



March 15, 2023

The City of San Carlos – Objective Design Standards

The ODS largely will be integrated into Chapters 18.04 (Residential Districts) and 18.05 (Mixed Use Districts), but minor amendments may also be made to 18.15 (General Site Regulations) and 18.18 (Landscaping). This version reflects our proposed reorganization of Chapter 18.04, but we understand the city would rather not reorganize. Thus, we will later indicate where the new standards plug into the existing structure in Chapter 18.04.

Color Code

Existing Standards

Modified Standards

New Standards (identification of gaps)

18.04.010 Purpose and Applicability

The specific purposes of the residential districts are to:

- A. Preserve, protect, and enhance the character of the City's different residential neighborhoods.
- B. Ensure adequate light, air, and open space for each dwelling.
- C. Ensure that the scale and design of new development and alterations to existing structures are compatible with surrounding homes and appropriate to the physical characteristics of the site and the area where the project is proposed.
- D. Provide sites for public and semi-public land uses, such as parks and public safety facilities, that will serve City residents and will complement surrounding residential development.

Additional purposes of each residential district which follow implement General Plan classifications of "Single-Family, 3 du/acre," "Single-Family, 6 du/acre" "Multiple-Family, 20 du/acre," "Multiple-Family, 59 du/acre," and Muti-Family, 100 du/acre."

- E. **RS-3 Single-Family.** This district is intended for residential densities up to three (3) units per net acre. Dwelling types may include detached single-unit units, accessory dwelling units, **second single-unit units constructed pursuant to Government Code Sections 65852.21 and 66411.7 ("infill units")**, and duplexes. In addition to residential units, this district provides for uses such as small and large family childcare, park and recreation

facilities, and community gardens that may be appropriate in low-density residential neighborhoods.

- F. RS-6 Single-Family. This district is intended for residential densities up to six (6) units per net acre. Dwelling types may include detached single-unit housing, small lot single-unit development, **infill units**, duplexes, townhomes, and accessory dwelling units. This district also allows for uses such as small and large family childcare, park and recreation facilities, and civic and institutional uses such as schools and places for community assembly that may be appropriate in low-density residential neighborhoods.
- G. RM-20 Multiple-Family. This district is intended for residential densities of up to twenty (20) units per net acre developed at a scale and form that is appropriate to its neighborhood context and adjacent uses. Dwelling types include small lot single-unit development, bungalow courts, front or rear loaded townhomes, multi-unit buildings, and accessory dwelling units. This district also allows for limited uses such as small and large family day care, park and recreation facilities, and civic and institutional uses such as schools and places for community assembly that are appropriate in a low density multifamily residential environment.
- H. RM-59 Multiple-Family. This district is intended for residential development at densities up to fifty-nine (59) units per net acre. This density range accommodates townhomes and multi-unit buildings developed at a scale and form that is appropriate to its neighborhood context and adjacent single-family residential uses and forms. Small lot single-unit and bungalow court development is allowed where site conditions exist rendering the development type equal to or better than multi-unit or townhome development. Accessory dwelling units are also permitted in this district. In addition to residential uses, this district allows for a limited number of public and semi-public uses such as day care centers, public safety facilities, and residential care facilities that are appropriate in a medium density multifamily residential environment. (Ord. 1568 § 1 (Exh. A), 2021; Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)
- I. RM-100 Multiple-Family. This district is intended for residential development at densities up to one hundred (100) units per net acre. This density range accommodates townhomes and multi-unit buildings developed at a scale and form that exemplifies high quality development. Accessory dwelling units are also permitted in this district. In addition to residential uses, this district allows for a limited number of public and semi-public uses such as day care centers, public safety facilities, and residential care facilities that are appropriate in a high density multifamily residential environment.

18.04.020 Land Use Regulations

Table 18.04.020 prescribes the land use regulations for residential districts. The regulations for each district are established by letter designations as follows:

“P” designates permitted uses.

“M” designates use classifications that are permitted after review and approval of a minor use permit by the Zoning Administrator.

“C” designates use classifications that are permitted after review and approval of a conditional use permit by the Planning Commission.

“(#)” numbers in parentheses refer to specific limitations listed at the end of the table.

“-” designates uses that are not permitted.

Use classifications are defined in Chapter 18.40, Use Classifications. In cases where a specific land use or activity is not defined, the Director shall assign the land use or activity to a classification that is substantially similar in character. Use classifications and subclassifications not listed in the table or not found to be substantially similar to the uses below are prohibited. The table also notes additional use regulations that apply to various uses. Section numbers in the right-hand column refer to other sections of this title.

TABLE 18.04.020: LAND USE REGULATIONS—RESIDENTIAL DISTRICTS

Use Classification	RS-3	RS-6	RM-20	RM-59	RM-100	Additional Regulations
Residential Uses						
Residential Housing Types	See subclassifications below					
Single-Unit Dwelling	P	P	-	-	-	
Small Lot Single-Unit Development	-	C(1)	P	C(2)	C(2)	
Bungalow Court	-	C(1)	P	C(2)	C(2)	
Accessory Dwelling Unit	P	P	P	P	P	

TABLE 18.04.020: LAND USE REGULATIONS—RESIDENTIAL DISTRICTS

Use Classification	RS-3	RS-6	RM-20	RM-59	RM-100	Additional Regulations
Junior Accessory Dwelling Unit	P	P	-	-	-	See Section <u>18.04.070</u> , Residential development types
Duplex	-	C	P	-	-	
Infill Units	P	P	-	-	-	
Townhouse Development	-	C	P	P	P	
Multi-Unit Residential	-	-	P	P	P	
Elderly and Long-Term Care	-	-	-	C	C	
Family Day Care	See subclassifications below					
Small	P	P	P	P	P	
Large	P	P	P	P	P	
Group Residential	-	-	-	P	P	
Residential Care Facilities	See Subclassification below					
General	-	-	M	M	M	See Section <u>18.23.200</u> , Residential care facilities
Limited	P	P	P	P	P	

TABLE 18.04.020: LAND USE REGULATIONS—RESIDENTIAL DISTRICTS

Use Classification	RS-3	RS-6	RM-20	RM-59	RM-100	Additional Regulations
Senior	-	-	M	M	M	See Section <u>18.23.200</u> , Residential care facilities
Single Room Occupancy	-	-	C	C	C	See Section <u>18.23.220</u> , Single room occupancy hotels
Transitional Housing	P	P	P	P	P	See Section <u>18.23.250</u> , Transitional and supportive housing
Supportive Housing	P	P	P	P	P	See Section <u>18.23.250</u> , Transitional and supportive housing
Public and Semi-Public Uses						
Community Assembly	-	C	-	C	C	See Section <u>18.23.080</u> , Community assembly facilities
Community Garden	P	P	P	P	P	
Cultural Institution	-	C	-	C	C	
Day Care Centers	-	-	-	P	P	See Section <u>18.23.090</u> , Day care
Park and Recreation Facilities, Public	P	P	P	P	P	
Public Safety Facilities	-	C	C	C	C	
Schools, Public or Private	-	C	C	C	C	

TABLE 18.04.020: LAND USE REGULATIONS—RESIDENTIAL DISTRICTS

Use Classification	RS-3	RS-6	RM-20	RM-59	RM-100	Additional Regulations
Social Service Facilities	-	-	-	M	M	
Commercial Uses						
Eating and Drinking Establishments, Convenience	-	C(3)	-	-	-	See Section <u>18.23.140</u> , Outdoor dining
Retail Sales, Convenience Markets	-	C(3)	-	-	-	
Transportation, Communication, and Utilities Uses						
Communication Facilities	See Chapter <u>18.24</u> , Wireless Telecommunications Facilities					
Utilities, Minor	P	P	P	P	P	
Other Applicable Types						
Accessory Uses and Structures	See Sections <u>18.15.020</u> , Accessory buildings and structures, and <u>18.23.030</u> , Accessory uses					
Home Occupations	P	P	P	P	P	See Section <u>18.23.120</u> , Home occupations
Nonconforming Use	Chapter <u>18.19</u> , Nonconforming Uses, Structures, and Lots					
Temporary Use	See Section <u>18.23.240</u> , Temporary uses					

Specific Limitations:

1. In addition to standard use permit findings, the Planning Commission must find that the development complies with the objective design standards set forth in this Chapter.
2. Subject to the following limitations:
 - a. Limited to cafes, coffee shops, delis, and neighborhood markets. Full service restaurants are not allowed.
 - b. Limited to one thousand five hundred square feet of sales area.
 - c. Hours of operation are limited to between seven a.m. and nine p.m.
 - d. Must be located within a two-story building.
 - e. Must be located on a corner lot with frontage on an arterial a minimum of one-half mile from the MU-DC-100, MU-D-100, and MU-D-120 districts and other existing neighborhood-serving retail.
 - f. In addition to the findings required for all use permits, the Planning Commission must find that the proposed use promotes community health, interaction, and socialization of the neighborhood; complements the residential character of the surrounding neighborhood; and will not adversely impact adjacent properties.

