGGRAVATED	4
SUSPICIOUS PERSON	1
TRESPASSING/FREE TEXT	2
Grand Total	14

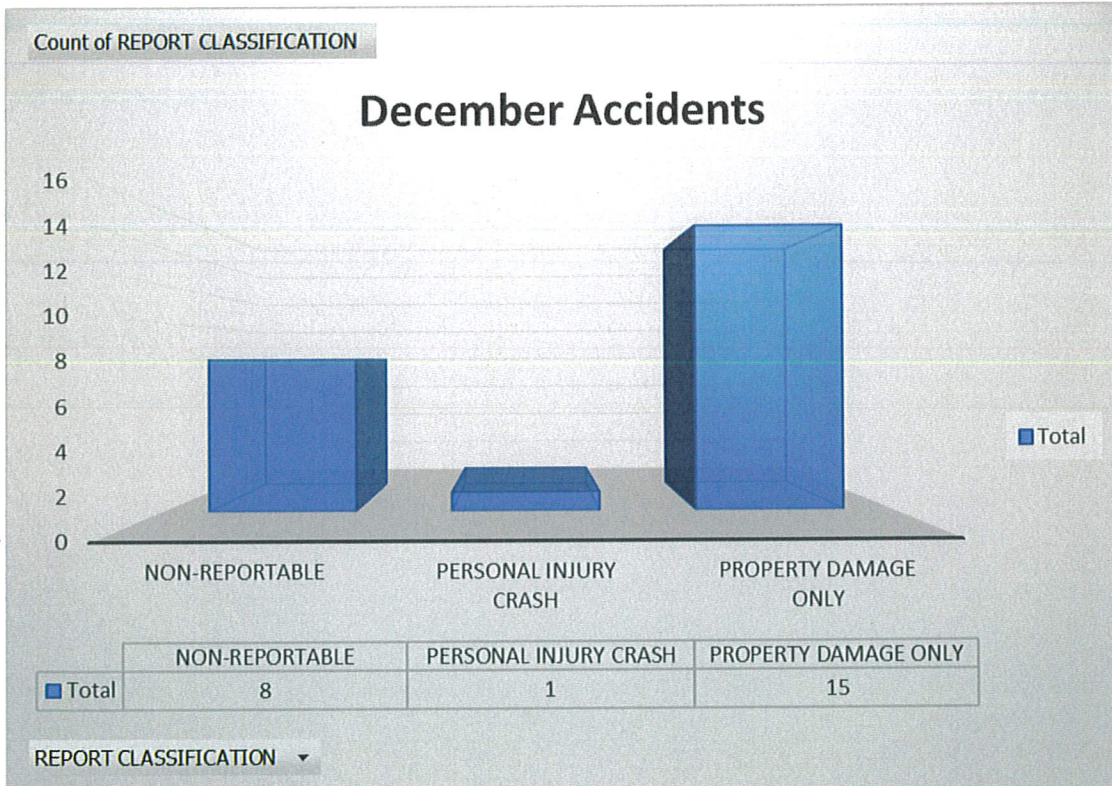
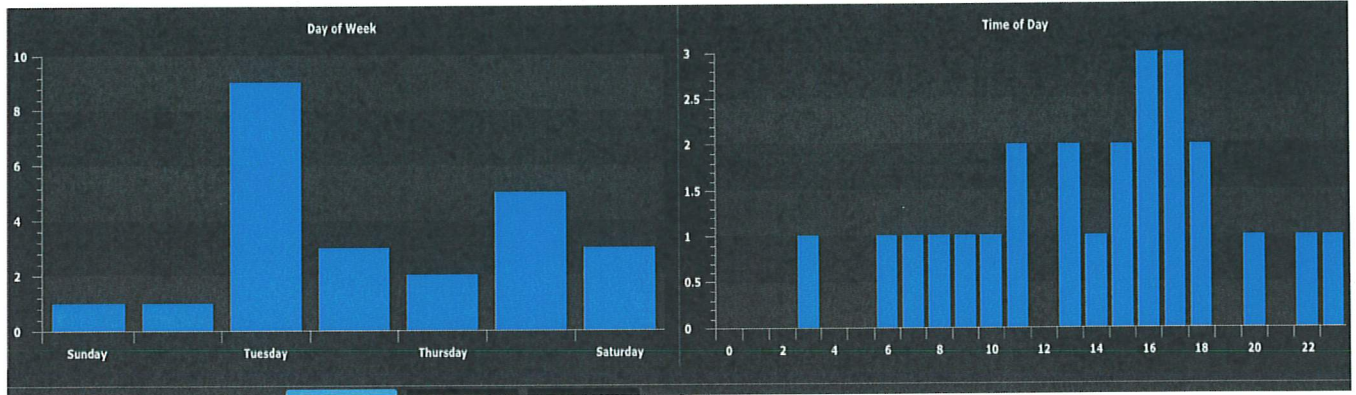
MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

December Crash Data



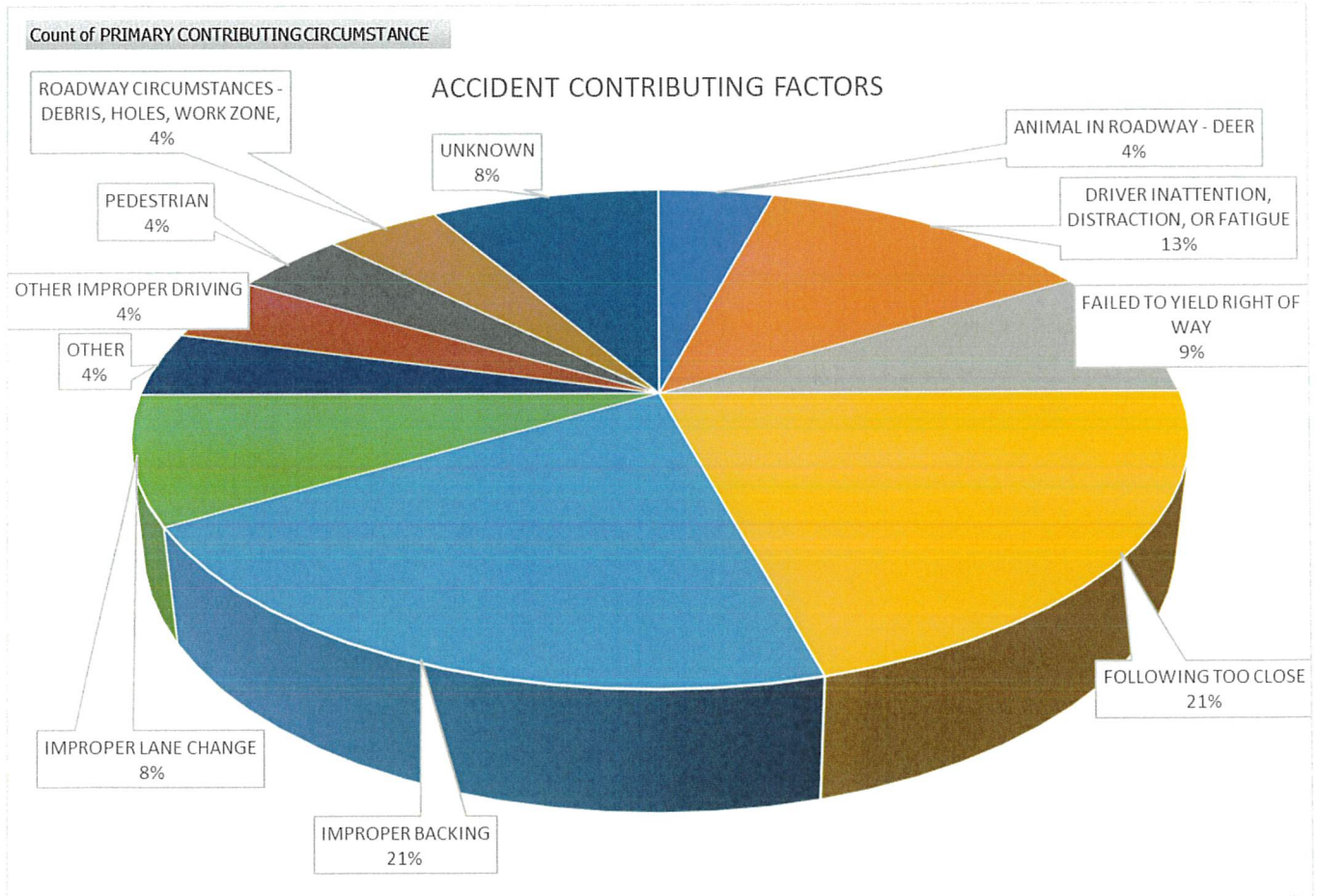
MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

December Crash Data



MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

DECEMBER TRAFFIC ACCIDENT CONTRIBUTING FACTORS



MILLSBORO POLICE DEPARTMENT MONTHLY REPORT

DECEMBER 2024 SIGNIFICANT EVENTS

December 2024 Significant Complaints <i>This does not include each and every complaint during the selected month. This simply includes a brief synopsis of significant events that occurred in Town limits.</i>				
Date	COMP #	Crime	Recap	Results
18-Dec	4224	Serious Pedistrian Accident	A 74-year-old homeless man was struck by a vehicle on Monroe Street outside the Brandywine Apartment complex. He was operating a bicycle at the time of the collision and suffered a serious injury. He is currently in stable condition. The bicyclist was determined to be at fault.	Service Clear
12-Dec	4145	Aggravated Menancing	A domestic dispute resulted in a male subject threatening a female subject with a handgun. According to the victim, her children were present during the incident. The subject was identified by a witness and ultimately arrested the following day. The subject confessed to the crime but the firearm was not recovered and is believed to have been disposed of in Maryland.	Adult Arrest
13-Dec	4160	Dog Attach	A pitbull dog attacked a female and two dogs in the Westtown Village Community. The female victim suffered injuries to her arm and the dogs were not seriously injured. Officers spoke to witnesses in the neighborhood who all complained that the dogs had attacked several residents in the past. It was discovered the owner of the dog has 2 pit pulls and one Rotwieller/Lab Mix. The case was turned over to Animal Control for further investigation.	Service Clear
9-Dec	4111	Drug Overdoes	A 14-year-old victim was found to be overdosing at Millsboro Middle School. The school resource officer was able to determine the victim had received Marijuana Gummies from another student and that the student had received the gummies from the parents in his home. Several arrests were made as a result of the investigation.	Adult Arrest & Juvenile Arrest

**MILLSBORO POLICE DEPARTMENT
MONTHLY COUNCIL REPORT
January 2025**

TRAINING

1. On December 4th and 5th, Sgt. Christopher Ebke attended NAMI Delaware Advanced CIT training in Newcastle.
2. On December 4th, Cpl. Michael Gorman attended Report Writing / LEISS updates hosted by the Delaware State Police.
3. On December 17th & 18th, PFC. Travis Shockley and PFC. Bryan Jones attended training to become a Field Training Officer hosted by the Delaware State Police.

CALEA UPDATE

Review of the Millsboro Police Department's monthly enforcement data report.

Personnel Update

1. The council will be provided an update regarding our current police recruits (Gerald Forman and Alex Rodriguez).
2. Cpl. John Wharton was presented the Exceptional Performance award for his efforts in planning and organizing the Millsboro Police Department's first community basketball tournament.

Community Events

1. Council will be provided an update on the annual Millsboro Christmas parade held on December 3rd.
2. The department caroled at Atlantic Shores Nursing Home with the Millsboro Middle School Chorus on December 11th.
3. The department held its first Police Chiefs Advisory Board Meeting on December 18th. The council will be provided with a list of the members of this committee.

**MILLSBORO POLICE DEPARTMENT
MONTHLY COUNCIL REPORT
January 2025**

4. The Millsboro Police Department was able to conclude the 2024 “Whiskers for Wishes” campaign. Donations through this campaign totaled \$5,050 which supported several families within the Millsboro community.

Future Community Events

There are no future events at this time.

Grants

There are no grants that will be presented during this meeting.

Police Accountability Committee Members

1. Millsboro PD Committee Chair

Robert (Bob) McKee

Millsboro, DE.

Contact Number:

Contact E-mail:

- Town of Millsboro Council Member
- Millsboro PD Citizen Academy Graduate (2016)
- 2016 Millsboro PD CPA.

2. Millsboro PD PAC Committee Member / **Religious Leader**

Pastor Dale Argot

Millsboro, DE.

Contact Number:

Contact e-mail:

- Pastor of "The Journey" 2021- Present

3. Millsboro PD – Committee Member

William Knight III

Millsboro, DE. 19966

Contact Number:

Contact E-mail –

- Retired from Education (School Administrator)
- 2024 Millsboro PD CPA

4. Millsboro PD Committee Member

William (Lee) L. McLean Jr.

Millsboro, DE.

Contact Number:

Contact e-mail:

- Millsboro PD Citizen Academy Graduate (2024)
- Retired from 911 Center in Orange County NY.
- 2024 Millsboro PD CPA

5. Millsboro PD Committee Member

Kevin J. Towey

Millsboro, DE

Contact Number:

Contact e-mail:

- Millsboro PD Citizen Academy Graduate (2024)
- Retired ICE Agent
- 2024 Millsboro PD CPA

6. Millsboro PD Committee Member

John F. Pollinger

Millsboro, DE.

Contact Number:

Contact e-mail:

- Millsboro PD Citizen Academy Graduate (2024)
- Retired Law Enforcement – New Jersey
- 2024 Millsboro PD CPA

7. Millsboro PD PAC Committee Member

Delores Clark

The Way Home Program

P.O. Box 1103

Georgetown, DE.

Contact Number:

Contact e-mail:

- Social & Human Services Assistant

November 22, 2024

Richard Plack
Director of Public Works for Wastewater
Town of Millsboro
322 Wilson Highway
Millsboro, Delaware 19966
302.934.8171
richp@millsboro.org

Via. Electronic Mail

**RE: Project No. 11373.BB
Change Order No. 1
Sewage Pumping Station No. 4
Town of Millsboro, Delaware**

Dear Mr. Plack:

For your consideration, I am sending Change Order No. 1 for the subject project. The basis for this change order is for the approval of Work Change Directive Nos. 1 and 2 (WCD), and Contract Potential Change Order Nos. 1 and 2 (PCO). A copy of WCD's 1 and 2 and PCO's 1 and 2 are attached for reference. The Contract Lump Sum Price hereby increases by **\$37,806.25** and the new Contract Price is **\$4,053,806.25**. The Contract Period(s) will remain unchanged and is August 17, 2025, for substantial completion and September 16, 2025, for final completion.

If acceptable, please sign the Change Order form **in color** where indicated, scan **in color** and return (e.g., pdf file) to me in an email at gfreimuth@verdantas.com. We will then forward the fully executed Change Order to the other stakeholders.

If you have any questions, please do not hesitate to contact us.

Sincerely,
VERDANTAS LLC



Gregory A. Freimuth
Project Manager

Change Order (Form C-00 63 63)

No. 1

Date of Issuance: November 22, 2024 Effective Date: _____

Project: Sewage Pumping Station No. 4 Improvements	Owner: Town of Millsboro	Owner's Contract No.: n/a
Contract: n/a	Date of Contract: July 31, 2024 (agreement) September 16, 2024 (NTP)	
Contractor: Hopkins Construction, Inc.		Engineer's Project No.: 11373.BB

The Contract Documents are modified as follows upon execution of this Change Order:

Description: See attached supporting documentation.

Attachments (list documents supporting change):

1. WCD #1 & PCO #1R1 - Change to Fans and Louvers. \$868.25.
2. WCD #2 & PCO #2R1 - Additional Pump & Wet Well appurtenances. \$36,938.00.

CHANGE IN CONTRACT PRICE:

CHANGE IN CONTRACT TIMES:

Original Contract Price:

\$ 4,016,000.00

[Increase] [Decrease] from previously approved Change Orders No. n/a to No. n/a

\$ n/a

Contract Price prior to this Change Order:

\$ 4,016,000.00

[Increase] [Decrease] of this Change Order:

\$ 37,806.25

Contract Price incorporating this Change Order:

\$ 4,053,806.25

Original Contract Times: Working days Calendar days

Substantial completion (~~days or date~~): August 17, 2025

Ready for final payment (~~days or date~~): September 16, 2025

[Increase] [Decrease] from previously approved Change Orders No. n/a to No. n/a :

Substantial completion (days): 335

Ready for final payment (days): 365

Contract Times prior to this Change Order:

Substantial completion (~~days or date~~): August 17, 2025

Ready for final payment (~~days or date~~): September 16, 2025

[Increase] [Decrease] of this Change Order:

Substantial completion (~~days or date~~): n/a

Ready for final payment (~~days or date~~): n/a

Contract Times with all approved Change Orders:

Substantial completion (~~days or date~~): August 17, 2025

Ready for final payment (~~days or date~~): September 16, 2025

RECOMMENDED:
By: *Raymond A. Crummett*

Engineer (Authorized Signature)

Date: 22 November 2024

Approved by Funding Agency (if applicable):

Date: _____

ACCEPTED:
By: _____

Owner (Authorized Signature)

Date: _____

Approved by Funding Agency (if applicable):

Date: _____

ACCEPTED:
By: *[Signature]*

Contractor (Authorized Signature)

Date: 11/22/2024

Approved by Funding Agency (if applicable):

Date: _____

Work Change Directive (Form C-00 63 49)

No. 1

Date of Issuance: September 20, 2024 Effective Date: _____

Project: Sewage Pumping Station No. 4 Improvements	Owner: Town of Millsboro	Owner's Contract No.: N/A
Contract: N/A		Date of Contract: July 31, 2024
Contractor: Hopkins Construction, Inc.		Engineer's Project No.: 11373.BB

Contractor is directed to proceed promptly with the following change(s):

Item No.	Description
Electrical	Exhaust Fan EF-1 changed from Model SE to Model AER due to manufacturer's notification that design basis fan Model SE is obsolete as of August 2024.
Electrical	Exhaust Louver LX-1 changed from Model ECD-601 (a combination louver/damper) to a Model ESD-603 (a stationary louver only) to eliminate electric actuator and as a means to eliminate a redundant damper. The attached exhaust fan EF-1 will be equipped with a damper and serve as the only damper.

Attachments (list documents supporting change):

Revised plan sheet nos. E-2, E-3, and E-5



Purpose for Work Change Directive:

Authorization for Work described herein to proceed on the basis of Cost of the Work due to:

- Nonagreement on pricing of proposed change.
- Necessity to expedite Work described herein prior to agreeing to changes on Contract Price and Contract Time.

Estimated change in Contract Price and Contract Times:

Contract Price \$ TBD (increase/decrease) Contract Time TBD (increase/decrease)
days

Recommended for Approval by Engineer: 	Date: <u>9/20/2024</u>
Authorized for Owner by:	Date:
Received for Contractor by: 	Date: <u>10/29/24</u>
Received by Funding Agency (if applicable):	Date:

RESOLUTION TO FORMALLY REQUEST THAT THE DELAWARE DEPARTMENT OF TRANSPORTION IMMEDIATELY PURSUE VARIOUS TRAFFIC SAFETY AND TRAFFIC CONTROL MEASURES TO PROTECT AND ENSURE THE SAFETY OF THE RESIDENTS OF THE TOWN OF MILLSBORO AND THE TRAVELING PUBLIC IN AND AROUND THE CORPORATE LIMITS OF THE TOWN OF MILLSBORO.

WHEREAS, the Town of Millsboro, as well as the rest of Sussex County, has experienced an increase in land development in recent years and the population growth that goes therewith; and

WHEREAS, in addition to the increase in land development and resulting population growth, tourism in Sussex County continues to thrive with more visitors coming to Sussex County each and every year; and

WHEREAS, all of the foregoing has resulted in a massive increase of traffic on the highways and roads in and around the corporate limits of the Town of Millsboro, presenting serious safety concerns for both the residents of and businesses located in the Town of Millsboro, as well as the traveling public visiting the Town of Millsboro and other destinations in Sussex County; and

WHEREAS, some of the most serious safety concerns involve highways and roads maintained and controlled by the Delaware Department of Transportation (DelDOT); and

WHEREAS, because previous efforts to bring DelDOT's attention to said safety concerns have not resulted in DelDOT pursuing the traffic safety and traffic control measures necessary to protect and ensure the safety of the residents of the Town of Millsboro and the traveling public in and around the corporate limits of the Town of Millsboro, the Town Council finds that it is necessary and important to formally request such action from DelDOT by and through this Resolution.

NOW THEREFORE, BE IT RESOLVED by the Town Council of the Town of Millsboro, in session met, a quorum pertaining at all times thereto, that it hereby formally requests that the Delaware Department of Transportation (DelDOT) immediately pursue the traffic safety and traffic control measures necessary to protect and ensure the safety of the residents of the Town of Millsboro and the traveling public in and around the corporate limits of the Town of Millsboro, including, but not limited to, the following:

- (1) A complete and comprehensive review of all intersections on Route 24, beginning with the intersection of Mumford Road and Route 24, and continuing to and through the intersection of Route 113 and Route 24.
- (2) Prior to the opening of the new bypass, scheduled for summer of 2025, identification and designation of a truck route for truck traffic traveling east on Route 24, directing truck traffic to the new bypass.

- (3) An immediate speed limit reduction to 35 miles per hour on Route 24 heading east, beginning at the intersection of Mumford Road and Route 24, and continuing to the intersection of Godwin School Road and Route 24.
- (4) An immediate speed limit reduction to 25 miles per hour on Route 24 heading east, beginning at the intersection of Godwin School Road and Route 24, and continuing to the intersection of Route 113 and Route 24.
- (5) Prior to the opening of the new bypass, scheduled for summer of 2025, the installation of a traffic light at the intersection of Route 24 and Plantation Lakes Boulevard.
- (6) The immediate installation of a 4-way stop sign at the intersection of Route 24 and Delaware Avenue, provided the lines of sight for residences located on the corners of said intersection are maintained and not obstructed.

I, Mary J. D'Silva, Secretary of the Town Council of the Town of Millsboro, hereby certify that the foregoing is a true and correct copy of a Resolution adopted by the Town Council of the Town of Millsboro at its Regular Meeting held on January 6, 2025, at which a quorum was present and voting throughout and that the same is still in full force and effect.

Mary J. D'Silva, Secretary

RECEIVED

DEC 09 2024

MILLSBORO TOWN HALL

1.

Name of applicant: Intervet Inc.

Mailing Address: 29160 Intervet Ln, Millsboro, DE 19966

Delivery Address: Same as mailing

Email address: nelson.bunting@merck.com

Phone Number: 302-934-4488

Name of contact person: Nelson Bunting/Associate Director Engineering

2. Willie G. Thomas, 31 Goldenrod Cir, Milford, DE 19963

3. See attached – Copy of Deed

4. See attached – Consent of Owner

5. 133-17.00-6.00 – 26445 E State St, Millsboro, DE 19966

6. See attached – Legal Description

7. See attached - 5 physical copies of land survey attached to application

8. Annexation is required to change zoning designation as property will be used by Merck Animal Health in connection with the activities on an adjacent parcel of land known as Sussex County Tax Parcel Number 133-17.00-9.00 (the "Main Campus") which is owned by the applicant and is currently zoned by the Town of Millsboro as "Light Industrial". Furthermore, Sussex County Tax Parcel Numbers 133-17.00-7.00 and - 8.00 (collectively, the "Adjacent Parcels"), which are adjacent to the subject property, were recently annexed into the Town of Millsboro, zoned as "Light Industrial" and are also owned by the applicant.

9. Zoning requested to be Light Industrial.

10. Intervet Inc. owns the surrounding parcels of: (i) the Main Campus, and (ii) the Adjacent Parcels. Intervet Inc. intends to utilize the subject property as (i) an employee parking lot to service the buildings on the Main Campus and (ii) a material storage area, which may be covered, uncovered or both, for materials used in connection with the Main Campus (collectively, the "Intended Uses"). If any of the Intended Uses will require a variance, conditional use approval, or other relief from applicable law of the Town of Millsboro, Intervet Inc. would like to pursue such approvals during the annexation process. The project can be called "Merck Animal Health Property Lease."

11. \$1000 payable by check

12. Intervet Inc. is a corporation. However, the information requested is unavailable and cannot be provided. Town of Millsboro agreed this section can be left blank.

