



**Presque Isle City Council Meeting  
Wednesday, May 5<sup>th</sup>, 2021  
6:00 PM  
Presque Isle Council Chambers**

**AGENDA**

**Roll Call**

**Pledge of Allegiance**

**Public Hearing**

1. Approval of the Community Development Block Grant for Ignite PI
2. Approval of a Marijuana License to Bonnie Devino McGinley, d/b/a Royal Leaf Apothecary with location to 415 Main Street

**Citizen Comments**

**Consent Agenda**

3. Approve Minutes from April 7, 2021
4. Approve 2021 Warrants #12 - #15, totaling \$ 1,111,141.19
5. Approve Employment Agency License for Maine Health Care Staffing
6. Drug Forfeiture
7. Memorial Day Parade
8. Approval for a Taxi Cab License to Jeff Nichols, d/b/a Jeff's Taxi

**Old Business**

9. Truck By-Pass
10. Dangerous Buildings – 14 Park Street
11. Echo Lake Sewer System

**New Business**

12. Forum HVAC
13. Tax Acquired Property

**Manager's Report**

**Announcements**

**Executive Session**

Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations  
Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations  
Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations

**Adjournment**



The Office of the City Manager  
**Martin Puckett**  
Email: mpuckett@presqueisleme.us  
**MEMORANDUM**

|              |   |
|--------------|---|
| <b>TO:</b>   | <b>Honorable City Council</b>             |
| <b>FROM:</b> | Martin Puckett, City Manager              |
| <b>DATE:</b> | April 26, 2021                            |
| <b>RE:</b>   | <b>May 5th 6pm, City Council Chambers</b> |

**Call to Order**

**Pledge of Allegiance**

**Public Hearing:**

1. Approval of the Community Development Block Grant (CDBG) for Ignite PI: Clint Deschene will be present to discuss the CDBG application and answer any questions. Recommend Approval.
2. Approval of a Marijuana License to Bonnie Devino McGinley, d/b/a Royal Leaf Apothecary with location to 415 Main Street: Staff has reviewed application and found it in compliance. Recommend Approval.

**Citizen Comments**

**Consent Agenda:** Unless council wants to discuss items individually, staff recommends approving in one motion.

3. Approve Minutes from April 7, 2021: Standard Item
4. Approve 2021 Warrants: Standard Item
5. Approve Employment Agency License for Main Health Care Staffing: Annual renewal
6. Drug Forfeiture: Please see memo from District Attorney's Office for \$582 from a court ordered forfeiture.
7. Memorial Day Parade: Annual request.
8. Taxi Cab License

**Old Business**

9. Truck By-Pass: Bob Watson, Region Manager for MaineDOT, plans to be in attendance to answer questions. Please see attached memo with information of steps taken to encourage truck traffic to use the bypass and map with new signage. The city was awarded a new speed sign from MaineDOT, we were notified in April, but have not received it yet.
10. Dangerous Building 14 Park: DECD Director will present information about 14 Park St. Included in the packet is staff's latest correspondence, status update with the timeline of events since 9.9.2020 and quotes to demolish. Unfortunately the owner has not made

sufficient progress over the past seven months to correct the code issues. Staff recommends approving lowest bid for demolition to Trombley Construction Inc.

11. Echo Lake Sewer System: DECD Director will provide an update about the system, design & cost estimates and federal funding sources. For discussion, no action sought.

### **New Business**

12. Forum HVAC: Information to be handed out at meeting. Rec Director Gene Cronin will review options and costs. We are still waiting for cooling options to allow for year round use. For discussion, approval sought at a later meeting.
13. Tax Acquired Property: Please see memo from Finance Director, Brad Turner. There are two adjacent properties, 12 & 16 Judd. The buildings need to be demolished and estimates are \$20,000 to \$25,000 for both buildings. Outstanding taxes are in excess of the land value of property, demolition costs would not be recovered through the typical process. An abutter made an offer to purchase the properties and remove buildings. We could demolish the properties at the city expense and market the vacant lots. Council does have other options: place out to bid, negotiate with the interested abutter, list properties with a realtor, auction- but with the stipulation that the buildings are removed due to structural issues, water damage and mold.

### **Manager's Report**

### **Announcements**

### **Executive Session**

Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations  
Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations  
Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations

### **Adjournment**

# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 1**

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### **SUBJECT**

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**PUBLIC HEARING:** Approval of the Community Development  
Block Grant for Ignite PI

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### **INFORMATION**

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1. Public Hearing Notice  
Addition information provided at meeting

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### **REQUESTED ACTION**

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by  
Councilor \_\_\_\_\_ to approve the Community  
Development Block Grant for Ignite PI.

## **CITY OF PRESQUE ISLE NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY** given that the Presque Isle City Council will be hold a **PUBLIC HEARING** on **May 5, 2021** at **6:00 PM** in the City Council Chambers, City Hall at 12 Second Street, to Approve the Community Development Block Grant for Ignite PI

The public may attend the public hearing or submit written comments. You can obtain more information by contacting the City Clerk's Office at City Hall, 12 Second Street, Presque Isle, ME 04769 or call at 760-2720.

**ADA ASSISTANCE:** Anyone needing special assistance at the public hearing due to a disability should contact the City of Presque Isle's City Clerk at 760-2720 at least two (2) business days prior to the meeting date.

Per City Council  
Kimberly A. Finnemore  
City Clerk

# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 2**

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### **SUBJECT**

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**PUBLIC HEARING:** Approval of a Marijuana License to Bonnie Devino McGinley, d/b/a Royal Leaf Apothecary with location to 415 Main Street.

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### **INFORMATION**

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- 1) Memo from Galen Weibley, dated April 26, 2021
- 2) Application
- 3) Public Hearing Notice

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### **REQUESTED ACTION**

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to approve of a Marijuana License to Bonnie Devino McGinley, d/b/a Royal Leaf Apothecary with location to 415 Main Street.



# *City of Presque Isle, Maine*

The Office of  
Director of Economic & Community Development  
**Galen Weibley**  
Email: gweibley@presqueisleme.us

## MEMORANDUM

|              |   |
|--------------|---|
| <b>TO:</b>   | <b>Kim Finnemore, City Clerk &amp; Martin Puckett, City Manager</b> |
| <b>FROM:</b> | Galen Weibley, Director of Economic & Community Development         |
| <b>DATE:</b> | April 26, 2021  |
| <b>RE:</b>   | <b>Royal Leaf Apothecary Medical Marijuana Application</b>          |

Please find the enclosed application by Royal Leaf Apothecary to establish a medical marijuana retail store at 415 Main Street.

Payment has been received by the Code Enforcement Office for the license application and if approved, the Finance Department will collect the retail license fee. The Department of Economic & Community Development has received the applicant's completed forms and received no concerns from the Police or Fire Departments regarding the business' operations and proposed plans.

DECD staff believe the application is in compliance with the standards of the Council and respectfully request the council approve Royal Leaf Apothecary's application after hearing from the public.

Please do not hesitate to contact me should you have any questions.

***Suggested Motion: Mr. Chairman I move we approve Royal Leaf Apothecary's Medical Marijuana Retail Establishment application to conduct business at 415 Main Street.***

### **Enclosure:**

\*Application for Medical Marijuana Retail Store License for Royal Leaf Apothecary



CITY OF PRESQUE ISLE  
12 SECOND STREET  
PRESQUE ISLE, ME 04769  
TEL: (207) 760-2703 OR (207) 760-2770  
FAX: (207) 764-2501

E-MAIL: [panderson@presqueisleme.us](mailto:panderson@presqueisleme.us) or [ghowe@presqueisleme.us](mailto:ghowe@presqueisleme.us)

APPLICATION FOR ADULT USE AND MEDICAL MARIJUANA BUSINESS

**PLEASE FILL-OUT APPLICATION COMPLETELY**

Date: 04/20/2021

Permit No: \_\_\_\_\_

1. **Owner of Business:** (If more than one attach a separate page listing all owner's information, see section G.C., must be a Maine Resident) Bonnie Devino McGinley

**Physical Location** (number of street or road): 415 Main Street, Presque Isle, ME 04769

**Mailing Address** (if different from above): \_\_\_\_\_

**Home Phone:** \_\_\_\_\_ **Work Phone:** \_\_\_\_\_ **Cell Phone:** 207-942-5334

**E-Mail:** bonnie.devino@royalleafpot.com

2. **Contractor:** TBD **Phone:** \_\_\_\_\_ **Cell Phone:** \_\_\_\_\_

3. **Zone** DRB **Map No.** 035-127-415 **Street No.** 415 **Lot No.** 035-127-415 **Lot Size.** .07 Acre(s)

4. **Existing use of Property:** VACANT

5. **Marijuana Business Classification:** ADULT USE MARIJUANA STORE

6. **Maine License Certification #:** AMS416

7. **Registered Business Name to be used:** Royal Leaf, LLC [DBA: Royal Leaf Apothecary]

8. **PRIOR Criminal Conviction History of all Owners, Officers, Members, or Employee's.** : (attach separate Pg. if necessary)

**Criminal Activity:** NONE

**Date:** N/A

**Place:** N/A

**Jurisdiction:** N/A

9. **Proof of Right, Title, or Interest Documentation:** (Attach as necessary) [Lease Agreement Attached]

**PLEASE READ THE FOLLOWING CAREFULLY BEFORE SIGNING APPLICATION**

"I hereby apply for a permit for a marijuana business. I agree, prior to starting any electrical or plumbing work, to secure permits from the electrical and plumbing inspector. I understand that there may be other permits required from other agencies that I must obtain before being allowed to operate. Under MRSA 25, Section 2357 and the City of Presque Isle's Land Use and Development Code a Certificate of Occupancy ***MUST*** be obtained before the business hereby permitted is used or occupied. I understand that this permit application may be denied if not complete. A complete application may include construction documents as required by the City of Presque Isle. *I understand that if the above information is not accurate this application will be invalid, a Stop Work Order issued, and the City of Presque Isle could levy fines against me for giving false information.*"

Bonnie D McGinley  
Signature of Applicant

04/20/2021  
Date



## CHECKLIST

**All lines must be completed**

|                                  | YES                                 | NO                                  | Not Applicable           | CEO Initials |
|----------------------------------|-------------------------------------|-------------------------------------|--------------------------|--------------|
| Application Fee Submitted:       | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| All Owners / Partners Listed:    | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Contractor Listed:               | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <u>GH</u>    |
| License Type Listed:             | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Me License Certified:            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Criminal History Listed:         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Right, Title, Interest Verified: | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Photo's Attached:                | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Driver's License Attached:       | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| Sketch Attached:                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |
| City Map Attached:               | <input checked="" type="checkbox"/> | <input type="checkbox"/>            | <input type="checkbox"/> | <u>GH</u>    |

### Standards

|                             |                                     |                          |                          |           |
|-----------------------------|-------------------------------------|--------------------------|--------------------------|-----------|
| School Setback:             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Marijuana Business Setback: | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Security Standards:         | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Odor Plan:                  | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Operating Plan:             | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Notices:                    | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Signs                       | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Police Dept. Approval:      | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |
| Fire Dept. Approval:        | <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <u>GH</u> |

\*\*\*\*\*Office Use Only\*\*\*\*\*

Date Application Received: 4-20-21 Date CEO / Planning Bd. Review: \_\_\_\_\_ Approved GH Denied \_\_\_\_\_

Reason for Denial: \_\_\_\_\_

CEO Signature: George Hone

# **CITY OF PRESQUE ISLE**

## **NOTICE OF PUBLIC HEARING**

**NOTICE IS HEREBY** given that the Presque Isle City Council will be hold a **PUBLIC HEARING** on **May 5, 2021** at **6:00 PM** in the City Council Chambers, City Hall at 12 Second Street, to consider a **Marijuana License** from:

**Royal Leaf, LLC**  
**415 Main St.**

The public may attend the public hearing or submit written comments. You can obtain more information by contacting the City Clerk's Office at City Hall, 12 Second Street, Presque Isle, ME 04769 or call at 760-2720.

**ADA ASSISTANCE:** Anyone needing special assistance at the public hearing due to a disability should contact the City of Presque Isle's City Clerk at 760-2720 at least two (2) business days prior to the meeting date.

Per City Council  
Kimberly A. Finnemore  
City Clerk

Published April 28, 2021

# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 3**

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### **SUBJECT**

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**CONSENT AGENDA:** 2021 Minutes

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### **INFORMATION**

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1. April 7, 2021 Minutes

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### **REQUESTED ACTION**

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to approve minutes from April 7, 2021.



## Presque Isle City Council Meeting

April 7<sup>th</sup>, 2021

6:00 PM

Presque Isle City Council Chambers

### Call to Order - Roll Call

Present: Chairman K. Freeman, Deputy Chairman J. Shaw, Councilors M. Chasse, C. Green, R. Smith, D. Cyr and J. Willette.

City Manager Martin Puckett and City Clerk Kimberly Finnemore were also present.

### Pledge of Allegiance

Chairman K. Freeman called the meeting to order at 6:02 PM and led those present in the Pledge of Allegiance.

### Public Hearing

1. Consider adopting changes to the Rec & Park Advisory Board By-Laws (Single Hearing)

Chairman K. Freeman opened the Public Hearing at 6:02 PM.

There were no citizen comments.

Chairman K. Freeman closed the Public Hearing at 6:04 PM.

