

**NOTICE OF WORK MEETING OF THE CITY COUNCIL
OF THE CITY OF ST. GEORGE,
WASHINGTON COUNTY, UTAH**

Public Notice

Public notice is hereby given that the City Council of the City of St. George, Washington County, Utah, will hold a work meeting in the Administrative Conference Room at the St. George City Offices located at 175 East 200 North, St. George, Utah, on Thursday, December 7, 2023 commencing at 4:00 p.m.

The agenda for the meeting is as follows:

1. **Request a closed session to discuss litigation, security, property acquisition or sale or the character and professional competence or physical or mental health of an individual.**
2. **Adjourn and reconvene in a Regular Meeting of the City Council.**

**** THE COUNCIL WILL MOVE TO
THE CITY COUNCIL CHAMBERS FOR
THE CITY COUNCIL REGULAR MEETING****

**NOTICE OF REGULAR MEETING OF THE
CITY COUNCIL OF THE CITY OF ST. GEORGE,
WASHINGTON COUNTY, UTAH**

Public Notice

Public notice is hereby given that the City Council of the City of St. George, Washington County, Utah, will hold a regular meeting in the City Council Chambers at the St. George City Offices located at 175 East 200 North, St. George, Utah, on Thursday, December 7, 2023, commencing at 5:00 p.m.

The agenda for the meeting is as follows:

Call to Order
Invocation
Flag Salute

1. **Mayor's recognitions and updates.**
 - a. **Citizen recognition.**
 - b. **Read a Proclamation proclaiming December 16, 2023 as Wreaths Across America Day.**

2. **Comments from the public.**

The Open Comment Period provides an opportunity to address the Mayor and City Council regarding concerns or ideas about the City which the Council may choose to address. Comments pertaining to an agenda item that includes a public hearing or public input should be given as that item is being discussed during the meeting.

Up to ten (10) members of the public will be given a limit of two (2) minutes per person. The Council will not respond to comments or questions but will take the comments under consideration for possible discussion at another time. If there are more than 10 individuals wishing to provide public comment, speakers will be selected by random draw.

Rules for making comments:

- You must be a resident of the City of St. George.
- Public input shall not be allowed on any agenda item or pending land use application.
- Comments should relate to City business.
- Speakers shall be courteous and show respect. Comments shall not include obscene or profane language, nor contain attacks on any individual.

In order to provide an opportunity for a broader scope of residents to provide public comments, any person selected to provide comments at a meeting will not be able to provide public comments again for three (3) months (once per quarter); however, written comments may be submitted anytime to the City Recorder at 175 East 200 North, St. George, UT 84770 or publiccomments@sgcity.org.

The Mayor and City Council encourage civil discourse for everyone who participates in the meeting.

3. **Consent Calendar.**

a. Consider approval of purchasing three (3) pavilions via state contract with Sonntag Recreation for JC Snow Park.

BACKGROUND and RECOMMENDATION: This purchase is to replace the three (3) existing pavilions at JC Snow Park. The existing pavilions were built in the late '70s about 45 years ago. They are deteriorating and becoming a safety hazard. The replacement pavilions are roughly the same size as the existing pavilions. The larger replacement pavilion next to the playground is 30'x60' and the two other replacement pavilions are 30'x45'. The replacement pavilions style will be 2 tiers, 6:12 roof pitch, 8' eave height, and standing seam metal roof. This is the same style as the new pavilion on the southwest corner of Vernon Worthen Park. Staff recommends purchasing the pavilions from Sonntag Recreation in the amount of \$302,918.82.

b. Consider approval of a Professional Services Agreement Change Order for Alliance Engineering for the Bloomington Hills Irrigation Tank and 1450 South Irrigation Line Extensions.

BACKGROUND and RECOMMENDATION: Alliance Engineering is providing Design and Construction Engineering Services for the Bloomington Hills Irrigation Tank

and 1450 South Irrigation Line Extensions. The project was originally bid in 2022 and was over budget. The Engineer made some changes to the project to bring the costs down and the project was rebid this year and is under construction now. This change order includes additional funds for the redesign and rebid of the project in addition to funding to change the project from a 4-month schedule to a 9-month schedule. While the extended schedule added cost to the Engineering for the project it brought down construction costs. Staff recommends approval of the change order in the amount of \$104,615.

c. Consider approval of the minutes from the meetings held on November 9, 2023; November 16, 2023; and November 21, 2023.

4. Public hearing and consideration of Ordinance No. 2023-040 to vacate a portion of a municipal utility easement located in common area around Lot 3, Avenidas at Hidden Valley.

BACKGROUND and RECOMMENDATION: The final plat for Avenidas at Hidden Valley was approved by the City of St. George Land Use Authority on the 21st day of March, 2023. Recorded on the 24th day of March, 2023 as Doc. No. 20230007971. The Joint Utilities Commission recommended approval.

5. Consider approval of Ordinance No. 2023-041 amending Title 8, Chapter 6, Section 2 and Section 3, Stormwater Services of the City Code to clarify and adjust the Equivalent Residential Unit (ERU) calculation.

BACKGROUND and RECOMMENDATION: The Stormwater Services ordinance (Title 8, Chapter 6) defines an ERU (Equivalent Residential Unit) of 2,000 square feet of impervious surface and explains associated calculation for determining drainage utility fees for commercial properties. The current adopted fee in the budget adjusted the ERU to 3,000 square feet, which reduces the drainage fee for commercial property. This ordinance updates the ERU definition to 3,000 square feet.

6. Consider approval of Ordinance No. 2023-042 amending an approved PD-C (Planned Development Commercial) and adopting a development agreement on approximately 2.23 acres, located at 1685 East Red Hills Parkway for the purpose of adding a 6,900-square foot addition to an existing commercial business for a project to be known as Factory Powersports. Case No. 2023-PDA-019

BACKGROUND and RECOMMENDATION: On August 6, 2020, Factory Powersports successfully changed their zoning from C-2 (Highway Commercial) and RE-12.5 (Residential Estates 12,500 sq. ft. minimum lot size) to PD-C designation in preparation for this addition. The new addition will be approximately 6,900 square feet. It will be built on the west side of the existing building. On September 26, 2023, the Planning Commission held a public hearing on this item. At that time a discussion ensued concerning the property to the west that the applicant owns and would be developing in the future. A development agreement would be needed for the development of that property and this property; therefore, the item was continued. On November 14, 2023, this item along with a development agreement was brought before the Planning Commission at a public hearing where the Planning Commission recommended approval.

7. **Consider approval of Ordinance No. 2023-043 amending an approved PD-C (Planned Development Commercial) on approximately 18 acres, generally located on the southeast corner of River Road and George Washington Boulevard for the purpose of amending the elevations on five of the previously approved buildings and approving six of the building elevations not previously approved and approving a legislative exception for a removal of a wall on the south end of the site, for a project known as River Crossing, with conditions from the Planning Commission.**

BACKGROUND and RECOMMENDATION: In 2016, The Boulder Creek Commons PD was established with a general layout of the property and a use list. In 2021, the name of this development name was changed to River Crossing and a revised conceptual site plan was approved for phase one. Phase two followed in 2022. With approval of both phases, the general layout and some building elevations of the site were approved. The applicant is proposing revisions of some building elevations and approval of the elevations not yet approved. At their meeting held on November 14, 2023, the Planning Commission held a public hearing and recommended approval with conditions.

8. **Consider approval of a Hillside Development Permit to make modifications to the ridgeline along the southeast slope of the Tech Ridge Development. Case No. 2023-HS-002**

BACKGROUND and RECOMMENDATION: This is a request to obtain a hillside development permit to perform work along the hillside located on the southeast portion of the Tech Ridge development, adjacent to the proposed southeast access road that leads from 250 West Street to the Tech Ridge development. On January 1, 2023 and November 1, 2023, the Hillside Review Board held a public meeting for this request. At their meeting held on November 14, 2023, the Planning Commission held a public meeting and recommended approval.

9. **Consider approval of a Hillside Development Permit to construct the southeast access road from 250 West Street to the Tech Ridge Development. Case No. 2023-HS-003**

BACKGROUND and RECOMMENDATION: Part of the required improvements for the Tech Ridge Development is to put in a southeast access road. This hillside development permit is for the future construction of this road from 250 West Street to the Tech Ridge development. On January 1, 2023, and on November 1, 2023, the Hillside Review Board held a public meeting regarding this case. At their meeting held on November 14, 2023, the Planning Commission held a public meeting and recommended approval.

10. **Consider approval of the preliminary plat for Tech Ridge Area 1.6 Subdivision, a 15-lot and 6 parcel commercial preliminary plat on approximately 17.78 located at approximately 650 South Tech Ridge Parkway. Case No. 2023-PP-040**

BACKGROUND and RECOMMENDATION: This parcel of land is located on Tech Ridge Parkway within the Tech Ridge project. This preliminary plat will create 15 new lots ready for commercial development. In addition, this preliminary plat will create 6 parcels. Three of the parcels will be used for shared parking for the commercial development. Two of the parcels will be dedicated to open space and trail use. The

ridgeline trail will be built at this location on the western ridgeline. At their meeting held on October 24, 2023, the Planning Commission held a public meeting and recommended approval.

- 11. Consider approval of the preliminary plat for the Desert Color Pickleball Courts subdivision, a single lot, 1.49-acre subdivision located generally to the south of the Desert Color clubhouse between Lagoon Parkway and Akoya Pearl Road. Case No. 2023-PP-036**

BACKGROUND and RECOMMENDATION: In May of 2022, the City Council approved a PD amendment on the subject property. This amendment was to allow pickleball bocce ball courts as well as a grassy area for Desert Color residents and their guests. At their meeting held on November 14, 2023, the Planning Commission recommended approval of the plat with a 6-0 vote and no conditions.

- 12. Consider approval of the preliminary plat for the Dirt Road Ranch subdivision, a single lot, 2.48-acre preliminary plat located on the south side of Seegmiller Drive at approximately 2650 East. Case No. 2023-PP-059**

BACKGROUND and RECOMMENDATION: On November 2, 2023, the City Council approved a zone change which fixed a split zoning issue on the property. The property is now entirely zoned A-1 (Agricultural, one acre minimum lot size). At their meeting held on November 14, 2023, the Planning Commission recommended approval with a 7-0 vote and no conditions.

- 13. Consider approval of the preliminary plat for the Fields at Mall Drive Lot 5 subdivision, a 3-lot, 5.17-acre subdivision located at approximately 2700 East Mall Drive (North side of the street). Case No. 2023-PP-058**

BACKGROUND and RECOMMENDATION: On October 5, 2023, a PD amendment was approved for a portion of this property which will allow Walgreens to be built. The applicant now desires to divide the property into three lots. At their meeting held on November 28, 2023, the Planning Commission recommended approval of the application 7-0 with conditions.

- 14. Consider approval of the preliminary plat for the Rustic Estates subdivision, a 4-lot, 2.26-acre subdivision located generally on the southeast corner of Rustic Drive & River Road. Case No. 2023-PP-034.**

BACKGROUND and RECOMMENDATION: In March of 2021, the City Council approved a request for a preliminary plat on the subject property. That plat divided the property into six lots. Including the existing home on River Road but excluding the Mt. States Telephone & Telegraph Company parcel next to that home. Nearly three years later, that plat has expired. At their meeting held on November 14, 2023, the Planning Commission recommended approval of the plat with a condition.

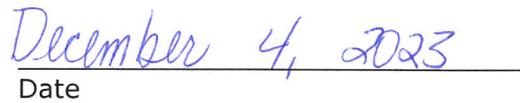
- 15. Consider approval of the preliminary plat for Red Industrial, a 3-lot subdivision located in Fort Pierce at 1630 East Commerce Drive. Case No. 2023-PP-041.**

BACKGROUND and RECOMMENDATION: The applicant is proposing to divide the property into three lots. The property is a salvage yard in Fort Pierce Industrial Park. The parents have passed away and the property is in the family trust. The trust has

decided to subdivide the property and sell two of the lots. At their meeting held on November 14, 2023 the Planning Commission held a public meeting and recommended approval.

16. **Appointments to Boards and Commissions of the City.**
17. **Reports from Mayor, Councilmembers, and City Manager.**
18. **Request a closed session to discuss litigation, security, property acquisition or sale or the character and professional competence or physical or mental health of an individual.**


Christina Fernandez, City Recorder


Date

REASONABLE ACCOMMODATION: The City of St. George will make efforts to provide reasonable accommodations to disabled members of the public in accessing City programs. Please contact the City Human Resources Office, 627-4674, at least 24 hours in advance if you have special needs.

PROCLAMATION

WHEREAS, Wreaths Across America is a non-profit organization that began in 2006 as an extension of the Arlington National Cemetery Wreath Project; and

WHEREAS, the project originally started in 1992 when wreaths donated by the Worcester Wreath Company were placed on the headstones of our Nation's Fallen Heroes during the holidays; and

WHEREAS, the Utah State Society Daughters of the American Revolution, having partnered with Wreaths Across America in a mutual mission to remember the fallen, honor those who have served and teach children the value of freedom; and

WHEREAS, family members, friends and citizens of all ages will volunteer their time to adorn the gravesites with Christmas wreaths in a stirring tribute to the courage and sacrifice of those who have guarded and preserved our nation's freedom throughout history; and

WHEREAS, this year marks the 13th anniversary of this event taking place at Tonaquint Cemetery; and

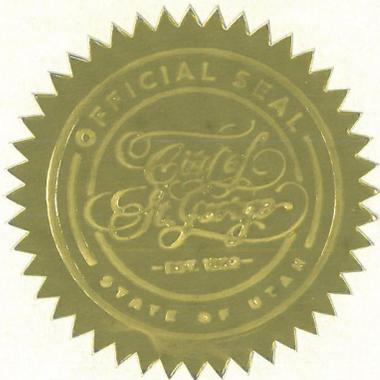
WHEREAS, today, Wreaths Across America ceremonies will be held throughout the state at participating cemetery locations to gratefully remember and honor Utah's veterans and to thank them once again for their service to our country during this holiday season.

NOW, THEREFORE, I, Michele Randall, Mayor, along with City Council of the City of St. George, Utah, do hereby proclaim Saturday, December 16, 2023 as:

WREATHS ACROSS AMERICA DAY

in the City of St. George and encourage all residents of St. George and the surrounding area to join together on this solemn day of remembrance and to participate in these ceremonies.

IN WITNESS WHEREOF, I have hereunto set my hand and caused to be affixed the Seal of the City of St. George, Utah this 7th day of December, 2023.




Michele Randall, Mayor



Agenda Date: 12/07/2023

Agenda Item Number: 3a

Subject:

Consider approval of purchasing three (3) pavilions via state contract with Sonntag Recreation for JC Snow Park.

Item at-a-glance:

Staff Contact: Mark Goble

Applicant Name: City of St. George

Reference Number: N/A

Address/Location:

JC Snow Park, 275 East 900 South

Item History (background/project status/public process):

This purchase is to replace the three (3) existing pavilions at JC Snow Park. The existing pavilions were built in the late '70s about 45 years ago. They are deteriorating and becoming a safety hazard. The replacement pavilions are roughly the same size as the existing pavilions. The larger replacement pavilion next to the playground is 30x60 and the two other replacement pavilions are 30x45. The replacement pavilions style will be 2 tiers, 6:12 roof pitch, 8 eve height, and standing seam metal roof. This is the same style as the new pavilion on the southwest corner of Vernon Worthen Park.

Staff Narrative (need/purpose):

The purpose of the purchase is to replace the three (3) deteriorating pavilions. To keep the pavilion replacement project within budget, it is anticipated that the City's Tech Crew will do the installation.

Name of Legal Dept approver: N/A

Budget Impact:

Cost for the agenda item: \$302,918.82

Amount approved in current FY budget for item: \$445,000.00

If not approved in current FY budget or exceeds the budgeted amount, please explain funding source:

Approved in budget.

Description of funding source:

Recreation, Arts, & Parks Tax (RAP).

Recommendation (Include any conditions):

Approval.



QUOTE

Sonntag Recreation

QUOTE #
DATE: 10-26-2023

4245 Panorama Cir, Salt Lake City, UT 84124
Phone 801-278-9797 Fax 801-278-9794
chris@sonntagrec.com

EXPIRATION DATE 6-30-2024

TO

SALESPERSON	JOB	PAYMENT TERMS	LEAD TIME
Chris	JC Snow Park	Due on receipt	

QTY	DESCRIPTION	UNIT PRICE	LINE TOTAL
	<u>Classic Recreation Cheyenne Pavilions</u> 2 Tiers, Standing Seam Roof, 6:12 pitch, 8' eve height		
1	Cheyenne 30' x 60' 8 column pavilion		\$141,682.00
2	Cheyenne 30' x 45' 6 column pavilions	\$102,428.00	204,856.00
1	Structural Calculation for both sizes		2,500.00
1	State Contract Discount		-38,119.18
1	Sonntag Additional Discount		-12,000.00
		SUBTOTAL	\$298,918.82
		FREIGHT	3,800.00
		TOTAL	\$302,918.82

Quotation prepared by: _____

This is a quotation on the goods named, subject to the conditions noted below: (Describe any conditions pertaining to these prices and any additional terms of the agreement. You may want to include contingencies that will affect the quotation.)

To accept this quotation, sign here and return: _____

THANK YOU FOR YOUR BUSINESS!

Pavilion Example
Photo of Pavilion on Southwest corner of Vernon Worthen Park





Agenda Date: 12/07/2023

Agenda Item Number: 3b

Subject:

Consider approval of a Professional Services Agreement Change Order for Alliance Engineering for the Bloomington Hills Irrigation Tank and 1450 South Irrigation Line Extensions.

Item at-a-glance:

Staff Contact: Kade Bringhurst

Applicant Name: City of St. George

Reference Number: N/A

Address/Location:

811 East Red Hills Parkway

Item History (background/project status/public process):

Alliance Engineering is providing Design and Construction Engineering Services for the Bloomington Hills Irrigation Tank and 1450 South Irrigation Line Extensions. The project was originally bid in 2022 and was over budget. The Engineer made some changes to the project to bring the costs down and the project was rebid this year and is under construction now. This change order includes additional funds for the redesign and rebid of the project in addition to funding to change the project from a 4-month schedule to a 9-month schedule. While the extended schedule added cost to the Engineering for the project it brought down construction costs. Staff recommends approval of the change order in the amount of \$104,615.

Staff Narrative (need/purpose):

This a project that has been approved and is currently under construction. Most of the additional costs are associated with the additional time we have given the contractor to complete the project.

Name of Legal Dept approver: Kade Bringhurst

Budget Impact:

Cost for the agenda item: \$104,615

Amount approved in current FY budget for item: \$157,670

If not approved in current FY budget or exceeds the budgeted amount, please explain funding source:

There are projects in this years budget that will be delayed as necessary.

Description of funding source:

impact fees and user fees.

Recommendation (Include any conditions):

Staff recommends approval.

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**ST. GEORGE CITY COUNCIL MINUTES
REGULAR MEETING
NOVEMBER 9, 2023 5:00 P.M.
CITY COUNCIL CHAMBERS**

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PRESENT:

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Mayor Michele Randall
Councilmember Jimmie Hughes
Councilmember Gregg McArthur
Councilmember Natalie Larsen
Councilmember Michelle Tanner

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EXCUSED:

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Councilmember Dannielle Larkin

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STAFF MEMBERS PRESENT:

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City Manager John Willis
City Attorney Tani Downing
Deputy City Recorder Annette Hansen
Budget and Financial Planning Director Robert Myers
Economic Development Director Chad Thomas
Administrative Services Director Trevor Coombs

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OTHERS PRESENT:

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CALL TO ORDER, INVOCATION, AND FLAG SALUTE:

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Mayor Randall called the meeting to order and welcomed all in attendance. An invocation was offered by Rickine Kestin with Solomons Porch Foursquare and The Pledge of Allegiance to the Flag was led Mayor Randall.

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Link to call to order, invocation, and flag salute: [00:00:00](#) [Recording 1]

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ADJOURN TO A CLOSED MEETING:

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Request a closed meeting to discuss litigation, security, property acquisition or sale, or the character and professional competence or physical or mental health of an individual.

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Link to motion: [00:02:19](#) [Recording 1]

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MOTION:

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A motion was made by Councilmember Larsen to adjourn to a closed meeting to discuss litigation in the Administrative Conference Room.

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SECOND:

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The motion was seconded by Councilmember McArthur.

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VOTE:

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Mayor Randall called for a vote, as follows:

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Councilmember Hughes – aye
Councilmember McArthur – aye
Councilmember Larsen – aye
Councilmember Tanner – aye

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The vote was unanimous and the motion carried.

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59 **CONSENT CALENDAR:**

- 60 **a. Consider approval of a property lease agreement with Simple Sign**
61 **Service Inc. for City-owned property located at 176 West St. George**
62 **Boulevard.**

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64 BACKGROUND and RECOMMENDATION: This City-owned property is currently
65 vacant and falls within the C4 zone which allows for sign sales. Staff recommends
66 approval.

- 67
68 **b. Consider approval of an amendment to the Lease of real property at Tech**
69 **Ridge.**

70
71 BACKGROUND and RECOMMENDATION: Tech Ridge currently leases land within
72 the Tech Ridge development area on which a former hangar sits which was
73 remodeled to office space. The Council recently extended the term of that lease
74 through the 1st amendment. This 2nd amendment to the lease would expand
75 the property they are leasing and grant an access easement. Staff recommends
76 approval.

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78 **c. Consider approval of the minutes from the meetings held on July 20,**
79 **2023 (work); July 20, 2023 (regular); November 2, 2023 (work); and**
80 **November 2, 2023 (regular).**

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82 Link to presentation from City Manager John Willis: [00:00:00](#) [Recording 2]

83
84 [Agenda Packet \[Page 5\]](#)

85
86 Link to motion: [00:00:31](#) [Recording 2]

87
88 **MOTION:**

89 A motion was made by Councilmember Hughes to approve the consent
90 calendar.

91 **SECOND:**

92 The motion was seconded by Councilmember McArthur.

93 **VOTE:**

94 Mayor Randall called for a vote, as follows:

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96 Councilmember Hughes – aye
97 Councilmember McArthur – aye
98 Councilmember Larsen – aye
99 Councilmember Tanner – aye

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101 The vote was unanimous and the motion carried.

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103 **APPROVE AMENDED INTERLOCAL AGREEMENT/RESOLUTION:**

104 **Consider approval of Resolution No. 2023-013R approving an Amended**
105 **Interlocal Agreement between the City of St. George and the**
106 **Redevelopment Agency of the City of St. George authorizing the diversion of**
107 **Property Taxes for the Tech Ridge Community Development Project Area;**
108 **and related matters.**

113 BACKGROUND and RECOMMENDATION: Tonight's item is to consider approval of a
114 Resolution Authorizing the City of St. George to enter into an Amended Interlocal
115 Agreement between the City of St. George and the Redevelopment Agency of the
116 City of St. George related to the Tech Ridge Community Development Project Area;
117 and related matters. The resolution and interlocal agreement will allow for the
118 diversion of property taxes from the City of St. George for the Tech Ridge
119 Community Development Project Area as outlined in the attached interlocal
120 agreement. On November 20, 2008, the Redevelopment Agency of the City of St.
121 George (the Agency), adopted a Project Area Plan and a Project Area Budget (the
122 Plan and Budget) for the St. George Airport Community Development Project Area.
123 The associated tax increment for the project area was never triggered due to
124 changes in the development. December 2021 the City of St. George adopted the
125 Tech Ridge Development Agreement which provides for a master-planned, mixed-
126 use development within the project area that includes 1 million square feet of Class-
127 A office space and mixed retail and residential. This development is anticipated to
128 create 6,000 direct jobs and significantly grow the Technology Sector in Washington
129 County. On October 26, 2023 the Redevelopment Agency of the City of St. George
130 adopted an amended Project Area Plan and Project Area Budget due to the change in
131 vision for the project, significant public infrastructure requirement and inflationary
132 impact on cost. Agency staff have worked with the other taxing entities on reviewing
133 the adopted amendment and have received positive feedback. The other taxing
134 entities are set to consider approval of similar resolutions and the attached interlocal
135 agreement on the following dates: Washington County School District adopted the
136 resolution October 30, 2023, Washington County Water Conservancy District adopted
137 the resolution November 1, 2023, Washington County will consider the resolution at
138 their November 7, 2023 meeting, the Southwest Mosquito Abatement District will
139 consider the resolution at their November 9, 2023 meeting, and the City of St.
140 George will consider the resolution at the November 9, 2023 meeting. Staff
141 recommends approval of the resolution.
142

143 Link to introduction from City Manager John Willis and presentation from Budget and
144 Financial Planning Director Robert Myers, including discussion between: [00:00:41](#)
145 [Recording 2]
146

147 [Agenda Packet \[Page 48\]](#)
148

149 Link to motion: [00:02:30](#) [Recording 2]
150

151 **MOTION:**

152 A motion was made by Councilmember Hughes to approve Resolution No.
153 2023-013R approving the Amended Interlocal Agreement between the City of
154 St. George and the Redevelopment Agency of the City of St. George
155 authorizing the diversion of Property Taxes for the Tech Ridge Community
156 Development Project Area.

157 **SECOND:**

158 The motion was seconded by Councilmember Larsen.

159 **VOTE:**

160 Mayor Randall called for a roll call vote, as follows:
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167 Councilmember Hughes – aye
168 Councilmember McArthur – aye
169 Councilmember Larsen – aye
170 Councilmember Tanner – aye

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172 The vote was unanimous and the motion carried.

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174 **APPOINTMENTS:**
175 No appointments were made.

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177 **REPORTS FROM MAYOR, COUNCILMEMBERS, AND CITY MANAGER:**
178 Link to reports from Mayor Randall: [00:03:13](#) [Recording 2]
179
180 Link to reports from Councilmember Larsen: [00:03:34](#) [Recording 2]

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182 **ADJOURN TO THE NEIGHBORHOOD REDEVELOPMENT AGENCY MEETING:**
183 Link to motion: [00:03:59](#) [Recording 2]

184
185 **MOTION:**
186 A motion was made by Councilmember Hughes to adjourn from the City
187 Council meeting and move into the Neighborhood Redevelopment Agency
188 meeting.

189 **SECOND:**
190 The motion was seconded by Councilmember McArthur.

191 **VOTE:**
192 Mayor Randall called for a vote, as follows:

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194 Councilmember Hughes – aye
195 Councilmember McArthur – aye
196 Councilmember Larsen – aye
197 Councilmember Tanner – aye

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199 The vote was unanimous and the motion carried.

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201 **ADJOURN:**
202 The meeting was adjourned at the end of the Neighborhood Redevelopment Agency
203 meeting.

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205 **MOTION:**
206 A motion was made by Councilmember McArthur to adjourn.

207 **SECOND:**
208 The motion was seconded by Councilmember Hughes.

209 **VOTE:**
210 Mayor Randall called for a vote, as follows:

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212 Councilmember Hughes – aye
213 Councilmember McArthur – aye

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217 St. George City Council Minutes
218 November 9, 2023
219 Page Five

220
221 Councilmember Larsen – aye
222 Councilmember Tanner – aye

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224 The vote was unanimous and the motion carried.

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Annette Hansen, Deputy City Recorder

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**ST. GEORGE CITY COUNCIL MINUTES
REGULAR MEETING
NOVEMBER 16, 2023 5:00 P.M.
CITY COUNCIL CHAMBERS**

PRESENT:

**Mayor Michele Randall
Councilmember Jimmie Hughes
Councilmember Gregg McArthur
Councilmember Natalie Larsen
Councilmember Michelle Tanner**

EXCUSED:

Councilmember Dannielle Larkin

STAFF MEMBERS PRESENT:

**City Manager John Willis
City Attorney Tani Downing
Assistant City Attorney Ryan Dooley
City Recorder Christina Fernandez
Special Events Coordinator Sarah Reber
Water Conservation Coordinator Rene Fleming
Planner Dan Boles
Planner Mike Hadley
Planner Carol Winner**

OTHERS PRESENT:

CALL TO ORDER, INVOCATION, AND FLAG SALUTE:

Mayor Randall called the meeting to order and welcomed all in attendance. An invocation was offered by Major Bob Schmig with the Salvation Army and The Pledge of Allegiance to the Flag was led by City Attorney Tani Downing.

Link to call to order, invocation, and flag salute: [00:00:00](#)

Link to City Manager John Willis noting that the applicant for items 10 & 11 requested they be removed from tonight's agenda: [00:01:58](#)

MAYOR'S RECOGNITIONS AND UPDATES:

No recognitions or reports were made.

CONSENT CALENDAR:

- a. Consider approval of a Professional Services Agreement with Civil Science for the Design of the SR-7 Trail Project.**

BACKGROUND and RECOMMENDATION: The project consists of the design, by Civil Science, of the SR-7 Trail from I-15 to Desert Canyons Pkwy. Funding for this project comes from a UDOT grant with a 20% local match. As indicated in the attached agreement and scope of work, the proposed design services amount to \$352,900. The design includes one trail bridge at Desert Color Parkway and one tunnel under the on and off ramps from SR-7 near Desert Color Parkway. Staff recommends approval.

4
5 **b. Consider approval of an Active Transportation Cooperation Agreement**
6 **with UDOT for the SR-7 Trail.**
7

8 BACKGROUND and RECOMMENDATION: The City applied for an active
9 transportation grant from UDOT for the design and construction of the SR-7 Trail
10 Project from I-15 to heading east. The City was granted, along with Washington
11 City and Hurricane City, an amount of \$10,240,000 (80% of total) from the State
12 for the project. With a 20% local match of \$2,560,000 (St. George - \$2,220,440,
13 Washington - \$160,160, and Hurricane - \$179,400), the project's estimated cost
14 amounts to \$12,800,000. As outlined in the cooperation agreement, it is
15 proposed that City of St. George receive the State grant and the local match
16 funds from Washington and Hurricane to administer the project design and
17 construction. Staff recommends approval.
18

19 **c. Consider approval of the Seventh Amendment to the Jviation contract**
20 **dated September 23, 2021 for the Terminal Reconstruction Project.**
21

22 BACKGROUND and RECOMMENDATION: Consider approval of the Seventh
23 Amendment to the Jviation contract dated September 23, 2021 for the Terminal
24 Reconstruction Project. Staff recommends approval.
25

26 **d. Consider approval of an agreement with Lion Energy, LLC to provide a**
27 **Battery Energy Storage System at Millcreek Generation Facility not to**
28 **exceed \$1,553,943.36.**
29

30 BACKGROUND and RECOMMENDATION: In the event of a transmission failure, St.
31 George Energy Services currently uses diesel-powered generators to energize the
32 Millcreek Generation Facility. The diesel generators are aging and inefficient.
33 The installation of this battery would allow for the initiation of Millcreek in the
34 event of loss of electric transmission to the area. Staff recommends approval.
35

36 **e. Consider approval to waive the fees of the St. George Sunrise Market**
37 **event that is taking place each Saturday at Hela Seegmiller Historic Park**
38 **located at 2592 South 3000 East, for a six (6) month trial period from**
39 **March 2, 2024 - September 2024.**
40

41 BACKGROUND and RECOMMENDATION: St George Sunrise Market is a new
42 market wanting to start up for local entrepreneurs and to bring the community
43 together. They are asking for 1) The permit fee to be waived (\$150), 2) Hela
44 Seegmiller fee to be waived every week (\$480/week), 3) any vendor fees (\$5 per
45 vendor per week), and 4) Non construction encroachment permit fee
46 (\$150/week) if needed. Staff recommends approval.
47

48 Link to presentation from City Manager John Willis: [00:02:20](#)

49 [Agenda Packet \[Page 5\]](#)

50
51
52 Link to City Councilmember Larsen requesting to remove item e for further
53 discussion and motion: [00:02:39](#)

4
5 **MOTION:**

6 A motion was made by Councilmember McArthur to approve the consent
7 calendar, excluding item e.

8 **SECOND:**

9 The motion was seconded by Councilmember Hughes.

10 **VOTE:**

11 Mayor Randall called for a vote, as follows:

12
13 Councilmember Hughes – aye
14 Councilmember McArthur – aye
15 Councilmember Larsen – aye
16 Councilmember Tanner – aye

17
18 The vote was unanimous and the motion carried.

19
20 Link to discussion between the City Council, Mayor Randall, Special Events
21 Coordinator Sarah Reber, and City Manager John Willis regarding item e: [00:03:09](#)

22
23 Link to comments from Councilmember Tanner and motion: [00:15:30](#)

24
25 **MOTION:**

26 A motion was made by Councilmember Tanner to approve to waive the fees
27 of the St. George Sunrise Market event that is taking place each Saturday at
28 Hela Seegmiller Historic Park located at 2592 South 3000 East, for a six (6)
29 month trial period from March 2, 2024 - September 2024.

30
31 Link to further discussion between the Council, Assistant City Attorney Ryan
32 Dooley, and City Manager John Willis and amended motion: [00:16:17](#)

33
34 **AMENDED**

35 **MOTION:**

36 Councilmember Tanner amended her motion to approve the application with
37 the understanding that the applicant will continue to work with City staff, and
38 if there isn't another reservation at the Barn within 45 days of their event,
39 that the applicant has the right to continue to reserve it during the 6-month
40 trial period.

41 **SECOND:**

42 The amended motion was seconded by Councilmember Hughes.

43 **VOTE:**

44 Mayor Randall called for a vote, as follows:

45
46 Councilmember Hughes – aye
47 Councilmember McArthur – aye
48 Councilmember Larsen – aye
49 Councilmember Tanner – aye

50
51 The vote was unanimous and the motion carried.

5 **PUBLIC HEARING/RESOLUTION TO ADOPT THE UPDATED WATER CONSERVATION**
6 **PLAN:**

7 **Public hearing to take comments and consider approval of Resolution No.**
8 **2023-014R adopting the updated Water Conservation Plan.**
9

10 BACKGROUND and RECOMMENDATION: The State of Utah requires all public water
11 providers with more than 500 connections to file a Water Conservation Plan. It has
12 to be updated every 5 years. The plan was last updated in 2018 and is due to the
13 State by Dec 31, 2023. Staff made a presentation to the council earlier this year
14 regarding a general update to the plan. The first draft was submitted to the State
15 and this draft incorporates the comments from the Division of Water Resources.
16 Staff recommends approval.
17

18 Link to introduction from City Manager John Willis and presentation from Water
19 Conservation Coordinator Rene Fleming, including discussion between Mayor Randall,
20 the City Council, and Ms. Fleming: [00:19:30](#)

21 [Agenda Packet \[Page 108\]](#)
22

23 Link to public hearing, no comments were given: [00:26:55](#)
24

25 Link to motion: [00:27:15](#)
26

27 **MOTION:**

28 A motion was made by Councilmember McArthur to approve Resolution No.
29 2023-014R adopting the updated Water Conservation Plan.
30

31 **SECOND:**

32 The motion was seconded by Councilmember Larsen.
33

34 **VOTE:**

35 Mayor Randall called for a roll call vote, as follows:
36

37 Councilmember Hughes – aye
38 Councilmember McArthur – aye
39 Councilmember Larsen – aye
40 Councilmember Tanner – aye
41

42 The vote was unanimous and the motion carried.
43

44 **PD AMENDMENT/ORDINANCE:**

45 **Consider approval of Ordinance No. 2023-036 amending the existing**
46 **Rillisante Villas Planned Development Residential (PD-R) zone on**
47 **approximately 24.10 acres to amend the approved Rillisante Villas**
48 **development with conceptual site plan and elevations, located generally on**
49 **the west side of the intersection of Canyon View Drive and Gap Canyon**
50 **Parkway to be known as Rillisante Villas with conditions from the Planning**
51 **Commission. Case No. 2023-PDA-021**

52 BACKGROUND and RECOMMENDATION: In April of 2021, an application for 206 units
53 (stacked units and townhomes) was approved by the City Council. The applicant

5 desires to update the townhome elevations and make a minor revision to the
6 roadway on the northern portion of the site. The Planning Commission held a public
7 hearing and recommended approval of the application with a 7-0 vote and three
8 conditions.
9

10 Link to introduction from City Manager John Willis and presentation from Planner Dan
11 Boles: [00:27:40](#)
12

13 [Agenda Packet \[Page 126\]](#)
14

15 **AND**
16

17 **HILLSIDE DEVELOPMENT PERMIT:**

18 **Consider a request for approval of a Hillside Development Permit to allow**
19 **disturbance of areas in the 20% plus slope areas on an approximately**
20 **24.10-acre site generally located just west of the Canyon View and Gap**
21 **Canyon Parkway intersection for a project to be known as Rillisante at**
22 **Divario (PA-3). Case No. 2022-HS-012**
23

24 BACKGROUND and RECOMMENDATION: The application came as a result of approval
25 of PA-3 in 2021 and was held in anticipation of the accompanying PD amendment
26 application. The Hillside Board and Planning Commission both held public meetings
27 on the request and are recommending approval of the application with no conditions.
28

29 [Agenda Packet \[Page 148\]](#)
30

31 Link to motion: [00:32:40](#)
32

33 **MOTION:**

34 A motion was made by Councilmember Tanner to approve Ordinance No.
35 2023-036 amending the existing Rillisante Villas Planned Development
36 Residential (PD-R) zone on approximately 24.10 acres to amend the approved
37 Rillisante Villas development with conceptual site plan and elevations, located
38 generally on the west side of the intersection of Canyon View Drive and Gap
39 Canyon Parkway to be known as Rillisante Villas with conditions from the
40 Planning Commission.

41 **SECOND:**

42 The motion was seconded by Councilmember Hughes.

43 **VOTE:**

44 Mayor Randall called for a roll call vote, as follows:
45

46 Councilmember Hughes – aye
47 Councilmember McArthur – aye
48 Councilmember Larsen – aye
49 Councilmember Tanner – aye
50

51 The vote was unanimous and the motion carried.
52

53 Link to motion: [00:33:43](#)

5 **MOTION:**

6 A motion was made by Councilmember Hughes to approve the Hillside
7 Development Permit to allow disturbance of areas in the 20% plus slope areas
8 on an approximately 24.10-acre site generally located just west of the
9 Canyon View and Gap Canyon Parkway intersection for a project to be known
10 as Rillisante at Divario (PA-3).

11 **SECOND:**

12 The motion was seconded by Councilmember Tanner.

13
14 Link to discussion between Councilmember Larsen and Planner Dan Boles: [00:34:16](#)

15
16 Link to amended motion: [00:35:03](#)
17

18 **AMENDED**
19 **MOTION:**

20 Councilmember Hughes amended his motion to include the condition that the
21 developer place orange netting/fencing around the project.

22 **SECOND:**

23 The amended motion was seconded by Councilmember Tanner.

24 **VOTE:**

25 Mayor Randall called for a vote, as follows:

26
27 Councilmember Hughes – aye
28 Councilmember McArthur – aye
29 Councilmember Larsen – aye
30 Councilmember Tanner – aye
31

32 The vote was unanimous and the motion carried.
33

34 **ZONE CHANGE/ORDINANCE:**

35 **Consider approval of Ordinance No. 2023-037 amending the city zoning map**
36 **by extending approvals for the zoning on the subject property of R-1-20**
37 **(Residential Single Family 20,000 square feet minimum lot size) on**
38 **approximately 18.62 acres located approximately at the southeast corner of**
39 **1580 South 3000 East for a project to be known as The Grove. Case No.**
40 **2023-ZC-015**

41
42 BACKGROUND and RECOMMENDATION: The zoning on the subject property was
43 approved in 2022. Due to language in the ordinance, the zoning would expire after a
44 year without reapproving the zoning. The Planning Commission held a public hearing
45 on the request and recommended approval with a 7-0 vote and no conditions.
46

47 Link to introduction from City Manager John Willis and presentation from Planner Dan
48 Boles, including discussion between the City Council and Mr. Boles: [00:35:15](#)

49
50 [Agenda Packet \[Page 283\]](#)
51

52 **AND**
53

5 **PRELIMINARY PLAT:**

6 **Consider approval of a preliminary plat for The Grove subdivision, a 14-lot**
7 **single-family development located on the southeast corner of 1580 South**
8 **and 3000 East. Case No. 2023-PP-032**
9

10 BACKGROUND and RECOMMENDATION: The property is currently zoned R-1-20
11 (Residential, single-family residential 20,000 ft² minimum lot size). The applicant is
12 proposing 14 lots. Lots 3-14 will all exceed 50,000 ft². Lots one and two are smaller
13 due to the road connection into the stubbed road to the south but still exceed 20,000
14 ft². The road will tie into 3210 East which borders the east side of the property. The
15 Planning Commission recommended approval, with one condition.

16 [Agenda Packet \[Page 299\]](#)

17
18
19 Link to motion: [00:38:11](#)
20

21 **MOTION:**

22 A motion was made by Councilmember Tanner to approve Ordinance No.
23 2023-037 amending the city zoning map by extending approvals for the
24 zoning on the subject property of R-1-20 (Residential Single Family 20,000
25 square feet minimum lot size) on approximately 18.62 acres located
26 approximately at the southeast corner of 1580 South 3000 East for a project
27 to be known as The Grove.

28 **SECOND:**

29 The motion was seconded by Councilmember Larsen.

30 **VOTE:**

31 Mayor Randall called for a roll call vote, as follows:

32
33 Councilmember Hughes – aye
34 Councilmember McArthur – aye
35 Councilmember Larsen – aye
36 Councilmember Tanner – aye
37

38 The vote was unanimous and the motion carried.

39
40 Link to motion: [00:38:47](#)
41

42 **MOTION:**

43 A motion was made by Councilmember Larsen to approve the preliminary plat
44 for The Grove subdivision, a 14-lot single-family development located on the
45 southeast corner of 1580 South and 3000 East.

46 **SECOND:**

47 The motion was seconded by Councilmember Hughes.

48 **VOTE:**

49 Mayor Randall called for a vote, as follows:

50
51 Councilmember Hughes – aye
52 Councilmember McArthur – aye
53

4
5 Councilmember Larsen – aye
6 Councilmember Tanner – aye
7

8 The vote was unanimous and the motion carried.
9

10 **ZONE CHANGE/ORDINANCE:**

11 **Consider approval of Ordinance No. 2023-038 amending the city zoning map**
12 **by amending the zone from PD-R (Planned Development Residential) to C-3**
13 **(General Commercial) on approximately 3.0 acres generally located on the**
14 **east side of Riverside Drive at approximately 700 South. Case No. 2023-ZC-**
15 **014**

16
17 BACKGROUND and RECOMMENDATION: The three acres that is proposed to be
18 rezoned is part of a larger 16-acre parcel. In 2021, a PD-R for townhomes was
19 approved on the overall parcel. Though the zoning covered the entire parcel, the
20 townhomes were only planned on the bottom portion (roughly 10 acres) of the
21 property that are flatter than the northern portion of the property. This left
22 approximately six acres not occupied by townhomes. The Planning Commission held
23 a public hearing on the zone change on October 24, 2023, and recommends approval
24 of the application with a 7-0 vote and no conditions.
25

26 Link to introduction from City Manager John Willis and presentation from Planner Dan
27 Boles: [00:39:10](#)

28
29 [Agenda Packet \[Page 309\]](#)

30
31 **AND**

32
33 **PRELIMINARY PLAT:**

34 **Consider approval of a preliminary plat for the Willow Bend subdivision, a**
35 **three lot, 16.37-acre subdivision located on the east side of Riverside Drive**
36 **between 700 South and Judy Lane. Case No. 2023-PP-035**
37

38 BACKGROUND and RECOMMENDATION: This plat is part of a larger application to
39 rezone the property and plat it. If the property is rezoned, this plat will keep the
40 property from being split zoned. Lot one is proposed to be 3.0 acres and is the lot
41 proposed to be rezoned to commercial. The Planning Commission held a public
42 hearing on the request and recommends approval with a 7-0 vote and one condition.
43

44 [Agenda Packet \[Page 321\]](#)

45
46 Link to motion: [00:41:15](#)

47
48 **MOTION:**

49 A motion was made by Councilmember Tanner to approve Ordinance No.
50 2023-038 amending the city zoning map by amending the zone from PD-R
51 (Planned Development Residential) to C-3 (General Commercial) on
52 approximately 3.0 acres generally located on the east side of Riverside Drive
53 at approximately 700 South.

4
5 **SECOND:**

6 The motion was seconded by Councilmember Hughes.

7 **VOTE:**

8 Mayor Randall called for a roll call vote, as follows:

9
10 Councilmember Hughes – aye
11 Councilmember McArthur – aye
12 Councilmember Larsen – aye
13 Councilmember Tanner – aye

14
15 The vote was unanimous and the motion carried.

16
17 Link to motion: [00:41:54](#)

18
19 **MOTION:**

20 A motion was made by Councilmember Hughes to approve the preliminary
21 plat for the Willow Bend subdivision, a three lot, 16.37-acre subdivision
22 located on the east side of Riverside Drive between 700 South and Judy Lane.

23 **SECOND:**

24 The motion was seconded by Councilmember Larsen.

25 **VOTE:**

26 Mayor Randall called for a roll call vote, as follows:

27
28 Councilmember Hughes – aye
29 Councilmember McArthur – aye
30 Councilmember Larsen – aye
31 Councilmember Tanner – aye

32
33 The vote was unanimous and the motion carried.

34
35 **AMEND CITY CODE/ORDINANCE:**

36 **Consider approval of Ordinance No. 2023-039 amending Title 3 and Title 10**
37 **of the St. George City Code, to add provisions for temporary parking lot**
38 **businesses to Title 3 and remove for mobile businesses from Title 10.**

39
40 BACKGROUND and RECOMMENDATION: On December 15, 2022, an amendment was
41 approved to add mobile business to Title 3 and Title 10. In Title 10, mobile business
42 was added as a permitted use with standards, and specific standards were created.
43 However, in 2023, the State adopted a new code that prevents cities from requiring
44 a mobile business to comply with the adopted zoning ordinance. This amendment
45 renames mobile businesses to temporary parking lot businesses and adjusts the
46 associated requirements in Title 3. In addition, this zoning regulation amendment
47 removes mobile business regulations from Title 10. The changes to Title 10 were
48 presented to the Planning Commission on October 24, 2023 where a public hearing
49 was held. With a 7-0 vote, the Planning Commission recommended approval.

50
51 Link to introduction from City Manager John Willis and presentation from Planner
52 Carol Winner, including discussion between the City Council and Ms. Winner:

53 [00:42:27](#)

4 [Agenda Packet \[Page 385\]](#)

5
6
7 Link to motion: [00:48:13](#)

8
9 **MOTION:**

10 A motion was made by Councilmember Hughes to approve Ordinance No.
11 2023-039 amending Title 3 and Title 10 of the St. George City Code, to add
12 provisions for temporary parking lot businesses to Title 3 and remove for
13 mobile businesses from Title 10.

14 **SECOND:**

15 The motion was seconded by Councilmember McArthur.

16 **VOTE:**

17 Mayor Randall called for a roll call vote, as follows:

18
19 Councilmember Hughes – aye
20 Councilmember McArthur – aye
21 Councilmember Larsen – aye
22 Councilmember Tanner – aye

23
24 The vote was unanimous and the motion carried.

25
26 **APPOINTMENTS:**

27 **Appointments to Boards and Commissions of the City.**

28
29 Link to Mayor Randall recommending the appointment of Carol Winner as the Interim
30 Community Development Director for six months: [00:48:43](#)

31
32 Link to motion: [00:48:59](#)

33
34 **MOTION:**

35 A motion was made by Councilmember Larsen to appoint Carol Winner as the
36 Interim Community Development Director for six months.

37 **SECOND:**

38 The motion was seconded by Councilmember Hughes.

39 **VOTE:**

40 Mayor Randall called for a vote, as follows:

41
42 Councilmember Hughes – aye
43 Councilmember McArthur – aye
44 Councilmember Larsen – aye
45 Councilmember Tanner – aye

46
47 The vote was unanimous and the motion carried.