LEGAL DESCRIPTION

ALL THAT CERTAIN PIECE, PARCEL, AND TRACT OF LAND, SITUATE IN DAGSBORO HUNDRED, SUSSEX COUNTY, DELAWARE AND BEING RECENTLY DESCRIBED IN ACCORDANCE WITH A RECENT ALTA/NSPS LAND TITLE SURVEY PREPARED BY STEVEN M. ADKINS, P.L.S. ON BEHALF OD AMERICAN NATIONAL DATED MAY 16, 2023, AS FOLLOWS, TO WIT:

BEGINNING AT A FOUND IRON PIPE LOCATED ON THE NORTHERN RIGHT OF WAY LINE ASSOCIATED WITH IRON BRANCH ROAD, AKA STATE STREET (SCR 331), SAID POINT BEING A COMMON BOUNDARY POINT BETWEEN THESE LANDS AND THE LANDS OF DORIS E. HALL (C/O SHIRLEY SAMPLE), SAID POINT IS FURTHER LOCATED AS 282' IN A NORTHWESTERN DIRECTION FROM OLD LANDING ROAD (EXTENDED); THENCE LEAVING SAID POINT OF BEGINNING AND RUNNING ALONG THE AFOREMENTIONED NORTHERN RIGHT OF WAY LINE ALONG THE FOLLOWING (2) COURSES AND DISTANCES AND BY AND WITH A CURVE TO THE RIGHT HAVING A RADIUS OF 2298.73', AN ARC DISTANCE OF 203.44', THE CHORD OF WHICH BEARS 1) N 51° 51' 55" W, AND A CHORD DISTANCE OF 203.44' TO A CAPPED IRON ROD AND POINT OF TANGENCY; THENCE, 2) N 48° 38' 37" W, A DISTANCE OF 131.35' TO AN IRON PIPE ON THE NORTHERN RIGHT OF WAY LINE, BEING A COMMON BOUNDARY CORNER BETWEEN THESE LANDS AND THE LANDS OF THE COMMISSIONERS OF MILLSBORO; THENCE TURNING AND RUNNING WITH THE COMMISSIONERS OF MILLSBORO LANDS, 3) N 36° 07' 35" E, A DISTANCE OF 352.10' TO A FENCE POST ON THE EASTERN BOUNDARY LINE ASSOCIATED WITH THE COMMISSIONERS OF MILLSBORO LANDS, BEING A COMMON BOUNDARY CORNER BETWEEN THESE LANDS AND THE LANDS OF INTERVET, INC; THENCE TURNING AND RUNNING WITH THE INTERVET LANDS ALONG THE FOLLOWING (2) COURSES AND DISTANCES, 4) S 44° 48' 04" E, A DISTANCE OF 241.19' TO A FENCE POST; THENCE, 5) S 08° 42' 45" W, A DISTANCE OF 76.39' TO A DISTURBED IRON PIPE, BEING A COMMON BOUNDARY CORNER BETWEEN THESE LANDS, THE INTERVET LANDS, AND THE OTHER LANDS OF WILLIE G. THOMAS; THENCE TURNING AND RUNNING WITH THE OTHER THOMAS LANDS, 6) S 23° 14' 24" W, A DISTANCE OF 272.21' TO THE POINT AND PLACE OF BEGINNING, SAID TO CONTAIN 2.303 ACRES OF LAND, MORE OR LESS.

Document# 2022000039458 BK: 5761 PG: 71
Recorder of Deeds, Scott Dalley On 8/23/2022 at 12:33:54 PM Sussex County, DE
Consideration: \$0.00 County/Town: \$0.00 State: \$0.00 Total: \$0.00
Doc Surcharge Paid Town: SUSSEX COUNTY

TMP #: 133-17.00-6.00
PREPARED BY & RETURN TO:
FUQUA, WILLARD,
& SCHAB, P.A.
26 The Circle
P.O. Box 250
Georgetown, DE 19947

NO TITLE SEARCH REQUESTED OR PERFORMED

THIS DEED, made this 22 day of August, 2022

- BETWEEN -

THE ESTATE OF WILLIE R. THOMAS, DECEASED, BY WILLIE G. THOMAS,
SURVIVING HEIR, 31 Goldenrod Circle, Milford, DE 19963, party of the first part,

- AND -

WILLIE G. THOMAS, of 32 Goldenrod Circle, Milford, DE 19963, party of the of the
second part.

WITNESSETH: That the said party of the first part, for and in consideration of the sum of
One Dollar (\$1.00), lawful money of the United States of America, the receipt whereof is hereby
acknowledged, hereby grants and conveys unto the party of the second part, and his heirs and
assigns, in fee simple, the following described lands, situate, lying and being in Sussex County, State
of Delaware:


SEE EXHIBIT "A" HERETO ATTACHED

IN WITNESS WHEREOF, the party of the first part has hereunto set his hand and seal the day and year first above written.

Signed, Sealed and Delivered
in the presence of:



Witness

 (SEAL)

WILLIE G. THOMAS, SURVIVING HEIR-at-
Law of the Estate of Willie R. Thomas, Deceased

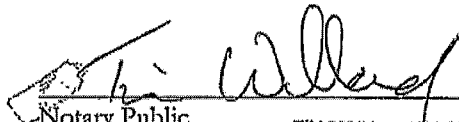
STATE OF DELAWARE :

:§

COUNTY OF SUSSEX :

BE IT REMEMBERED, that on August 22, personally came before me, the subscriber, WILLIE G. THOMAS, Surviving Heir-at-Law of the Estate of Willie R. Thomas, Deceased, party of the first part to this Indenture, known to me personally to be such, and acknowledged this Indenture to be their act and deed.

GIVEN under my Hand and Seal of office the day and year aforesaid.



Notary Public
Printed Name: TIMOTHY G. WILLARD
ATTORNEY AT LAW
NOTARIAL AUTHORITY
My Commission Expires STATE OF DELAWARE
PER 20 DEL. C.S. 1329(A)(6)

EXHIBIT "A"

TRACT NUMBER ONE:

ALL THAT CERTAIN tract, piece, or parcel of land, lying and being situate in Dagsboro Hundred, Sussex County and State of Delaware, lying on the Easterly side of the Old County Road leading from Millsboro to Dagsboro, bounded and described as follows, to wit:

BEGINNING now or formerly with the lands of Roxie Gordy running in a Southerly direction with the said County Road two hundred feet (200) to the lands now or formerly of Edward Jones; thence in an Easterly direction three hundred and forty feet (340); thence in a Westerly direction three hundred and forty feet (340) back to the place of beginning, containing one (1) acre of land, more or less.

BEING the same lands conveyed by Louie Ableman, et al, to Willie R. Thomas and Virginia K. Thomas, his wife, by deed bearing date the first of day of October 1946, and is recorded in the Office of the Recorder of Deeds, in and for Sussex County, Georgetown, State of Delaware, in Deed Book 365, Page 351.

EXCEPTING THEREFROM:

All that certain lot, and parcel of land conveyed by deed of Willie R. Thomas and Virginia K. Thomas, his wife, to Doris and Albert H. Hall, her husband, dated July 24, 1952, and is recorded in said Recorder of Deed's Office, Georgetown, State of Delaware in Deed Book 414, Page 73.

All that certain lot, and parcel of land conveyed by deed of Willie R. Thomas and L. Thomas, his wife, to Albert H. and Doris E. Hall, his wife, dated January 12, 1980, and is recorded in said Recorder of Deed's Office, Georgetown, State of Delaware in Deed Book 991, Page 45.

TRACT NUMBER TWO:

ALL THAT CERTAIN tract, piece, or parcel of land, lying and being situate in Dagsboro Hundred, Sussex County and State of Delaware and more particularly described as follows, to wit:

LYING on the Northeasterly side of the County Road, leading from Millsboro to Dagsboro, now being a State Highway, beginning at a stob or corner of lands of the Town of Millsboro; thence along and with the line of the said State Highway to lands of Willie R. Thomas and Wife, grantees herein; thence along lands of the grantees herein to lands now or formerly of the heirs or devisees of Edward Jones deceased; thence along and with the said lands now or formerly of the heirs or devisees of Edward Jones, deceased to lands of The Town of Millsboro; thence with the said lands of the Town of Millsboro to the point or place of beginning, containing One (1) acre of land, be the same more or less.

BEING the same lands conveyed by deed of Aubrey P. Murray and wife to Willie R. Thomas and Virginia K. Thomas, his wife, bearing date the 21st day of April 1959, and is recorded in the Office of the Recorder of Deeds, in and for Sussex County, Georgetown, State of Delaware, in Deed Book 502, Page 519.

The Said VIRGINIA K. THOMAS departed this life on or about June 16, 1976, at which time the lands did descend to Willie R. Thomas in fee Simple by right of survivorship.

The Said WILLIE R. THOMAS departed this life on or about January 11, 1981, Intestate, and having filed his Estate in the Office of the Register of Wills, in and for Sussex County, Georgetown, State of Delaware, the said MARIAN L. THOMAS (a/k/a MARIAN ABBOTT THOMAS) and Willie G. Thomas, as his surviving Heirs-at-Law.

The Said MARIAN L. THOMAS (a/k/a MARIAN ABBOTT THOMAS) departed this life on or about JAN 9, 2019 relinquishing any interest she may have in said property, leaving the said WILLIE G. THOMAS, as surviving Heir-at-Law, and Grantor within.

PROPERTY OWNER ANNEXATION APPROVAL CERTIFICATE

Dated as of November 18, 2024

The undersigned Willie G. Thomas (the "Property Owner"), as the sole owner of that certain parcel of real property in Sussex County, State of Delaware known as Sussex County Tax Parcel Number 133-17.00-6.00 (the "Property"), hereby certifies as follows:

1. Property Owner authorizes and consents to Intervet Inc. (the "Applicant") preparing and submitting an Application for Annexation (the "Application") to the Town of Millsboro (the "Town"), in order to effect the annexation of the Property into the Town (the "Annexation"). Property Owner hereby authorizes the Applicant to complete the Application in Applicant's sole discretion and, in connection therewith, pursue in Applicant's sole discretion (i) a requested zoning of the Property of "Light Industry" or any other zoning classification determined by the Applicant, and (ii) any variances, conditional use approvals, or other land use or zoning approvals sought by the Applicant in connection with the Property.
2. In order to satisfy certain requirements of the Application, the Property Owner hereby consents to this Property Owner Annexation Approval Certificate being affixed to the Application and submitted to the Town.

[Signature Page Follows]

IN WITNESS WHEREOF, the undersigned has executed this Property Owner Annexation Approval Certificate the day and year first above written.

PROPERTY OWNER:

WITNESS

WILLIE G. THOMAS

Willie Thomas

Electronically signed by: Willie Thomas
Reason: Approved
Date: Nov 18, 2024 13:41 EST

STATE OF _____)
) **SS.:**
COUNTY OF _____)

On the ___ day of _____, in the year 2024, before me, the undersigned, a Notary Public in and for said State, personally appeared Willie G. Thomas, personally known to me or proved to me on the basis of satisfactory evidence to be the individual whose name is subscribed to the within instrument and acknowledged to me that he executed the same in his capacity, and that by his signature on the instrument, the individual, or the person upon behalf of which the individual acted, executed the instrument.

Notary Public
Print name: _____






Consent and Approval Certificate (Willie G. Thomas)

Final Audit Report

2024-11-18

Created:	2024-11-18
By:	Jon Mazzacano (jon.mazzacano@merck.com)
Status:	Signed
Transaction ID:	CBJCHBCAABAAZ80KsbeuNgTv4wGvo8mxtcv5jqTD2Fw

"Consent and Approval Certificate (Willie G. Thomas)" History

-  Document created by Jon Mazzacano (jon.mazzacano@merck.com)
2024-11-18 - 6:10:15 PM GMT- IP address: 136.226.52.175
-  Document emailed to Willie Thomas (wgthomas7@gmail.com) for signature
2024-11-18 - 6:11:00 PM GMT
-  Email viewed by Willie Thomas (wgthomas7@gmail.com)
2024-11-18 - 6:11:09 PM GMT- IP address: 66.249.83.69
-  Document e-signed by Willie Thomas (wgthomas7@gmail.com)
Signing reason: Approved
Signature Date: 2024-11-18 - 6:41:33 PM GMT - Time Source: server- IP address: 71.200.0.44
-  Agreement completed.
2024-11-18 - 6:41:33 PM GMT

Kathleen Alesi
Legal Administrative Assistant
302-651-7893
alesi@rlf.com



November 20, 2024

VIA FEDERAL EXPRESS

Merck Animal Health
29160 Intervet Lane
Millsboro, DE 19966
ATTN: Nelson Bunting, P.E.

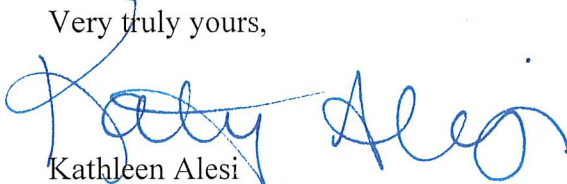
Re: Rezoning/ variance re: Parcel ID 133-17.00-6.00

Dear Nelson:

Enclosed herewith is our firm's check in the amount of \$1,000.00 made payable to the Town of Millsboro representing payment with respect to the above referenced matter to include in the annexation application.

If you have any questions concerning this matter, please call or write me. Thank you.

Very truly yours,



Kathleen Alesi

Enclosures



PARID: 133-17.00-6.00
THOMAS WILLIE G

Property Information

Property Location:

Unit:
City:
State:
Zip:

Class: RES-Residential
Use Code (LUC): RS-RESIDENTIAL SINGLE FAMILY
Town: 00-None
Tax District: 133 - DAGSBORO
School District: 1 - INDIAN RIVER
Fire District: 83-Millsboro
Deeded Acres: 3.1900
Frontage: 0
Depth: .000
Irr Lot:
Plot Book Page: /PB

100% Land Value: \$7,400
100% Improvement Value: \$10,000
100% Total Value: \$17,400

Legal

Legal Description: CO RD MILLSBORO TO
DAGSBORO 3.19 AC S
W/IMP

Owners

Owner	Co-owner	Address	City	State	Zip
THOMAS WILLIE G		31 GOLDENROD CIR	MILFORD	DE	19963

Sales

Sale Date	Book/Page	Sale Price	Stamp Value	Parcels Sold	Grantee/Buyer
08/23/2022	5761/71				THOMAS WILLIE G

Owner History

Tax Year:	Owner:	Co-owner	Address:	City:	State:	Zip:	Deed Book/Page:
2024	THOMAS WILLIE G		31 GOLDENROD CIR	MILFORD	DE	19963	5761/71
2023	THOMAS WILLIE G		31 GOLDENROD CIR	MILFORD	DE	19963	5761/71
2023	THOMAS WILLIE G		31 GOLDENROD CIR	MILFORD	DE	19963	5761/71
2022	THOMAS WILLIE G		31 GOLDENROD CIR	MILFORD	DE	19963	5761/71
2022	THOMAS WILLIE G		32 GOLDENROD CIR	MILFORD	DE	19963	5761/71
2022	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2021	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2020	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2019	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2018	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2017	THOMAS WILLIE R HRS	%WILLIE G THOMAS	31 GOLDENROD CIR	MILFORD	DE	19963	0/0
2010	THOMAS WILLIE R HRS		WILLIE G THOMAS 31 GOLDENROD CIR	MILFORD	DE	19963	0/0
1900	UNKNOWN					0	502/519
1900	UNKNOWN					0	365/351

Land

Line	Class	Land Use Code	Act Front	Depth	Calculated Acres	Ag
1	RES	RS	0	0	3.1900	

Land Summary

Line	1
100% Land Value	7,400

Residential

Card	1
Class	Residential
Style	Single Family
Year Built	1961
Occupancy	1
Stories	1.00
Basement	0-None
Total Fixtures	3
Heating	51 - Heat - Pipeless Hot Air
Air Condition	DN - A/C None
Electricity	3-Public
Foundation	31 - Foundation - Masonry
Exterior Wall	0-0
Siding	2-Shingle
Roof Type	2-Gable
Roofing	21 - Roofing - Wood
Elevator	-
Width	
Depth/Length	
Color	
Description	
MH Skirting	
MH Permit #	
MH Serial #	

Additions

Card #	Additon #	Area
1	0	288
1	1	192
1	2	168

Addition Details

1 of 3

Card #	1
Addition #	0
Lower	-
First	-
Second	-
Third	-
Area	288
Year Built	1961

Outbuildings

Card	Line #	Code	Width	Length	Diameter	Area
1	1	GAF5-GARAGE FAIR 501+	32	20	0	640

100% Values

100% Land Value	100% Improv Value	100% Total Value
\$7,400	\$10,000	\$17,400

50% Values

50% Land Value	50% Improv Value	50% Total Value
\$3,700	\$5,000	\$8,700

Permit Details

Permit Date:	Permit #:	Amount:	Note 1
13-JAN-1997	7687-4	\$200	GARAGE REPAIRS-N/A
03-AUG-1993	7687-3	\$16,522	REMODELING-N/A
19-OCT-1992	7687-2	\$500	REMODELING-N/A
22-SEP-1986	7687-1	\$1,000	REMODELING-ROAD MILLSBORO TO DAGSBORO

October 3, 2024

Via Electronic Mail

Mr. Jamie Burk
Town of Millsboro
322 Wilson Highway
Millsboro, DE 19966

**RE: Plantation Lakes – Neighborhood Center
Preliminary Site Plan
Project No. CB0201511 - Phase 1
Tax Map No.: TBD**

Dear Mr. Burk:

Verdantas, LLC (Verdantas) has reviewed the second submission of the Preliminary Site Plan for the Plantation Lakes – Neighborhood Center prepared by Whitman, Requardt and Associates, LLP (WRA) for the above referenced project:

<u>Sheet Number</u>	<u>Sheet Name</u>
T-1	Title Sheet
SP-1	Preliminary Site Plan
SP-2	Preliminary Site Plan
CG-1	Conceptual Grading Plan
UP-1	Utility Plan
DT-1	Site and Utility Details
CP-1	Circulation Plan
CP-2	Circulation Plan

The plans were issued on September 18th, 2024, and received by Verdantas on September 24th, 2024. Please be advised that Verdantas did not review the plans for compliance with the zoning requirements of the Code of The Town of Millsboro, including parking spaces and landscaping, as the Town relies on AECOM for these services.

All previous comments have been addressed by Whitman, Requardt and Associates, LLP.

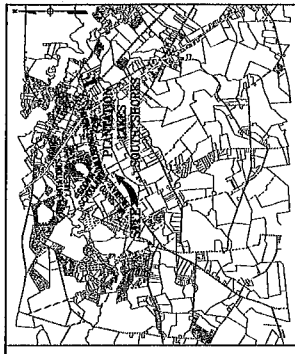
Verdantas has no objection to Town Council approval of the “Plantation Lakes – Neighborhood Center – Preliminary Site Plan”. If we may answer any questions, please do not hesitate to call.

Sincerely,

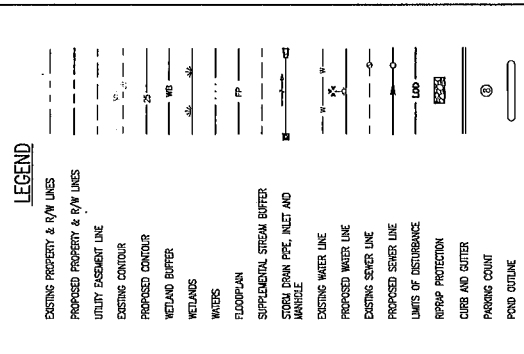
VERDANTAS, LLC



Michael P. Falkowski, P.E.
Senior Project Manager



VICINITY MAP
SCALE: 1" = 1 MILE



LEGEND

- EXISTING PROPERTY & R/W LINES
- PROPOSED PROPERTY & R/W LINES
- UTILITY EASEMENT LINE
- EXISTING CONTOUR
- PROPOSED CONTOUR
- WETLAND BUFFER
- WETLANDS
- WATERS
- FLOODPLAIN
- SUPPLEMENTAL STREAM BUFFER
- STORM DRAIN PIPE, INLET AND MANHOLE
- EXISTING WATER LINE
- PROPOSED WATER LINE
- EXISTING SEWER LINE
- PROPOSED SEWER LINE
- LIMITS OF DISTURBANCE
- RPPAP PROTECTION
- CURB AND GUTTER
- PARKING COUNT
- POUD OUTLINE

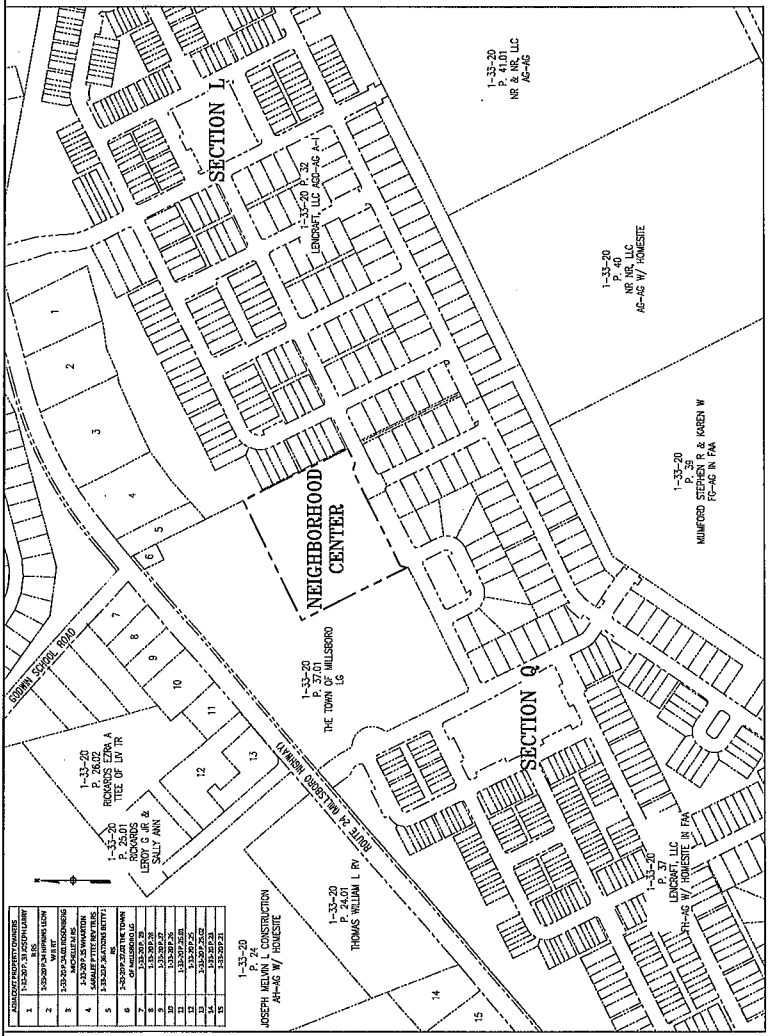
INDEX OF DRAWINGS

SHEET NUMBER	DRAWING TITLE
1-1	TITLE SHEET
1-2	PRELIMINARY SITE PLAN
1-3	CONSTRUCTION SITE PLAN
1-4	UTILITY PLAN
1-5	WETLANDS PLAN
1-6	WETLANDS BUFFER PLAN
1-7	WETLANDS BUFFER DETAILS
1-8	CIRCULATION PLAN

CONSTRUCTION PERIOD

NO.	DATE
1	9/19/2024
2	9/19/2024
3	9/19/2024
4	9/19/2024
5	9/19/2024
6	9/19/2024
7	9/19/2024
8	9/19/2024

SCALE AS SHOWN T-1
DRAWING NO. 1 OF 8
SCALE W.O. 42149
DATE 9-18-2024



NOTES

- THE ITEMS LISTED ON THE PRELIMINARY SITE PLAN ARE FOR INFORMATION ONLY. THE FINAL DESIGN AND CONSTRUCTION SHALL BE DETERMINED BY THE DEVELOPER AND APPROVED BY THE TOWN OF MILLSBORO. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF MILLSBORO AND THE DELAWARE DEPARTMENT OF TRANSPORTATION AND HIGHWAYS. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE TOWN OF MILLSBORO AND THE DELAWARE DEPARTMENT OF TRANSPORTATION AND HIGHWAYS.
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LOCATION PLAN
SCALE: 1" = 200'

PROJECT TEAM

OWNER/DEVELOPER
MILLERSBORO ASSOCIATES, LLC
7035 ALBERT ENSTEN DRIVE, SUITE 200
COLUMBIA, MD 21046
PHONE: (410) 425-4407

OWNER/DEVELOPER
MILLERSBORO ASSOCIATES, LP
801 SOUTH CAROLINE STREET
BALTIMORE, MD 21221
CONTACT: ANDREW WALL, P.E.
PHONE: 703-253-7453

OWNER/DEVELOPER
MILLERSBORO ASSOCIATES, LP
801 SOUTH CAROLINE STREET
BALTIMORE, MD 21221
CONTACT: ANDREW WALL, P.E.
PHONE: 703-253-7453

ENGINEER'S CERTIFICATION

I, THE UNDERSIGNED, HEREBY CERTIFY THAT I AM A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF DELAWARE AND THAT THE PLAN AND SPECIFICATIONS HEREON ARE TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AND THAT I AM NOT PROVIDING ENGINEERING SERVICES TO THE TOWN OF MILLSBORO OR TO ANY OTHER ENTITY. I AM NOT PROVIDING ENGINEERING SERVICES TO THE TOWN OF MILLSBORO OR TO ANY OTHER ENTITY.

DATE 9/18/2024
ENGINEER DANIEL WATKINSON, P.E.
DEVELOPER'S PLAN DEVELOPMENT APPROVAL
I, AS DEVELOPER OF THIS PROJECT, HEREBY APPROVE THESE PLANS FOR DEVELOPMENT AS SHOWN ON ENGINEER'S NOTES.