**BE IT RESOLVED** by Councilor M. Chasse, seconded by Deputy Chair J. Shaw to approve Changes to the Rec & Park Advisory Board By-Laws

**Vote: 7- 0**

2. Consider adopting changes to Chapter 59A- Adult Use and medical Marijuana Businesses Ordinance (Single Hearing)

Chairman K. Freeman opened the hearing at 6:04 PM.

There were no citizens comments.

Chairman K. Freeman closed the hearing at 6:06 PM.

**BE IT RESOLVED** by Deputy Chairman J. Shaw, seconded by Councilor J. Willette to approve adopting changes to Chapter 59A- Adult Use and Medical Marijuana Businesses Ordinance.

**Vote: 7 – 0**

3. Approval for a Marijuana License to Steve and April Rusnack, d/b/a Full Bloom Cannabis with location at 483 Main Street (Single Hearing).

Chairman K. Freeman opened the hearing at 6:06 PM

There were no citizens comments.

Chairman K. Freeman closed the hearing at 6:07 PM.

M. Chasse made a motion to Amend it to a Marijuana Retail License

**BE IT RESOLVED** by Deputy Chairman J. Shaw seconded by Councilor J. Willette Approval for a Marijuana Retail License to Steve and April Rusnack, d/b/a Full Bloom Cannabis with location at 483 Main Street.

**Vote: 7 – 0**

### **Citizen Comments**

No Citizen Comments

### **Consent Agenda**

4. February 23, 2021, March 3, 2021, and March 24, 2021 Minutes.
5. Warrant #8-#11 Totaling \$1,350,591.88
  - Warrant #8-\$47,347.54
  - Warrant #9-\$351,216.99
  - Warrant #10-\$634,173.87
  - Warrant #11-\$317,853.48

6. Approve Employment Agency License for Maine staffing Group.
7. Approve Employment Agency License for Tempo Employment Services.
8. Approve Pawn Broker License for Ben's Trading Post LLC.
9. Approve Taxi Cab Service License for Aroostook Cab Company.
10. Approve Taxi Cab Service License for Town Taxi.
11. Approve Taxi Cab Service License for Carney's Taxi.
12. Approve Taxi Cab Service License for Tom's Taxi.
13. Approve Bowling Alley License for Northern Lanes, Inc.

**BE IT RESOLVED** by Councilor M. Chasse, seconded by Councilor J. Willette to approve Consent Agenda articles # 4-13 as presented.

**Vote: 7 - 0**

14. Approve Purchase & Sale Agreement.

**BE IT RESOLVED** by Deputy Chairman J. Shaw, seconded by Councilor J. Willette to approve the purchase and sale agreement as presented.

**Vote: 7 - 0**

15. Approve Appointment to Deputy Licensed Plumbing Inspector

**BE IT RESOLVED** by Councilor M. Chasse, seconded by Councilor R. Smith to approve appointment of Griffin St. Peter as the Deputy Licensed Plumbing Inspector.

**Vote: 7 - 0**

### **Old Business**

16. City Hall

City Manager M. Puckett talked about the timeline of the City Hall Renovation Committee, Bids and the Pro's and Con's of building new or Renovating. Councilor M. Chasse and Councilor D. Cyr spoke about their time with the City Hall Renovation Committee.

**BE IT RESOLVED by Councilor M. Chasse, seconded by Councilor J. Willette to approve the RFP for the remodeling of City Hall.**

**Vote: 5 - 2**

### **New Business**

#### **17. Star City ATV Club Municipal Grant**

Richard Howlett President of the Star City ATV Club, came to ask for the Councils support and Thank the Council for support over the years.

**BE IT RESOLVED by Councilor M. Chasse, seconded by Councilor R. Smith to approve support in applying for municipal grant.**

**Vote: 7 - 0**

#### **18. EMS Supplies**

Deputy Fire Chief Nate Allen spoke on Changing laptops to IPAD's so work can be done on the go, verse's waiting to get back to the Station.

**BE IT RESOLVED by Councilor C. Green, seconded by Councilor J. Willette to approve the purchase of four (\$) i-pads for \$3,200.00 from the EMS Reserve Account for the ambulance to be used for reporting to the State EMS Run System.**

**Vote: 7 - 0**

#### **19. Schedule a Public Hearing for Approval of the Community Development Block Grant for Ignite PI.**

Clint Deschene, Director of Community Innovation, spoke about Ignite Presque Isle.

**BE IT RESOLVED by Councilor J. Willette, seconded by Deputy Chairman J. Shaw to schedule a public hearing for Ignite PI to present their Community Development**

**Block Grant Application at the May 5, 2021 council meeting.**

**Vote: 7 – 0**

20. Winter Festival Planning

Councilor C. Green and Councilor J. Willette volunteered for Winter Festival Planning Committee

### **Manager's Report**

City Manager Puckett informed the Council the opening of the Farmer's Market on May 22, 2021, with 30 vendors and the Fiddlehead Festival. The Movies in the Park and Music Festivals will be happening

### **Announcements**

The next meeting of the Presque Isle City Council will be held in Council Chambers on May 5, 2021 at 6:00 PM.

### **Executive Session**

**BE IT RESOLVED** by Deputy Chairman J. Shaw, seconded by Councilor J. Willette to enter into Executive Session at 7:20 PM pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations.

**Vote: 7 – 0**

Council exited Executive Session at 7:35 PM

**BE IT RESOLVED** by Councilor M. Chasse, seconded by Councilor J. Willette to enter into Executive Session at 7:36 PM pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations.

**Vote: 7 – 0**

**Motion by Councilor M. Chasse, to Counter offer for 28 Elm of \$9,400.00 and 22 Allen for \$22,000.00 seconded by Councilor J. Willette**

**Vote: 7 – 0**

Council exited Executive Session at 8:05PM



**BE IT RESOLVED** by Councilor M. Chasse, seconded by Councilor J. Willette to enter into Executive Session at 8:06 PM pursuant to 1 M.R.S.A. § 405(6)(E) to discuss Attorney-client Consultation.

**Vote: 7 - 0**

**Council exited Executive Session at 8:26 PM**

**BE IT RESOLVED** by Chairman K. Freeman, seconded by Councilor M. Chasse to enter into Executive Session at 8:27 PM pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations.

**Vote: 7 - 0**

**Adjournment**

**BE IT RESOLVED** by Chairman K. Freeman, seconded by Councilor C. Green to adjourn the meeting at 9:21 PM.

**Vote 7 -0**

Attested by: \_\_\_\_\_  
Kimberly A Finnemore, City Clerk

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # 4

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### SUBJECT

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**CONSENT AGENDA:** 2021 Warrants #12-#15, totaling  
\$ 1,111,141.19

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### INFORMATION

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|----------------|---------------|
| 1) Warrant #12 | \$ 241,391.15 |
| 2) Warrant #13 | \$ 131,777.31 |
| 3) Warrant #14 | \$ 141,366.27 |
| 4) Warrant #15 | \$ 596,606.46 |

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_  
\_\_\_\_\_ to approve 2021 Warrants #12-#15, totaling  
\$1,111,141.19.

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## **AGENDA ITEM # 5**

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### **SUBJECT**

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**CONSENT AGENDA:** Employment Agency License for  
Maine Health Care Staffing

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### **INFORMATION**

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1) Application

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### **REQUESTED ACTION**

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by  
Councilor \_\_\_\_\_ to approve an Employment Agency  
License for Maine Health Care Staffing.



CITY OF PRESQUE ISLE  
EMPLOYMENT AGENCY License Application

Per Maine Statute Title 26, Chapter 7 § 612-A  
Chapter 9 - License and Public Hearing Fees



NEW LICENSE



RENEWAL OF LICENSE

EXPIRATION DATE: MAY 1st OF EACH YEAR

FEE: \$100.00 - FLAT FEE PER YEAR

DATE:

4/9/21

NAME UNDER WHICH BUSINESS WILL BE OPERATED:

Maine Health Care Staffing

LOCATED AT:

187 State Street Suite #4

DAYS OF OPERATION:

M-F

HOURS OF OPERATION:

8am - 4pm

OTHER INFORMATION, IF ANY:

We are licensed through State of Maine  
as a nursing Staffing Agency.

DATED THIS

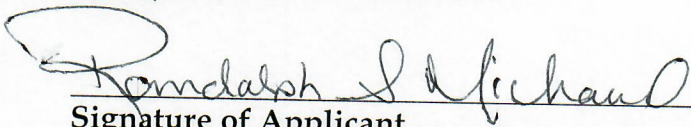
9

DAY OF

April

~~April~~

, 20 21

  
Signature of Applicant

Address

108 Mapleton Rd

Mapleton, Me 04757

PA # 1518 -4/9/21-K7

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

**AGENDA ITEM # 6**

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## SUBJECT

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**CONSENT AGENDA:** Approve Drug Forfeiture

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## INFORMATION

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1) Transfer Agreements

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## REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to authorize Chairperson, Kevin Freeman to sign the Approval of Transfers

TODD R. COLLINS  
District Attorney

KARI WELLS-PUCKETT  
Deputy District Attorney

CHRISTIANA REIN  
MATTHEW HUNTER  
CHARLES E. FYLER II  
Assistant District Attorneys

STATE OF MAINE



OFFICE OF THE DISTRICT ATTORNEY  
AROOSTOOK COUNTY  
PROSECUTORIAL DISTRICT NUMBER 8

Reply To:

144 Sweden Street ☐  
Caribou, ME 04736-2353  
207-498-2557  
FAX 207-493-3493 \_\_\_\_\_

27 Riverside Drive ☐  
Presque Isle, ME 04769-2730  
207-764-0504  
FAX 207-764-2046 \_\_\_\_\_

26 Court Street, Suite 101 ☐  
Houlton, ME 04730  
207-532-4294  
FAX 207-532-1504 \_\_\_\_\_

April 10, 2021

Laurie Kelly, Chief  
Presque Isle Police Department  
43 North Street  
Presque Isle, Maine 04769

RE: *State of Maine v. Nathan Richards*— AROCD-CR-2019-41066

Dear Chief Kelly,

Our office is seeking criminal forfeiture of \$582.00 in U.S. Currency, property owned by and seized from Nathan Richards, which facilitated crimes under Title 17-A, Chapter 45. Your department was a primary contributing law enforcement agency. Consequently, if the court orders forfeiture we are seeking transfer of this property to your department, which requires approval by the Presque Isle City Council pursuant to 15 M.R.S. §§ 5824(2) & 5826(8)(A).

Would you please ensure that this request for approval is presented to the Presque Isle City Council at its next scheduled meeting so as to ensure timely transfer of the assets? If approved, please ensure that the enclosed Approval of Transfer is signed by the Chairperson, marked with the town seal, and returned to our Presque Isle office. If you have any questions, please feel free to contact me at (207) 764-0504 or via email at [kari@aroostook.me.us](mailto:kari@aroostook.me.us).

Respectfully,

A handwritten signature in blue ink, appearing to be 'Kari'.

Kari Wells-Puckett  
Deputy District Attorney

UNIFIED CRIMINAL COURT  
LOCATION: PRESQUE ISLE  
DOCKET: AROCD-CR-2019-41066

## APPROVAL OF TRANSFER

(Impress Seal Here)

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## **AGENDA ITEM # 7**

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### **SUBJECT**

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**CONSENT AGENDA:** Request to close Main Street for  
Memorial Day Parade

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### **INFORMATION**

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1) Parade Request

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### **REQUESTED ACTION**

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by  
Councilor \_\_\_\_\_ to approve the closure of the Main  
Street on May 31, 2021 for the Memorial Day Parade.



# SMART RICKER CHAPTER 10

## Disabled American Veterans

Presque Isle, Maine 04769

April 28, 2021

City of Presque Isle  
12 Second Street  
Presque Isle, Maine 04769

Attn: City Clerks Office

The Disabled American Veteran's, Smart Ricker, Chapter 10, will be hosting the 91<sup>st</sup> Memorial Day Parade on May 31, 2021. The parade will begin at the North end parking lot of the University of Maine of Presque Isle (UMPI).

We are requesting permission to conduct this event and that Main Street to be closed beginning at UMPI and ending at the Presque Isle Memorial across from Freshie's Market on North Main Street. The parade will begin at 10:00am and conclude by 11:00am. The event will not be cancelled due to weather.

If you have any question or need additional Information, please contact us at any time. Thanking you in advance for your support.

Sincerely yours,



Rodney J Cameron  
Treasurer  
DAV Chapter 10  
Presque Isle, Maine  
207-540-0261

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # 8

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### SUBJECT

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**CONSENT AGENDA:** Taxi Cab License for Jeff's Taxi

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### INFORMATION

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1) Application

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to approve a Taxi Cab Service License for Jeff's Taxi.



CITY OF PRESQUE ISLE  
TAXI CAB SERVICE License Application

EXPIRATION DATE: MAY 1<sup>ST</sup> OF EACH YEAR

FEE: \$100.00 PER VEHICLE

NAME OF APPLICANT: Jeffery A. Nichols

HOME ADDRESS: P.O. Box 1471 Presque Isle, ME 04769

DATE OF BIRTH: 4-18-1975 PLACE OF BIRTH: FORT FAIRFELD, ME

TRADE NAME: TRANSPORTATION PHONE # 202-227-3698

OFFICE ADDRESS: P.O. Box 1471 Presque Isle, ME 04769

DO YOU CARRY LIABILITY & PROPERTY DAMAGE INSURANCE? YES

NAME OF COMPANY: JEFFS TAXI POLICY # 02911119-0

IS THIS A RENEWAL? YES # OF CABS YOU OPERATE: 1

I HEREBY AGREE TO OPERATE THE ABOVE IN ACCORDANCE WITH THE LAWS OF  
THE STATE AND THE ORDINANCES OF THE CITY.