(Ord. 1568 § 1 (Exh. A), 2021; Ord. 1566 (Exh. B (part)), 2020; Ord. 1537 (Exh. B (part)), 2018; Ord. 1480 (Exh. B (part)), 2015; Ord. 1438 § 4 (Exh. A (part)), 2011)

18.04.030 RS District Standards

A. Introduction

1. Table 18.04.030 prescribes the development standards for RS districts. Additional regulations are denoted in a right-hand column. Section numbers in this column refer to other sections of this title, while individual letters refer to subsections that directly follow the table. The numbers in each illustration below refer to corresponding regulations in the “#” column in the associated table.
2. The standards set forth in this section shall apply to all development applications in the RS district. Proposed development projects that conform with all development and design standards contained in this chapter shall qualify for approval as a matter of right and subject only to Zoning Clearance review pursuant to Chapter 18.28 (Zoning Clearance) of this title. For proposed projects that deviate from one or more development or design standards, such applications shall be subject to either the provisions of Chapter 18.29 (Design Review) or Chapter 18.32 (Variances), as indicated as follows. If an application involves more than one deviation and at least one of those deviations requires a Variance application, the entire application shall be considered through the Variance process, but only those deviations requiring approval of a Variance shall be subject to the required Variance findings.
 - a. Deviations Subject to Design Review. Any application involving a deviation from the following shall be subject to Design Review pursuant to Chapter 18.29:
 - i. Building articulation and massing
 - ii. Building materials and colors
 - iii. Building modification to preserve a protected tree, unless a setback modification requires a variance.
 - iv. Driveway location, width, and configuration
 - v. Entry location, connectivity, and treatments
 - vi. Garage location and setbacks
 - vii. Landscape design
 - viii. Porch design
 - ix. Roof form and detail
 - x. Window treatments

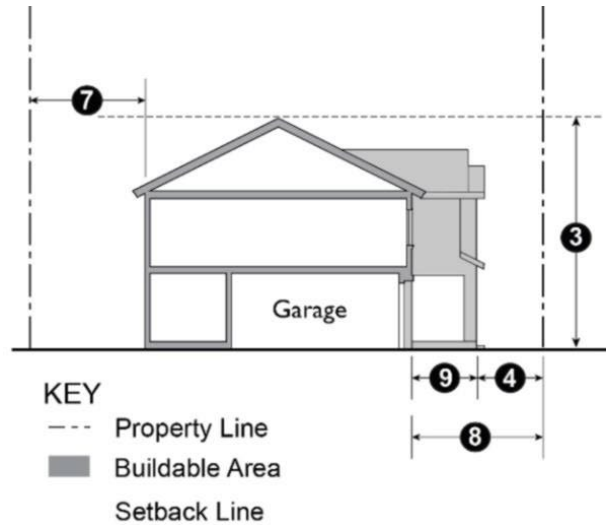
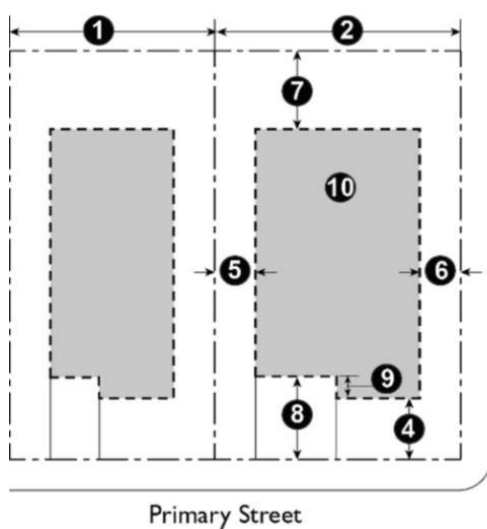


TABLE 18.04.030: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS

District	RS-3	RS-6	Additional Regulations	#
Lot and Density Standards				
Maximum Density (units/net acre)	3	6		
Minimum Lot Size (sq. ft.)	10,000	5,000		
Corner Lots	10,000	6,000		
Minimum Lot Width (ft.)	75	40		1
Corner Lots	75	60		2
Maximum Floor Area				
Maximum Floor Area (MFA)		For lots less than or equal to 7,500 sq. ft. MFA is the greater of 1,100 sq. ft. + 35% of the lot area or 50% of the lot area; for lots greater than 7,500 sq.	See Chapter 18.03 , Rules of Measurement; See Section 18.23.210 for accessory dwelling unit and junior accessory dwelling unit standards	

TABLE 18.04.030: DEVELOPMENT STANDARDS—RESIDENTIAL SINGLE-FAMILY DISTRICTS

District	RS-3	RS-6	Additional Regulations	#
		ft. MFA is 50% of the lot area.		
Building Form and Location				
Maximum Height (ft.)	28 (A)	28 (A)	See Section 18.15.060 , Height and height exceptions	3
Public and Semi-Public Uses	28	45		
Minimum Setbacks (ft.)				
Front	20	1st Story: 15 2nd Story: 19	See Section 18.15.080 , Projections into yards	4
Interior Side	1st Story: 10 2nd Story: 14 (C)	1st Story: 5 (B) 2nd Story: 9 (C)		5
Street Side	1st Story: 10 (D) 2nd Story: 14 (C, D)	1st Story: 7.5 (D) 2nd Story: 11.5 (C, D)		6
Rear	20	15		7
Garage, from property line	20	20	See Section A.3.e Detached Garages	8
Garage, from primary facade	5	5		9
Maximum Lot Coverage (Percent of Lot)	25 in H Overlay 35 outside H Overlay	50	See Chapter 18.03 , Rules of Measurement	10

A. Building Height within the Front and Rear Fifteen Feet of the Building. The maximum height shall be measured as indicated in Section 18.03.050 (Measuring

height), with no more than twenty-eight (28) feet to the highest point of the roof structure and twenty-four (24) feet to the highest top plate or parapet base. (See *Figure 1*). For Hillside Overlay, refer to Chapter 18.12 (Hillside Overlay District).

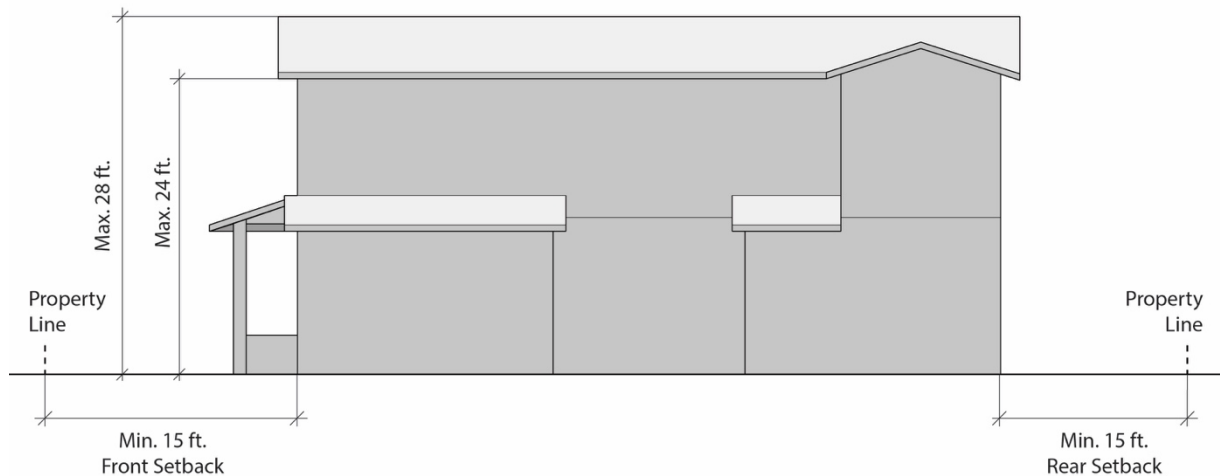


Figure 1: Building Height

- B. **Reduced Setbacks.** The minimum ground-floor side setback for lots less than fifty (50) width shall be a minimum of ten (10) percent of the lot width or three (3) feet, whichever is greater.
- C. **Second Story Projection and Setbacks.** The upper story may align with the lower story at the required lower story setback only to the extent that an interior staircase and/or a chimney are allowed. The alignment of the stories to allow interior stairwells and/or chimneys may not exceed sixteen (16) linear feet. (See *Figure 2*)

Exception with Design Review: Where the ground floor is set back a minimum of seven (7) feet from the property line, the upper story may align with the lower story for the entire length of the building. (See *Figure 3*)

Exception with Design Review: The upper floor may encroach up to 4'-0" into the required setback to align with the ground floor for up to 30% of the length of the façade plane directly below, inclusive of any interior staircases and chimneys.