48
49 Link to Mayor Randall recommending the appoint of Karin Edwards as the President
50 of the Arts Commission: [00:49:10](#)

51
52 Link to motion: [00:49:22](#)
53

4
5 **MOTION:**

6 A motion was made by Councilmember McArthur to appoint Karin Edwards as
7 President of the Arts Commission.

8 **SECOND:**

9 The motion was seconded by Councilmember Hughes.

10 **VOTE:**

11 Mayor Randall called for a vote, as follows:

12
13 Councilmember Hughes – aye
14 Councilmember McArthur – aye
15 Councilmember Larsen – aye
16 Councilmember Tanner – aye
17

18 The vote was unanimous and the motion carried.
19

20 **REPORTS FROM MAYOR, COUNCILMEMBERS, AND CITY MANAGER:**

21 Link to reports from Councilmember Hughes: [00:49:33](#)

22
23 Link to reports from Mayor Randall: [00:50:25](#)

24
25 Link to reports from Councilmember McArthur: [00:52:38](#)

26
27 Link to reports from Councilmember Larsen: [00:53:26](#)

28
29 Link to reports from Councilmember Tanner: [00:55:14](#)

30
31 Link to comments from Councilmember Hughes and Mayor Randall: [00:55:20](#)
32

33 **ADJOURN TO A CLOSED MEETING:**

34 **Request a closed session to discuss litigation, security, property**
35 **acquisition or sale or the character and professional competence or**
36 **physical or mental health of an individual.**
37

38 A closed meeting was not held.
39

40 **ADJOURN:**

41 Link to motion: [00:56:05](#)
42

43 **MOTION:**

44 A motion was made by Councilmember Hughes to adjourn.

45 **SECOND:**

46 The motion was seconded by Councilmember Larsen.

47 **VOTE:**

48 Mayor Randall called for a vote, as follows:

49
50 Councilmember Hughes – aye
51 Councilmember McArthur – aye
52
53

1 St. George City Council Minutes
2 November 16, 2023
3 Page Twelve

4
5 Councilmember Larsen – aye
6 Councilmember Tanner – aye

7
8 The vote was unanimous and the motion carried.
9

10
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14 _____
Christina Fernandez, City Recorder

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**ST. GEORGE CITY COUNCIL MINUTES
WORK MEETING
NOVEMBER 21, 2023, APPROXIMATELY 9:00 A.M.
ADMINISTRATIVE CONFERENCE ROOM**

PRESENT:

**Mayor Michele Randall
Councilmember Jimmie Hughes - arrived during the closed meeting
Councilmember Natalie Larsen
Councilmember Michelle Tanner**

EXCUSED:

**Councilmember Dannielle Larkin
Councilmember Gregg McArthur**

STAFF MEMBERS PRESENT:

**City Manager John Willis
City Attorney Tani Downing
Deputy City Attorney Jami Brackin
Assistant City Attorney Ryan Dooley
Special Appointed City Attorney Scott
Deputy City Recorder Annette Hansen**

CALL TO ORDER:

Mayor Randall called the meeting to order and welcomed all in attendance.

ADJOURN TO A CLOSED SESSION:

MOTION:

A motion was made by Councilmember Larsen to request a closed meeting to discuss litigation, security, property acquisition or sale, or the character and professional competence or physical or mental health of an individual.

SECOND:

The motion was seconded by Councilmember Tanner.

VOTE:

Mayor Randall called for a vote, as follows:

Councilmember Larsen – aye
Councilmember Tanner – aye

The vote was unanimous and the motion carried.

ADJOURN:

The meeting was adjourned at the end of the closed meeting.

MOTION:

A motion was made by Councilmember Larsen to adjourn from the closed session and to close the city council meeting.

SECOND:

The motion was seconded by Councilmember Tanner.

VOTE:

Mayor Randall called for a vote, as follows:

54 St. George City Council Minutes
55 November 21, 2023
56 Page Two

57
58 Councilmember Hughes – aye
59 Councilmember Larsen – aye
60 Councilmember Tanner – aye

61
62 The vote was unanimous and the motion carried.

63

64

65

66

67

68

Annette Hansen, Deputy City Recorder



Agenda Date: 12/07/2023

Agenda Item Number: 04

Subject:

Public hearing and consideration of Ordinance No. 2023-040 to vacate a portion of a municipal utility easement located in common area around Lot 3, Avenidas at Hidden Valley.

Item at-a-glance:

Staff Contact: Todd Jacobsen

Applicant Name: Rick Meyer, Bush and Gudgell

Reference Number: PLANLRE23-013

Address/Location:

3 E Dakar LN

Item History (background/project status/public process):

The final plat for Avenidas at Hidden Valley was approved by the City of St. George Land Use Authority on the 21st day of March, 2023. Recorded on the 24th day of March, 2023 as Doc. No. 20230007971.

Staff Narrative (need/purpose):

The applicant would like to increase the size of Lot 3 to accommodate a larger house plan. By doing so MUE's around Lot 3 will need to be vacated where the new lot size is proposed.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

JUC recommends approval. Reviews were agreed upon on October 25, 2023.

When Recorded Return To:
City of St. George
City Recorder's Office
175 East 200 North
St. George, UT 84770

ORDINANCE NO. _____

Tax ID: SG-AHV-1-3, SG-AHV-COMM

**AN ORDINANCE VACATING A PORTION OF A MUNICIPAL UTILITY EASEMENT
EVIDENCED BY ENTRY NO. 20230007971, AVENIDAS AT HIDDEN VALLEY, ACCORDING TO THE
OFFICIAL PLAT THEREOF ON FILE IN THE WASHINGTON COUNTY RECORDER'S OFFICE
LOCATED IN ST. GEORGE, WASHINGTON COUNTY, UTAH**
(Located in the common area around Lot 3)

WHEREAS, a petition was received by this Council requesting it to vacate a portion of an existing municipal utility easement, located in common area around Lot 3, Avenidas at Hidden Valley, as Lot 3 is increasing on size, being more particularly describe and shown in Exhibit A and Exhibit B; and

WHEREAS, the Joint Utility Commission (JUC) recommends approval of the vacation of the public utility easement; and

WHEREAS, it appears that it will not be detrimental to the general public interest, and that there is good cause for vacating the municipal utility easement as described in Exhibit A and Exhibit B.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council:

That the municipal utility easement as more particularly described and in Exhibit A and Exhibit B, which are incorporated herein, is hereby vacated by the City of St. George.

APPROVED AND ADOPTED by the St. George City Council on this ____ day of _____, 2023. This Ordinance shall become effective upon recording of documents, and upon posting in the manner required by law.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

VOTING OF CITY COUNCIL:
Councilmember Hughes _____
Councilmember McArthur _____
Councilmember Larkin _____
Councilmember Larsen _____
Councilmember Tanner _____

Jami Brackin, Deputy City Attorney

Bush and Gudgell, Inc.

Engineers • Planners • Surveyors

St. George, Utah

www.bushandgudgell.com

EXHIBIT "A" EASEMENT VACATION LEGAL DESCRIPTIONS

AREA 1:

BEGINNING AT A POINT THAT LIES SOUTH 88°52'18" EAST ALONG THE SECTION LINE 496.24 FEET AND DUE SOUTH 1,826.07 FEET, FROM THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 43 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTH 67°07'40" EAST 57.00 FEET; THENCE SOUTH 22°52'20" WEST 19.91 FEET; THENCE NORTH 11°23'04" EAST 17.30 FEET; THENCE NORTH 78°36'56" WEST 54.65 FEET; THENCE NORTH 22°52'20" EAST 13.85 FEET TO THE POINT OF BEGINNING.

CONTAINING 489.56 SQUARE FEET OR 0.011 ACRES.

AREA 2:

BEGINNING AT A POINT THAT LIES SOUTH 88°52'18" EAST ALONG THE SECTION LINE 479.34 FEET AND DUE SOUTH 1,890.90 FEET, FROM THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 43 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTH 78°36'56" EAST 48.47 FEET; THENCE SOUTH 22°52'20" WEST 9.65 FEET; THENCE NORTH 67°07'40" WEST 47.50 FEET TO THE POINT OF BEGINNING.

CONTAINING 229.26 SQUARE FEET OR 0.005 ACRES.

AREA 3:

BEGINNING AT A POINT THAT LIES SOUTH 88°52'18" EAST ALONG THE SECTION LINE 486.27 FEET AND DUE SOUTH 1,849.89 FEET, FROM THE NORTHWEST CORNER OF SECTION 18, TOWNSHIP 43 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, AND RUNNING THENCE SOUTH 11°23'04" WEST 41.18 FEET; THENCE NORTH 67°07'40" WEST 8.20 FEET; THENCE NORTH 22°52'20" EAST 40.35 FEET TO THE POINT OF BEGINNING.

CONTAINING 165.46 SQUARE FEET OR 0.004 ACRES.

When Recorded Return To:
City of St. George
City Recorder's Office
175 East 200 North
St. George, UT 84770

ORDINANCE NO. _____

Tax ID: SG-CRM-1-1, SG-CRM-1-2

**AN ORDINANCE VACATING A PORTION OF A MUNICIPAL UTILITY EASEMENT
EVIDENCED BY ENTRY NO. 20220043843, CRIMSON RANCH ESTATES PHASE 1, ACCORDING TO
THE OFFICIAL PLAT THEREOF ON FILE IN THE WASHINGTON COUNTY RECORDER'S OFFICE
LOCATED IN ST. GEORGE, WASHINGTON COUNTY, UTAH
(Located between Lots 1 and 2)**

WHEREAS, a petition was received by this Council requesting it to vacate a portion of an existing municipal utility easement, located between Lots 1 and 2, Crimson Ranch Estates Phase 1, so the two lots can be combined into one lot, being more particularly describe and shown in Exhibit A and Exhibit B; and

WHEREAS, the Joint Utility Commission (JUC) recommends approval of the vacation of the public utility easement; and

WHEREAS, it appears that it will not be detrimental to the general public interest, and that there is good cause for vacating the municipal utility easement as described in Exhibit A and Exhibit B.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council:

That the municipal utility easement as more particularly described and in Exhibit A and Exhibit B, which are incorporated herein, is hereby vacated by the City of St. George.

APPROVED AND ADOPTED by the St. George City Council on this ____ day of _____, 2023. This Ordinance shall become effective upon recording of documents, and upon posting in the manner required by law.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

VOTING OF CITY COUNCIL:
Councilmember Hughes _____
Councilmember McArthur _____
Councilmember Larkin _____
Councilmember Larsen _____
Councilmember Tanner _____

Jami Brackin, Deputy City Attorney

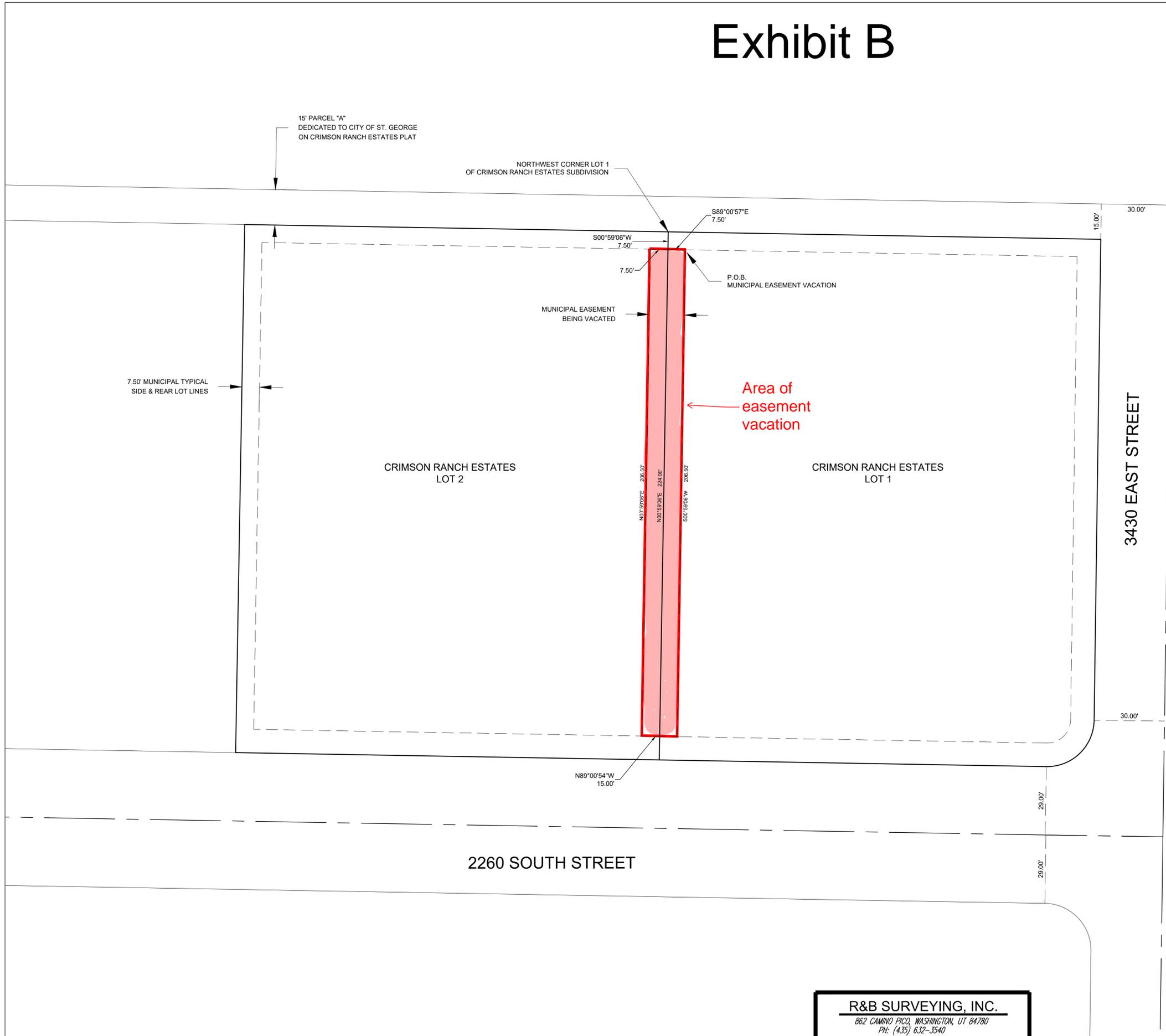
EXHIBIT A

MUNICIPAL EASEMENT VACATION-LOTS 1 AND 2 OF CRIMSON RANCH ESTATES SUBD.
BEGINNING AT A POINT S0°59'06"W, 7.50 FEET AND S89°00'57"E, 7.50 FEET FROM THE
NORTHWEST CORNER OF LOT 1 OF CRIMSON RANCH ESTATES SUBDIVISION FILED AS
DOCUMENT NO. 20220043843 IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER,
RUNNING THENCE S0°59'06"W, 206.50 FEET; THENCE N89°00'54"W, 15.00 FEET; THENCE
N0°59'06"E, 206.50 FEET; THENCE S89°00'57"E, 7.50 FEET TO THE POINT OF BEGINNING.

PREPARED BY:

R&B SURVEYING, INC.
ROGER M. BUNDY, PLS 7654

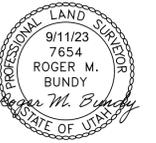
Exhibit B



SURVEYOR'S CERTIFICATE

I, ROGER M. BUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 7654, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE PREPARED THE HERON EXHIBIT AND BOUNDARY DESCRIPTION FROM THE RECORDED PLAT OF CRIMSON RANCH ESTATES SUBDIVISION AND THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF RECORD INFORMATION CONTAINED THEREON.

DATE: 9/11/23

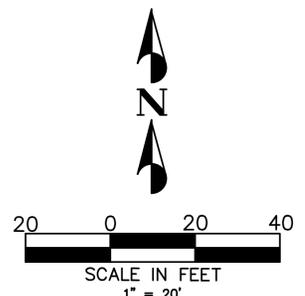


BOUNDARY DESCRIPTION

BEGINNING AT A POINT S0°59'06"W, 7.50 FEET AND S89°00'57"E, 7.50 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF CRIMSON RANCH ESTATES SUBDIVISION FILED AS DOCUMENT NO. 20220043843 IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER, RUNNING THENCE S0°59'06"W, 206.50 FEET; THENCE N89°00'54"W, 15.00 FEET; THENCE N0°59'06"E, 206.50 FEET; THENCE S89°00'57"E, 7.50 FEET TO THE POINT OF BEGINNING.

NARRATIVE

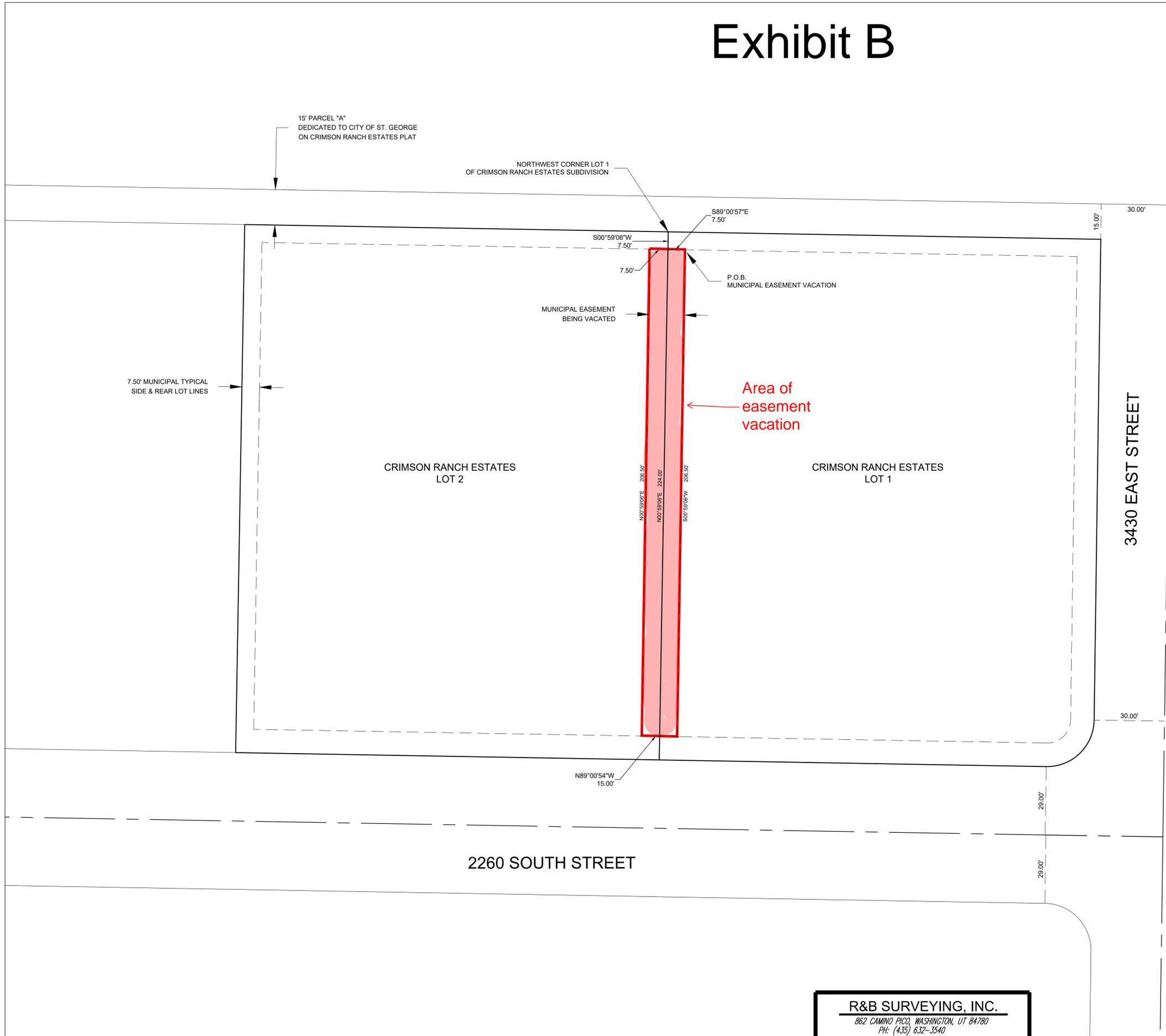
THE PURPOSE OF AMENDING LOTS 1 & 5-7 OF CRIMSON ESTATES, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER AS DOCUMENT NO. 20220027561, IS TO INCREASE THE SIZE OF LOTS 1, 5, 6 AND 7, AND TO ADD PARCEL A BY EXTENDING THE SOUTHERN, OR REAR LOT LINES TO THE SOUTH, AS SHOWN. ADDITIONALLY PARCEL A SHOWN HEREON IS BEING ADDED. AMENDMENT OF SAID LOTS ALSO CHANGES THE LOCATION OF MUNICIPAL UTILITY EASEMENTS ALONG THE ORIGINAL SOUTHERN, OR REAR LOT LINES, VACATING THE ORIGINAL EASEMENT LOCATIONS FROM SAID PLAT. NEW MUNICIPAL UTILITY EASEMENTS ARE BEING DEDICATED ALONG ALL LOT LINES AS SHOWN EXCEPT THAT EASEMENTS ARE NOT BEING DEDICATED ALONG THE LOT LINES OF PARCEL A. THE EXTENSION OF 3430 EAST STREET AND BRIGHTON DRIVE ARE ALSO BEING DEDICATED AS REQUIRED. NO OTHER CHANGES WERE MADE OR INTENDED.



**CRIMSON RANCH ESTATES
VACATION EXHIBIT FOR
MUNICIPAL EASEMENT
ALONG LOT LINE OF LOTS 1 AND 2**

R&B SURVEYING, INC.
862 CAMINO PICO, WASHINGTON, UT 84780
PH: (435) 632-3540

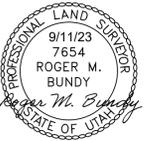
Exhibit B



SURVEYOR'S CERTIFICATE

I, ROGER M. BUNDY, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 7654, IN ACCORDANCE WITH TITLE 58, CHAPTER 22, OF THE PROFESSIONAL ENGINEERS AND LAND SURVEYORS LICENSING ACT OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS I HAVE PREPARED THE HERON EXHIBIT AND BOUNDARY DESCRIPTION FROM THE RECORDED PLAT OF CRIMSON RANCH ESTATES SUBDIVISION AND THAT THIS IS A TRUE AND CORRECT REPRESENTATION OF RECORD INFORMATION CONTAINED THEREON.

DATE: 9/11/23

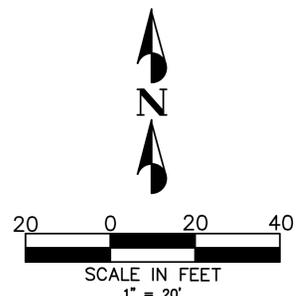


BOUNDARY DESCRIPTION

BEGINNING AT A POINT S0°59'06"W, 7.50 FEET AND S89°00'57"E, 7.50 FEET FROM THE NORTHWEST CORNER OF LOT 1 OF CRIMSON RANCH ESTATES SUBDIVISION FILED AS DOCUMENT NO. 20220043843 IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER, RUNNING THENCE S0°59'06"W, 206.50 FEET; THENCE N89°00'54"W, 15.00 FEET; THENCE N0°59'06"E, 206.50 FEET; THENCE S89°00'57"E, 7.50 FEET TO THE POINT OF BEGINNING.

NARRATIVE

THE PURPOSE OF AMENDING LOTS 1 & 5-7 OF CRIMSON ESTATES, ACCORDING TO THE OFFICIAL PLAT THEREOF, ON FILE IN THE OFFICE OF THE WASHINGTON COUNTY RECORDER AS DOCUMENT NO. 20220027561, IS TO INCREASE THE SIZE OF LOTS 1, 5, 6 AND 7, AND TO ADD PARCEL A BY EXTENDING THE SOUTHERN, OR REAR LOT LINES TO THE SOUTH, AS SHOWN. ADDITIONALLY PARCEL A SHOWN HEREON IS BEING ADDED. AMENDMENT OF SAID LOTS ALSO CHANGES THE LOCATION OF MUNICIPAL UTILITY EASEMENTS ALONG THE ORIGINAL SOUTHERN, OR REAR LOT LINES, VACATING THE ORIGINAL EASEMENT LOCATIONS FROM SAID PLAT. NEW MUNICIPAL UTILITY EASEMENTS ARE BEING DEDICATED ALONG ALL LOT LINES AS SHOWN EXCEPT THAT EASEMENTS ARE NOT BEING DEDICATED ALONG THE LOT LINES OF PARCEL A. THE EXTENSION OF 3430 EAST STREET AND BRIGHTON DRIVE ARE ALSO BEING DEDICATED AS REQUIRED. NO OTHER CHANGES WERE MADE OR INTENDED.



**CRIMSON RANCH ESTATES
VACATION EXHIBIT FOR
MUNICIPAL EASEMENT
ALONG LOT LINE OF LOTS 1 AND 2**

R&B SURVEYING, INC.
862 CAMINO PICO, WASHINGTON, UT 84780
PH: (435) 632-3540



Agenda Date: 12/07/2023

Agenda Item Number: 05

Subject:

Consider approval of Ordinance No. 2023-041 amending Title 8, Chapter 6, Section 2 and Section 3, Stormwater Services of the City Code to clarify and adjust the Equivalent Residential Unit (ERU) calculation.

Item at-a-glance:

Staff Contact: Cameron Cutler

Applicant Name: City of St. George

Reference Number: N/A

Address/Location:

N/A

Item History (background/project status/public process):

The Stormwater Services ordinance (Title 8, Chapter 6) defines an ERU (Equivalent Residential Unit) of 2,000 square feet of impervious surface and explains associated calculation for determining drainage utility fees for commercial properties. The current adopted fee in the budget adjusted the ERU to 3,000 square feet, which reduces the drainage fee for commercial property. This ordinance updates the ERU definition to 3,000 square feet.

Staff Narrative (need/purpose):

The drainage utility fee was increased from \$4.50 per ERU to \$7.00 per ERU through last years budget process and subsequent budget adoption. The ordinance was not changed at that time, but needed to be updated from 2,000 square feet to 3,000 square feet for the ERU calculation. This item is to clean up the ordinance to match the prior drainage utility fee adjustment.

Name of Legal Dept approver: Daniel Baldwin

Budget Impact: No Impact

Recommendation (Include any conditions):

Staff recommends approval of the ordinance.

ORDINANCE NO. _____

AN ORDINANCE AMENDING AND ENACTING TITLE 8 CHAPTER 6 SECTION 2 AND SECTION 3, STORMWATER DRAINAGE SERVICES, DEFINITIONS AND METHOD OF DETERMINING SERVICE FEE RATES

WHEREAS, the City adopted an ordinance for Storm Water Drainage Services and adopted a fee in the actual ordinance; and

WHEREAS, the City would like to increase the Equivalent Residential Unit (ERU) impervious surface area; and

WHEREAS, the City Council has determined that changes to the ordinances are in the best interest of the health, safety, and welfare of the citizens of the City of St. George and are justified at this time.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council, as follows:

Section 1. Repealer. The following is repealed:

Title 8 Chapter 6 Section 2 DEFINITIONS: EQUIVALENT RESIDENTIAL UNIT (ERU): Two thousand (2,000) square feet of impervious surface area.

Section 2. Enactment. The following is enacted and shall read as follows:

Title 8 Chapter 6 Section 2 DEFINITIONS: EQUIVALENT RESIDENTIAL UNIT (ERU): Three thousand (3,000) square feet of impervious surface area.

Section 3. Repealer. The following is repealed:

Title 8 Chapter 6 Section 3-A.5 is repealed.

Section 4. Enactment. The following is enacted and shall read as follows:

Title 8 Chapter 6 Section 3-A.5. Other Parcels: Charges for all parcels, other than residential, shall be computed by multiplying the total ERUs for a parcel by the monthly fee. Total ERUs are calculated by dividing total square feet of impervious surface by three thousand (3,000) (one (1) ERU), rounded to the nearest whole number.

Section 5. Severability. If any provision of this Ordinance is declared to be invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 6. Effective Date. This Ordinance shall take effect immediately upon posting in the manner required by law.

APPROVED AND ADOPTED by the City Council of the City of St. George, this ____ day of _____, 2023.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

Ryan N Dooley, Assistant City Attorney

VOTING OF CITY COUNCIL:

Councilmember Hughes	_____
Councilmember McArthur	_____
Councilmember Larkin	_____
Councilmember Larsen	_____
Councilmember Tanner	_____



Agenda Date: 12/07/2023

Agenda Item Number: 06

Subject:

Consider approval of Ordinance No. 2023-042 amending an approved PD-C (Planned Development Commercial) and adopting a development agreement on approximately 2.23 acres, located at 1685 East Red Hills Parkway for the purpose of adding a 6,900-square foot addition to an existing commercial business for a project to be known as Factory Powersports. Case No. 2023-PDA-019

Item at-a-glance:

Staff Contact: Carol Winner

Applicant Name: General Properties, LLC

Reference Number: 2023-PDA-019

Address/Location:

Located at 1685 East Red Hills Parkway

Item History (background/project status/public process):

On August 6, 2020, Factory Powersports successfully changed their zoning from C-2 (Highway Commercial) and RE-12.5 (Residential Estates 12,500 sq. ft. minimum lot size) to PD-C designation in preparation for this addition. The new addition will be approximately 6,900 square feet. It will be built on the west side of the existing building. On September 26, 2023, the Planning Commission held a public hearing on this item. At that time a discussion ensued concerning the property to the west that the applicant owns and would be developing in the future. A development agreement would be needed for the development of that property and this property; therefore, the item was continued. On November 14, 2023, this item along with a development agreement was brought before the Planning Commission at a public hearing where the Planning Commission recommended approval.

Staff Narrative (need/purpose):

This is a request to amend the PD-C (Planned Development Commercial) to allow for an addition to the existing Factory Powersports building. This addition will provide expanded showroom space and additional storage space.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

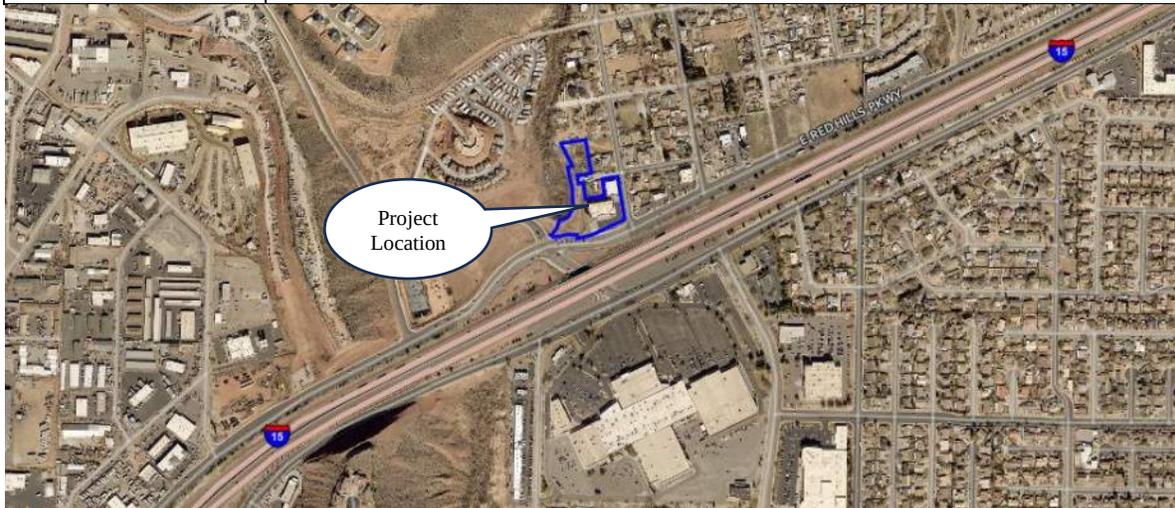
With a 5-0 vote, the Planning Commission recommended approval of the Factory Powersports Addition Planned Development Amendment.



PLANNING COMMISSION AGENDA REPORT: 11/14/2023

CITY COUNCIL AGENDA REPORT: **12/07/2023**

Factory Powersports Addition Planned Development Amendment (Case No. 2023-PDA-019)	
Request:	Consider an ordinance amending an approved PD-C (Planned Development Commercial) and adopting a development agreement on approximately 2.23 acres, located at 1685 East Red Hills Parkway for the purpose of adding a 6900-square foot addition to an existing commercial business for a project to be known as Factory Powersports.
Applicant:	General Properties, LLC
Representative:	Russell Key
Location:	Located at 1685 East Red Hills Parkway
General Plan:	COM (Commercial)
Existing Zoning:	PD-C (Planned Development Commercial)
Surrounding Zoning:	North RE-12.5 (Residential Estates 12,500sf minimum lot size)
	South PD-C (Planned Development Commercial)
	East RE-12.5 (Residential Estates 12,500sf minimum lot size)
	West PD-C (Planned Development Commercial)
Land Area:	Approximately 2.23 acres



BACKGROUND:

This is a request to amend the PD-C (Planned Development Commercial) to allow for an addition to the existing Factory Powersports building. On August 6, 2020, Factory Powersports successfully changed their zoning from C-2 (Highway Commercial) and RE-12.5 (Residential Estates 12,500 sq. ft. minimum lot size) to PD-C designation in preparation for this addition. This addition will provide expanded showroom space and additional storage space.

The new addition will be approximately 6,900 square feet. It will be built on the west side of the existing building. Due to the significant drop on this side of the property, the new addition will appear to be one story in the front and two stories from the rear and along the west side. The exterior design will complement the existing building with EIFS, CMU block, and metal paneling. There will be 10 additional parking stalls added which meets the parking requirements. Directly to the north, there is residential property that is located at the same elevation as the existing building and the second story of the addition. A 6' block wall separates the properties, and the applicant will be required to put in a 10' landscape buffer along this wall.

On September 26, 2023, the Planning Commission heard this item. During discussion, it was mentioned that the applicant-owned property to the west, to be developed at a later date, would not have enough room for the required 15' landscape strip along Gateway Drive due to a 10' city trail the applicant would be putting in. To mitigate this, a development agreement would be needed; therefore, this item was continued. The applicant has worked with staff on the development agreement presented at this time. The development agreement states that the owner will dedicate a 10' trail easement to the city, and in return, the city will allow the 15' landscape strip be reduced to 5' at the location where the trail will be placed. (Please refer to Exhibit D.)

Please see the zoning requirement details below:

Zoning Requirements			
Regulation	Section Number	Proposal	Staff Comments
Setbacks		Front/ Street Side: 74'10" Side: 25' Rear: 11'73/4"	The required setbacks are: Front/ Street Side: 20' Side/ Rear: 10'
Uses	10-8D-2	Drive Thru Restaurant	The proposed use is found on the approved use list for the Twin Lakes – Gateway Commons PD-C
Height and Elevation	10-8D-2	Approximate Height in Rear: 19' 10" Approximate Avg Height: 34'	The maximum height allowed in a PD-C is 50'. This proposal meets the regulations.

Landscape Plan	10-8D-2	A conceptual landscape plan has been included.	The plans show a 15' landscape strip along with landscape in the parking area. The street trees will be required to be at least 30' on center.
Utilities	10-8D-2	None shown	All utilities will be determined and designed during the JUC process. We will ensure this is completed during the site plan approval process.
Signs	10-8D-2	None shown	Any signs will need to meet the sign regulations found in Title 9-13.
Lighting	10-8D-2	Please see photometric plan in the presentation	The lighting will need to be at or below 1.0 foot candles at the property line with dark sky lighting.
Lot Coverage	10-8D-6	The proposed building covers 17% of the expanded lot.	The PD-C zone allows building coverage up to 50%.
Solid Waste	10-8D-6	This proposed addition will not change the solid waste location.	N/A
Buffer Protection of Residential Property	10-8D-6	Nothing shown	There will need to be a 10' landscape buffer along the east and north property line that abuts residential
Parking	10-19-5	The addition will have a showroom with 17 vehicles. There will also be 6,161 sf of storage. There are 10 new parking stalls required.	The requirement is: 1 space per 7 vehicles in the showroom = 2 1 space per 1000 sf of storage = 6 The total required parking spaces = 8 Exceeds parking requirement by 2 spaces
EVCS And Bike Parking	10-19-6	None shown	They will be required to have conduit to one parking space for a future EVCS and a bike rack that holds at least two bikes.
Colors	10-17A-14	The plans show the buildings to be in the grey tones.	The code allows for natural muted tones that emulate the local geologic formations common to the area and blend with the predominant colors of the natural

			surroundings.
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RECOMMENDATION:

With a 5-0 vote, the Planning Commission recommended approval of the Factory Powersports Addition Planned Development Amendment and the development agreement.

ALTERNATIVES:

1. Approve as presented.
2. Approve with additional conditions.
3. Deny this request.
4. Table or Continue the proposed zone change amendment to a specific date.

POSSIBLE MOTION:

I move we approve ordinance No _____, amending an approved PD-C (Planned Development Commercial) and adopting a development agreement on approximately 2.23 acres, located at 1685 East Red Hills Parkway for the purpose of adding a 6900-square foot addition to an existing commercial business for a project to be known as Factory Powersports.

FINDINGS FOR APPROVAL:

1. The proposed uses are permitted uses found in the PD-C zone.
2. The proposed project meets the Planned Development Commercial general requirements found in Section 10-8D-2.

Exhibit A

Applicant's Narrative

The proposed use of the building addition is for expanded showroom space and additional storage space, to the existing Factory Powersports Building.

Factory Powersports would like to expand its current location by adding on to the existing building and expanding its parking lot. We are seeking approval of the design and site plan. Our goal is to accommodate the need for increased retail business and shift the delivery traffic to the west of the property. Our current deliveries via Semi Trucks are currently taking place along the 1700 east roadway, which creates safety and traffic congestion issues. With the expansion approval we will be able to move the delivery location off the roadway into a controlled area.

Exhibit B

Factory Powersports Approved Use List

- UTV, ATV, motorcycle and other similar recreational vehicle sales lots
- Retail sales parts and accessories related to recreational vehicles
- Warehouse storage related to recreational vehicles
- Recreational vehicle repair, storage, including paint, body and fender, brake, muffler, upholstery or transmission work; provided, conducted within completely enclosed building
- Tire sales and service; provided, conducted within completely enclosed building
- Retail athletic and sporting goods store

Exhibit C Public Comment



Dan Boles <daniel.boles@sgcity.org>

Factory Powersports PD-C Case No. 2023-PDA-019

2 messages

Arri Hall-Terracciano [REDACTED]
To: dan.boles@sgcity.org

Thu, Sep 21, 2023 at 7:17 PM

Dan, my name is Arri Terracciano, a resident of [REDACTED]. I would like to bring forth concerns regarding this expansion. Currently, employees of Factory Powersports park along N 1700 E in such density it is difficult for two opposing vehicles to pass, or turn safely onto N 1700 E as we cannot see around vehicles between 0900-1800. Semis and customer trailers occasionally block the road completely with deliveries and drop offs. Im concerned the expansion will bring more employees and deliveries worsening the traffic situation. Additionally, Utps and atvs travel around the block regularly exceeding the residential speed limits. A larger facility will likely worsen this. If Factory Powersports will build their own parking and address the Utv/atv speed issue, let them expand. If left uncorrected leading to more issues, Im sure the local residents including my family oppose the expansion. Thank you for considering.

Exhibit D

Development Agreement

ORDINANCE NO. _____

AN ORDINANCE AMENDING AN APPROVED PD-C (PLANNED DEVELOPMENT COMMERCIAL) AND ADOPTING A DEVELOPMENT AGREEMENT ON APPROXIMATELY 2.23 ACRES, LOCATED AT APPROXIMATELY 1685 EAST RED HILLS PARKWAY ROAD FOR THE PURPOSE OF ADDING A 6900-SQUARE FOOT ADDITION TO AN EXISTING COMMERCIAL BUSINESS FOR A PROJECT TO BE KNOWN AS FACTORY POWERSPORTS.

(Factory Powersports)

WHEREAS, the property owner has requested to amend the PD-C (Planned Development Commercial) on approximately 2.23 acres, located at approximately 1685 East Red Hills Parkway for the purpose of adding a 6900-square foot addition to an existing commercial business for a project to be known as Factory Powersports; and

WHEREAS, the City Council held a public meeting on this request on December 7, 2023 to consider the amendment and adoption of a development agreement; and

WHEREAS, the Planning Commission held a public hearing on the amended design and development agreement on November 14, 2023 and recommended approval with a 5-0 vote; and

WHEREAS, the City Council has determined that the requested change to the PD-C plan and development agreement adoption is justified at this time, and is in the best interest of the health, safety, and welfare of the citizens of the City of St. George.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council, as follows:

Section 1. Repealer. Any provision of the St. George City Code found to be in conflict with this Ordinance is hereby repealed.

Section 2. Enactment. The approved planned development within the PD-C Zone for the property described in Exhibit "A", shall be amended upon the Effective Date of this Ordinance to reflect the approval of an additional building as shown in Exhibit "B". The planned development amendment and location is more specifically described on the attached property legal description, incorporated herein as Exhibit "A", and parcel exhibit, incorporated herein as Exhibit "B".

Section 3. Development Agreement. The Development agreement attached hereto as Exhibit "C" is hereby adopted and approved.

Section 4. Severability. If any provision of this Ordinance is declared to be invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 5. Effective Date. This Ordinance shall take effect immediately on the date executed below, and upon posting in the manner required by law.

APPROVED AND ADOPTED by the St. George City Council, this 7th day of December 2023.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

VOTING OF CITY COUNCIL:

Jami Brackin, Deputy City Attorney

Councilmember Hughes _____
Councilmember McArthur _____
Councilmember Larkin _____
Councilmember Larsen _____
Councilmember Tanner _____

Exhibit "A" – Legal Description

Legal Description for Parcel SGM-5-2-21-4321

Subdivision: MIDDLETON TOWN RESURVEY BLK 6 (SGM) Lot: 1 THRU:- Lot: 4, Subdivision: MIDDLETON TOWN RESURVEY BLK 13 (SGM) Lot: 2 S: 21 T: 42S R: 15W BEGINNING AT A POINT SOUTH 80°18'20" WEST, ALONG THE BLOCK LINE A DISTANCE OF 214.25 FEET FROM THE NORTHEASTERLY CORNER OF LOT 4, BLOCK 6, OF THE 1971 MIDDLETON TOWN RESURVEY OF THE M.M, SANDERS ENTRY IN THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT PARCEL SHOWN BY TAX ID #SGM-6-4-3 AND DOCUMENT #20130019712, OFFICIAL WASHINGTON COUNTY RECORDS, SAID POINT ALSO BEING LOCATED NORTH 01°08'59" EAST, ALONG THE SECTION LINE, A DISTANCE OF 761.61 FEET, AND NORTH 90°00'00" EAST, A DISTANCE OF 954.53 FEET FROM THE WEST 1/4 CORNER OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN,; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 100.00 FEET, TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 114.25 FEET, TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 09°41'40" WEST, A DISTANCE OF 100.00 FEET, TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, ALONG THE BLOCK LINE, A DISTANCE OF 88.01 FEET; THENCE SOUTH 54°41'39" EAST, A DISTANCE OF 16.97 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 1700 EAST STREET; THENCE SOUTH 09°40'40" EAST, ALONG SAID LINE A DISTANCE OF 254.77 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF RED HILLS PARKWAY; THENCE SOUTH 64°17'15" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.30 FEET; THENCE SOUTH 75°27'09" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 72.53 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT LIES NORTH 02°59'04" WEST, A RADIAL DISTANCE OF 570.00 FEET, THENCE WESTERLY ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 05°38'52" A DISTANCE OF 56.13 FEET; THENCE NORTH 87°55'23" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 13.32 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES SOUTH 01°29'21" WEST, A RADIAL DISTANCE OF 670.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, AND SAID RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 12°36'39", A DISTANCE OF 147.47 FEET; THENCE NORTH 53°32'46" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 11.86 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES NORTH 48°20'53" WEST, A RADIAL DISTANCE OF 217.50 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°25'07", A DISTANCE OF 107.86 FEET; THENCE SOUTH 89°26'13" EAST, A DISTANCE OF 7.67 FEET; THENCE NORTH 71°16'33" EAST, A DISTANCE OF 38.70 FEET; THENCE NORTH 37°52'30" EAST, A DISTANCE OF 46.59 FEET; THENCE NORTH 16°23'22" EAST, A DISTANCE OF 36.13 FEET; THENCE NORTH 03°07'05" WEST, A DISTANCE OF 110.70 FEET; THENCE NORTH 10°13'28" WEST, A DISTANCE OF 129.26 FEET; THENCE NORTH 62°51'17" EAST, A DISTANCE OF 28.72 FEET; THENCE SOUTH 27°08'43" EAST, A DISTANCE OF 58.56 FEET; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 58.00 FEET; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 30.89 FEET, TO THE POINT OF BEGINNING.

Legal Description for Parcel SG-GCS-5

Subdivision: GATEWAY COMMONS (SG) Lot: 5

Exhibit "B" – Parcel Exhibit

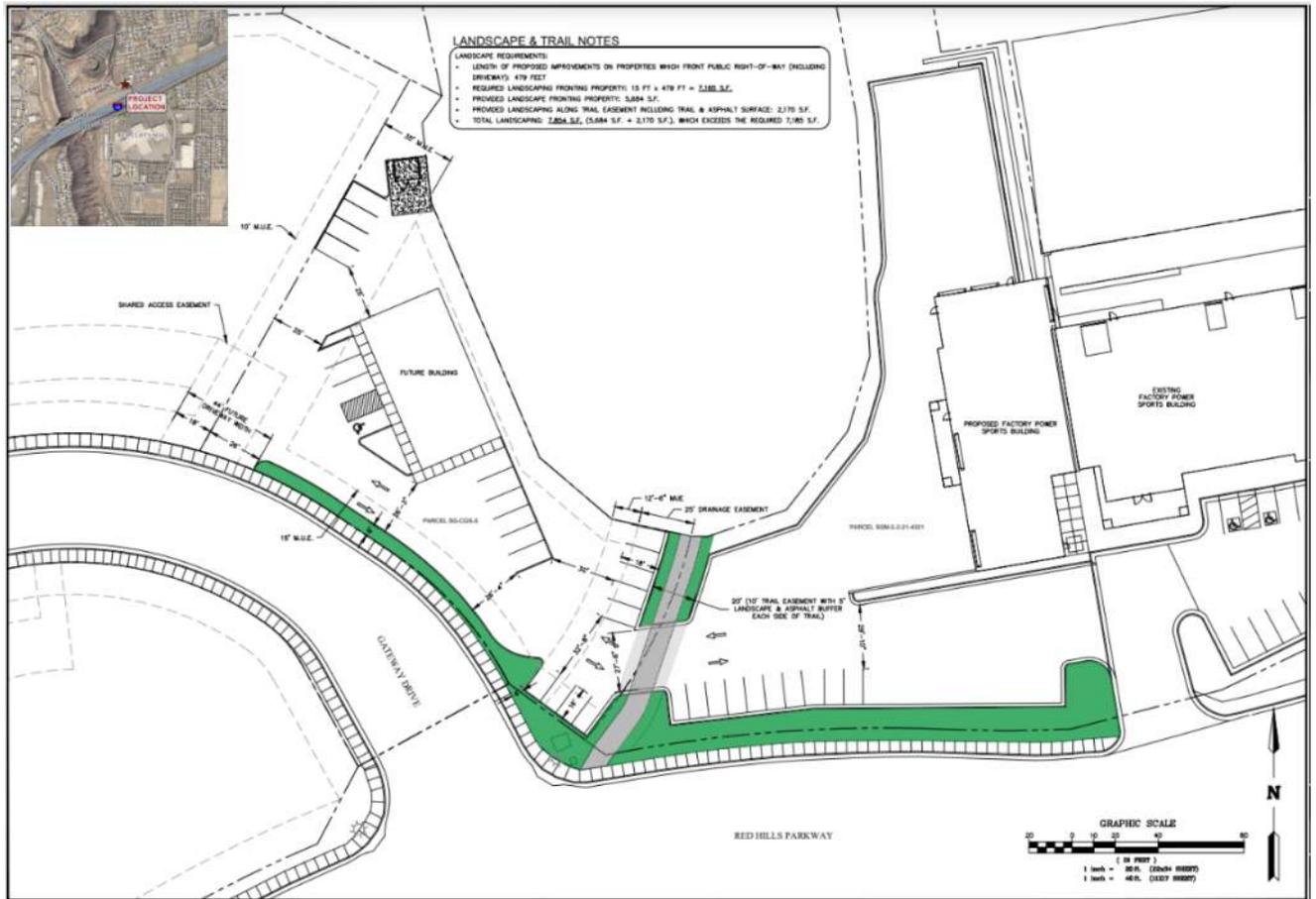


Exhibit “C” – Development Agreement

When Recorded Return To:

**City of St. George
City Attorney’s Office
175 East 200 North
St. George, Utah 84770**

Copy to:

**General Properties LLC
359 East Riverside Drive
St. George, UT 84790
Parcel No. SGM-5-2-21-4321 and SG-GCS-5**

DEVELOPMENT AGREEMENT (Addition to SGM-5-2-21-4321 and Gateway Commons Lot 5)

This Agreement is entered into this _____ day of _____, 2023 between the City of St. George, a municipal corporation of the State of Utah (“City”), and General Properties LLC, a Utah limited liability company, (“Developer”). City and Developer may be referred to as a Party or collectively referred to as the “Parties”.