DATE: 4-15-2021

SIGNED: Jeffery A. Nichols

I hereby certify that the above applicant has complied with Sections 1 and 2 of Chapter 12 -  
Taxicab Ordinance.

Kimberly A. Finnemore  
City Clerk

Acted upon by the City Council on: \_\_\_\_\_

By vote of the City Council, the above application was: GRANTED

DENIED



CITY OF PRESQUE ISLE  
TAXI CAB SERVICE  
VEHICLE INFORMATION

The form below must be filed out completely, signed by a State of Maine  
inspection mechanic before license will be granted.

UNIT/CAB # 1 Date: 4-15-2021

REGISTRATION # 11-111 ME SERIAL # JA4J24AX9EZ003862

MOTOR # JA4J24AX9EZ003862 MAKE: Mits

YEAR: 2014 TYPE: Outlander

BODY: 4 DOOR COLOR: Grey

H.P.: \_\_\_\_\_ CAPACITY: 7

LIGHTS, CONDITION: GOOD

BRAKES, FOOT GOOD 2 WHEEL: \_\_\_\_\_ 4 WHEEL: \_\_\_\_\_

CONDITION: GOOD

BRAKES, HAND, CONDITION: GOOD

STEERING GEAR, CONDITION: GOOD

MIRRORS: GOOD WINDSHIELD WIPERS: GOOD

HORN OR SIGNAL DEVICE: GOOD

REAR SIGNAL LIGHT OR DEVICE: GOOD

IS THIS VEHICLE IN GOOD MECHANICAL CONDITION? YES

IS THIS VEHICLE IN SUCH MECHANICAL CONDITION AS TO  
GUARANTEE THE SAFE TRANSPORTATION OF PASSENGERS? YES

STATE INSPECTION STATION: Beaulieu's Garage + Body shop

BY: Jeff Robertson

# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 9**

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### **SUBJECT**

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**OLD BUSINESS:** Truck By-Pass

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### **INFORMATION**

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- 1) Memo from Martin Puckett, dated April 26, 2021
- 2) Truck Route Signage

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### **REQUESTED ACTION**

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**Discussion only**



The Office of the City Manager  
**Martin Puckett**  
Email: [mpuckett@presqueisleme.us](mailto:mpuckett@presqueisleme.us)  
**MEMORANDUM**

|              |                               |
|--------------|-------------------------------|
| <b>TO:</b>   | <b>Honorable City Council</b> |
| <b>FROM:</b> | Martin Puckett, City Manager  |
| <b>DATE:</b> | April 26, 2021                |
| <b>RE:</b>   | <b>Truck Route Update</b>     |

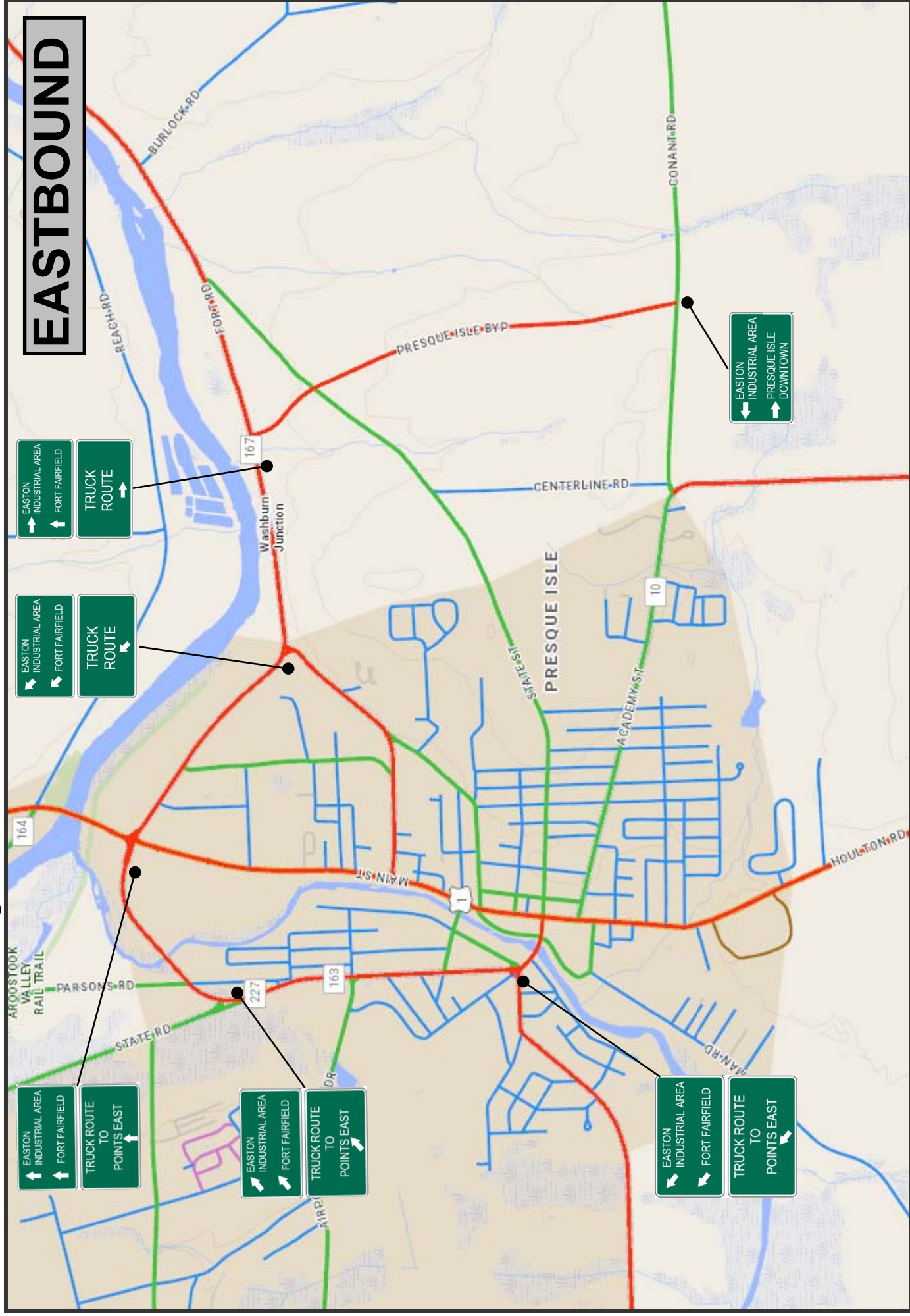
Last year a group was formed consisting of MaineDOT, Public Works, Maine State Police, and Presque Isle Police about the truck traffic on Academy and surround streets. The goal was to try to reduce the amount of large truck traffic going east to west on Academy and encourage the use of the bypass.

Acknowledging that the city cannot limit traffic on state routes, we developed a plan to encourage the use of the bypass. The group used multiple methods:

- Public Awareness through Star Herald, social media & WAGM
- Communications with leadership at McCains & Huber to inform drivers
- Outreach to trucking companies & agricultural growers
- Patrol details in area by MSP & PIPD
- Speed devices to make drivers aware of speed
- Outreach to Professional Logging Contractor of Maine
- Signage to promote the bypass (see attached maps)

The group has noticed a decreased amount of truck traffic in the Academy Street area but do not have data specific to truck traffic. There is also the Covid impact that has reduced traffic.

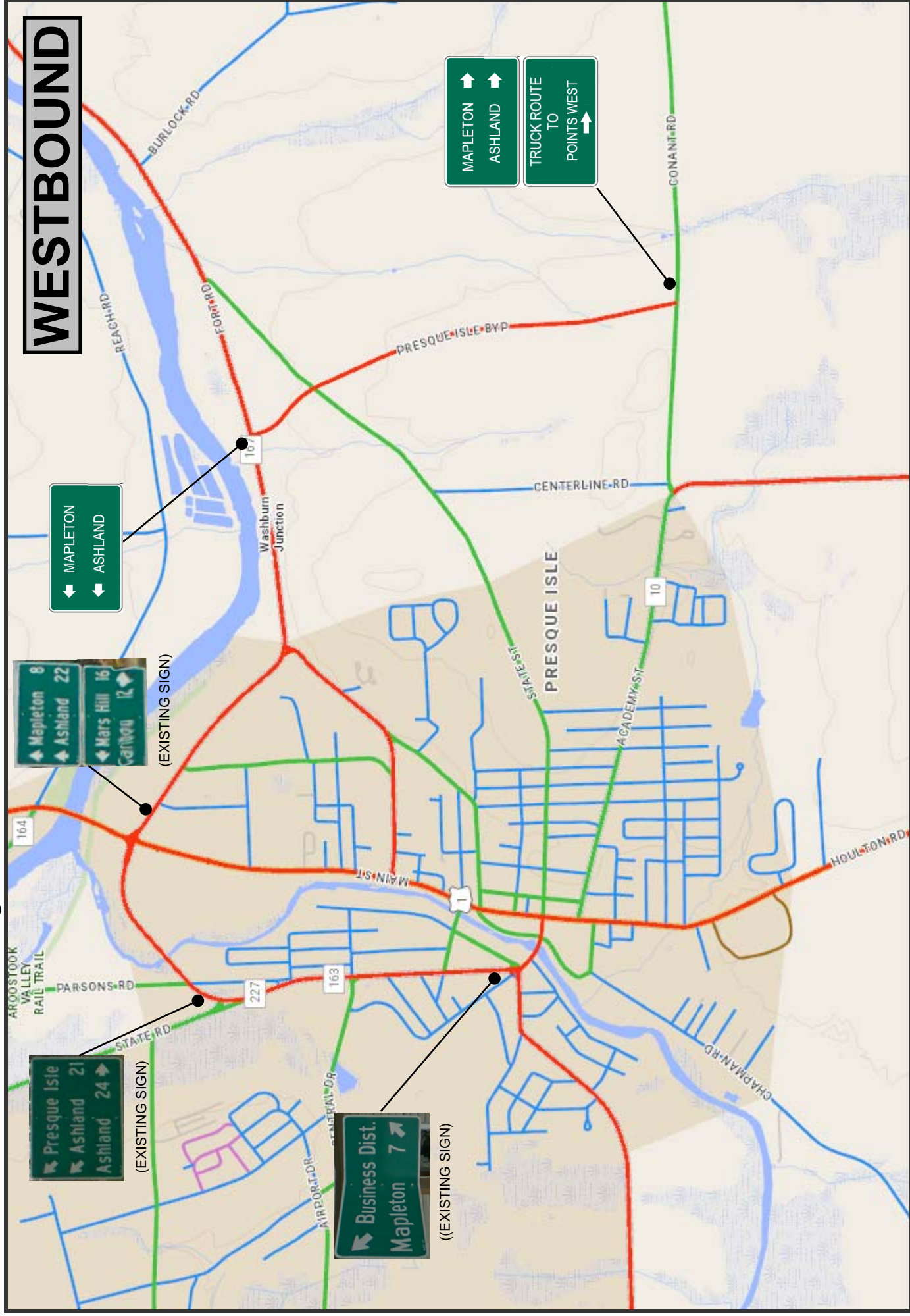
# PRESQUE ISLE TRUCK ROUTE SIGNAGE



The Maine Department of Transportation provides this publication for information only. Reliance upon this information is at user risk. It is subject to revision and may be incomplete depending upon changing conditions. The Department assumes no liability if injuries or damages result from this information. This map is not intended to support emergency dispatch.



# PRESQUE ISLE TRUCK ROUTE SIGNAGE



The Maine Department of Transportation provides this publication for information only. Reliance upon this information is at user risk. It is subject to revision and may be incomplete depending upon changing conditions. The Department assumes no liability if injuries or damages result from this information. This map is not intended to support emergency dispatch.

0.85 Miles  
1 inch = 0.6 miles

Date: 9/22/2020  
Time: 11:00:33 AM



# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # 10

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### SUBJECT

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**OLD BUSINESS:** Dangerous Buildings – 14 Park Street

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### INFORMATION

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- 1) Memo from Galen Weibley, dated April 28, 2021
- 2) Letter to Property Owner
- 3) Trombley Construction Quote

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to demolish 14 Park Street per the Council's September 9<sup>th</sup> Order to Abate.



# *City of Presque Isle, Maine*

Department of Economic & Community Development

From the desk of:

**Galen Weibley**

Email: [gweibley@presqueisleme.us](mailto:gweibley@presqueisleme.us)

## **MEMORANDUM**

|              |  |
|--------------|--|
| <b>TO:</b>   | <b>Honorable City Council</b>  |
| <b>CC:</b>   | Martin Puckett, City Manager; Chelsea Stratton, Executive Asst., Kim Finnemore, City Clerk, Griffin St. Peter, Code Enforcement Office & George Howe |
| <b>DATE:</b> | April 29, 2021   |
| <b>RE:</b>   | <b>14 Park Street</b>  |

Here is a status update on 14 Park Street:

Back on September 9, 2020, this came before the Council as a “Dangerous Building” and the Council issued an “Order to Abate”, which Fernand Martin sign for on September 11, 2020.

In November of 2020, Mr. Martin submitted a renovation plan but didn’t have any deadlines for when repairs would commence or any estimates from contractors for cost of repairs. Mr. Martin was informed that this plan was not acceptable at that time.

On November 9, 2020, Mr. Martin’s tenants were informed that the building had been condemned and to look for alternative living arrangements.