OWNER: LEONCART, LLC
7035 ALBERT ENSTEN DRIVE, SUITE 200
COLUMBIA, MARYLAND 21046
410-425-4407

OWNER: LEONCART, LLC
7035 ALBERT ENSTEN DRIVE, SUITE 200
COLUMBIA, MARYLAND 21046
410-425-4407

OWNER: LEONCART, LLC
7035 ALBERT ENSTEN DRIVE, SUITE 200
COLUMBIA, MARYLAND 21046
410-425-4407

SITE DATA

1. ADDRESS: PLANTATION LAKES NEIGHBORHOOD CLUBHOUSE, MILLERSBORO, DELAWARE

2. OWNER INFORMATION: LEONCART, LLC, 7035 ALBERT ENSTEN DRIVE, SUITE 200, COLUMBIA, MD 21046

3. DEVELOPER: LEONCART, LLC, 7035 ALBERT ENSTEN DRIVE, SUITE 200, COLUMBIA, MD 21046

4. ZONING INFORMATION: PRELIMINARY SITE PLAN, PRELIMINARY CONSTRUCTION PERMITS, PRELIMINARY CONSTRUCTION PERMITS

5. LAND USE INFORMATION: PRELIMINARY SITE PLAN, PRELIMINARY CONSTRUCTION PERMITS, PRELIMINARY CONSTRUCTION PERMITS

6. PLANNING/DESIGN/CONSTRUCTION INFORMATION: PRELIMINARY SITE PLAN, PRELIMINARY CONSTRUCTION PERMITS, PRELIMINARY CONSTRUCTION PERMITS

7. NEIGHBORHOOD: TOWN OF MILLSBORO

8. ADJACENT PROPERTIES: TOWN OF MILLSBORO

9. ADJACENT PROPERTIES: TOWN OF MILLSBORO

10. TRAFFIC AND ROAD DATA: TOWN OF MILLSBORO

11. CONDITIONS OF PLANTATION LAKES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

12. REGULATIONS: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

13. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

14. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

15. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

16. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

17. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

18. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

19. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

20. PUBLIC UTILITIES: SEE NOTE ON SHEET 1-1 FOR MORE INFORMATION.

ADJACENT PROPERTIES:

NO.	OWNER	ADDRESS	AREA (AC)
1	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	2.16
2	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	1.38
3	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
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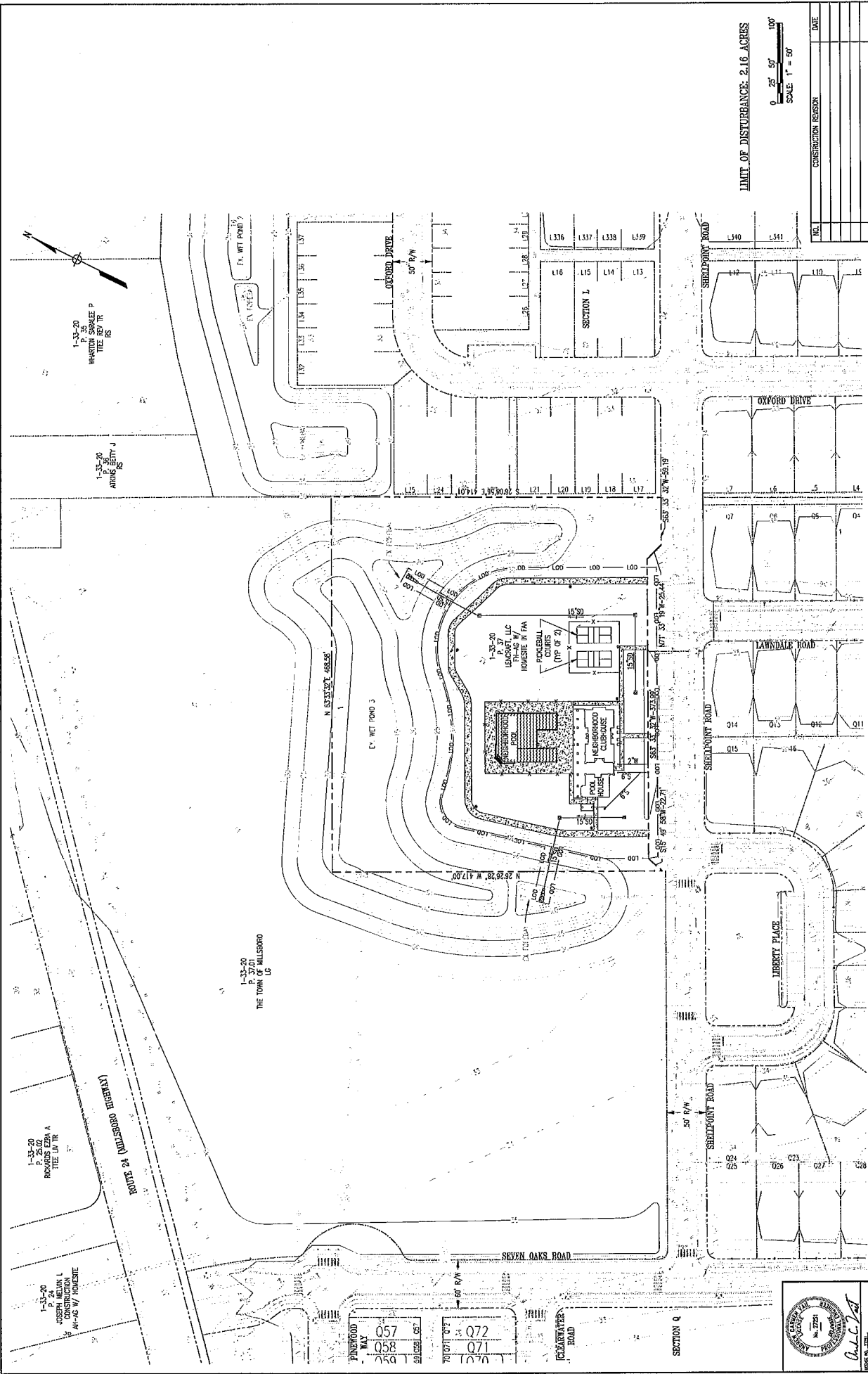
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19	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
20	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A

ADJACENT PROPERTIES:

NO.	OWNER	ADDRESS	AREA (AC)
1	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	2.16
2	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	1.38
3	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
4	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
5	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
6	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
7	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
8	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
9	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
10	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
11	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
12	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
13	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
14	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
15	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
16	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
17	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
18	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
19	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A
20	LEONCART, LLC	7035 ALBERT ENSTEN DRIVE, SUITE 200	N/A



1-32-20
WARDON SARGALE P
TREE LOT TR
RS

1-32-20
ATKINS BERRY J
RS

1-32-20
ROZAROSI ERIC A
TREE LOT TR
RS

1-32-20
JOSEPH NEWAN L
CONSTRUCTION
414-618-1100

1-32-20
THE TOWN OF MILLSBORO
LC

057	072
058	071
059	

LIMIT OF DISTURBANCE: 2.16 ACRES

0 25' 50' 100'

SCALE: 1" = 50'

NO.	CONSTRUCTION REASON	DATE

PLANTATION LAKES NEIGHBORHOOD CENTER
PRELIMINARY SITE PLAN

PLANTATION LAKES
SUSSEX COUNTY, DELAWARE
MILLSBORO ELECTION DISTRICT NO. 3

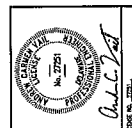
OWNER: LENOWAT, LLC
7035 ALBERT ENSTEIN DRIVE SUITE 200
COLUMBIA, MARYLAND 21046
410-423-0407

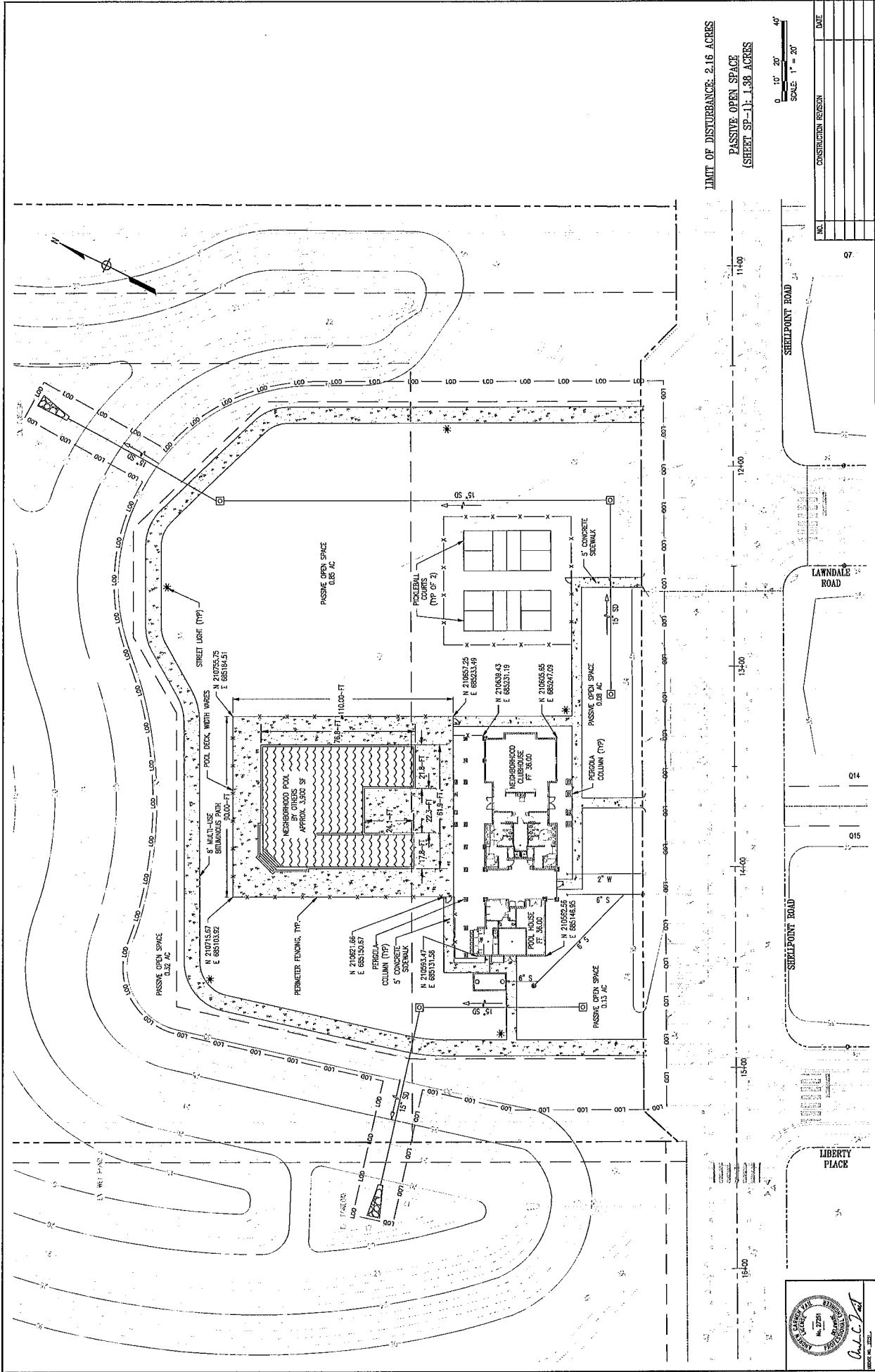
WHITMAN SECURITY AND ASSOCIATES, LLP
801 SOUTH CAROLINE STREET
BALTIMORE, MARYLAND 21231
410-235-3450
FAX: 410-243-5716

DRAWING NO. 2
SHEET SP-1
OF 8

SCALE 1"=50'

W.C. 42149
9-18-2024





LIMIT OF DISTURBANCE 2.16 ACRES
 PASSIVE OPEN SPACE
 (SHEET SP-1): 1.38 ACRES

0' 10' 20' 40'
 SCALE: 1" = 20'

NO.	CONSTRUCTION REVISION	DATE

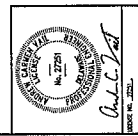
SCALE	SHEET	DRAWING
1"=20'	SP-2	W.O. 42149
		NO. 3
		OF 8

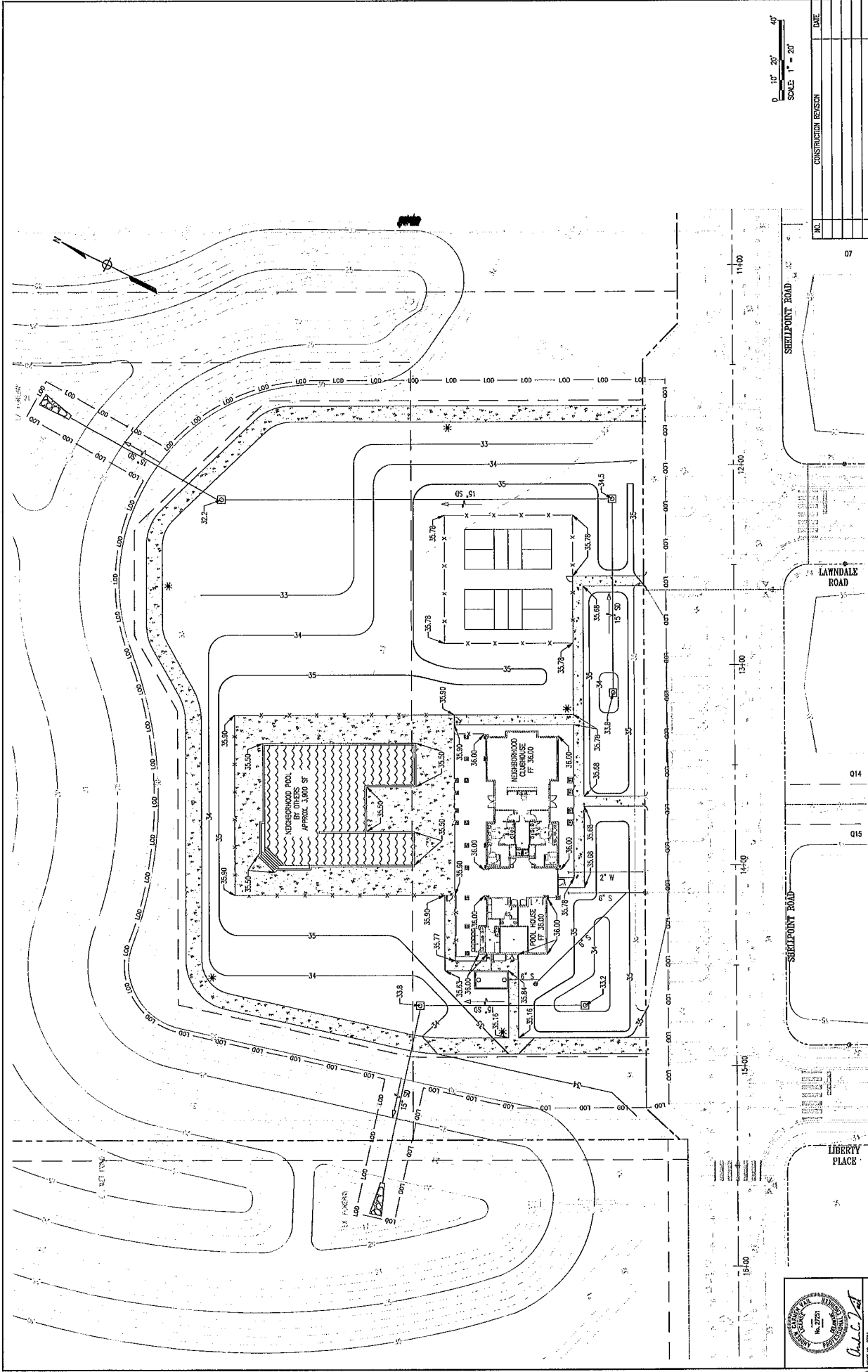
PLANTATION LAKES
 SUSSEX COUNTY, DELAWARE
 MILLSBORO ELECTION DISTRICT NO. 3

PLANTATION LAKES NEIGHBORHOOD CENTER
 PRELIMINARY SITE PLAN

OWNER: LEICRAFT, LLC
 7035 ALBERT EINSTEIN DRIVE SUITE 200
 COLUMBIA, MARYLAND 21046
 410-423-0407

WHITMAN, REQUIART AND ASSOCIATES, LLP
 801 SOUTH CALLOWAY STREET
 BALTIMORE, MARYLAND 21231
 410-235-3450





NO.	CONSTRUCTION REASON	DATE
07		

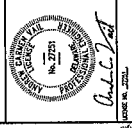
SCALE	SHEET	DRAWING	W.O. #
1"=20'	CS-1	NO. 4	42149
		OF 8	9-18-2024

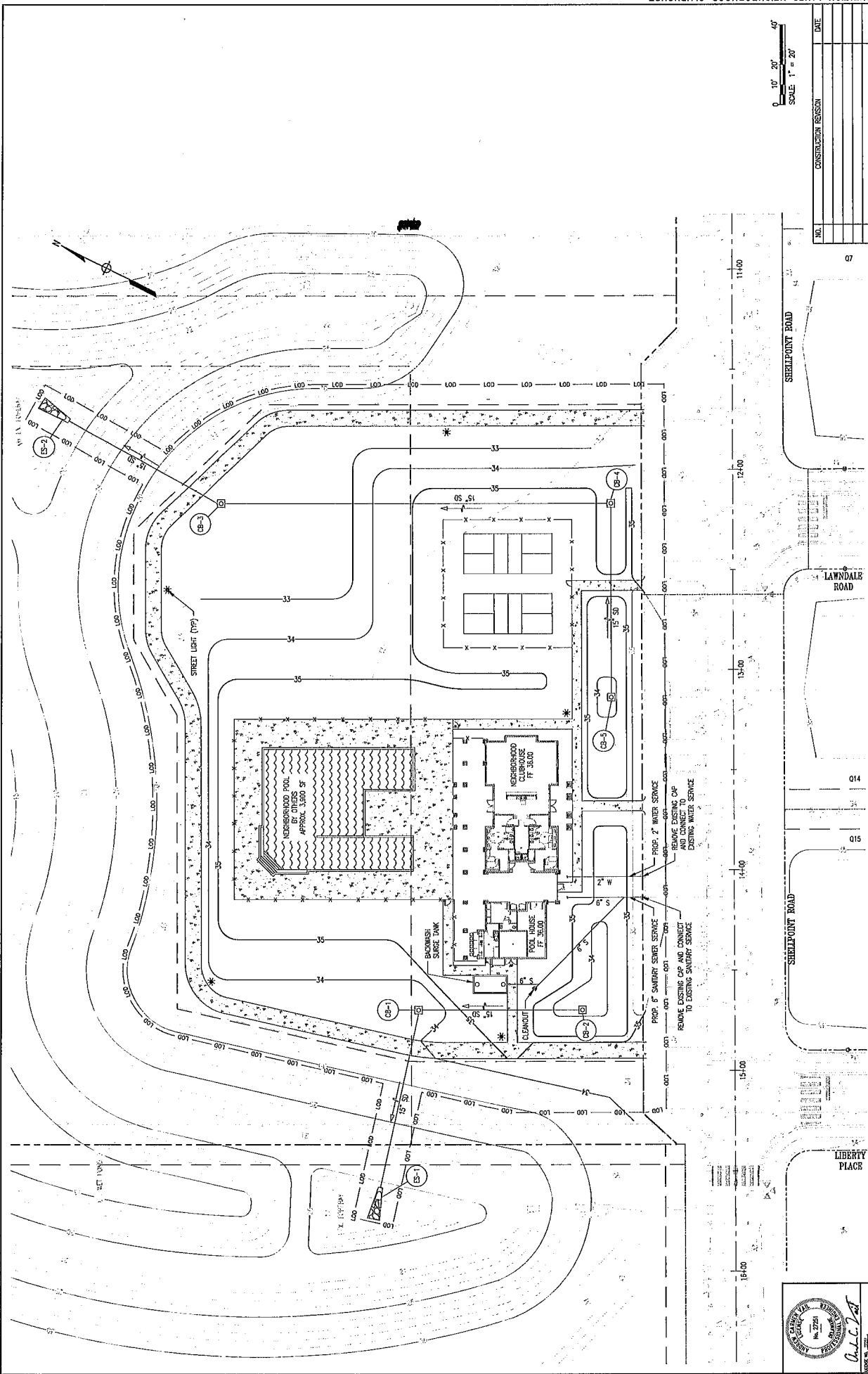
PLANTATION LAKES
SUSSEX COUNTY, DELAWARE
MILLSBORO ELECTION DISTRICT NO. 3

PLANTATION LAKES NEIGHBORHOOD CENTER
CONCEPTUAL GRADING PLAN

OWNER: LENCRAFT, LLC
7035 ALBERT EINSTEIN DRIVE SUITE 200
COLUMBIA, MD 21046
410-423-0407

WHITMAN, RECARDY AND ASSOCIATES, LLP
801 SOUTH CAROLINE STREET
BALTIMORE, MARYLAND 21231
410-235-5450
FAX: 410-243-5716





NO.	CONSTRUCTION REVISION	DATE	DRAWING NO. 5	W.C. 42149
			SHEET UP-1	9-18-2024
SCALE 1"=20'			OF 8	
PLANTATION LAKES NEIGHBORHOOD CENTER SUSSEX COUNTY, DELAWARE MILLSBORO ELECTION DISTRICT NO. 3				
PLANTATION LAKES NEIGHBORHOOD CENTER UTILITY PLAN				
OWNER: LENCRAFT, LLC 7035 ALBERT EINSTEIN DRIVE SUITE 200 COLUMBIA, MARYLAND 21046 410-423-0407				
LIBERTY PLACE				
410-235-3450				



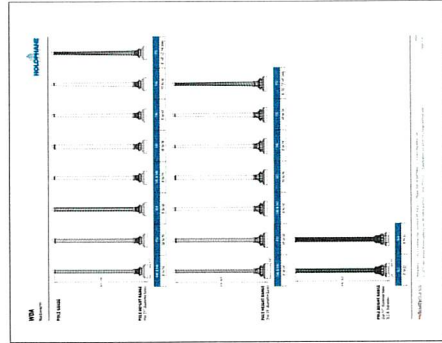
Model	Height	Beam	Spigot	Notes
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	

Model	Height	Beam	Spigot	Notes
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	

Model	Height	Beam	Spigot	Notes
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	

Model	Height	Beam	Spigot	Notes
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	

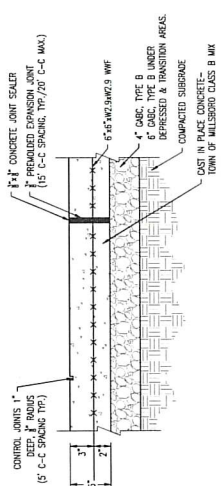
Model	Height	Beam	Spigot	Notes
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	
HOLOPHANE VDA HOLOPHANE VDA	10'-0"	10'-0"	10'-0"	



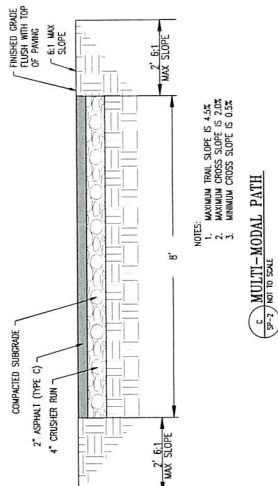
CALCULATION SUMMARY		CALL TYPE	UNITS	AVG	MAX	MIN	AVG MIN	MAX MIN
LUMINAIRE LABEL	FOCUS-SIDEWALK-PARKING-LOTS	ILLUMINANCE	FC	X.XX	X.XX	0.0	NA	NA
LUMINAIRE SYMBOL	QTY	DESCRIPTION	LF	LUMINAIRE	LUMINAIRE	TOTAL	LUMINAIRE	TOTAL
* 5	5	FOCUS-P30-30K-48X4-GL3	0.000	FOCUS-P30-30K-48X4-GL3	0.000	0.000	FOCUS-P30-30K-48X4-GL3	0.000

LIGHTING NOTES

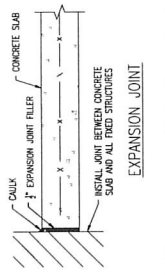
1. ALL LUMINAIRES ARE UL LISTED & CSA CERTIFIED.
2. SUITABLE FOR WET LOCATION USE.
3. POLES ARE FINED 90 MPH WIND LOADING.



CONCRETE SIDEWALK / S.U.P.