Figure 2: Second Story Projection

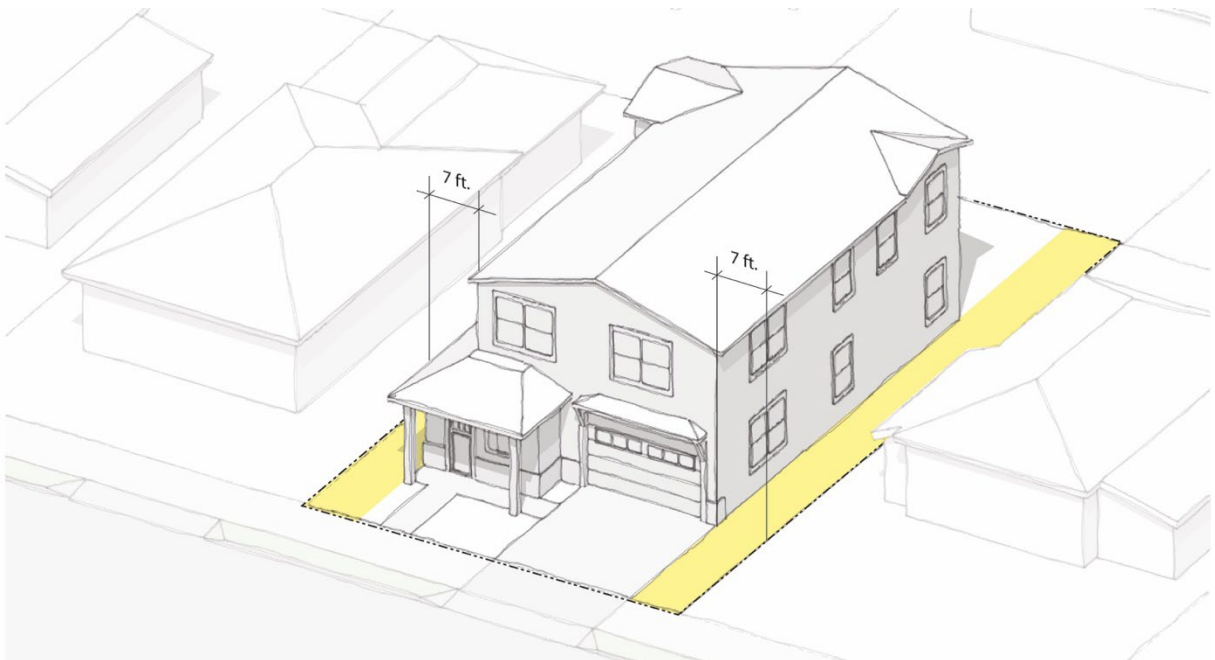


Figure 3: Seven (7) Feet Setback

- D. Street Side Setbacks on Lots with Reversed Frontage. The exterior side setback in the rear twenty-five percent of a reversed corner lot shall not be less than the front yard required or existing, whichever is less, on the adjoining key lot. (See Figure. 4)

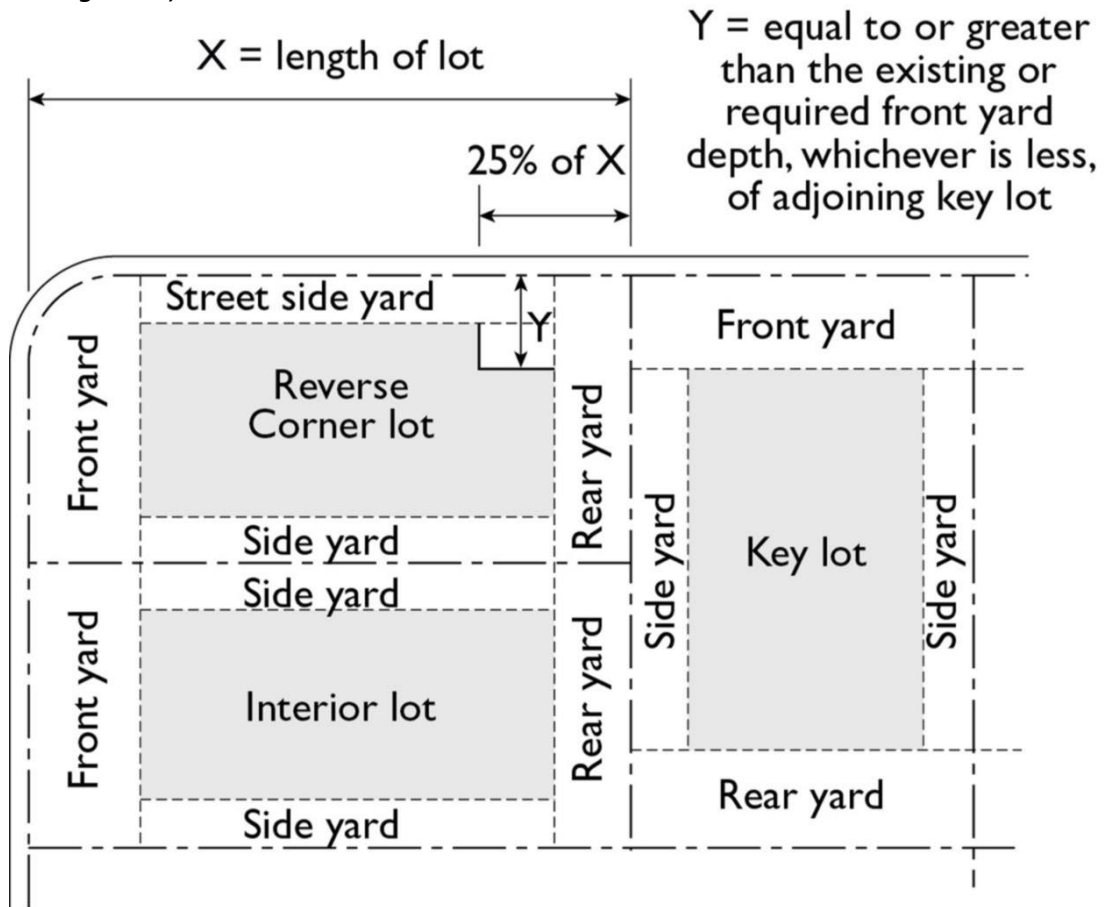


Figure 4: Street Side Setbacks on Lots with Reversed Frontage

18.04.040 ODS for RS District

A. Site Planning

1. Entries

- a. Entry Location. The principal entry for all primary units shall be located and oriented to face the adjacent public or private street.

- b. Entry Details. Shall incorporate a porch or recess, or a combination of projection and recess, at least thirty (30) square feet in area, with a minimum depth of three (3) feet. (See Figure 5)

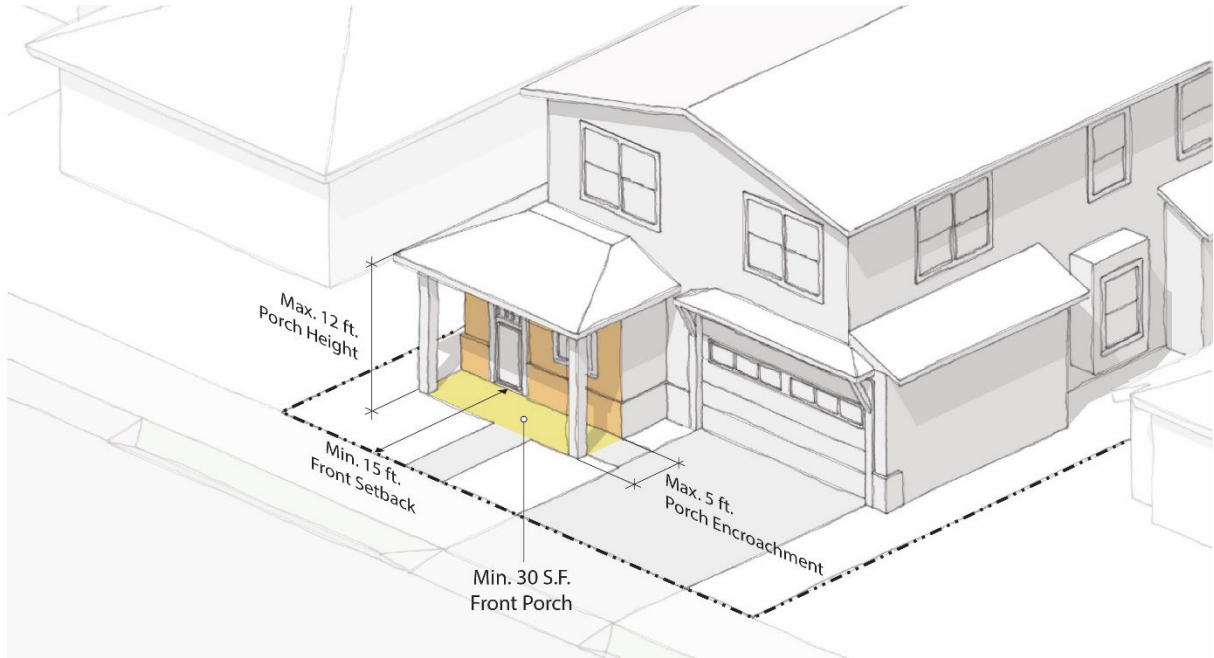


Figure 5: Porch Size and Height

- i. Where a front porch is not provided, entryways shall be recessed at least three (3) feet from the building façade to create a covered landing area for pedestrians and to provide orientation toward the street. (See Figure 6)