RECITALS

- A. Developer currently owns parcel SGM-5-2-21-4321, which is located at 1685 East Red Hills Parkway and more particularly described as parcel 1 in **Exhibit A** attached hereto (the “Property”).
- B. As shown on the Site Plan set forth in **Exhibit B** attached hereto, Developer is proposing to construct a new addition to the existing commercial building on the Property, which includes the development of the site, including associated parking, utilities, landscaping, and paved areas for access to the new building addition (the “Project”).
- C. A Planned Development – Commercial Zone was approved for the Property on August 20, 2020 through Ordinance number 2020-08-011.
- D. Developer now desires to amend the approved Planned Development to construct Project, and has submitted the conceptual site plan, landscape plan and building elevations for approval by City as required.
- E. Developer also owns parcel SG-GCS-5 which is more fully described as parcel 2 in Exhibit A, which is contiguous to Property, and on which is located a master planned trail as shown on **Exhibit B** that crosses both the Property and parcel SG-GCS-5.
- F. Developer and City have agreed that in exchange for certain community benefits,

primarily consisting of the dedication of trail easement to the City as a condition of approval, the City will allow Developer to develop the Project using the trail and landscape strips as part of the required landscape requirements along Gateway Drive. .G. City, acting pursuant to its authority under Utah Code Annotated, Section 10-9a-101, et. seq., and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations has determined this Agreement is in the best interest of the citizens of the City of St. George, and, in the exercise of its legislative discretion, has elected to approve this Agreement.

NOW THEREFORE, in consideration of the premises, and for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, City and Developer agree as follows:

AGREEMENT

SECTION 1: DEFINITIONS

- 1.1 “Administrative Amendments” has the meaning set forth in Section 2.8.2
- 1.2 “Allowed Uses” means the allowed uses set forth in the appropriate zoning tables of City Code Title 10.
- 1.3 “Building Permit” means a permit issued by the City pursuant to the requirements of the Code, Uniform Building Code, and related building codes as applicable, including permits for grading, footings and foundations, and construction of other improvements.
- 1.4 “City” means the City of St. George, a municipal corporation of the State of Utah. The City has entered into this Agreement as a Party acting by and through its City Council.
- 1.5 “City Council” means the City Council of the City of St. George which is a six-member Council comprised of the Mayor and five Council members.
- 1.6 “Code” means Chapter 10 of the City Code. All references to sections of the Code shall mean those relevant sections within the codified City Code.
- 1.7 “Construction Plan” means the maps or drawings accompanying a final Plat or Final Site Plan and showing the specific location and design of improvements to be installed on the site of the Project in accordance with the conditions of approval of the Final Site Plan or Plat.
- 1.9 “Developer” means (General Properties LLC) a Utah Limited Liability Company, its members, managers, affiliate entities, and its successors, assignees, or transferees.
- 1.10 “Director” means the Community Development Director.
- 1.11 “Effective Date” means the effective date of the City Ordinance that approves this Agreement.

- 1.12 Event of Default” has the meaning set forth in Section 5.
- 1.13 “Land Use Laws” shall mean Title 10, Chapter 9a of the Utah Code, and Title 10 of the City Code collectively along with all relevant federal and state case law.
- 1.14 “Open Space” means land which is unoccupied or unobstructed by any above-ground buildings including, slope areas, landscaped areas, or strips of land between buildings and between paved parking areas and access lanes, areas left or replanted in natural vegetation, setback areas that are not used for actual parking and other similar open and unobstructed areas.
- 1.15 “Planning Commission” means the St. George City Planning Commission.
- 1.16 “Project” means the Gateway Commons approved August 20, 2020 through Ordinance 2020-08-011.
- 1.17 “Property” means that real property referenced in Section 2 and more fully described in **Exhibit A**.
- 1.18 “Public Facilities” means the arterial and access roads which have been or will be dedicated to the City as public roads, and the other public infrastructure or public service facilities serving the Property.
- 1.19 “Staff” means the planning, engineering, survey, and legal staff of the City which may have a part in development approval.
- 1.20 “Substantial Amendment” has the meaning set forth in Section 2.8.1.

SECTION 2: APPROVED USE, DENSITY, GENERAL CONFIGURATION, AND DEVELOPMENT STANDARDS AFFECTING THE PROJECT

- 2.1 The Project. The project as depicted in **Exhibit B** attached hereto shall amend the original project and shall apply to the real property described in **Exhibit A** attached hereto. No additional property may be added to the Project for purposes of this Agreement without the express written consent of the City and amendment to this Agreement.
- 2.2 Development Plan. Developer shall improve the property and construct following the approved site plan depicted in **Exhibit B**. The Parties understand and agree that this layout is conceptual in nature and the final layout shall be approved through the regular site plan approval process but shall be substantially compliant with **Exhibit B**.
- 2.3 Specific Design Conditions. **City shall allow Developer to count the 10-foot trail area and adjacent landscape strips on either side of the 10-foot trail area, as shown on attached Exhibit B, towards the required 15-foot minimum average landscape width along the frontage of Gateway Drive along parcel 2 shown on attached Exhibit A**

making the actual landscape width along the frontage of Gateway Drive to be six feet (6') thereby giving Developer and its related business wider access to the parking lot in Parcel 2.

- 2.4 As a condition of approval for the amended Planned Development, Developer agrees to provide certain community benefits as follows:
- 2.4.1 Developer will dedicate a ten (10) foot trail easement to City, for approximately one hundred twenty (120) feet and install the ten (10) foot trail for approximately one hundred twenty (120) feet, with a five (5) foot landscape strip on each side of the trail, as shown on **Exhibit B**
 - 2.4.2 Developer will install a five (5) foot landscape strip on each side of the trail, the east landscape strip to be installed with the construction of the new addition to Developer's building on parcel SGM-5-2-21-4321 and the west landscape strip to be installed with the development of parcel SG-CGS-5.
 - 2.4.3 Developer will maintain the five (5) foot landscape strips on either side of the trail as shown in **Exhibit B**.
 - 2.4.4 City will maintain the 10-foot master planned trail as shown in **Exhibit B**
- 2.5 Compliance with City Design and Construction Standards. Developer acknowledges and agrees that unless expressly stated otherwise in this Agreement, nothing in this Agreement shall be deemed to relieve Developer from the obligation to comply with all applicable laws and requirements of the City necessary for the development of the Project, including the payment of fees and compliance with the City's design and construction standards.
- 2.6 Compliance with PD-C. Developer acknowledges and agrees that except as specified in this Agreement, nothing in this Agreement shall be deemed to relieve it from the obligation to comply with the Planned Development Commercial as presented and approved by the St. George City Council.
- 2.7 Conflicts.
- 2.7.1 To the extent there is any ambiguity in or conflict with the provisions of this Agreement, the more specific provision or language shall take precedence over more general provisions or language.
 - 2.7.2 The City has reviewed the Code, General Plan, and Rezone Ordinance and has determined that the Developer has substantially complied with the provisions thereof and hereby finds that the Project is consistent with the purpose and intent of the relevant provisions of the City Code and General Plan and the PD-C Zone. The parties further agree that the omission of a limitation or restriction herein shall not relieve the Developer of the necessity of complying with all applicable

City Ordinances and Resolutions not in conflict with the provisions of this Agreement, along with all applicable state and federal laws.

2.8 Amendments.

2.8.1 Substantial Amendments. Unless otherwise addressed or allowed in this Agreement, any amendment to this Agreement that alters or modifies a Term creates a substantive change to the text of this Agreement, alters the approved development or Development Plan in a manner not provided for herein, alters the Allowed Uses, increases the approved Density, or results in a material increase in the intensity of use shall be considered a Substantial Amendment and shall be processed as a legislative land use regulation consistent with the requirements of the City Code and the Utah Code. Any change to (i) the requirement of any material amenity described herein that is available to the public; (ii) provisions for reservation and dedication of necessary or substantial portions of land; or (iii) a substantive change to the terms of this Agreement; or (iv) any approved mechanism that imposes financial obligations on Developer or the property owners within Project (including a substantive increase in the assessments through any association of owners within the Project) shall be deemed a “Substantial Amendment”. Substantial Amendments shall be in writing, approved by Ordinance, and recorded with the Washington City Recorder.

2.8.2 Administrative Amendments. Unless otherwise provided by law, all amendments to this Agreement that are not Substantial Amendments shall be deemed “Administrative Amendments” and, when approved, shall be approved, and executed by the Director. The City Council hereby designates the Director as the authorized administrative authority and empowers that official to make all final Administrative Amendment decisions. Administrative Amendments shall be reflected in a written approval by the Director which shall be recorded with the Washington City Recorder.

2.8.3 Effect of Amendment. Any amendment to this Agreement shall be operative only as to those specific portions of this Agreement expressly subject to the amendment, with all other terms and conditions remaining in full force and effect without interruption.

SECTION 3: SUMMARY OF CITY DETERMINATIONS RELATING TO PROJECT

3.1 City Approvals Relating to the Project.

3.1.1 Applications. Developer submitted an appropriate application for the approval of this Agreement to authorize and regulate the Project.

3.1.2 Approval Process. Following lawfully advertised public hearings before the City Planning Commission on April 11, 2023, the Application received a positive recommendation by Motion of the Planning Commission taken on April 11, 2023

with a 5-0 vote. The matter thereafter came before the City Council which considered and deliberated regarding the matter at appropriately noticed public meetings on May 4, 2023. The City Council thereafter approved the Project on May 4, 2023, under the processes and procedures set forth in the Code and General Plan. With respect to the terms and conditions of approval, the City Council made such findings of fact and conclusions of law as are required as a condition to the approvals, as reflected in the staff recommendation and adopted with any modifications, as reflected in the minutes of the above referenced public meetings, and as reflected by the other enumerated findings herein.

3.1.3 Compliance with Requirements. The following is an analysis of the Project's compliance with the requirements of the General Plan and the Code that was utilized by the City Council in making its final approval of the Amendment Application.

- A. (PD-C) Zone. The provisions of the PD-C Zone, are met by the Project, as reflected in and regulated by this Agreement.
- B. Development Agreement Approval Requirements. The development requirements of Title 10, Chapter 8 as well as Title 10, Chapter 17 of the Code are met, which constitute all of the requirements for the approval of this Agreement:
- C. This Agreement has been reviewed and considered in accordance with the provisions of the Code and meets all applicable requirements of that Section with the exception that the property is not screened from the public street behind other property or structures, which requirement shall be waived by this Agreement.
- D. This Agreement includes the written consent of each landowner whose properties are included within the boundaries of the Property.
- E. This Agreement advances policies, implements goals, and achieves other desired results not generally available under the other implementation strategies of the City.
- F. The Project as reflected in and conditioned by the terms and conditions of this Agreement, is in conformity and compliance with the General Plan, any existing capital improvements programs, the provisions of the Code (including concurrency and infrastructure requirements), and all other development requirements of the City.
- G. Developer shall comply with all appropriate water and infrastructure requirements of the Code, and all appropriate criteria and standards described in this Agreement.

- H. The Project meets or exceeds the development quality and aesthetic objectives of the General Plan, and the Code is consistent with the goal of orderly growth in the City and minimizes construction impacts on public infrastructure within the City.
- I. The proposed development reasonably assures life and property within the City and the community is protected from any adverse impact of this development.
- J. This Agreement is consistent with the (PD-C) Zone.
- K. Other than the exception stated in paragraph C above, the Project is consistent with the findings required in Code for approval.

3.1.4 Approval Motions.

- A. Prior approval. The prior terms and approval of the rezone to PD-C on August 20, 2020, through Ordinance 2020-08-011 remain in effect, except as specifically modified by this Agreement.
- B. Approval of Agreement for the Project. The City Council found that this Agreement meets all applicable requirements of the Code for a development agreement that would authorize and regulate the Project and approved this Agreement for the Project for the purposes of allowing the development of the proposed Project as permitted by the General Plan and the Code on the terms and conditions incorporated into this Agreement.
- C. Designated City Planning Official. The designated City planning official that is designated to interpret this Agreement, determine, and approve Administrative Amendments, and otherwise, administer certain provisions of this Agreement is the Director, as that position is filled from time to time. The City may designate another person or the holder of another position by a separate resolution of the City Council without a required amendment to this Agreement.

3.2 Vested Rights and Reserved Legislative Powers.

- 3.2.1 Vested Rights and Vested Projects. As of the Effective Date, the Developer has the vested right to develop and construct the Project, and to develop and construct necessary infrastructure and other improvements in accordance with the uses, densities, or intensities permitted to be constructed consistent with the application of the other provisions of this Agreement.
- 3.2.2 Compelling, Countervailing Public Interest. Nothing in this Agreement shall limit the future exercise of the police power of the City in enacting generally applicable Land Use Laws after the Effective Date. Notwithstanding the retained power of

the City to enact such legislation under the police powers, such legislation shall only be applied to modify the rights described in Section 3.2.1 based upon policies, facts, and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. (*Western Land Equities, Inc. v. City of Logan*, 617 P.2d 388 (Utah 1980) or successor case and statutory law). Any such proposed change affecting the vested rights of the Project shall be of general application to all development activity in City; and unless the City declares an emergency, the Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Project under the compelling, countervailing public policy exception to the vested rights doctrine. The regulations, ordinances, policies, and plans governing the permitted uses, densities, or intensities permitted to be constructed consistent with the other provisions of this Agreement shall be the terms and conditions of this Agreement, and those Land Use Laws in effect on the Effective Date that are not inconsistent with the terms and conditions of this Agreement.

- 3.2.3 Term and Duration. The term of this Agreement shall commence on the Effective Date and shall extend for a period of five (5) years thereafter unless this Agreement is earlier terminated or modified by a written amendment signed and duly adopted by the Parties (the “Term”).
- 3.2.4 Governing Land Use Laws. The respective rights of the parties in the event the City seeks to apply or enforce Land Use Laws to the Project in a manner that is inconsistent with the terms and conditions of this Agreement shall be governed by the existing state and federal land use case law and statutes.

3.3 Fees and Exactions.

- 3.3.1 Development Application and Review Fees. Developer has paid all City required application and review fees for the approval of this Agreement and nothing herein shall obligate the City to pay any third-party fees, costs, and/or expenses incurred by the Developer for the application, processing, and negotiation of this Agreement, as Developer is solely responsible, therefore. All application and review fees for the Building Permits, Plats, and Final Site Plans for the Project shall be paid at the time of application for any such approval.
- 3.3.2 Plan Engineering Review Fees. The City shall have the right to charge and collect such standard engineering review fees for Final or amended Final Site Plans, development, or construction approvals for the Project or a Project Area as are generally applicable on a non-discriminatory basis at the time of application for any such approval.
- 3.3.3 Other Fees. The City may charge other fees that are generally applicable, including but not limited to standard Building Permit review fees for improvements to be constructed on improved parcels.

3.3.4 Impact Fees. Developer agrees that the Project shall be subject to all impact fees, which are (1) imposed at the time of issuance of Building Permits, and (2) generally applicable to other properties in the City; and Developer waives its position with respect to any vested rights to the imposition of such fees but shall be entitled to similar treatment afforded other vested projects if the impact fee ordinance makes any such distinction. If fees are properly imposed under the preceding tests, the fees shall be payable in accordance with the payment requirements of the particular impact fee ordinance and implementing resolution. Notwithstanding the agreement of the Developer to subject the Project to impact fees under the above-stated conditions, the Developer does not waive the Developer's rights under any applicable law to challenge the reasonableness of or the amount of the fees within the time frame(s) set forth in Utah Code §11-36a-702.

3.3.5 Rough Proportionality Test. For purposes of this Agreement, the "Rough Proportionality Test" means and refers to a standard of reasonableness whereby the Property and/or Project shall not bear more than an equitable share of the capital costs financed by an impact fee or exaction in relation to the benefits conferred on and impacts of the Project. The interpretation of "rough proportionality" shall be governed by the federal or Utah case law and statutes in effect at the time of any challenge to an impact fee or exaction imposed as provided herein including, but not limited to, the standards of Utah Code § 0-9a-508(1), and *Nollan v. California Coastal Comm'n*, 483 U.S. 825 (1987), and *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and cases arising therefrom including *B.A.M. Development, LLC v. Salt Lake City*, 2008 UT 74, or its successor case law. The Parties agree that the mitigations, amenities, and benefits required of and provided by the Developer in this Agreement shall meet the Rough Proportionality Test.

3.4 Property Rights. By this Agreement and pursuant to Utah Code § 10-9a-532, the Parties acknowledge that Developer has been duly advised that they are or may be waiving property rights, known or unknown, in exchange for the mutual covenants and promises made herein. Developer acknowledges that they have been informed and advised by competent counsel, agree to the terms of this Agreement, and freely and voluntarily waive any rights which may be lost by this Agreement.

SECTION 4: SPECIFIC PROJECT REQUIREMENTS AND AMENITIES

4.1 Essential Project Infrastructure. If not otherwise completed, the Developer agrees to design and obtain all necessary approvals and construct the infrastructure necessary for the operation of the Project. All infrastructure shall be constructed to City engineering and planning standards as set forth in the Code and published infrastructure standards.

SECTION 5: DEFAULT, TERMINATION, AND DISPUTES

5.1 Events of Default. Developer is in default under this Agreement upon the happening of one or more of the following events or conditions.

5.1.1 If a warranty, representation, or statement made or furnished by the Developer to the City is false or proves to have been false in any material respect when it was made.

5.1.2 A finding and determination made by the City that, upon the basis of substantial evidence, the Developer has not complied with one or more of the material terms or conditions of the development approvals or this Agreement.

5.1.3 Any other event, condition, act, or omission which materially interferes with the intent and objectives of this Agreement.

5.2 Procedure Upon Default.

5.2.1 After the occurrence of a default under Section 5.1, the City Council may exercise a right to declare an “Event of Default” by authorizing the City Manager to give the Developer written notice specifying the nature of the alleged default. Developer shall have sixty (60) days after receipt of written notice to cure the Event of Default. In the event the nature of the Event of Default reasonably requires more than sixty (60) days to cure and provided the Developer has commenced actions reasonably designed to cure the Event of Default within the sixty (60) day cure period and thereafter diligently proceeds to cure the alleged default, the cure period shall be extended for one additional sixty (60) day period or for such other time period agreed to by the City, for Developer to cure the Event of Default to completion. If the Event of Default is not cured within the cure period described above, the City may terminate this Agreement and the associated development approvals by giving written notice to the Developer. Failure or delay in declaring or giving notice of an Event of Default shall not constitute a waiver of any Event of Default under Section 10, nor shall it change the time of such default. In the event the City extends the cure period beyond the initial sixty (60) days, the City may suspend all permitting and approval processes under this Agreement and place stop-work orders on continuing construction, and otherwise use all means available to mitigate and address any such Event of Default.

5.2.2 The City does not waive any claim of default in performance by the Developer if on periodic review the City does not propose to modify or terminate this Agreement

5.2.3 Any default or inability to cure a default caused by strikes, lockouts, pandemics or health-related crises, labor disputes, acts of God, inability to obtain labor or materials or reasonable substitutes therefore, governmental restrictions, governmental regulations, governmental controls, enemy or hostile governmental action, civil commotion, fire or other casualties, and other similar causes beyond

the reasonable control of the Party obligated to perform, shall excuse the performance by such Party for a period equal to the period during which any such event prevented, delayed, or stopped any required performance or effort to cure a default.

5.2.4 Adoption of law or other reasonable governmental activity making performance by the Developer unprofitable or more difficult or more expensive does not excuse the performance of the obligation by the Developer.

5.2.5 All other remedies at law or in equity that are not inconsistent with the provisions of this Agreement are available to the Parties to pursue in the event there is an incurred Event of Default.

SECTION 6: RELATIONSHIP BETWEEN THE PARTIES; NO CITY FINANCIAL RESPONSIBILITY

6.1 Relationship between Parties. The contractual relationship between the City and Developer arising out of this Agreement is one of the independent contractors and not agency. This Agreement does not create any third-party beneficiary rights. It is specifically understood by the Parties that: (a) the Project is a private development; (b) the City has no interest in or responsibilities for or duty to third parties concerning any improvements Property until the City accepts dedication, ownership, or maintenance of the improvements pursuant to a specific written agreement providing for acceptance of dedication, ownership or maintenance; and (c) Developer shall have the full power and exclusive control of the Property subject to the terms, conditions, limitations, restrictions, and obligations of Developer set forth in this Agreement.

6.2 Mutual Releases. At the time of, and subject to, (i) the expiration of any applicable appeal period with respect to the approval of this Agreement without an appeal having been filed or (ii) the final determination of any court upholding this Agreement, whichever occurs later, and excepting the Parties' respective rights and obligations under this Agreement, Developer, on behalf of itself and Developer's partners, officers, directors, employees, agents, attorneys and consultants, hereby releases the City and the City's board members, council members, officials, employees, agents, attorneys and consultants, and the City, on behalf of itself and the City's board members, officials, employees, agents, attorneys and consultants, hereby releases Developer and Developer's partners, officers, directors, employees, agents, attorneys and consultants, from and against any and all claims, demands, liabilities, costs, expenses of whatever nature, whether known or unknown, and whether liquidated or contingent, arising on or before the Effective Date in connection with the application, processing or approval of applications relating to the Project or any Project Area, to include any past claims for vested development rights that are not provided for in this Agreement.

6.3 Hold Harmless.

- 6.3.1 Agreement of Developer. Developer agrees to and shall hold the City, its officers, elected officials, agents, employees, consultants, attorneys, special counsel, and representatives harmless from liability for damages, just compensation, restitution, judicial or equitable relief arising out of claims for personal injury, including health, and claims for property damage which may arise from the direct or indirect operations of Developer or its contractors, subcontractors, agents, employees or other persons acting on their behalf which relates to the Project or the actions of Developer taken pursuant to or the failure of Developer to comply with the terms of this Agreement. Any such action shall be referred to as an “indemnified claim.” Developer agrees to pay all costs for the defense of the City and its officers, agents, employees, consultants, attorneys, special counsel, and representatives regarding any indemnified claim. This hold harmless agreement applies to all claims for damages, just compensation, restitution, judicial or equitable relief suffered or alleged to have been suffered by reason of the events referred to in this section regardless of whether or not the City prepared, supplied, or approved this Agreement, plans or specifications, or both, for the Project or any Project Area. City may make all reasonable decisions with respect to its representation in any legal proceeding relating to an indemnified claim.
- 6.3.2 Exceptions to Hold Harmless. The agreements of Developer in this Section 6 shall not be applicable to (i) any claim arising by reason of the gross negligence or intentional misconduct of the City, or (ii) any claim reserved by Developer for itself or any owner of any portion of the Property under the terms of this Agreement for just compensation or attorney fees. Additionally, the City agrees to indemnify, hold harmless, and defend Developer for any and all legal claims made for personal injury or other damage or harm that occurs within the boundaries of the dedicated trail easement maintained by the City.
- 6.3.3 Hold Harmless Procedures. Except in the Event of Default, the City shall give written notice of any claim, demand, action, or proceeding which is the subject of the Developer’s hold harmless agreement as soon as practicable but not later than 10 business days after the assertion or commencement of the claim, demand, action or proceeding; provided, however, the City’s inadvertent failure to provide such notice within such time period shall not be a breach of this Agreement unless such failure materially impairs Developer’s defenses in such action. In the event any such notice is given; the City shall be entitled to participate in the defense of such claim. Each Party agrees to cooperate with the other in the defense of any claim and to minimize duplicative costs and expenses.

SECTION 7: GENERAL TERMS AND CONDITIONS

- 7.1 Exhibits. All exhibits attached hereto are incorporated as part of this Agreement.
- 7.2 Project Approvals and Compliance with City Design and Construction Standards. Developer expressly acknowledges and agrees that nothing in this Agreement shall be

deemed to relieve Developer from the obligation to comply with City Ordinances and City of St. George Standard Specifications for Design and Construction, and all applicable requirements of the City necessary for approval of any development of Developer's property, including the payment of fees and compliance with all other applicable resolutions, regulations, policies and procedures of the City, except as specifically modified or waived in this Agreement.

- 7.3 Governing Law and Venue. This Agreement shall be construed according to the laws of the State of Utah. The parties agree that venue for all legal actions, unless they involve a cause of action mandating federal jurisdiction, shall be the Fifth District Court for the State of Utah. The parties further agree that the Federal District Court for the District of Utah shall be the venue for any cause of action with mandatory federal jurisdiction.
- 7.4 Construction. Each of the Parties has had the opportunity to review this Agreement with counsel of their choosing and the rule of contracts requiring interpretation of a contract against the party drafting the same is hereby waived and shall not apply in interpreting this Agreement.
- 7.5 Notices. All notices required herein, and subsequent correspondence in connection with this Agreement shall be delivered to the following:

City of St. George
Attn: City Attorney
175 East 200 North
St. George, Utah 84770
Jami.brackin@sgcity.org

General Properties, LLC
Attn: Russell Key
359 East Riverside Drive STE D
St. George, Utah 84790

Such notices shall be deemed delivered following the mailing of such notices in the United States mail or by email where provided. Adequate notice shall be deemed given at the addresses set forth herein unless written notice is given by either party of a change of address.

- 7.6 Assignment. Neither this Agreement nor any of the provisions, terms or conditions hereof can be assigned to any other party, individual or entity without prior written consent of City, which consent shall not be unreasonably withheld.
- 7.7 Binding Effect. Subject to the provisions of this document above, all the provisions of this Agreement shall inure to the benefit of, and be binding upon, the Parties hereto and their respective successors, heirs, representatives, officers, agents, employees, members, assigns, and receivers.
- 7.8 Integration. This Agreement contains all the terms and conditions pertaining to the subject matter hereof and, except with regard to zoning and other approvals upon which this Agreement is based, supersedes all prior negotiations, representations, promises, inducements, or previous agreements between the parties, whether oral or written with respect to the subject matter. Any amendments hereto must be in writing and signed by

the respective parties.

- 7.9 Severability. If any part or provision of this Agreement shall be determined to be unconstitutional, invalid, or unenforceable by a court of competent jurisdiction, then such a decision shall not affect any other part or provision of this Agreement except that specific provision determined to be unconstitutional, invalid, or unenforceable. If any condition, covenant, or other provision of this Agreement shall be deemed invalid due to its scope or breadth, such provision shall be deemed valid to the extent of the scope or breadth permitted by law.
- 7.10 Headings. The section and other headings in this Agreement are for reference purposes only and shall not in any way affect the meaning or interpretation of this Agreement.
- 7.11 Survival. The obligations of Developer set forth in Section 2.4 shall survive any cancellation, termination, or expiration of this Agreement.
- 7.12 Counterparts. This Agreement may be executed in counterparts each of which shall be an original and shall constitute one and the same agreement.
- 7.13 Authority of Parties. The parties executing this Agreement hereby warrant and represent that they are duly authorized to do so in the capacity stated, and that this Agreement constitutes a valid and binding agreement.

[REMAINDER OF PAGE INTENTIONALLY LEFT BLANK]

[SIGNATURES FOLLOW]

Jami Brackin, Deputy City Attorney

EXHIBIT A

Legal Description

Legal Description for Parcel SGM-5-2-21-4321

Subdivision: MIDDLETON TOWN RESURVEY BLK 6 (SGM) Lot: 1 THRU:- Lot: 4, Subdivision: MIDDLETON TOWN RESURVEY BLK 13 (SGM) Lot: 2 S: 21 T: 42S R: 15W BEGINNING AT A POINT SOUTH 80°18'20" WEST, ALONG THE BLOCK LINE A DISTANCE OF 214.25 FEET FROM THE NORTHEASTERLY CORNER OF LOT 4, BLOCK 6, OF THE 1971 MIDDLETON TOWN RESURVEY OF THE M.M, SANDERS ENTRY IN THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT PARCEL SHOWN BY TAX ID #SGM-6-4-3 AND DOCUMENT #20130019712, OFFICIAL WASHINGTON COUNTY RECORDS, SAID POINT ALSO BEING LOCATED NORTH 01°08'59" EAST, ALONG THE SECTION LINE, A DISTANCE OF 761.61 FEET, AND NORTH 90°00'00" EAST, A DISTANCE OF 954.53 FEET FROM THE WEST 1/4 CORNER OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN,; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 100.00 FEET, TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 114.25 FEET, TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 09°41'40" WEST, A DISTANCE OF 100.00 FEET, TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, ALONG THE BLOCK LINE, A DISTANCE OF 88.01 FEET; THENCE SOUTH 54°41'39" EAST, A DISTANCE OF 16.97 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 1700 EAST STREET; THENCE SOUTH 09°40'40" EAST, ALONG SAID LINE A DISTANCE OF 254.77 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF RED HILLS PARKWAY; THENCE SOUTH 64°17'15" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.30 FEET; THENCE SOUTH 75°27'09" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 72.53 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT LIES NORTH 02°59'04" WEST, A RADIAL DISTANCE OF 570.00 FEET, THENCE WESTERLY ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 05°38'52" A DISTANCE OF 56.13 FEET; THENCE NORTH 87°55'23" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 13.32 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES SOUTH 01°29'21" WEST, A RADIAL DISTANCE OF 670.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, AND SAID RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 12°36'39", A DISTANCE OF 147.47 FEET; THENCE NORTH 53°32'46" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 11.86 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES NORTH 48°20'53" WEST, A RADIAL DISTANCE OF 217.50 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°25'07", A DISTANCE OF 107.86 FEET; THENCE SOUTH 89°26'13" EAST, A DISTANCE OF 7.67 FEET; THENCE NORTH 71°16'33" EAST, A DISTANCE OF 38.70 FEET; THENCE NORTH 37°52'30" EAST, A DISTANCE OF 46.59 FEET; THENCE NORTH 16°23'22" EAST, A DISTANCE OF 36.13 FEET; THENCE NORTH 03°07'05" WEST, A DISTANCE OF 110.70 FEET; THENCE NORTH 10°13'28" WEST, A DISTANCE OF 129.26 FEET; THENCE NORTH 62°51'17" EAST, A DISTANCE OF 28.72 FEET; THENCE SOUTH 27°08'43" EAST, A DISTANCE OF 58.56 FEET; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 58.00 FEET; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 30.89 FEET, TO THE POINT OF BEGINNING.

Legal Description for Parcel SG-GCS-5

Subdivision: GATEWAY COMMONS (SG) Lot: 5

EXHIBIT B

Site Plan

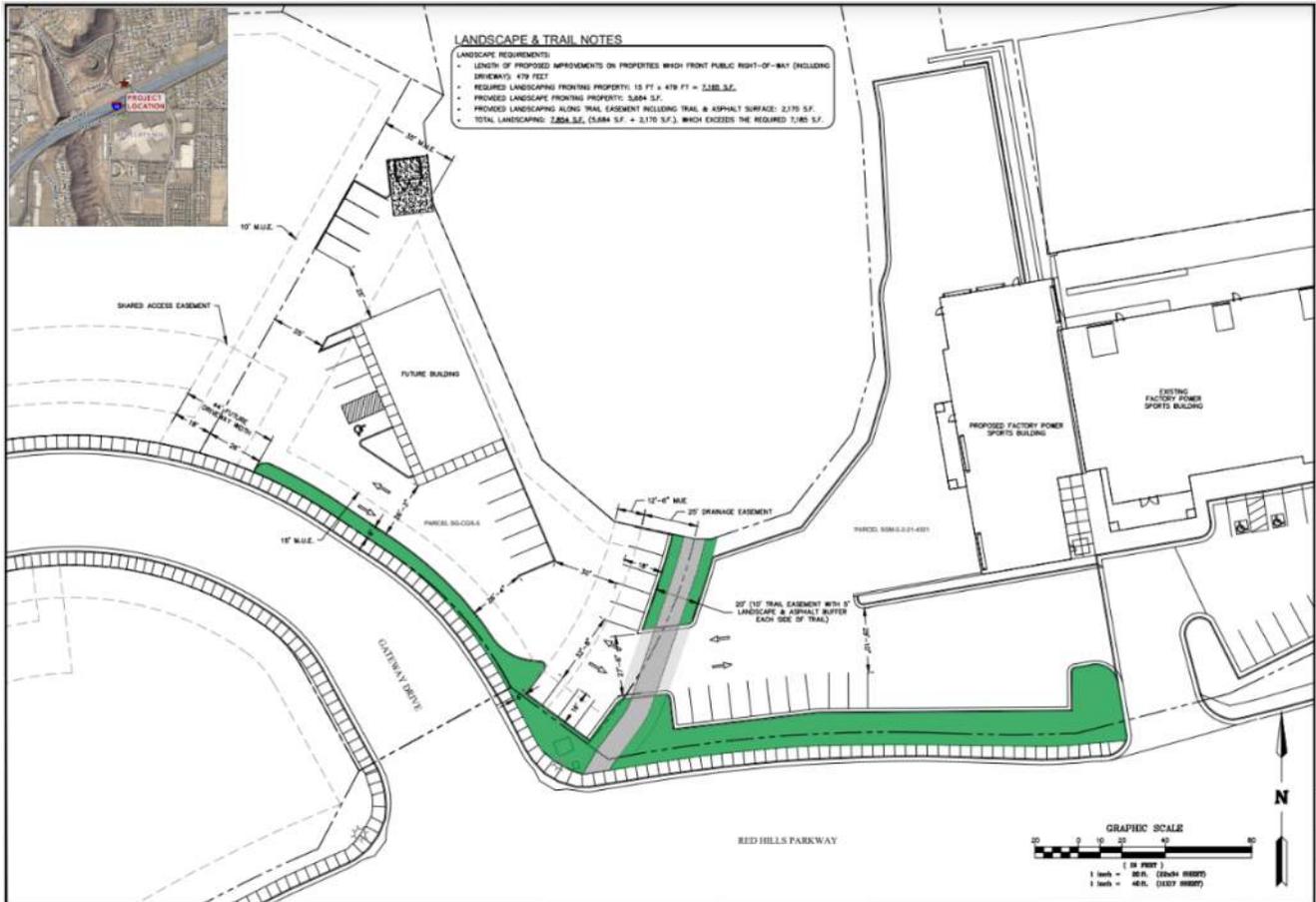


Exhibit E

PowerPoint Presentation

Factory Powersports Addition

Planned Development Amendment

2023-PDA-019



E RED HILLS PKWY

15



749 N

7110

N 1700 E ST

740 N

744

1730 E

1751 E

1776 E

E 700 N ST

1700 E
700 N

1768 E

1695 E

695 N

1712 E

1746 E

1749 E

658 N

1685 E

E RED HILLS PKWY

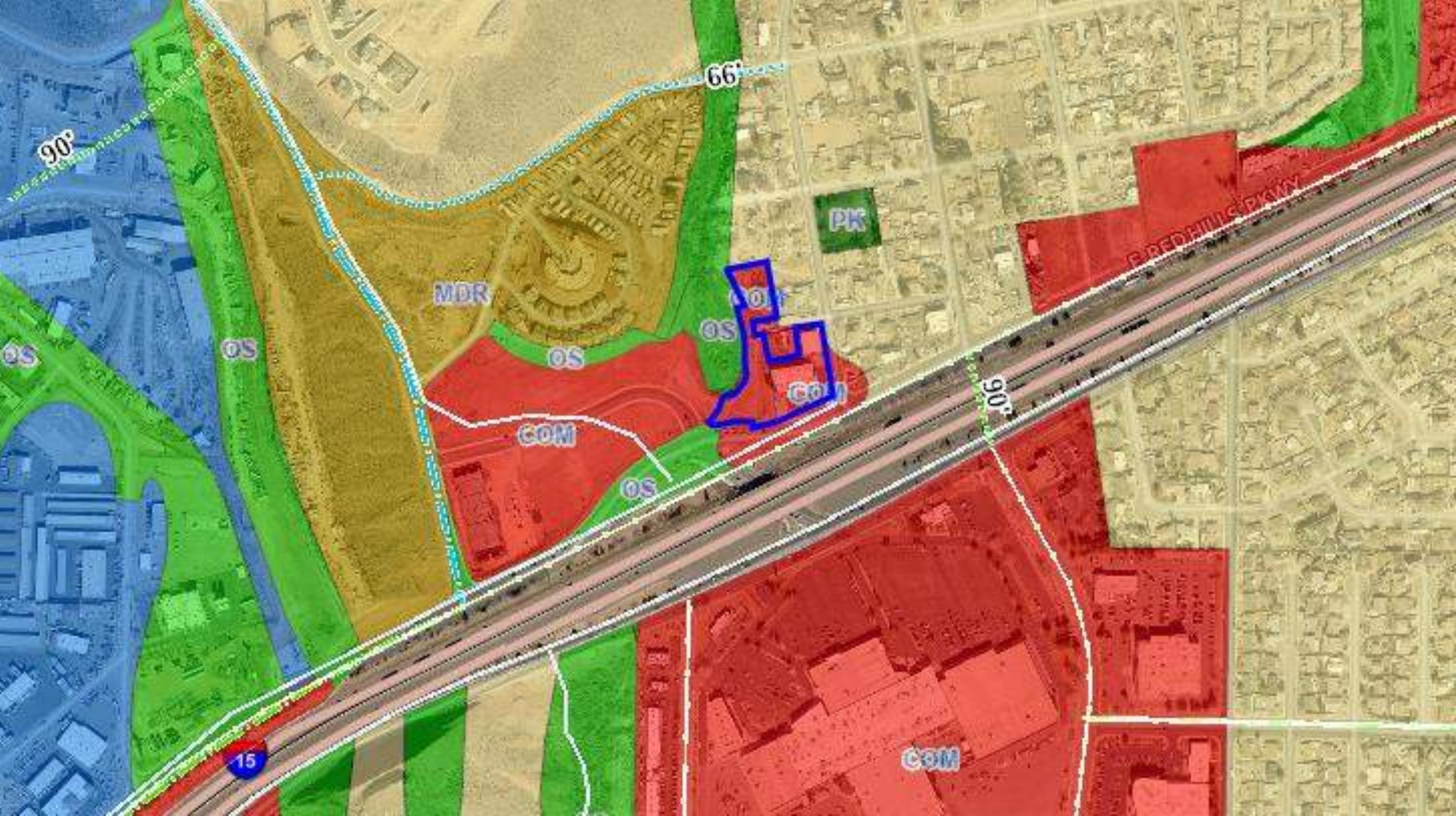
1709 E
680 N

E RED HILLS PKWY

Unit 429
Unit 430
Unit 431
Unit 432

840 N
Unit 431

840 N
Unit 430



90°

66°

MDR

PK

P. REDHILL PKWY

15

90°

COM

COM

OS

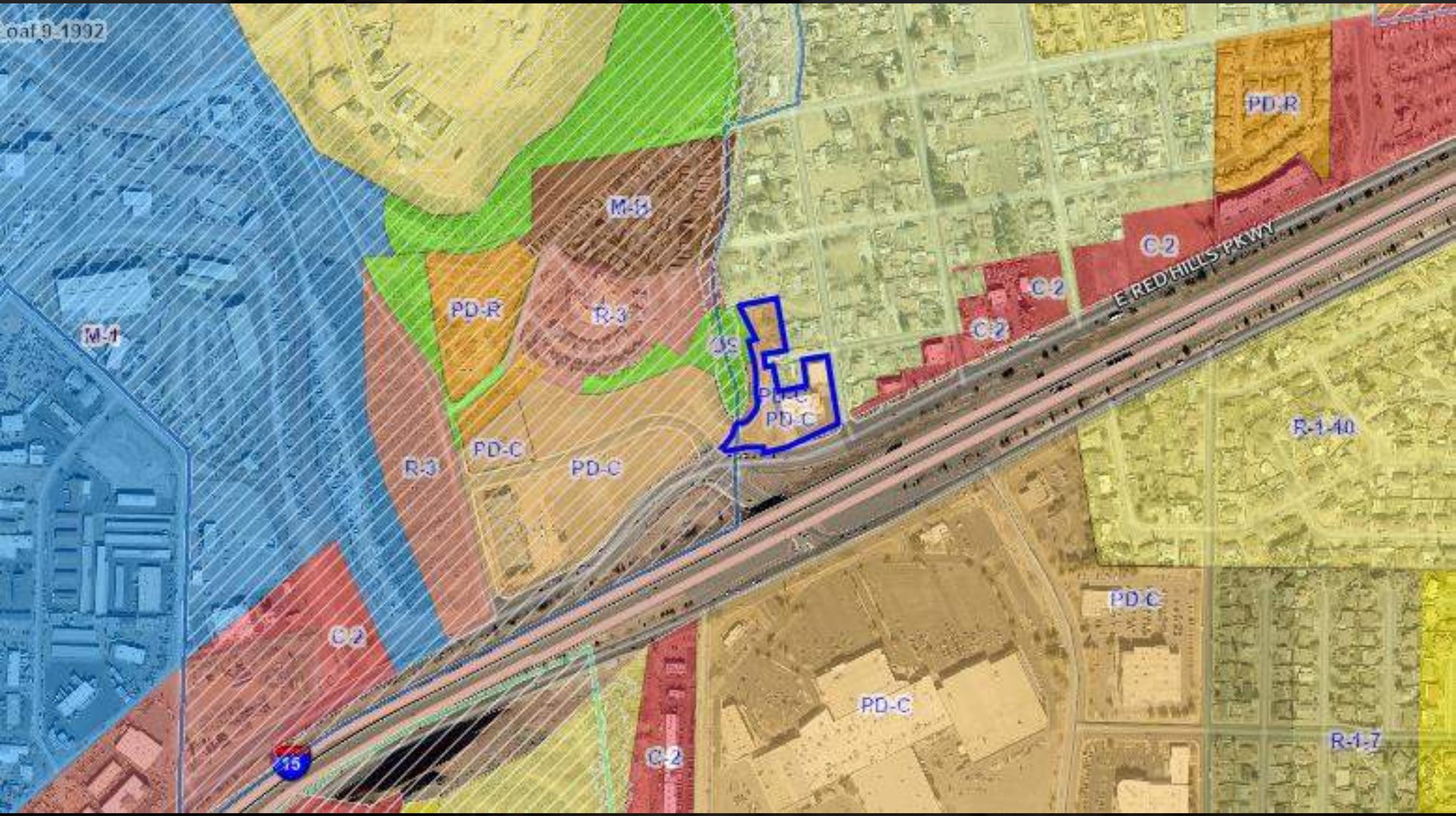
OS

OS

OS

COM

OS



M-1

M-2

PD-R

PD-R

R-3

C-2

C-2

C-2

C-2

E RED HILLS PKWY

PD-C

PD-C

R-1-40

R-3

PD-C

PD-C

C-2

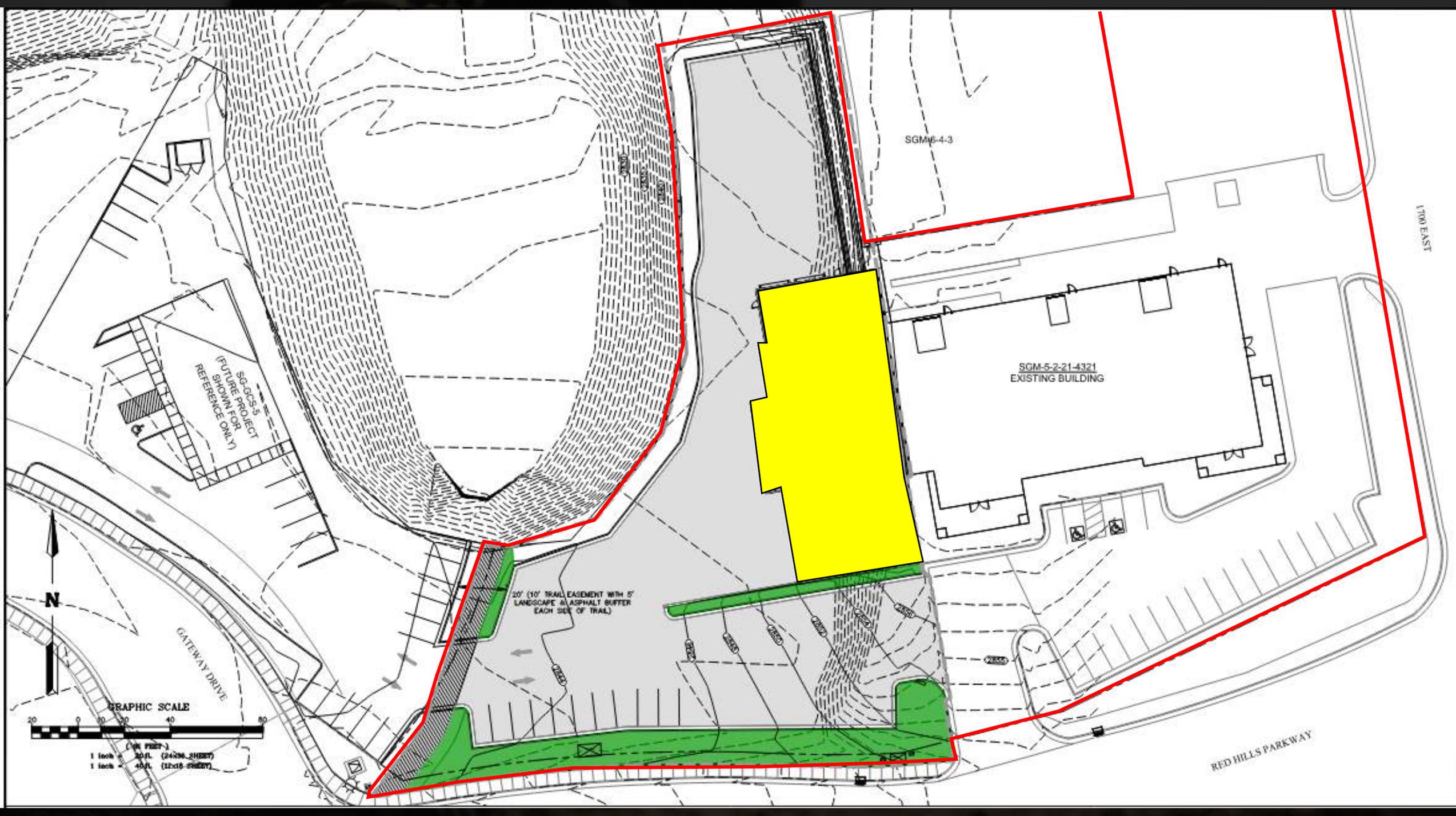
15

PD-C

C-2

PD-C

R-1-7



SGM-5-4-3

SGM-5-2-21-4321
EXISTING BUILDING

SGM-5
(FUTURE PROJECT
SHOWN FOR
REFERENCE ONLY)

20' (10' TRAIL EASEMENT WITH 5'
LANDSCAPE & ASPHALT BUTTER
EACH SIDE OF TRAIL)

GATEWAY DRIVE

RED HILLS PARKWAY

1700 EAST



GRAPHIC SCALE



1 inch = 20 ft. (24x36 SHEET)
1 inch = 40 ft. (12x18 SHEET)



LANDSCAPE & TRAIL NOTES

- LANDSCAPE REQUIREMENTS:**
- LENGTH OF PROPOSED IMPROVEMENTS ON PROPERTIES WHICH FRONT PUBLIC RIGHT-OF-WAY (INCLUDING DRIVEWAY): 479 FEET
 - REQUIRED LANDSCAPING FRONTING PROPERTY: 15 FT x 479 FT = 7,185 S.F.
 - PROVIDED LANDSCAPING FRONTING PROPERTY: 5,680 S.F.
 - PROVIDED LANDSCAPING ALONG TRAIL EASEMENT INCLUDING TRAIL & ASPHALT SURFACE: 2,170 S.F.
 - TOTAL LANDSCAPING: 7,850 S.F. (5,680 S.F. + 2,170 S.F.), WHICH EXCEEDS THE REQUIRED 7,185 S.F.