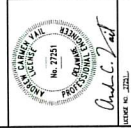
- NOTES:
1. MAXIMUM SLOPE IS 4.5%.
 2. MINIMUM SLOPE IS 0.5%.
 3. MINIMUM GROSS SLOPE IS 0.5%.
5. MULTI-MODAL PATH
(5'-2" NOT TO SCALE)



CONSTRUCTION JOINT

CONTROL JOINT

- NOTES:
1. JOINT TYPE AND SPACING SHALL BE AS NOTED ON THE PLANS AND DETAILS.
 2. REINFORCEMENT SHALL BE AS NOTED IN THE PLANS AND DETAILS.
- EXPANSION / CONSTRUCTION JOINT DETAILS
(5'-2" NOT TO SCALE)



WHITMAN, RECARD AND ASSOCIATES, LLP
801 SOUTH CAROLINE STREET
BALTIMORE, MARYLAND 21231
410-235-3450

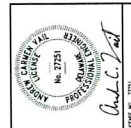
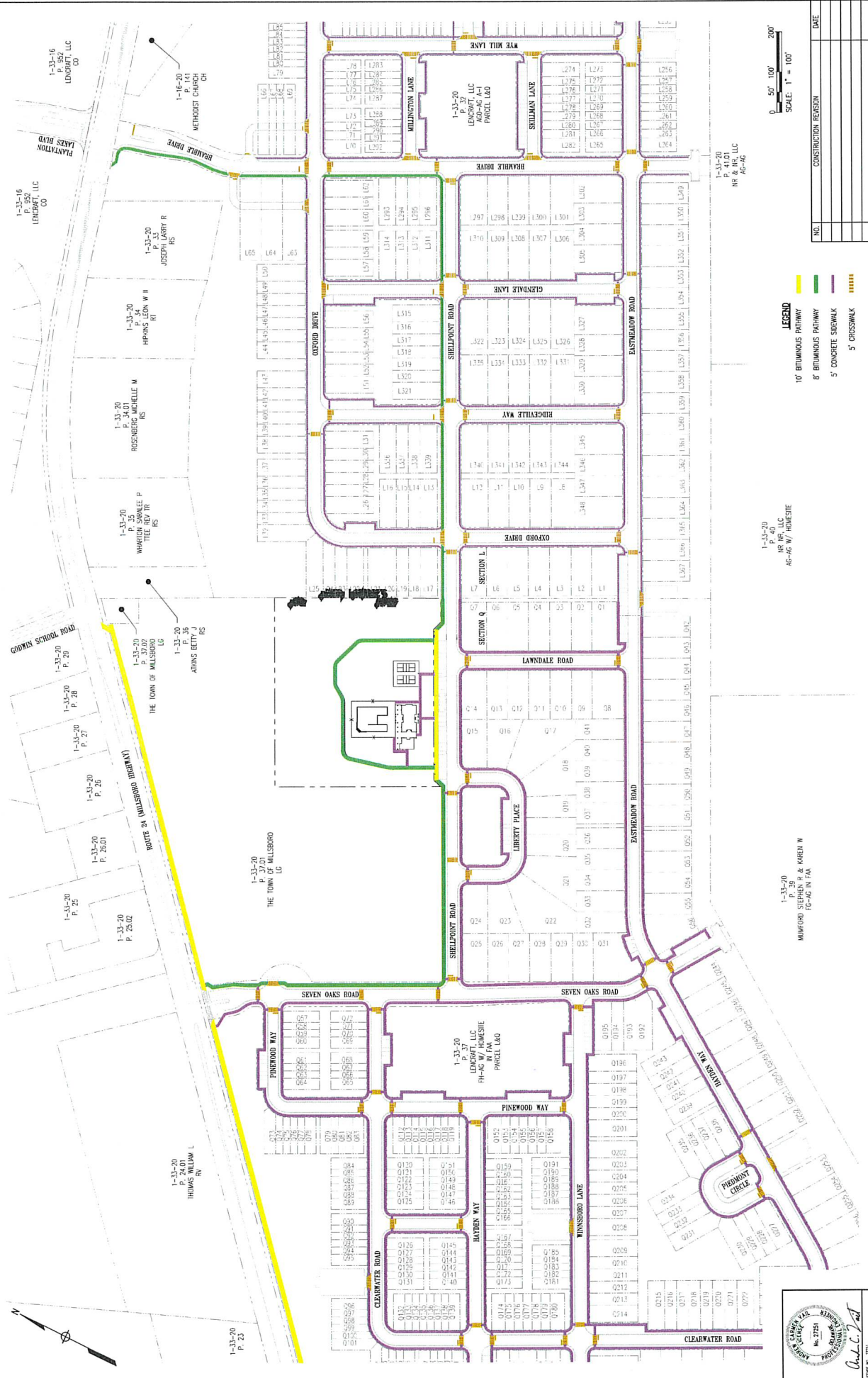
OWNER: LENCRAFT, LLC
7035 ALBERT EINSTEIN DRIVE, SUITE 200
COLUMBIA, MARYLAND 21046
410-423-0407

PLANTATION LAKES NEIGHBORHOOD CENTER
SITE DETAILS

PLANTATION LAKES
SUSSEX COUNTY, DELAWARE
MILLSBORO ELECTION DISTRICT NO. 3

NO.	CONSTRUCTION REVISION	DATE

SCALE	SHEET	DRAWING	DATE
AS SHOWN	DT-1	NO. 6 OF 8	W.O. 42149
			9-18-2024



NO.	CONSTRUCTION REASON	DATE

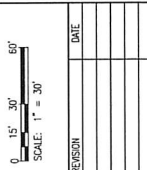
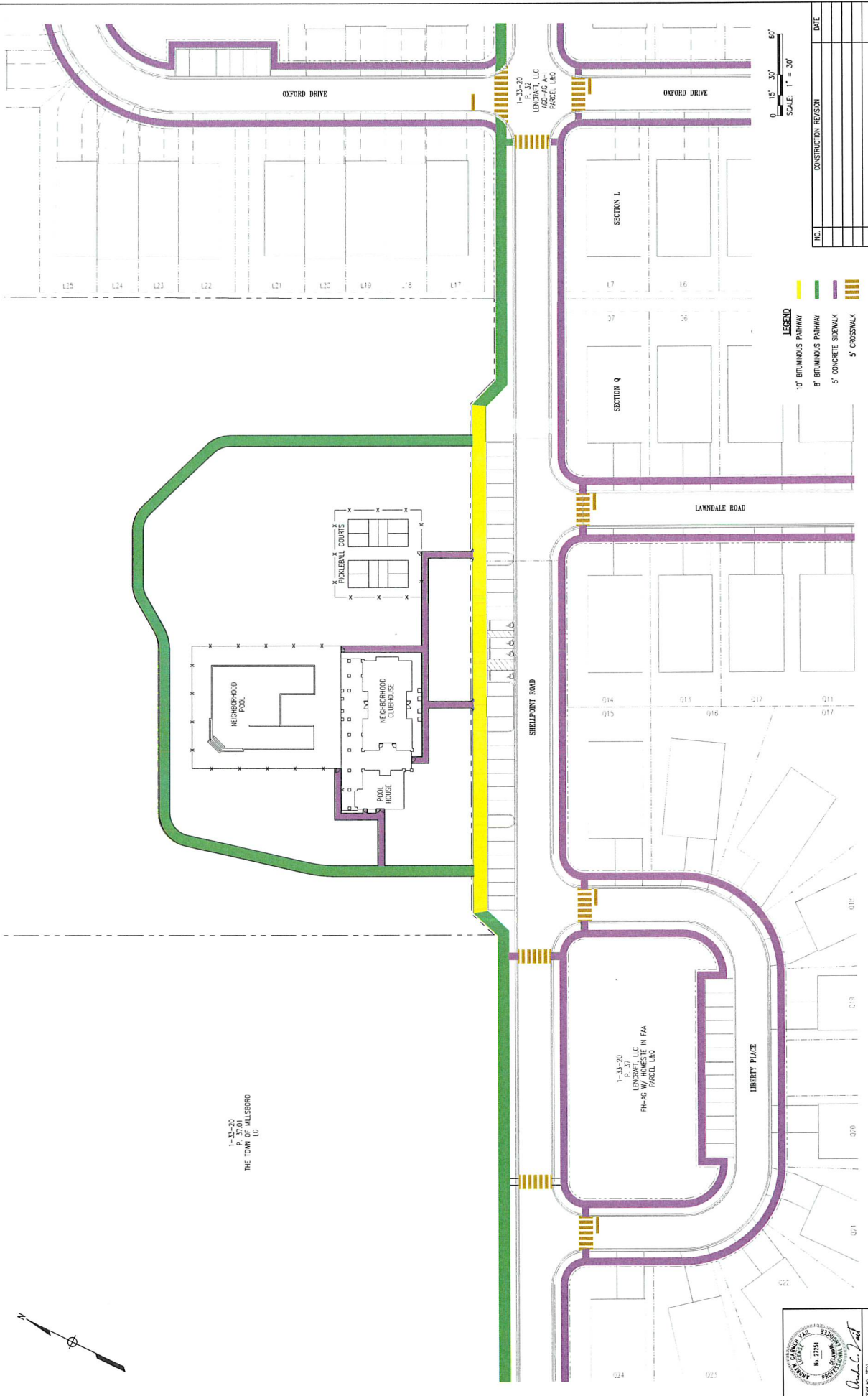
SCALE	SHEET	DRAWING	W.O. NO.
1"=100'	CP-1	No. 7	W.O. 42149
		OF 8	9-18-2024

PLANTATION LAKES
SUSSEX COUNTY, DELAWARE
MILLSBORO ELECTION DISTRICT NO. 3

PLANTATION LAKES NEIGHBORHOOD CENTER
CIRCULATION PLAN

OWNER: LENDRAFT, LLC
7035 ALBERT EASTMAN DRIVE SUITE 200
COLUMBIA, MARYLAND 21046
410-493-0407

WHITMAN, REQUARDT AND ASSOCIATES, LLP
801 SOUTH CAROLINE STREET
BALTIMORE, MARYLAND 21203
410-235-5450
FAX: 410-243-5716



LEGEND

- 10' BITUMINOUS PATHWAY
- 8' BITUMINOUS PATHWAY
- 5' CONCRETE SIDEWALK
- 5' CROSSWALK

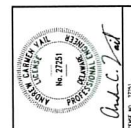
NO.	CONSTRUCTION REVISION	DATE

OWNER: LENCRAFT, LLC
 7035 ALBERT EINSTEIN DRIVE SUITE 200
 COLUMBIA, MARYLAND 21046
 410-423-0407

PLANTATION LAKES NEIGHBORHOOD CENTER
 CIRCULATION PLAN

PLANTATION LAKES NEIGHBORHOOD CLUBHOUSE
 SUSSEX COUNTY, DELAWARE
 MILLSBORO ELECTION DISTRICT NO. 3

SCALE: 1" = 30'
 SHEET: CP-2 OF 8
 DRAWING NO. 8 OF 8
 W.O. 42149
 9-18-2024



WHITMAN, REQUART AND ASSOCIATES, LLP
 801 SOUTH CAROLINE STREET
 BALTIMORE, MARYLAND 21201
 410-243-5716
 FAX: 410-243-5716

DATE: 04.22.24
 PROJECT NO.: 2221



October 22, 2024

Mr. Jamie Burk, Town Manager
Town of Millsboro
322 Wilson Highway
Millsboro, DE 19966

**Re: Plantation Lakes – Neighborhood Center
Revised Preliminary Site Plan and Pool Construction Drawings**

Dear Mr. Burk:

Our office has reviewed the revised preliminary site plan for the Plantation Lakes Neighborhood Center, dated September 18, 2024, as prepared by Whitman, Requardt, and Associates, LLP and pool construction drawings, dated September 6, 2024, as prepared by Paddock Swimming Pool Company. In view of the above, we offer the following comments:

Project Description

Plantation Lakes and Dukes Property is a planned residential community with a golf course. All together there are 2,493 proposed residential units. The project site is located on approximately 780 acres and located on both the north and south side of Betts Pond, West of US Route 113, East of Godwin School Road. The project includes a mix of residential units including single-family detached homes of various lot sizes and townhome units and a future neighborhood center. The proposed neighborhood center is to be located within the boundaries of tax parcel 133-20.00-37.00 (Section Q), which lies between Route 24 and Shellpoint Road and will consist of approximately 2.16 acres in size. Amenities that will be included as part of the neighborhood center will consist of a pool house, clubhouse, a 3,900 +/- sf. swimming pool with a 6,056-sf. pool deck, and two pickleball courts.

Procedural/Administrative

1. Section 210-14 identifies the review standards and conditions for a High Density Residential (HR) District.
2. Section 210-20 identifies the review standards and conditions for a Residential Planned Community (RPC) district.
3. Section 210-37 identifies the lighting standards.
4. Section 210-41 identifies performance standard requirements for landscaping.
5. Section 210-46 contains the regulations governing swimming pools.
6. Section 210-66(B) contains the requirements of a preliminary site plan.
7. Prior to recordation of the Final Plan, the Town should assure that all the following approvals have been granted by the following agencies:
 - Sediment and Erosion Control Plans - Sussex County Conservation District
 - Stormwater Management Plans - Sussex County Conservation District

- Fire Marshal Site Plan Approval - State Fire Marshal

- Water and Sewer Service - Town Engineer
- Grading Plan - Town Engineer
- Landscaping Plan - Town Council
- Condominium/Homeowners' Association Documents - Town Solicitor

All the following agreements below should be executed prior to Town approval of the record plan:

- a. A Public Works Agreement (PWA) should be executed with the Town that guarantees that any roads, storm drains, pathways, and the water and sewer facilities will be constructed in accordance with the approved plans. The Town Engineer should review the quantities and unit costs in the PWA. The PWA should also require as-built plans to be prepared by the developer for all public improvements.
- b. A Landscape Agreement should be executed with the Town that guarantees that required landscaping, forest and buffer restoration, and street trees are installed and maintained in accordance with the approved plans.

Planning/Technical Issues

1. Sheet SP-2 of the plan set shows the proposed neighborhood pool which includes a note stating that it will be "designed by others." The construction details for the pool should be provided and must meet the requirements outlined in §210-46B of the zoning code.

Comment: The applicant has provided construction drawings for the proposed pool. Based off the plans the neighborhood center swimming pool will meet the Town of Millsboro's regulations governing public swimming pools. Features that will be included as part of the pool construction include a lap lane area, underwater benches, and a zero/beach entry area. All underwater lighting will need to be adequately shielded.

2. Swimming pools that are intended to serve the public or club members are required to be enclosed with fencing or utilize landscaping and structures to prevent immediate access from the pool. There is no indication from the plan that any form of preventative measures are being proposed to impede access to the pool. The applicant shall revise the plan to meet the referenced requirement above.

Comment: The applicant has revised the preliminary site plan to include perimeter fencing around the entirety of the pool complex, thereby eliminating access from residents utilizing the adjacent open space areas and multi-use path. Prior to final plan approval a fencing detail should be added to the plan set for review.

3. A landscaping plan that meets the requirements of §210-41A.3(d) will need to be provided for review prior to approval of the final plan. The applicant may wish to employ landscaping to prevent access to the swimming pool area as referenced in comment #3 of this review letter and should be shown on the landscaping plan.



AECOM
28485 DuPont Boulevard 302 933 0200 tel
Millsboro, DE 19966 302 933 0320 fax
www.aecom.com

Comment: The applicant has noted that a landscaping plan will be provided for review prior to final plan approval.

4. All proposed lighting is shown on the plan meeting the requirements of §210-37. A lighting detail has been provided on sheet DT-1 for the Neighborhood Center with five total light fixtures being installed.

After reviewing the revised Preliminary Site Plan and associated Pool Construction Drawings for the Plantation Lakes Neighborhood Center, AECOM considers these plans to be appropriate and in conformity with the Town of Millsboro code and recommends preliminary site plan approval.

If you have any questions or need additional information, please do not hesitate to call.

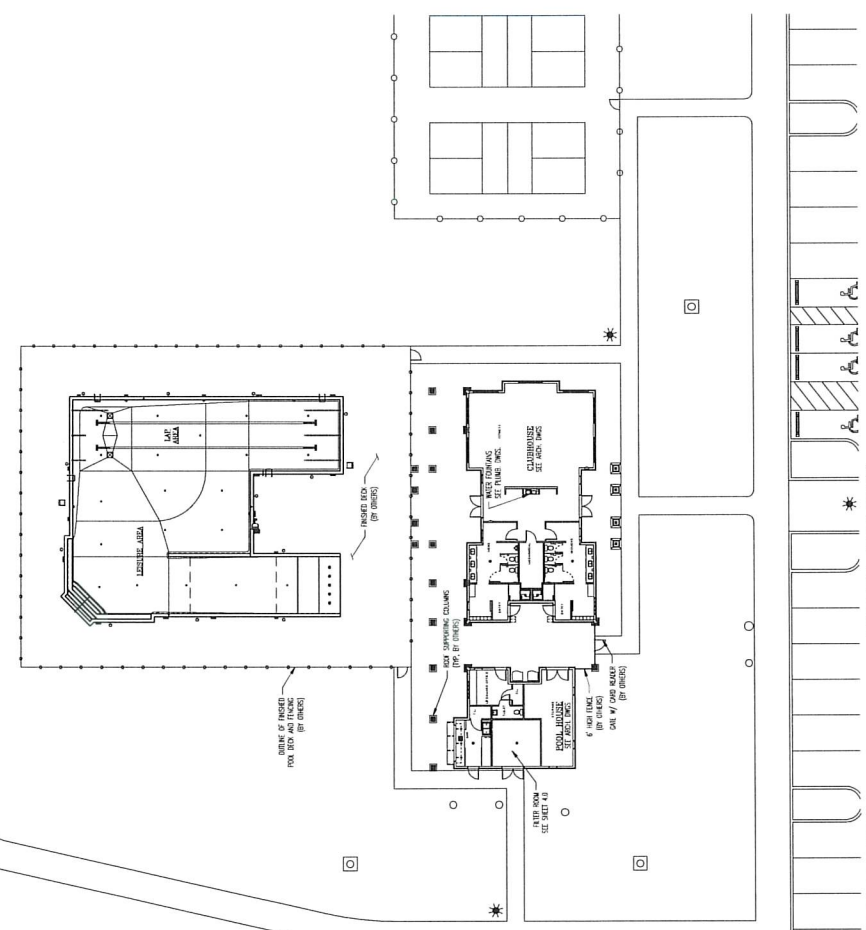
Very truly yours,

AECOM

Kyle F. Gulbranson, AICP
Project Manager

Cc: Joanne Dorey, Millsboro Town Clerk

NEW SWIMMING POOL PLANTATION LAKES SOUTH SHORE SUSSEX COUNTY, DELAWARE



NEW POOL CONSTRUCTION NOTES:
 USE GROUP PTFE-A-5 (IBC, 2021)
 CONSTRUCTION TYPE: I-B, (U.B.C., 2021)

OCCUPANCY LOAD
 SWIMMING POOLS: 50 SQ. FT. WHITE SURFACE PER OCCUPANT 2021
 SHOWER ROOMS: 150 SQ. FT. WHITE SURFACE PER OCCUPANT 2021
 LOCKER ROOMS: 150 SQ. FT. WHITE SURFACE PER OCCUPANT 2021
 POOL DECK: 150 SQ. FT. WHITE SURFACE PER OCCUPANT 2021

REPLACE SITE PLAN
 * DIMENSIONS SHOWN FOR REFERENCE ONLY
 REFER TO BUILDING PERMITS FOR ALL DETAILS ON THE BATH HOUSE
 MAKE SURE BARS TO BE SPACED AT 18" O.C. OR LESS (REINFORCING PER PERMITS)
 REFER TO PLUMBING DRAWINGS FOR WATER AND SEWER.

PLANTATION LAKES SOUTH SHORE GENERAL NOTES

SCOPE OF WORK:
 Provide all materials, labor, and equipment necessary for the construction of the swimming pool, pool deck, pool house, pool equipment, pool lighting, pool sound, pool ventilation, pool insulation, pool finishing, pool installation, pool commissioning, pool operation, pool maintenance, pool repair, pool replacement, pool demolition, pool construction, pool design, pool drawing, pool specification, pool contract, pool agreement, pool permit, pool license, pool insurance, pool bond, pool warranty, pool guarantee.

GENERAL NOTES DEFINITIONS:
 PROVIDE: To furnish and install work, including sectional items.
 INSTALL: To set in place, erect, or otherwise put in position, and to connect to other work, and to make good any damage to existing work caused by the work.
 FINISH: To complete the work in accordance with the specifications and to make good any damage to existing work caused by the work.

WORK IN PROGRESS:
 The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.
 The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.
 The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

1. Provide a minimum 2" gravel base under the pool.
2. Provide a minimum 4" gravel base under the pool.
3. Provide a minimum 6" gravel base under the pool.
4. Provide a minimum 8" gravel base under the pool.
5. Provide a minimum 10" gravel base under the pool.
6. Provide a minimum 12" gravel base under the pool.
7. Provide a minimum 14" gravel base under the pool.
8. Provide a minimum 16" gravel base under the pool.
9. Provide a minimum 18" gravel base under the pool.
10. Provide a minimum 20" gravel base under the pool.
11. Provide a minimum 22" gravel base under the pool.
12. Provide a minimum 24" gravel base under the pool.
13. Provide a minimum 26" gravel base under the pool.
14. Provide a minimum 28" gravel base under the pool.
15. Provide a minimum 30" gravel base under the pool.
16. Provide a minimum 32" gravel base under the pool.
17. Provide a minimum 34" gravel base under the pool.
18. Provide a minimum 36" gravel base under the pool.
19. Provide a minimum 38" gravel base under the pool.
20. Provide a minimum 40" gravel base under the pool.
21. Provide a minimum 42" gravel base under the pool.
22. Provide a minimum 44" gravel base under the pool.
23. Provide a minimum 46" gravel base under the pool.
24. Provide a minimum 48" gravel base under the pool.
25. Provide a minimum 50" gravel base under the pool.

REINFORCING:
 All reinforcing steel shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

CONCRETE:
 All concrete shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

FINISHING:
 All finishing shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

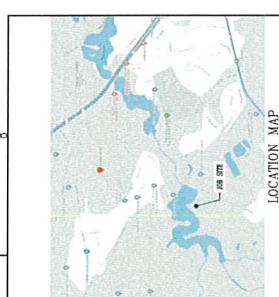
INSTALLATION:
 All installation shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

OPERATION:
 All operation shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

MAINTENANCE:
 All maintenance shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

REPAIR:
 All repair shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.

REPLACEMENT:
 All replacement shall be provided by the contractor and shall be installed in accordance with the specifications and the requirements of the applicable building code. The contractor shall be responsible for the protection of all existing work, including but not limited to, utilities, structures, and other work, and shall be responsible for the repair and replacement of any work damaged by the work.



OWNER:
 LENMAR
 7000 JAMES ST., SUITE 200
 ROCKVILLE, MD 20850

ARCHITECT:
 TONO ARCHITECTS
 429 WEST JAMES ST., SUITE 100
 LANCASTER, PA 17603

POOL CONTRACTOR:
 PADDOCK SWIMMING POOL CO.
 1532E-C SOUTHMAIN LANE
 ROCKVILLE, MD 20850

LIST OF DRAWINGS

- 0.0 COVER SHEET
- 1.0 POOL PLAN
- 1.1 HUB LAYOUT PLAN
- 2.0 SECTIONS #1
- 2.1 SECTIONS #2
- 3.0 OVERALL PIPING PLAN
- 3.1 POOL PIPING PLAN
- 4.0 FILTER ROOM PLANS & ELEVATION
- 5.0 DETAILS #1

PROJECT REVISIONS:

NO.	DATE	DESCRIPTION
1	09/06/2021	ISSUED FOR APPROVAL
2	09/06/2021	ISSUED FOR APPROVAL
3	09/06/2021	ISSUED FOR APPROVAL
4	09/06/2021	ISSUED FOR APPROVAL
5	09/06/2021	ISSUED FOR APPROVAL
6	09/06/2021	ISSUED FOR APPROVAL
7	09/06/2021	ISSUED FOR APPROVAL
8	09/06/2021	ISSUED FOR APPROVAL
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25	09/06/2021	ISSUED FOR APPROVAL

DATE: 09/06/2021
TIME: 10:00 AM
LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850

PROJECT: NEW SWIMMING POOL @ PLANTATION LAKES SOUTH SHORE, SHEEP PEN ROAD, MILLSBORO, DE 19966

CLIENT: LENMAR
ARCHITECT: TONO ARCHITECTS
POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.

SCALE: 1/8" = 1'-0"
DATE: 09/06/2021
TIME: 10:00 AM
LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850

PROJECT: NEW SWIMMING POOL @ PLANTATION LAKES SOUTH SHORE, SHEEP PEN ROAD, MILLSBORO, DE 19966

CLIENT: LENMAR
ARCHITECT: TONO ARCHITECTS
POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.

PLANTATION LAKES SOUTH SHORE
 SHEEP PEN ROAD
 MILLSBORO, DE 19966

COVER SHEET
 1532E-C SOUTHMAIN LANE
 ROCKVILLE, MD 20850

ARCHITECT: TONO ARCHITECTS
 429 WEST JAMES ST., SUITE 100
 LANCASTER, PA 17603

POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.
 1532E-C SOUTHMAIN LANE
 ROCKVILLE, MD 20850

DATE: 09/06/2021
 TIME: 10:00 AM
 LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850

PROJECT: NEW SWIMMING POOL @ PLANTATION LAKES SOUTH SHORE, SHEEP PEN ROAD, MILLSBORO, DE 19966

CLIENT: LENMAR
 ARCHITECT: TONO ARCHITECTS
 POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.