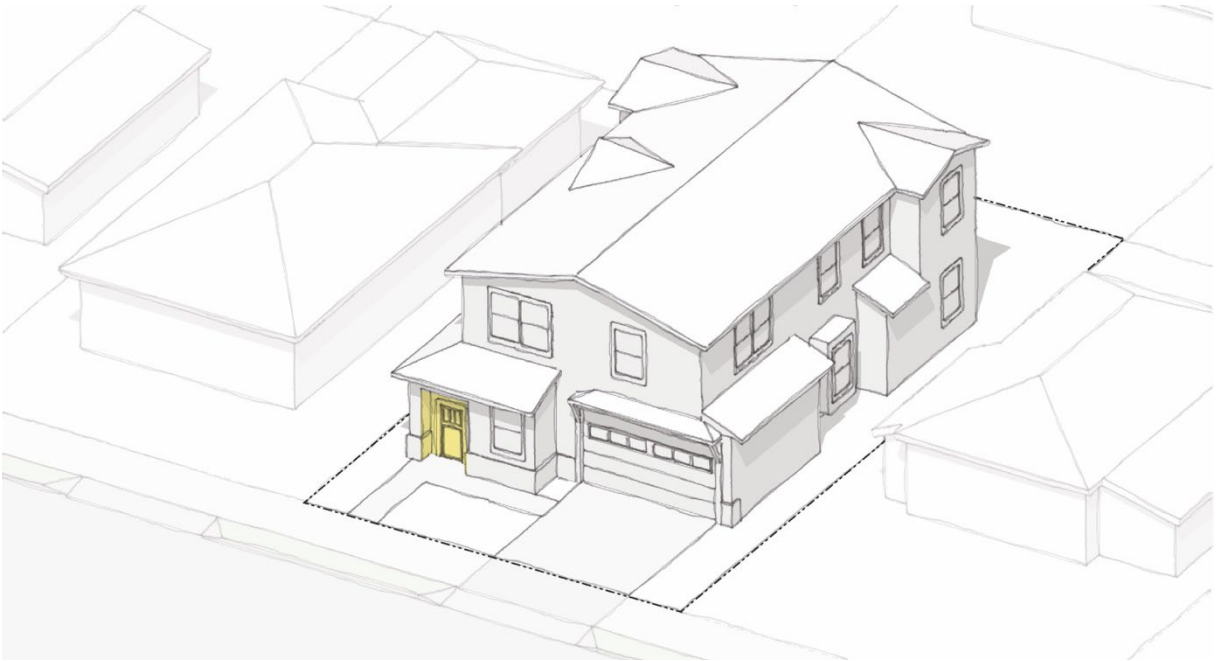


Figure 6: Recessed Entry

- ii. Covered porch height shall not exceed twelve (12) feet. *(See Figure 5)*
- c. Entry connectivity
 - i. A separate walkway from the sidewalk to the primary entry shall be provided. *(See Figure 7)*

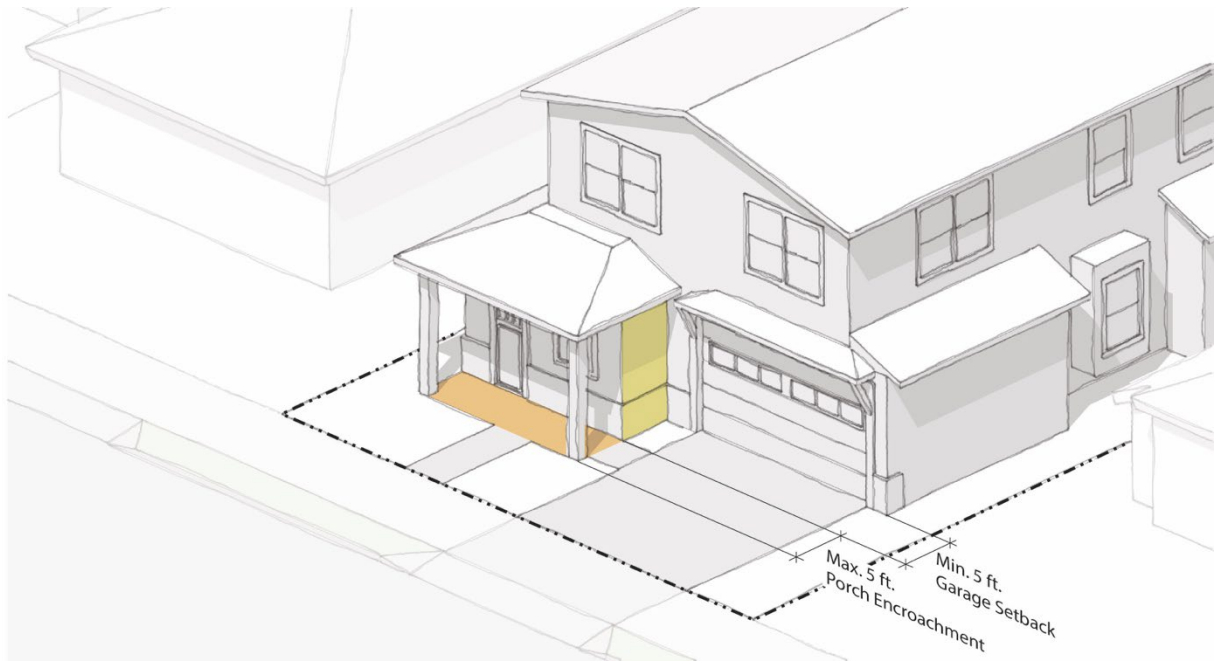


Figure 7: Separate Walkway

- ii. The driveway shall not serve as the walkway to the entry and shall be differentiated with the use of paving materials. *(See Figure 7)* Such entries may also provide connection to any ADU, JADU, or Infill unit located on the site. *(See Figure 8)*



Figure 8: Connection to ADU or Infill Unit

2. Parking and Driveways

- a. **Parking/Garage Access.** Parking spaces shall be provided as required by SCMC Chapter 18.20 (Parking and Loading).
- b. **Driveways.**
 - i. Driveway approaches (curb cuts) shall be permitted only to provide access to approved garages, carports and parking spaces.
 - ii. Curb cuts are permitted pursuant to Chapter 12.04 (Sidewalk And Driveway Approach Construction And Repair)
 - iii. **Driveways up to eighteen (18) feet wide is permitted to serve the primary unit. (See Figure 9)**