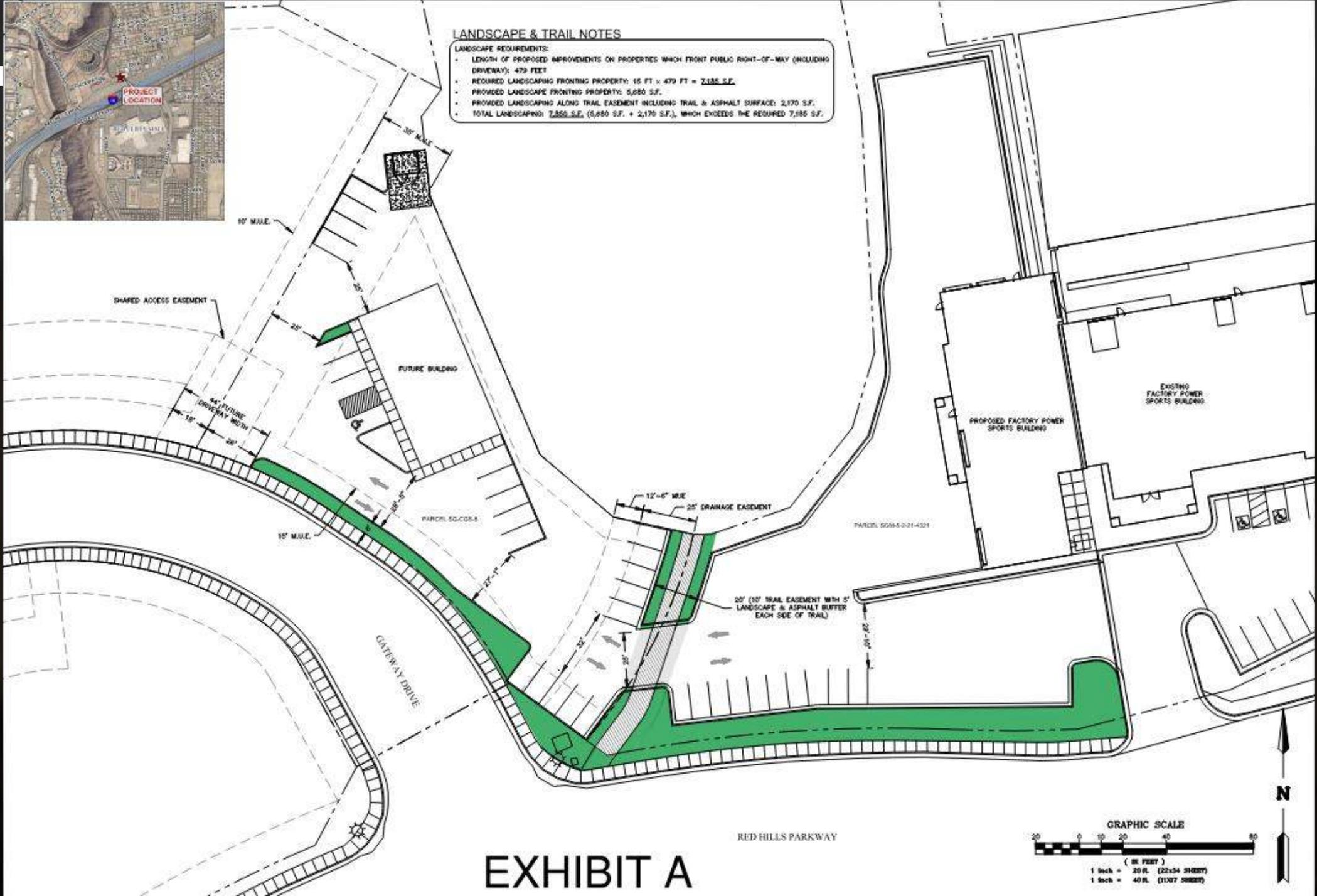
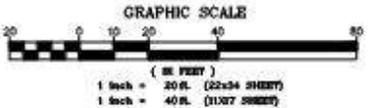
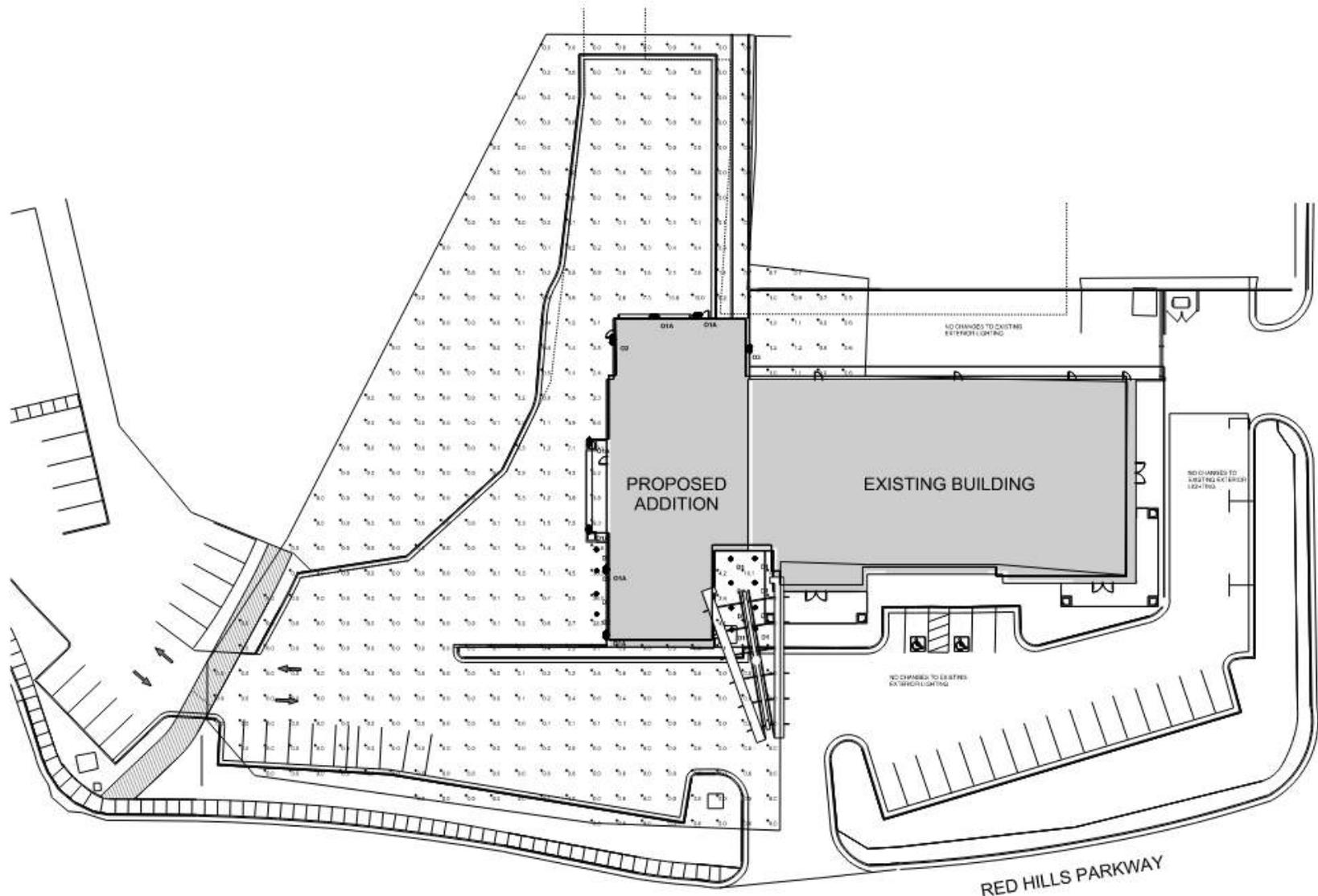


EXHIBIT A

RED HILLS PARKWAY





↑ PHOTOMETRIC PLAN
SCALE: 1" = 20'-0"

DE
DESERT EDGE
 architecture

7015 FREE ROAD BLDG. SUITE 2100
 ST. GEORGE, UT 84770

ALPHA
 ENGINEERING

2745 S. MAIN STREET
 SALT LAKE CITY, UT 84115
 801.555.5654
 info@alphaeng.com

ROYAL
 ENGINEERING

BNA
 CONSULTING

Arctic
 Design

1800 Foothill Blvd.
 South Jordan, UT 84095
 801.223.4222
 www.arcticdesign.com

FACTORY
POWERSPORTS
 1685 E RED HILLS PKWAY, ST. GEORGE,
 UT 84770

STAMP



SCALE TYPE:	DATE:
100% PERMIT SET	08/22/2023

PROJECT NUMBER:	PROJECT NUMBER:
DRAWN BY:	REV:
CHECKED BY:	DATE:

PHOTOMETRIC
 PLAN

E102



D3 FRONT OVERALL PERSPECTIVE



B1 FRONT LEFT PERSPECTIVE



B3 FRONT PERSPECTIVE



A1 REAR LEFT PERSPECTIVE



A3 REAR RIGHT PERSPECTIVE

DE
DESERT EDGE
 architecture

701 S. NORTH ROAD BLDG 2 SUITE 2408
 ST. GEORGE, UT 84770

ALPHA
 CONSULTING

2714 S. MAIN STREET
 SALT LAKE CITY, UT 84115
 801.205.5405
 info@alphacorp.com

ROYAL
 ENGINEERING

BNA
 CONSULTING

ArcSite
 Design

FACTORY
POWERSPORTS
 1685 E RED HILLS PKWY, ST. GEORGE,
 UT 84770

STAMP

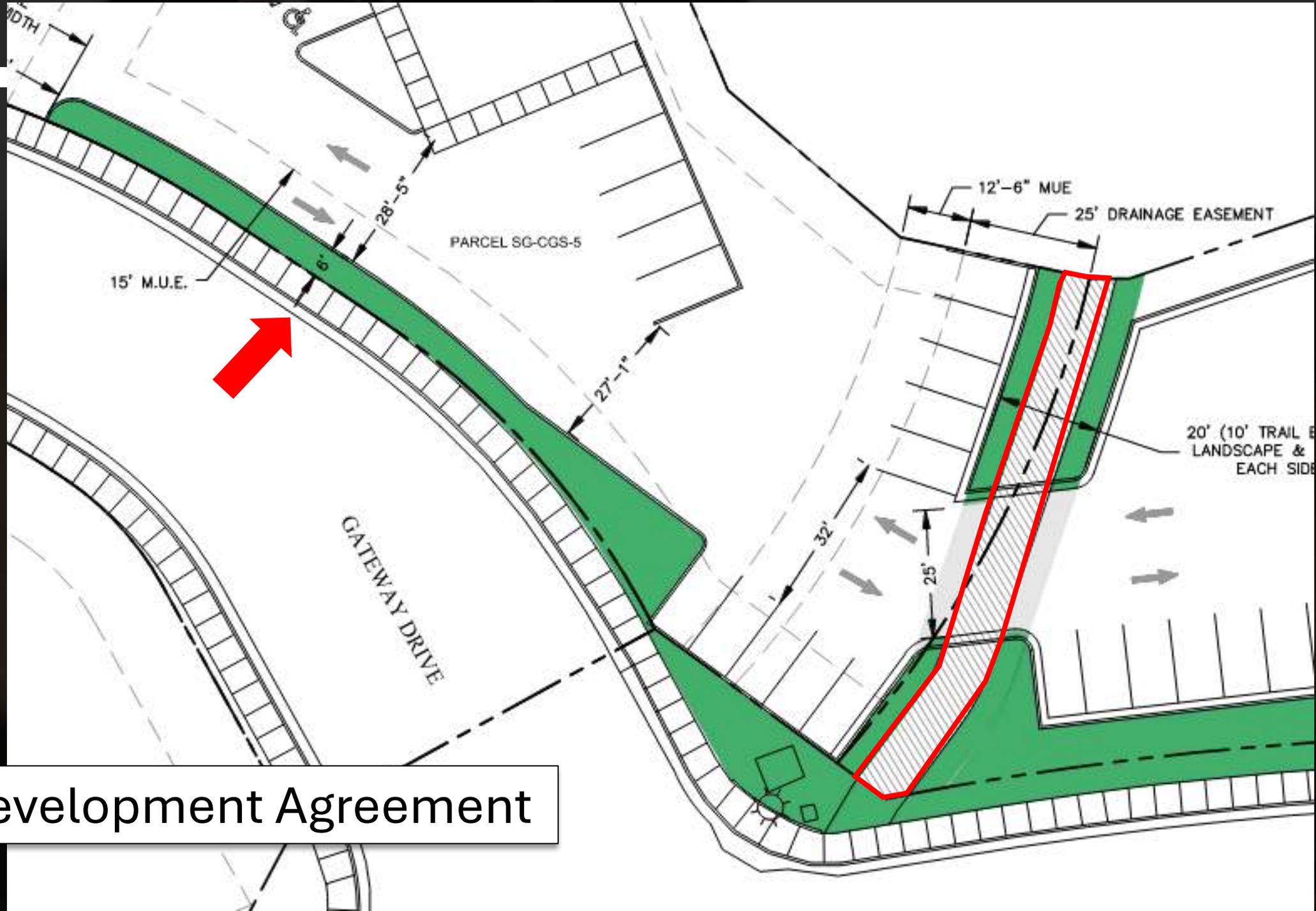
NOT FOR CONSTRUCTION

CLASS TYPE:	DATE:
90% CD SET	07-25-2023
BY:	
PROJECT NUMBER:	007907
DRAWN BY:	Pauline
CHECKED BY:	Checker

PERSPECTIVES

AE901

Development Agreement



Development Agreement

- 1. Developer will dedicate and construct a ten-foot trail easement to City (120-foot length), with a five (5) foot landscape strip on each side of the trail*
- 2. Developer will install a five-foot landscape strip on each side of the trail, the east landscape strip to be installed with the construction of the new addition to Developer's building on parcel SGM-5-2-21-4321 and the west landscape strip to be installed with the development of parcel SG-CGS-5*
- 3. Developer will maintain the five-foot landscape strips on either side of the trail*
- 4. City will maintain the 10-foot master planned trail*

Factory Powersports Addition

Recommendation

ORDINANCE NO. _____

AN ORDINANCE AMENDING AN APPROVED PD-C (PLANNED DEVELOPMENT COMMERCIAL) AND ADOPTING A DEVELOPMENT AGREEMENT ON APPROXIMATELY 2.23 ACRES, LOCATED AT APPROXIMATELY 1685 EAST RED HILLS PARKWAY ROAD FOR THE PURPOSE OF ADDING A 6,900-SQUARE FOOT ADDITION TO AN EXISTING COMMERCIAL BUSINESS FOR A PROJECT TO BE KNOWN AS FACTORY POWERSPORTS.

(Factory Powersports)

WHEREAS, the property owner has requested to amend the PD-C (Planned Development Commercial) on approximately 2.23 acres, located at approximately 1685 East Red Hills Parkway for the purpose of adding a 6900-square foot addition to an existing commercial business for a project to be known as Factory Powersports; and

WHEREAS, the City Council held a public meeting on this request on December 7, 2023 to consider the amendment and adoption of a development agreement; and

WHEREAS, the Planning Commission held a public hearing on the amended design and development agreement on November 14, 2023 and recommended approval with a 5-0 vote; and

WHEREAS, the City Council has determined that the requested change to the PD-C plan and development agreement adoption is justified at this time, and is in the best interest of the health, safety, and welfare of the citizens of the City of St. George.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council, as follows:

Section 1. Repealer. Any provision of the St. George City Code found to be in conflict with this Ordinance is hereby repealed.

Section 2. Enactment. The approved planned development within the PD-C Zone for the property described in Exhibit "A", shall be amended upon the Effective Date of this Ordinance to reflect the approval of an additional building as shown in Exhibit "B". The planned development amendment and location is more specifically described on the attached property legal description, incorporated herein as Exhibit "A", and parcel exhibit, incorporated herein as Exhibit "B".

Section 3. Development Agreement. The Development agreement attached hereto as Exhibit "C" is hereby adopted and approved.

Section 4. Severability. If any provision of this Ordinance is declared to be invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 5. Effective Date. This Ordinance shall take effect immediately on the date executed below, and upon posting in the manner required by law.

APPROVED AND ADOPTED by the St. George City Council, this 7th day of December 2023.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

VOTING OF CITY COUNCIL:

Jami Brackin, Deputy City Attorney

Councilmember Hughes _____
Councilmember McArthur _____
Councilmember Larkin _____
Councilmember Larsen _____
Councilmember Tanner _____

Exhibit "A" – Legal Description

Legal Description for Parcel SGM-5-2-21-4321

Subdivision: MIDDLETON TOWN RESURVEY BLK 6 (SGM) Lot: 1 THRU:- Lot: 4, Subdivision: MIDDLETON TOWN RESURVEY BLK 13 (SGM) Lot: 2 S: 21 T: 42S R: 15W BEGINNING AT A POINT SOUTH 80°18'20" WEST, ALONG THE BLOCK LINE A DISTANCE OF 214.25 FEET FROM THE NORTHEASTERLY CORNER OF LOT 4, BLOCK 6, OF THE 1971 MIDDLETON TOWN RESURVEY OF THE M.M, SANDERS ENTRY IN THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT PARCEL SHOWN BY TAX ID #SGM-6-4-3 AND DOCUMENT #20130019712, OFFICIAL WASHINGTON COUNTY RECORDS, SAID POINT ALSO BEING LOCATED NORTH 01°08'59" EAST, ALONG THE SECTION LINE, A DISTANCE OF 761.61 FEET, AND NORTH 90°00'00" EAST, A DISTANCE OF 954.53 FEET FROM THE WEST 1/4 CORNER OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN,; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 100.00 FEET, TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 114.25 FEET, TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 09°41'40" WEST, A DISTANCE OF 100.00 FEET, TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, ALONG THE BLOCK LINE, A DISTANCE OF 88.01 FEET; THENCE SOUTH 54°41'39" EAST, A DISTANCE OF 16.97 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 1700 EAST STREET; THENCE SOUTH 09°40'40" EAST, ALONG SAID LINE A DISTANCE OF 254.77 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF RED HILLS PARKWAY; THENCE SOUTH 64°17'15" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.30 FEET; THENCE SOUTH 75°27'09" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 72.53 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT LIES NORTH 02°59'04" WEST, A RADIAL DISTANCE OF 570.00 FEET, THENCE WESTERLY ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 05°38'52" A DISTANCE OF 56.13 FEET; THENCE NORTH 87°55'23" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 13.32 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES SOUTH 01°29'21" WEST, A RADIAL DISTANCE OF 670.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, AND SAID RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 12°36'39", A DISTANCE OF 147.47 FEET; THENCE NORTH 53°32'46" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 11.86 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES NORTH 48°20'53" WEST, A RADIAL DISTANCE OF 217.50 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°25'07", A DISTANCE OF 107.86 FEET; THENCE SOUTH 89°26'13" EAST, A DISTANCE OF 7.67 FEET; THENCE NORTH 71°16'33" EAST, A DISTANCE OF 38.70 FEET; THENCE NORTH 37°52'30" EAST, A DISTANCE OF 46.59 FEET; THENCE NORTH 16°23'22" EAST, A DISTANCE OF 36.13 FEET; THENCE NORTH 03°07'05" WEST, A DISTANCE OF 110.70 FEET; THENCE NORTH 10°13'28" WEST, A DISTANCE OF 129.26 FEET; THENCE NORTH 62°51'17" EAST, A DISTANCE OF 28.72 FEET; THENCE SOUTH 27°08'43" EAST, A DISTANCE OF 58.56 FEET; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 58.00 FEET; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 30.89 FEET, TO THE POINT OF BEGINNING.

Legal Description for Parcel SG-GCS-5

Subdivision: GATEWAY COMMONS (SG) Lot: 5

Exhibit "B" – Parcel Exhibit

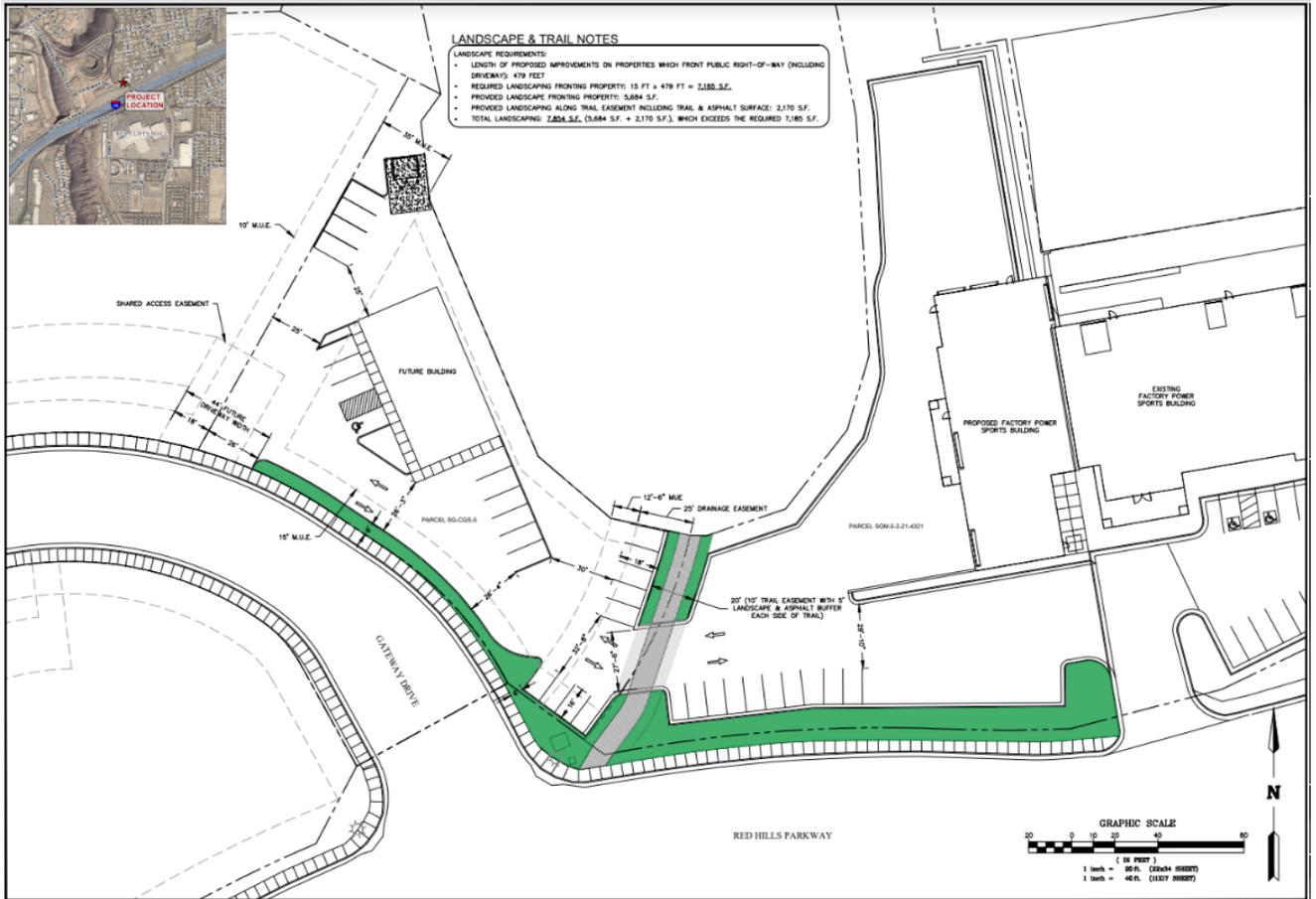


Exhibit “C” – Development Agreement

When Recorded Return To:

**City of St. George
City Attorney’s Office
175 East 200 North
St. George, Utah 84770**

Copy to:

**General Properties LLC
359 East Riverside Drive
St. George, UT 84790
Parcel No. SGM-5-2-21-4321 and SG-GCS-5**

DEVELOPMENT AGREEMENT (Addition to SGM-5-2-21-4321 and Gateway Commons Lot 5)

This Agreement is entered into this _____ day of _____, 2023 between the City of St. George, a municipal corporation of the State of Utah (“City”), and General Properties LLC, a Utah limited liability company, (“Developer”). City and Developer may be referred to as a Party or collectively referred to as the “Parties”.

RECITALS

- A. Developer currently owns parcel SGM-5-2-21-4321, which is located at 1685 East Red Hills Parkway and more particularly described as parcel 1 in **Exhibit A** attached hereto (the “Property”).
- B. As shown on the Site Plan set forth in **Exhibit B** attached hereto, Developer is proposing to construct a new addition to the existing commercial building on the Property, which includes the development of the site, including associated parking, utilities, landscaping, and paved areas for access to the new building addition (the “Project”).
- C. A Planned Development – Commercial Zone was approved for the Property on August 20, 2020 through Ordinance number 2020-08-011.
- D. Developer now desires to amend the approved Planned Development to construct Project, and has submitted the conceptual site plan, landscape plan and building elevations for approval by City as required.
- E. Developer also owns parcel SG-GCS-5 which is more fully described as parcel 2 in Exhibit A, which is contiguous to Property, and on which is located a master planned trail as shown on **Exhibit B** that crosses both the Property and parcel SG-GCS-5.
- F. Developer and City have agreed that in exchange for certain community benefits,

primarily consisting of the dedication of trail easement to the City as a condition of approval, the City will allow Developer to develop the Project using the trail and landscape strips as part of the required landscape requirements along Gateway Drive. .G. City, acting pursuant to its authority under Utah Code Annotated, Section 10-9a-101, et. seq., and in furtherance of its land use policies, goals, objectives, ordinances, resolutions, and regulations has determined this Agreement is in the best interest of the citizens of the City of St. George, and, in the exercise of its legislative discretion, has elected to approve this Agreement.

NOW THEREFORE, in consideration of the premises, and for good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, City and Developer agree as follows:

AGREEMENT

SECTION 1: DEFINITIONS

- 1.1 “Administrative Amendments” has the meaning set forth in Section 2.8.2
- 1.2 “Allowed Uses” means the allowed uses set forth in the appropriate zoning tables of City Code Title 10.
- 1.3 “Building Permit” means a permit issued by the City pursuant to the requirements of the Code, Uniform Building Code, and related building codes as applicable, including permits for grading, footings and foundations, and construction of other improvements.
- 1.4 “City” means the City of St. George, a municipal corporation of the State of Utah. The City has entered into this Agreement as a Party acting by and through its City Council.
- 1.5 “City Council” means the City Council of the City of St. George which is a six-member Council comprised of the Mayor and five Council members.
- 1.6 “Code” means Chapter 10 of the City Code. All references to sections of the Code shall mean those relevant sections within the codified City Code.
- 1.7 “Construction Plan” means the maps or drawings accompanying a final Plat or Final Site Plan and showing the specific location and design of improvements to be installed on the site of the Project in accordance with the conditions of approval of the Final Site Plan or Plat.
- 1.9 “Developer” means (General Properties LLC) a Utah Limited Liability Company, its members, managers, affiliate entities, and its successors, assignees, or transferees.
- 1.10 “Director” means the Community Development Director.
- 1.11 “Effective Date” means the effective date of the City Ordinance that approves this Agreement.

- 1.12 Event of Default” has the meaning set forth in Section 5.
- 1.13 “Land Use Laws” shall mean Title 10, Chapter 9a of the Utah Code, and Title 10 of the City Code collectively along with all relevant federal and state case law.
- 1.14 “Open Space” means land which is unoccupied or unobstructed by any above-ground buildings including, slope areas, landscaped areas, or strips of land between buildings and between paved parking areas and access lanes, areas left or replanted in natural vegetation, setback areas that are not used for actual parking and other similar open and unobstructed areas.
- 1.15 “Planning Commission” means the St. George City Planning Commission.
- 1.16 “Project” means the Gateway Commons approved August 20, 2020 through Ordinance _2020-08-011.
- 1.17 “Property” means that real property referenced in Section 2 and more fully described in **Exhibit A**.
- 1.18 “Public Facilities” means the arterial and access roads which have been or will be dedicated to the City as public roads, and the other public infrastructure or public service facilities serving the Property.
- 1.19 “Staff” means the planning, engineering, survey, and legal staff of the City which may have a part in development approval.
- 1.20 “Substantial Amendment” has the meaning set forth in Section 2.8.1.

SECTION 2: APPROVED USE, DENSITY, GENERAL CONFIGURATION, AND DEVELOPMENT STANDARDS AFFECTING THE PROJECT

- 2.1 The Project. The project as depicted in **Exhibit B** attached hereto shall amend the original project and shall apply to the real property described in **Exhibit A** attached hereto. No additional property may be added to the Project for purposes of this Agreement without the express written consent of the City and amendment to this Agreement.
- 2.2 Development Plan. Developer shall improve the property and construct following the approved site plan depicted in **Exhibit B**. The Parties understand and agree that this layout is conceptual in nature and the final layout shall be approved through the regular site plan approval process but shall be substantially compliant with **Exhibit B**.
- 2.3 Specific Design Conditions. **City shall allow Developer to count the 10-foot trail area and adjacent landscape strips on either side of the 10-foot trail area, as shown on attached Exhibit B, towards the required 15-foot minimum average landscape width along the frontage of Gateway Drive along parcel 2 shown on attached Exhibit A**

making the actual landscape width along the frontage of Gateway Drive to be six feet (6') thereby giving Developer and its related business wider access to the parking lot in Parcel 2.

- 2.4 As a condition of approval for the amended Planned Development, Developer agrees to provide certain community benefits as follows:
- 2.4.1 Developer will dedicate a ten (10) foot trail easement to City, for approximately one hundred twenty (120) feet and install the ten (10) foot trail for approximately one hundred twenty (120) feet, with a five (5) foot landscape strip on each side of the trail, as shown on **Exhibit B**
 - 2.4.2 Developer will install a five (5) foot landscape strip on each side of the trail, the east landscape strip to be installed with the construction of the new addition to Developer's building on parcel SGM-5-2-21-4321 and the west landscape strip to be installed with the development of parcel SG-CGS-5.
 - 2.4.3 Developer will maintain the five (5) foot landscape strips on either side of the trail as shown in **Exhibit B**.
 - 2.4.4 City will maintain the 10-foot master planned trail as shown in **Exhibit B**
- 2.5 Compliance with City Design and Construction Standards. Developer acknowledges and agrees that unless expressly stated otherwise in this Agreement, nothing in this Agreement shall be deemed to relieve Developer from the obligation to comply with all applicable laws and requirements of the City necessary for the development of the Project, including the payment of fees and compliance with the City's design and construction standards.
- 2.6 Compliance with PD-C. Developer acknowledges and agrees that except as specified in this Agreement, nothing in this Agreement shall be deemed to relieve it from the obligation to comply with the Planned Development Commercial as presented and approved by the St. George City Council.
- 2.7 Conflicts.
- 2.7.1 To the extent there is any ambiguity in or conflict with the provisions of this Agreement, the more specific provision or language shall take precedence over more general provisions or language.
 - 2.7.2 The City has reviewed the Code, General Plan, and Rezone Ordinance and has determined that the Developer has substantially complied with the provisions thereof and hereby finds that the Project is consistent with the purpose and intent of the relevant provisions of the City Code and General Plan and the PD-C Zone. The parties further agree that the omission of a limitation or restriction herein shall not relieve the Developer of the necessity of complying with all applicable

City Ordinances and Resolutions not in conflict with the provisions of this Agreement, along with all applicable state and federal laws.

2.8 Amendments.

2.8.1 Substantial Amendments. Unless otherwise addressed or allowed in this Agreement, any amendment to this Agreement that alters or modifies a Term creates a substantive change to the text of this Agreement, alters the approved development or Development Plan in a manner not provided for herein, alters the Allowed Uses, increases the approved Density, or results in a material increase in the intensity of use shall be considered a Substantial Amendment and shall be processed as a legislative land use regulation consistent with the requirements of the City Code and the Utah Code. Any change to (i) the requirement of any material amenity described herein that is available to the public; (ii) provisions for reservation and dedication of necessary or substantial portions of land; or (iii) a substantive change to the terms of this Agreement; or (iv) any approved mechanism that imposes financial obligations on Developer or the property owners within Project (including a substantive increase in the assessments through any association of owners within the Project) shall be deemed a “Substantial Amendment”. Substantial Amendments shall be in writing, approved by Ordinance, and recorded with the Washington City Recorder.

2.8.2 Administrative Amendments. Unless otherwise provided by law, all amendments to this Agreement that are not Substantial Amendments shall be deemed “Administrative Amendments” and, when approved, shall be approved, and executed by the Director. The City Council hereby designates the Director as the authorized administrative authority and empowers that official to make all final Administrative Amendment decisions. Administrative Amendments shall be reflected in a written approval by the Director which shall be recorded with the Washington City Recorder.

2.8.3 Effect of Amendment. Any amendment to this Agreement shall be operative only as to those specific portions of this Agreement expressly subject to the amendment, with all other terms and conditions remaining in full force and effect without interruption.

SECTION 3: SUMMARY OF CITY DETERMINATIONS RELATING TO PROJECT

3.1 City Approvals Relating to the Project.

3.1.1 Applications. Developer submitted an appropriate application for the approval of this Agreement to authorize and regulate the Project.

3.1.2 Approval Process. Following lawfully advertised public hearings before the City Planning Commission on April 11, 2023, the Application received a positive recommendation by Motion of the Planning Commission taken on April 11, 2023

with a 5-0 vote. The matter thereafter came before the City Council which considered and deliberated regarding the matter at appropriately noticed public meetings on May 4, 2023. The City Council thereafter approved the Project on May 4, 2023, under the processes and procedures set forth in the Code and General Plan. With respect to the terms and conditions of approval, the City Council made such findings of fact and conclusions of law as are required as a condition to the approvals, as reflected in the staff recommendation and adopted with any modifications, as reflected in the minutes of the above referenced public meetings, and as reflected by the other enumerated findings herein.

3.1.3 Compliance with Requirements. The following is an analysis of the Project's compliance with the requirements of the General Plan and the Code that was utilized by the City Council in making its final approval of the Amendment Application.

- A. (PD-C) Zone. The provisions of the PD-C Zone, are met by the Project, as reflected in and regulated by this Agreement.
- B. Development Agreement Approval Requirements. The development requirements of Title 10, Chapter 8 as well as Title 10, Chapter 17 of the Code are met, which constitute all of the requirements for the approval of this Agreement:
- C. This Agreement has been reviewed and considered in accordance with the provisions of the Code and meets all applicable requirements of that Section with the exception that the property is not screened from the public street behind other property or structures, which requirement shall be waived by this Agreement.
- D. This Agreement includes the written consent of each landowner whose properties are included within the boundaries of the Property.
- E. This Agreement advances policies, implements goals, and achieves other desired results not generally available under the other implementation strategies of the City.
- F. The Project as reflected in and conditioned by the terms and conditions of this Agreement, is in conformity and compliance with the General Plan, any existing capital improvements programs, the provisions of the Code (including concurrency and infrastructure requirements), and all other development requirements of the City.
- G. Developer shall comply with all appropriate water and infrastructure requirements of the Code, and all appropriate criteria and standards described in this Agreement.

- H. The Project meets or exceeds the development quality and aesthetic objectives of the General Plan, and the Code is consistent with the goal of orderly growth in the City and minimizes construction impacts on public infrastructure within the City.
- I. The proposed development reasonably assures life and property within the City and the community is protected from any adverse impact of this development.
- J. This Agreement is consistent with the (PD-C) Zone.
- K. Other than the exception stated in paragraph C above, the Project is consistent with the findings required in Code for approval.

3.1.4 Approval Motions.

- A. Prior approval. The prior terms and approval of the rezone to PD-C on August 20, 2020, through Ordinance 2020-08-011 remain in effect, except as specifically modified by this Agreement.
- B. Approval of Agreement for the Project. The City Council found that this Agreement meets all applicable requirements of the Code for a development agreement that would authorize and regulate the Project and approved this Agreement for the Project for the purposes of allowing the development of the proposed Project as permitted by the General Plan and the Code on the terms and conditions incorporated into this Agreement.
- C. Designated City Planning Official. The designated City planning official that is designated to interpret this Agreement, determine, and approve Administrative Amendments, and otherwise, administer certain provisions of this Agreement is the Director, as that position is filled from time to time. The City may designate another person or the holder of another position by a separate resolution of the City Council without a required amendment to this Agreement.

3.2 Vested Rights and Reserved Legislative Powers.

- 3.2.1 Vested Rights and Vested Projects. As of the Effective Date, the Developer has the vested right to develop and construct the Project, and to develop and construct necessary infrastructure and other improvements in accordance with the uses, densities, or intensities permitted to be constructed consistent with the application of the other provisions of this Agreement.
- 3.2.2 Compelling, Countervailing Public Interest. Nothing in this Agreement shall limit the future exercise of the police power of the City in enacting generally applicable Land Use Laws after the Effective Date. Notwithstanding the retained power of

the City to enact such legislation under the police powers, such legislation shall only be applied to modify the rights described in Section 3.2.1 based upon policies, facts, and circumstances meeting the compelling, countervailing public interest exception to the vested rights doctrine in the State of Utah. (*Western Land Equities, Inc. v. City of Logan*, 617 P.2d 388 (Utah 1980) or successor case and statutory law). Any such proposed change affecting the vested rights of the Project shall be of general application to all development activity in City; and unless the City declares an emergency, the Developer shall be entitled to prior written notice and an opportunity to be heard with respect to the proposed change and its applicability to the Project under the compelling, countervailing public policy exception to the vested rights doctrine. The regulations, ordinances, policies, and plans governing the permitted uses, densities, or intensities permitted to be constructed consistent with the other provisions of this Agreement shall be the terms and conditions of this Agreement, and those Land Use Laws in effect on the Effective Date that are not inconsistent with the terms and conditions of this Agreement.

- 3.2.3 Term and Duration. The term of this Agreement shall commence on the Effective Date and shall extend for a period of five (5) years thereafter unless this Agreement is earlier terminated or modified by a written amendment signed and duly adopted by the Parties (the “Term”).
- 3.2.4 Governing Land Use Laws. The respective rights of the parties in the event the City seeks to apply or enforce Land Use Laws to the Project in a manner that is inconsistent with the terms and conditions of this Agreement shall be governed by the existing state and federal land use case law and statutes.

3.3 Fees and Exactions.

- 3.3.1 Development Application and Review Fees. Developer has paid all City required application and review fees for the approval of this Agreement and nothing herein shall obligate the City to pay any third-party fees, costs, and/or expenses incurred by the Developer for the application, processing, and negotiation of this Agreement, as Developer is solely responsible, therefore. All application and review fees for the Building Permits, Plats, and Final Site Plans for the Project shall be paid at the time of application for any such approval.
- 3.3.2 Plan Engineering Review Fees. The City shall have the right to charge and collect such standard engineering review fees for Final or amended Final Site Plans, development, or construction approvals for the Project or a Project Area as are generally applicable on a non-discriminatory basis at the time of application for any such approval.
- 3.3.3 Other Fees. The City may charge other fees that are generally applicable, including but not limited to standard Building Permit review fees for improvements to be constructed on improved parcels.

3.3.4 Impact Fees. Developer agrees that the Project shall be subject to all impact fees, which are (1) imposed at the time of issuance of Building Permits, and (2) generally applicable to other properties in the City; and Developer waives its position with respect to any vested rights to the imposition of such fees but shall be entitled to similar treatment afforded other vested projects if the impact fee ordinance makes any such distinction. If fees are properly imposed under the preceding tests, the fees shall be payable in accordance with the payment requirements of the particular impact fee ordinance and implementing resolution. Notwithstanding the agreement of the Developer to subject the Project to impact fees under the above-stated conditions, the Developer does not waive the Developer's rights under any applicable law to challenge the reasonableness of or the amount of the fees within the time frame(s) set forth in Utah Code §11-36a-702.

3.3.5 Rough Proportionality Test. For purposes of this Agreement, the "Rough Proportionality Test" means and refers to a standard of reasonableness whereby the Property and/or Project shall not bear more than an equitable share of the capital costs financed by an impact fee or exaction in relation to the benefits conferred on and impacts of the Project. The interpretation of "rough proportionality" shall be governed by the federal or Utah case law and statutes in effect at the time of any challenge to an impact fee or exaction imposed as provided herein including, but not limited to, the standards of Utah Code § 0-9a-508(1), and *Nollan v. California Coastal Comm'n*, 483 U.S. 825 (1987), and *Dolan v. City of Tigard*, 512 U.S. 374 (1994), and cases arising therefrom including *B.A.M. Development, LLC v. Salt Lake City*, 2008 UT 74, or its successor case law. The Parties agree that the mitigations, amenities, and benefits required of and provided by the Developer in this Agreement shall meet the Rough Proportionality Test.

3.4 Property Rights. By this Agreement and pursuant to Utah Code § 10-9a-532, the Parties acknowledge that Developer has been duly advised that they are or may be waiving property rights, known or unknown, in exchange for the mutual covenants and promises made herein. Developer acknowledges that they have been informed and advised by competent counsel, agree to the terms of this Agreement, and freely and voluntarily waive any rights which may be lost by this Agreement.

SECTION 4: SPECIFIC PROJECT REQUIREMENTS AND AMENITIES

4.1 Essential Project Infrastructure. If not otherwise completed, the Developer agrees to design and obtain all necessary approvals and construct the infrastructure necessary for the operation of the Project. All infrastructure shall be constructed to City engineering and planning standards as set forth in the Code and published infrastructure standards.

SECTION 5: DEFAULT, TERMINATION, AND DISPUTES

5.1 Events of Default. Developer is in default under this Agreement upon the happening of one or more of the following events or conditions.

5.1.1 If a warranty, representation, or statement made or furnished by the Developer to the City is false or proves to have been false in any material respect when it was made.

5.1.2 A finding and determination made by the City that, upon the basis of substantial evidence, the Developer has not complied with one or more of the material terms or conditions of the development approvals or this Agreement.

5.1.3 Any other event, condition, act, or omission which materially interferes with the intent and objectives of this Agreement.

5.2 Procedure Upon Default.

5.2.1 After the occurrence of a default under Section 5.1, the City Council may exercise a right to declare an “Event of Default” by authorizing the City Manager to give the Developer written notice specifying the nature of the alleged default. Developer shall have sixty (60) days after receipt of written notice to cure the Event of Default. In the event the nature of the Event of Default reasonably requires more than sixty (60) days to cure and provided the Developer has commenced actions reasonably designed to cure the Event of Default within the sixty (60) day cure period and thereafter diligently proceeds to cure the alleged default, the cure period shall be extended for one additional sixty (60) day period or for such other time period agreed to by the City, for Developer to cure the Event of Default to completion. If the Event of Default is not cured within the cure period described above, the City may terminate this Agreement and the associated development approvals by giving written notice to the Developer. Failure or delay in declaring or giving notice of an Event of Default shall not constitute a waiver of any Event of Default under Section 10, nor shall it change the time of such default. In the event the City extends the cure period beyond the initial sixty (60) days, the City may suspend all permitting and approval processes under this Agreement and place stop-work orders on continuing construction, and otherwise use all means available to mitigate and address any such Event of Default.

5.2.2 The City does not waive any claim of default in performance by the Developer if on periodic review the City does not propose to modify or terminate this Agreement

5.2.3 Any default or inability to cure a default caused by strikes, lockouts, pandemics or health-related crises, labor disputes, acts of God, inability to obtain labor or materials or reasonable substitutes therefore, governmental restrictions, governmental regulations, governmental controls, enemy or hostile governmental action, civil commotion, fire or other casualties, and other similar causes beyond

the reasonable control of the Party obligated to perform, shall excuse the performance by such Party for a period equal to the period during which any such event prevented, delayed, or stopped any required performance or effort to cure a default.

5.2.4 Adoption of law or other reasonable governmental activity making performance by the Developer unprofitable or more difficult or more expensive does not excuse the performance of the obligation by the Developer.

5.2.5 All other remedies at law or in equity that are not inconsistent with the provisions of this Agreement are available to the Parties to pursue in the event there is an incurred Event of Default.

SECTION 6: RELATIONSHIP BETWEEN THE PARTIES; NO CITY FINANCIAL RESPONSIBILITY

6.1 Relationship between Parties. The contractual relationship between the City and Developer arising out of this Agreement is one of the independent contractors and not agency. This Agreement does not create any third-party beneficiary rights. It is specifically understood by the Parties that: (a) the Project is a private development; (b) the City has no interest in or responsibilities for or duty to third parties concerning any improvements Property until the City accepts dedication, ownership, or maintenance of the improvements pursuant to a specific written agreement providing for acceptance of dedication, ownership or maintenance; and (c) Developer shall have the full power and exclusive control of the Property subject to the terms, conditions, limitations, restrictions, and obligations of Developer set forth in this Agreement.

6.2 Mutual Releases. At the time of, and subject to, (i) the expiration of any applicable appeal period with respect to the approval of this Agreement without an appeal having been filed or (ii) the final determination of any court upholding this Agreement, whichever occurs later, and excepting the Parties' respective rights and obligations under this Agreement, Developer, on behalf of itself and Developer's partners, officers, directors, employees, agents, attorneys and consultants, hereby releases the City and the City's board members, council members, officials, employees, agents, attorneys and consultants, and the City, on behalf of itself and the City's board members, officials, employees, agents, attorneys and consultants, hereby releases Developer and Developer's partners, officers, directors, employees, agents, attorneys and consultants, from and against any and all claims, demands, liabilities, costs, expenses of whatever nature, whether known or unknown, and whether liquidated or contingent, arising on or before the Effective Date in connection with the application, processing or approval of applications relating to the Project or any Project Area, to include any past claims for vested development rights that are not provided for in this Agreement.

6.3 Hold Harmless.

- 6.3.1 Agreement of Developer. Developer agrees to and shall hold the City, its officers, elected officials, agents, employees, consultants, attorneys, special counsel, and representatives harmless from liability for damages, just compensation, restitution, judicial or equitable relief arising out of claims for personal injury, including health, and claims for property damage which may arise from the direct or indirect operations of Developer or its contractors, subcontractors, agents, employees or other persons acting on their behalf which relates to the Project or the actions of Developer taken pursuant to or the failure of Developer to comply with the terms of this Agreement. Any such action shall be referred to as an “indemnified claim.” Developer agrees to pay all costs for the defense of the City and its officers, agents, employees, consultants, attorneys, special counsel, and representatives regarding any indemnified claim. This hold harmless agreement applies to all claims for damages, just compensation, restitution, judicial or equitable relief suffered or alleged to have been suffered by reason of the events referred to in this section regardless of whether or not the City prepared, supplied, or approved this Agreement, plans or specifications, or both, for the Project or any Project Area. City may make all reasonable decisions with respect to its representation in any legal proceeding relating to an indemnified claim.
- 6.3.2 Exceptions to Hold Harmless. The agreements of Developer in this Section 6 shall not be applicable to (i) any claim arising by reason of the gross negligence or intentional misconduct of the City, or (ii) any claim reserved by Developer for itself or any owner of any portion of the Property under the terms of this Agreement for just compensation or attorney fees. Additionally, the City agrees to indemnify, hold harmless, and defend Developer for any and all legal claims made for personal injury or other damage or harm that occurs within the boundaries of the dedicated trail easement maintained by the City.
- 6.3.3 Hold Harmless Procedures. Except in the Event of Default, the City shall give written notice of any claim, demand, action, or proceeding which is the subject of the Developer’s hold harmless agreement as soon as practicable but not later than 10 business days after the assertion or commencement of the claim, demand, action or proceeding; provided, however, the City’s inadvertent failure to provide such notice within such time period shall not be a breach of this Agreement unless such failure materially impairs Developer’s defenses in such action. In the event any such notice is given; the City shall be entitled to participate in the defense of such claim. Each Party agrees to cooperate with the other in the defense of any claim and to minimize duplicative costs and expenses.