SCALE: 1/8" = 1'-0"
 DATE: 09/06/2021
 TIME: 10:00 AM
 LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850

PROJECT: NEW SWIMMING POOL @ PLANTATION LAKES SOUTH SHORE, SHEEP PEN ROAD, MILLSBORO, DE 19966

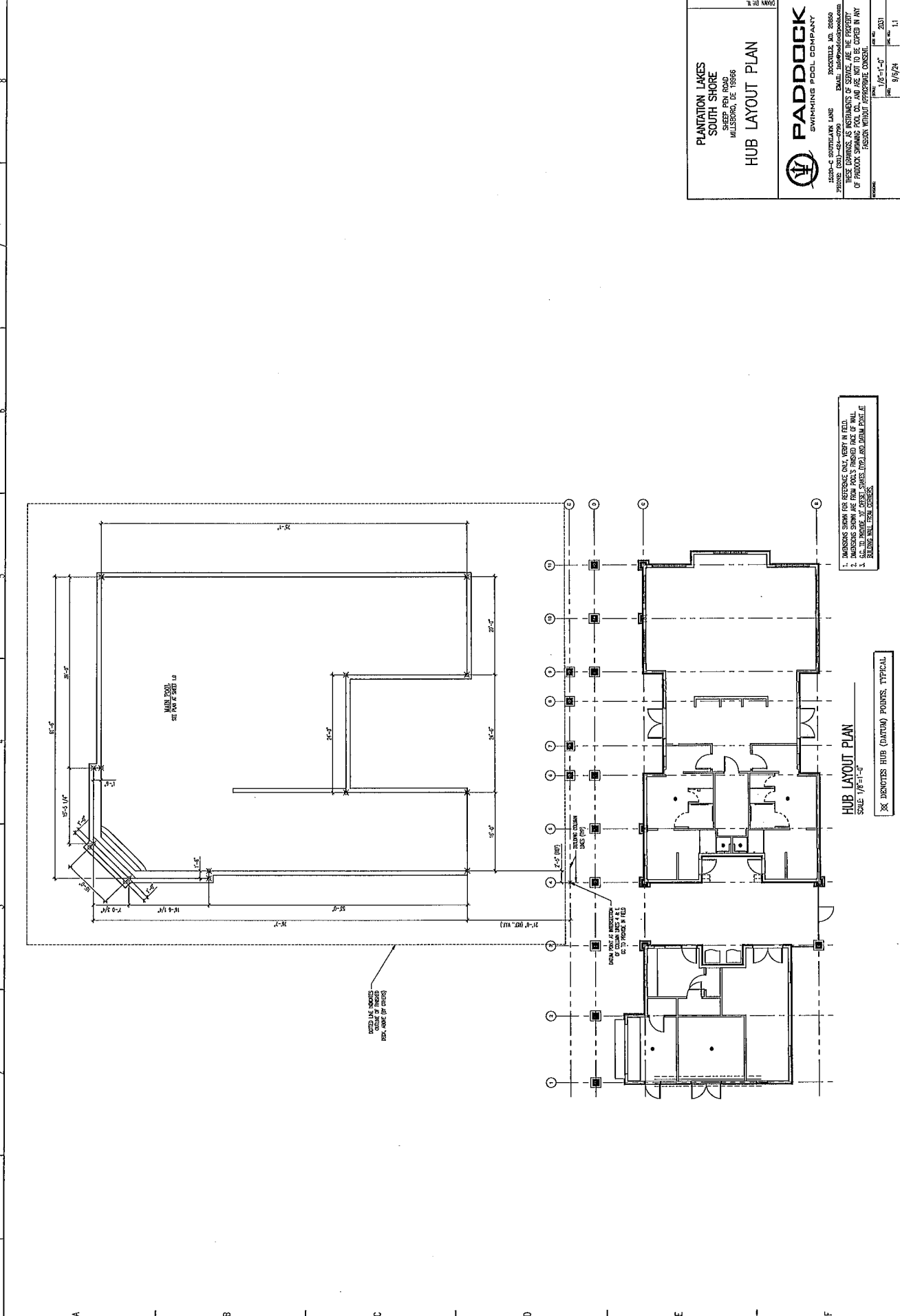
CLIENT: LENMAR
 ARCHITECT: TONO ARCHITECTS
 POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.

SCALE: 1/8" = 1'-0"
 DATE: 09/06/2021
 TIME: 10:00 AM
 LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850

PROJECT: NEW SWIMMING POOL @ PLANTATION LAKES SOUTH SHORE, SHEEP PEN ROAD, MILLSBORO, DE 19966

CLIENT: LENMAR
 ARCHITECT: TONO ARCHITECTS
 POOL CONTRACTOR: PADDOCK SWIMMING POOL CO.

SCALE: 1/8" = 1'-0"
 DATE: 09/06/2021
 TIME: 10:00 AM
 LOCATION: 1532E-C SOUTHMAIN LANE, ROCKVILLE, MD 20850



1. DIMENSIONS SHOWN FOR REFERENCE ONLY, VERIFY IN FIELD.
2. DIMENSIONS SHOWN ARE FROM POOL'S FINISHED FACE OF WALL.
3. SEE ALL FINISHES, SEE SPECIAL NOTES, SEE ALL DIMENSIONS FOR FINISHES, SEE ALL DIMENSIONS FOR FINISHES.


HUB LAYOUT PLAN
SCALE: 1/8"=1'-0"

⊗ DENOTES HUB (AROUND) POINTS, TYPICAL.

DRAWN BY: RL

**PLANTATION LAKES
SOUTH SHORE
SWEET PEN ROAD
MILLSBORO, DE 19966**

HUB LAYOUT PLAN



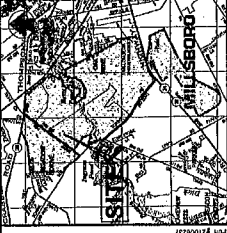
PADDOCK
SWIMMING POOL COMPANY

14200-C SOUTHWEST LANE ROCKFORD, MD 20850
 PHONE: (301) 221-0790 FAX: (301) 221-0790
 WWW.PADDOCKSWIMMING.COM

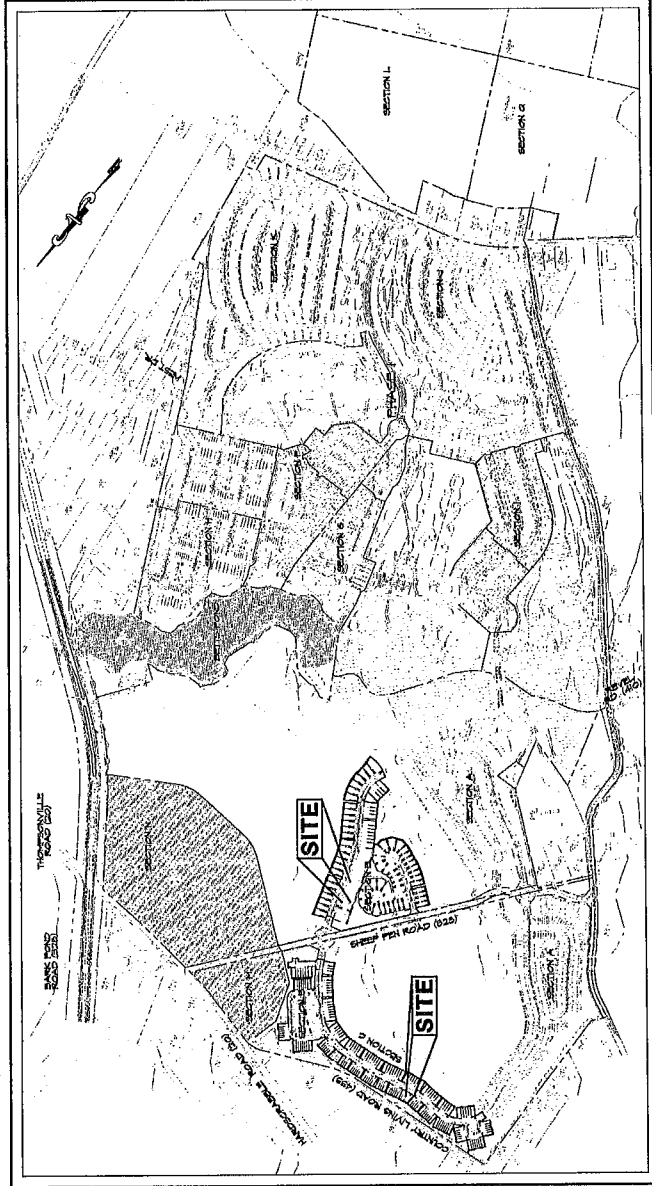
14200-C SOUTHWEST LANE ROCKFORD, MD 20850
 PHONE: (301) 221-0790 FAX: (301) 221-0790
 WWW.PADDOCKSWIMMING.COM
 OF PADDOCK SWIMMING POOL CO. AND ARE NOT TO BE COPIED IN ANY
 MANNER WITHOUT APPROPRIATE CONSENT.

DATE: 9/9/94	REV. NO. 1.1
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PLANTATION LAKES RECORD PLAN SECTION "B" & "C"



LOCATION MAP
 SCALE: 1" = 100'



SITE MAP
 SCALE: 1" = 300'

SITE DATA - Plantation Lakes

1. PROJECT TITLE/NAME: PLANTATION LAKES
2. ADDRESS: MILLISBORO, DELAWARE
3. OWNER INFORMATION:
 - NAME: MORRIS & RETZKE ASSOCIATES, INC.
 - ADDRESS: 1000 MARKET STREET, 2ND FLOOR
 - CITY/STATE: MILLISBORO, DE 19966
4. ZONING INFORMATION:
 - ZONING DISTRICT: R-10 (RESIDENTIAL SINGLE-FAMILY)
 - ZONING REGULATIONS: 1999 ZONING ORDINANCE, CHAPTER 17-10
5. LAND USE INFORMATION:
 - PROPOSED USE: RESIDENTIAL SINGLE-FAMILY
 - EXISTING USE: RESIDENTIAL SINGLE-FAMILY
6. LOT INFORMATION:
 - TOTAL NUMBER OF LOTS: 100
 - TOTAL ACRES: 10.00
 - TOTAL SQUARE FEET: 435,600
 - NET ACRES: 10.00
 - NET SQUARE FEET: 435,600
7. WATER SERVICES:
 - TOWN OF MILLSBORO
8. SANITARY SERVICES:
 - TOWN OF MILLSBORO
9. UTILITIES AND SERVICES TO BE PROVIDED BY THE OWNER:
 - WATER
 - SEWER
 - STREET LIGHTING
 - STREET SIGNAGE
 - STREET NAME
 - STREET ADDRESS
 - STREET NUMBER
 - STREET TYPE
 - STREET WIDTH
 - STREET DEPTH
 - STREET FRONTAGE
 - STREET REARAGE
 - STREET SIDEAGE
 - STREET ENDAGE
 - STREET CORNER
 - STREET CENTERLINE
 - STREET RIGHT-OF-WAY
 - STREET EASEMENT
 - STREET ENCROACHMENT
 - STREET OBSTRUCTION
 - STREET INTERFERENCE
 - STREET HAZARD
 - STREET DAMAGE
 - STREET DISTURBANCE
 - STREET INTERUPTION
 - STREET CLOSURE
 - STREET DIVERSION
 - STREET BLOCKADE
 - STREET OBSCURATION
 - STREET DESTRUCTION
 - STREET REMOVAL
 - STREET RECONSTRUCTION
 - STREET REPAIR
 - STREET MAINTENANCE
 - STREET CLEANING
 - STREET LIGHTING MAINTENANCE
 - STREET SIGNAGE MAINTENANCE
 - STREET NAME MAINTENANCE
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 - STREET RECONSTRUCTION MAINTENANCE
 - STREET REPAIR MAINTENANCE
 - STREET MAINTENANCE MAINTENANCE
10. PROJECT INFORMATION:
 - PROJECT NUMBER: 1000004989
 - PROJECT DATE: 1/25/2021
 - PROJECT LOCATION: MILLISBORO, DE

- ### DELDOT RECORD PLAN NOTES
1. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL DRIVEWAY WITHIN SECTION B.
 2. ALL DRIVEWAYS SHALL CONFORM TO THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015.
 3. ALL DRIVEWAYS SHALL CONFORM TO THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015.
 4. THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015.
 5. THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015, AND THE DRIVEWAY PREVENTION OF IMPROVEMENTS CIRCULAR 107, REVISION 10/2015.
 6. ALL LOTS SHALL HAVE ACCESS FROM THE INTERNAL DRIVEWAY WITHIN SECTION B.

NO OBJECTION TO RECORDATION
 Town of Millisboro

NAME: Scott Dailey Date: 1/25/2021

RECEIVED
 1/25/2021
 MILLISBORO TOWN HALL

SECTION'S CERTIFICATION
 I hereby certify that I am the legal representative of the owner of all property that is being recorded by this plan, and that I am duly qualified to execute this plan for the purpose of recording it in the public records of the State of Delaware. I declare that this plan has been prepared in accordance with all laws and regulations of the State of Delaware, and that I have given to the Town of Millisboro the fee for the recording of this plan, and that I have given to the Town of Millisboro the fee for the recording of this plan, and that I have given to the Town of Millisboro the fee for the recording of this plan.

By: [Signature] Professional Seal No. 404

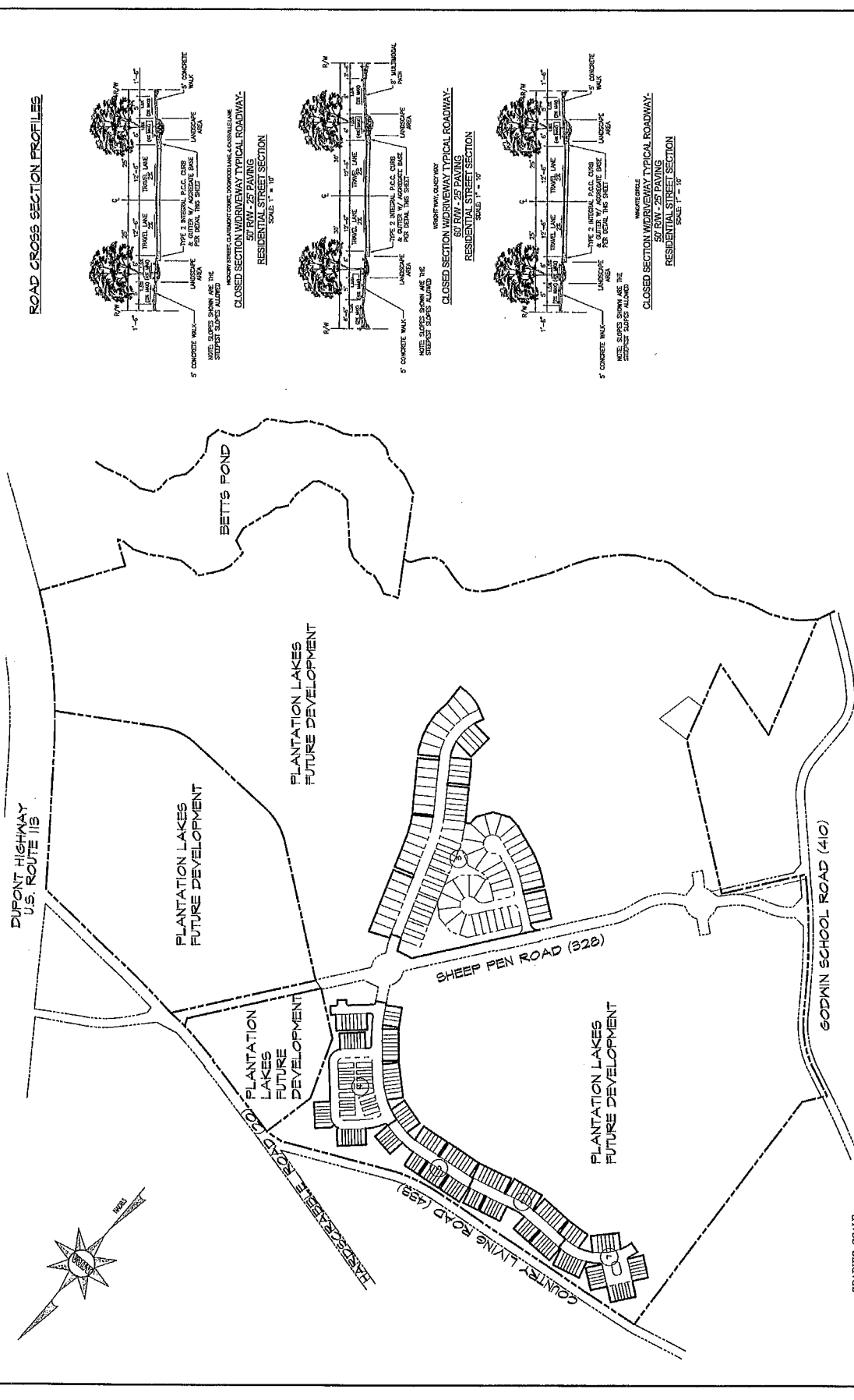
PLANTATION LAKES

SECTION B & C - RECORD PLAN
 TOWN OF MILLSBORO, SUSSEX COUNTY
 STATE OF DELAWARE

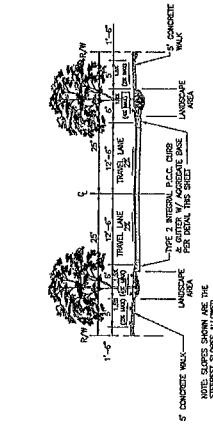
MIRA
 MORRIS & RETZKE ASSOCIATES, INC.
 DEPARTMENT OF PLANNING
 1000 MARKET STREET, 2ND FLOOR
 MILLISBORO, DE 19966
 TEL: 302.336.2200
 FAX: 302.336.2201

RP-1

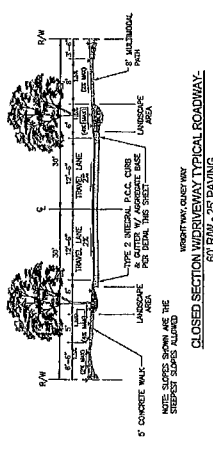
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 Doc Surcharge Paid



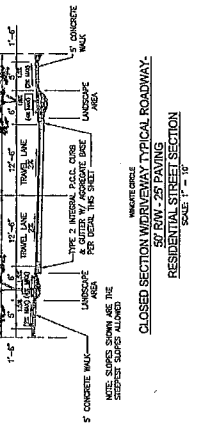
ROAD CROSS SECTION PROFILES



CLOSED SECTION WIDENWAY TYPICAL ROADWAY:
 50' RW, 20' PAVING
 RESIDENTIAL STREET SECTION
 SCALE: 1" = 10'



CLOSED SECTION WIDENWAY TYPICAL ROADWAY:
 60' RW, 20' PAVING
 RESIDENTIAL STREET SECTION
 SCALE: 1" = 10'



CLOSED SECTION WIDENWAY TYPICAL ROADWAY:
 50' RW, 20' PAVING
 RESIDENTIAL STREET SECTION
 SCALE: 1" = 10'

MAINTENANCE DIVISION
 PLANTATION LAKES DEVELOPMENT
 1000 S. BRIDGES BLVD. 2ND FLOOR
 WILMINGTON, DE 19801
 TEL: 302.635.4400 FAX: 302.635.4401

PLANTATION LAKES

SECTION B & C - RECORD PLAN

TOWN OF MILLSBORO, SUSSEX COUNTY
 STATE OF DELAWARE

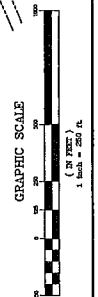
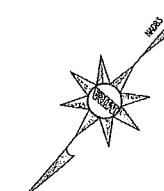


NO.	DATE	DESCRIPTION	BY	CHKD.


CONTRACT NO. 202100004989
 50% COMPLETE

SCALE: 1" = 10'

RP-2



Document# 202100004989 BK: 331 PG: 21
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 Doc Surcharge Paid



MORRIS & RITCHIE ASSOCIATES, INC.
 207 MARKET STREET
 SUITE 302
 WILMINGTON, DE 19804
 TEL: 302.441.1100
 FAX: 302.441.1101
 WWW.MIRA-DE.COM

PLANTATION LAKES
 SECTION B & C - RECORD PLAN
 TOWN OF MILLSBORO, SUSSEX COUNTY
 STATE OF DELAWARE

RECORD INFORMATION

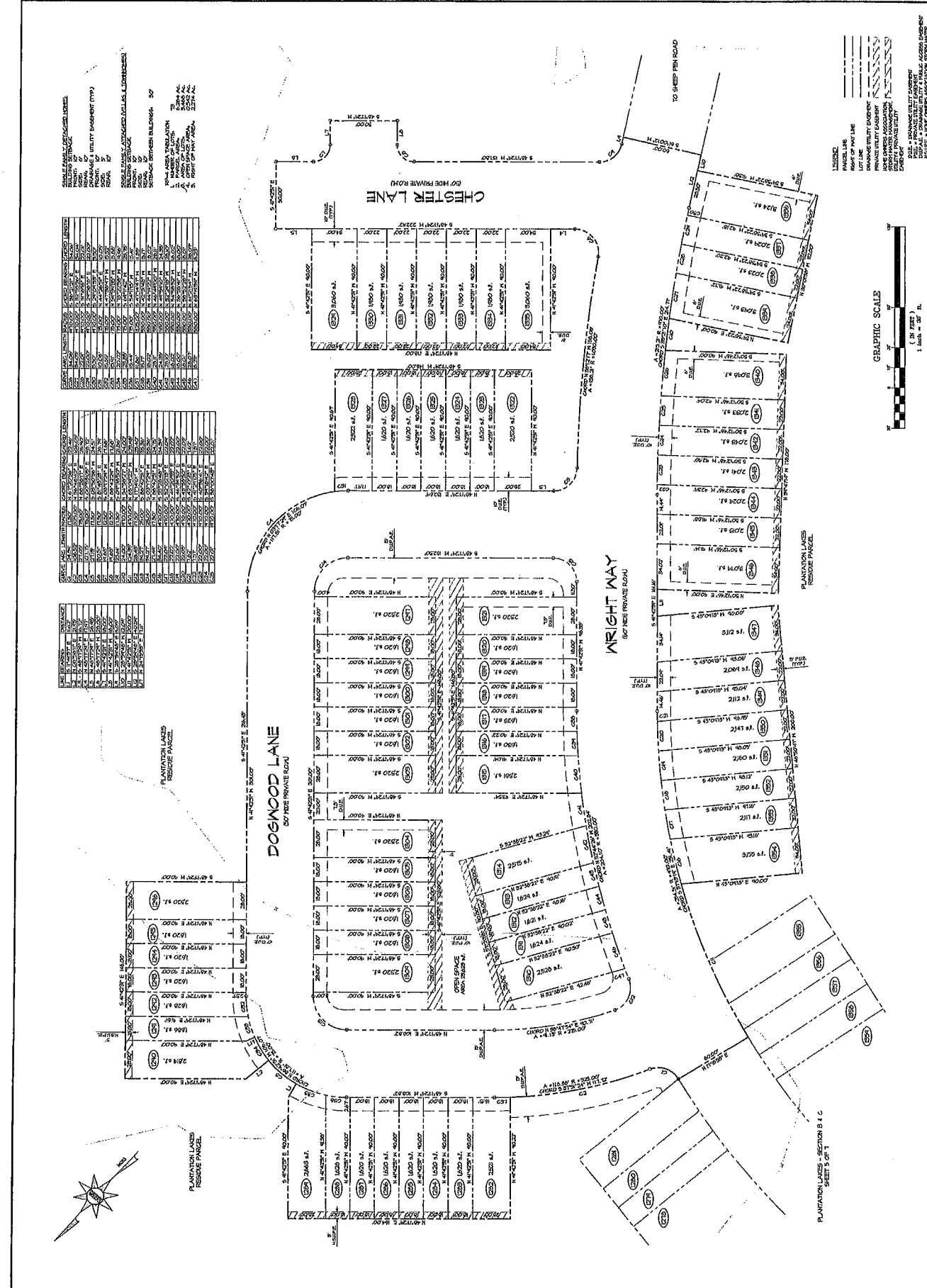
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BOOK	331
PAGE	21
SHEET TOTAL	1

PROJECT NUMBER:

OWNER:

CONTRACTOR:

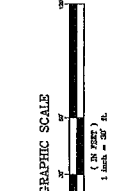
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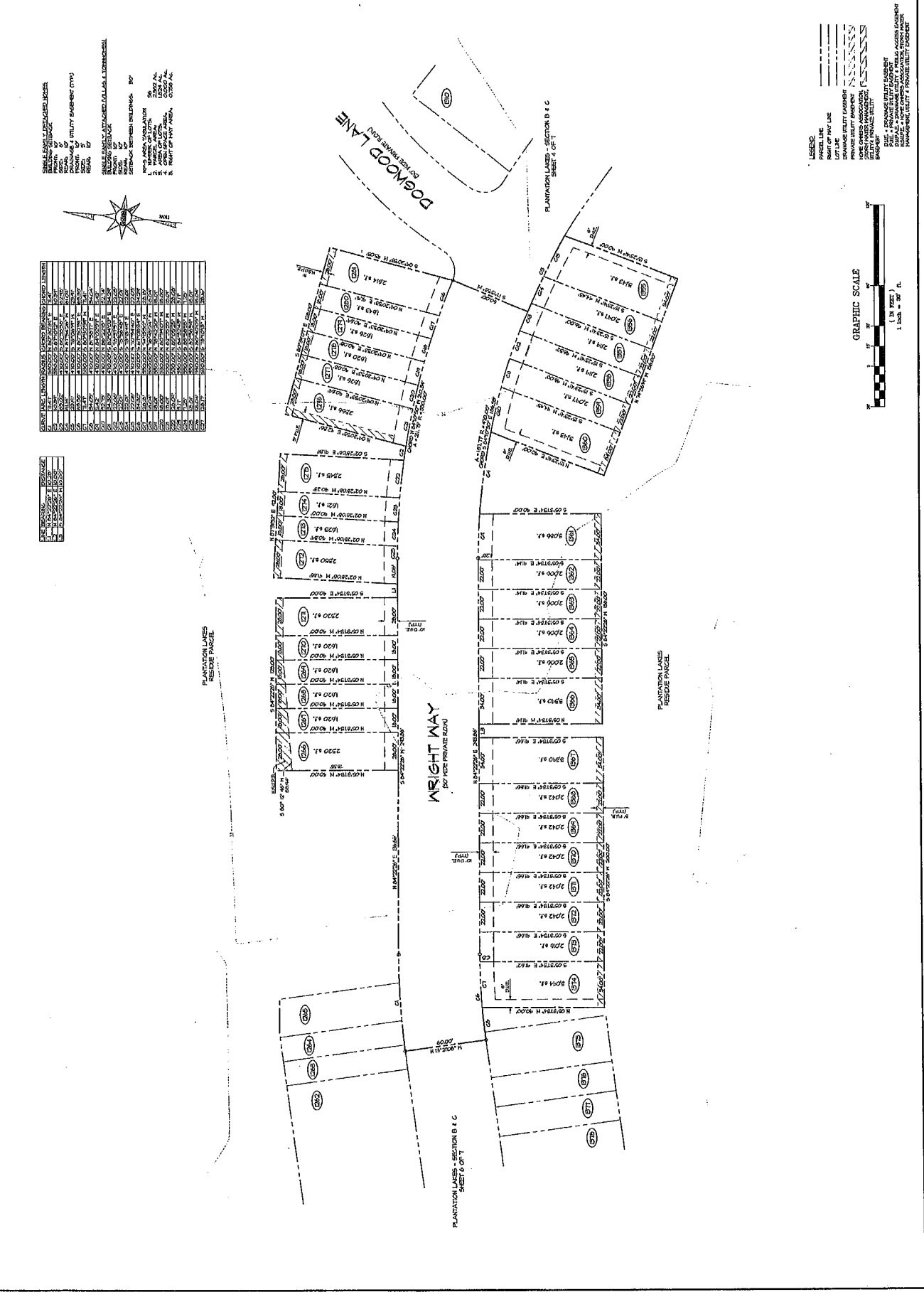
- SMALL PARCELS ADJACENT TO PLANTATION LAKES RESERVE PARCEL:
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 - 408. NORTH
 - 409. EAST
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 - 499. WEST
 - 500. NORTH