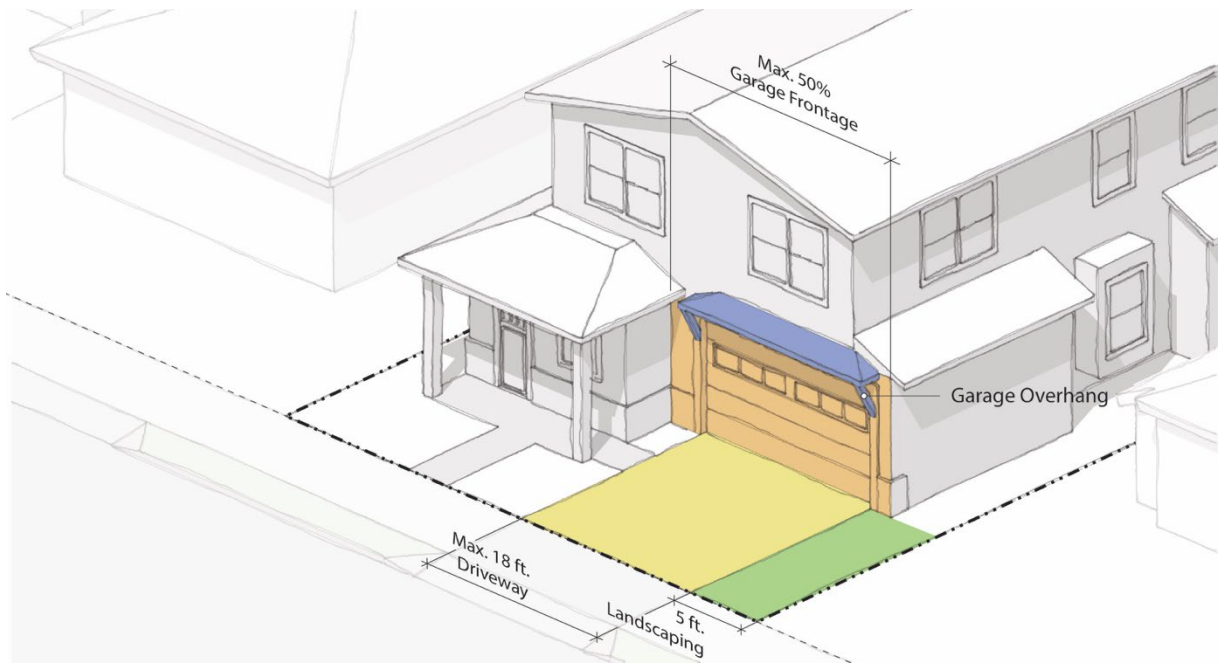


Figure 9: Driveway and Garage

- iv. Driveways serving two or more units shall be the minimum width required by the City Engineer per San Carlos Municipal Code sections 18.20.100, 12.04.090 and 12.04.100.
- v. All driveways must have a minimum five (5)-foot-wide landscaped area between the driveway and the adjacent side property line. For lots less than fifty (50) feet width shall be a minimum of ten (10) percent of the lot width or three (3) feet, whichever is greater *(See Figure 9)*
- vi. Driveways on corner lots shall be located at least twenty (20) feet from the property lines at the intersection corner. *(See Figure 10)*

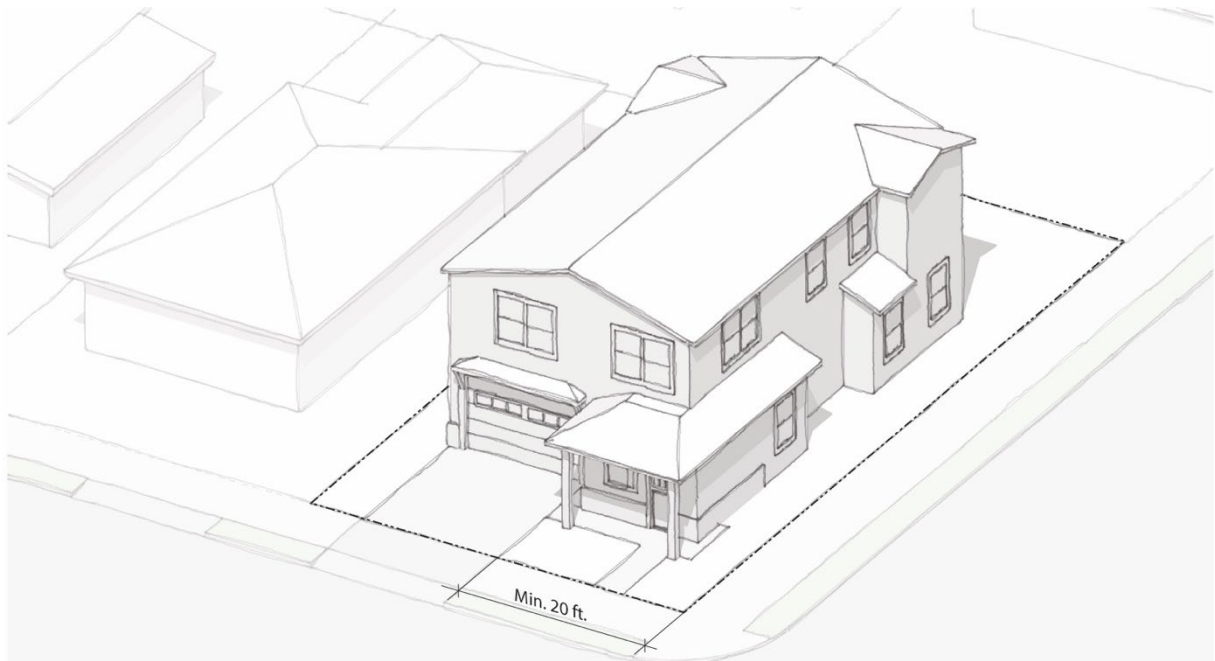


Figure 10: Driveway on Corner Lot

3. Garage Frontage

- a. Where a garage is located on the front half of the lot and the garage door faces a street and the lot width is sixty (60) feet or less, the garage frontage including the door width shall not exceed fifty (50) percent of the width of the front facade of the building. For lots wider than sixty (60) feet, the garage façade including the door shall not exceed forty (40) percent of the front facade of the building. *(See Figure 9)*
- b. Garage doors shall have an overhang of at least 18 inches in depth. *(See Figure 9)*
- c. For any garage door facing the street, such door shall have windows and color contrast to the façade of the house. *(See Figure 9)*
- d. Side-loaded garages may be used to diminish the impact of garages along the street frontage. The use of at least one (1) of the following design elements is required to avoid the blank wall of the garage.
 - i. Landscaping with a mature height of at least twenty-four (24) inches
 - ii. Raised planters with a minimum height of twelve (12) inches and landscaping with a mature height of at least twelve (12) inches.
 - iii. Windows
 - iv. Decorative trellis
 - v. Material change

- e. **Detached Garages.** Detached garages shall meet required front and side yard setbacks of the underlying zoning district.
- 4. **Alley Access.** A detached garage or carport is permitted to have access to the alley if (See Figure 11):
 - a. The garage or carport entrance is set back a minimum of four feet from the rear property line;
 - b. A forty-five-degree visibility triangle is provided on either side of the garage or carport;
 - c. The garage door does not cross the property line when opened or closed; and

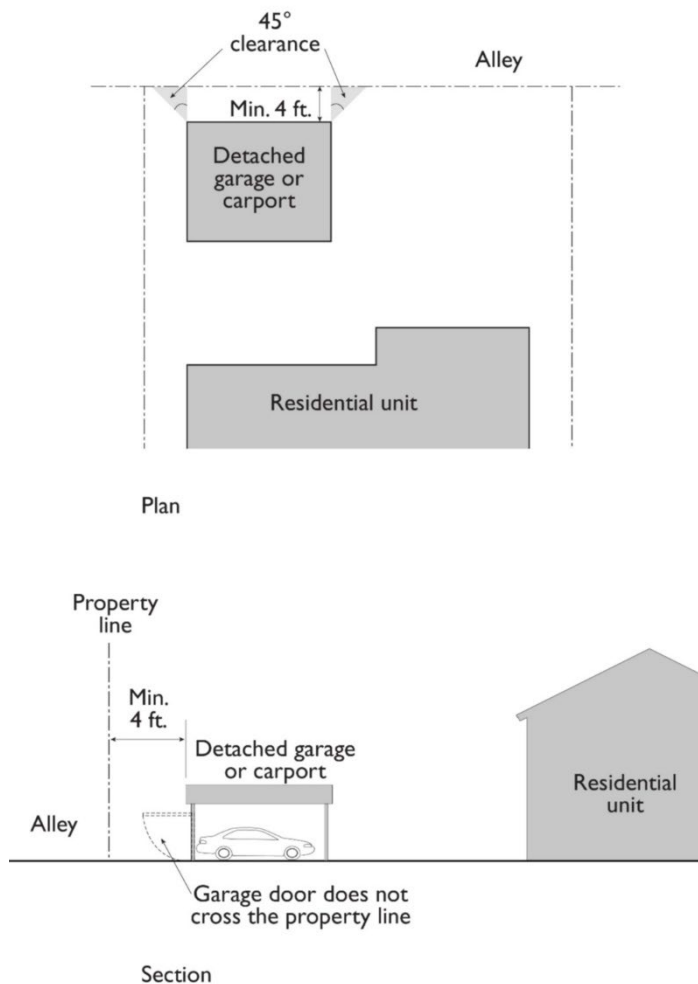


Figure 11: Alley Access

B. Building Design

1. Massing. The purpose of regulating building mass is to ensure building fits well on a site, respects the scale of the neighborhood, and avoids bulky appearance. Massing is used to create usable interior space and still follow the site planning requirements. Building walls and the massing of the structure shall address the overall bulk by using at least one (1) approach on all façades for every twenty-five (25) feet. *(See Figure 12)*
 - a. Incorporate a change in wall plane with a minimum of four (4) feet in depth for the façade.
 - b. Provide a recessed entry of at least three (3) feet in depth.
 - c. Provide a protruding window (such as a bay window) of at least two (2) feet in depth.
 - d. Use at least two (2) distinct materials and colors on each façade. Refer to B.7.a. for materials and 8. for Colors.
 - e. Provide an upper story balcony in the front step back area of at least four (4) feet of depth and six (6) feet of length.