SECTION 7: GENERAL TERMS AND CONDITIONS

- 7.1 Exhibits. All exhibits attached hereto are incorporated as part of this Agreement.
- 7.2 Project Approvals and Compliance with City Design and Construction Standards. Developer expressly acknowledges and agrees that nothing in this Agreement shall be

deemed to relieve Developer from the obligation to comply with City Ordinances and City of St. George Standard Specifications for Design and Construction, and all applicable requirements of the City necessary for approval of any development of Developer's property, including the payment of fees and compliance with all other applicable resolutions, regulations, policies and procedures of the City, except as specifically modified or waived in this Agreement.

7.3 Governing Law and Venue. This Agreement shall be construed according to the laws of the State of Utah. The parties agree that venue for all legal actions, unless they involve a cause of action mandating federal jurisdiction, shall be the Fifth District Court for the State of Utah. The parties further agree that the Federal District Court for the District of Utah shall be the venue for any cause of action with mandatory federal jurisdiction.

7.4 Construction. Each of the Parties has had the opportunity to review this Agreement with counsel of their choosing and the rule of contracts requiring interpretation of a contract against the party drafting the same is hereby waived and shall not apply in interpreting this Agreement.

7.5 Notices. All notices required herein, and subsequent correspondence in connection with this Agreement shall be delivered to the following:

City of St. George
Attn: City Attorney
175 East 200 North
St. George, Utah 84770
Jami.brackin@sgcity.org

General Properties, LLC
Attn: Russell Key
359 East Riverside Drive STE D
St. George, Utah 84790

Such notices shall be deemed delivered following the mailing of such notices in the United States mail or by email where provided. Adequate notice shall be deemed given at the addresses set forth herein unless written notice is given by either party of a change of address.

7.6 Assignment. Neither this Agreement nor any of the provisions, terms or conditions hereof can be assigned to any other party, individual or entity without prior written consent of City, which consent shall not be unreasonably withheld.

7.7 Binding Effect. Subject to the provisions of this document above, all the provisions of this Agreement shall inure to the benefit of, and be binding upon, the Parties hereto and their respective successors, heirs, representatives, officers, agents, employees, members, assigns, and receivers.

7.8 Integration. This Agreement contains all the terms and conditions pertaining to the subject matter hereof and, except with regard to zoning and other approvals upon which this Agreement is based, supersedes all prior negotiations, representations, promises, inducements, or previous agreements between the parties, whether oral or written with respect to the subject matter. Any amendments hereto must be in writing and signed by

the respective parties.

- 7.9 Severability. If any part or provision of this Agreement shall be determined to be unconstitutional, invalid, or unenforceable by a court of competent jurisdiction, then such a decision shall not affect any other part or provision of this Agreement except that specific provision determined to be unconstitutional, invalid, or unenforceable. If any condition, covenant, or other provision of this Agreement shall be deemed invalid due to its scope or breadth, such provision shall be deemed valid to the extent of the scope or breadth permitted by law.
- 7.10 Headings. The section and other headings in this Agreement are for reference purposes only and shall not in any way affect the meaning or interpretation of this Agreement.
- 7.11 Survival. The obligations of Developer set forth in Section 2.4 shall survive any cancellation, termination, or expiration of this Agreement.
- 7.12 Counterparts. This Agreement may be executed in counterparts each of which shall be an original and shall constitute one and the same agreement.
- 7.13 Authority of Parties. The parties executing this Agreement hereby warrant and represent that they are duly authorized to do so in the capacity stated, and that this Agreement constitutes a valid and binding agreement.

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[SIGNATURES FOLLOW]

Jami Brackin, Deputy City Attorney

EXHIBIT B

Legal Description

Legal Description for Parcel SGM-5-2-21-4321

Subdivision: MIDDLETON TOWN RESURVEY BLK 6 (SGM) Lot: 1 THRU:- Lot: 4, Subdivision: MIDDLETON TOWN RESURVEY BLK 13 (SGM) Lot: 2 S: 21 T: 42S R: 15W BEGINNING AT A POINT SOUTH 80°18'20" WEST, ALONG THE BLOCK LINE A DISTANCE OF 214.25 FEET FROM THE NORTHEASTERLY CORNER OF LOT 4, BLOCK 6, OF THE 1971 MIDDLETON TOWN RESURVEY OF THE M.M, SANDERS ENTRY IN THE NORTHEAST QUARTER (NE1/4) OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, SAID POINT BEING THE NORTHWESTERLY CORNER OF THAT PARCEL SHOWN BY TAX ID #SGM-6-4-3 AND DOCUMENT #20130019712, OFFICIAL WASHINGTON COUNTY RECORDS, SAID POINT ALSO BEING LOCATED NORTH 01°08'59" EAST, ALONG THE SECTION LINE, A DISTANCE OF 761.61 FEET, AND NORTH 90°00'00" EAST, A DISTANCE OF 954.53 FEET FROM THE WEST 1/4 CORNER OF SECTION 21, TOWNSHIP 42 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN,; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 100.00 FEET, TO THE SOUTHWESTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 114.25 FEET, TO THE SOUTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 09°41'40" WEST, A DISTANCE OF 100.00 FEET, TO THE NORTHEASTERLY CORNER OF SAID PARCEL; THENCE NORTH 80°18'20" EAST, ALONG THE BLOCK LINE, A DISTANCE OF 88.01 FEET; THENCE SOUTH 54°41'39" EAST, A DISTANCE OF 16.97 FEET, TO A POINT ON THE WESTERLY RIGHT OF WAY LINE OF 1700 EAST STREET; THENCE SOUTH 09°40'40" EAST, ALONG SAID LINE A DISTANCE OF 254.77 FEET, TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF RED HILLS PARKWAY; THENCE SOUTH 64°17'15" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 173.30 FEET; THENCE SOUTH 75°27'09" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 72.53 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE RIGHT, OF WHICH THE RADIUS POINT LIES NORTH 02°59'04" WEST, A RADIAL DISTANCE OF 570.00 FEET, THENCE WESTERLY ALONG THE ARC OF SAID CURVE AND SAID RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 05°38'52" A DISTANCE OF 56.13 FEET; THENCE NORTH 87°55'23" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 13.32 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES SOUTH 01°29'21" WEST, A RADIAL DISTANCE OF 670.00 FEET; THENCE WESTERLY ALONG THE ARC OF SAID CURVE, AND SAID RIGHT OF WAY LINE THROUGH A CENTRAL ANGLE OF 12°36'39", A DISTANCE OF 147.47 FEET; THENCE NORTH 53°32'46" WEST, ALONG SAID RIGHT OF WAY LINE, A DISTANCE OF 11.86 FEET, TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT, OF WHICH THE RADIUS POINT LIES NORTH 48°20'53" WEST, A RADIAL DISTANCE OF 217.50 FEET; THENCE NORTHEASTERLY ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 28°25'07", A DISTANCE OF 107.86 FEET; THENCE SOUTH 89°26'13" EAST, A DISTANCE OF 7.67 FEET; THENCE NORTH 71°16'33" EAST, A DISTANCE OF 38.70 FEET; THENCE NORTH 37°52'30" EAST, A DISTANCE OF 46.59 FEET; THENCE NORTH 16°23'22" EAST, A DISTANCE OF 36.13 FEET; THENCE NORTH 03°07'05" WEST, A DISTANCE OF 110.70 FEET; THENCE NORTH 10°13'28" WEST, A DISTANCE OF 129.26 FEET; THENCE NORTH 62°51'17" EAST, A DISTANCE OF 28.72 FEET; THENCE SOUTH 27°08'43" EAST, A DISTANCE OF 58.56 FEET; THENCE SOUTH 09°41'40" EAST, A DISTANCE OF 58.00 FEET; THENCE NORTH 80°18'20" EAST, A DISTANCE OF 30.89 FEET, TO THE POINT OF BEGINNING.

Legal Description for Parcel SG-GCS-5

Subdivision: GATEWAY COMMONS (SG) Lot: 5



Agenda Date: 12/07/2023

Agenda Item Number: 07

Subject:

Consider approval of Ordinance No. 2023-043 amending an approved PD-C (Planned Development Commercial) on approximately 18 acres, generally located on the southeast corner of River Road and George Washington Boulevard for the purpose of amending the elevations on five of the previously approved buildings and approving six of the building elevations not previously approved and approving a legislative exception for a removal of a wall on the south end of the site, for a project known as River Crossing, with conditions from the Planning Commission.

Item at-a-glance:

Staff Contact: Dan Boles

Applicant Name: RCSG LLC (Trevor Einerson & Steve Crandall)

Reference Number: 2023-PDA-022

Address/Location:

Southeast corner of River Road and George Washington Boulevard

Item History (background/project status/public process):

In 2016, The Boulder Creek Commons PD was established with a general layout of the property and a use list. In 2021, the name of this development name was changed to River Crossing and a revised conceptual site plan was approved for phase one. Phase two followed in 2022. With approval of both phases, the general layout and some building elevations of the site were approved. The applicant is proposing revisions of some building elevations and approval of the elevations not yet approved. At their meeting held on November 14, 2023, the Planning Commission held a public hearing and recommended approval with conditions.

Staff Narrative (need/purpose):

Because not all of the building elevations were approved with the original approval, the applicant is requesting approval now. Additionally, some of the elevations have changed and so the applicant is requesting approval of those changes. Finally, the applicant is asking that a legislative exemption be approved in order to remove the requirement for a privacy wall along the southern property line where there is a change in grade with the neighbors to the south.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

On November 14, 2023, the Planning Commission held a public hearing in order to hear the request and receive public comment (no public comment was given). The Planning Commission recommended approval of the application 6-0 with the following conditions: 1. That a legislative exemption is granted to allow the privacy wall on the south side of the property to not be constructed. 2. That each building is to be part of a site plan to be reviewed and approved by the city. 3. That building J provides more relief and visual interest to the rear and side elevations of the building.



PLANNING COMMISSION AGENDA REPORT: 11/14/2023

CITY COUNCIL AGENDA REPORT: 12/07/2023

River Crossing									
Planned Development Amendment (Case No. 2023-PDA-022)									
Request:	Consider a request to amend an approved PD-C (Planned Development Commercial) on approximately 18 acres, located on the southeast corner of River Road and George Washington Boulevard for the purpose of amending the elevations on five of the previously approved buildings and approving six of the building elevations not previously approved. They are also requesting approval of a legislative exception for a wall on the south side of the site.								
Applicant:	RCSG LLC								
Representative:	Trever Einerson & Steve Crandall								
Location:	Located at the southeast corner of River Road and George Washington Boulevard								
General Plan:	COM (Commercial)								
Existing Zoning:	PD-C (Planned Development Commercial)/PD-AP (Planned Development Administrative Professional)								
Surrounding Zoning:	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="width: 20%;">North</td> <td>PD-C (Planned Development Commercial) & George Washington Blvd</td> </tr> <tr> <td>South</td> <td>R-1-10 (Single Family, 10,000 ft² minimum lot size)</td> </tr> <tr> <td>East</td> <td>PD-C (Planned Development Commercial) & PD-R (Planned Development Residential)</td> </tr> <tr> <td>West</td> <td>PD-C (Planned Development Commercial) & River Rd</td> </tr> </table>	North	PD-C (Planned Development Commercial) & George Washington Blvd	South	R-1-10 (Single Family, 10,000 ft ² minimum lot size)	East	PD-C (Planned Development Commercial) & PD-R (Planned Development Residential)	West	PD-C (Planned Development Commercial) & River Rd
North	PD-C (Planned Development Commercial) & George Washington Blvd								
South	R-1-10 (Single Family, 10,000 ft ² minimum lot size)								
East	PD-C (Planned Development Commercial) & PD-R (Planned Development Residential)								
West	PD-C (Planned Development Commercial) & River Rd								
Land Area:	Approximately 18 acres								

BACKGROUND:

This application involves buildings throughout the River Crossing development. In 2016, The Boulder Creek Commons Planned Development was established with a general layout of the property and a use list (2015-ZC-035). Then in 2021, the name of this development name was changed to River Crossing and a conceptual site plan was approved for phase one (2021-ZCA-081). Phase two followed in 2022 (2022-ZC-038). Additionally, the limit of three drive-thru facilities was removed in 2020 if certain conditions could be met. With approval of both phases, the general layout and some building elevations of the site were approved. The applicant is now ready to get approval of the

remaining building elevations (with the exception of Building A to be the final building in the future). Additionally, as staff has worked through some of the building permits and site plans with the applicant, some discrepancies in proposed elevations and approved elevations have been noted, and a handful of previously approved elevations are now before the Planning Commission to be revised. An accounting for each building will be given in this report.

In order to create a cohesive and consistent pattern of development in the site, the applicant will utilize similar materials throughout. Those materials include light and dark colored brick, several colors and textures of CMU, Fiber cement paneling, a light and dark EIFS (stucco), aluminum storefronts, steel canopies, and light and dark canvas awnings. A materials board has been provided as well as elevations of each building.

Parking was anticipated and counted for all buildings in the original approvals (even the buildings that had no elevations). Now that all buildings are accounted for, a detailed parking analysis has been produced and included with this report. Ultimately, the parking is not only met but exceeded.

Phase 1

Building A – This Building is not a part of the application and will be the final building to be reviewed at a later date.

Building B – This building is the McDonalds that was approved earlier this year and is not included in this application.

Building C – Building C is almost completely the same as the originally approved building structurally. The materials have changed to conform to the above mentioned materials and colors.

Building D (East & West) – This building has been broken into two buildings which was always the plan. They have been updated with the new materials and colors and will stand at approximately 27 feet tall from grade to the top of the highest point. Outdoor seating has been included with this rendition.

Building E – This building was included in the original approvals but has since been significantly redesigned (again matching the current proposed design). The canopy originally approved on this building has been removed and the total square footage has been increased. Height has been increased by five feet to match the other buildings at 27 feet tall. Parking has been changed to conform to the required parking requirements.

Building F – This building is not included in this application as no changes are being proposed at this time.

Building G – This building has changed design. This time, the height of the structure decreased by two feet from 22' in height to 20'. Building materials and colors have been updated. The square footage has slightly increased, and parking modified accordingly.

Building H – This is a new elevation and was not previously approved with the other phases. The building will be approximately 3,480 ft² and as most of the other buildings, stand at 27 feet tall. Materials and colors are the same as the other buildings.

Building I – Buildings I and L are new and not previously approved twin buildings. They flank each side of the connecting road between River Road and 1490 East Circle and will be approximately 12,580 ft² and will be multi-tenant buildings. The architect has done a good job making the rear of the buildings have visual interest and features. The height of these buildings is 26 feet from grade to the highest point. The same materials and colors will apply here as well.

Building J – This is the largest of the retail buildings on the site and will be just shy of 30,000 ft² at 29,480 ft². The applicant has signed a grocery tenant new to this market that will act as an anchor for the development. Though this building's highest point is 34.5 feet, that is to the top of an ornamental feature at the front of the building above the building's entrances. The vast bulk of the building will be 27.5 feet in height. The north and south elevations are fairly long and provide little relief. Staff would like to see some greater interest on those two sides. Additionally, it would be preferable for the building to use a split face CMU and not a smooth faced CMU.

Phase 2

Building K – Buildings K, L & M were not previously approved with phase two. Building K will be approximately 8,400 ft² and like many of the other buildings will stand at approximately 27 feet tall to the highest point and will consist of the same materials and colors as the other buildings.

Building L – See Building I for details.

Building M – This building was originally approved across the River Road in the Boulder Crossing development. The use of this building will be a medical office (specifically a dental office). The colors have been updated to match the colors in the rest of the development. From grade to the highest point, the building will stand at 23'8" though the majority of the building will be approximately 16' tall. Staff is hopeful that an office building will make a good neighbor to the residential neighborhood to the east. The building will be approximately 5,100 ft².

Building N – This building has previously been approved and is not part of the application.

Privacy Wall: As part of the site plan application, staff noted that a six foot high wall is required between the residential property to the east and south of the office building on the far south end of the development (previously approved building N). Because of an elevation change between the office building and the residences to the south, the applicant is requesting a legislative exemption from the requirements of installing the privacy wall. There is a section of the wall that will have to remain open due to a 40'

irrigation easement that runs through the neighboring property and on to the subject property. There will need to be an open section for access to that property at minimum.

RECOMMENDATION:

Planning Commission held a public hearing on the application and recommends approval of the application for River Crossing with the conditions outlined by staff in the staff report and with the following condition:

1. That building J provides more relief and visual interest to the rear and side elevations of the building.

ALTERNATIVES:

1. Approve application as presented.
2. Approve applications with conditions including those recommended by staff and Planning Commission.
3. Deny the request.
4. Continue the proposed PD amendment to a later date.

Conditions:

1. That a legislative exemption is granted to allow the privacy wall on the south side of the property to not be constructed.
2. That each building is to be part of a site plan to be reviewed and approved by the city.

POSSIBLE MOTION:

"I move that we approve the PD amendment for River Crossing as presented, case no. 2023-PDA-022, based on the findings and subject to the conditions listed in the staff report including the condition from Planning Commission."

FINDINGS FOR APPROVAL:

1. The proposed uses are permitted uses found in the PD-C zone.
2. The proposed project meets the Planned Development Commercial general requirements found in Section 10-8D-2.
3. Each building will be part of a site plan to be reviewed and approved by staff.
4. That the buildings all meet the height requirements for the PD-C zone.

Aerial Map



Zoning Map



River Crossing PD-C

1 message

Rich & Monica Wood <rich.mon.wood@gmail.com>

Thu, Nov 9, 2023 at 1:51 PM

Reply-To: rich.mon.wood@gmail.com

To: dan.boles@sgcity.org

Hello,

We are writing in regards to the elevation amendment being proposed to the River Crossing PD-C.

We are concerned that elevating that area could lead to drainage problems and increased flooding potential to our homes in the Boulder Springs Villas. We do not approve this elevation amendment based on these concerns.

Sincerely,

Richard Wood

Exhibit A

Applicant's Narrative

Narrative

Overview - Proposed River Crossing Development

Submitted to St. George City

Project Description

River Crossing is a multi-phased platted commercial retail development at the corner of River Road and George Washington Parkway St. George, Utah. The property is being developed as a neighborhood community shopping center consisting of eleven (11) buildings in the first phase and four (4) additional buildings in the second phase. Previous elevation/site plans have already been approved for pads 102-107, 204. **The submitted site plan depicts the proposed buildings for lots 108(two buildings),109,201,202,203.**

Below is a recap from previous approvals and requested detail for proposed buildings. The building square footage for the first phase is approximately 98,393 square feet (excluding A & B), while the second phase will be approximately 65,500 square feet.

The breakdown of uses by building is as follows:

- Building A Pad 101 – Credit Union with Drive Thru
- Building B Pad 102 – 5205 SF Fast Food with Drive Thru
- Building C Pad 103– Two separate units. East Side 3000 square feet (Food) with drive thru side and West Side at 1,300 square feet of retail on the east side
- Building D West Pad 104 – 4,800 square feet. Food with no drive thru
- Building D East Pad 104 – 3,600 square feet food with no drive thru
- Building E Pad 105– Two separate units. West side at 2,000 square feet (Food) with drive thru. East side at 1,562 square feet, non-food service with drive thru.
- Building F Pad 106 – 7,222 square feet with option for up to five tenants. Tenant on the north edge will be a bakery in 3,924 square feet while the remainder of the spaces will be standard retail or services.

- Building G Pad 107 – 2,400 square feet. Food and Beverage with Drive Thru
- Building H Pad 109– 3,200 square feet. Food and Beverage with Drive Thru
- Building I Pad 108 – 12,000 square feet. Food, Retail, Services, no drive thru
- Building J Pad 108– 29,000 square feet. Grocery & Retail
- Building K Pad 201– 8,400 square feet. Food and Beverage with no drive thru
- Building L Pad 202– 12,000 square feet. Food, Retail, Services no drive thru
- Building M Pad 203– 5100 square feet. Professional Services
- Building N Pad 204– 40,000 square feet. Office

For Phase 1 & Phase 2 PD-C we are not proposing any additions to the “Use List” that had been previously approved for the site which was at the time of approval referred to as Boulder Creek Commons. (See attached).

Boulder Creek Commons (North & South)

(16.64 acres)

“USE LIST”

Note: Future ZCA (Zone Change Amendments) may be submitted for additional uses not listed below on a case by case basis

Amusement / Recreation / Entertainment

Dance Studio

Martial Arts Studio

Health Club

Fitness Center

Indoor entertainment activities such as paintball, bowling alley, miniature golf, arcade, etc.

Theater

Animal Services (indoor only)

Small Animal boarding
Animal Hospital
Veterinarian Clinic
Pet store, pet grooming

Automotive (indoor only)

Auto parts sales (indoor only)
Automobile rental

Business & Financial

Bank or financial institution
Professional or business office (real estate, travel, accounting, attorney, etc.)

Food Service

Bakery
Catering
Delicatessen
Ice cream parlor
Restaurant, drive-in
Restaurant, sit down

Non-Industrial Manufacturing (in shop)

Candy Shop

Medical, Dental, Counseling Services

Counseling Center (mental health, alcohol, drugs)
Laboratory, dental or medical

Medical / Dental office or clinic

Optometrist, optician

Retail Sales (indoors)

Antique store

Athletic & sporting goods

Bookstore

Department store

Drive-thru sales (pharmacy, dairy, etc.)

Florist

Furniture

Appliances

Office supplies

Paint or wall paper

Pharmacy

Retail goods establishments

Super market / grocery

Gas Station

Convenience market with gas pumps

Service Business (indoor only)

Barber Shop

Beauty Shop (incidental body piercing)

Carpet & rug cleaning

Child nursery, day care, preschool (limited outdoor with staff approval)

Educational institutions, schools, college, learning center, trade school

Janitor service & supply

Laundry or dry cleaners

Locksmith

Mail service

Massage establishment

Permanent cosmetics (as a secondary use to barber shop or beauty shop)

Pest Control

Pet grooming

Printing

The use list for the PD-AP Building N Pad 204 remain unchanged and are as follows:

Office, Professional, Personal Care, Service, Medical Office

In addition to the elevation approvals we are asking that we not be required to build a block wall along the southern border of Phase 2. This is typically required when commercial and residential zoning meet. The elevation difference is 20'-30' and the homes adjacent already have large retaining walls and block fences. The topography is very steep along the hillside and running a wall parallel just doesn't make sense. Furthermore the main sewer line and storm drain must remain accessible per the grading requirements. See Pictures for visual description.





Exhibit C Parking Analysis



RIVER CROSSING - PARKING - STATISTICS November 1, 2023

BUILDING				PARKING								EVCS
NAME	UNIT	LEVEL	GROSS AREA	REQUIRED			PROVIDED		TOTAL	TOTAL		
				RATIO	BYLAW	OUT DINE	TOTAL	ACTUAL			NON	TOTAL
A	A-1	1	4,563	1/250 SF	19	0	19	27	2	29	1	
B	B-1	1	5,205	1/250 SF KITCHEN & 1/100 SF DINING	60/40	34	0	34	29	5	34	1
C	C-1	1	3,401	1/250 SF KITCHEN & 1/100 SF DINING	50/50	23.8	0					
	C-2	1	1,098	1/250 SF KITCHEN & 1/100 SF DINING	50/50	7.7	0					
	TOTAL	1	4,499	1/250 SF KITCHEN & 1/100 SF DINING		32	0	32	26	6	32	1
D-WEST	DW-1	1	3,966	1/250 SF		15.9	10					
	DW-2	1	1,363	1/250 SF		5.5	0					
	TOTAL		5,329	-		22	10	32	35	4	39	1
D-EAST	DE-1	1	4,010	1/250 SF KITCHEN & 1/100 SF DINING	60/40	26	10	36	36	0	36	1
E	E-1	1	2,196	1/250 SF KITCHEN & 1/100 SF DINING	50/50	15.4	0					
	E-2	1	1,742	1/250 SF KITCHEN & 1/100 SF DINING	50/50	12.2	0					
	TOTAL		3,938			28	0	28	25	3	28	1
F	F-1	1	1,596	1/250 SF KITCHEN		6.4	0					
	F-2	1	1,212	1/100 SF DINING		12.1	0					
	F-3	1	1,219	1/250 SF KITCHEN		4.9	0					
	F-4	1	1,443	1/250 SF		5.8	0					
	F-5	1	1,864	1/250 SF		7.5	0					
	TOTAL		7,334			37	0	37	31	6	37	1
G	G-1	1	2,654	1/250 SF KITCHEN & 1/100 SF DINING	60/40	17	6	23	23	2	25	1
H	H-1	1	3,481	1/250 SF KITCHEN & 1/100 SF DINING	50/50	24	0	24	24	3	27	1
I	I-1	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-2	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-3	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-4	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-5	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-6	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-7	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-8	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-9	1	1,200	1/250 SF KITCHEN & 1/100 SF DINING	50/50	8.4	0					
	I-10	1	1,200	1/250 SF		4.8	0					
	TOTAL		12,000			80	0	80	77	7	84	1
J	J-1	1	23,256	1/250 SF		93.0	0					
	J-2	1	6,150	1/250 SF		24.6	0					
	TOTAL	1	29,406	1/250 SF		118	0	118	117	5	122	2
K	K-1	1	8,400	1/250 SF KITCHEN & 1/100 SF DINING		59	0	59	58	4	62	1
L	L-1	1	1,200	1/250 SF		4.8	0					
	L-2	1	1,200	1/250 SF		4.8	0					
	L-3	1	1,200	1/250 SF		4.8	0					
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	L-7	1	1,200	1/250 SF		4.8	0					
	L-8	1	1,200	1/250 SF		4.8	0					
	L-9	1	1,200	1/250 SF		4.8	0					
	L-10	1	1,200	1/250 SF		4.8	0					
	TOTAL		12,000	-		48	0	48	87	8	95	1
M	M-1	1	1,200	1/250 SF		4.8	0					
	M-2	1	1,200	1/250 SF		4.8	0					
	M-3	1	1,200	1/250 SF		4.8	0					
	M-4	1	1,500	1/250 SF		6	0					
	M-5	2	5,100	1/250 SF		20.4	0					
	TOTAL		10,200	-		41	0	41	40	1	41	1
N	N-1	1	20,644	1/250 SF OFFICE		82.6	0					
	N-1	2	18,111	1/250 SF OFFICE		72.4	0					
	TOTAL		38,755			155	0	155	139	16	155	2
				111,277		740	26	766	774	72	846	17

Exhibit D

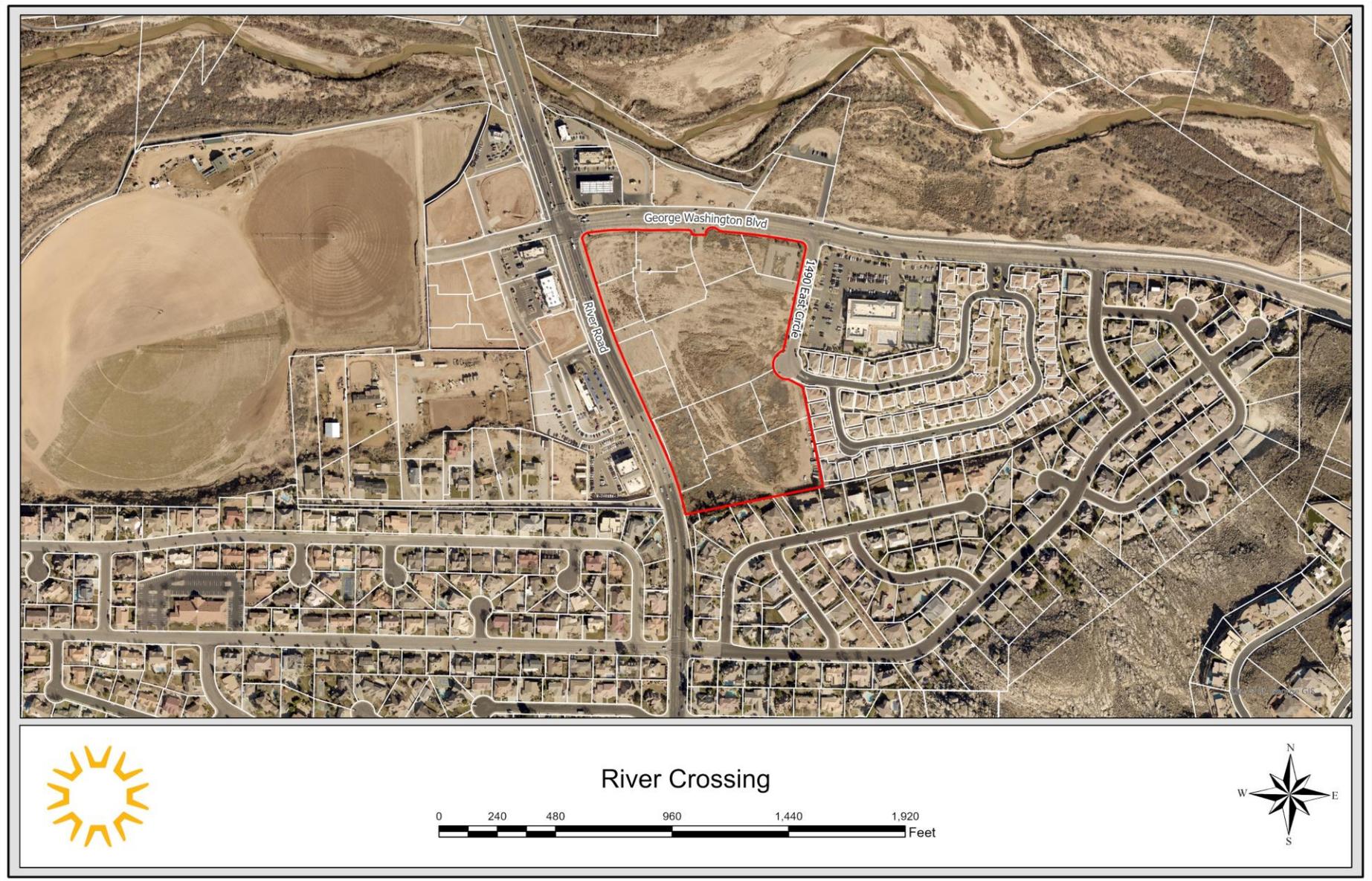
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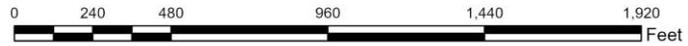
River Crossing PD Amendment

2023-PDA-022

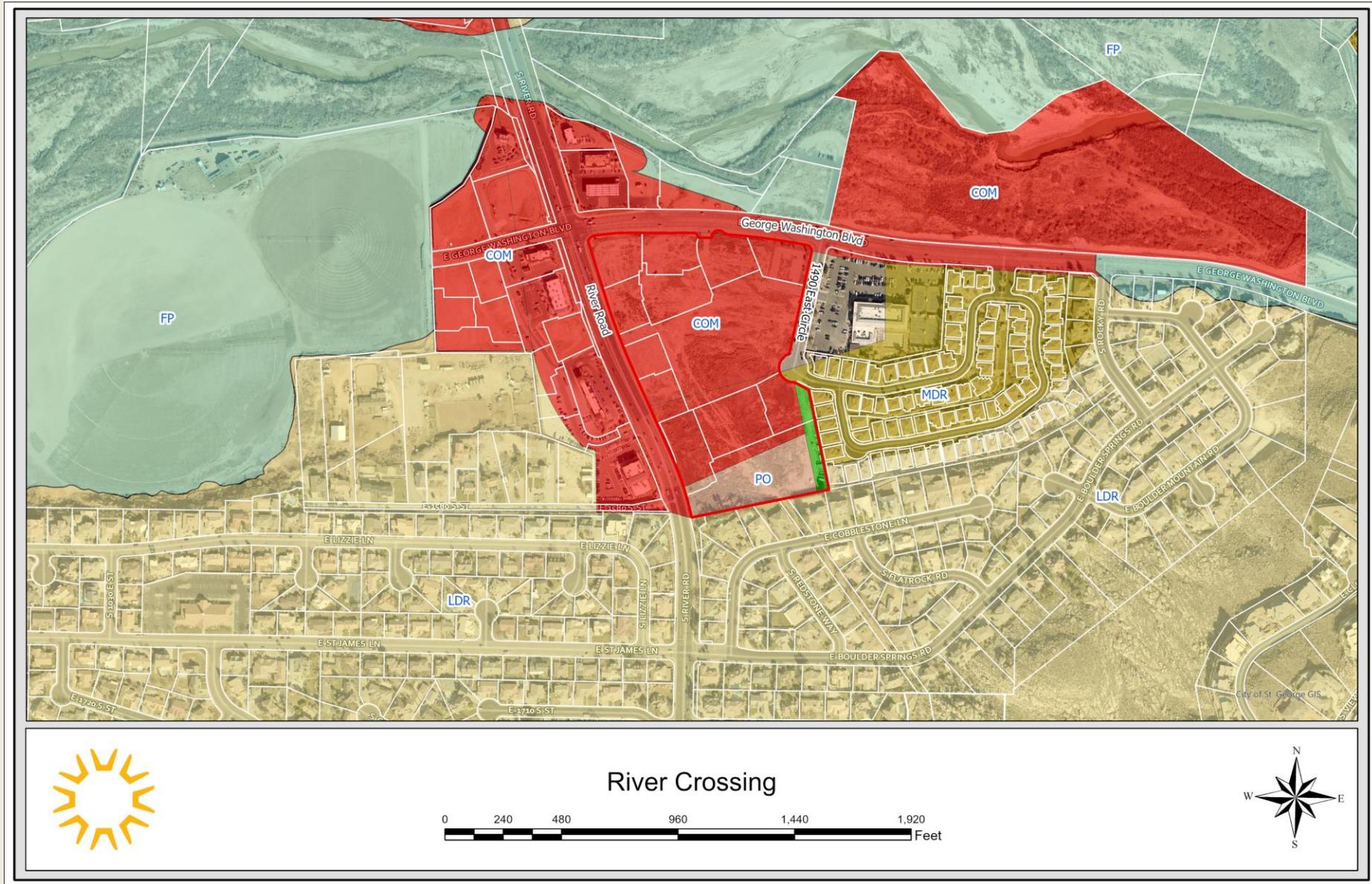
Aerial Map



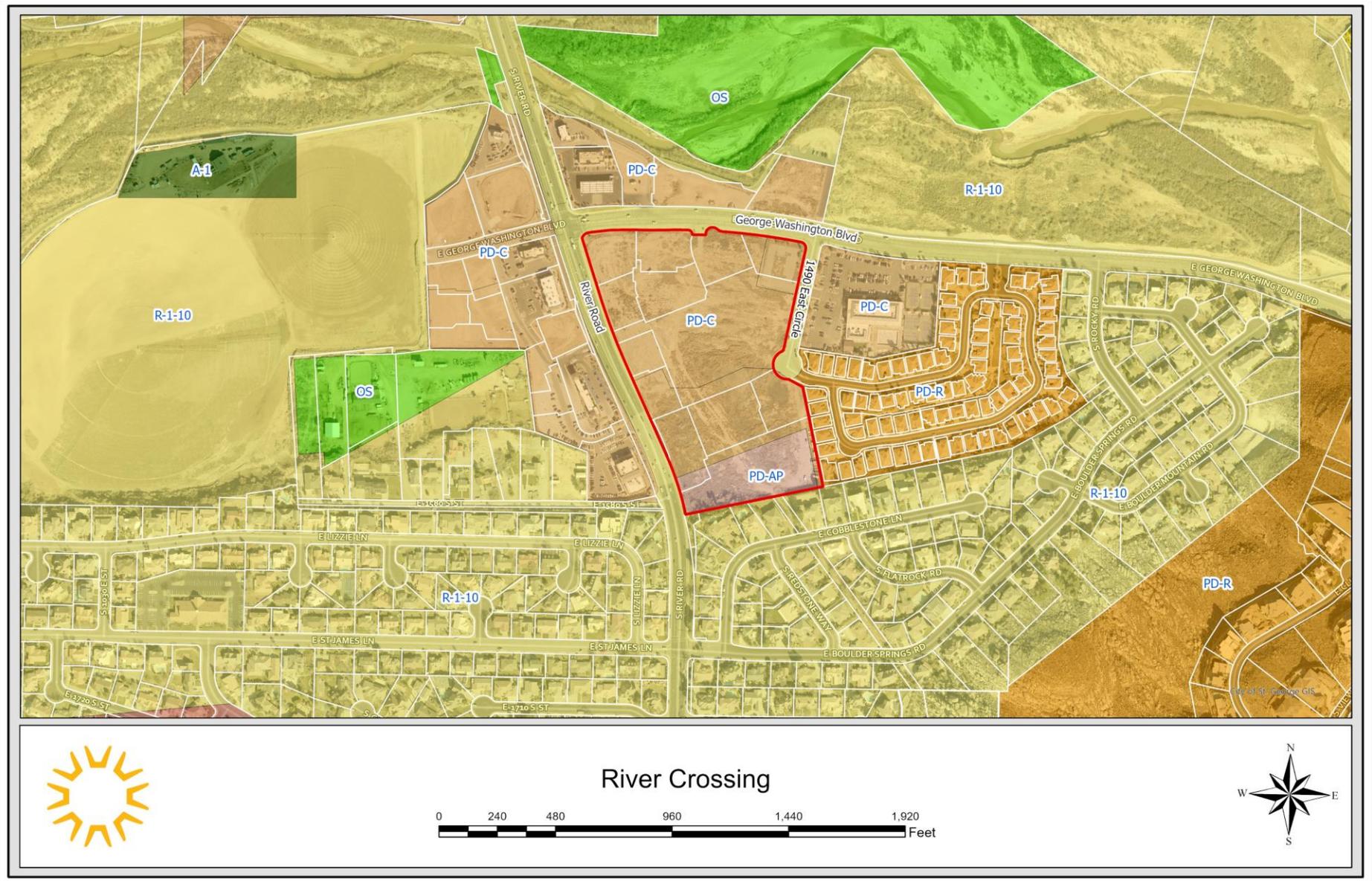
River Crossing



Land Use Map



Zoning Map



Site Plan



380 WEST ASPEN AVENUE
SALT LAKE CITY, UTAH 84101
801.532.4422

THIS IS A PRELIMINARY PLAN. ANY CHANGES TO THE PLAN SHALL BE MADE BY THE ARCHITECT AND SHALL BE SUBJECT TO THE APPROVAL OF THE CITY ENGINEER. THE ARCHITECT SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY ENGINEER.

THE DESIGNER HAS REVIEWED THE SITE PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS. THE DESIGNER HAS REVIEWED THE SITE PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS. THE DESIGNER HAS REVIEWED THE SITE PLAN AND FOUND IT TO BE IN ACCORDANCE WITH THE CITY ENGINEER'S REQUIREMENTS.

project:
RIVER CROSSING

SQUARE FOOTAGE AND PARKING

	PARKING BYLAW	PARKING PROVIDED
A - 4563 SF	19	33
B - 5205 SF	34	34
C - 4500 SF	32	36
D-EAST - 4010 SF	32	39
D-WEST - 5329 SF	36	36
E - 3938 SF	28	28
F - 7334 SF	37	37
G - 2654 SF	23	25
H - 3480 SF	24	27
I - 12580 SF	80	84
J - 29480 SF	118	122
K - 8400 SF	59	62
L - 12580 SF	48	95
M - 5100 SF	41	41
N - 38755 SF	155	155
TOTAL:	766	654

1 SITE PLAN - OVERALL

PROJECT#: 202202
DATE: October 17, 2023
revisions:

title:
RIVER CROSSING SITE

sheet:
A001
Preliminary DD
Submission

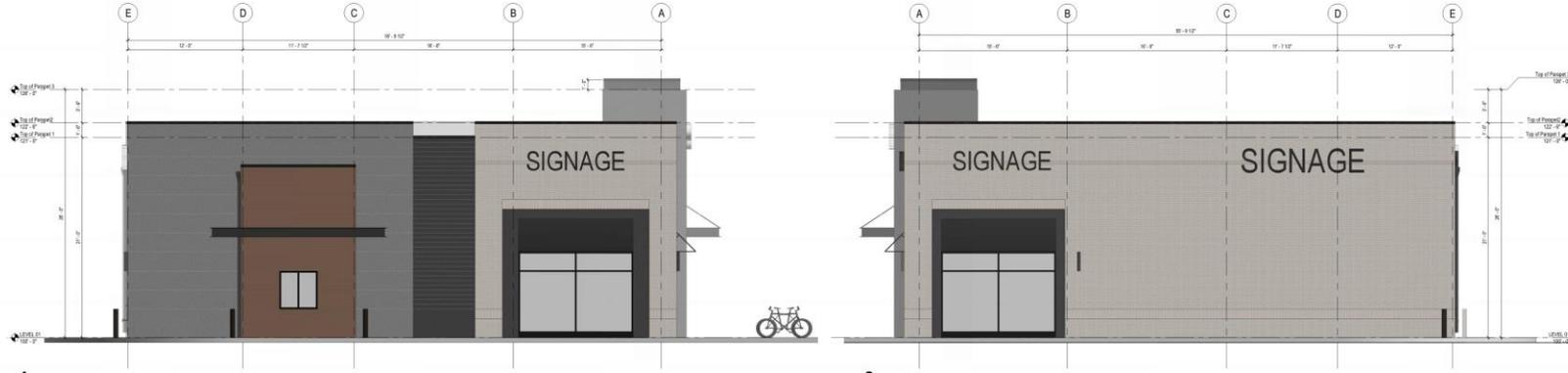
Parking Analysis



RIVER CROSSING - PARKING - STATISTICS November 1, 2023

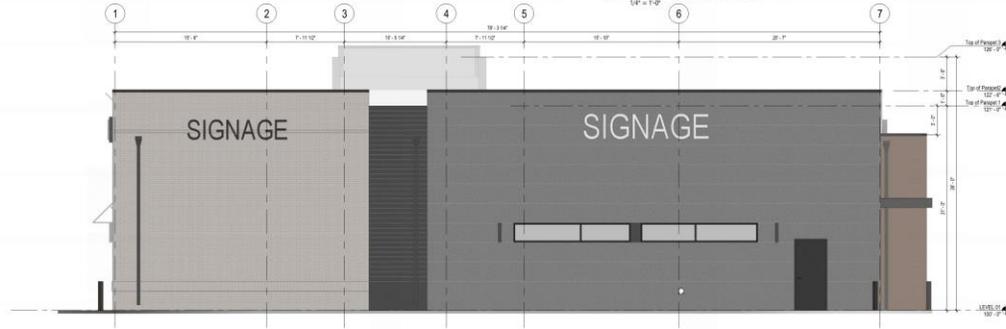
BUILDING				PARKING							EVCS	
NAME	UNIT	LEVEL	GROSS AREA	REQUIRED			BYLAW	OUT DINE	TOTAL	ACTUAL		PROVIDED
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	I-10	1	1,200	1/250 SF		4.8	0					
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	L-10	1	1,200	1/250 SF		4.8	0					
	TOTAL		12,000			48	0	48	87	8	95	1
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	M-3	1	1,200	1/250 SF		4.8	0					
	M-4	1	1,500	1/250 SF		6	0					
	M-5	2	5,100	1/250 SF		20.4	0					
	TOTAL		10,200			41	0	41	40	1	41	1
N	N-1	1	20,644	1/250 SF OFFICE		82.6	0					
	N-1	2	18,111	1/250 SF OFFICE		72.4	0					
	TOTAL		38,755			155	0	155	139	16	155	2
				111,277		740	26	766	774	72	846	17

Building C



4 East Building Elevation Presentation
1/4" = 1'-0"

3 West Building Elevation Presentation
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"



Approved Elevations

Building D (East)

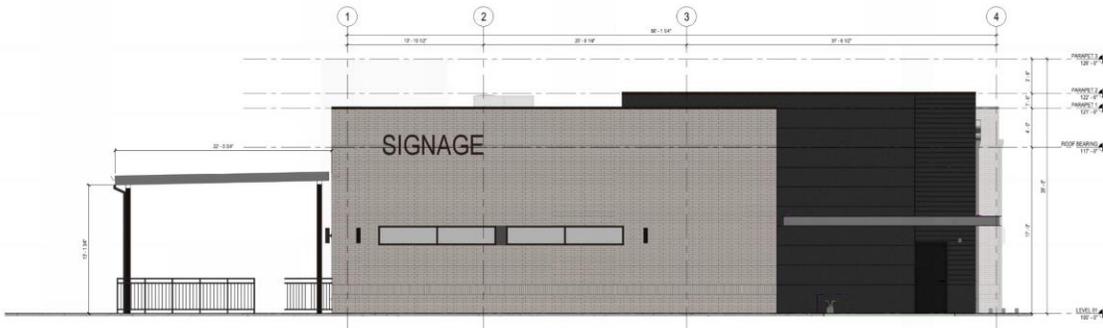


4 EAST ELEVATION
1/4" = 1'-0"

3 WEST ELEVATION
1/4" = 1'-0"



2 NORTH ELEVATION
1/4" = 1'-0"

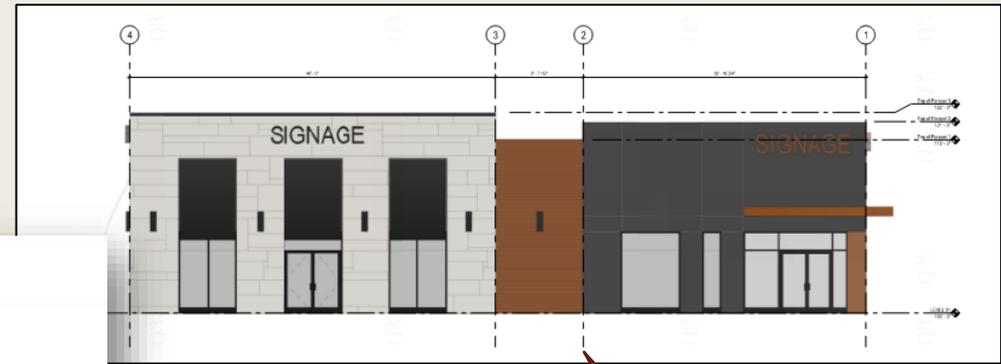


1 SOUTH ELEVATION
1/4" = 1'-0"



Approved Elevations

Building D (West)



Approved Elevations



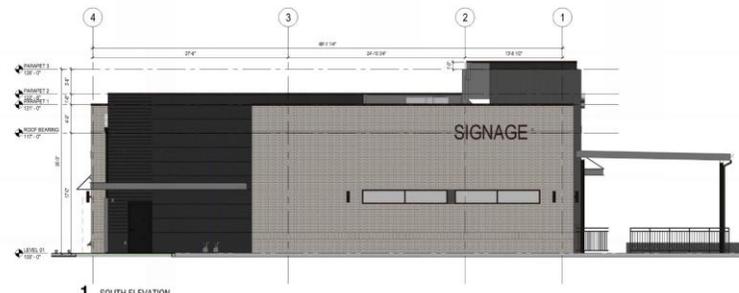
4 EAST ELEVATION
3/8" = 1'-0"