LEGEND

--- PARCEL LINE
 --- RIGHT OF WAY LINE
 --- CONFORMANCE EASEMENT
 --- PLANTATION LAKES RESERVE PARCEL
 --- PLANTATION LAKES RESERVE PARCEL
 --- PLANTATION LAKES RESERVE PARCEL
 --- PLANTATION LAKES RESERVE PARCEL



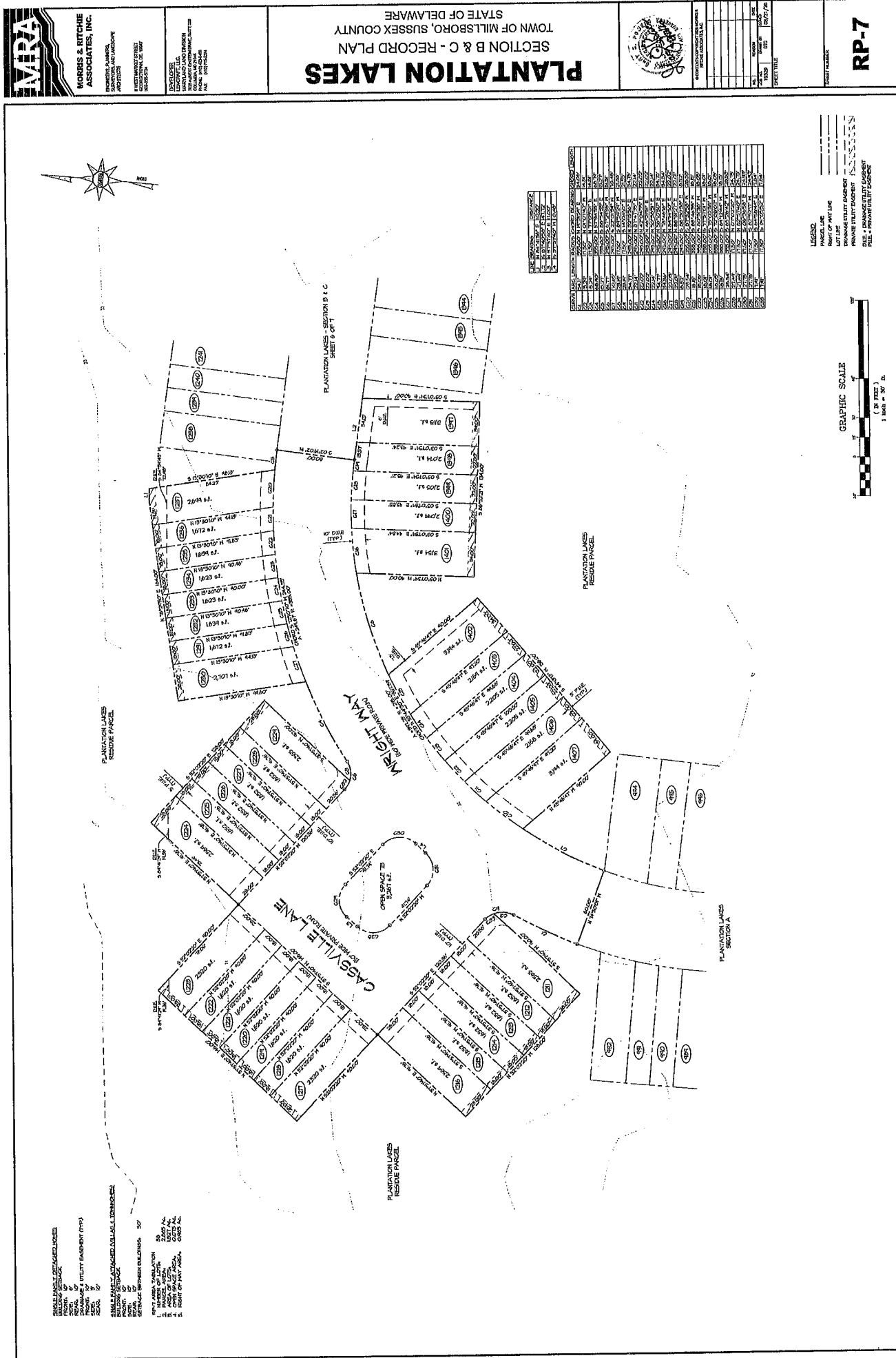
PLANTATION LAKES - SECTION B & C
 SHEET'S OF 1



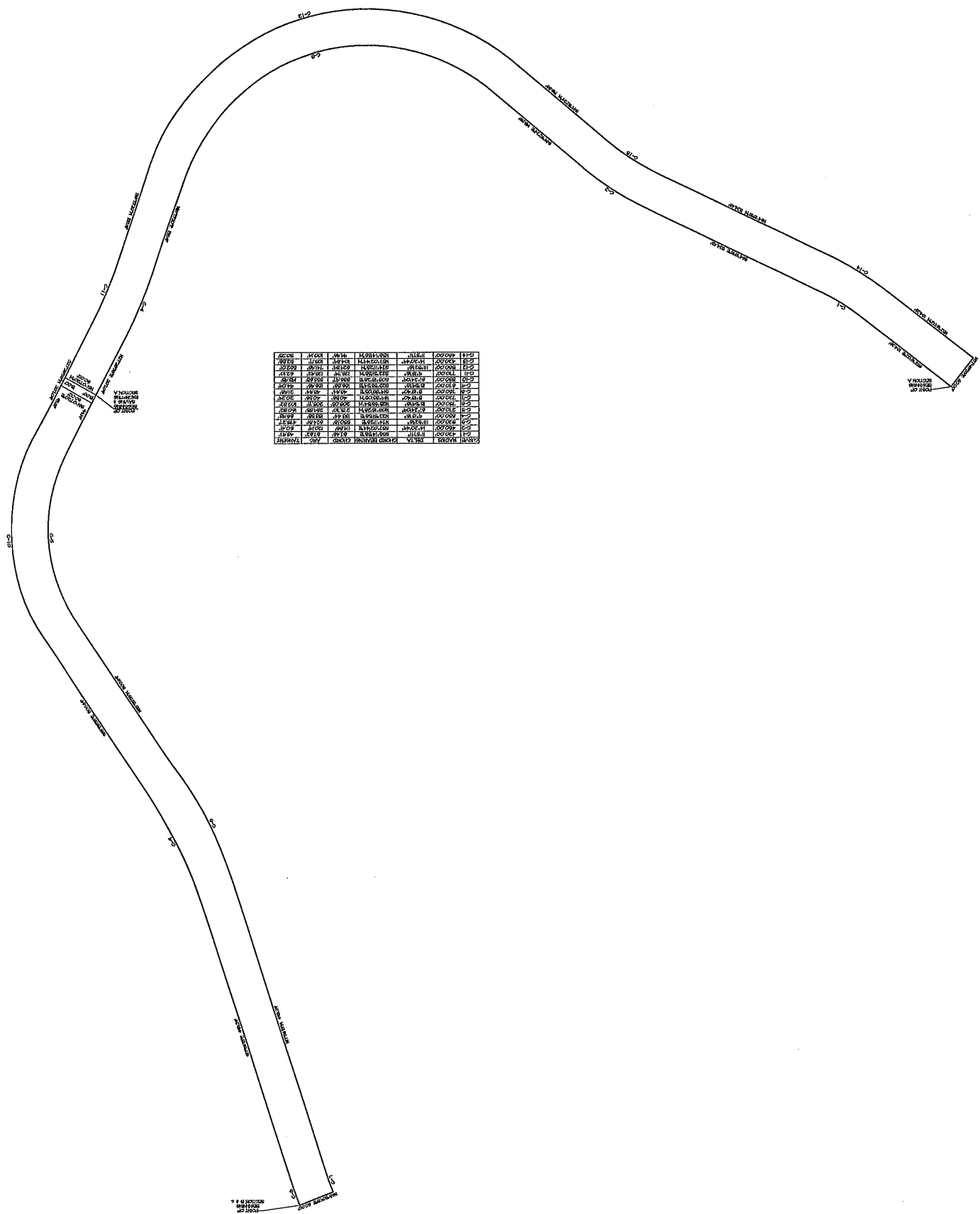
SMALL LOTS (DISTRICTED LOTS)

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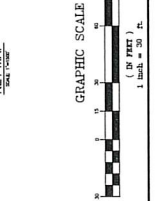
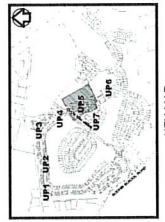
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PROJECT NO.	19202
DATE	07/27/23
PROJECT TITLE	UTILITY PLAN
SCALE	AS SHOWN
DATE	07/27/23
BY	JL
CHECKED BY	JL
DATE	07/27/23
PROJECT TITLE	UTILITY PLAN

UP-5



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**MORRIS & RITCHIE
ASSOCIATES, INC.**
LANDSCAPE ARCHITECTS
145 WEST MARKET STREET
SUITE 200
WILMINGTON, DE 19801
302.486.3800

CLIENTS:
LENDGRAFT, LLC
MARYLAND LAND DIVISION
3701 WINDY HILL ROAD
BETHESDA, MD 20814
PHONE: 410.427.8700
FAX: 410.427.8701

POST CONSTRUCTION VERIFICATION DOCUMENT
PLANTATION LAKES
SECTIONS "B" & "C" CONSTRUCTION PHASE
MILLSBORO, DELAWARE
SUSSEX COUNTY



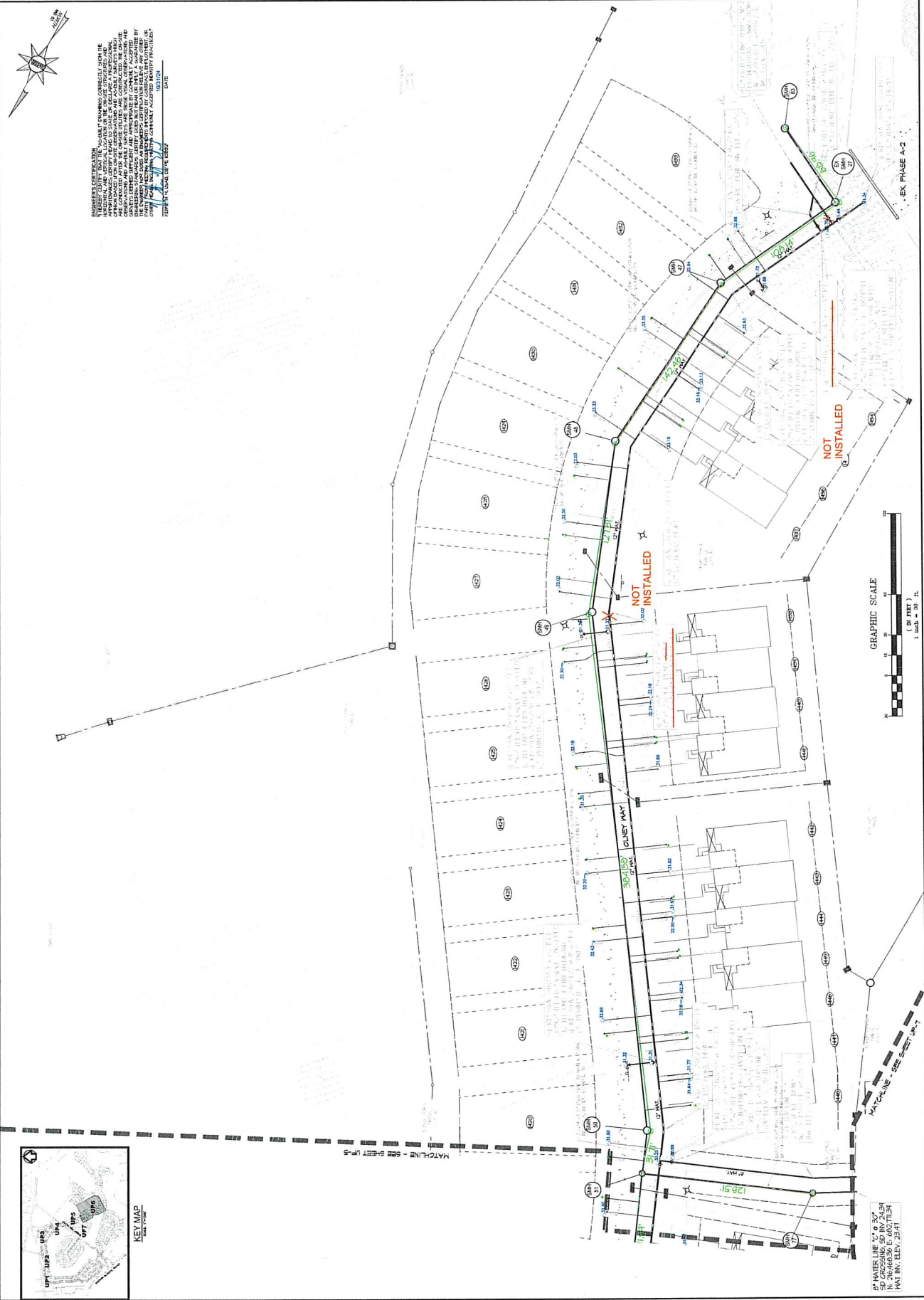
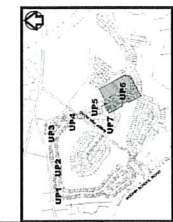
NO.	DATE	ISSUED FOR	BY
1	07/20/23	FOR PERMIT	JLR
2	08/29/23	REVISION	JLR
3	09/06/23	REVISION	JLR
4	10/17/23	REVISION	JLR
5	11/28/23	REVISION	JLR
6	12/01/23	REVISION	JLR
7	01/24/24	REVISION	JLR
8	02/07/24	REVISION	JLR

UTILITY PLAN
PROJECT NUMBER:

UP-6



MINUTE'S CERTIFICATION: I HEREBY CERTIFY THAT THE DESIGN OF THIS PROJECT HAS BEEN PREPARED BY AN ENGINEER OR ARCHITECT REGISTERED IN THE STATE OF DELAWARE. I HAVE REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DELAWARE PROFESSIONAL ENGINEERING ACT AND ARCHITECTURE ACT. I HAVE ALSO REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DELAWARE LANDSCAPE ARCHITECTURE ACT. I HAVE ALSO REVIEWED THE PLANS AND FOUND THEM TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE DELAWARE CONSTRUCTION VERIFICATION DOCUMENT ACT.



BY STATE LICENSE NO. 307
SD ENGINEER, SD BY 24/24
N. 21040836 E. 60217134
MAIL: INV. EER, 25011

Tax Map & Parcel Nos.: 1-33-16.00-73.16 p/o

PREPARED BY/RETURN TO:

David C. Hutt, Esquire
Morris James LLP
107 W. Market Street
Georgetown, DE 19947

**DEED OF PUBLIC ROADS DEDICATION
PLANTATION LAKES**

THIS DEED OF PUBLIC ROADS DEDICATION is made this ____ day of _____, 2025,

BETWEEN,

LENCRAFT, LLC, a Maryland limited liability company with offices at 7035 Albert Einstein Drive, Suite 200, Columbia, MD 21044 ("Grantor"),

AND

THE TOWN OF MILLSBORO, a municipal corporation of the State of Delaware ("Grantee").

WITNESSETH:

FOR AND IN CONSIDERATION of the sum of ONE DOLLAR (\$1.00), cash in hand paid the receipt of which is hereby acknowledged, and other good and valuable consideration, the Grantor has this day bargained and sold, and by these presents does hereby grant and convey, transfer and deliver unto the Grantee all the certain streets, roads and ways, as more particularly described on Exhibit A attached hereto and incorporated herein by this reference as public use and as public right-of-ways. The foregoing dedication is subject to the Town Code of the Town of Millsboro and any applicable ordinances contained therein, as the same may be amended from time to time, and the Fourth Amended and Restated Declaration of Covenants, Conditions, Restrictions and Reservation of Easements for Plantation Lakes, recorded at the Office of the Recorder of Deeds, in and for Sussex County, in Deed Book 4585, Page 73, et seq., as the same may be amended from time to time.

The Grantor also hereby dedicates to the Grantee the utility infrastructure and related apparatuses, including but not limited to all sewer mains, water mains and fire hydrants, located within the public right-of-ways, as such right-of-ways are more particularly described in Exhibit A attached hereto, along with any monuments marking the public right-of-ways, traffic control signs and devices, and street name signs located within the public right-of-ways, as such right-of-ways are more particularly described in Exhibit A attached hereto.

The Grantor, its successors and assigns, retain ownership of all surface and underground drainage facilities located within the public right-of-ways hereby granted to the Grantee. The Grantor hereby reserves unto itself, its successors, and assigns the right to enter upon the public right-of-ways hereby conveyed to conduct such maintenance, construction and repair of the surface and underground drainage facilities located within the public right-of-ways as it may deem proper, necessary, or desirable, provided that such actions shall not unreasonably obstruct the public right-of-ways hereby conveyed to Grantee and Grantor, its successor or assigns, restores the right-of-ways to substantially the same condition that existed prior to Grantor, its successors, or assigns, undertaking the maintenance, construction and/or repair of the surface and underground drainage facilities located within the right-of-ways hereby conveyed.

AND the Grantor hereby covenants that it is lawfully seized and possessed of the property described in Exhibit A; that it has good and lawful right to convey the property or any part thereof, that the property is free from all encumbrances, and that the Grantor, its successors and assigns, does covenant and agree to warrant and defend title to the property granted herein to Grantee, its successors and assigns, against the claims and demands of all and every person whomsoever.

BEING a portion of those lots or parcels of real property located in the Town of Millsboro, Sussex County, Delaware, which were conveyed unto the Grantor by deed recorded among the records of the Office of the Recorder of Deeds, in and for Sussex County, State of Delaware in Deed Book 3049, Page 212, et seq.

[SIGNATURES ON FOLLOWING PAGES]

WITNESS the hands and seals of the Grantor and Grantee, the day and year first above written.

GRANTOR

LENCRAFT, LLC, a Maryland limited liability company

By: U.S. Home Corporation, a Delaware corporation
Managing Member

By: _____(SEAL)
Name: Brian M. Hayden
Title: Director of Field Operations

STATE OF _____ :
: ss.
COUNTY OF _____ :

BE IT REMEMBERED, that on this ____ day of _____, 2025, personally came before me, the Subscriber, a Notary Public for the State and County aforesaid, Brian M. Hayden, Director of Field Operations of U.S. Home Corporation, a Delaware corporation, Managing Member of LENCRAFT, LLC, a limited liability company of the State of Maryland, party to this Deed, known to me personally to be such, and acknowledged this Deed to be his act and deed, and the act and the deed of the said limited liability company, that the signature of the Managing Member is in his/her own proper handwriting; and that the act of signing, sealing, acknowledging and delivering the said Deed was first duly authorized by resolution of the members of the said limited liability company.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

NOTARY PUBLIC

Name Typewritten or Printed

My Commission Expires: _____

GRANTEE

ATTEST:

THE TOWN OF MILLSBORO, a municipal corporation of the State of Delaware

Mary J. D'Silva, Secretary

By: _____(SEAL)
Kimberley M. Kaan, Mayor

STATE OF DELAWARE :
: ss.
COUNTY OF SUSSEX :

BE IT REMEMBERED, that on this ____ day of _____, 2025, before me, the subscriber, a Notary Public in and for the State and County aforesaid, personally appeared Kimberley M. Kaan, the Mayor of the Town of Millsboro, a municipal corporation of the State of Delaware, and acknowledged the foregoing instrument to be the act of said municipal corporation; and at the same time, she made oath in due form of law that she is the Mayor of said municipal corporation and is duly authorized to make this acknowledgment on its behalf.

Given under my hand and seal, the day and year aforesaid.

NOTARY PUBLIC

Name Typewritten or Printed

My Commission Expires: _____

EXHIBIT A

Plantation Lakes – Section B & C – Right of Way of Olney Way

All that certain right of way situated in the Town of Millsboro, Dagsboro Hundred, Sussex County, Delaware, being depicted on a record plan entitled "Plantation Lakes, Record Plan – Section "B" & "C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Pages 18-24.

BEGINNING at the point on the westerly right-of way line of Olney Way, said point being at the beginning of the curve C14 as shown on sheet number RP-3 of a record plan entitled "Plantation Lakes, Record Plan Section B & C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Page 18 at Page 20,

THENCE binding on the right-of-way of Olney Way, the following six courses and distances, viz:

1. By a non-tangent curve to the right with a **radius of 780.00 feet and an arc length of 43.94 feet**, said curve being subtended by a chord bearing **South 19°33'05" East 43.94 feet**, to a point of tangency,
2. **South 17°56'15" East 498.29 feet**, to a point of curvature,
3. By a tangent curve to the left with a **radius of 670.00 feet and an arc length of 186.96 feet**, said curve being subtended by a chord bearing **South 25°55'54" East 186.36 feet**, to a point of tangency,
4. **South 33°55'33" East 300.69 feet**, to a point of curvature,
5. By a tangent curve to the right with a **radius of 330.00 feet and an arc length of 353.65 feet**, said curve being subtended by a chord bearing **South 03°13'28" East 336.97 feet**, to a point of tangency, and
6. **South 27°28'36" West 95.61 feet**, thence running through and across Olney Way,
7. **South 61°07'20" East 60.02 feet** to intersect the right of way of Olney Way, thence binding on the right of way of Olney Way, the following eight courses and distance, viz:
 8. **North 27°28'36" East 94.14 feet**, to a point of curvature,
 9. By a tangent curve to the left with a **radius of 270.00 feet and an arc length of 289.35 feet**, said curve being subtended by a chord bearing **North 03°13'28" West 275.70 feet**, to a point of tangency,
 10. **North 33°55'33" West 300.69 feet**, to a point of curvature,
 11. By a tangent curve to the right with a **radius of 730.00 feet and an arc length of 203.71 feet**, said curve being subtended by a chord bearing **North 25°55'54" West 203.05 feet**, to a point of tangency,

12. **North 17°56'15" West 498.29 feet**, to a point of curvature,
13. By a tangent curve to the left with a **radius of 720.00 feet and an arc length of 40.56 feet**, said curve being subtended by a chord bearing **North 19°33'05" West 40.56 feet**, and
14. **North 68°50'05" East 60.00 feet** to the place of beginning.

CONTAINING 2.001 acres of land, more or less.

BEING THE PART of Olney Way as shown on a record plan entitled "Plantation Lakes, Record Plan – Section "B" & "C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Pages 18-24, specifically page 20.



**AFFIDAVIT FOR REALTY TRANSFER TAX ON UNINCORPORATED
AREAS IN SUSSEX COUNTY PURSUANT TO CHAPTER 103 OF
THE SUSSEX COUNTY CODE**

NOTE: Affidavit is required on all transactions (incorporated or unincorporated areas)

Part A — To Be Completed By GRANTOR/SELLER

NAME Lencraft, LLC SOCIAL SECURITY # _____
 ADDRESS 7035 Albert Einstein Drive, Suite 200 or
 CITY Columbia EMPLOYER I.D. # _____
 STATE MD ZIP 21044

Part B — To Be Completed By GRANTEE/BUYER

NAME Town of Millsboro SOCIAL SECURITY # _____
 ADDRESS 322 Wilson Highway or
 CITY Millsboro EMPLOYER I.D. # _____
 STATE DE ZIP 19966

Part C — PROPERTY LOCATION

District 1-33 Map 16.00 Parcel 73.16

Part D — COMPUTATION OF THE TAX

1. CONVEYANCES WITH CONSIDERATION
 Enter Consideration Received \$ EXEMPT
2. CONVEYANCES WITHOUT CONSIDERATION
 Enter Highest Assessed Value For Local Tax Purposes \$ _____
3. Enter the Greater, Line 1 or Line 2 \$ _____
4. Multiply Line 3 times 1.50% — Tax Due and Payable \$ EXEMPT

EXEMPT CONVEYANCES: If transaction is exempt from Transfer tax, explain the basis for the exemption:

S.C. Code, §103-18A(13). Any conveyance to or from the United States or this state or to or from any of their instrumentalities, agencies or political subdivisions and the University of Delaware.

Town of Millsboro

First-Time Home Buyer? Yes No ... (If "Yes", attach First Time Home Buyer Affidavit)

Sworn and Subscribed before me on
 this _____ day of _____, 20 _____

 Seller's Signature

 Notary Public

OFFICE USE ONLY:



DELAWARE ^{F O R M}

DIVISION OF REVENUE **RTT-TAX**

REALTY TRANSFER TAX RETURN AND AFFIDAVIT OF GAIN AND VALUE

Formerly 5402



Form RTT-TAX must be completed for all conveyances and must be presented at the time of recording.