Figure 12: Massing

2. Articulation. The purpose of regulating articulation is to avoid flat, blank walls that may result from massing requirement and to create a visual interest and overall enhance the character of the neighborhood. The following regulations apply:
- a. Street-facing facades shall not run in a continuous plane of more than ten (10) feet without one of the following treatments included on the façade at every building story (*See Figure 13*):
 - i. Window
 - ii. Entry door (ground floor only)
 - iii. Change in plane (recess or projection) of at least one (1) foot in depth.
 - iv. Change in material.
 - b. All other facades shall not run in a continuous plane of more than fifteen (15) feet without one of the following (*See Figure 13*):
 - i. Window
 - ii. Entry door
 - iii. Change in plane (recess or projection) of at least one (1) foot in depth.
 - iv. Change in material.

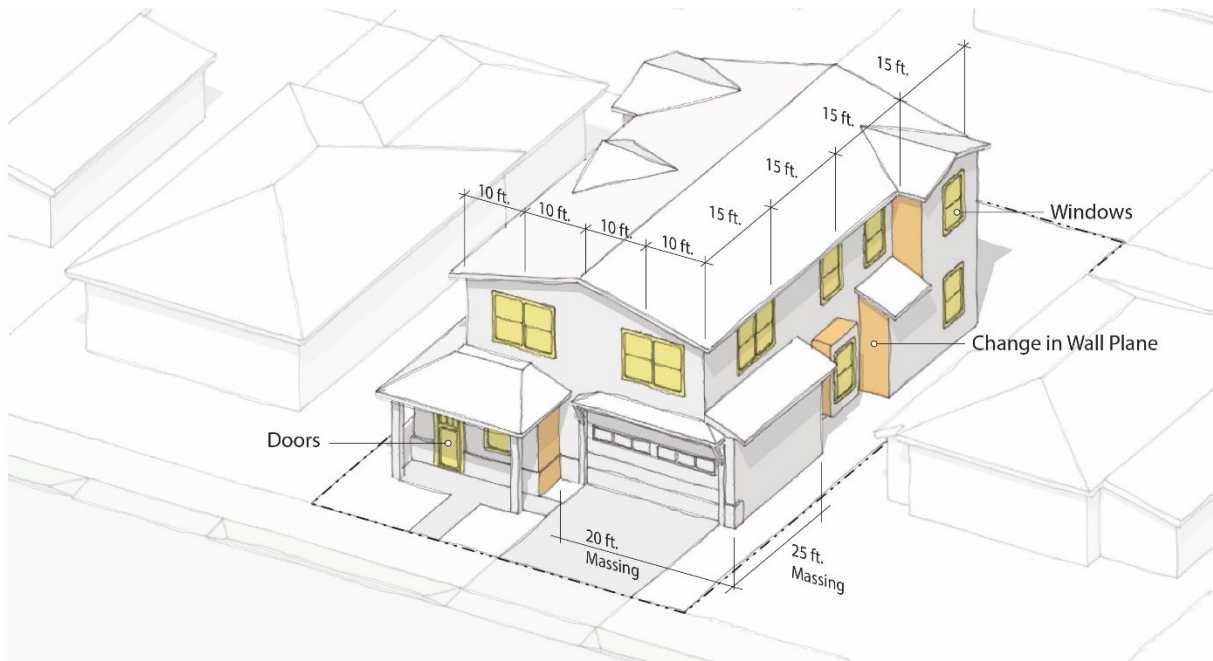


Figure 13: Articulation

- c. Usable balconies shall not be located on any facade facing a side yard. Juliette/French balconies may be used as an accent feature on side yard facades, provided such balconies have a depth of no more than eighteen (18) inches.
- d. Balconies located on rear facades shall be located minimum ten (10) feet from any interior side property line. *(See Figure 14)*

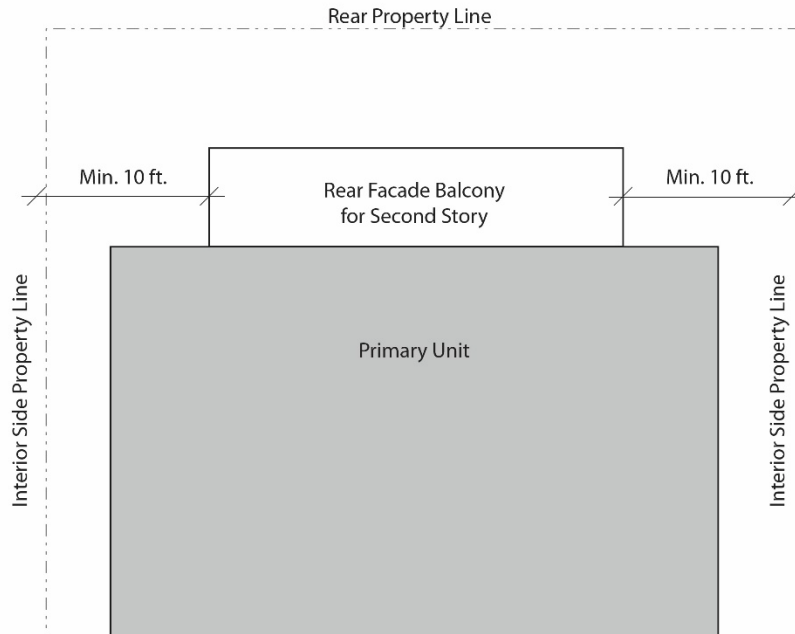


Figure 14: Second Story Balcony

3. **Porch Design.** If a porch is provided and is a characteristic component of the selected architectural style, the following standards shall apply.
 - a. the front porch shall be part of the primary entrance and connected to the front yard. *(See Figure 15)*
 - b. Porches shall be a minimum depth of three (3) feet for up to thirty (30) square feet. *(See Figure 15)*
 - c. Porches shall not encroach more than five (5) feet into the front setback. *(See Figure 15)*
 - d. Porches shall not exceed twelve (12) in height, not including the roof element. *(See Figure 15)*

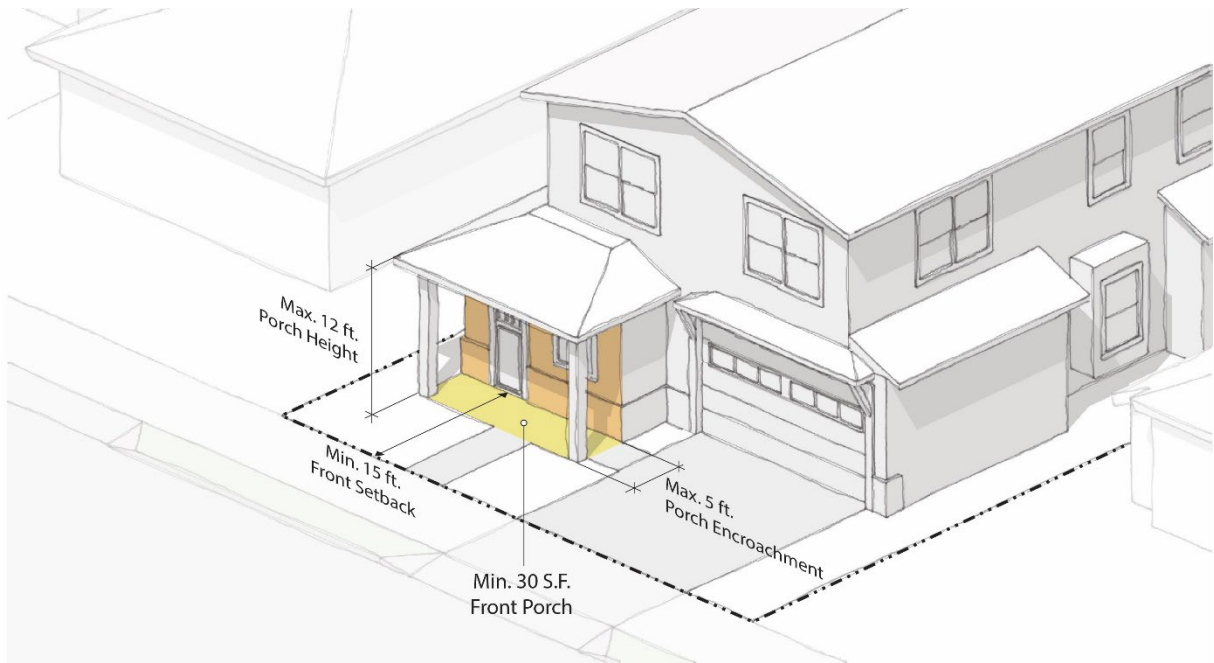


Figure 15: Porch Design

4. Architectural Style

- a. For the purpose of defining architectural styles as set forth in this section, the reference guide shall be the most currently published version of *A Field Guide to American Houses: the definitive guide to identifying and understanding America's domestic architecture* by Virginia Savage McAlester or *American House Styles: A Concise Guide* by John Milnes Baker, AIA. The City may identify an alternative source or sources, provided such source is made publicly available.
- b. Using the building design reference document identified above, projects shall identify an architectural design style and include at least five features in their design consistent with the description of the selected style:
 - i. Roof type and characteristic pitch (required)
 - ii. Roof rake, eave overhang, and cornice detail
 - iii. Wall façade symmetry or asymmetry and detail
 - iv. Wall material and arrangement relative to roof
 - v. Window type, relative proportion, shape, and detail
 - vi. Door type, relative proportion, shape, and detail
 - vii. Porch type, relative proportion, shape, and detail