On March 15, 2021, Code Enforcement staffer, Giffin St. Peter, spoke with Eric, Mr. Martin’s son stating detailed plans and estimates will be required by Friday, March 19, 2021. During the conversation, Eric stated all tenants have been relocated or moved out.

On March 19, 2021, Mr. Martin’s son Eric presented a plan once again to make the repairs to the building without and timelines or estimates.

On April 1, 2021, Eric Martin was contacted by Galen Weibley and given a deadline of April 12, 2021, to provide a written timeline and estimates for all repairs and supply a letter from Machias Savings Bank as to whether they would finance the necessary repairs. A courtesy letter was sent to Mr. Martin and Machias Savings Bank. Staff also received a phone call from Michelle (current tenant) regarding the news article in the Star Herald (dated March 31, 2021) regarding the demolition order. Staff reminded the tenant that they received their notice to move out on November 9, 2020 and that demolition plans are anticipated for May if landlord does not meet deadlines. Tenant stated she is searching for other places and is on the list for housing with PI Housing Authority.

On April 12, 2021, Eric Martin provided the office with a written timeline and estimates to replace the roof, repair the chimney, do some interior wall repairs and replace the siding. (see attached). Mr. Martin has not provided a written estimate from any contractors for the repairs to the foundation. A letter from Machias Savings Bank stated that there were still two (2) outstanding items needed to complete the application package

and once these items were received, they would submit it for underwriting. The City's Code Enforcement Officer reviewed the proposed plan and has determined the timeline and estimates are inadequate. A response was sent to the Martin Manor Rentals LLC and Machias Savings Bank informing them that the proposed plan is not sufficient.

Staff has collected quotes from local contractors to demolish 14 Park Street in preparation for the May City Council Meeting. Since 14 Park Street is a large structure and the quotes are over \$10,000, staff is enclosing quotes for your consideration and action. Because Mr. Martin failed to follow through the instructions provided on April 12, 2021 and has been provided seven months to offer a plan of action, staff recommends the following motion:

**RECOMMENDED MOTION:** *Mr. Chairman, I move that we proceed in awarding \_\_\_\_\_ to demolish 14 Park Street per the Council's September 9<sup>th</sup> Order to Abate.*

***Enclosures:***

***\*April 13, 2021 Letter to Martin's Manor Rentals LLC***

***\*Three bid received to demolish 14 Park Street***



# City of Presque Isle, Maine

Department of Economic & Community Development

From the desk of:

**Galen Weibley**

Email: [gweibley@presqueisleme.us](mailto:gweibley@presqueisleme.us)

Phone: 207-760-2727

April 13, 2021

ATTN: ERIC MARTIN  
MARTIN'S MANOR RENTALS, LLC  
72 HOULTON ROAD  
PRESQUE ISLE, ME 04769

RE: 14 PARK STREET

Dear Mr. Martin,

This letter is in response to your correspondence dated April 9, 2021 and received by the Code Enforcement Office on April 12, 2021. I appreciate the time you have taken to provide a timeline and estimates to replace the roof, repair the chimney, do some interior wall repairs, and replace the siding. The Code Enforcement Officer has the following items that require your attention:

1. Are the repairs and estimates contingent on financing from Machias Savings? If so, your timeline would not be satisfactory as the underwriting process takes 3-4 weeks per Mr. Fuller's letter dated April 9, 2021.
  - a. ***Please indicate which repairs will be financed by Machias Savings Bank. The city recommends revising your proposed timeline to address foundation concerns first, before other structural repair since shifting and damage may occur when fixing the foundation near the end of the proposed plan.***
2. The timeline mentions repairs to the roof, siding, and interior walls to be done by Sam Yoder or Harold Pelletier, however, only estimates from Mr. Yoder have been included.
  - a. ***Please revised the proposed plan to indicate if Mr. Yoder will be the contractor for all the repairs or supply estimates and confirm what services Mr. Pelletier will be providing.***
3. No estimate and confirmed timeline have been received for the foundation issues of 14 Park Street.
  - a. ***Please supply a revised timeline for the plan that addresses foundation issues with estimates from a reputable contractor. As a courtesy, the City is supplying you with a list of contractors to aid in your goal of supplying an estimate and timeline for the foundation of 14 Park Street.***
4. Machias Saving Bank has indicated there are two outstanding items in order to complete the underwriting process to finance the 14 Park Street repairs.
  - a. ***The City is requiring Martin's Manor Rentals, LLC supply documentation from Machias Savings Bank that the underwriting is in process. If repairs are being financed by Machias as stated in item 1, this item will be contingently satisfied provided follow up documentation is provided with evidence that the bank has approved funding. If funding is not approved, Martin's Manor LLC will need to supply evidence for how they intend to finance the repairs.***

5. The Code Enforcement Officer has not been able to thoroughly inspect all areas of 14 Park Street to determine compliance with the life safety and building codes since portions were locked were inaccessible during prior inspections.

- a. The Code Enforcement Officer requests a revised plan that states the Code Enforcement Officer will inspect the entire premises of 14 Park Street before repairs commence.*

Given the concerns raised above, the City staff finds your proposed plan dated April 9, 2021 as incomplete. As such, the City will be moving forward with presenting quotes to the City Council for authorization to demolish 14 Park Street unless these outstanding items are found satisfactory by the Code Enforcement Officer before the May 5, 2021 City Council Meeting (see enclosed memo).

Please be advised, the City has received knowledge that portions of 14 Park Street are continuing to be rented by a tenant. As a landlord to a dangerous and condemned building, you are hereby put on notice and will be held responsible for relocating your tenant. The City anticipates pulling the power from the dangerous structure in preparation for the demolition in May.

Thank you for your valued time and attention to the City's request to address the issues of 14 Park Street. Should you have any questions regarding this letter, please do not hesitate to contact me at your earliest convenience.

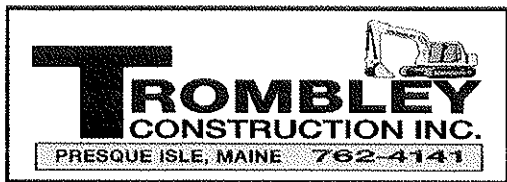
Respectfully,

Galen L. Weibley  
Director  
Department of Economic & Community Development

(Enclosures)

CC:

George Howe & Griffin St. Peter Presque Isle Code Enforcement Office  
Greg Fuller & Tim Goff, Machias Savings Bank



Trombley Construction Inc.

PO Box 142

Presque Isle, Maine 04769

Phone: 207-764-6989 Fax: 207-764-6989

E-Mail: [tromconst@gmail.com](mailto:tromconst@gmail.com)

## Quote

### Quote For:

George Howe  
Code Enforcement Officer  
City of Presque Isle  
12 Second Street, 2nd Floor  
Presque Isle, ME. 04769

**Location:** 14 Park Street

**Description:** House Demolition

| Description                     | Qty | Unit | Unit Price | Total      |
|---------------------------------|-----|------|------------|------------|
| House Demolition-14 Park Street | 1   | LS   | \$7,200.00 | \$7,200.00 |
|                                 |     |      |            |            |
|                                 |     |      |            |            |
|                                 |     |      |            |            |
|                                 |     |      |            |            |
|                                 |     |      |            |            |
|                                 |     |      |            |            |

Subtotal: \$7,200.00

Tax:

Shipping:

Miscellaneous:

Quote Total: \$7,200.00

## Penny Anderson

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**From:** Trombley Construction <tromconst@gmail.com>  
**Sent:** Monday, April 19, 2021 7:43 AM  
**To:** Penny Anderson  
**Subject:** Re: FW: 14 Park Street Quote

Hi Penny,

Our quote includes demo of the building, hauling demolition debris to the landfill, filling foundation to grade, capping water and sewer lines, and loam, seed, and mulch. It is our understanding that the city is paying the tipping fees.

Thanks  
Matt

On Fri, Apr 16, 2021 at 10:17 AM Penny Anderson <[panderson@presqueisleme.us](mailto:panderson@presqueisleme.us)> wrote:

Hi Alan or Matt:

If possible can I get more details on your bid to demolish the apartment building at 14 Park Street.

What exactly does the \$7,200.00 covers? Does it cover cap sewer & water lines, demolishing building, separating out metal and hauling to landfill, bring in fill to cover foundation & bring to grade, loam & seeding in area& covering with mulch, etc.

If possible I would like to have this back to me by Wednesday, April 21<sup>st</sup>.

Thank you and have a nice day.

*Penny Anderson*

Administrative Assistant

City of Presque Isle

# Invoice



90 Houlton Road Presque Isle ME 207-760-9399

| Date      | Invoice # |
|-----------|-----------|
| 3/26/2021 | 7551      |

Bill To

City of Presque Isle  
5 Missile Street  
Presque Isle, ME 04769

| Quantity | Item Code          | Description   | Price Each   | Amount             |
|----------|--------------------|---|--------------|--------------------|
|          |                    | Demolition at 14 Park Street                                      |              |                    |
| 15       | Additional Charges | Level Building  |              |                    |
|          |                    | Excavator - hourly  | 150.00       | 2,250.00           |
|          | Additional Charges | Cap Sewer Line  | 75.00        | 75.00              |
| 18       | Additional Charges | Roll-off - 30yd/18,000lb per trip - charged by sanitation company | 300.00       | 5,400.00           |
| 15       | Additional Charges | Laborer - dust control, water truck                               | 55.00        | 825.00             |
|          | Additional Charges | Fee for water from Water District                                 | 250.00       | 250.00             |
|          |                    | Back-fill   |              |                    |
| 300      | Additional Charges | Bank Run Gravel/Fill  | 15.00        | 4,500.00           |
| 12       | Additional Charges | Excavator - Hourly  | 150.00       | 1,800.00           |
| 5        | Additional Charges | Dump Truck  | 100.00       | 500.00             |
|          | Additional Charges | Caution tape  | 35.00        | 35.00              |
|          |                    | Loam & Seed   |              |                    |
| 6        | Additional Charges | Bulldozer - spread loam & grade                                   | 150.00       | 900.00             |
| 4        | Additional Charges | Roller  | 125.00       | 500.00             |
| 50       | Additional Charges | Loam  | 30.00        | 1,500.00           |
|          | Additional Charges | Grass Seed  | 140.00       | 140.00             |
|          | Additional Charges | Lime  | 85.00        | 85.00              |
|          | Additional Charges | Fertilizer  | 85.00        | 85.00              |
| 20       | Additional Charges | Hay by the Bail   | 12.00        | 240.00             |
| 6        | Additional Charges | Laborer   | 55.00        | 330.00             |
|          | Additional Charges | Equipment Mobilization - Delivery & Pick-up                       | 500.00       | 500.00             |
|          |                    | Sales Tax   | 5.50%        | 0.00               |
|          |                    |   | <b>Total</b> | <b>\$19,915.00</b> |



Proposal

**Langille Construction, Inc.**

Chris W. Langille  
51 Langille Road  
Washburn, Me 04786  
(207)455-4363 Fax (207)455-0916

TO: City of Presque Isle  
Code Enforcement  
George Howe

551-3756

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Date: 03/30/2021

Job Name: Demolition

Job Location: 14 Park Street

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Cap sewer and waterline

Tear down building, separate metal, and haul to landfill

Place concrete and brick in foundation hole

Haul fill in to cover foundation, and bring up to grade

Loam and seed area and cover with mulch hay

Plan is to leave all trees intact

\*\* City is to pay for landfill fees.

\$19,825.00

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Authorized By: Chris W. Langille  
President  
Langille Construction, Inc.

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Acceptance of Proposal-Half up front, remainder due at completion.  
All prices subject to change after 30 days.

Date: \_\_\_\_\_

Signature \_\_\_\_\_

# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 11**

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### **SUBJECT**

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**OLD BUSINESS:** Echo Lake Sewer System

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### **INFORMATION**

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- 1) Memo from Galen Weibley, dated April 26, 2021
- 2) Preliminary Design of Echo Lake STEP system
- 3) Cost Estimate for Echo Lake STEP system

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### **REQUESTED ACTION**

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**Discussion only**



# *City of Presque Isle, Maine*

The Office of  
Director of Economic & Community Development

**Galen Weibley**

Email: [gweibley@presqueisleme.us](mailto:gweibley@presqueisleme.us)

## **MEMORANDUM**

|              |  |
|--------------|--|
| <b>TO:</b>   | <b>Martin Puckett, City Manager &amp; Members of the Presque Isle City Council</b> |
| <b>FROM:</b> | Galen Weibley, Director of Economic & Community Development                        |
| <b>DATE:</b> | April 26, 2021   |
| <b>RE:</b>   | <b>Echo Lake STEP System update</b>  |

Please find the enclosed layout and plan for the Echo Lake Road Septic Tank Effluent Pumping (STEP) System

As you are aware, the City has been the owner and operator of a wastewater system to service 14 residencies on Echo Lake Road since the 1980's. After completing study for the system by Woodard and Curran, the City had preliminary designs drafted by Haley Ward formally CES. DECD staff would like to present to the Council the features of the proposed STEP system and answer questions you may have regarding the design.

The purpose of this presentation is to be educational and help catalog the importance of this system to aid in acquiring outside federal resources that are part of infrastructure conversations in Washington D.C. Recently, Congressman Golden solicited communities for projects that can be funding through the federal ear marking process. DECD staff are pleased to inform the Council that we submitted a request and are awaiting a response by the Congressman. In addition to this opportunity, the City is also applying through the Northern Borders grant process to help in obtaining the necessary funds to complete the repairs.

Please do not hesitate to contact me should you have any questions.