PART A - TO BE COMPLETED BY GRANTOR / SELLER(S)	
TAXPAYER ID NO. _____	
NAME OF GRANTOR Lencraft, LLC	
ADDRESS 7035 Albert Einstein Drive	
ADDRESS 2 Suite 200	
CITY Columbia	
STATE MD	ZIP 21044
THE GRANTOR / SELLER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input checked="" type="checkbox"/> LLC	

PART B - TO BE COMPLETED BY GRANTEE / BUYER(S)	
TAXPAYER ID NO. _____	
NAME OF GRANTEE Town of Millsboro	
ADDRESS 322 Wilson Highway	
ADDRESS 2 _____	
CITY Millsboro	
STATE DE	ZIP 19966
THE GRANTEE / BUYER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input checked="" type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTOR _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTOR / SELLER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTEE _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTEE / BUYER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTOR _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTOR / SELLER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTEE _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTEE / BUYER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTOR _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTOR / SELLER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	

TAXPAYER ID NO. _____	
NAME OF GRANTEE _____	
ADDRESS _____	
ADDRESS 2 _____	
CITY _____	
STATE _____	ZIP _____
THE GRANTEE / BUYER(S) IS A	
<input type="checkbox"/> Individual	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> Fiduciary (estate or trust)
<input type="checkbox"/> S Corporation	<input type="checkbox"/> Government Agency
<input type="checkbox"/> LLC	



DELAWARE F O R M

DIVISION OF REVENUE **RTT-TAX**

REALTY TRANSFER TAX RETURN AND AFFIDAVIT OF GAIN AND VALUE

Formerly 5402



PART C - PROPERTY LOCATION AND COMPUTATION OF THE TAX			
1. ADDRESS	Olney Way, Section B-C-1, Plantation Lakes (1-33-16.00-73.16 p/o		
CITY	Millsboro	STATE	DE ZIP 19966
COUNTY	Sussex	DATE OF REAL ESTATE CONVEYANCE	
If this is a transfer of an interest in real estate through a transfer of an ownership interest in an entity, check this box and enter the name and EIN of the entity here: <input type="checkbox"/> Name _____ EIN _____			
2.	Enter the amount of consideration received including cash, checks, mortgages, liens, encumbrances, and any other good and valuable consideration		\$ _____
Was like kind properly exchanged? Yes <input type="checkbox"/> No <input type="checkbox"/> (If Yes, see instructions.)			
3.	Enter the Highest assessed value (for local tax purposes) of the real estate being conveyed		\$ _____
4.	Enter the Greater of Line 2 or Line 3		\$ _____
5.	% rate of total Realty Transfer Tax due to the State, county, and/or municipality		4.0 %
6.	% rate of Realty Transfer Tax due to the county or municipality		%
7.	% rate reduction for contracts executed prior to 8/1/17 (see instructions)		%
8.	% rate of Realty Transfer due to the State of Delaware (Subtract Lines 6 and 7 from Line 5)		4.0000 %
9.	Delaware Realty Transfer Tax Before Credits. Multiply Line 4 by Line 8.		0.00
10.	% of responsibility by	Grantor / Seller(s) 50	Grantee / Buyer(s) 50
11.	Amount Due by (Multiply Line 10 by Line 9)	Grantor / Seller(s) \$ 0.00	Grantee / Buyer(s) \$ 0.00
12.	Exclusions and Credits	Grantor / Seller(s) \$	Grantee / Buyer(s) \$
13.	Total Amount Due by (Subtract Line 12 from Line 11)	Grantor / Seller(s) \$ 0.00	Grantee / Buyer(s) \$ 0.00
TOTAL PAYMENT			\$ _____

PART D - EXEMPT CONVEYANCES

If transaction is exempt from realty transfer tax, please complete the information in Part C that is available (including consideration paid, if any), and explain the basis for the exemption below:

EXEMPT - 30 Del. C. §5401(m) - Any conveyance to or from the United States or this State, or to or from any of their instrumentalities, agencies or political subdivisions and the University of Delaware and Delaware State University;
TOWN OF MILLSBORO

The seller authorizes the Division of Revenue or such other appropriate state agency as may be designated to obtain any appropriate or necessary federal income tax forms, including the Seller(s) attached schedules or other attachments, and any other related papers filed by such seller which relate solely to the said real estate to which title is purported to be conveyed by the deed or instrument being recorded. Delaware law requires an income tax return to be filed for the taxable year during which there was disposition of real property within this state.

SELLER SIGNATURE	SELLER SIGNATURE	SELLER SIGNATURE	SELLER SIGNATURE
TITLE OF OFFICER / PARTNER	TITLE OF OFFICER / PARTNER	TITLE OF OFFICER / PARTNER	TITLE OF OFFICER / PARTNER

Sworn to and subscribed before me on _____, 20_____

NOTARY SIGNATURE



DELAWARE FORM DIVISION OF REVENUE REW-EST



REAL ESTATE TAX RETURN DECLARATION OF ESTIMATED INCOME TAX Formerly 5403

Form REW-EST must be completed for all conveyances, and must be presented at the time of recording.

PART 1	DESCRIPTION OF THE PROPERTY	ADDRESS OF THE PROPERTY	
	OLNEY WAY IN SECTION B-C-1 OF PLANTATION LAKES	ADDRESS	
		ADDRESS 2	
		CITY	MILLSBORO
		STATE	DE ZIP CODE 19966

TAX PARCEL NO. **1-33-16.00-73.16** NEW CASTLE KENT SUSSEX DATE OF TRANSFER

PART 2 TRANSFEROR/SELLER IS:

<input type="checkbox"/> Individual or Revocable Living Trust	<input type="checkbox"/> Partnership
<input type="checkbox"/> Corporation	<input type="checkbox"/> S Corporation
<input type="checkbox"/> Trust or Estate	<input checked="" type="checkbox"/> Limited Liability Company
<input type="checkbox"/> Business Trust	<input type="checkbox"/> Other:

PART 3 TRANSFEROR OR SELLER ACQUIRED PROPERTY BY:

<input checked="" type="checkbox"/> Purchase	<input type="checkbox"/> Foreclosure / Repossession
<input type="checkbox"/> Gift	<input type="checkbox"/> Other
<input type="checkbox"/> Inheritance	
<input type="checkbox"/> 1031 Exchange	

PART 4 TRANSFEROR/SELLER'S NAME; SSN OR EIN; AND ADDRESS TO WHICH CORRESPONDENCE IS TO BE MAILED AFTER SETTLEMENT

FIRST NAME	LENCRAFT, LLC	ADDRESS	7035 ALBERT EINSTEIN DRIVE
LAST NAME		ADDRESS 2	SUITE 200
TAXPAYER ID		CITY	COLUMBIA
		STATE	MD ZIP CODE 21044

Enter only one name and SSN or EIN per return. If more than one transferor/seller, use separate forms for each; however, if transferors/sellers are spouses, enter only the primary taxpayer name and SSN, and only file one return. If transferor/seller is a pass-through entity, list EIN of the pass-through entity and attach a schedule listing each non-resident member or stockholder and their share of the tax being paid with the return.

PART 5 IF APPLICABLE, CHECK APPROPRIATE BOX. (Check no more than one box.)

Transferor/seller is a resident (a) individual, (b) pass-through entity or (c) corporation, and not subject to withholding under 30 Del. C §§ 1126, 1606 or 1909;

Sale or exchange exempt from gain realization;

Gain realized excluded from income for tax year of sale or exchange;

Sale exempt due to foreclosure. (See Instructions)

If any box in Part 5 is checked, DO NOT complete Parts 6, 7 and 8 below. No payment is due at this time.

PART 6 COMPUTATION OF PAYMENT AND TAX TO BE WITHHELD (See instructions.)

6a	TOTAL SALES PRICE	\$.00
6b	LESS SELLING EXPENSES/REDUCTIONS TO SALE PRICE	\$.00
6c	NET SALES PRICE (Subtract Line 6b from Line 6a)	\$	0.00
6d	ADJUSTED BASIS OF PROPERTY OR LIENS PAID AT SETTLEMENT	\$.00
6e	TOTAL GAIN (Subtract line 6d from line 6c)	\$	0.00
6f	DELAWARE ESTIMATED INCOME TAX DUE - Multiply line 6e by 8.7% for C corp., and by 6.6% for all others	\$	0.00

NOTE: If Part 6 is not filled out or is incomplete, the required 6.6% or 8.7% will be withheld from the net proceeds at settlement and submitted to the Division of Revenue as required by law.

PART 7 Check this box if the transferor/seller is reporting gain under the installment method. No tax is payable at this time.

NOTE: If completing this section, when you recognize any gain arising from the sale of property in the State of Delaware, you must report and remit the tax due to the State of Delaware on that transaction.

PART 8 8 DELAWARE ESTIMATED INCOME TAX PAID (See instructions) \$.00

Under penalty of perjury, I declare that I have examined this return and to the best of my knowledge and belief, it is true, correct and complete. If prepared by a person other than the transferor/seller, the declaration is based on all information of which the preparer has any knowledge. Transferor/Seller, please sign and print full name and title (if any):

AUTHORIZED SIGNATURE _____ PRINT NAME _____ DATE _____ TITLE _____

DFREWEST2021019999V1
Revision 20211014

MAIL COMPLETED FORM TO:
Delaware Division of Revenue
820 N. French Street
PO Box 8763
Wilmington, DE 19899-8763

Tax Map & Parcel Nos.: 1-33-16.00-73.16 p/o

PREPARED BY/RETURN TO:

David C. Hutt, Esquire
Morris James LLP
107 W. Market Street
Georgetown, DE 19947

**BILL OF SALE FOR
WATER TRANSMISSION AND DISTRIBUTION SYSTEM,
SEWER TRANSMISSION SYSTEM**

KNOW ALL MEN BY THESE PRESENTS, that **Lencraft, LLC**, a Maryland limited liability company, party of the first part (hereinafter referred to as "**Lencraft**") for and in consideration of the sum of One Dollar (\$1.00) lawful money of the United States of America, to it in hand paid, and for other good and valuable consideration given by the **Town of Millsboro**, a municipal corporation of the State of Delaware, party of the second part (hereinafter referred to as the "**Town**"), at or before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, transferred, delivered and assigned and by these presents does confirm that, as part of Lencraft's dedication of certain roads to the Town, Lencraft grants, bargains, sells, transfers, delivers and assigns unto the Town, all of its right, title and interest in and to: (1) all sanitary sewer mains and appurtenances, except that no service lines installed from such sewer mains to any dwelling units shall be so transferred; and (2) all water mains, lines and fire hydrants, except that no service lines leading from the curb boxes to the various individual dwellings or other buildings located on the property shall be so transferred located on, in or under the certain streets, roads and ways dedicated to the Town, which are identified as part of Olney Way in Section B & C of the Plantation Lakes subdivision all of which are more particularly described in Exhibit A and Exhibit B attached hereto and incorporated herein by reference.

TO HAVE AND TO HOLD the same unto the Town, its successors and assigns, for its own proper use and behoof forever.

AND the undersigned does vouch itself to have full power, good right and lawful authority to dispose of the said property in the manner as aforesaid, and it does, for its successors and assigns, covenant and agree to and with the Town to Warrant and Defend the said property to the Town, its successors and assigns, against the lawful claims and demands of all and every person whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be duly executed, this _____ day of _____, A.D. 2025.

LENCRAFT, LLC,
a Maryland limited liability company

By: U.S. Home Corporation, a Delaware corporation, Managing Member

By: _____(SEAL)
Name: Brian M. Hayden
Title: Director of Field Operations

STATE OF _____ :
: ss.
COUNTY OF _____ :

BE IT REMEMBERED, that on this _____ day of _____, 2025, personally came before me, the Subscriber, a Notary Public for the State and County aforesaid, Brian M. Hayden, the Director of Field Operations of U.S. Home Corporation, Managing Member of LENCRAFT, LLC, party to this Instrument, known to me personally to be such, and acknowledged this Instrument to be the act and the deed of the said limited liability company.

GIVEN under my Hand and Seal of Office the day and year aforesaid.

NOTARY PUBLIC

Name Typewritten or Printed

My Commission Expires: _____

CERTIFICATION OF ACKNOWLEDGMENT AND ACCEPTANCE
TOWN OF MILLSBORO

The undersigned hereby certifies that the within Bill of Sale is hereby accepted by The Town of Millsboro, this _____ day of _____, A.D. 2025.

TOWN OF MILLSBORO

By: _____
Kimberley M. Kaan, Mayor

Attest: _____
Mary J. D'Silva, Secretary

EXHIBIT A

Those certain streets, roadways, circles, courts, cul-de-sacs, and rights-of-way, identified as follows:

- (1) Olney Way, as identified on a Plat entitled "Plantation Lakes, Record Plan – Section "B" & "C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Pages 18-24, as a 60-foot right-of-way.

The Plat referenced herein is incorporated herein by reference and reference to the Plat is hereby made for more particular description, by metes, bounds, courses and distances of the rights-of-way hereby dedicated to and accepted by Grantee.

EXHIBIT B

Plantation Lakes – Section B & C – Right of Way of Olney Way

All that certain right of way situated in the Town of Millsboro, Dagsboro Hundred, Sussex County, Delaware, being depicted on a record plan entitled "Plantation Lakes, Record Plan – Section "B" & "C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Pages 18-24.

BEGINNING at the point on the westerly right-of way line of Olney Way, said point being at the beginning of the curve C14 as shown on sheet number RP-3 of a record plan entitled "Plantation Lakes, Record Plan Section B & C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Page 18 at Page 20,

THENCE binding on the right-of-way of Olney Way, the following six courses and distances, viz:

1. By a non-tangent curve to the right with a **radius of 780.00 feet and an arc length of 43.94 feet**, said curve being subtended by a chord bearing **South 19°33'05" East 43.94 feet**, to a point of tangency,
2. **South 17°56'15" East 498.29 feet**, to a point of curvature,
3. By a tangent curve to the left with a **radius of 670.00 feet and an arc length of 186.96 feet**, said curve being subtended by a chord bearing **South 25°55'54" East 186.36 feet**, to a point of tangency,
4. **South 33°55'33" East 300.69 feet**, to a point of curvature,
5. By a tangent curve to the right with a **radius of 330.00 feet and an arc length of 353.65 feet**, said curve being subtended by a chord bearing **South 03°13'28" East 336.97 feet**, to a point of tangency, and
6. **South 27°28'36" West 95.61 feet**, thence running through and across Olney Way,
7. **South 61°07'20" East 60.02 feet** to intersect the right of way of Olney Way, thence binding on the right of way of Olney Way, the following eight courses and distance, viz:
 8. **North 27°28'36" East 94.14 feet**, to a point of curvature,
 9. By a tangent curve to the left with a **radius of 270.00 feet and an arc length of 289.35 feet**, said curve being subtended by a chord bearing **North 03°13'28" West 275.70 feet**, to a point of tangency,
 10. **North 33°55'33" West 300.69 feet**, to a point of curvature,
 11. By a tangent curve to the right with a **radius of 730.00 feet and an arc length of 203.71 feet**, said curve being subtended by a chord bearing **North 25°55'54" West 203.05 feet**, to a point of tangency,

12. **North 17°56'15" West 498.29 feet**, to a point of curvature,
13. By a tangent curve to the left with a **radius of 720.00 feet and an arc length of 40.56 feet**, said curve being subtended by a chord bearing **North 19°33'05" West 40.56 feet**, and
14. **North 68°50'05" East 60.00 feet** to the place of beginning.

CONTAINING 2.001 acres of land, more or less.

BEING THE PART of Olney Way as shown on a record plan entitled "Plantation Lakes, Record Plan – Section "B" & "C," dated August 21, 2020 and recorded January 25, 2021 in the Office of the Recorder of Deeds in and for Sussex County, in Plot Book 331, Pages 18-24, specifically page 20.

MORRIS & RITCHIE ASSOCIATES, INC.

ENGINEERS, ARCHITECTS, PLANNERS, SURVEYORS,
AND LANDSCAPE ARCHITECTS



November 26, 2024

Mr. Jamie Burk, Town Manager
The Town of Millsboro
322 Wilson Highway
Millsboro, DE 19966

RE: Plantation Lakes
Section B & C, Right of Way Dedication
Town Project No. CB.02015.11
MRA #19529

Dear Mr. Burk:

This letter is pursuant to the Vedantas letter dated November 15, 2024, regarding their review of the Plantation Lakes Sections B & C (Phase 1) As-built Plans

Each comment in the Verdantas letter is shown in *italicized text* followed by our written responses.

General Comments:

1. *The deed indicates curve C14 on "Plantation Lakes Third Amendment – Section A – Record Plan" as the beginning point of the right of way dedication. It appears that the beginning point is curve C14 on "Plantation Lakes, Record Plan Section B & C" recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware in Plot Book 331 Pages 18-24, review and revise reference as necessary.*

Response: The plat reference has been amended.

2. *The ninth course and distance stating "North 27°28'36" East 207.09 feet, to a point of curvature" appears to be part of the right of way for Section A and is not included in this right of way dedication. Verify if this should be included in the dedication and revise as necessary.*

Response: The description has been amended to address the issue.

8 West Market Street, Georgetown, DE 19947

(302) 855-5734

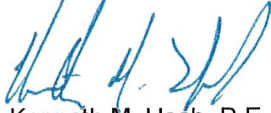
www.mragta.com

Abingdon, MD ♦ Baltimore, MD ♦ Laurel, MD ♦ Towson, MD ♦ Georgetown, DE ♦ New Castle, DE ♦ Purcellville, VA ♦ Raleigh, NC ♦ Orlando, FL
(410) 515-9000 (443) 490-7201 (410) 792-9792 (410) 821-1690 (302) 855-5734 (302) 326-2200 (703) 994-4047 (984) 200-2103 (407) 317-6288

Mr. Jamie Burk, The Town of Millsboro
Plantation Lakes Plan Review – Sections B & C Right of Way Dedication
November 26, 2024
MRA #19529
Page 2 of 2

We attached a PDF copy of the record drawings with this letter for your files. If you have any questions or require additional information, please do not hesitate to contact me at (302) 855-5734, or via email at kusab@mragta.com.

Respectfully Submitted,
MORRIS & RITCHIE ASSOCIATES, INC.



Kenneth M. Usab, P.E.
Principal

KMU/amf

Enclosures

CC: David Steele, Lennar
David Hutt, Esq., Morris James
Greg Freimuth, Verdantas

November 15, 2024

Via Electronic Mail
Mr. Jamie Burk
Town of Millsboro
322 Wilson Highway
Millsboro, DE 19966

**RE: Plantation Lakes – Section B & C
Right of Way Dedication
Project No. CB.2015.11**

Dear Mr. Burk:

Verdantas LLC (Verdantas) has reviewed the following documents for the Plantation Lakes Section B & C Right of Way Dedication Deed prepared by Morris & Ritchie Associates, Inc. (MRA), for the above referenced project:

Documents

Plantation Lakes – Section B and C – Right of Way of Olney Way
Plantation Lakes – Section B and C – Exhibit for Olney Way

The documents were received by Verdantas on November 8, 2024.

We offer the following comments to the Section B & C Right of Way Dedication Deed:

General Comments:

1. The deed indicates curve C14 on “Plantation Lakes Third Amendment – Section A – Record Plan” as the beginning point of the right of way dedication. It appears that the beginning point is curve C14 on “Plantation Lakes, Record Plan Section B & C” recorded in the Office of the Recorder of Deeds in and for Sussex County, Delaware in Plot Book 331 Pages 18-24, review and revise reference as necessary.
2. The ninth course and distance stating “North 27°28’36” East 207.09 feet, to a point of curvature” appears to be part of the right of way for Section A and is not included in this right of way dedication. Verify if this should be included in the dedication and revise as necessary.

Verdantas recommends that the developer revise and resubmit the “Plantation Lakes Section B & C Right of Way Dedication Deed” for review. While we attempt to provide as complete of a review as possible with each submission, we reserve the right to make additional comments as part of the review process for subsequent plan submittals. Please feel free to reach out with any questions or concerns.