2 NORTH ELEVATION
3/8" = 1'-0"



3 WEST ELEVATION
3/8" = 1'-0"



1 SOUTH ELEVATION
3/8" = 1'-0"

Building E



Approved Elevations



4 NORTH ELEVATION
1/4" = 1'-0"



3 EAST ELEVATION
1/4" = 1'-0"

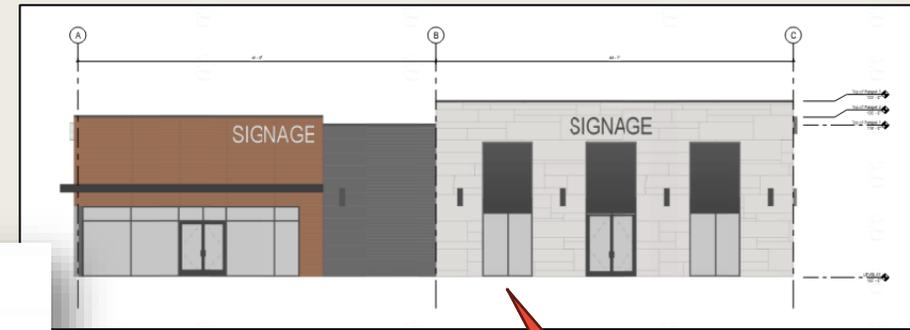


2 WEST ELEVATION
1/4" = 1'-0"

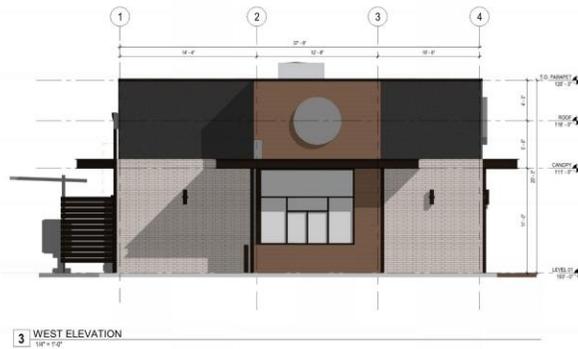


1 SOUTH ELEVATION
1/4" = 1'-0"

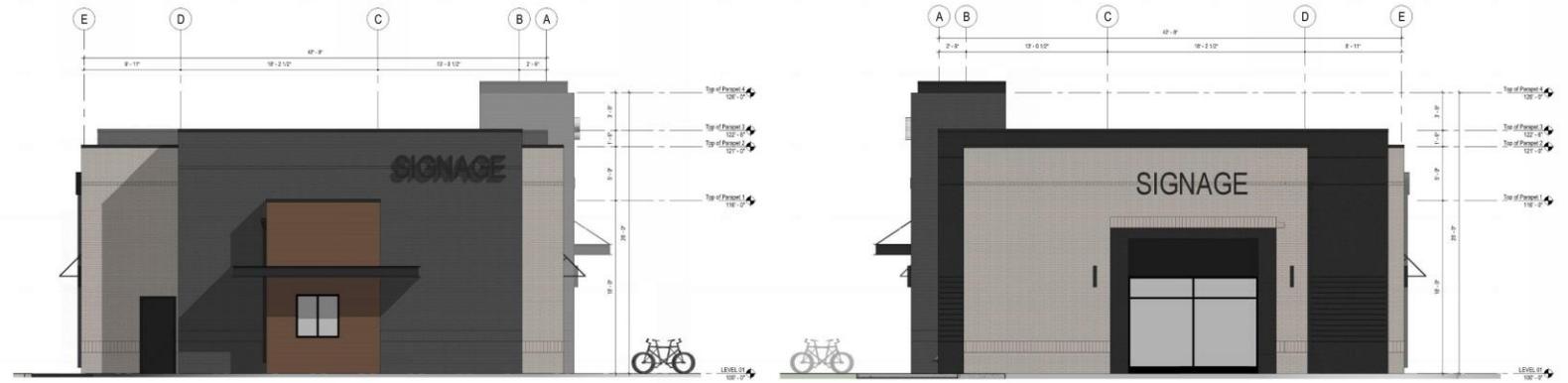
Building G



Approved Elevations



Building H



4 EAST ELEVATION
1/4" = 1'-0"

3 WEST ELEVATION
1/4" = 1'-0"



2 SOUTH ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION
1/4" = 1'-0"

Buildings I & L



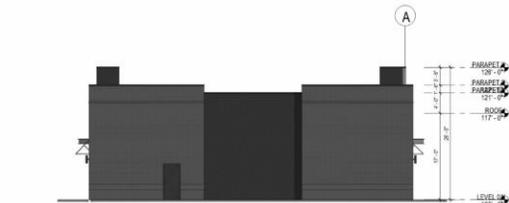
4 NORTH ELEVATION
1/8" = 1'-0"



3 SOUTH ELEVATION
1/8" = 1'-0"



2 WEST ELEVATION
1/8" = 1'-0"



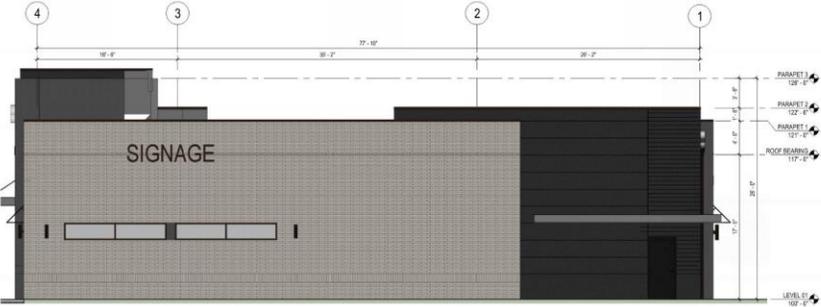
1 EAST ELEVATION
1/8" = 1'-0"

Building J



RIVER CROSSING - BLDG J

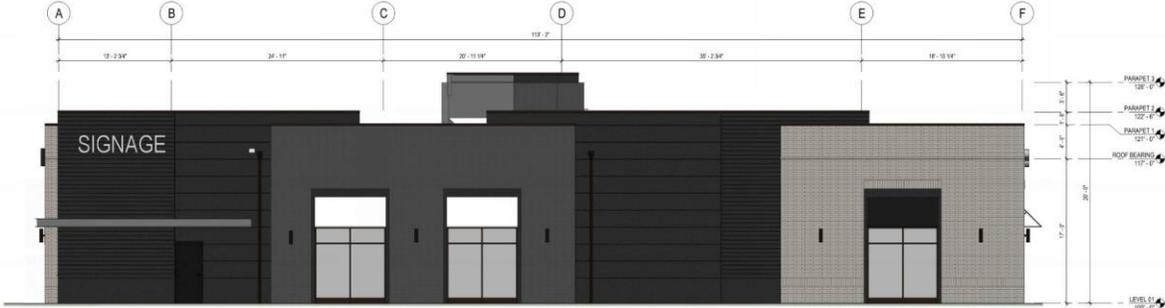
Building K



4 NORTH ELEVATION
3/16" = 1'-0"



3 SOUTH ELEVATION
3/16" = 1'-0"



2 WEST ELEVATION
3/16" = 1'-0"



1 EAST ELEVATION
3/16" = 1'-0"

Building M



Landscape Exhibit



PLANT SCHEDULE

TREES	BOTANICAL / COMMON NAME
	LASERSTROEMIA INDICA / RED / RED GRAPE MYRTLE MULTI-TRUNK
	OLEA EUROPAEA / WILSON / WILSON OLIVE
	PRUNUS ELDMARICA / AFGHAN PINE
	PISTACIA CHINENSIS / CHINESE PISTACHE
	PROSOPIA GLANDULOSA / HAVERICK / TM / HONEY MESQUITE
	PRUNUS CALLERYANA / ARISTOCRAT / ARISTOCRAT CALLERY PEAR
	QUERCUS VIRGINIANA / SOUTHERN LIVE OAK
	WASHINGTONIA FILIFERA / CALIFORNIA FAN PALM
	LANDSCAPE AREA

**LandWORKS
INCORPORATED**



803 S. RIVER ROAD SUITE 207
ST. GEORGE, UTAH 84770
PHONE: 435-637-8836
FAX: 435-637-0254

NO DRAWING OR INSTRUMENT OF SERVICE
HAS BEEN ISSUED UNLESS IN WRITING BY
LANDWORKS INCORPORATED. THE DRAWING
IS NOT TO BE USED FOR ANY OTHER PROJECT
WITHOUT THE WRITTEN PERMISSION OF
LANDWORKS INCORPORATED.

NUMBER: | REVISION DATE:



EXPIRES 5-31-2024

CONTRACT DATE: -
BUILDING TYPE: -
PLAN VERSION: -
SITE NUMBER: -
STORE NUMBER: -

PROJECT NAME:
RIVER CROSSING
1165 W. SILICON CIRCLE
ST. GEORGE, UTAH 84770

PAGE:
**BLDGS HIJKL
GENERAL
LANDSCAPE
AREAS**

L1.0

PLOT DATE: 10/20/23

Materials Board



SAMPLE BUILDING



ALUM. CAP FLASHING (DARK BRONZE)



ALUM. STOREFRONT (ANODIZED DARK BRONZE)



STEEL CANOPY PAINTED DARK BRONZE



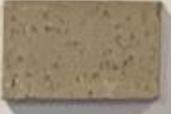
CANVAS AWNING WHITE (NOT PICTURED)



CANVAS AWNING BLACK



E.I.F.S. CHARCOAL GRAY



THIN BRICK INTERSTATE - PEWTER COLOR SIZE - NORMAN



THIN BRICK INTERSTATE - COLOR MIDNIGHT SIZE - NORMAN



CMU SUNROC - BLACK SMOOTH AND SPLIT FACED (NOT PICTURED)



CMU SUNROC - IVORY SMOOTH AND SPLIT FACED (NOT PICTURED)



NICHIHA FIBER CEMENT PANEL (SPRUCE)



RIVER CROSSING

RIVER CROSSING RETAIL DEVELOPMENT

1450 SOUTH RIVER ROAD, ST. GEORGE, UT 84770

methodstudio

architecture | interiors | planning

ORDINANCE NO. _____

AN ORDINANCE AMENDING AN APPROVED PD-C (PLANNED DEVELOPMENT COMMERCIAL) ON APPROXIMATELY 18 ACRES, GENERALLY LOCATED ON THE SOUTHEAST CORNER OF RIVER ROAD AND GEORGE WASHINGTON BLVD FOR THE PURPOSE OF AMENDING THE ELEVATIONS ON FIVE OF THE PREVIOUSLY APPROVED BUILDINGS AND APPROVING SIX OF THE BUILDING ELEVATIONS NOT PREVIOUSLY APPROVED AND APPROVING A LEGISLATIVE EXCEPTION FOR A REMOVAL OF A WALL ON THE SOUTH END OF THE SITE, FOR A PROJECT KNOWN AS RIVER CROSSING, WITH CONDITIONS FROM THE PLANNING COMMISSION.

(River Crossing)

WHEREAS, the property owner has requested to amend the PD-C (Planned Development Commercial) on approximately 18 acres, generally located on the south-east corner of River Road and George Washington Boulevard in order to amend the elevations on five of the previously approved buildings and approving six of the building elevations not previously approved and approving a legislative exception for a removal of a wall on the south end of the site; and

WHEREAS, the City Council held a public meeting on this request on December 7, 2023; and

WHEREAS, the Planning Commission held a public hearing on this request on November 14, 2023, and recommended approval with a 6-0 vote with the following conditions:

1. That building J provides more relief and visual interest to the rear and side elevations of the building.
2. That a legislative exemption is granted to allow the privacy wall on the south side of the property to not be constructed.
3. That each building is to be part of a site plan to be reviewed and approved by the city.

WHEREAS, the City Council has determined that the requested change to the Planned Development is justified at this time, and is in the best interest of the health, safety, and welfare of the citizens of the City of St. George.

NOW, THEREFORE, BE IT ORDAINED, by the St. George City Council, as follows:

Section 1. Repealer. Any provision of the St. George City Code found to be in conflict with this Ordinance is hereby repealed.

Section 2. Enactment. The approved planned development within the PD-C Zone for the property described in Exhibit "A", shall be amended upon the Effective Date of this Ordinance to reflect the approval of an additional building as shown in Exhibit "C". The planned development amendment and location is more specifically described on the attached property legal description, incorporated herein as Exhibit "A", and parcel exhibit, incorporated herein as Exhibit "B".

Section 3. Severability. If any provision of this Ordinance is declared to be invalid by a court of competent jurisdiction, the remainder shall not be affected thereby.

Section 4. Effective Date. This Ordinance shall take effect immediately on the date executed below, and upon posting in the manner required by law.

APPROVED AND ADOPTED by the St. George City Council, this 7th day of December 2023.

CITY OF ST. GEORGE:

ATTEST:

Michele Randall, Mayor

Christina Fernandez, City Recorder

APPROVED AS TO FORM:
City Attorney's Office

VOTING OF CITY COUNCIL:

Jami Brackin, Deputy City Attorney

Councilmember Hughes _____
Councilmember McArthur _____
Councilmember Larkin _____
Councilmember Larsen _____
Councilmember Tanner _____

Exhibit "A" – Legal Description

Phase One

Beginning at a point on the westerly line of 1490 East Circle, said point being South 00°32'03" West 4,313.40 feet along and beyond the section line and West 704.89 feet from the Northwest Comer of Section 33, Township 42 South, Range 15 West, Salt Lake Base & Meridian, and running;

thence South 12°23'15" West 419.16 feet along the easterly line of 1490 East Circle to the northwesterly comer of Boulder Springs Villas Phase 3; thence southerly the following (5) descriptions along the westerly line of said Boulder Springs Villas Phase 3; thence Southwest 17.91 feet along an arc of a 20.00 foot radius curve to the right (center bears North 77°36'45" West, long chord bears South 38°02'47" West 17.32 feet with a central angle of 51°19'04"); thence Southwest 84.59 feet along an arc of a 60.00 foot radius curve to the left (center bears South 26°17'41" East, long chord bears South 23°18'51" West 77.76 feet with a central angle of 80°46'55"); thence South 61°48'16" West 109.14 feet; thence South 68°30'57" West 440.21 feet to the easterly line of River Road; thence northerly the following (3) descriptions along said easterly line of River Road; thence North 23°57'21" West 245.76 feet; thence North 332.44 feet along an arc of a 2,814.93 foot radius curve to the right (center bears North 66°02'39" East, long chord bears North 20°34'21" West 332.25 feet with a central angle of 06°46'00"); thence North 17°11'21" West 228.75 feet to the southerly line of 1450 South Street; thence easterly the following (13) courses along said southerly line of 1450 South street and the westerly line of 1490 East Circle; thence Northeast 38.32 feet along an arc of a 34.07 foot radius curve to the right (center bears South 70°02'01" East, long chord bears North 52°11'20" East 36.33 feet with a central angle of 64°26'42"); thence North 82°51'26" East 16.67 feet; thence East 68.96 feet along an arc of a 2,709.00 foot radius curve to the right (center bears South 07°09'02" East, long chord bears North 83°34'43" East 68.96 feet with a central angle of 01°27'31"); thence East 179.27 feet along an arc of a 2,709.18 foot radius curve to the right (center bears South 01°51'19" East, long chord bears South 89°57'34" East 179.23 feet with a central angle of 03°47'29"); thence East 143.08 feet along an arc of a 2,697.00 foot radius curve to the right (center bears South 01°54'02" East, long chord bears North 89°37'09" East 143.07 feet with a central angle of 03°02'23"); thence Southeast 29.86 feet along an arc of a 19.00 foot radius curve to the right (center bears South 01°08'21" West, long chord bears South 43°50'26" East 26.88 feet with a central angle of 90°02'26"); thence South 88°49'13" East 55.00 feet; thence North 01°10'44" East 4.61 feet; thence Northeast 62.00 feet along an arc of a 27.50 foot radius curve to the right (center bears South 88°49'16" East, long chord bears North 65°45'51" East 49.68 feet with a central angle of 129°10'13"); thence East 30.55 feet along an arc of a 48.50 foot radius curve to the left (center bears North 40°20'58" East, long chord bears South 67°41'40" East 30.05 feet with a central angle of 36°05'16"); thence East 321.94 feet along an arc of a 2,697.00 foot radius curve to the right (center bears South 04°15'41" West, long chord bears South 82°19'08" East 321.75 feet with a central angle of 06°50'22"); thence Southeast 39.83 feet along an arc of a 25.00 foot radius curve to the right (center bears South 11°06'03" West, long chord bears South 33°15'21" East 35.75 feet with a central angle of 91°17'11") to the Point of Beginning.

Containing 508,356 square feet or 11.67 acres.

Phase Two

Beginning at a westerly corner of Boulder Springs Villas Phase 3 as found on file as Entry No. 20140001443 with the Washington County Recorder's Office, said point being South 00°32'03" West 4,850.17 feet along and beyond the section line and West 770.60 feet from the Northwest

Comer of Section 33, Township 42 South, Range 15 West, Salt Lake Base & Meridian, and running;

thence southeasterly the following (2) courses along the westerly line of said Boulder Springs Villas Phase 3; thence South $61^{\circ}28'00''$ East 66.33 feet; thence South $11^{\circ}28'48''$ East 420.38 feet to the northerly line of The Boulders Phase 1 as found on file as Entry 446597 with the Washington County Recorder's Office; thence South $78^{\circ}31'12''$ West 577.28 feet along said northerly line of The Boulders Phase 1 to the easterly line of River Road; thence northwesterly the following (2) courses along said easterly line of River Road thence northerly 255.49 feet along an arc of a 1,196.28 foot radius curve to the left (center bears South $78^{\circ}16'50''$ West, long chord bears North $17^{\circ}50'16''$ West 255.00 feet with a central angle of $12^{\circ}14'12''$); thence North $23^{\circ}57'21''$ West 159.00 feet to the southerly line of River Crossing Phase 1 Amended and Extended; thence northeasterly the following (2) courses along said southerly line of River Crossing Phase 1 Amended and Extended; thence North $68^{\circ}30'57''$ East 440.21 feet; thence North $61^{\circ}48'16''$ East 109.14 feet to the westerly line of said Boulder Springs Villas Phase 3; thence Southeasterly 79.66 feet along an arc of a 60.00 foot radius curve to the left (center bears North $72^{\circ}55'23''$ East, long chord bears South $55^{\circ}06'49''$ East 73.94 feet with a central angle of $76^{\circ}04'25''$) along said westerly line of Boulder Springs Villas Phase 3 to the Point of Beginning.

Containing 276,775 square feet or 6.35 acres.

Exhibit "B" – Parcel Exhibit

Location Of River Crossing Planned Development Amendment



Exhibit "C" – Site Plan





Agenda Date: 12/07/2023

Agenda Item Number: 08

Subject:

Consider approval of a Hillside Development Permit to make modifications to the ridgeline along the southeast slope of the Tech Ridge Development. Case No. 2023-HS-002

Item at-a-glance:

Staff Contact: Carol Winner

Applicant Name: Isaac Barlow

Reference Number: 2023-HS-002

Address/Location:

250 West Street at approximately 1170 South

Item History (background/project status/public process):

This is a request to obtain a hillside development permit to perform work along the hillside located on the southeast portion of the Tech Ridge development, adjacent to the proposed southeast access road that leads from 250 West Street to the Tech Ridge development. On January 1, 2023 and November 1, 2023, the Hillside Review Board held a public meeting for this request. At their meeting held on November 14, 2023, the Planning Commission held a public meeting and recommended approval.

Staff Narrative (need/purpose):

There is an existing ridgeline along the southeast portion of the Tech Ridge development that is prominent at certain locations but then fades out in other locations. This proposal is to add material to the areas where the ridgeline is not defined and to blend the new material into the existing prominent ridgeline.

Name of Legal Dept approver: Jami Brackin

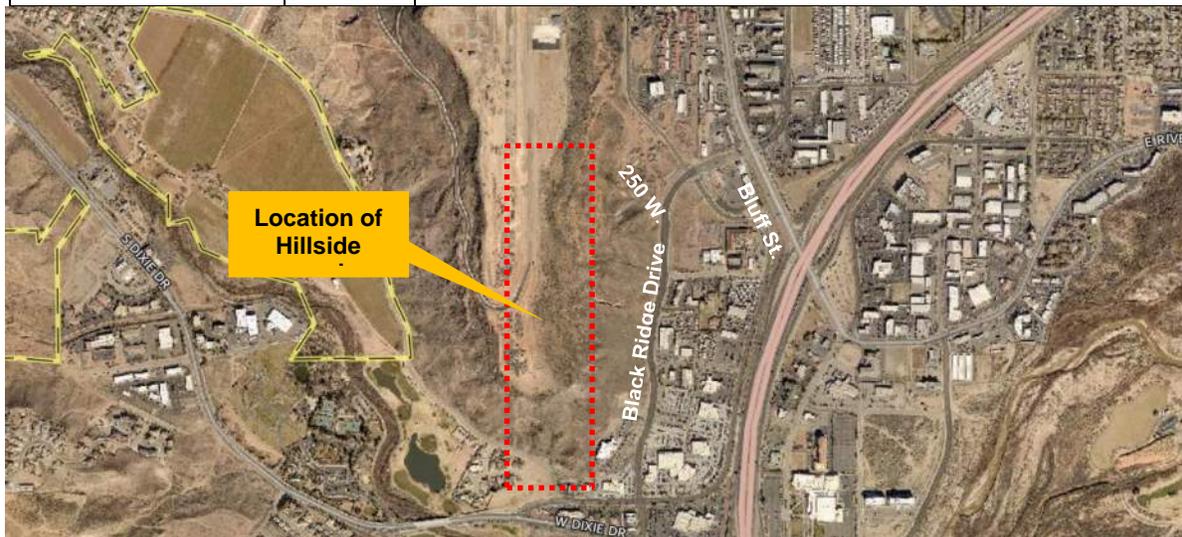
Budget Impact: No Impact

Recommendation (Include any conditions):

With a 6-0 vote, the Planning Commission recommended approval of the Tech Ridge Southeast Slope Hillside Development Permit with the following condition: 1. That the execution of the stacked rockery walls double tiers meet the level of aesthetic appeal that is displayed on the west side (of Tech Ridge) as constructed.

HILLSIDE REVIEW BOARD AGENDA REPORT: 01/25/2023
 HILLSIDE REVIEW BOARD AGENDA REPORT: 11/01/2023
 PLANNING COMMISSION AGENDA REPORT: 11/14/2023
 CITY COUNCIL AGENDA REPORT: **12/07/2023**

Tech Ridge Southeast Slope Hillside Development Permit (Case No. 2023-HS-002)	
Request:	Consider a Hillside Development Permit to make modifications to the ridgeline along the southeast slope of the Tech Ridge Development.
Applicant:	Isaac Barlow
Representative:	Mike Bradshaw
Location:	250 West Street at approximately 1170 South
General Plan:	COM (Commercial), OS (Open Space), and LDR (Low Density Residential)
Existing Zoning:	R-1-10 (Single Family Residential 10,000sf), PD-MU (Planned Development Mixed Use), and OS (Open Space)
Surrounding Zoning:	North PD-MU and R-1-10
	South PD-MU and R-1-10
	East R-1-10
	West OS, PD-MU



BACKGROUND

This is a request to obtain a hillside development permit to perform work along the hillside located on the southeast portion of the Tech Ridge development, adjacent to the proposed southeast access road that leads from 250 West Street to the Tech Ridge development. There is an existing ridgeline along the southeast portion of the Tech Ridge development that is prominent at certain locations but then fades out in other locations. This proposal is to add material to the areas where the ridgeline is not defined and to blend the new material into the existing prominent ridgeline. This proposal will add in fill and retaining walls to specific locations. Refer to Exhibit C for the location of these areas and the plans to alter the current lay of the land.

When the new ridgeline is complete, the applicants will be putting the perimeter rim trail along the side of the new stacked walls. In addition to this, the applicant is proposing to put in a pedestrian bridge over the top of the proposed access road.

EXHIBITS PROVIDED

1. Exhibit A – Maps
“Exhibit A” in the packet shows the general plan land use map and the zoning map.
2. Exhibit B – Applicable Ordinances
“Exhibit B” in the packet lists the applicable zoning regulation that apply to this case found in Title 10, Chapter 13A.
3. Exhibit C – Tech Ridge Southeast Hillside Protection Plan
“Exhibit C” in the packet shows the development plan along with grading and slope analysis.
4. Exhibit D – Geotechnical Report
“Exhibit D” in the packet shows the Geotech report for this proposal.

RECOMMENDATION

With a 6-0 vote, the Planning Commission recommended approval of the Tech Ridge Southeast Slope Hillside Development Permit with the following condition:

1. That the execution of the stacked rockery walls double tiers meet the level of aesthetic appeal that is displayed on the west side (of Tech Ridge) as constructed.

ALTERNATIVES:

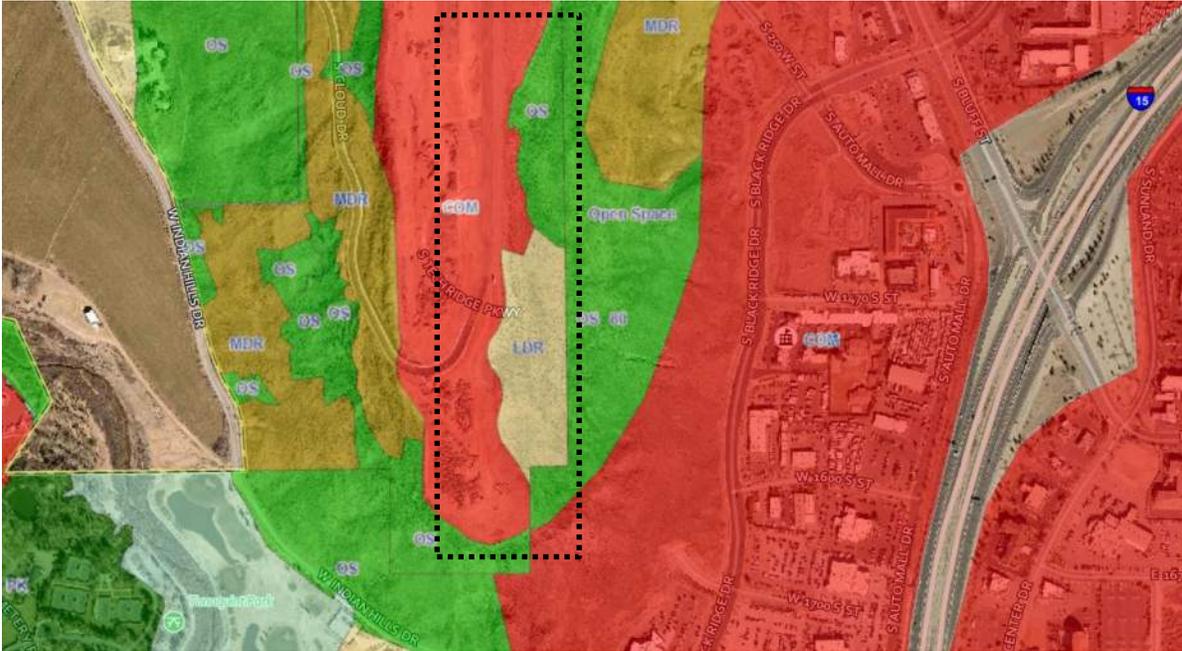
1. Approve as presented.
2. Approve with conditions.
3. Deny this request.
4. Table or Continue the proposed preliminary plat to a specific date.

POSSIBLE MOTION:

I move we approve the Tech Ridge Southeast Slope Hillside Development Permit with the condition from the Planning Commission.

Exhibit A MAPS

General Plan - COM



Zoning - R-1-10

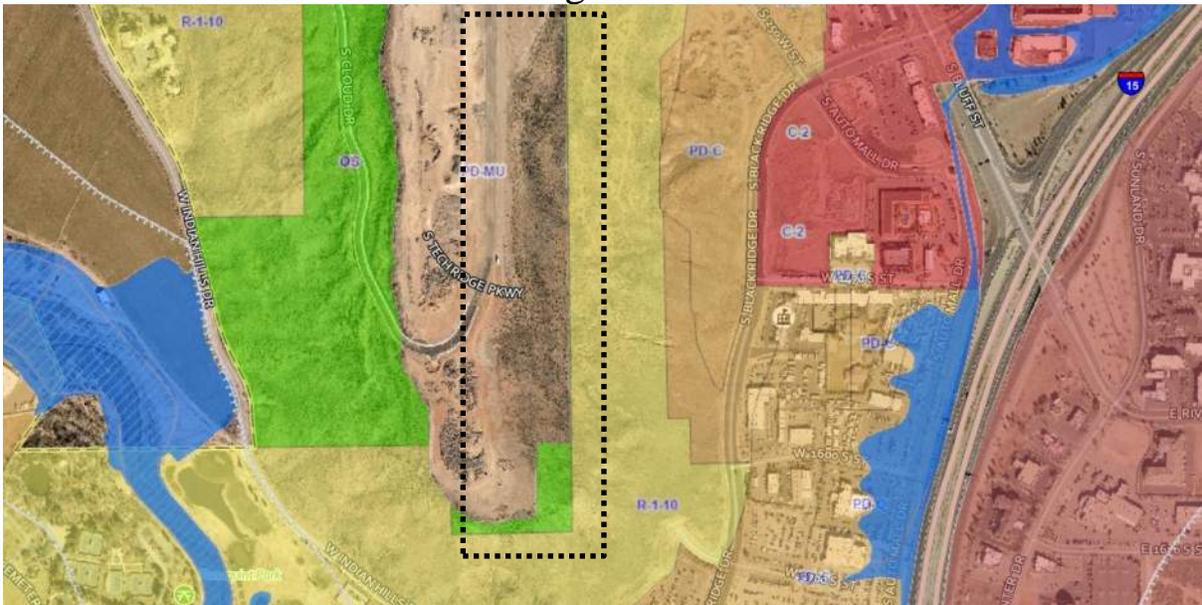


Exhibit B APPLICABLE ORDINANCES

I. Density and Disturbance Standards

A. The hillside development overlay zone (HDOZ) limits development densities and provides specific development incentives to transfer underlying zone densities from hillsides (sending areas), to less steep slopes or more safe development areas (receiving areas), within a development.

B. For those portions of a proposed development with natural slopes twenty percent (20%) or less, development density follows the density and development standards in the underlying zone.

C. For those portions of a proposed development with natural slopes from twenty-one percent (21%) to thirty percent (30%), development activity shall not disturb more than thirty percent (30%) of the parcel within this slope category.

D. For those portions of a proposed development with natural slopes from thirty-one percent (31%) to forty percent (40%), development activity shall not disturb more than five percent (5%) of the area within this slope category.

E. A proposed development may not disturb slopes in excess of forty percent (40%).

F. The applicant may:

1. Transfer all development density from steeper slope categories (sending areas), to areas within the development with natural slopes of twenty percent (20%) or less (receiving areas); and

2. Develop additional bonus density, calculated from each slope category, as follows:

a. Natural slopes twenty percent (20%) or less transferred on a one-to-one (1:1) unit basis; plus

b. One (1) additional density unit for each density unit transferred from natural slopes of twenty-one percent (21%) to thirty percent (30%); plus

c. Two (2) additional density units for each density unit transferred from natural slopes of thirty-one percent (31%) to forty percent (40%).

3. Unit calculation for the receiving area shall be based on the requirements of the sending area zone.

G. Density transfers to the receiving area may occur without a zone change within the receiving area even though the resulting density or configuration may exceed the density limits of the receiving area zone. Other than density, the receiving area's zoning requirements apply to development in the receiving area. For instance, lot sizes may vary, but single-family zoning districts only allow single-family detached dwellings.

H. If the applicant proposes to develop within the twenty-one percent (21%) to forty percent (40%) slope area, the applicant cannot employ partial density transfers from the sending area and must propose a design, site development plans, and a grading plan that blends and harmonizes all aspects of the proposed development into the natural topography, and that minimizes road cuts and fills.

I. Non-disturb areas within a residential lot as shown on the slope analysis map shall not be used to calculate minimum lot size.

J. Disturbance standards do not apply to the city for limited city facilities: trails, parks, and utilities. (Ord. 2019-10-002, 10-10-2019)

II. Slope and Slope Areas Determined

A. Slope shall be determined for each significant portion of a development parcel.

B. Procedure: The applicant shall map the location of the natural slope by using the following procedure:

1. Preparation of Contour Maps: The applicant shall submit an accurate, current contour map, prepared and certified by a licensed professional engineer or surveyor, which shows all land contours at intervals no greater than five feet (5'), drawn at a one inch equals one hundred feet (1" = 100') scale maximum.

2. Verification through Field Surveys: The city engineer or designee may require the applicant to submit a field survey to verify the accuracy of the contour map.

C. Determination of Slope Areas: Using the contour map, natural slopes shall be calculated using points identified as natural slopes of twenty percent (20%), thirty percent (30%), and forty percent (40%), and shall be located on the contour map and connected by a continuous line. That area bounded by said lines and intersecting property lines shall be used for determining project density. Small washes or outcrops, which have slopes distinctly different from surrounding property, and are not part of the contiguous topography, may be excluded from the slope determination. (Ord. 2019-10-002, 10-10-2019)

III. Street Design

The following standards apply to public and private streets within the zone:

A. Street Grades: The maximum allowed street grade is fifteen percent (15%).

B. Intersections: Roads shall intersect at ninety-degree (90°) angles.

C. Intersection Spacing: Intersections should be spaced far enough apart so that the traffic stopped to make left turns at one intersection does not interfere with traffic movements at the adjacent intersections.

1. On low-volume streets such as access roads to minor collectors or minor collectors to minor collectors, the minimum spacing distance is one hundred twenty-five feet (125');

2. For minor collectors to major collectors, the minimum spacing distance is two hundred fifty feet (250').

D. *Design Speed: The design of geometric features such as horizontal and vertical alignment will depend on the design speed selected for each street. The design speed is primarily determined by the street function and classification and is the maximum speed for safe and comfortable operation of a vehicle. Other than a major collector, all streets in hillside areas are classified as low speed streets (thirty-five (35) miles per hour or less).*

Street Design Classification	Design Speed	Posted Speed
Minor collector	30	30
Local road	25 – 30	25
Hillside local	25	25
Hillside access	25	25

E. *Clear Sight Distance at Intersections: Adequate, clear sight distance is required at intersections, as follows:*

Posted Speed of Higher Order Road	Minimum Y	Desired Y
20	210	240
25	260	300
30	310	380
35	365	475

F. *Vertical Curves and Intersection Relationship: The vertical alignment of residential streets shall comply with latest editions of AASHTO geometric design of highways and streets. See table below for listing of pertinent design criteria:*

Design Speed	Crest “K” Value	Sag “K” Value
Minimum Length of Vertical Curves		
20	10	20
25	20	30
30	30	40
35	40	50

$L = KA$ (for minimum sight distance on a vertical curve).

L = Length of vertical curve for proper sight distance.

A = Algebraic difference in grade.

Vertical alignment with the intersection is also of special nature, and design alternatives may be required. As a guideline, the approach area where vehicles stop while waiting to enter an intersection shall not exceed four (4%) to five percent (5%) from the gutter line of the street being intersected for a distance of fifty feet (50'), though a range of fifty feet (50') to one hundred feet (100') is more desirable. This applies to all intersections, except those intersections where both intersecting streets are minor collectors. The landing area for a minor collector shall be designed for a grade of two percent (2%) to three percent (3%) for a distance of one hundred feet (100').

G. *Safe Stopping Sight Distance: The minimum sight distance to be provided before a stop is required is included in the table below:*

Design Speed	Computed	Recommended Distance	Add-On for 15% <u>Grade</u>
20	106.7	125	20
25	146.5	150	36
30	195.7	200	64
35	248.4	250	95

H. *Horizontal Curves: The minimum centerline radius for horizontal curves on low-speed residential streets is:*

Street Classification or Speed	Curve Radius in Feet
Minimum Centerline Radius	
<u>Private streets</u>	50 – 100
20 mph	100 – 150
25 mph	185
30 mph	310

I. *Street Cross-Section Standards: The requirements for street cross-section configurations are based on the following factors:*

1. Traffic capacity;

2. *Design speed;*
3. *Projected traffic;*
4. *Designs to reduce scarring.*

J. *Alternate road cross sections, such as grade separated streets, may be used if applicable safety and traffic standards are met.*

K. *Elimination of sidewalk on one side of the road may be approved when elimination of one (1) sidewalk can appreciably reduce the amount of hillside disturbance. Other considerations may also warrant its elimination. When one (1) sidewalk is eliminated, the remaining sidewalk shall be increased by one foot (1') in width.*

L. *The following table sets forth the requirements for street standards for single-family residential development.*

Maximum Grade	Street Classification	Width ROW	Width TBC	Pavement Width	Width Sidewalk	ADT
Street Cross-Section Standards for Single-Family Residential						
12%	Minor collector	60'	50'	45'	5'	1,500 – 3,500
15%	Local road	50'	40'	35'	4'	750 – 1,500
15%	Hillside local	45'	35'	30'	4'	150 – 750
15%	Hillside access	41'	31'	26'	4'	0 – 150

(Ord. 2019-10-002, 10-10-2019)

IV. Additional Design Standards

1. Retaining walls shall be colored to blend into the surrounding natural geology.
2. Retaining wall height is limited to the heights set forth in chapter 18 of this title and the standards for rock wall construction.
3. Building exterior colors shall be earth tone and blend with the surrounding natural landscape.
4. In residential zones, “no disturbance” areas shall be held as the “common area” of a project. Common areas shall be owned and maintained by the homeowners’ association or may be deeded to the city when accepted by the city.

5. *In nonresidential zones, any “no disturbance” area shall be identified on the final site plan or final plat.*
6. *Any required no disturbance area shall be identified on the ground with temporary fencing or other approved means to prevent accidental disturbance of the area during construction and such fencing shall be installed prior to issuance of a grading permit.*
7. *The building site shall be located on the flattest portion of the parcel.*
8. *No structure shall extend over any natural ridgeline. The structure shall be in contact with the ground at all edges. (Ord. 2019-10-002, 10-10-2019)*

Exhibit C
TECH RIDGE SOUTHEAST HILLSIDE PROTECTION PLAN

Refer to Item 4

Exhibit D
GEOTECHNICAL REPORT

Refer to Item 4

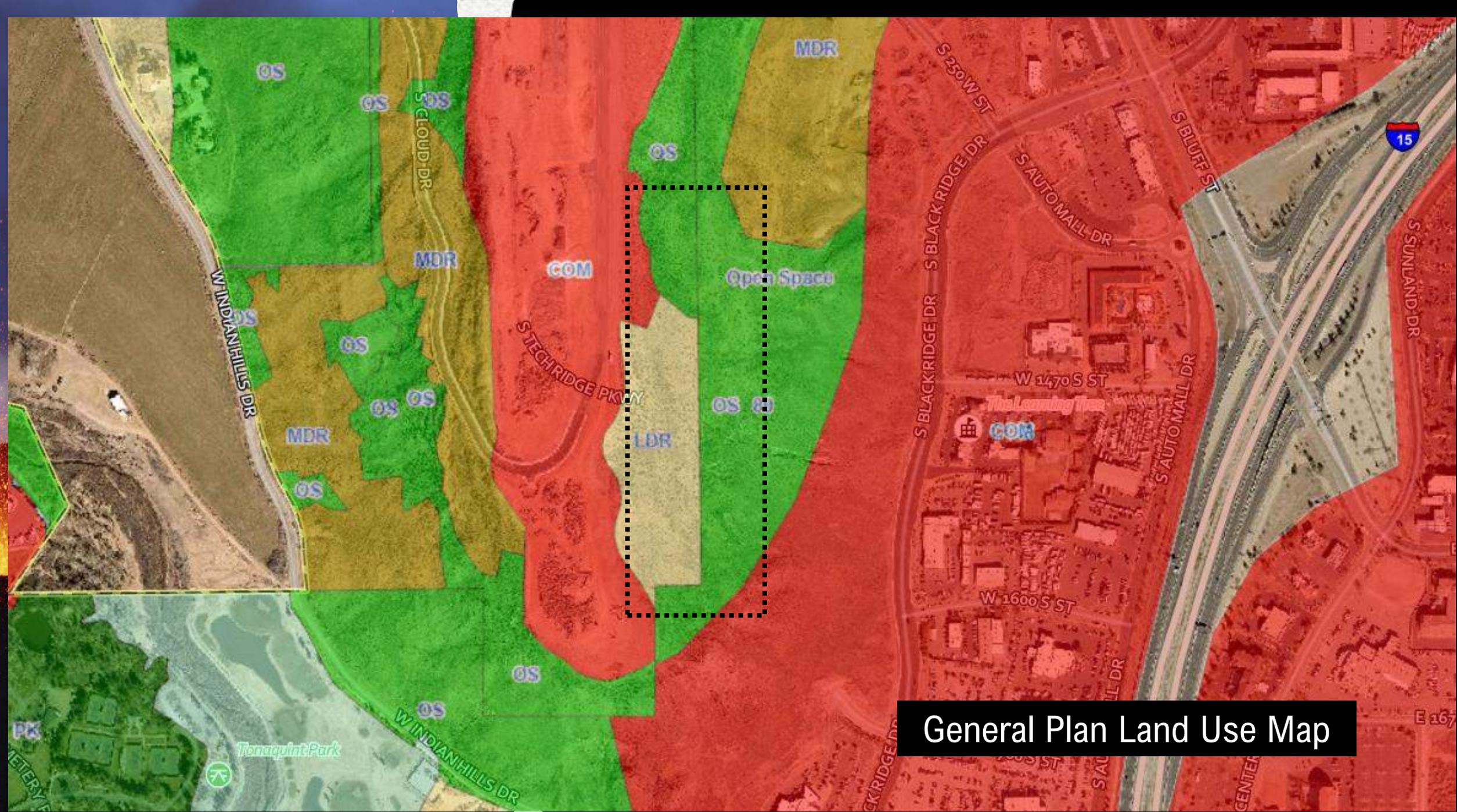


Tech Ridge Southeast Slope

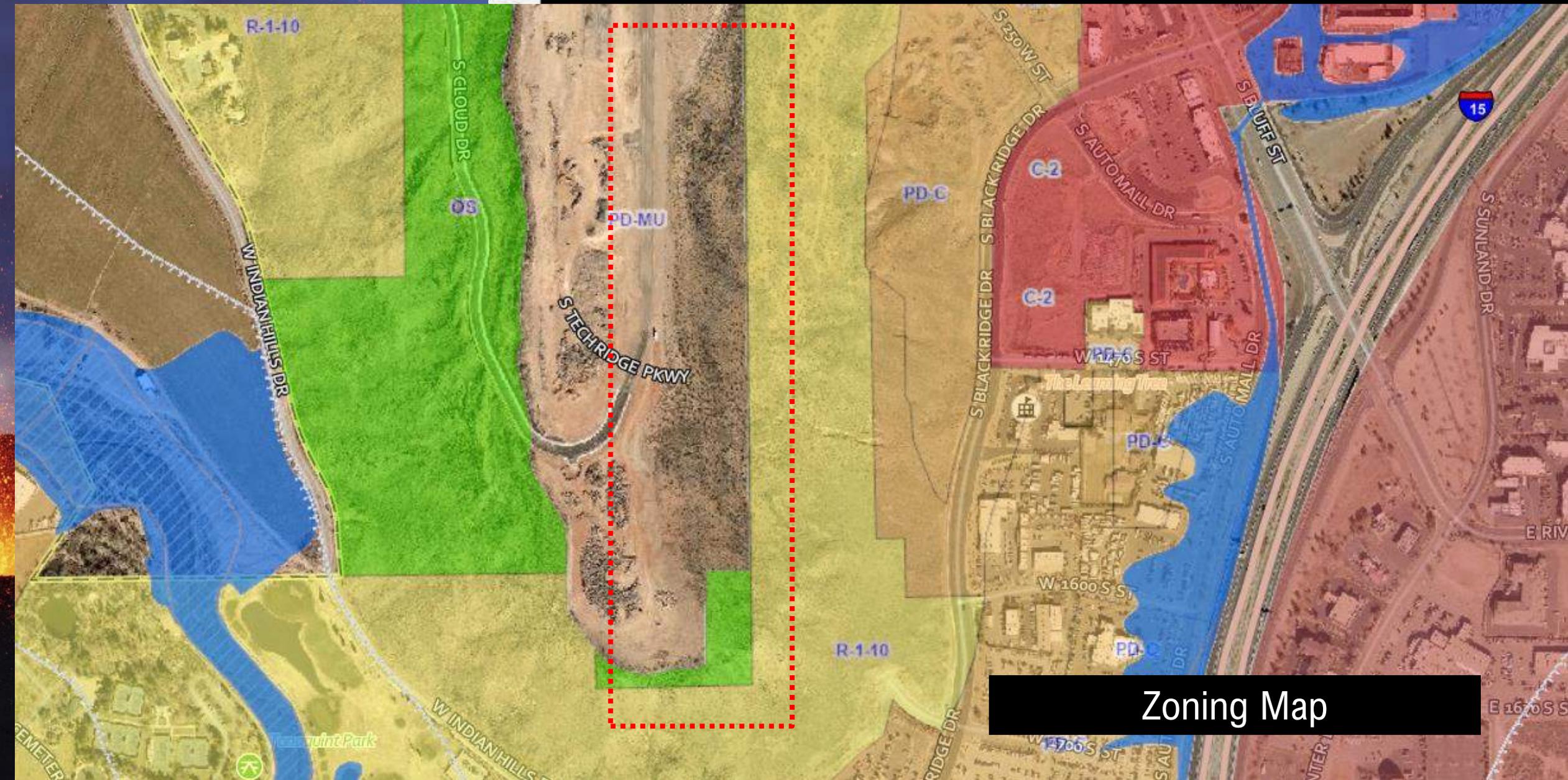
Hillside Development Permit

2023-HS-002





General Plan Land Use Map

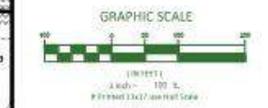
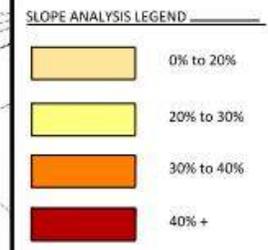


Zoning Map

Date: 12-30-2022

REVISIONS			
No.	Date	By	Description
		ARL	

File Name: Southeast Ridge Walls.dwg




ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

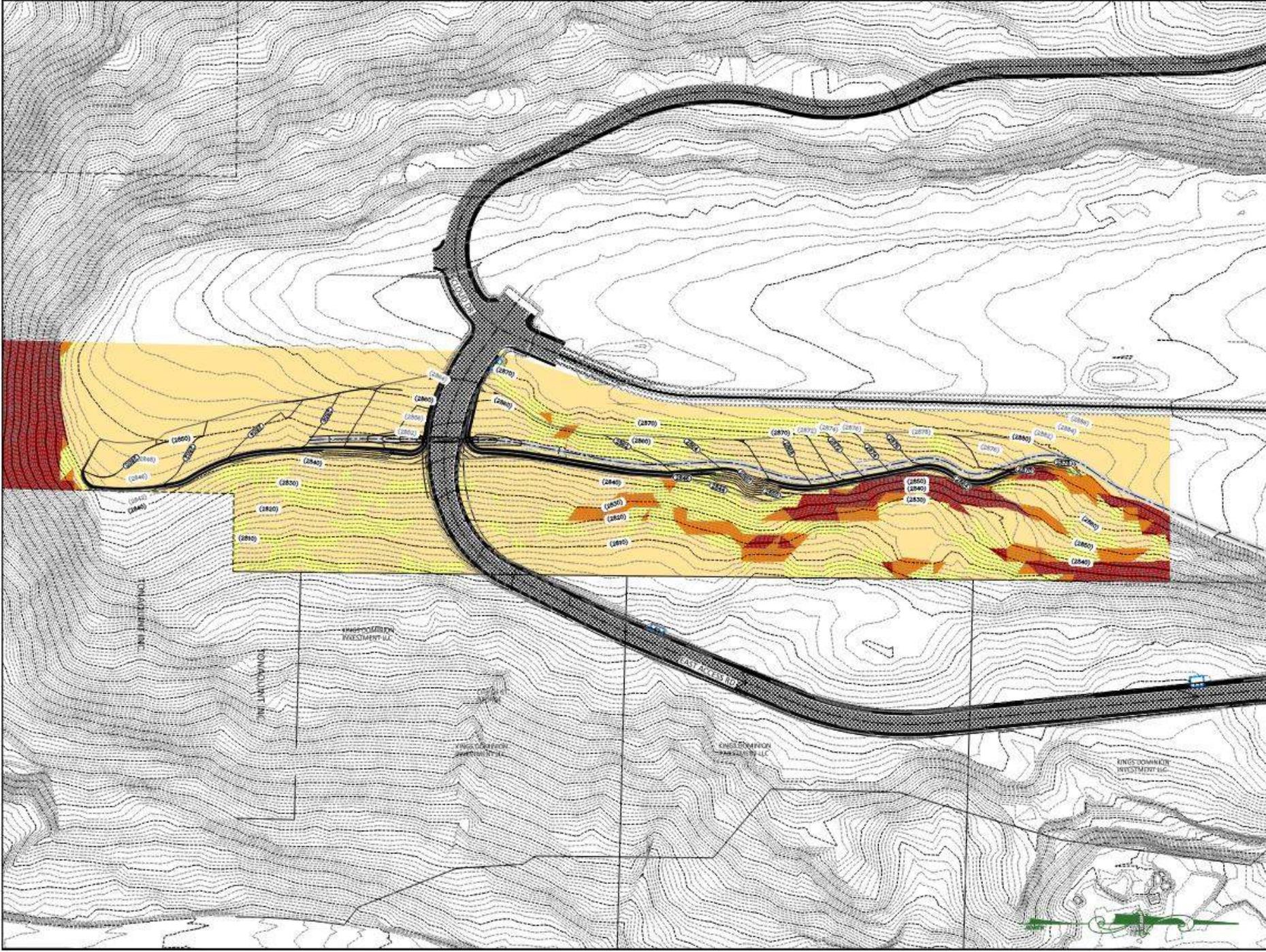
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NORTH DAKOTA: 627 35th STREET W, WILLISTON, ND 58801, 701-572-8100

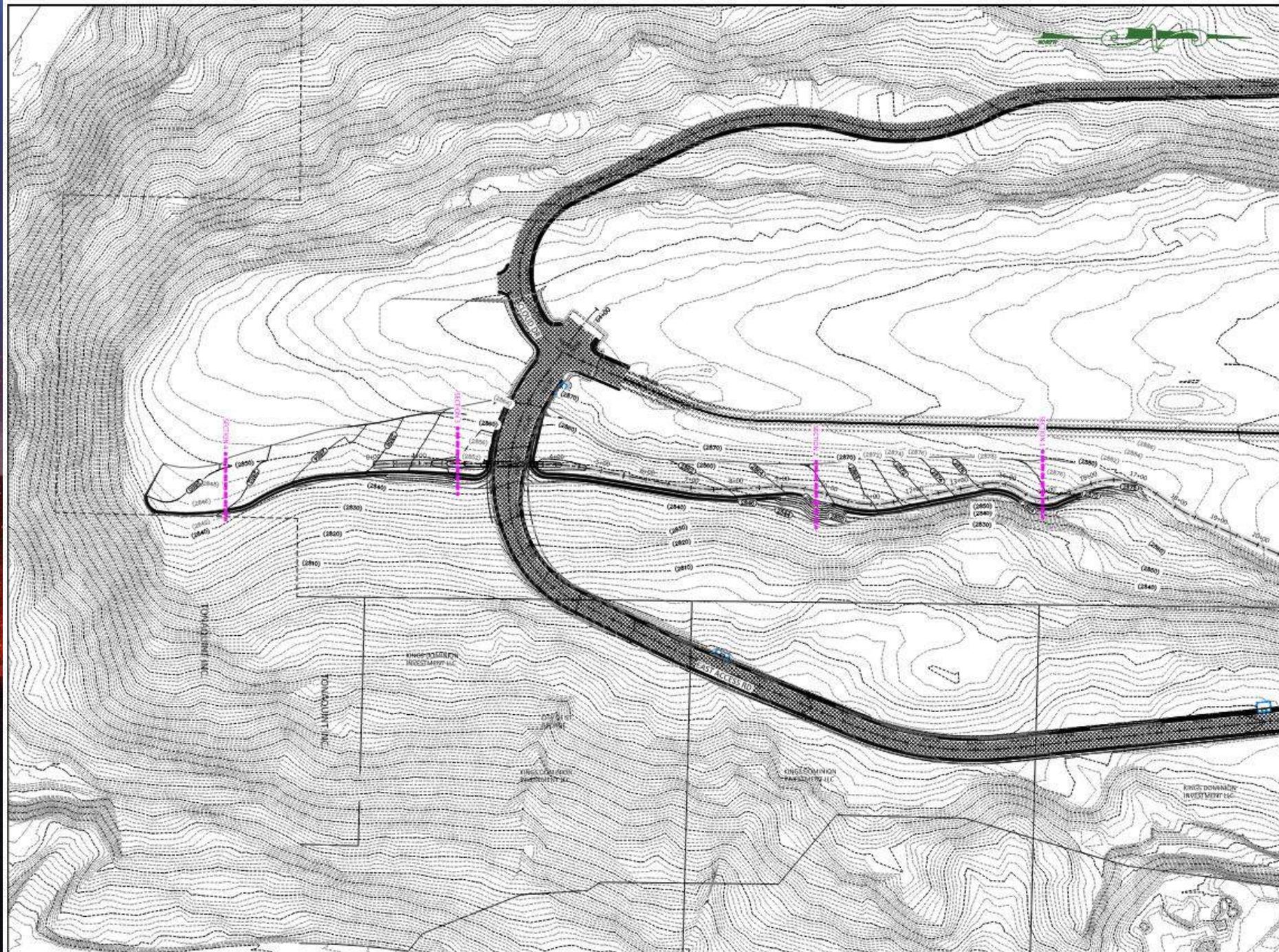
**TECH RIDGE
SOUTHEAST DEVELOPMENT
HILLSIDE SLOPE ANALYSIS**
FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 16 WEST SUB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: ARL	Scale: 1"=100'
Client No: 4568	Project No: 4568-21

Drawing Sheet
C1.2
Sheet 1 of 8 Sheets





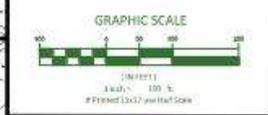
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No.	Date	by	Description
		ARL	

File Name: Southeast Ridge Walls.dwg

LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING CONTOUR
	DESIGN CONTOUR
	SECTION ALIGNMENT



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2808 N CORRAL CANYON BLVD SUITE 301 WASHINGTON, UT 84798 435-673-8040
NORTH DAKOTA: 627 26th STREET W. WILLOUSTON, ND 58001 701-572-8100

**TECH RIDGE
SOUTHEAST DEVELOPMENT
HILLSIDE GRADING OVERALL**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 12
T 154 NORTH, R 101 WEST S.P.M.
CITY OF WILLOUSTON, WILLIAMS COUNTY, ND.