5. Roof Treatments

a. Roof Form

- i. Rooflines greater than thirty (30) linear feet along a street-facing property line shall be vertically articulated with at least one of the following techniques. *(See Figure 16)*:
 - A change in height of a minimum of four (4) feet
 - A change in roof form
 - Dormers with a minimum length of eight (8) feet of façade
- ii. Rooflines greater than fifty (50) linear feet along a side or rear property line shall be vertically articulated with at least one of the following techniques *(See Figure 16)*:
 - A change in height of a minimum of four (4) feet
 - A change in roof form
 - Dormers with a minimum length of eight (8) feet of façade



Figure 16: Roof Form

b. Roof Form Depth and Detail

- i. Sloped roofs shall incorporate a minimum eight (8)-inch-deep eave to create shadows and add depth to facades. *(See Figure 16)*
- ii. Flat roofs, when used, shall incorporate a decorative cornice consistent with the architectural style as specified in the book of the building and

shall visually cap the building at a minimum of three (3) inches deep and twelve (12) inches tall. *(See Figure 17)*

- iii. In the event a particular style is chosen from 4.Architectural Style that has a variation in roof or eave style, such standard is then exempt.
- c. **Roof-top Utilities and Equipment.** Rooftop utilities and equipment shall be screened by a parapet or mansard roof so that such equipment is not visible to pedestrians from the adjacent public right-of-way and any immediately adjacent single-family residence. *(See Figure 17)*

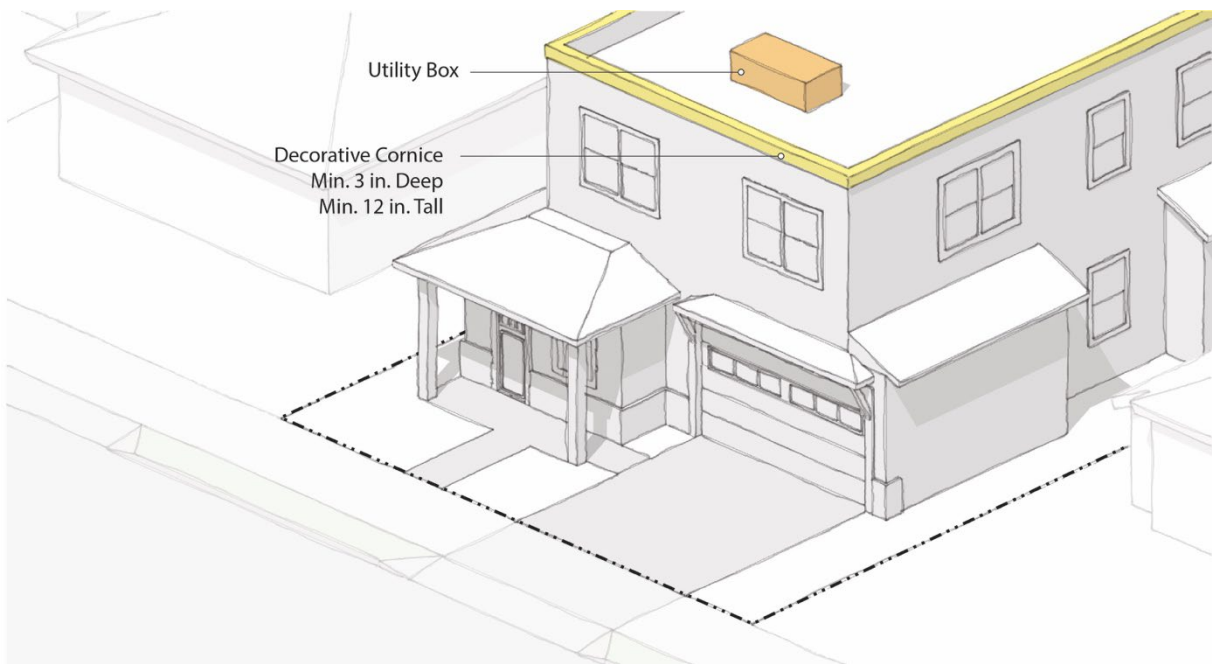


Figure 17: Decorative Cornice and Utilities

6. Windows

- a. **Window Alignment (offset).** When the second story is within ten (10) feet of an adjacent to a residential building, windows on the second floor shall be offset by a minimum of twelve (12) inches, as measured from the window frame, from the adjacent property window frame to avoid direct lines of sight into windows on the adjacent property. *(See Figure 18)*

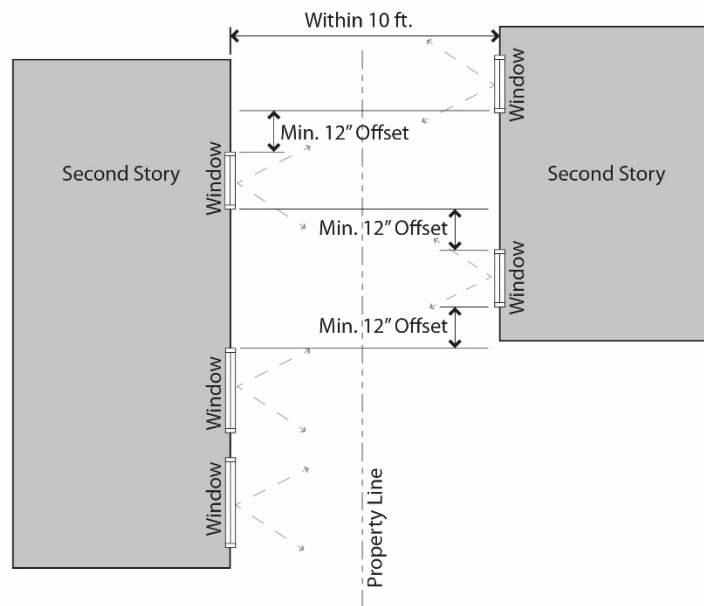


Figure 18: Window Alignment

b. Window Detail

- i. Window Trim or Recess. Trim at least one inch in depth must be provided around all windows, or window must be recessed at least two inches from the plane of the surrounding exterior wall. For double-hung and horizontal sliding windows, at least one sash shall achieve a two (2) inch recess. (See Figure 19)

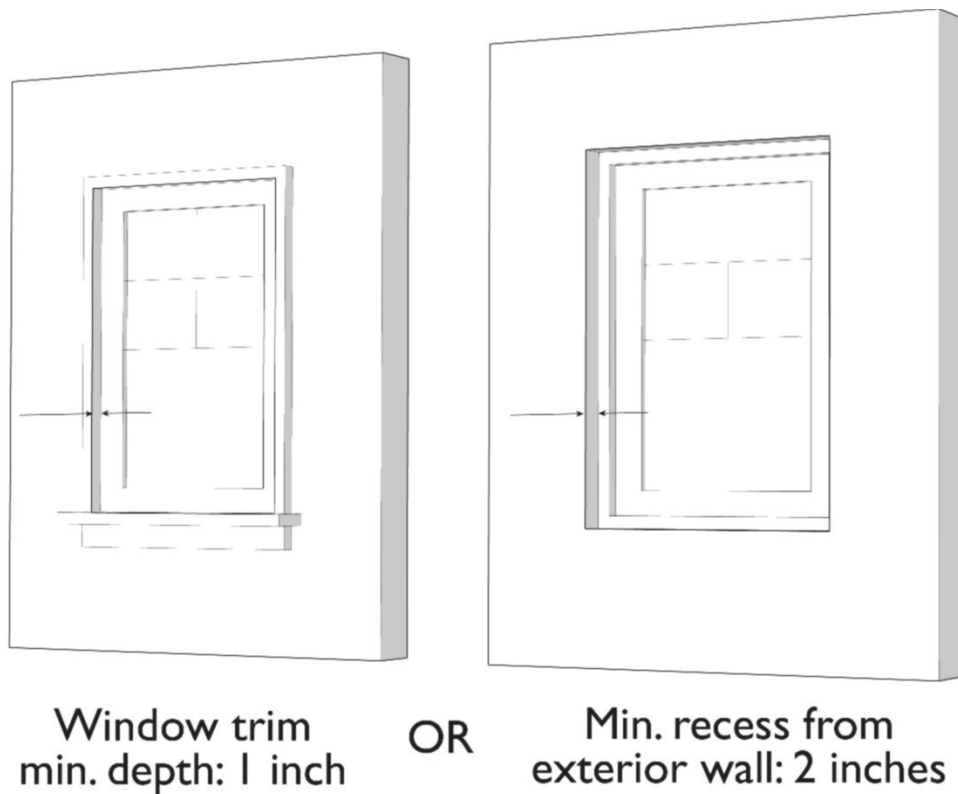


Figure 19: Window Detail

- ii. Windows. Snap-in vinyl mullions between double pane glass are prohibited. If a divided light appearance is desired, mullions must be made of dimensional material projecting in front of the panes on both the inside and outside of the window.