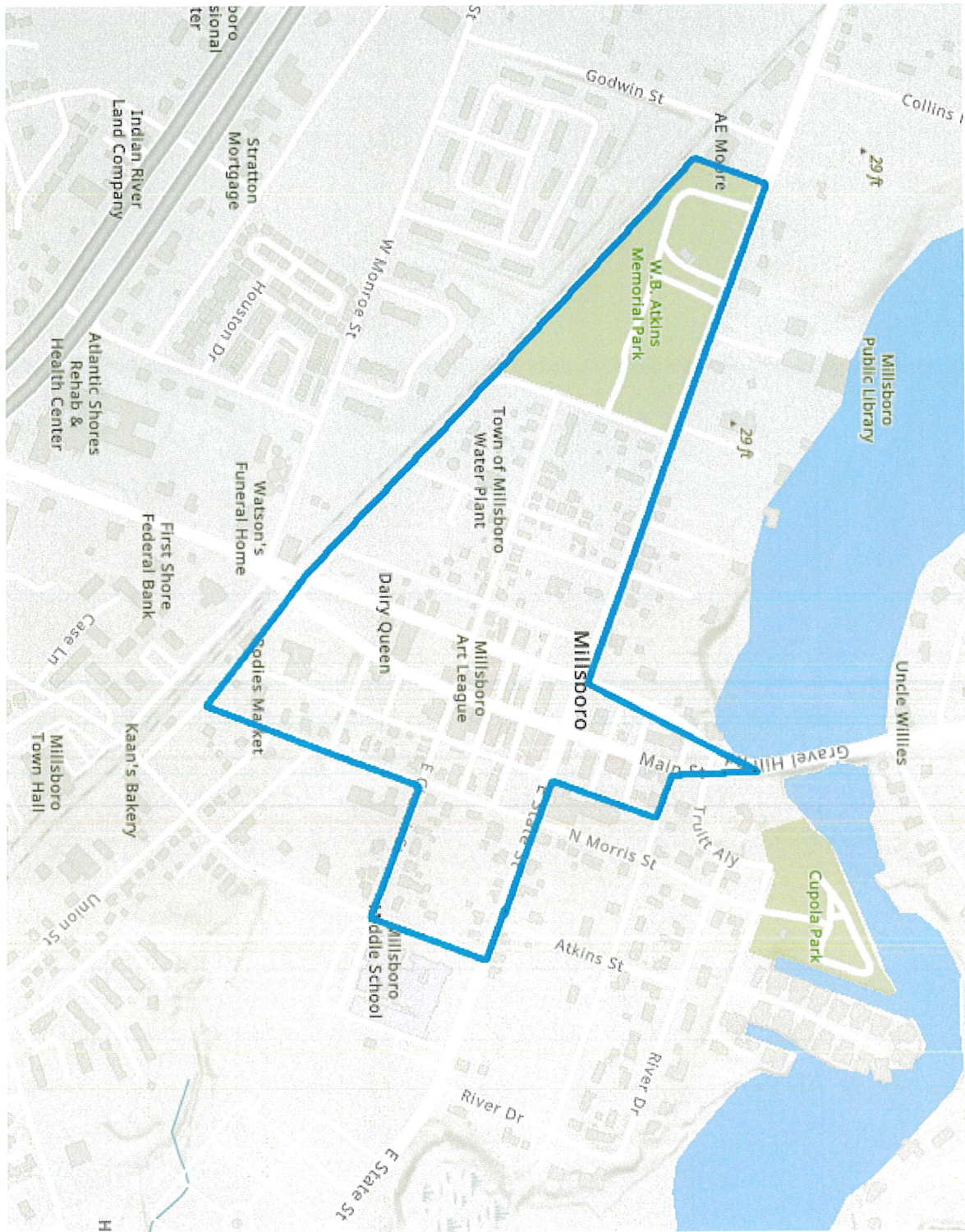
Sincerely,
VERDANTAS LLC



Gregory A. Freimuth
Project Manager



Carly A. Peck, E.I.T.
Staff Engineer



3rd Supplemental Billing (50%)
Assessment Changes October - December

Acct Map	Owner	Address	Reason	Pr Land	Pr Imp	Total PR	New Land	New Imp	Total New	Land chg	Imp Chg	Total Chg	Supplemental Tax (50%)
5075 133-16.00-1587.0-0948	DISANTO, CHARLES P & ANDREA L	36095 ALBURN WAY	B-11674 PRIVACY FENCE	\$65,000	\$125,900	\$190,900	\$65,000	\$126,900	\$191,900	\$0	\$1,000	\$1,000	\$ 1,95
6631 133-17.00-7.00	INTERVET, INC	393 STATE ST	ANNEX/NEW PARCEL	\$0	\$0	\$0	\$11,500	\$0	\$11,500	\$11,500	\$0	\$11,500	\$ 22.43
6632 133-17.00-8.00	INTERVET, INC	395 STATE ST	ANNEX/NEW PARCEL	\$0	\$0	\$0	\$43,000	\$0	\$43,000	\$43,000	\$0	\$43,000	\$ 83.85
6633 133-16.00-2421.0-0912	LENCRAFT, LLC	33026 DAYTON LN	NEW PARCEL	\$0	\$0	\$0	\$65,000	\$0	\$65,000	\$65,000	\$0	\$65,000	\$ 126.75
6634 133-16.00-2426.0-0904	LENCRAFT, LLC	DAVTONA LN	NEW PARCEL	\$0	\$0	\$0	\$65,000	\$0	\$65,000	\$65,000	\$0	\$65,000	\$ 126.75
5860 133-16.00-2370.0-1605	LENCRAFT, LLC	34216 GRAHAM CIR	B-11058 NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$210,000	\$275,000	\$0	\$210,000	\$210,000	\$ 409.50
5832 133-16.00-2356.0-1591	LENCRAFT, LLC	24255 CHARLESTON LN	B-11167 NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$219,700	\$284,700	\$0	\$219,700	\$219,700	\$ 428.42
5856 133-16.00-2372.0-1607	LENCRAFT, LLC	34212 GRAHAM CIR	B-11164 NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$220,300	\$285,300	\$0	\$220,300	\$220,300	\$ 429.59
5858 133-16.00-2371.0-1606	LENCRAFT, LLC	34214 GRAHAM CIR	B-11119 NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$220,600	\$285,600	\$0	\$220,600	\$220,600	\$ 430.17
5834 133-16.00-2357.0-1592	LENCRAFT, LLC	24257 CHARLESTON LN	B-11110 NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$225,400	\$290,400	\$0	\$225,400	\$225,400	\$ 439.53
5905 133-16.00-2301.0-1536	LENCRAFT, LLC	34275 GRAHAM CIR	B-11505 PORCH/NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$271,500	\$336,500	\$0	\$271,500	\$271,500	\$ 529.43
5903 133-16.00-2300.0-1535	LENCRAFT, LLC	34273 GRAHAM CIR	B-11162 NEW DWELLING/B-11392 PORCH	\$65,000	\$0	\$65,000	\$65,000	\$290,000	\$355,000	\$0	\$290,000	\$290,000	\$ 565.50
5918 133-16.00-2307.0-1542	LENCRAFT, LLC	34289 GRAHAM CIR	B-11535 PORCH/NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$293,400	\$358,400	\$0	\$293,400	\$293,400	\$ 572.13
5892 133-16.00-2295.0-1530	LENCRAFT, LLC	34261 GRAHAM CIR	B-11160 NEW DWELLING/B-11393 PORCH	\$65,000	\$0	\$65,000	\$65,000	\$295,500	\$360,500	\$0	\$295,500	\$295,500	\$ 576.23
5882 133-16.00-2287.0-1522	LENCRAFT, LLC	34243 GRAHAM CIR	B-11596 PORCH/NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$310,400	\$375,400	\$0	\$310,400	\$310,400	\$ 605.28
5865 133-16.00-2278.0-1513	LENCRAFT, LLC	34221 GRAHAM CIR	B-11654 PORCH/NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$314,200	\$379,200	\$0	\$314,200	\$314,200	\$ 612.69
5923 133-16.00-2312.0-1547	LENCRAFT, LLC	34299 GRAHAM CIR	B-11135 NEW DWELLING/B-11318 PORCH	\$65,000	\$0	\$65,000	\$65,000	\$321,900	\$386,900	\$0	\$321,900	\$321,900	\$ 627.71
5867 133-16.00-2279.0-1514	LENCRAFT, LLC	34223 GRAHAM CIR	B-11284 NEW DWELLING/B-11595 PORCH	\$65,000	\$0	\$65,000	\$65,000	\$339,200	\$404,200	\$0	\$339,200	\$339,200	\$ 661.44
5899 133-16.00-2298.0-1533	LENCRAFT, LLC	34269 GRAHAM CIR	B-11161 NEW DWELLING/B-11504 PORCH	\$65,000	\$0	\$65,000	\$65,000	\$341,200	\$406,200	\$0	\$341,200	\$341,200	\$ 665.34
5886 133-16.00-2291.0-1526	LENCRAFT, LLC	34251 GRAHAM CIR	B-11555 PORCH/NEW DWELLING	\$65,000	\$0	\$65,000	\$65,000	\$381,900	\$446,900	\$0	\$381,900	\$381,900	\$ 744.71
TOTALS:				1,040,000	125,900	\$1,165,900	1,224,500	4,382,100	\$5,606,600	184,500	4,256,200	\$4,440,700	\$ 8,657.45
												\$ 8,659.40	

Permit #	Owner Name	Property Address	Work Description	Zoning	Cust #	Tax #	Work Cost	Permit Fee
B-012010	KENNETH JOHN MIHOK	20031 BLUFF POINT DR	14x15 SCREEN IN PORCH ON EXISTING DECK	RPC	06948	03710	\$11,000.00	\$110.00
B-012027	LENCRAFT, LLC	33026 DAYTONA LN	THE DORCHESTER	RPC	03082	06633	\$690,641.16	\$4,446.00
B-012054	BRIAN DEMBECK	24248 CHARLESTON LN	4X7 TRASH ENCLOSURE	RPC	11661	05930	\$987.00	\$60.00
B-012050	SOUTH SIDE WEST, LLC	147 BOBBY'S BRANCH RD	12x16 CONCRETE PATIO	RPC	11053	03506	\$3,000.00	\$188.00
B-012051	SPIRIT REALTY	26676 CENTERVIEW DR	UPGRADE PROPANE DISPENSING STATION	HC	09751	03397	\$144,486.00	\$845.00
B-012031	LENCRAFT, LLC	24782 GLENDALE LN	THE MADISON	RPC	03082	06085	\$456,332.17	\$2,545.00
B-012053	MATTHEW MILLER	34216 GRAHAM CIR	480sf CONCRETE PATIO, 4' BLACK ALUMINUM FENCE w/1 GATE	RPC	10019	05860	\$14,060.86	\$118.00
B-012058	JONATHAN BRUCH	27934 HOME FARM DR	4' WHITE VINYL FENCE w/1 GATE	RPC	09670	03370	\$4,200.00	\$98.00
B-012052	ROBERT D BABCOCK, JR	24841 MAGNOLIA CIR	REMOVE/REPLACE ROOF SHINGLES	RPC	09740	02767	\$11,790.00	\$112.00
B-012069	ELIZABETH RUNNE	35157 WRIGHT WAY	6' WHITE VINYL PRIVACY FENCE w/1 GATE	RPC	12117	05306	\$3,595.00	\$96.00
B-012071	GAIL PANKEY	35346 WRIGHT WAY	3x55 PAVR WALKWAY	RPC	11128	05431	\$4,450.00	\$98.00
B-012061	JAY K SHINE	204 N. MORRIS ST	REMOVE/REPLACE ROOF SHINGLES	MR	00223	00300	\$10,550.00	\$110.00
B-012029	LENCRAFT, LLC	24778 GLENDALE LN	THE LAGUNA	RPC	03082	06083	\$399,989.68	\$2,260.00
B-012025	GABRIELLE ANTLITZ	33422 HICKORY ST	420sf PAVR PATIO	RPC	05566	05566	\$11,276.50	\$112.00
B-012026	LENCRAFT, LLC	33006 DAYTONA LN	THE CANTON	RPC	03082	06634	\$479,305.88	\$2,660.00
B-012013	SANDRA J KRAMER	27945 HOME FARM DR	142x3 CONC SIDEWALK, 6x8'7" CONC PAD, REM/REPL FRONT STOOP/STEPS	RPC	07435	03360	\$10,895.00	\$110.00
B-012057	LLOYD MARKIND	37138 HAVELOCK CT	4' BLACK ALUMINUM FENCE w/2 GATES, 4x6 TRASH ENCLOSURE	RPC	11900	05787	\$4,000.00	\$96.00
B-012028	LENCRAFT, LLC	24776 GLENDALE LN	THE MADISON	RPC	03082	06082	\$456,332.27	\$2,545.00
B-012030	LENCRAFT, LLC	24780 GLENDALE LN	THE JENNINGS	RPC	03082	06084	\$485,667.19	\$2,690.00
B-011965	LENCRAFT, LLC	29338 OXFORD DR	GARAGE CONVERSION TO SALES OFFICE	RPC	03082	06161	\$20,000.00	\$128.00
B-012059	JOHN CONAWAY	36073 ALBURN WAY	12x16 DECK	RPC	09214	05065	\$8,064.00	\$106.00
B-012036	LENCRAFT, LLC	29305 OXFORD DR	THE JENNINGS	RPC	03082	06142	\$477,401.76	\$2,650.00
B-012067	DONALD SHEPARD	25099 ASPEN CIR	SCREEN IN EXISTING PORCH	RPC	12063	05639	\$4,480.00	\$98.00
B-012008	JONATHAN TORRES	21 HUNTER'S POINTE	REMOVE/REPAIR EXISTING DECK	HR	10454	00188	\$30,000.00	\$148.00
B-011963	LENCRAFT, LLC	24626 BRAMBLE DR	GARAGE CONVERSION TO SALES OFFICE	RPC	03082	05969	\$20,000.00	\$128.00
B-012033	LENCRAFT, LLC	29295 OXFORD DR	THE LAGUNA	RPC	03082	06138	\$401,572.42	\$2,270.00
B-012034	LENCRAFT, LLC	29299 OXFORD DR	THE JENNINGS	RPC	03082	06140	\$477,401.76	\$2,650.00
B-012035	LENCRAFT, LLC	29301 OXFORD DR	THE MADISON	RPC	03082	06141	\$456,332.27	\$2,545.00
B-012066	LAVERNE MCKEE	8 MARIE CT	REMOVE/REPLACE EXISTING 8x10 DECK w/STAIRS	MH	06012	00807	\$4,000.00	\$96.00
B-011964	LENCRAFT, LLC	24624 BRAMBLE DR	GARAGE CONVERSION TO SALES OFFICE	RPC	03082	05967	\$20,000.00	\$128.00
B-012039	LENCRAFT, LLC	29749 SHELLPOINT RD	THE LAGUNA	RPC	03082	06269	\$401,572.42	\$2,270.00
B-012043	LENCRAFT, LLC	29741 SHELLPOINT RD	THE MADISON	RPC	03082	06265	\$452,639.21	\$2,525.00
B-012040	LENCRAFT, LLC	29747 SHELLPOINT RD	THE JENNINGS	RPC	03082	06268	\$477,401.76	\$2,650.00
B-012037	LENCRAFT, LLC	29307 OXFORD DR	THE LAGUNA	RPC	03082	06143	\$401,572.42	\$2,270.00
B-012038	LENCRAFT, LLC	29311 OXFORD DR	THE LAGUNA	RPC	03082	06146	\$401,572.42	\$2,270.00
B-012044	LENCRAFT, LLC	29739 SHELLPOINT RD	THE JENNINGS	RPC	03082	06264	\$477,401.76	\$2,650.00
B-012046	LENCRAFT, LLC	24737 RIDGEVILLE WAY	THE JENNINGS	RPC	03082	06262	\$483,908.58	\$2,680.00

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Town of Millsboro
Building Permits
December, 2024

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B-012069	ELIZABETH RUINNE	35157 WRIGHT WAY	6' WHITE VINYL PRIVACY FENCE w/1 GATE	RPC	12117	05306	\$3,595.00	\$96.00
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B-012028	LENCRAFT, LLC	24776 GLENDALE LN	THE MADISON	RPC	03082	06082	\$456,332.27	\$2,545.00
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B-011963	LENCRAFT, LLC	24626 BRAMBLE DR	GARAGE CONVERSION TO SALES OFFICE	RPC	03082	05969	\$20,000.00	\$128.00
B-012033	LENCRAFT, LLC	29295 OXFORD DR	THE LAGUNA	RPC	03082	06138	\$401,572.42	\$2,270.00
B-012034	LENCRAFT, LLC	29299 OXFORD DR	THE JENNINGS	RPC	03082	06140	\$477,401.76	\$2,650.00
B-012035	LENCRAFT, LLC	29301 OXFORD DR	THE MADISON	RPC	03082	06141	\$456,332.27	\$2,545.00
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B-011964	LENCRAFT, LLC	24624 BRAMBLE DR	GARAGE CONVERSION TO SALES OFFICE	RPC	03082	05967	\$20,000.00	\$128.00
B-012039	LENCRAFT, LLC	29749 SHELLPOINT RD	THE LAGUNA	RPC	03082	06269	\$401,572.42	\$2,270.00
B-012043	LENCRAFT, LLC	29741 SHELLPOINT RD	THE MADISON	RPC	03082	06265	\$452,639.21	\$2,525.00
B-012040	LENCRAFT, LLC	29747 SHELLPOINT RD	THE JENNINGS	RPC	03082	06268	\$477,401.76	\$2,650.00
B-012037	LENCRAFT, LLC	29307 OXFORD DR	THE LAGUNA	RPC	03082	06143	\$401,572.42	\$2,270.00
B-012038	LENCRAFT, LLC	29311 OXFORD DR	THE LAGUNA	RPC	03082	06146	\$401,572.42	\$2,270.00
B-012044	LENCRAFT, LLC	29739 SHELLPOINT RD	THE JENNINGS	RPC	03082	06264	\$477,401.76	\$2,650.00
B-012046	LENCRAFT, LLC	24737 RIDGEVILLE WAY	THE JENNINGS	RPC	03082	06262	\$483,908.58	\$2,680.00

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Town of Millsboro
 Building Permits
 December, 2024

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B-012047	LENCRAFT, LLC	24735 RIDGEVILLE WAY	THE LAGUNA	RPC	03082	06261	\$399,989.68	\$2,260.00
B-012073	LENCRAFT, LLC	29277 OXFORD DR	THE LAGUNA	RPC	03082	06127	\$401,572.42	\$2,270.00
B-012048	LENCRAFT, LLC	24733 RIDGEVILLE WAY	THE LAGUNA	RPC	03082	06260	\$401,572.42	\$2,270.00
B-012049	LENCRAFT, LLC	24731 RIDGEVILLE WAY	THE JENNINGS	RPC	03082	06264	\$477,401.76	\$2,650.00
B-012088	RAYMOND G CRAMER, SR	29385 PEMBROKE LNDG	10x1 AND 10x2 DRIVEWAY EXTENSION	RPC	07897	04517	\$3,542.00	\$96.00
B-012045	LENCRAFT, LLC	29737 SHELLPOINT RD	THE LAGUNA	RPC	03082	06263	\$399,989.68	\$2,260.00
B-012032	STEPHEN FENDT	31318 BURKE CT	12x15 2ND FLOOR DECK, 12x15 STAMPED CONCRETE PATIO	RPC	11633	05805	\$20,800.00	\$130.00
B-012075	LENCRAFT, LLC	29281 OXFORD DR	THE LAGUNA	RPC	03082	06130	\$401,572.42	\$2,270.00
B-012076	LENCRAFT, LLC	29285 OXFORD DR	THE MADISON	RPC	03082	06132	\$456,332.27	\$2,545.00
B-012077	LENCRAFT, LLC	29287 OXFORD DR	THE JENNINGS	RPC	03082	06134	\$477,401.76	\$2,650.00
B-012078	LENCRAFT, LLC	29291 OXFORD DR	THE LAGUNA	RPC	03082	06130	\$399,989.68	\$2,260.00
B-012079	CALEB MILLSBORO	25100 ASPEN CIR	THE GRAND CAYMAN	RPC	08514	03865	\$464,337.56	\$2,585.00
B-012074	LENCRAFT, LLC	29279 OXFORD DR	THE JENNINGS	RPC	03082	06128	\$485,667.18	\$2,690.00
B-011879	PHILLIP JONES	363 WINDFLOWER DR	ADD 10x16 DECK TO EXISTING SCREEN PORCH	RPC	10952	04969	\$3,950.00	\$96.00
B-012068	LINDA WELLE	28 HUNTER'S POINTE	REMOVE SLIDING DOOR AND INSTALL NEW WINDOW W/KNEE WALL	HR	06215	00170	\$3,600.00	\$96.00
B-012070	ROBERT MILLER	25008 ASPEN CIR	20x10 DECK, 4x6 TRASH ENCLOSURE	RPC	11756	03901	\$5,500.00	\$100.00
B-012097	LENCRAFT, LLC	24722 RIDGEVILLE WAY	THE GUILFORD	RPC	03082	06257	\$333,950.58	\$1,930.00
B-012080	LENCRAFT HOMES	24620 BRAMBLE DR	THE GUILFORD	RPC	12108	05964	\$333,950.58	\$1,930.00
B-012098	LENCRAFT, LLC	24723 RIDGEVILLE WAY	THE GUILFORD	RPC	03082	06258	\$333,950.58	\$1,930.00
B-012096	LENCRAFT, LLC	24759 GLENDALE LN	THE DOVER	RPC	03082	06073	\$645,672.12	\$4,176.00
B-012084	LENCRAFT HOMES	29358 OXFORD	THE ELMWOOD	RPC	12108	06167	\$422,882.40	\$2,375.00
B-012081	LENCRAFT HOMES	29352 OXFORD DR	THE ELMWOOD	RPC	12108	06164	\$422,882.40	\$2,375.00
B-012042	LENCRAFT, LLC	29743 SHELLPOINT RD	THE JENNINGS	RPC	03082	06266	\$477,401.76	\$2,650.00
B-012105	RICHARD LARIS	22974 SURREY LN	20x3 PAVER WALKWAY, 10x3.5 PAVER TRASH ENCLOSURE FLOOR	RPC	06541	02602	\$3,000.00	\$94.00
B-012090	MILLROSE PROPERTIES	24626 BRAMBLE DR	12x16 DECK	RPC	12108	05969	\$7,579.00	\$104.00
B-012095	LENCRAFT, LLC	24758 GLENDALE LN	THE DOVER	RPC	03082	06072	\$650,972.92	\$4,206.00
B-012099	BRIAN MOODY	29383 OXFORD DR	6' WHITE VINYL PRIVACY FENCE w/1 GATE	RPC	12217	06179	\$2,262.00	\$94.00
B-012041	LENCRAFT, LLC	29745 SHELLPOINT RD	THE LAGUNA	RPC	03082	06267	\$399,989.68	\$2,260.00
B-012085	LENCRAFT HOMES	24664 BRAMBLE DR	THE GUILFORD	RPC	03082	05975	\$333,950.58	\$1,930.00
B-012086	LENCRAFT HOMES	24768 GLENDALE LN	THE GUILFORD	RPC	03082	06080	\$333,950.58	\$1,930.00
B-012092	CALEB MILLSBORO, LLC	25004 ASPEN CIR	THE GRAND CAYMAN	RPC	08514	03903	\$439,532.36	\$2,460.00
B-012094	LENCRAFT, LLC	29238 OXFORD DR	THE GUILFORD	RPC	03082	06112	\$333,950.58	\$1,930.00
B-012093	LENCRAFT, LLC	29239 OXFORD DR	THE GUILFORD	RPC	03082	06113	\$333,950.58	\$1,930.00
B-011987	JOHN DINICH	117 LAURA'S CT	3x65 PAVER WALKWAY, 4X6 TRASH ENCLOSURE	RPC	08928	04448	\$6,680.00	\$102.00
B-012060	HELEN HOPKINS	124 OLD LANDING RD	18x24x16 POLE BUILDING w/12x8x8 LEAN-TO	MR	06443	00941	\$24,000.00	\$136.00

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		Receipt Book 12/31/2024					
EDU Water							
EDU Sewer				4,700.04			
Court Fines				307,500.00			
Building Permits				3,739.00			
Building Fund Fee				113,069.00			
Fire Service				61,500.00			
Ambulance Service				45,299.99			
Transportation				45,299.99			
Police Protection				41,000.00			
Park/Recreation Fee				45,299.99			
Public Hearings				20,500.00			
W/S Parts							
W/S Taps				4,087.42			
W/S Cut Off-On				57,400.00			
Pool Water				1,810.00			
Business registration							
Rental Fees							
Boat Slips				1,680.00			
Grass Cutting							
Stamps, Copies, Fax				200.00			
Miscellaneous				0.25			
Civic Center							
Final							
				1,309.94			
Pending Apps							
Misc Donations				34.00			
Rtn Ck Fee				650.00			
Tax Refund				240.00			
Interest				17,006.28			
Westtown Village- Refund				140.12			
Interest				2,091.92			
Ovrpymt - Lennar				9.06			
Corelogic Refund				-27.00			
Developer Deposit				589.29			
Aflac Withholding-Decker				-150.00			
CWAC Grant				136.80			
ACC RPT				772,233.00			
Refund Ovrpymt PA 11				455.00			
Refund POLACAD Dover				4,458.31			
Other Special Duty				1,755.00			
				400.00			
URS/AECOM							
MRA	TidalHealth			1,593.90			
Triple D Rentals				735.52			
Becker Morgan	Mid Sussex WashX			604.57			
Beacon Enginnerin	Parker Millsboro Comm Site			241.82			
CABE/DUFFIELD/GMB							
Knollwood Develop	Alderleaf Meadows			1,272.94			
MRA	Tidalhealth			638.23			
Becker Morgan	Airbase Carpet			115.99			
Becker Morgan	Airbase Carpet			976.80			
Triple D Rentals				115.99			
DBF	Somerton Chase			151.26			
Lennar	PL			27,993.34			
Beacon Engineerin	Parker_millsboro Comm Site			100.83			
Westtown	Refund			-2,091.92			
TOTAL				1,586,866.67			
Old Balance		Debits	Net PN Added	Adj	Credits		New Bal
W/S/	\$ 77,965.56	\$ 1,140,497.53	\$ 1,717.84	\$ (4,971.73)	\$ (77,953.58)	\$	\$ 1,137,255.62
Tax	\$ 185,157.81		\$ 2,056.08	\$ 16,529.39	(48,628.52)	\$	\$ 155,114.76

MISC BILLINGS- NEW BALANCE					
12/31/2024					
Date	Acct		Amount		Rpt Code
9/11/2023	324	1-33 Assciates, LLC	9.04	90225F-INT	GenMis
9/11/2023	324	MRA	10.44	200782271-INT	GenMis
10/12/2023	424	MRA	10.44	200782271-INT	GenMis
10/12/2023	424	MRA	42.19	90071D-int	GenMis
11/27/2023	524	MRA	42.19	90071D-int	GenMis
1/5/2024	724	Merck	124.94		GenMis
4/1/2024	1024	Knollwood Development	1.93	90990-Int	GenMis
6/21/2024	1224	Millsboro Towne Village	1,015,994.40	Annex Fee	GenMis
8/7/2024	225	SC Council	2.64	91302C-Interest	GenMis
10/18/2024	425	Corelogic	5,275.00	Property tax	GenMis
11/1/2024	525	VEPO	4,553.62	ServPro service	GenMis
12/2/2024	625	VEPO	15,124.08	ServPro service	GenMis
12/2/2024	625	VEPO	137.50	3 Nash Circle	GenMis
12/2/2024	625	VEPO	68.30	Penalty	GenMis
12/2/2024	625	MRA	23.90	Tidalhealth	GenMis
12/2/2024	625	Rauch, Inc	0.68	Boulevard Sales	GenMis
12/2/2024	625	Sussex LIHRC, LLC	2,462.34	Displaced tenants	GenMis
		GEN MISC TOTAL	1,043,883.63		
7/1/2022	Apr	Merck	4,320.00	Ellis St	Rent
8/1/2024	Jan	Greater Millsboro Chamber	600.00	204 Main St	Rent
8/1/2024	Feb	Greater Millsboro Chamber	600.00	204 Main St	Rent
8/1/2024	Mar	Greater Millsboro Chamber	600.00	204 Main St	Rent
8/1/2024	Apr	Greater Millsboro Chamber	600.00	204 Main St	Rent
8/1/2024	May	Greater Millsboro Chamber	600.00	204 Main St	Rent
8/1/2024	Jun	Greater Millsboro Chamber	600.00	204 Main St	Rent
		RENT FEE TOTAL	7,920.00		
3/11/2021	921	Knollwood Development	1,658.40	Alderleaf	engineering fees
8/7/2024	225	Rauch, Inc	45.37	Boulevard Auto Sales	engineering fees
12/2/2024	625	Becker Morgan Group	14.65	Airbase Carpet	engineering fees
12/2/2024	625	Intervet, Inc	111.28	Intervet Annexation POS	engineering fees
12/2/2024	625	Knollwood Development	19.09	Alderleaf	engineering fees
12/2/2024	625	Millwood Acq	1,245.10	Westtown Village	engineering fees
12/2/2024	625	Rauch, Inc	5,295.79	Boulevard Auto Sales	engineering fees
		ENGINEERING FEE TOTAL	8,389.68		

MISC BILLINGS- NEW BALANCE					
12/31/2024					
Date	Acct		Amount		Rpt Code
5/28/2015	1115	Tana Simpson- Warren	180.00	1117 Houston Acres ser	Mtr-parts
12/2/2024	625	Boulevard Ford Lincoln	9,034.12	3 meters Boulevard Ford Li	Mtr-parts
		MTR/PRTS TOTAL	9,214.12		
2/19/2015	815	Norman & Karen Laffey	100.00	23517 Tristan Lane 2/1	On/Off Wtr
		ON/OFF WTR TOTAL	100.00		
2/7/2020	820	Arcardis	708.45	Church St	Sewer Revenue
6/21/2021	1221	Tonald Trucking	226.71	Old Landing Rd & Mitch	Sewer Revenue
		SEWER REVENUE TOTAL	935.16		
7/2/24	125	Knollwood Developmet	4,620.00		water revenue
		Water Revenue Total	4,620.00		
10/17/2024	425	Arghvando	400.00	Country Place	grass cut
10/17/2024	425	Staton	200.00	Laurel Rd	grass cut
		Grass Cut Total	600.00		
		GRAND TOTAL	1,075,662.59		
NEW BALANCE		DEBITS	CREDIT	TRS PLACED ON W/S INVS	OLD BALANCE
1,075,662.59		1,614,121.24	1,586,866.67	(821.00)	1,049,229.02