### **Enclosures:**

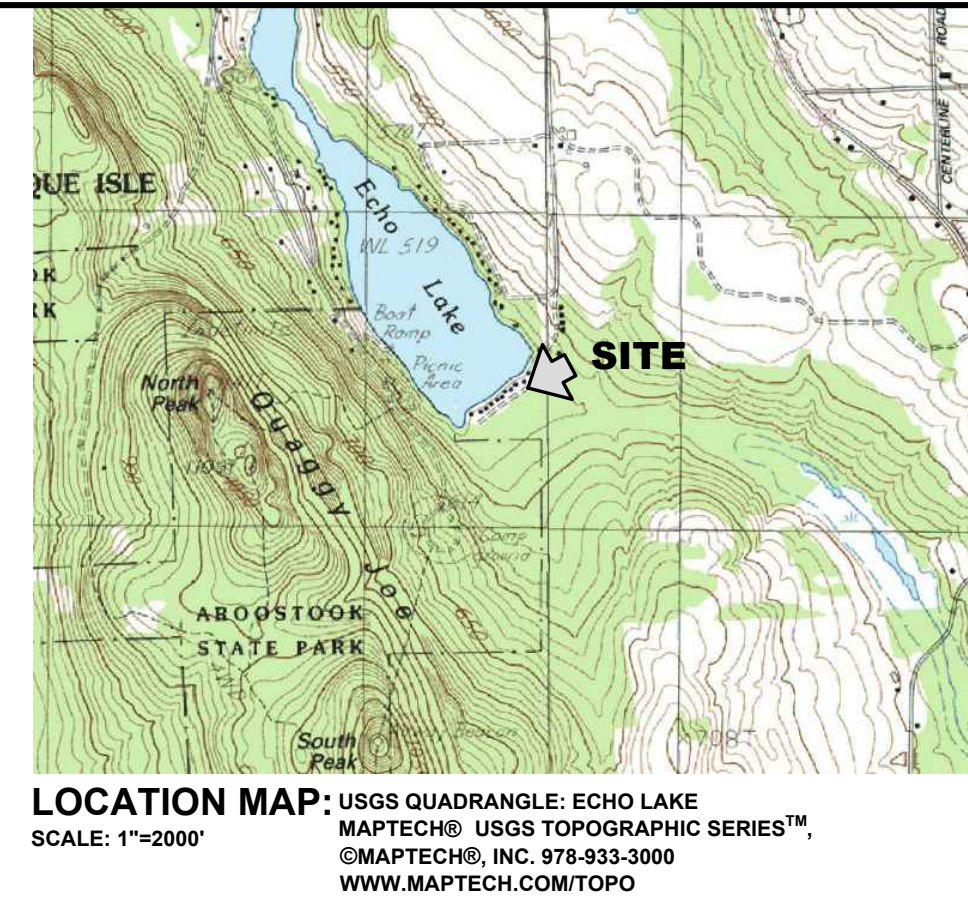
- \*Preliminary Design of Echo Lake STEP system
- \*Cost Estimate for Echo Lake STEP system



City of Presque Isle  
 Echo Lake Road Sanitary Sewer Replacement  
 Preliminary Design Level Cost Estimate  
 11/11/2020

| Item No.                       | Description                                   | Unit Cost     | Unit  | QTY       | Amount         |
|--------------------------------|---|---------------|-------|-----------|----------------|
| 1                              | Mobilization (5% Overall Construction Cost)   | \$ 31,000.00  | LS    | 1         | \$ 31,000      |
| 2                              | Temporary Erosion Control                     | \$ 5,000.00   | LS    | 1         | \$ 5,000       |
| 3                              | Quality Control/Quality Assurance             | \$ 2,500.00   | ALLOW | 1         | \$ 2,500       |
| 4                              | Site Demolition                               | \$ 10,000.00  | LS    | 1         | \$ 10,000      |
| 5                              | Unsuitable Material                           | \$ 30.00      | CY    | 50        | \$ 1,500       |
| 6                              | Rock Removal                                  | \$ 200.00     | CY    | 50        | \$ 10,000      |
| 7                              | Sub-Base Gravel (MDOT 703.06 Type D)          | \$ 30.00      | CY    | 125       | \$ 3,750       |
| 8                              | Base Gravel (MDOT 703.06 Type A)              | \$ 35.00      | CY    | 50        | \$ 1,750       |
| 9                              | Roadway Geotextile                            | \$ 2.00       | SY    | 250       | \$ 500         |
| 10                             | Pavement-Trench Repair                        | \$ 25.00      | SY    | 275       | \$ 6,875       |
| 11                             | Pavement-Driveway Apron Repair                | \$ 20.00      | SY    | 55        | \$ 1,100       |
| 12                             | Septic Tank Lift Station-1,000 Gallon         | \$ 7,500.00   | EA    | 12        | \$ 90,000      |
| 13                             | Septic Tank Lift Station-1,500 Gallon         | \$ 8,000.00   | EA    | 1         | \$ 8,000       |
| 14                             | Septic Tank Lift Station Electrical Service   | \$ 2,000.00   | EA    | 13        | \$ 26,000      |
| 15                             | 2-inch Dia. SDR 11 HDPE Force Main            | \$ 30.00      | LF    | 5,025     | \$ 150,750     |
| 16                             | 4-inch Dia. SDR 35 PVC Sanitary Sewer Service | \$ 50.00      | LF    | 170       | \$ 8,500       |
| 17                             | 6' Dia. Precast Concrete Duplex Pump Station  | \$ 100,000.00 | EA    | 1         | \$ 100,000     |
| 18                             | 4-inch Dia. SDR 11 HDPE Force Main            | \$ 100.00     | LF    | 275       | \$ 27,500      |
| 19                             | Disposal Field Replacement                    | \$ 125,000.00 | LS    | 1         | \$ 125,000     |
| 20                             | 4-inches Loam                                 | \$ 35.00      | CY    | 250       | \$ 8,750       |
| 21                             | Seed and Mulch                                | \$ 65.00      | UNIT  | 20        | \$ 1,300       |
| 22                             | Board Insulation                              | \$ 3.00       | SF    | 7,400     | \$ 22,200      |
| <b>Construction Subtotals</b>  |   |               |       | <b>\$</b> | <b>641,975</b> |
| <b>Approx. 20% Contingency</b> |   |               |       | <b>\$</b> | <b>128,025</b> |
| <b>Total Improvements</b>      |   |               |       | <b>\$</b> | <b>770,000</b> |



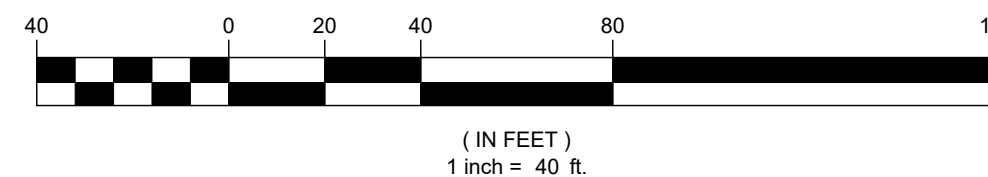


| LEGEND:                  |                 |                 |
|--------------------------|-----------------|-----------------|
| DESCRIPTION              | EXISTING        | PROPOSED        |
| APPROX. PROPERTY LINE    | ---             | ---             |
| BENCHMARK                |                 |                 |
| MANHOLE                  |                 |                 |
| UTILITY POLE             |                 |                 |
| GUY ANCHOR               |                 |                 |
| PIN FOUND                |                 |                 |
| MAILBOX                  |                 |                 |
| WELL                     |                 |                 |
| EDGE OF GRAVEL           | ---             | ---             |
| EDGE OF PAVEMENT         | ---             | ---             |
| MAJOR FOOT CONTOUR       | ----- 100 ----- | ----- 100 ----- |
| MINOR FOOT CONTOUR       | ----- 98 -----  | ----- 98 -----  |
| SANITARY SEWER           | ---             | ---             |
| OVERHEAD UTILITIES       | ---             | ---             |
| FORCE MAIN               | ---             | ---             |
| SILT FENCE               | ---             | ---             |
| UNDERGROUND ELECTRIC     | ---             | ---             |
| SEPTIC TANK LIFT STATION |                 |                 |

**PLAN REFERENCE:**  
INFORMATION BASED ON CONDITIONS FOUND AND SURVEYED  
BY CES, INC. ON SEPTEMBER 11, 2020. PROPERTY LINES ARE  
APPROXIMATE AND BASED ON CES, INC. SURVEY AND CITY OF  
PRESQUE ISLE GIS INFORMATION.

**PROPOSED SEWER PLAN**  
**FOR**  
**CITY OF PRESQUE ISLE**  
**PRESQUE ISLE, MAINE**

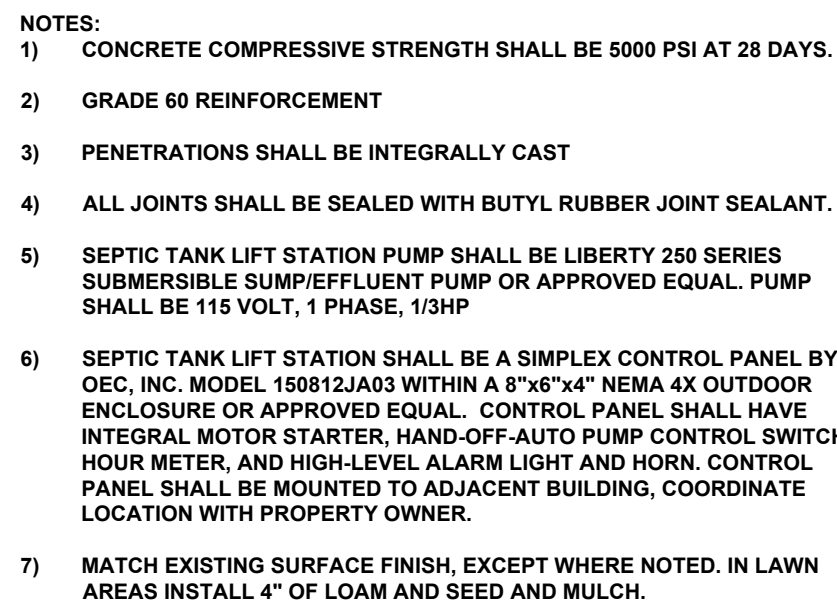
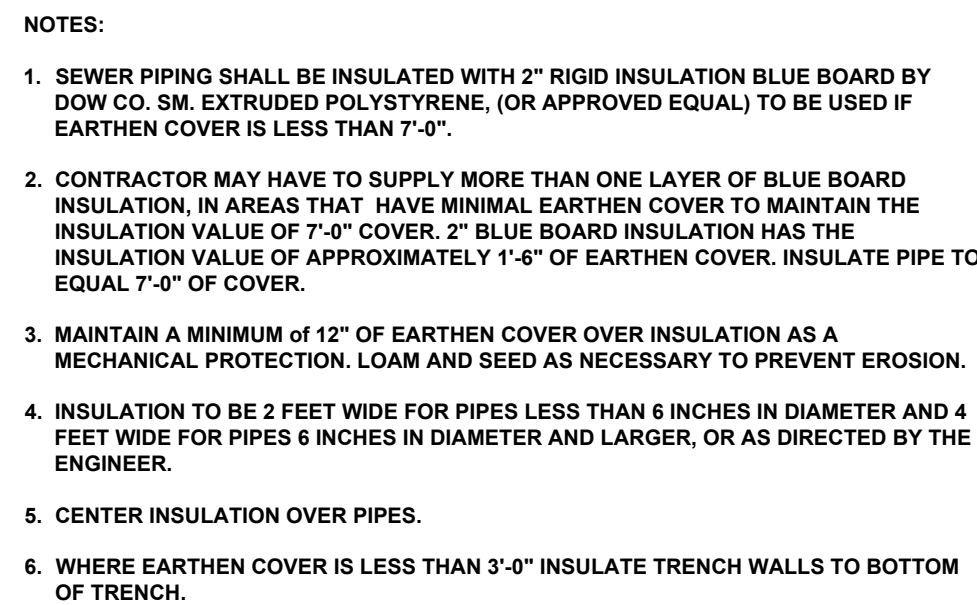
### GRAPHIC SCALE