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

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Client No.	4568	Project No.	0586-21

Drawing Sheet: **C2.0**
Sheet 5 of 8 Sheets

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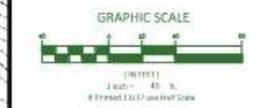
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		AKL	

File Name: Southeast Ridge Walls.dwg

LEGEND

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	EXISTING CONTOUR
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	SECTION ALIGNMENT




ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

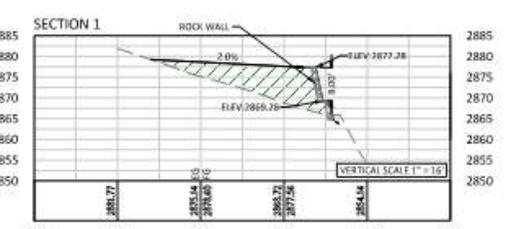
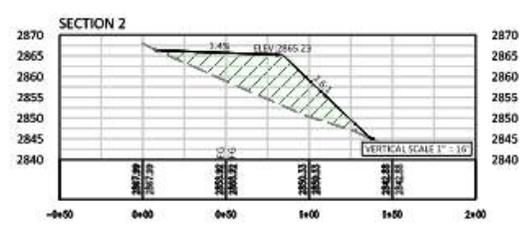
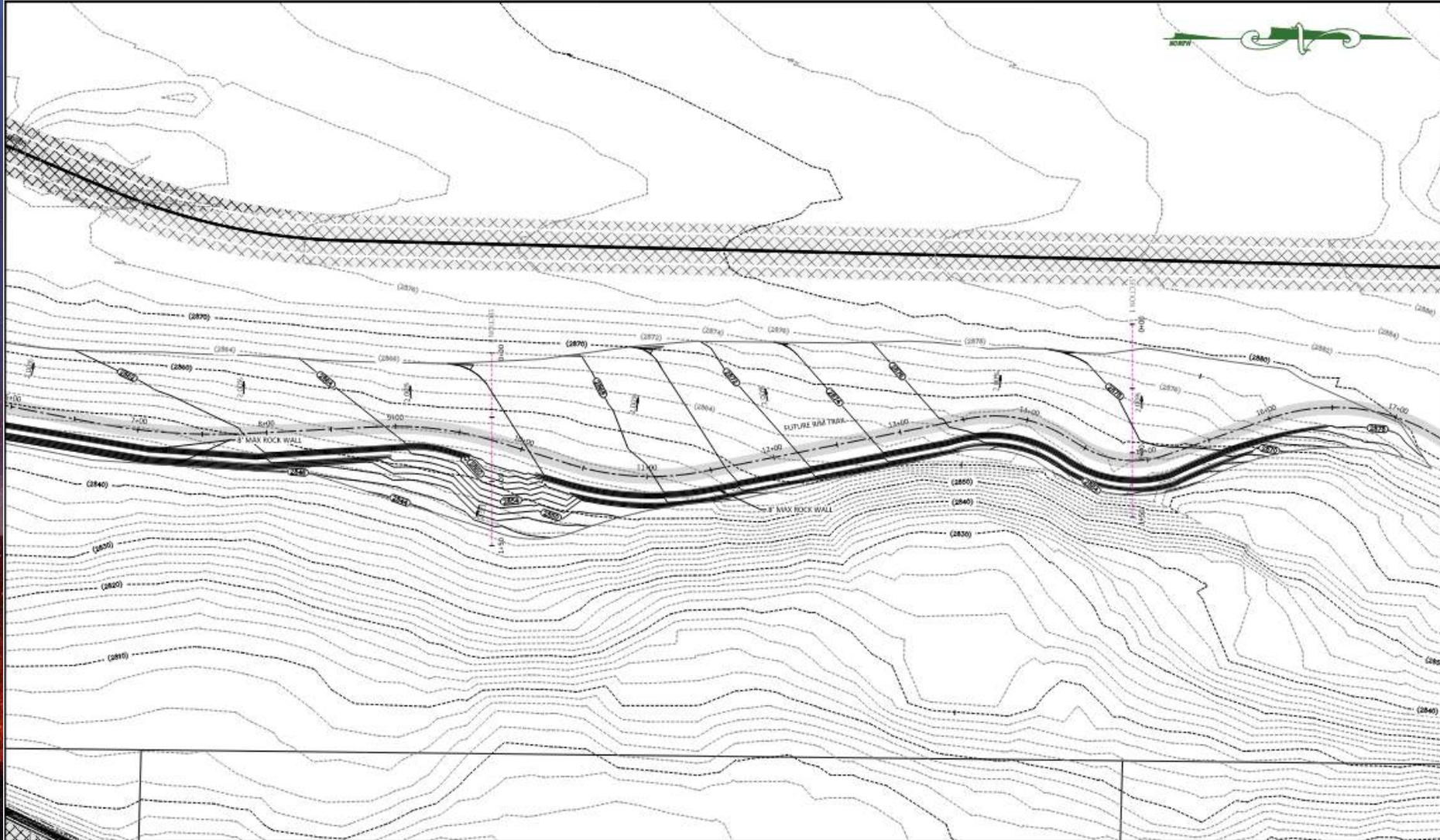
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**TECH RIDGE
SOUTHEAST DEVELOPMENT
HILLSIDE GRADING**

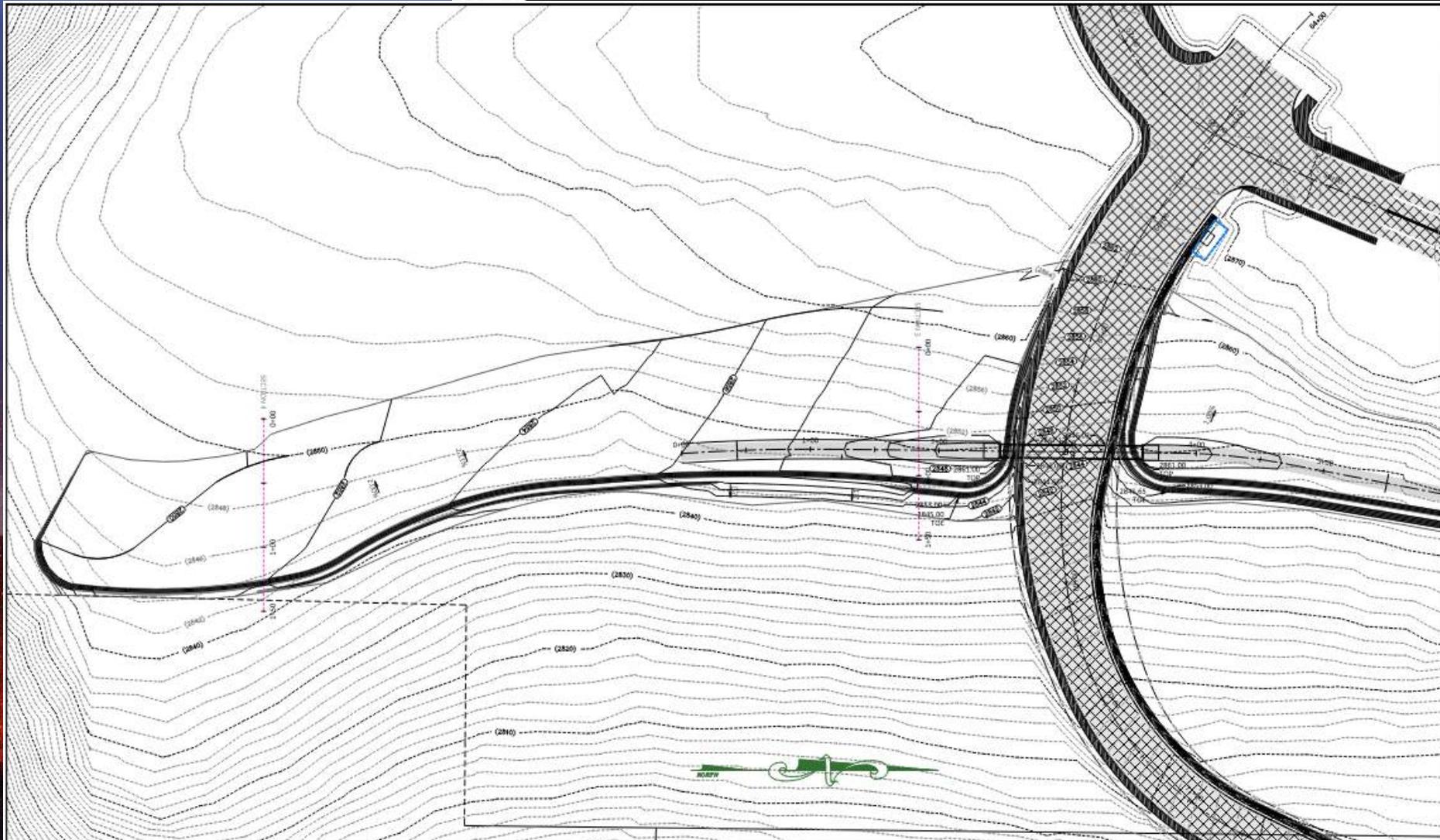
FOR
CITY OF ST. GEORGE
LOCATED IN SEC. 12
T. 354 NORTH, R. 101 WEST S.P.M.
CITY OF WALLISTON, WILLIAMS COUNTY, ND

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

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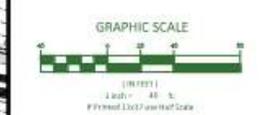
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No.	Date	by	Description
		ARL	

File Name: Southeast Ridge Walls.dwg

LEGEND

	EXISTING ASPHALT
	EXISTING CONCRETE
	EXISTING CONTOUR
	DESIGN CONTOUR
	SECTION ALIGNMENT



ALLIANCE CONSULTING
 A PLANNING AND ENGINEERING FIRM

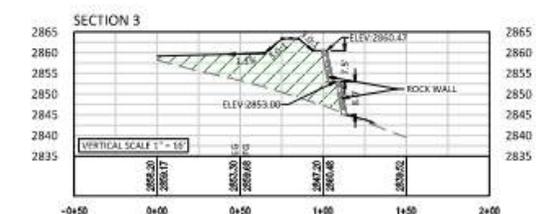
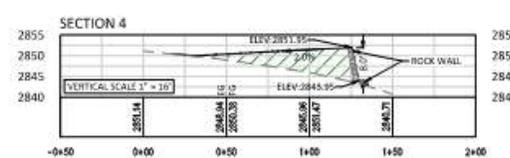
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**TECH RIDGE
 SOUTHEAST DEVELOPMENT
 HILLSIDE GRADING**

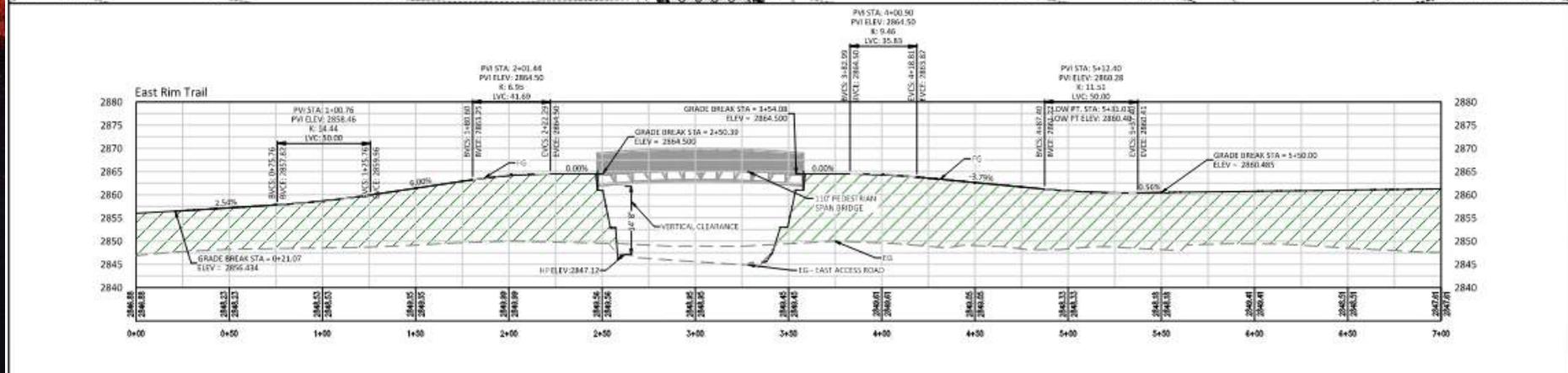
FOR
CITY OF ST. GEORGE
 LOCATED IN SEC 12
 T 154 NORTH, R 101 WEST 5 P.M.
 CITY OF WILLOUSTON, WILLIAMS COUNTY, ND

**NOT FOR
 CONSTRUCTION
 REVIEW ONLY**

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Sheet:	7	of	8



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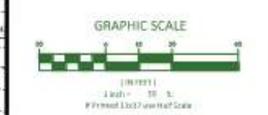
Date: 12-30-2022

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	DESIGN CONTOUR
	SECTION ALIGNMENT



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

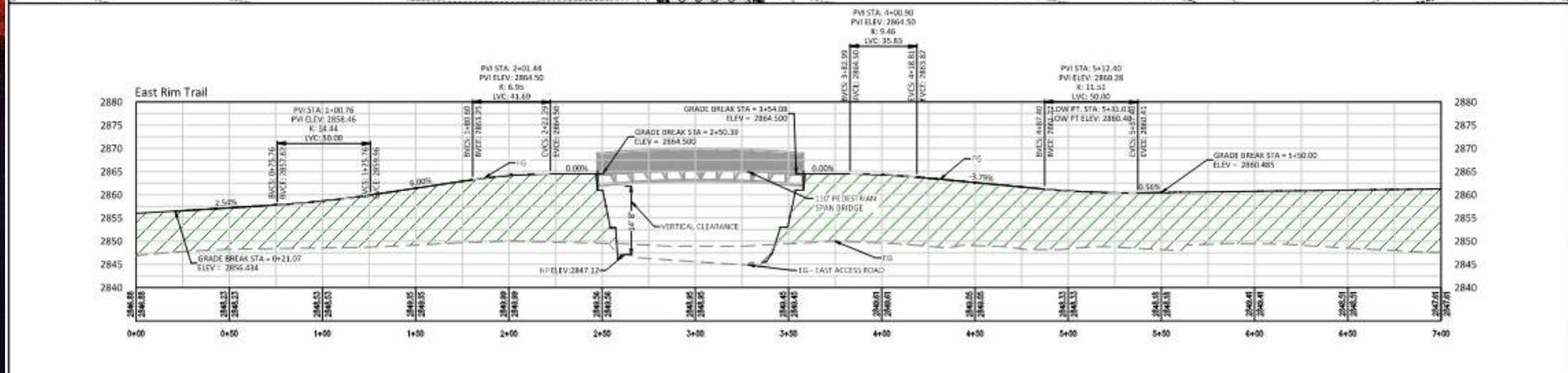
STAN: 2303 N COURT CROWN BLVD, SUITE 201, WASHINGTON, UT 84780, 435-475-9050
NORTH HAVOKA: 627 208 STREET W, WILLISTON, ND 58802, 701-572-8100

**TECH RIDGE
SOUTHEAST DEVELOPMENT
HILLSIDE GRADING**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 12
T 154 NORTH, R 101 WEST 5 P M.
CITY OF WILLISTON, WILLIAMS COUNTY, ND

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

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Client No: 4568	Project No: 4568-21
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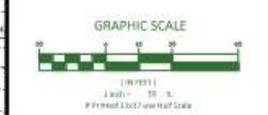
Date: 12-30-2022

REVISIONS			
No.	Date	by	Description

File Name: Southeast Ridge Walls.dwg

LEGEND

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	DESIGN CONTOUR
	SECTION ALIGNMENT



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

STAN: 2303 N COURT CANYON BLVD, SUITE 201, WASHINGTON, UT 84780, 435-475-9050
NORTH BAKOTA: 627 208 STREET W, WILLOSTON, ND 58002, 701-572-8100

**TECH RIDGE
SOUTHEAST DEVELOPMENT
HILLSIDE GRADING**

FOR
CITY OF ST. GEORGE

LOCATED IN SEC 12
T 154 NORTH, R 101 WEST 5 P.M.
CITY OF WILLOSTON, WILLIAMS COUNTY, ND

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: ARL	Scale: 1"=30'
Client No: 4568	Project No: 4568-21
Drawing Sheet:	C2.3
Sheet: # of #	Sheets



Recommendation

The Hillside Committee recommended approval of the Tech Ridge Southeast Slope Hillside Development Permit with the following condition:

-That the execution of the stacked rockery walls double tiers meet the level of aesthetic appeal that is displayed on the west side (of Tech Ridge) as constructed.



Tech Ridge Southeast Slope

Hillside Development Permit

2023-HS-002



Agenda Date: 12/07/2023

Agenda Item Number: 09

Subject:

Consider approval of a Hillside Development Permit to construct the southeast access road from 250 West Street to the Tech Ridge Development. Case No. 2023-HS-003

Item at-a-glance:

Staff Contact: Carol Winner

Applicant Name: City of St. George

Reference Number: 2023-HS-003

Address/Location:

250 West Street at approximately 1170 South

Item History (background/project status/public process):

Part of the required improvements for the Tech Ridge Development is to put in a southeast access road. This hillside development permit is for the future construction of this road from 250 West Street to the Tech Ridge development. On January 1, 2023, and on November 1, 2023, the Hillside Review Board held a public meeting regarding this case. At their meeting held on November 14, 2023, the Planning Commission held a public meeting and recommended approval.

Staff Narrative (need/purpose):

This is a request to obtain a hillside development permit to be able to construct the southeast access road from 250 West Street to the Tech Ridge development.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

With a 6-0 vote, the Planning Commission recommended approval of the Tech Ridge Southeast Access Road Hillside Development Permit with the following condition: 1. That they address and meet the recommendations in the project Geotechnical Report as stated in the letter dated September 8, 2023, starting at the bottom of page 1 and continuing onto page 2.

HILLSIDE REVIEW BOARD AGENDA REPORT: 01/25/2023
 HILLSIDE REVIEW BOARD AGENDA REPORT: 11/01/2023
 PLANNING COMMISSION AGENDA REPORT: 11/14/2023
 CITY COUNCIL AGENDA REPORT: **12/07/2023**

Tech Ridge Southeast Access Road Hillside Development Permit (Case No. 2023-HS-003)	
Request:	Consider a Hillside Development Permit to construct the southeast access road from 250 West St. to the Tech Ridge Development.
Applicant:	City of St. George
Representative:	Mike Bradshaw
Location:	250 West Street at approximately 1170 South
General Plan:	COM (Commercial), OS (Open Space), and MDR (Medium Density Residential)
Existing Zoning:	R-1-10 (Single Family Residential 10,000sf) and PD-MU (Planned Development Mixed use)
Surrounding Zoning:	North PD-MU and R-1-10
	South PD-MU and R-1-10
	East PD-C
	West OS, PD-MU



BACKGROUND

This is a request to obtain a hillside development permit to be able to construct the southeast access road from 250 West Street to the Tech Ridge development.

EXHIBITS PROVIDED

1. Exhibit A – Maps
“Exhibit A” in the packet shows the general plan land use map and the zoning map.
2. Exhibit B – Applicable Ordinances
“Exhibit B” in the packet lists the applicable zoning regulation that apply to this case found in Title 10, Chapter 13A.
3. Exhibit C – Tech Ridge East Access Road Hillside Protection Plan
“Exhibit C” in the packet shows the location of the east access road along with grading and slope analysis.
4. Exhibit D – Geotechnical Report
“Exhibit D” in the packet shows the Geotech report for this proposal.

RECOMMENDATION

With a 6-0 vote, the Planning Commission recommended approval of the Tech Ridge Southeast Access Road Hillside Development Permit with the following condition:

1. That they address and meet the recommendations in the project Geotechnical Report as stated in the letter dated September 8, 2023, starting at the bottom of page 1 and continuing onto page 2.

ALTERNATIVES:

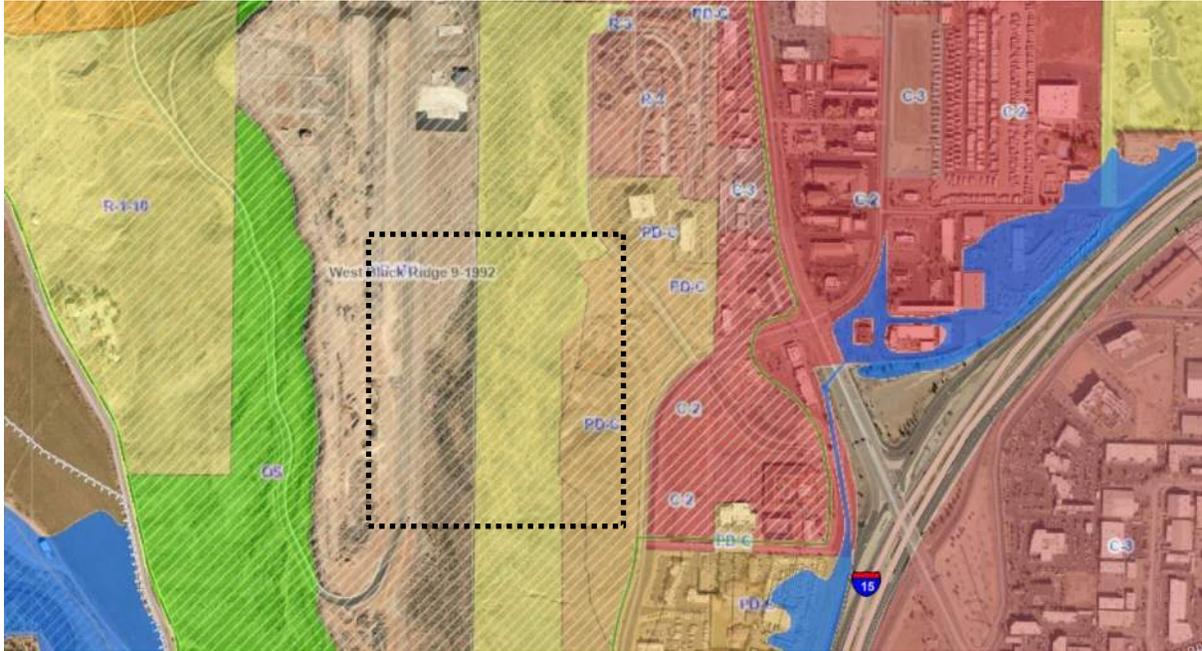
1. Approve as presented.
2. Approve with conditions.
3. Deny this request.
4. Table or Continue the proposed preliminary plat to a specific date.

POSSIBLE MOTION:

I move we approve the Tech Ridge Southeast Access Road Hillside Development Permit with the recommendation by Planning Commission.

Exhibit A MAPS

General Plan - COM



Zoning - R-1-10

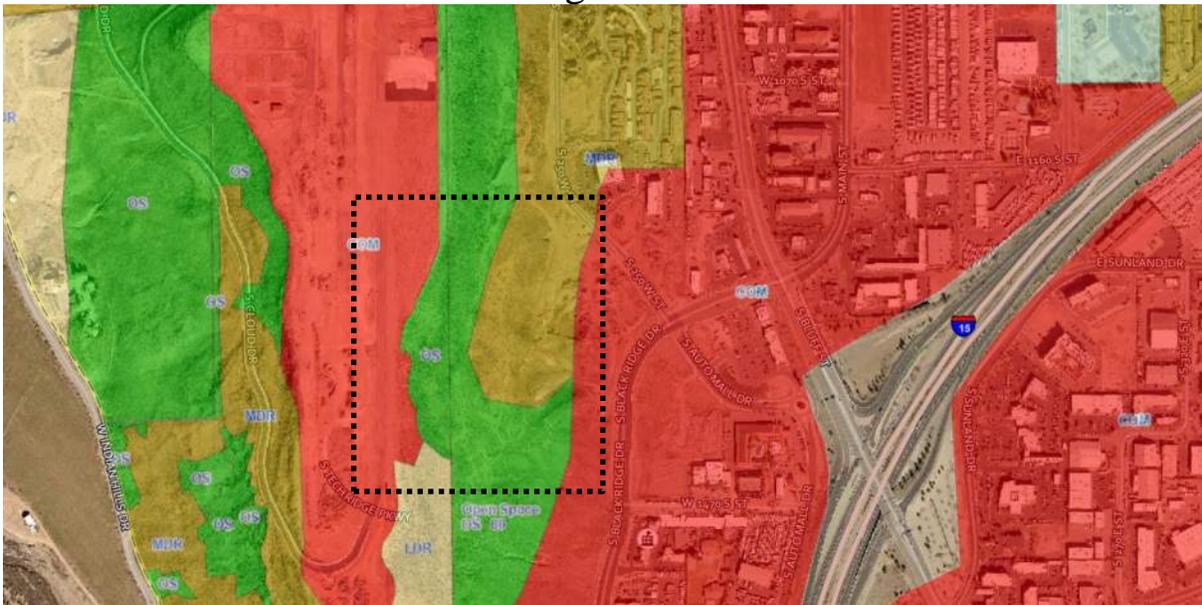


Exhibit B APPLICABLE ORDINANCES

I. Density and Disturbance Standards

A. The hillside development overlay zone (HDOZ) limits development densities and provides specific development incentives to transfer underlying zone densities from hillsides (sending areas), to less steep slopes or more safe development areas (receiving areas), within a development.

B. For those portions of a proposed development with natural slopes twenty percent (20%) or less, development density follows the density and development standards in the underlying zone.

C. For those portions of a proposed development with natural slopes from twenty-one percent (21%) to thirty percent (30%), development activity shall not disturb more than thirty percent (30%) of the parcel within this slope category.

D. For those portions of a proposed development with natural slopes from thirty-one percent (31%) to forty percent (40%), development activity shall not disturb more than five percent (5%) of the area within this slope category.

E. A proposed development may not disturb slopes in excess of forty percent (40%).

F. The applicant may:

1. Transfer all development density from steeper slope categories (sending areas), to areas within the development with natural slopes of twenty percent (20%) or less (receiving areas); and

2. Develop additional bonus density, calculated from each slope category, as follows:

a. Natural slopes twenty percent (20%) or less transferred on a one-to-one (1:1) unit basis; plus

b. One (1) additional density unit for each density unit transferred from natural slopes of twenty-one percent (21%) to thirty percent (30%); plus

c. Two (2) additional density units for each density unit transferred from natural slopes of thirty-one percent (31%) to forty percent (40%).

3. Unit calculation for the receiving area shall be based on the requirements of the sending area zone.

G. Density transfers to the receiving area may occur without a zone change within the receiving area even though the resulting density or configuration may exceed the density limits of the receiving area zone. Other than density, the receiving area's zoning requirements apply to development in the receiving area. For instance, lot sizes may vary, but single-family zoning districts only allow single-family detached dwellings.

H. If the applicant proposes to develop within the twenty-one percent (21%) to forty percent (40%) slope area, the applicant cannot employ partial density transfers from the sending area and must propose a design, site development plans, and a grading plan that blends and harmonizes all aspects of the proposed development into the natural topography, and that minimizes road cuts and fills.

I. Non-disturb areas within a residential lot as shown on the slope analysis map shall not be used to calculate minimum lot size.

J. Disturbance standards do not apply to the city for limited city facilities: trails, parks, and utilities. (Ord. 2019-10-002, 10-10-2019)

II. Slope and Slope Areas Determined

A. Slope shall be determined for each significant portion of a development parcel.

B. Procedure: The applicant shall map the location of the natural slope by using the following procedure:

1. Preparation of Contour Maps: The applicant shall submit an accurate, current contour map, prepared and certified by a licensed professional engineer or surveyor, which shows all land contours at intervals no greater than five feet (5'), drawn at a one inch equals one hundred feet (1" = 100') scale maximum.

2. Verification through Field Surveys: The city engineer or designee may require the applicant to submit a field survey to verify the accuracy of the contour map.

C. Determination of Slope Areas: Using the contour map, natural slopes shall be calculated using points identified as natural slopes of twenty percent (20%), thirty percent (30%), and forty percent (40%), and shall be located on the contour map and connected by a continuous line. That area bounded by said lines and intersecting property lines shall be used for determining project density. Small washes or outcrops, which have slopes distinctly different from surrounding property, and are not part of the contiguous topography, may be excluded from the slope determination. (Ord. 2019-10-002, 10-10-2019)

III. Street Design

The following standards apply to public and private streets within the zone:

A. Street Grades: The maximum allowed street grade is fifteen percent (15%).

B. Intersections: Roads shall intersect at ninety-degree (90°) angles.

C. Intersection Spacing: Intersections should be spaced far enough apart so that the traffic stopped to make left turns at one intersection does not interfere with traffic movements at the adjacent intersections.

1. On low-volume streets such as access roads to minor collectors or minor collectors to minor collectors, the minimum spacing distance is one hundred twenty-five feet (125');

2. For minor collectors to major collectors, the minimum spacing distance is two hundred fifty feet (250').

D. Design Speed: The design of geometric features such as horizontal and vertical alignment will depend on the design speed selected for each street. The design speed is primarily determined by the street function and classification and is the maximum speed for safe and comfortable operation of a vehicle. Other than a major collector, all streets in hillside areas are classified as low speed streets (thirty-five (35) miles per hour or less).

Street Design Classification	Design Speed	Posted Speed
Minor collector	30	30
Local road	25 – 30	25
Hillside local	25	25
Hillside access	25	25

E. Clear Sight Distance at Intersections: Adequate, clear sight distance is required at intersections, as follows:

Posted Speed of Higher Order Road	Minimum Y	Desired Y
20	210	240
25	260	300
30	310	380
35	365	475

F. Vertical Curves and Intersection Relationship: The vertical alignment of residential streets shall comply with latest editions of AASHTO geometric design of highways and streets. See table below for listing of pertinent design criteria:

Design Speed	Crest “K” Value	Sag “K” Value
Minimum Length of Vertical Curves		
20	10	20
25	20	30
30	30	40
35	40	50

$L = KA$ (for minimum sight distance on a vertical curve).

L = Length of vertical curve for proper sight distance.

A = Algebraic difference in grade.

Vertical alignment with the intersection is also of special nature, and design alternatives may be required. As a guideline, the approach area where vehicles stop while waiting to enter an intersection shall not exceed four (4%) to five percent (5%) from the gutter line of the street being intersected for a distance of fifty feet (50'), though a range of fifty feet (50') to one hundred feet (100') is more desirable. This applies to all intersections, except those intersections where both intersecting streets are minor collectors. The landing area for a minor collector shall be designed for a grade of two percent (2%) to three percent (3%) for a distance of one hundred feet (100').

G. Safe Stopping Sight Distance: The minimum sight distance to be provided before a stop is required is included in the table below:

Design Speed	Computed	Recommended Distance	Add-On for 15% <u>Grade</u>
20	106.7	125	20
25	146.5	150	36
30	195.7	200	64
35	248.4	250	95

H. Horizontal Curves: The minimum centerline radius for horizontal curves on low-speed residential streets is:

Street Classification or Speed	Curve Radius in Feet
Minimum Centerline Radius	
<u>Private streets</u>	50 – 100
20 mph	100 – 150
25 mph	185
30 mph	310

I. Street Cross-Section Standards: The requirements for street cross-section configurations are based on the following factors:

1. Traffic capacity;

2. *Design speed;*
3. *Projected traffic;*
4. *Designs to reduce scarring.*

J. *Alternate road cross sections, such as grade separated streets, may be used if applicable safety and traffic standards are met.*

K. *Elimination of sidewalk on one side of the road may be approved when elimination of one (1) sidewalk can appreciably reduce the amount of hillside disturbance. Other considerations may also warrant its elimination. When one (1) sidewalk is eliminated, the remaining sidewalk shall be increased by one foot (1') in width.*

L. *The following table sets forth the requirements for street standards for single-family residential development.*

Maximum Grade	Street Classification	Width ROW	Width TBC	Pavement Width	Width Sidewalk	ADT
Street Cross-Section Standards for Single-Family Residential						
12%	Minor collector	60'	50'	45'	5'	1,500 – 3,500
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15%	Hillside local	45'	35'	30'	4'	150 – 750
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(Ord. 2019-10-002, 10-10-2019)

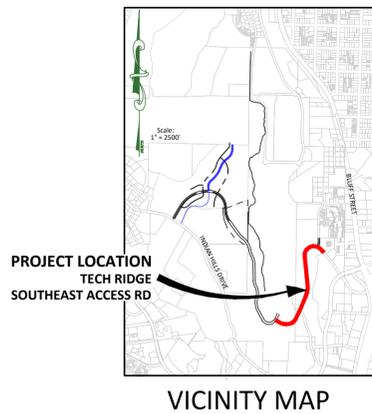
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4. In residential zones, “no disturbance” areas shall be held as the “common area” of a project. Common areas shall be owned and maintained by the homeowners’ association or may be deeded to the city when accepted by the city.

5. *In nonresidential zones, any “no disturbance” area shall be identified on the final site plan or final plat.*
6. *Any required no disturbance area shall be identified on the ground with temporary fencing or other approved means to prevent accidental disturbance of the area during construction and such fencing shall be installed prior to issuance of a grading permit.*
7. *The building site shall be located on the flattest portion of the parcel.*
8. *No structure shall extend over any natural ridgeline. The structure shall be in contact with the ground at all edges. (Ord. 2019-10-002, 10-10-2019)*

Exhibit C
TECH RIDGE EAST ACCESS ROAD HILLSIDE PROTECTION PLAN

SOUTHEAST ACCESS ROAD @ TECH RIDGE FOR CITY OF ST. GEORGE LOCATED IN CITY OF ST. GEORGE, WASHINGTON COUNTY, UT



SHEET INDEX	
SHEET NO.	DESCRIPTION
C1.0	COVER SHEET
C1.1	GRADING AND STORM DRAIN OVERALL
C1.2	GRADING OVERALL CUT AND FILL
C1.3	DUST AND SWPPP/EROSION CONTROL PLAN
C1.4 - C1.5	DEMOLITION PLAN
C2.0 - C2.5	SOUTHEAST ACCESS RD PLAN AND PROFILE
C2.6	250 W STREET ALTERATION PLAN AND PROFILE
C2.7	CLOUD DRIVE ALTERATION PLAN AND PROFILE
C2.8	STORM DRAIN CROSSINGS
C2.9 - C2.10	SOUTHEAST ACCESS RD CROSS SECTIONS
C3.0	SEWER AND WATER OVERALL
C3.1 - C3.4	SWR AND WTR PLAN AND PROFILE
C4.0	POWER AND GAS OVERALL
C4.1 - C4.4	SOUTHEAST ACCESS RD POWER AND GAS
C5.0	PAVING OVERALL
C5.1 - C5.4	ROAD SECTIONS
C5.5 - C5.7	SOUTHEAST ACCESS RD PAVING
C6.0 - C6.5	DETAILS

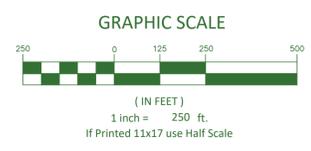
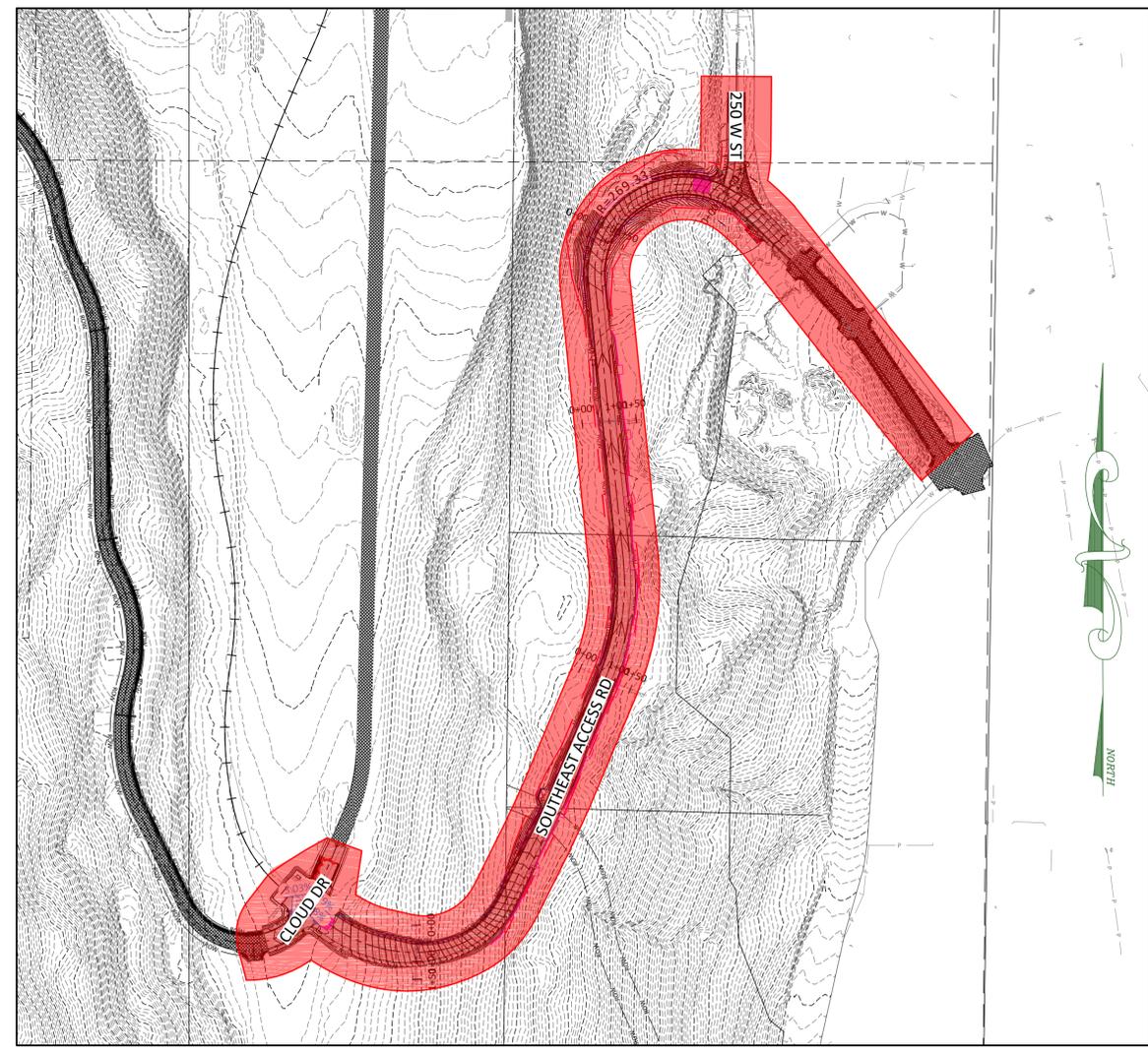


CITY
CITY OF ST. GEORGE
ATT: MR. CAMERON CUTLER
175 W 200 N
ST. GEORGE, UT 84770
EMAIL: CAMERON.CUTLER@SGCITY.ORG

ENGINEER
ALLIANCE CONSULTING
2303 N. CORAL CANYON BLVD. SUITE 201
WASHINGTON, UT 84780-0577
PHONE: (435) 673-8060
FAX: (435) 673-8065
ENGINEER: MR. DELOSS HAMMON P.E.
CONTACT: MR. CRAIG COATS
EMAIL: ccoats@allianceconsulting.us

GEOTECHNICAL REPORTS:
The contractor is responsible to read and fully understand the Geotech report and to coordinate with the geotechnical engineer throughout the grading process to ensure that the report's recommendations are implemented from the beginning to the end of the projects construction. The owner will contract with the geotechnical engineer for their representatives to be on site throughout the grading process to ensure full compliance with the geotechnical report's recommendations. Refer to following reports.

- Applied GeoTech Geotechnical Investigation, Tech Ridge South Access Road, Project No. 2180295, Dated: Oct 19, 2018
- Applied GeoTech Geotechnical Investigation, Updated Tech Ridge South Access Road Report, Project No. 2230249, Dated: Sept. 08, 2023



GENERAL NOTES:

- Unless shown otherwise on these plans, all construction shall conform to the codes and ordinances of St. George City, the State of Utah Administrative Codes, "The International Plumbing Code", and the "International Building Code" latest editions as administered by St. George City.
- The Contractor shall be responsible for the location of and protection of all existing underground utilities and overhead power line during construction.
- The Benchmark for this Project is the South 1/4 of Section 36, Township 42 South, Range 16 West Salt Lake Base and Meridian - St. George HCN #181 - Elevation: 2667.70
- Existing contour and finish contour interval is 2 feet.
- Any necessary design modifications shall be approved by the design engineer.
- All grading to be within $\pm 0.1'$ of proposed elevation.
- Project shall install an information sign on site before construction begins. This sign shall have a minimum size, placement location and content information with the company name, phone & permit number.
- A mandatory pre-construction meeting shall be required on all projects prior to any grubbing, grading, or construction activities. The permit holder shall be required to notify all Development Services inspectors.
- Projects shall submit a dust control plan with details on equipment scheduling and reporting of dust control activities.
- Follow Appendix J standards found in the IBC.
- All work materials shall meet City of St. George standards.
- The Developer will Maintain the Temporary Detention Basin until Decommission.