7. Materials

- a. Up to two (2) materials and two (2) finishes shall be used consistently on each building facade and shall be appropriate to the selected architectural style (per Architectural Style reference guide) of the building. (See Figure 20)

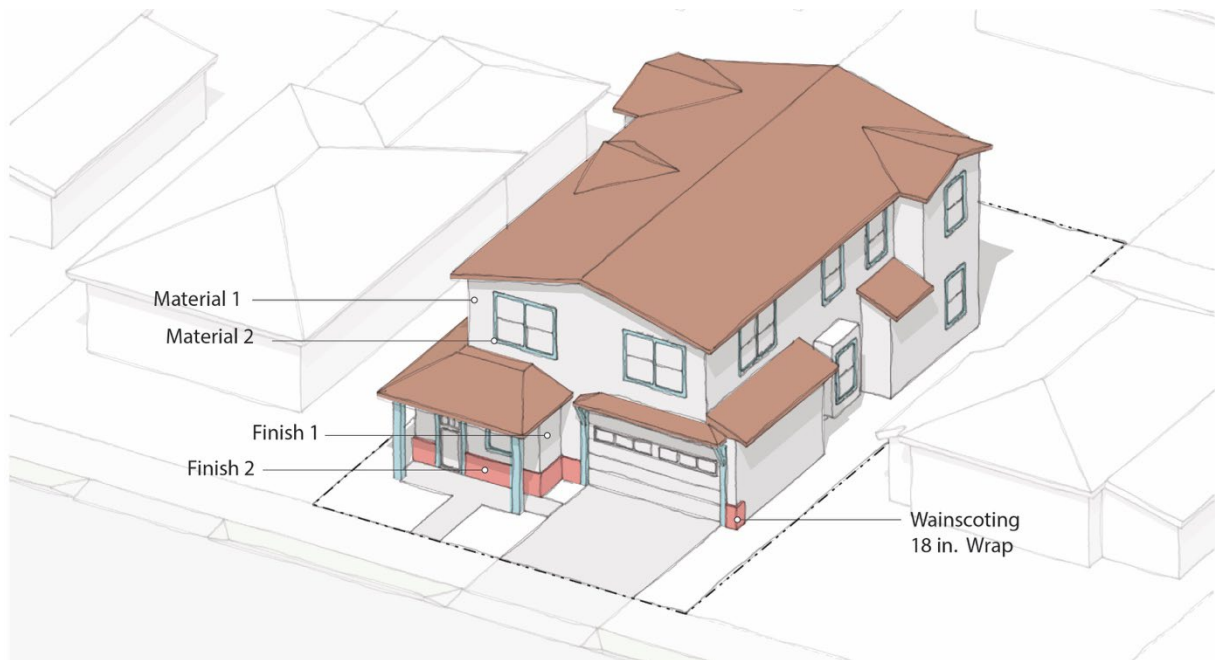


Figure 20: Materials

- b. Where wainscoting is provided, such wainscoting shall consist of brick or stone on the bottom eighteen (18) to thirty-six (36) inches of the ground-floor façade. Wainscoting shall not end at the corner of the building but shall wrap around and continue at least eighteen (18) inches to provide a more finished appearance. *(See Figure 20)*
 - c. The exterior use of porous materials and plywood as siding materials is prohibited.
8. **Colors.** The number of colors appearing on the entire building exterior shall be limited to a maximum of five (5) colors (or five (5) tones of the same color), including trim and accent colors. *(See Figure 21)*

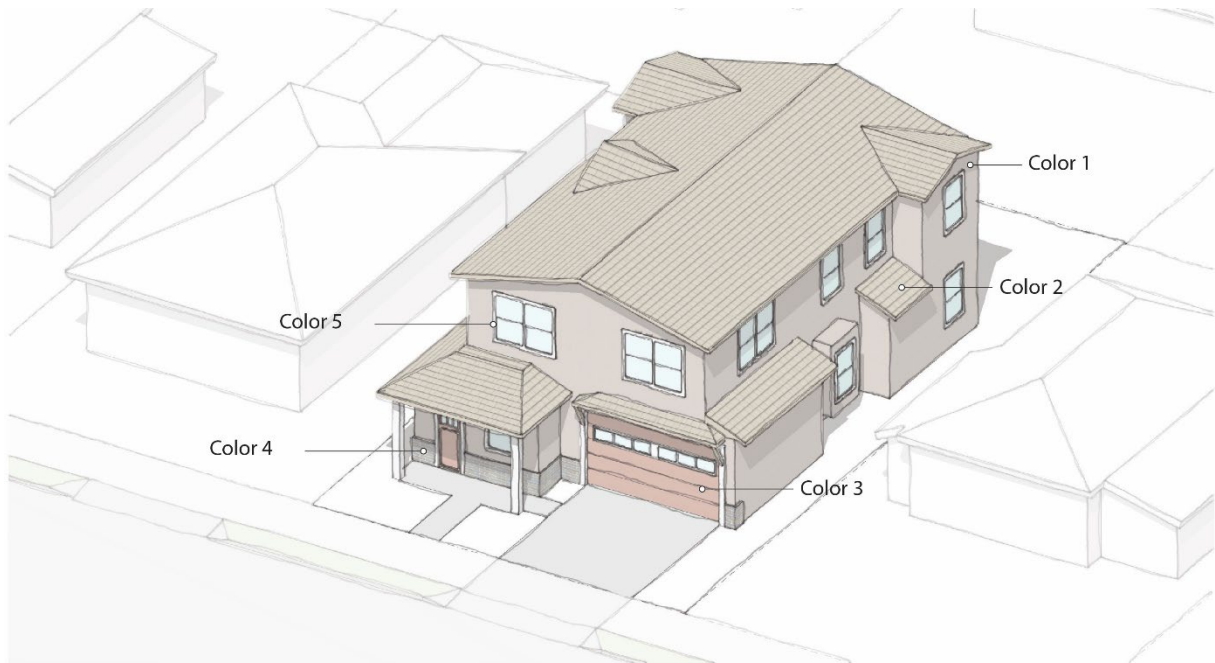


Figure 21: Colors

C. Other Details

1. Landscape Design. The following standards are supplemental to the standards contained in Chapter 18.18 (Landscaping). Where conflicts exist, the stricter standard shall prevail.
 - a. Front Yard Landscaping
 - i. All required front yard area, shall have hardscape coverage not to exceed fifty (50) percent of the required front yard area. *(See Figure 22)*
 - ii. At least fifty (50) percent of the front yard area shall consist of natural landscape materials and pervious surfaces as specified in Chapter 18.18. *(See Figure 22)*



Figure 22: Landscape Design

- iii. Artificial turf may be used on up to twenty-five (25) percent of the required landscaped area,
- b. Front Yard Trees
 - i. Canopy trees that have minimum fifteen (15) feet wide canopy and a minimum height of fifteen (15) feet shall be provided within the front yard area, inclusive of the required front yard setback. The number of required trees shall be governed as specified in Chapter 18.18.070 (Trees) (See *Figure 22*):

2. Lighting

- a. All exterior lighting shall comply with the provisions of Section 18.15.070 (Lighting and illumination).

3. Utilities

- a. All utility screening shall comply with Chapter 18.15.090 (General Site Regulations).
- b. Ground-level utilities and mechanical equipment directly serving the primary or secondary units shall not be located within any front yard area.

- c. Public utilities equipment, where provided above ground, shall comply with the following.
 - i. Such equipment shall not be located within any required front setback area.
 - ii. Such equipment shall be screened using one or more of the following approaches:
 - Landscaping
 - Raised planters' minimum height of twelve (12) inches with landscape.
 - Mesh fence for vertical vegetation
 - Walls or fencing consistent with the overall architecture of the building.