1. PRECAST CONCRETE STRUCTURE TO CONFORM TO ASTM-478 SPECIFICATIONS, AND BE CASTED FOR R-H20 WHEEL LOADING.
2. ALL CONCRETE SHALL HAVE COMPRESSIVE STRENGTH FC = 5,000 PSI (28 DAY STRENGTH) EXCEPT AS NOTED. EXTENSION OF STRUCTURE SHALL BE COATED WITH A WATER-PROOFING CONCRETE COATING, CAMPER PPS-92 SUPERSEAL OR APPROVED EQUAL.
3. REINFORCING STEEL SHALL CONFORM TO ASTM-615-80, GRADE 60 AND SHALL BE REINFORCED TO A MINIMUM OF 0.24 IN/LF.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DESIGN OF ALL PRECAST STRUCTURES INCLUDING ANTI-FLOTATION SLABS AND MAY PROVIDE THE PRECAST STRUCTURES INCLUDING FLOTATION SLABS TO ANY COMPANY OF HIS CHOICE. SUBMIT A CERTIFICATE OF DESIGN DESIGNED BY A PROFESSIONAL ENGINEER, REGISTERED IN THE STATE OF MAINE AND HAVING FIVE (5) YEARS MINIMUM EXPERIENCE IN THE DESIGN OF SIMILAR STRUCTURES, TO THE OWNER AT THE TIME OF BIDDING. IF THE CONTRACTOR DOES NOT PROVIDE SLABS WHETHER PROVIDED SEPARATELY OR AS A MONOLITHIC UNIT, HAVE BEEN DESIGNED TO WITHSTAND ALL FORCES INCLUDING SOIL, TRAFFIC AND HYDROSTATIC IN ACCORDANCE WITH ALL APPLICABLE LAWS, REGULATIONS, RULES, AND CODES. BUOYANCY CALCULATIONS FOR THE STRUCTURE TO DETERMINE NECESSARY ANTI-FLOTATION MEASURES SHALL BE BASED UPON A FULLY SUBMERGED FLOOD AND/OR GROUNDWATER CONDITION.
5. ALL ACCESS STEPS TO BE CO-POLYMER POLYPROPYLENE PLASTIC COATED STEEL OR FORGED ALUMINUM ALLOY CONFORMING TO APPLICABLE SAFETY REQUIREMENTS. STEEL SHALL BE MINIMUM GRADE 60 OR EQUAL. ALUMINUM SHALL BE MINIMUM GRADE 6061-T6 OR EQUAL.
6. THROUGH WALL CONNECTIONS SHALL BE MOLDED NEOPRENE CLOUDED AND CONFORM TO ASTM-C393, NON-A-MESH CASKETS OR APPROVED EQUAL. EXTERNAL PIPE CLAMP SHALL BE STAINLESS STEEL STRAPS TO PERMIT LIMITED DIFFERENTIAL SETTLEMENT.
7. ALL STRUCTURE JOINTS SHALL BE WATER TIGHT WITH TWO LAYERS OF BUTYL RUBBER, CONSUEL CS102 OR APPROVED EQUAL..
8. ALL WET WELL INTERIOR PIPING SHALL BE SCHEDULE 80 PVC, ALL PIPE SUPPORTS AND BOLTS SHALL BE STAINLESS STEEL TYPE 316L WITH STAINLESS STEEL HARDWARE.
9. WET WELL VENT SHALL INCLUDE ODOOR CONTROL CANISTER WITH REMOVABLE ACTIVATED CARBON CARTRIDGE OR APPROVED EQUAL.
10. WET WELL ACCESS HATCH SHALL BE USE FABRICATION ASSOCIATES, OR OTHER (42" X 42" MIN.). ACCESS HATCH SHALL HAVE AN INTEGRAL SAFETY GRATE SYSTEM MEETING ALL CURRENT LOCAL, STATE AND FEDERAL REQUIREMENTS AND SHALL BE DESIGNED TO WITHSTAND 30 PSF PEDESTRIAN LOADS.
11. DUPLEX PUMP STATION SHALL USE (2) SUBMERSIBLE SOLIDS HANDLING PUMPS, MODEL XXXXXX. EACH PUMP SHALL BE EQUIPPED WITH A XXHP SUBMERSIBLE ELECTRIC MOTOR, CONNECTED FOR OPERATION ON 230 VOLTS, 1 PHASE, 60 HERTZ, WITH 50 FEET OF 1/2" INSULATED CABLE (SUBCAB) SUITABLE FOR SUBMERSIBLE PUMP APPLICATIONS. THE POWER CABLE SHALL BE SIZED ACCORDING TO NEC AND ICE STANDARDS AND ALSO MEET WITH M-PSHA APPROVAL. THE PUMP SHALL BE SUPPLIED WITH A MATING CATH PROTECT 2 INCH DISCHARGE CONNECTION AND BE CAPABLE OF XXX GPM AT XX' HEAD.
12. MAJOR PUMP COMPONENTS SHALL BE OF GREY CAST IRON, ASTM A-8, CLASS 35B, WITH SMOOTH SURFACES DEVOID OF BLOW HOLES OR OTHER IRREGULARITIES. THE LIFTING MEANS SHALL BE OF STEEL OR BRASS. ALL METAL PARTS SHALL BE PROTECTED BY A STAINLESS STEEL CONSTRUCTION. ALL METAL SURFACES COMING INTO CONTACT WITH THE PUMPAGE, OTHER THAN STAINLESS STEEL OR BRASS, SHALL BE PROTECTED BY A FACTORY APPLIED SPRAY COATING OF ACRYLIC DISPERSION ZINC CHROMIATE PRIMER WITH A POLYESTER RESIN PAINT FINISH ON THE EXTERIOR OF THE PUMP.
13. EACH PUMP SHALL HAVE 2-INCH DIAMETER STAINLESS STEEL GUIDE RAILS AND END BRACKETS, AND STAINLESS STEEL RETRIEVAL CHAIN.
14. THE DISCHARGE OF EACH PUMP SHALL HAVE A BALL CHECK VALVE; AND ASME CLASS 150 RISING STEM, FLANGED SS GATE VALVE OR APPROVED EQUAL.
15. THE PUMP MANUFACTURER SHALL PROVIDE THE SERVICES OF A FACTORY FIELD SERVICE TECHNICIAN FOR START-UP ASSISTANCE & TRAINING AT THE SITE TO INSPECT THE INSTALLATION AND INSTRUCT THE OPERATOR'S PERSONNEL ON THE OPERATION AND MAINTENANCE OF THE PUMPING UNITS.
16. PUMP CONTROL PANEL SHALL UL LISTED AND CONSTRUCTED TO NEMA 4X STANDARDS AND SHALL INCLUDE THE FOLLOWING COMPONENTS: 30MM OIL TIGHT PUMP RUN LIGHTS (GREEN); 30MM OIL TIGHT PUMP STOPPED LIGHTS (RED); 30MM OIL TIGHT PUMP FAILURE LIGHTS (RED); 30MM OIL TIGHT HAND-OFF-AUTO SWITCHES; PUMP HOUR METER; EC RATED 1/2 HP STARTERS WITH ADJUSTABLE OVERLOADS; MOTOR CIRCUIT BREAKERS; AND TOSHIBA VARIABLE FREQUENCY DRIVES FOR EACH PUMP; 30MM OIL TIGHT ON-OFF HIGH LEVEL ALARM SWITCH; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, RED, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, GREEN, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, YELLOW, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, BLUE, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, WHITE, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, BLACK, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, SILVER, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, GOLD, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, COPPER, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, BRASS, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, ALUMINUM, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, STEEL, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, IRON, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, LEAD, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, ZINC, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, MAGNESIUM, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, NICKEL, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, CADMIUM, NO LOCKOUT PUSH-BUTTON; 30MM OIL TIGHT, 1-3/4 INCH PLASTIC, EMERGENCY STOP, BARIUM, NO LOCKOUT PUSH-BUTTON; 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THIS PROJECT GENERALLY CONSISTS OF REPLACING THE EXISTING SANITARY SEWER COLLECTION AND DISPOSAL SYSTEM SERVING THE EAST ECHO LAKE ROAD IN THE CITY OF PRESQUE ISLE. THE WORK SHALL CONSIST OF THE FOLLOWING: REMOVAL OF EXISTING SANITARY TANKS AND SEPTIC TANKS; REPLACEMENT OF EXISTING SEPTIC TANK LIFT STATIONS (8); INSTALLATION OF 2-INCH DIAMETER FORCE MAINS FROM THE INDIVIDUAL SEPTIC TANK LIFT STATIONS TO THE DISPOSAL FIELD PUMP STATION; REPLACEMENT OF THE DISPOSAL FIELD PUMP STATION; REPLACEMENT OF THE DISPOSAL FIELDS; AND, OTHER RELATED WORK. PROVIDE ALL REQUIRED FITTINGS, MECHANICAL JOINT RETAINER GLANDS, AND OTHER APPURTENANCES AS OUTLINED IN THE PLANS AND SPECIFICATIONS. PROVIDE ALL SURFACE RESTORATION, TEMPORARY UTILITIES, EROSION CONTROL, TRAFFIC CONTROL AND OTHER WORK AS SPECIFIED OR APPURTENANT.

2. THIS PROJECT IS FUNDED BY THE MAINE DEP CLEAN WATER PROGRAM STATE REVOLVING FUND PROGRAM (SRF) AND THE CITY OF PRESQUE ISLE. THE CONTRACTOR MUST FOLLOW ALL APPLICABLE FUNDING AGENCY REGULATIONS AND REQUIREMENTS.

3. CONTRACTOR TO PROVIDE OWNER AND ENGINEER WITH A WORK PLAN OUTLINING THE WORK SCHEDULE, TRAFFIC CONTROL PLAN, AND WORK AREA BARRICADING PLAN TO BE APPROVED BY THE OWNER AND ENGINEER PRIOR TO CONSTRUCTION.

4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING A PRE-CONSTRUCTION VIDEO OF THE PROJECT AREA. COST SHALL BE INCIDENTAL TO THE PROJECT. CONTRACTOR TO PROVIDE A COPY OF THE VIDEO TO THE OWNER AND ENGINEER.

5. THE CONTRACTOR SHALL COORDINATE ALL CONSTRUCTION WITH THE CITY OF PRESQUE ISLE, PRESQUE ISLE UTILITY DISTRICT, UTILITY COMPANIES, DIG SAFE, EMERGENCY SERVICES AND MAINE DEPARTMENT OF TRANSPORTATION (MDOT) WHERE APPLICABLE. CONTRACTOR SHALL NOTIFY ALL UTILITIES PRIOR TO COMMENCING WORK TO ALLOW SUFFICIENT TIME TO LOCATE AND MARK THE LOCATION OF ALL BURIED UTILITIES. CONTRACTOR SHALL ALSO CONTACT "DIG SAFE", TELEPHONE NO 811 OR 888-DIG-SAFE. REPAIR OF ANY DAMAGED UTILITY WILL BE INCIDENTAL TO THIS PROJECT

6. THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER IN WRITING OF ANY CONDITION OR OCCURRENCE THAT REPRESENTS A CHANGE IN PROJECT SCOPE. VERBAL NOTIFICATION IS REQUIRED PRIOR TO PROCEEDING WITH THE WORK OF THE PROJECT AND WRITTEN NOTIFICATION MUST BE PROVIDED. REQUESTS FOR FEE ADJUSTMENTS WILL NOT BE CONSIDERED UNLESS PROPER NOTICE IS GIVEN

7. CONTRACTOR SHALL PROVIDE ALL LABOR, EQUIPMENT, AND MATERIALS AS REQUIRED TO PERFORM THE WORK AS INDICATED ON THE DRAWINGS AND IN THE SPECIFICATIONS. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE APPLICABLE FEDERAL, STATE AND LOCAL CODES.

8. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY CONSTRUCTION PERMITS. PERMIT APPLICATIONS SHALL BE SUBMITTED WITH ADEQUATE TIME SO AS NOT TO DELAY CONSTRUCTION.

9. THE CONTRACTOR SHALL SUPERVISE AND INSPECT THE WORK OF THIS PROJECT IN AN EFFICIENT AND COMPETENT MANNER. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES USED TO COMPLETE THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THE WORK IS IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. A REPRESENTATIVE OF THE GENERAL CONTRACTOR SHALL BE PRESENT DURING ALL PHASES OF THE WORK.

10. SAFETY IS THE RESPONSIBILITY OF THE CONTRACTOR. PERFORM ALL WORK IN ACCORDANCE WITH SAFETY STANDARDS OF APPLICABLE LAWS, BUILDING AND CONSTRUCTION CODES, THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" PUBLISHED BY THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA, THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, AND THE REQUIREMENTS OF TITLE 9 OF THE CODE OF FEDERAL REGULATIONS, PART 1926, "SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION".

11. THE LOCATIONS OF ALL PROPERTY LINES AND RIGHT OF WAYS ARE APPROXIMATE (SHOWN FOR REFERENCE ONLY), UNLESS NOTED OTHERWISE. PROPERTY LINES AND RIGHT OF WAYS SHOWN ARE NOT INTENDED TO REPRESENT LEGAL BOUNDARIES.

12. THE LOCATION, TYPE AND SIZE OF EXISTING PIPES, DUCTS, CONDUITS AND OTHER UNDERGROUND STRUCTURES SHOWN ON THE DRAWINGS ARE NOT WARRANTED TO BE EXACT NOR IS IT WARRANTED THAT ALL UNDERGROUND STRUCTURES ARE SHOWN. CONTRACTOR SHALL FIELD VERIFY ALL UTILITY LOCATIONS PRIOR TO COMMENCEMENT OF CONSTRUCTION. DEPTH OF SERVICES ARE UNKNOWN AND SHALL BE FIELD VERIFIED BY THE CONTRACTOR. EXCAVATING TEST PITS AS NECESSARY TO VERIFY UTILITY LOCATIONS AND DEPTHS SHALL BE INCIDENTAL TO THIS PROJECT.

13. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING TOPOGRAPHY AND EXISTING CONDITIONS PRIOR TO CONSTRUCTION.

14. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING PIPE SIZES, INVERTS, AND LOCATIONS, AND SHALL INCLUDE IN SUBMITTAL PRIOR TO ORDERING.

15. LAYOUT OF THE PROJECT IS THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL GRADE AND LAYOUT CONTROL. LAYOUT SHOULD BE PERFORMED WITH SURVEY EQUIPMENT AND OVERSEEN BY A LICENSED SURVEYOR. A CAD FILE WILL BE AVAILABLE TO THE CONTRACTOR.

16. THE WORK SHALL INCORPORATE EROSION CONTROL MEASURES WHICH ARE COMPLIANT WITH THE LATEST VERSION OF "MAINE EROSION AND SEDIMENT CONTROL HANDBOOK FOR CONSTRUCTION: BEST MANAGEMENT PRACTICES".

17. CONTRACTOR SHALL BE REQUIRED TO PROVIDE DUST CONTROL FOR PROJECT WHICH CAN INCLUDE, BUT IS NOT LIMITED TO, WATER AND CALCIUM CHLORIDE. COST IS INCIDENTAL TO THE PROJECT.

18. RESTRICT ACCESS TO SITE THROUGH THE USE OF APPROPRIATE SIGNAGE, GATES, BARRIERS, FENCES, ETC. SITE SHALL BE LEFT WITH APPROPRIATE SAFETY MEASURES IN PLACE DURING NON-WORKING HOURS. NO TRENCH SHALL BE LEFT OPEN DURING NON-WORKING HOURS. SITE SAFETY IS THE RESPONSIBILITY OF CONTRACTOR, DURING BOTH WORKING AND NON-WORKING HOURS.

19. HOURS FOR THE PROJECT WILL BE MONDAY THROUGH FRIDAY, FROM 7:00 AM TO 6:00 PM, UNLESS OTHERWISE AUTHORIZED BY THE OWNER.

20. CONTRACTOR SHALL PERFORM ALL CONSTRUCTION ACTIVITIES RELATED TO THE PROJECT WITHIN THE CONFINES OF THE RIGHT OF WAY OF THE STREETS AND UTILITY EASEMENTS. ANY ACTIVITY, MATERIAL STORAGE ETC., TAKING PLACE ON PRIVATE PROPERTY SHALL BE WITH THE EXPRESS WRITTEN PERMISSION OF THE OWNER AND PROPERTY OWNER AND COORDINATED WITH THE OWNER. WORK OUTSIDE OF THESE LIMITS MAY BE REQUIRED. THE OWNER WILL COORDINATE SECURING EASEMENTS FOR THIS WORK.

21. DO NOT PARK, IMPEDE ACCESS TO, OR STORE EQUIPMENT ON ADJACENT TOWN OR PRIVATELY OWNED LOTS, UNLESS PERMISSION HAS BEEN GRANTED IN WRITING BY TOWN AND/OR LAND OWNER.

22. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PREVENT EQUIPMENT FLUIDS FROM REACHING ANY WATER COURSE. ANY INADVERTENT FLUID DISCHARGES SHALL BE IMMEDIATELY CLEANED FROM THE WATERS USING WHATEVER MEANS NECESSARY, AS DETERMINED BY THE ENGINEER.

23. THE CONTRACTOR SHALL PROVIDE THRUST BLOCKS AT ALL TEES AND BENDS IN THE NEW FORCE MAIN PIPING UNLESS NOTED OTHERWISE.

24. CONTRACTOR SHALL BACKFILL TRENCH FOLLOWING EACH DAYS CONSTRUCTION. NO OPEN TRENCHES WILL BE ALLOWED OVERNIGHT UNLESS APPROVED BY ENGINEER AND PROPERLY BARRICADED (IE. SNOW FENCING, CHAIN LINK FENCING, JERSEY BARRIER OR APPROVED EQUIV. CAUTION RIBBON AND EQUIPMENT PLACEMENT WILL NOT BE APPROVED AS BARRICADING. CONTRACTOR IS RESPONSIBLE TO MAINTAIN TRENCH AS DIRECTED BY THE ENGINEER

25. ALL FINISH SURFACES SHALL BE INSTALLED TO PROMOTE POSITIVE DRAINAGE. IN NO WAY SHALL THE NEW FINISH SURFACES CREATE DRAINAGE PROBLEMS THAT DID NOT EXIST PRIOR TO CONSTRUCTION.

26. CONTRACTOR SHALL CONTACT UTILITY POLE OWNERS ADJACENT TO AREAS OF EXCAVATION TO ARRANGE POLE SUPPORT DURING EXCAVATION. BRACING OF UTILITY POLES WHERE REQUIRED SHALL BE INCIDENTAL TO THE PROJECT AND NO SEPARATE PAYMENT SHALL BE MADE UNLESS OTHERWISE NOTED.

27. ALL SIGNING, SIGNAL, AND STRIPING MATERIALS AND PLACEMENT SHALL CONFORM TO THE MDOT STANDARD SPECIFICATIONS, SUPPLEMENTAL SPECIFICATIONS AND STANDARD DETAILS AND WITH FEDERAL HIGHWAY ADMINISTRATION "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES".

28. RESTORE ALL AREAS DISTURBED BY CONTRACTORS OPERATION TO ORIGINAL CONDITIONS (GRAVEL, PAVEMENT, GRASS, CURB, ETC.) UNLESS NOTED OTHERWISE ON THE PLANS. RESTORATION OF ROADS, CURBS, PARKING SURFACES AND LAWNS DAMAGED BY THE CONTRACTOR SHALL BE INCIDENTAL TO THE PROJECT.

29. EXISTING FACILITIES, PLANTINGS AND IMPROVEMENTS (I.E. TREES, LIGHT POLES, SIGNS, CONCRETE SIDEWALK, ETC.) SHALL BE REMOVED AND REPLACED OR PROTECTED AS REQUIRED DURING CONSTRUCTION. THE ASSOCIATED COSTS ARE INCIDENTAL TO THE PROJECT.

30. ALL MATERIALS SCHEDULED FOR REMOVAL SHALL BE DISPOSED OF IN A LEGAL MANNER BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER. THE OWNER HAS THE FIRST RIGHT AND REFUSAL FOR ANY DEMOLITION MATERIALS.

31. DISPOSAL OF SURPLUS SOLID MATERIAL SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. SURPLUS MATERIAL SHALL NOT BE DISPOSED OF ON THE PROJECT SITE. DISPOSAL SHALL BE MADE ONLY AT WASTE AREAS WHICH ARE LICENSED TO ACCEPT SUCH MATERIALS. THE FIRST RIGHT AND REFUSAL FOR ANY SURPLUS SOLID MATERIALS SHALL BE THE FIRST RIGHT AND REFUSAL FOR ANY SURPLUS SOLID MATERIALS.

32. CONTRACTOR SHALL MAINTAIN SEWER SERVICE TO RESIDENTS AT ALL TIMES. CONTRACTOR SHALL COORDINATE CONNECTION OF SERVICES TO THE NEW SYSTEM WITH THE CITY OF PRESQUE ISLE.

33. CONTRACTOR SHALL COORDINATE DISRUPTION OF PRIVATE UTILITY SERVICES WITH PROPERTY OWNER AT LEAST TWO DAYS (48 HOURS) PRIOR TO DISRUPTION. ALL UTILITY CONNECTION COORDINATION IS RESPONSIBILITY OF CONTRACTOR.

34. SEWER SERVICES SHALL NOT BE DISRUPTED AT ANY HOUR PRIOR TO 10:00 AM. CONTRACTOR SHALL PROVIDE WRITTEN NOTIFICATION OF SERVICE DISRUPTION TO THE PROPERTY OWNER.

35. ALL WASTEWATER FLOWS IN EXISTING SEWERS MUST BE MAINTAINED DURING CONSTRUCTION. COST IS INCIDENTAL TO THE PROJECT.

36. ALL EXISTING SEWER MAINS ABANDONED SHALL BE CAPPED AND FILLED WITH FLOWABLE FILL, COST SHALL BE INCIDENTAL TO PROJECT.

37. UNLESS OTHERWISE NOTED, RIM ELEVATIONS FOR PROPOSED STRUCTURES SHALL BE FIELD ADJUSTED TO FINISHED GRADES IN ACCORDANCE WITH DETAILS.

38. ALL TEST PITS NECESSARY TO LOCATE EXISTING SEPTIC TANKS AND SERVICES SHALL BE INCIDENTAL TO THE PROJECT.

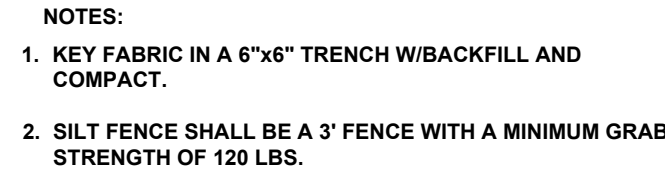
39. CONTRACTOR SHALL MAINTAIN TRAFFIC IN A SAFE MANNER AT ALL TIMES DURING CONSTRUCTION. MDOT TRAFFIC CONTROL AND SIGNAGE REQUIREMENTS SHALL APPLY ON THE TOWN OF MILFORD STREETS. THE CONTRACTOR SHALL MAKE EVERY EFFORT TO MAINTAIN CONTINUOUS FLOW OF TRAFFIC THROUGH THE ROAD. THE ROADS SHALL NOT BE CLOSED TO TRAFFIC WITHOUT PERMISSION FROM THE TOWN OF MILFORD.

40. PROPERLY PROTECT AND DO NOT DISTURB PROPERTY IRONS AND MONUMENTS. IF DISTURBED, THE PROPERTY MONUMENT WILL BE RESET AT THE CONTRACTOR'S EXPENSE, BY A REGISTERED LAND SURVEYOR APPROVED BY THE ENGINEER.

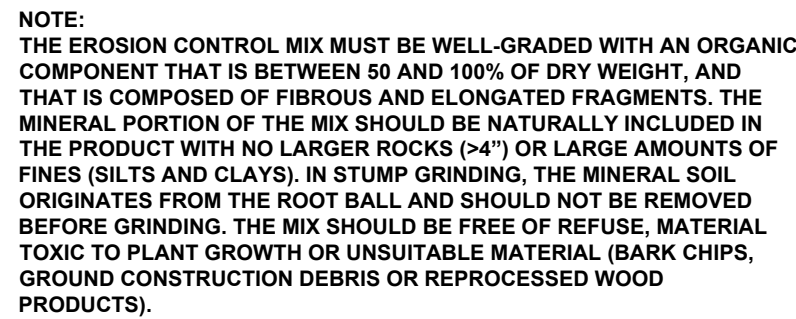
41. THE OWNER REQUIRES THAT UPON COMPLETION OF CONSTRUCTION, A COMPLETE SET OF "AS-BUILT" DRAWINGS THAT REFLECT ANY AND ALL MODIFICATIONS TO THE PROJECT WITHIN THE PROJECT LIMITS BE SUBMITTED TO THE OWNER. THESE DRAWINGS SHALL BE SUBMITTED IN BOTH DIGITAL (CAD) DRAWING AND HARD COPY FORMAT. A CAD FILE WILL BE AVAILABLE TO THE CONTRACTOR.

1. ALL SEDIMENTATION AND EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH THE MAINE EROSION AND SEDIMENTATION CONTROL BEST MANAGEMENT PRACTICES (BMPs), PUBLISHED BY THE BUREAU OF LAND AND WATER QUALITY, MAINE DEPARTMENT OF ENVIRONMENTAL PROTECTION, LATEST EDITION.
2. SILT FENCE WILL BE INSPECTED, REPLACED AND/OR REPAIRED IMMEDIATELY FOLLOWING ANY SIGNIFICANT RAINFALL. RAINFALL SHALL BE DEFINED AS ANY RAINFALL THAT RESULTS IN SEDIMENT ACCUMULATION. AT A MINIMUM, ALL EROSION CONTROL DEVICES WILL BE OBSERVED WEEKLY.
3. DURING THE CONSTRUCTION PHASE, INTERCEPTED SEDIMENT WILL BE RETURNED TO CONSTRUCTION SITE.
4. SEDIMENT CONTROL DEVICES SHALL REMAIN IN PLACE AND BE MAINTAINED BY THE CONTRACTOR UNTIL AREAS UPLAND ARE STABILIZED BY A SUITABLE GROWTH OF GRASS. ONCE A SUITABLE GROWTH OF GRASS HAS BEEN OBTAINED, ALL TEMPORARY EROSION CONTROL ITEMS SHALL BE REMOVED BY THE CONTRACTOR. ANY SEDIMENT DEPOSITS REMAINING IN PLACE AFTER THEY ARE REMOVED SHALL BE DRESSED TO CONFORM WITH THE EXISTING GRADE, PREPARED, SEED, AND MULCHED IMMEDIATELY.
5. ALL DISTURBED AREAS WILL BE SEED WITH 2.5 LBS. RED FESCUE AND 0.5 LBS. RYE GRASS PER 1,000 SQUARE FEET AND MULCHED AT A RATE OF 90 LBS. PER 1,000 SQUARE FEET OR EQUIVALENT APPLICATION OF SEED AND MULCH.
6. A SUITABLE BINDER SUCH AS CURASOL OR TERRTACK WILL BE USED ON THE HAY MULCH FOR WIND CONTROL.
7. IF FINAL SEEDING OF DISTURBED AREAS IS NOT COMPLETED BY SEPTEMBER 15TH OF THE YEAR OF CONSTRUCTION, THEN ON THAT DATE THESE AREAS WILL BE GRADED AND SEED WITH WINTER RYE AT THE RATE OF 112 POUNDS PER ACRE OR 3 POUNDS PER 1000 SQUARE FEET. THE RYE SEEDING WILL BE PRECEDED BY AN APPLICATION OF 3 TONS OF LIME AND 800 LBS. OF 10-20-20 FERTILIZER OR ITS EQUIVALENT. MULCH WILL BE APPLIED AT A RATE OF 90 POUNDS PER 1000 SQUARE FEET.
8. IF THE RYE SEEDING CANNOT BE COMPLETED BY OCTOBER 1st OR IF THE RYE DOES NOT MAKE ADEQUATE GROWTH BY DECEMBER 1st, THEN ON THOSE DATES, HAY MULCH WILL BE APPLIED AT 150 POUNDS PER 1000 SQUARE FEET.
9. ALL DRAIN BASIN AREAS TO BE PROTECTED BY STRAW BALE OR SILT FENCE IN ACCORDANCE WITH SECTION B-3 STORM DRAIN INLET PROTECTION OF THE MAINE EMP HANDBOOK. SURROUNDING AREAS CAN BE EXCAVATED OR LEFT LOW AS A SEDIMENT TRAP. CURB INLETS SHALL BE PROTECTED BY GUTTERGATORS, OR APPROVED EQUIVALENT.
10. INTERIOR SILT FENCES ALONG CONTOUR DIVIDING FLAT AND STEEP SLOPES, AREAS WITH DIFFERENT DISTURBED SCHEDULES, AROUND TEMPORARY STOCKPILES OR IN OTHER UNSPECIFIED POSSIBLE CIRCUMSTANCES SHOULD BE CONSIDERED BY THE CONTRACTOR. THE INTENT OF SUCH INTERIOR SILT FENCES IS TO LIMIT SEDIMENT TRANSPORT WITHIN THE SITE TOWARD THE PROTECTED CATCH BASIN INLETS TO MINIMIZE SEDIMENT REMOVAL REQUIRED BY THE EROSION CONTROL NOTE 9 PROTECTIONS AND EXTEND LIFE TO THESE DEVICES.
11. CONTRACTOR TO PROVIDE SEDIMENT SACS IN ALL EXISTING BASINS PRIOR TO CONSTRUCTION.
12. MINIMUM EROSION CONTROL MEASURES WILL NEED TO BE IMPLEMENTED AND THE CONTRACTOR WILL BE RESPONSIBLE TO MAINTAIN ALL COMPONENTS OF THE EROSION CONTROL PLAN UNTIL THE SITE IS FULLY STABILIZED. HOWEVER, DUE TO WEATHER CONDITIONS, ADDITIONAL EROSION CONTROL MEASURES MAY NEED TO BE IMPLEMENTED. ALL AREAS OF INSTABILITY AND EROSION WILL BE REPAIRED IMMEDIATELY DURING CONSTRUCTION AND NEED TO BE MAINTAINED UNTIL THE SITE IS FULLY STABILIZED. TREES OR VEGETATION THAT ARE NOT AFFECTED BY CONSTRUCTION LOG MUST BE MAINTAINED FOR THE EROSION AND SEDIMENTATION CONTROL INSPECTIONS AND MAINTENANCE

CONTRACTOR WILL BE RESPONSIBLE FOR FOLLOWING PROCEDURES FOUND IN THE "MAINE EROSION AND SEDIMENT CONTROL PRACTICES FIELD GUIDE FOR CONTRACTORS" (INDEXED MARCH 2015), THE PUBLICATION CAN BE FOUND AT: <http://www.maine.gov/DEP/Land/EROSION/ESC/BMPs/indexed.html>



**N.T.S.**



N.T.S. (MAY BE USED AS AN ALTERNATE TO SILT FENCE)



# **PRESQUE ISLE CITY COUNCIL MEETING**

**For:**

May 5, 2021

## **AGENDA ITEM # 12**

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**SUBJECT**

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**NEW BUSINESS:** Forum HVAC

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**INFORMATION**

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Information provided at meeting

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**REQUESTED ACTION**

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**Discussion only**



# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # 13

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### SUBJECT

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**NEW BUSINESS:** Tax Acquired Property

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### INFORMATION

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1) Memo from Brad Turner, dated April 28, 2021

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ that the City Council authorize the City Treasurer to prepare a quit claim deed to abutting taxpayer for the price of \$1,000.00 and to demolish/cleanup property in 2021.



## *City of Presque Isle, Maine*

Finance Department

From the desk of:

**Bradley Turner**

Email: [bturner@presqueisleme.us](mailto:bturner@presqueisleme.us)

### **MEMORANDUM**

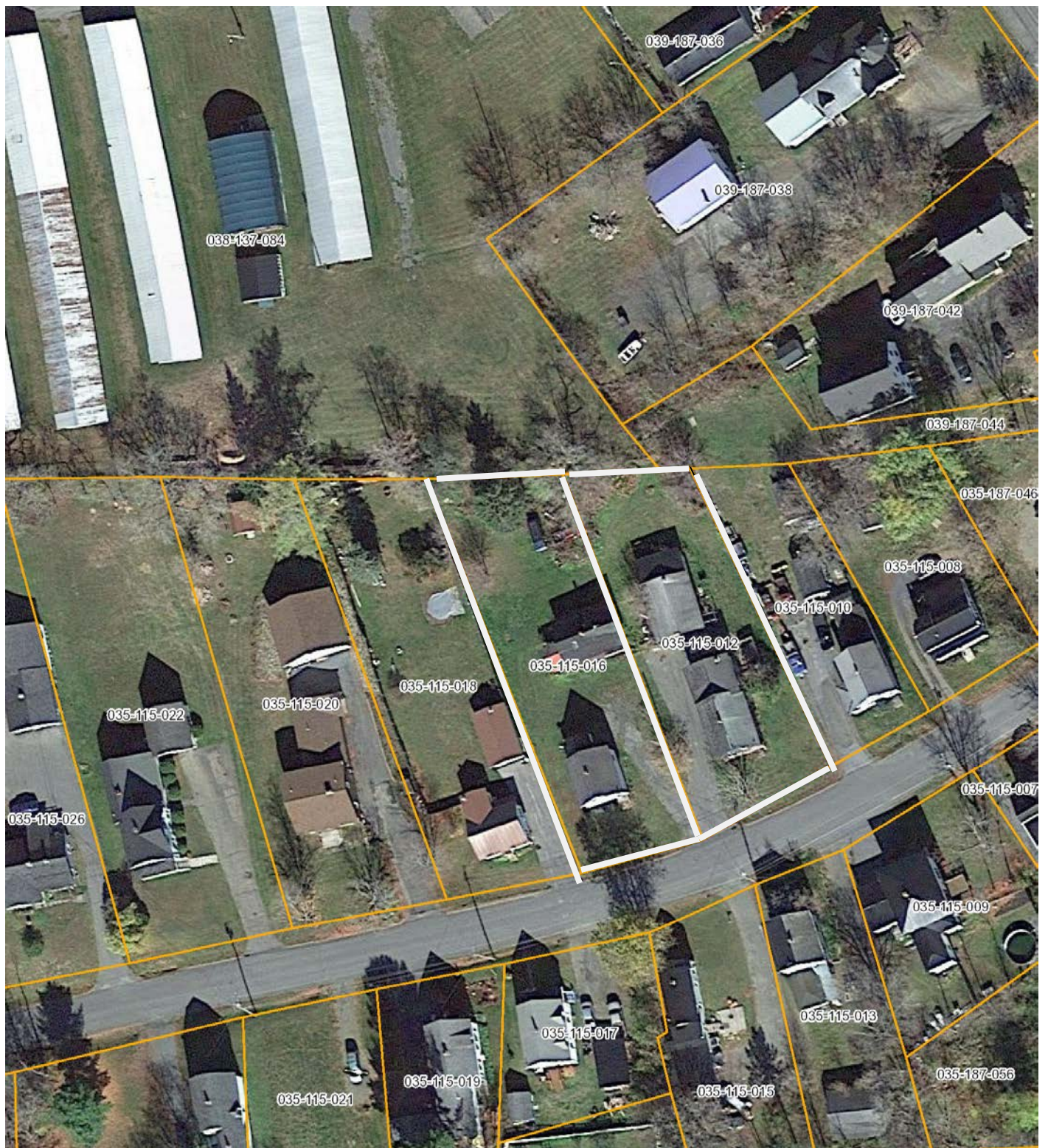
|              |                                  |
|--------------|----------------------------------|
| <b>TO:</b>   | <b>Presque Isle City Council</b> |
| <b>FROM:</b> | <b>Bradley Turner, Treasurer</b> |
| <b>DATE:</b> | <b>April 29, 2021</b>            |
| <b>RE:</b>   | <b>Tax Acquired Properties</b>   |

The properties at 12 Judd St and 16 Judd St have been tax acquired since 2013. I have been approached by an abutting taxpayer with interest in purchasing the properties for \$1000.00. The properties have been neglected for a long time and there is substantial water damage along with animals living in the structures. The abutter has taken some photographs that I have included for review. His plans are to tear the properties down at his cost which would save the City at least 20-25k. If the offer is accepted there would be a stipulation for a strict timeline in the demolition of the properties which the abutter agreed that it would be cleaned up this summer. Please review the pictures and make a recommendation on what we should do with the properties. I can't find record of the properties put out to bid in any of the past documents from the prior Finance Director but I would assume they must have been and no bids were received.

Attachment A: Photographs of 12 and 16 Judd Street along with an aerial map of the property.

### **RESOLVE:**

**BE IT RESOLVED** by \_\_\_\_\_ and seconded by \_\_\_\_\_ that the City Council authorize the City Treasurer to prepare a quit claim deed to abutting taxpayer for the price of \$1000.00 and to demolish/cleanup property in 2021.

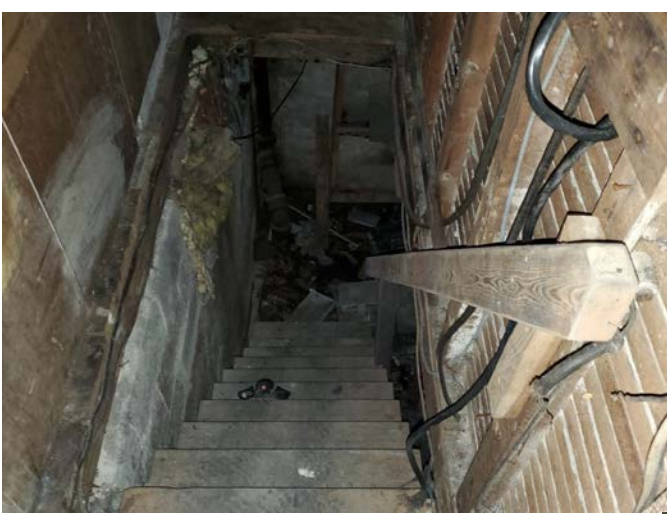




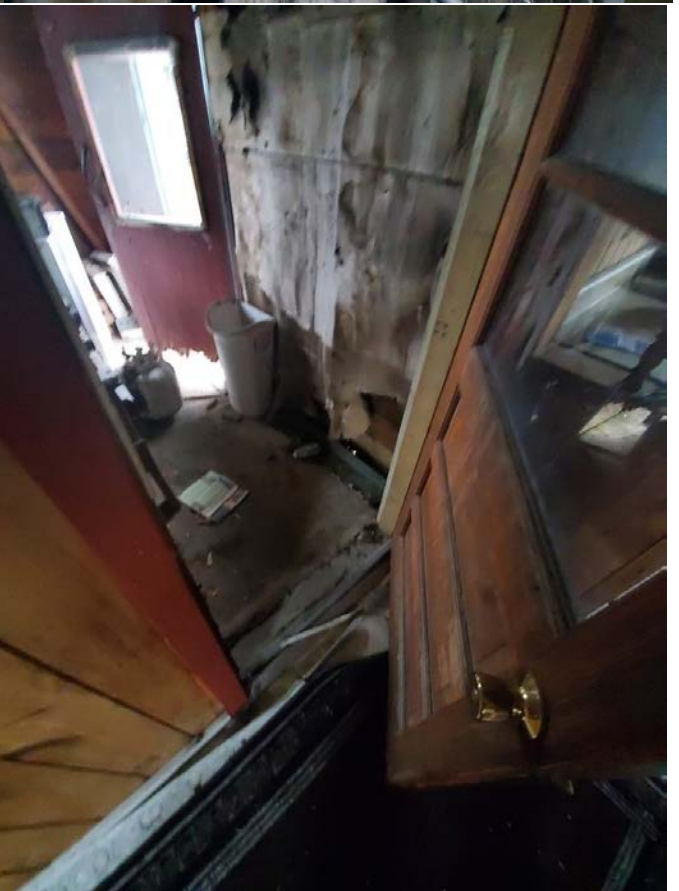


















# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # EXECUTIVE SESSION

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### SUBJECT

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**EXECUTIVE SESSION:** Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations

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### INFORMATION

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to enter into Executive Session pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations matter.

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # EXECUTIVE SESSION

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### SUBJECT

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**EXECUTIVE SESSION:** Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations

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### INFORMATION

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to enter into Executive Session pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations matter.

# PRESQUE ISLE CITY COUNCIL MEETING

**For:**

May 5, 2021

## AGENDA ITEM # EXECUTIVE SESSION

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### SUBJECT

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**EXECUTIVE SESSION:** Pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations

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### INFORMATION

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### REQUESTED ACTION

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**BE IT RESOLVED** by Councilor \_\_\_\_\_, seconded by Councilor \_\_\_\_\_ to enter into Executive Session pursuant to 1 M.R.S.A. § 405(6)(D) to discuss Negotiations matter.

# **PRESQUE ISLE CITY COUNCIL ANNOUNCEMENTS**

**Wednesday, May 5, 2021**

- If anyone has any interest in joining a Board or Committee please see the City Clerk or apply online.
- The next regularly scheduled meeting of the Presque Isle City Council is on Wednesday, June 2, 2021 at 6:00 PM in the Council Chambers at City Hall.