CONSTRUCTION NOTES:

- All excavations and grading shall be in accordance with the requirements of the City of St. George [phone:435-627-4000], of the "International Building Code", 2018 edition, and the specifications and requirements included in the Tech Ridge Grading Recommendations...
- All excavation, grading, and fill operations within the building area should be observed by the Field Engineer to verify subsoil conditions and determine adequacy of site preparation, suitability of fill materials and compliance with compaction requirements.
- The Contractor shall provide suitable equipment to control dust and air pollution caused by construction operations. The Contractor shall also provide suitable mud and dirt containment to maintain clean conditions on the work site, access roadways, and adjacent properties.
- Project shall submit a Dust Control Plan with details on equipment, scheduling and reporting of dust control activities.
- Contractor is responsible and required to obtain their own UPDES/NOI permits.
- It is the contractors responsibility to identify all and any SWPPP requirements.
- Prior to and during compaction operations, all backfill material shall have the required moisture content uniform throughout each layer.
- All Rip-Rap rock shall be approved by owner.
- Contractor must coordinate with other Contractors working in areas.
- Contractor must protect existing facilities.
- All rock walls are to match in color and composition with the native basalt lava rock. Rock to be stained black.
- HDPE pipe to be stubbed a minimum of 6" inside Manholes and Grouted.
- Clay material on-site to be mitigated per Geotechnical Reports.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg

ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

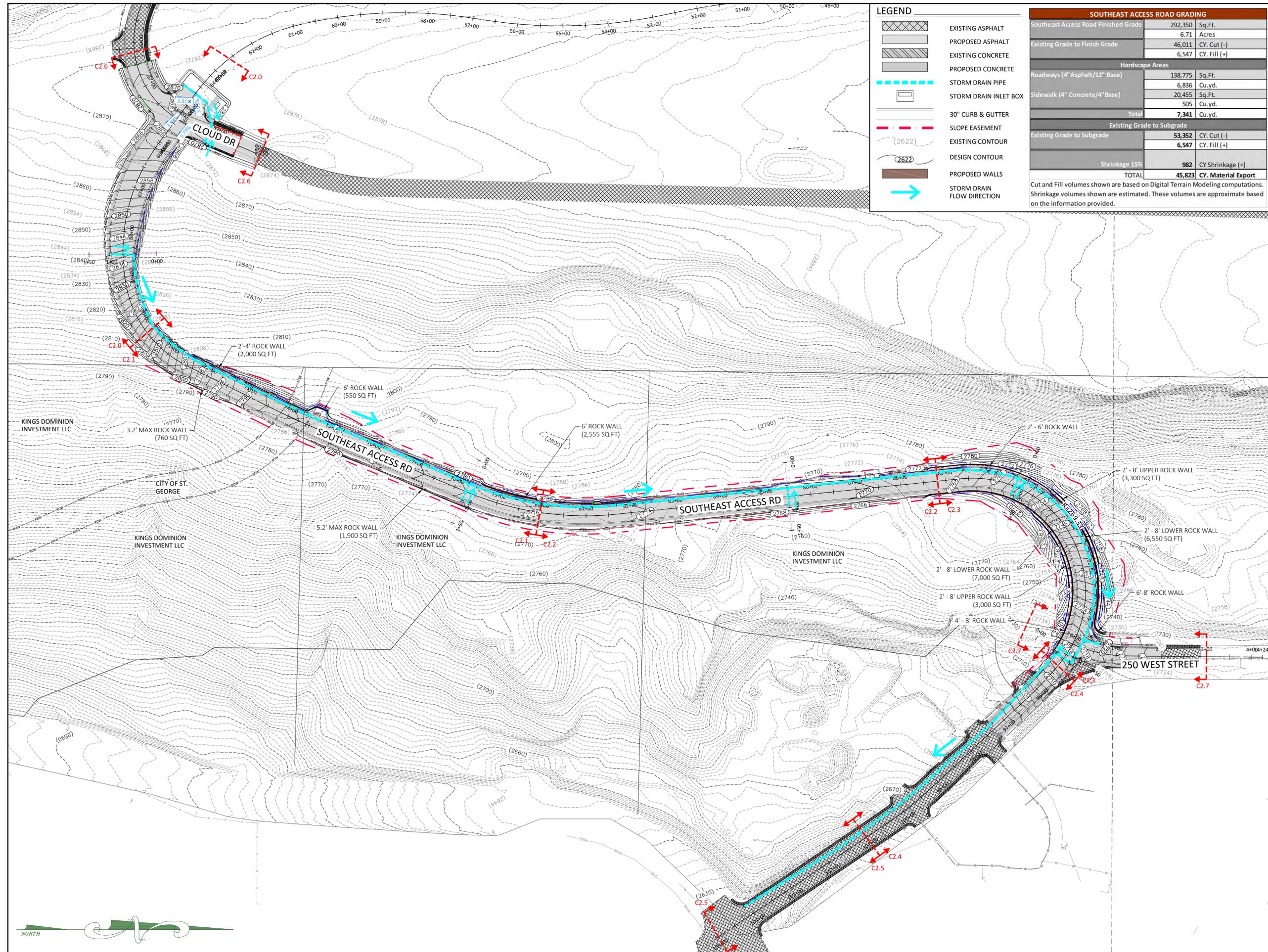
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
COVER**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR
CONSTRUCTION
REVIEW ONLY

Drawn By: AZ	Scale: 1" = 250'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet C1.0	
Sheet 1 of 41 Sheets	



LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- STORM DRAIN PIPE
- STORM DRAIN INLET BOX
- 30" CURB & GUTTER
- SLOPE EASEMENT
- EXISTING CONTOUR
- DESIGN CONTOUR
- PROPOSED WALLS
- STORM DRAIN FLOW DIRECTION

SOUTHEAST ACCESS ROAD GRADING

Southeast Access Road Finished Grade	292,350	Sq. Ft.
Existing Grade to Finish Grade	6.71	Acres
	46,011	Cy. Cut (-)
	6,547	Cy. Fill (+)
Hardscape Areas		
Roadways (4" Asphalt/12" Base)	138,775	Sq. Ft.
	6,836	Cu. yd.
Sidewalk (4" Concrete/4" Base)	20,455	Sq. Ft.
	505	Cu. yd.
Total	7,341	Cu. yd.
Existing Grade to Subgrade		
	53,352	Cy. Cut (-)
	6,547	Cy. Fill (+)
Shrinkage 15%	982	Cy Shrinkage (+)
TOTAL	45,823	Cy. Material Export

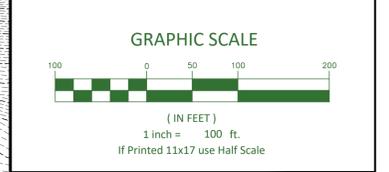
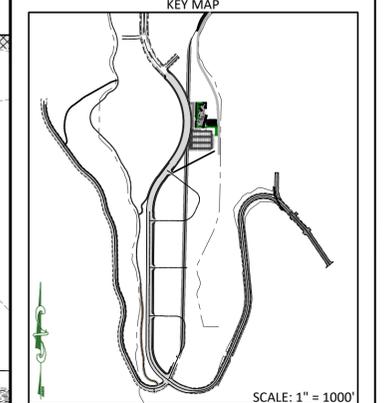
Cut and Fill volumes shown are based on Digital Terrain Modeling computations. Shrinkage volumes shown are estimated. These volumes are approximate based on the information provided.

Date: 10-19-2023

REVISIONS

No.	Date	by	Description

File Name: East Access OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780, 435-673-8060
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801, 701-572-8100

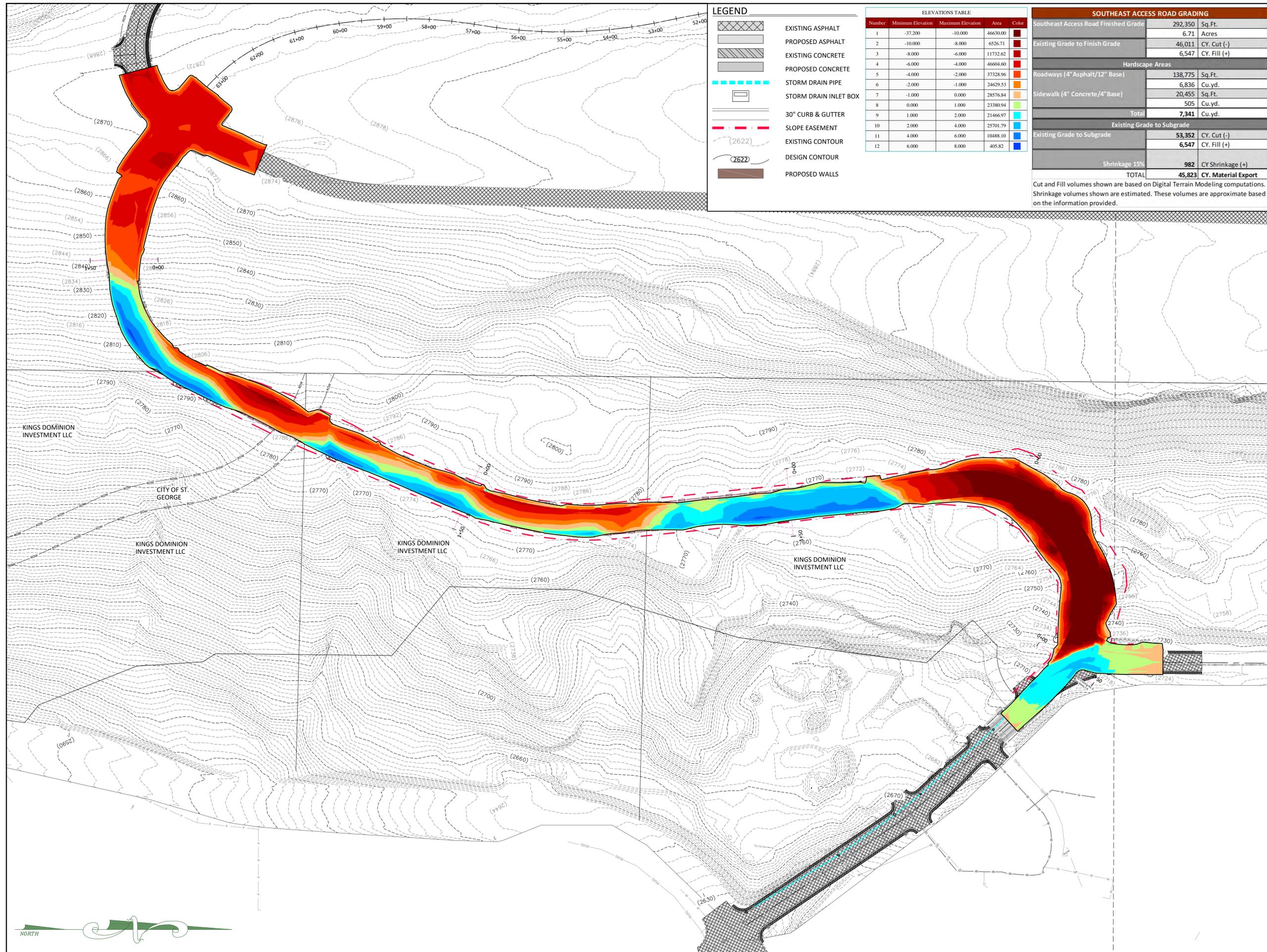
**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
GRADING AND SD OVERALL**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: 1"=100'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C1.1	
Sheet 2 of 41 Sheets	





LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- STORM DRAIN PIPE
- STORM DRAIN INLET BOX
- 30" CURB & GUTTER
- SLOPE EASEMENT
- EXISTING CONTOUR
- DESIGN CONTOUR
- PROPOSED WALLS

ELEVATIONS TABLE

Number	Minimum Elevation	Maximum Elevation	Area	Color
1	-37.200	-10.000	46630.00	Red
2	-10.000	-8.000	6526.71	Orange
3	-8.000	-6.000	11732.62	Yellow
4	-6.000	-4.000	46604.60	Light Green
5	-4.000	-2.000	37328.96	Green
6	-2.000	-1.000	24629.53	Light Blue
7	-1.000	0.000	28576.84	Blue
8	0.000	1.000	23380.94	Light Blue
9	1.000	2.000	21466.97	Light Blue
10	2.000	4.000	25701.79	Light Blue
11	4.000	6.000	10488.10	Light Blue
12	6.000	8.000	405.82	Blue

SOUTHEAST ACCESS ROAD GRADING

Southeast Access Road Finished Grade	292,350	Sq.Ft.
Existing Grade to Finish Grade	6.71	Acres
Existing Grade to Finish Grade	46,011	CY. Cut (-)
Existing Grade to Finish Grade	6,547	CY. Fill (+)
Hardscape Areas		
Roadways (4" Asphalt/12" Base)	138,775	Sq.Ft.
Sidewalk (4" Concrete/4" Base)	6,836	Cu.yd.
Sidewalk (4" Concrete/4" Base)	20,455	Sq.Ft.
Sidewalk (4" Concrete/4" Base)	505	Cu.yd.
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Existing Grade to Subgrade		
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Existing Grade to Subgrade	6,547	CY. Fill (+)
Shrinkage 15%	982	CY Shrinkage (+)
TOTAL	45,823	CY. Material Export

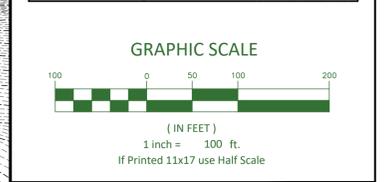
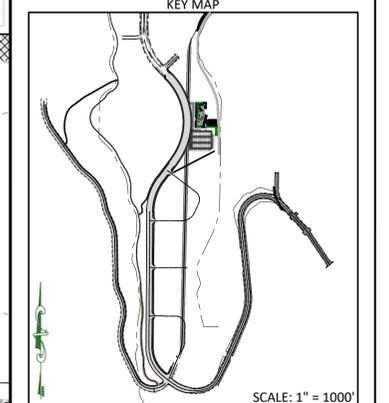
Cut and Fill volumes shown are based on Digital Terrain Modeling computations. Shrinkage volumes shown are estimated. These volumes are approximate based on the information provided.

Date: 10-19-2023

REVISIONS

No.	Date	by	Description

File Name: East Access OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

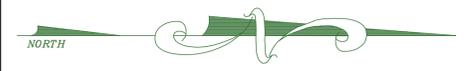
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

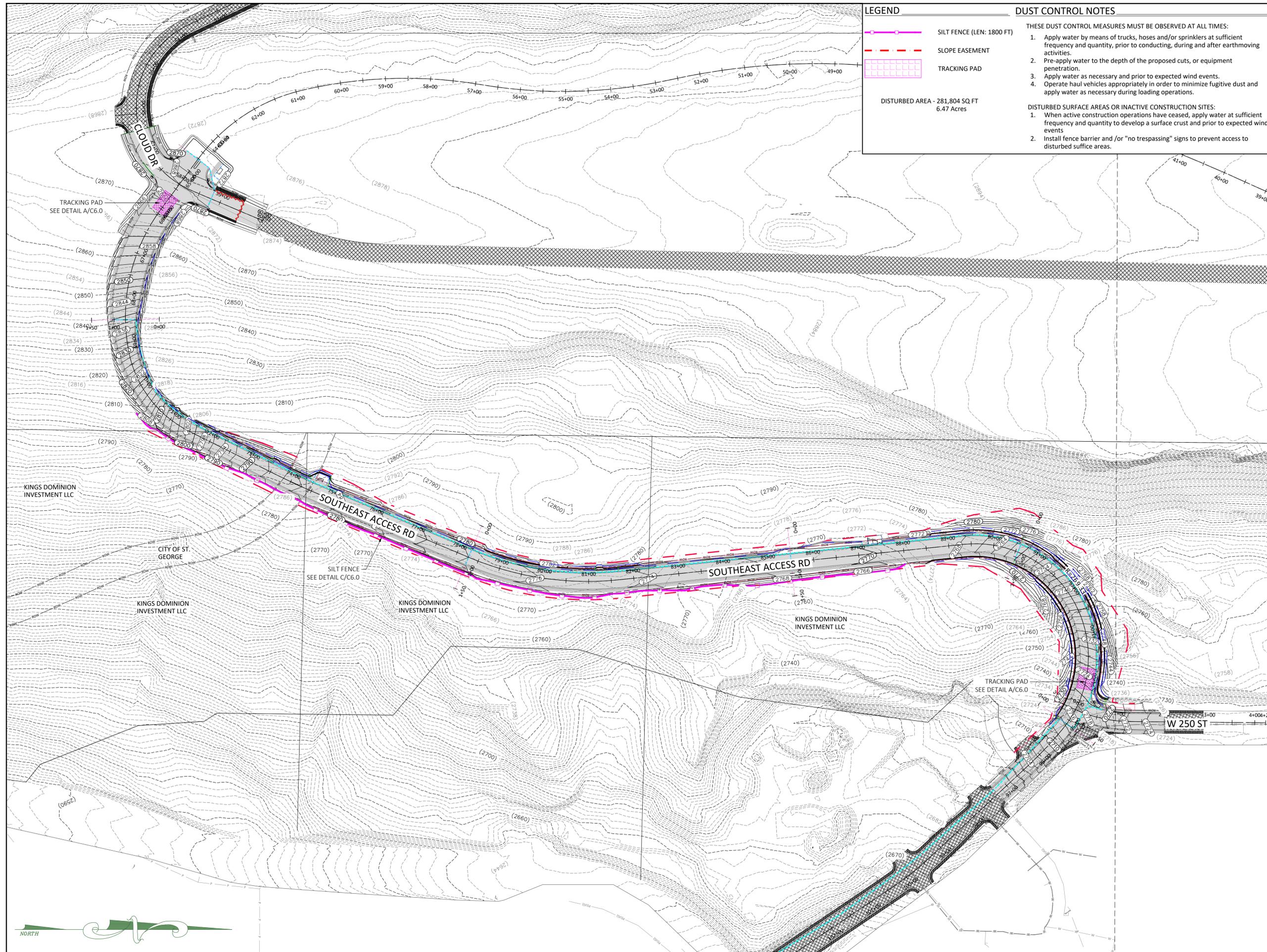
**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
GRADING CUT/FILL**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: 1"=100'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C1.2	
Sheet 3	of 41 Sheets





LEGEND

-  SILT FENCE (LEN: 1800 FT)
 -  SLOPE EASEMENT
 -  TRACKING PAD
- DISTURBED AREA - 281,804 SQ FT
6.47 Acres

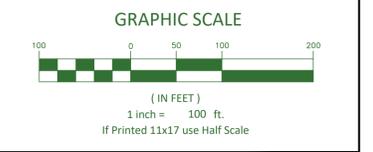
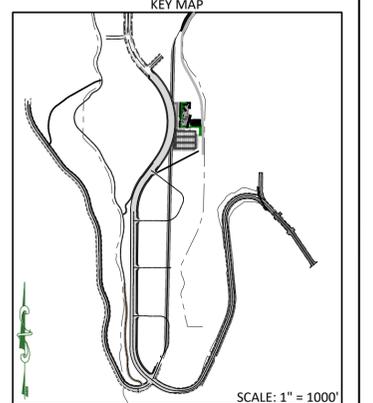
DUST CONTROL NOTES

- THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:
1. Apply water by means of trucks, hoses and/or sprinklers at sufficient frequency and quantity, prior to conducting, during and after earthmoving activities.
 2. Pre-apply water to the depth of the proposed cuts, or equipment penetration.
 3. Apply water as necessary and prior to expected wind events.
 4. Operate haul vehicles appropriately in order to minimize fugitive dust and apply water as necessary during loading operations.
- DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:
1. When active construction operations have ceased, apply water at sufficient frequency and quantity to develop a surface crust and prior to expected wind events.
 2. Install fence barrier and/or "no trespassing" signs to prevent access to disturbed surface areas.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg




ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060

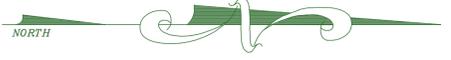
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

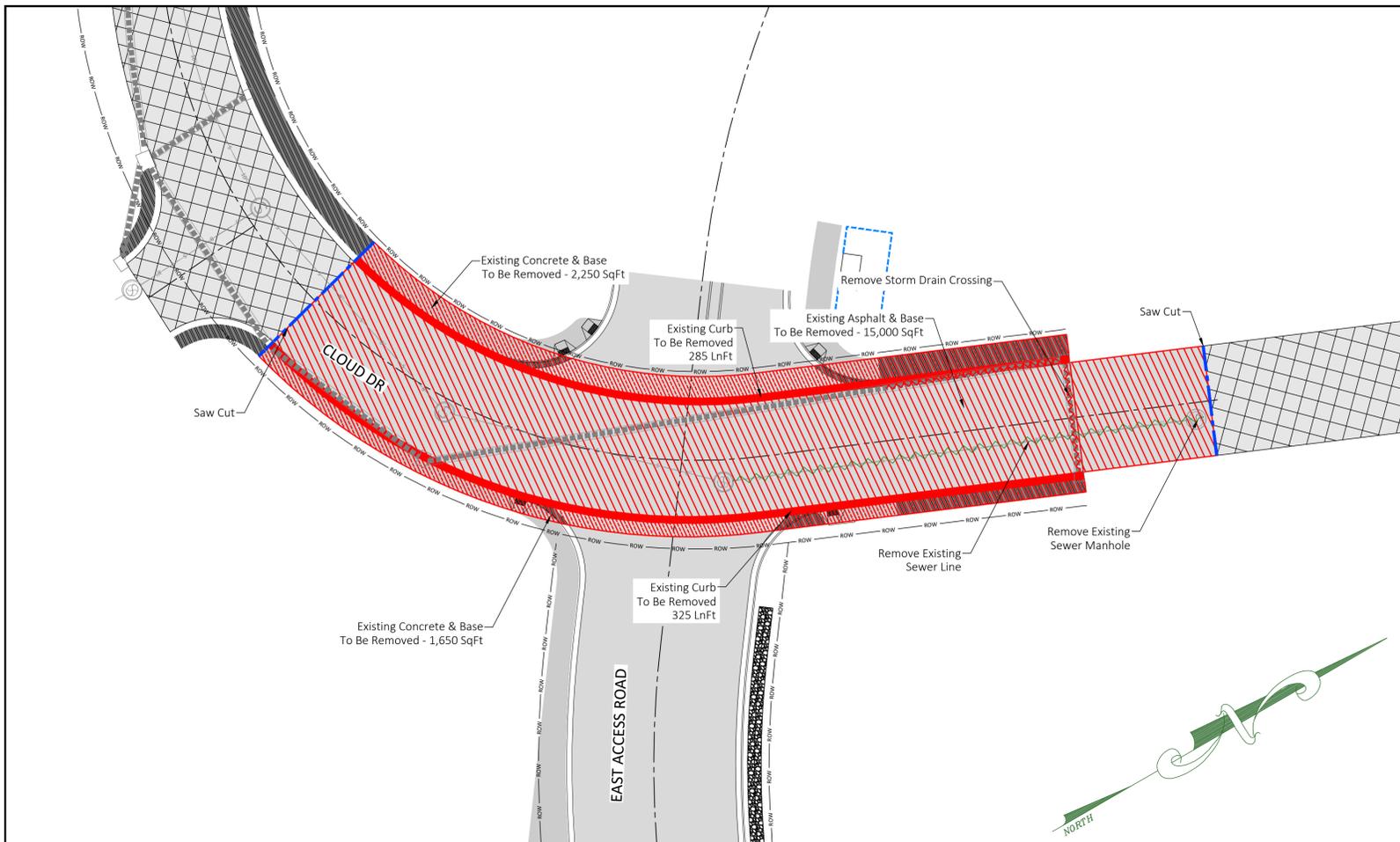
DUST AND SWPPP/ EROSION CONTROL PLAN

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

Drawn By: AZ	Scale: 1"=100'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C1.3	
Sheet 4 of 41	Sheets





LEGEND

	EXISTING STORM SEWER
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND POWER
	EXISTING GAS LINE
	EXISTING
	FIRE HYDRANTS
	WATER VALVES
	SANITARY SEWER MANHOLES
	EXISTING ELECTRICAL BOX
	EXISTING HARDSCAPE
	EXISTING CONCRETE
	REMOVE EXISTING ASPHALT 33,740 SQ FT TOTAL
	REMOVE EXISTING CONCRETE 8,595 SQ FT TOTAL
	EXISTING CURB AND GUTTER
	REMOVE EXISTING CURB AND GUTTER 1,565 LN FT TOTAL
	SAW CUT - 220 LN FT TOTAL
	SLOPE EASEMENT
	REMOVE SEWER LINE 336 LN FT TOTAL
	REMOVE WATER LINE 558 LN FT TOTAL

- DEMOLITION NOTES:**
- Demolition shall include removal of all Foundations, Footings, Cables, Wires, Pipes, Roots, Etc. Associated with all surface or subsurface items subject to demolition. All items subject to demolition shall be hauled to a landfill approved by the Engineer. Bidders shall satisfy themselves of all work involved in the removal of all items subject to demolition. Submission of a bid shall constitute incontrovertible evidence that bidder understands and has included in his bid all items affecting cost, progress or performance of the work.
 - Edges of Asphalt or Concrete subject to removal shall be saw cut vertically through the entire depth of the pavement structure.
 - Removal and replacement of existing concrete curb and sidewalk at curb stops shall be limited to two segments defined by existing control joints. The contractor is responsible to protect adjacent concrete curb and sidewalk during construction. Any adjacent curb or sidewalk segments damaged during construction will be replaced at the sole expense of the Contractor, with no adjustment in price.

- DUST CONTROL NOTES**
- THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:
- Apply water by means of trucks, hoses and/or sprinklers at sufficient frequency and quantity, prior to conducting, during and after earthmoving activities.
 - Pre-apply water to the depth of the proposed cuts, or equipment penetration.
 - Apply water as necessary and prior to expected wind events.
 - Operate haul vehicles appropriately in order to minimize fugitive dust and apply water as necessary during loading operations.

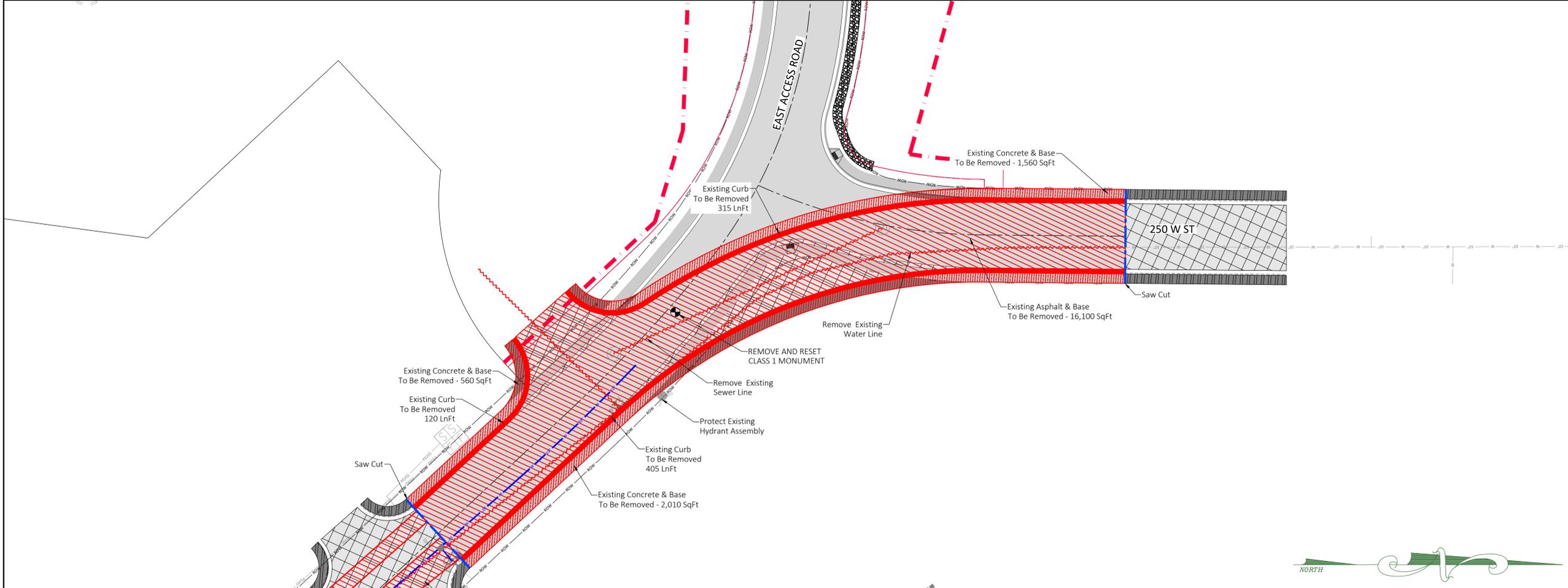
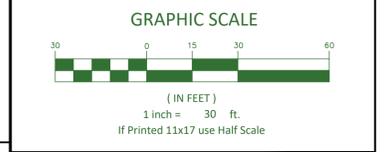
Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Demo OPT 2.dwg

KEY MAP

SCALE: 1" = 1000'



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**CLOUD DRIVE AND
250 WEST STREET
DEMOLITION**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: 1"=30'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C1.4	
Sheet 5 of 41	Sheets

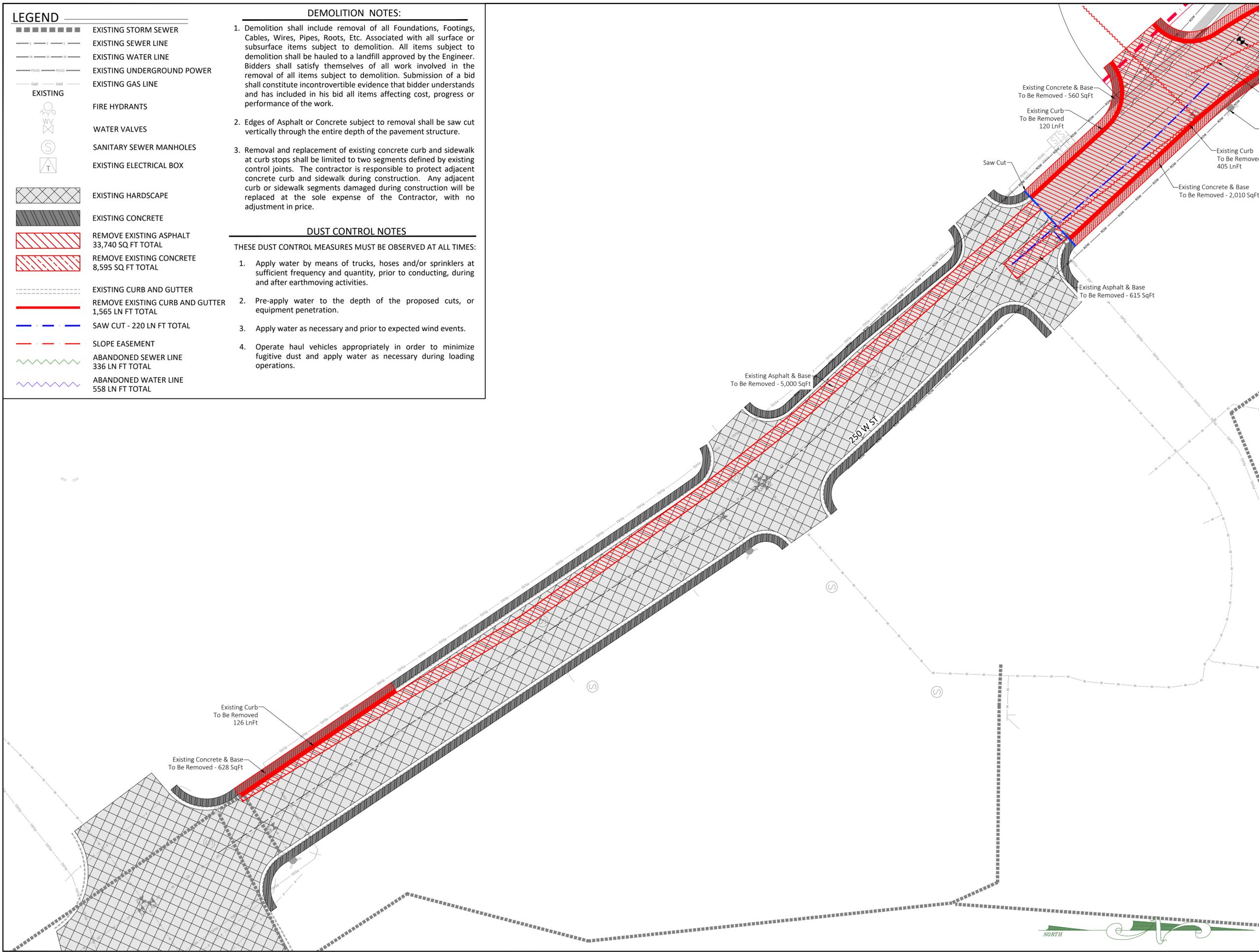


LEGEND

	EXISTING STORM SEWER
	EXISTING SEWER LINE
	EXISTING WATER LINE
	EXISTING UNDERGROUND POWER
	EXISTING GAS LINE
EXISTING	
	FIRE HYDRANTS
	WATER VALVES
	SANITARY SEWER MANHOLES
	EXISTING ELECTRICAL BOX
	EXISTING HARDSCAPE
	EXISTING CONCRETE
	REMOVE EXISTING ASPHALT 33,740 SQ FT TOTAL
	REMOVE EXISTING CONCRETE 8,595 SQ FT TOTAL
	EXISTING CURB AND GUTTER
	REMOVE EXISTING CURB AND GUTTER 1,565 LN FT TOTAL
	SAW CUT - 220 LN FT TOTAL
	SLOPE EASEMENT
	ABANDONED SEWER LINE 336 LN FT TOTAL
	ABANDONED WATER LINE 558 LN FT TOTAL

- DEMOLITION NOTES:**
- Demolition shall include removal of all Foundations, Footings, Cables, Wires, Pipes, Roots, Etc. Associated with all surface or subsurface items subject to demolition. All items subject to demolition shall be hauled to a landfill approved by the Engineer. Bidders shall satisfy themselves of all work involved in the removal of all items subject to demolition. Submission of a bid shall constitute incontrovertible evidence that bidder understands and has included in his bid all items affecting cost, progress or performance of the work.
 - Edges of Asphalt or Concrete subject to removal shall be saw cut vertically through the entire depth of the pavement structure.
 - Removal and replacement of existing concrete curb and sidewalk at curb stops shall be limited to two segments defined by existing control joints. The contractor is responsible to protect adjacent concrete curb and sidewalk during construction. Any adjacent curb or sidewalk segments damaged during construction will be replaced at the sole expense of the Contractor, with no adjustment in price.

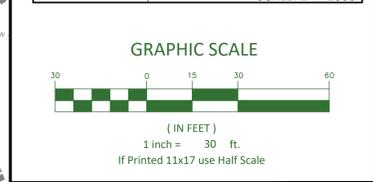
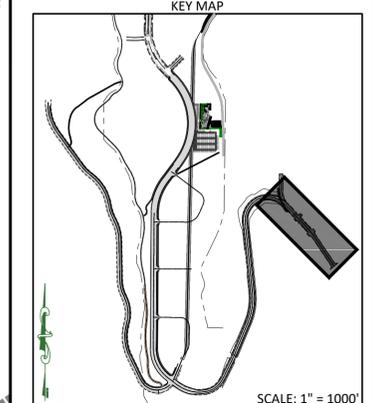
- DUST CONTROL NOTES**
- THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:
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Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Demo OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

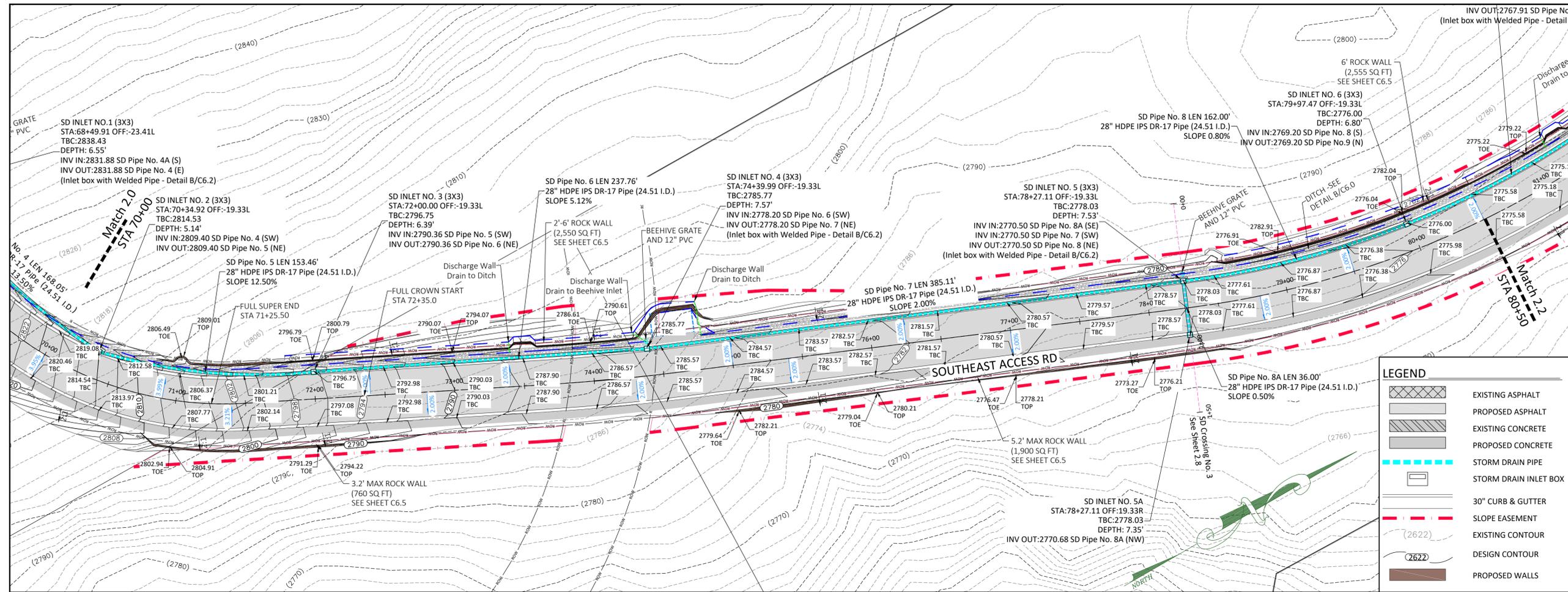
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**EAST ACCESS
DEMOLITION**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

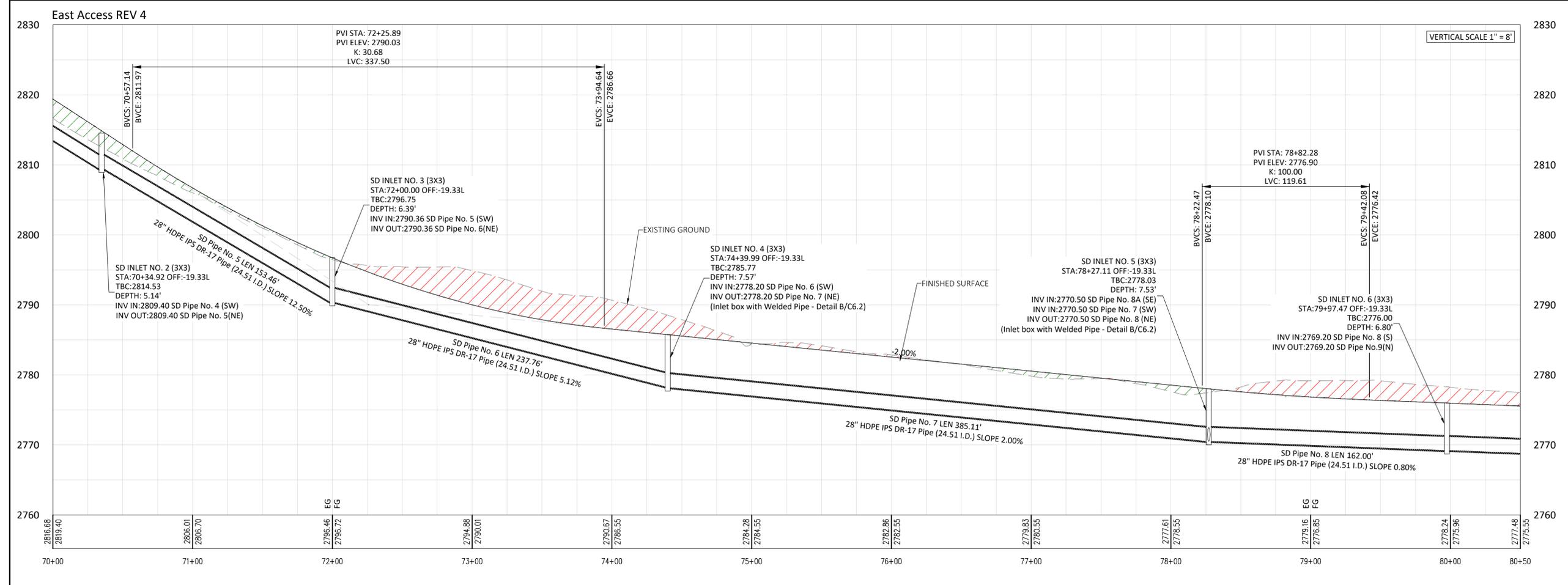
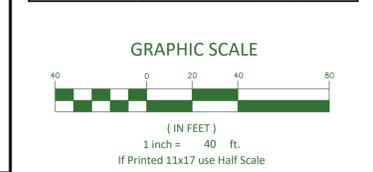
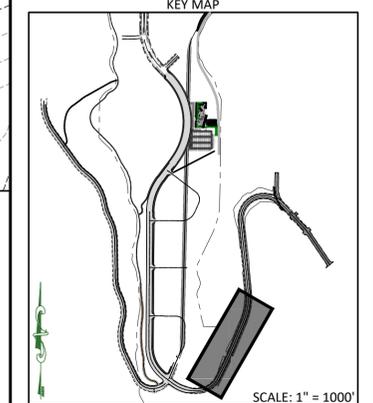
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Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C1.5	
Sheet 6 of 41	Sheets



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060

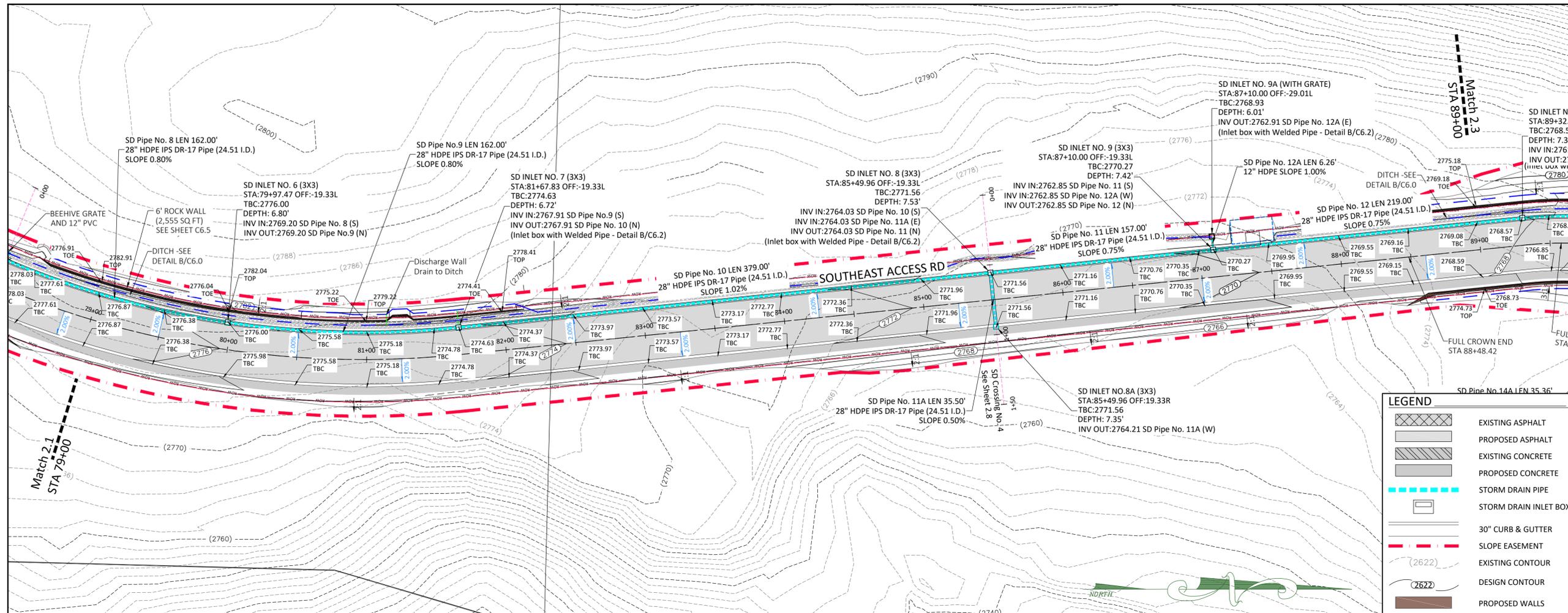
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

SOUTHEAST ACCESS ROAD GRADING AND STORM DRAIN PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

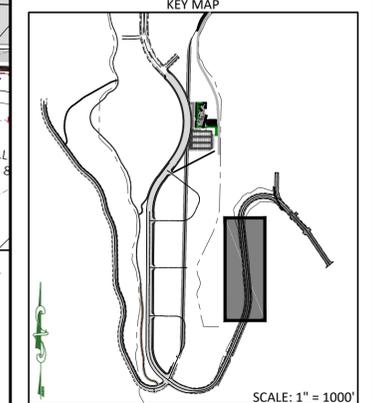
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Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C2.1	
Sheet 8 of 41	Sheets



Date: 10-19-2023

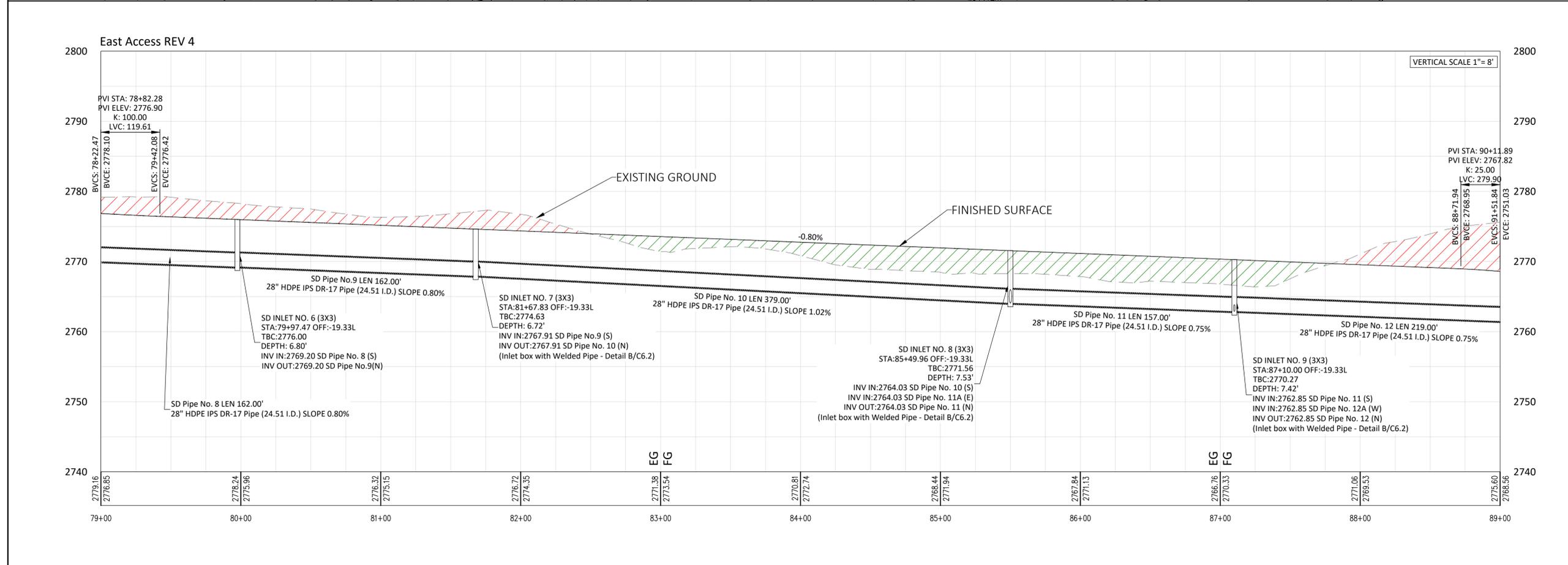
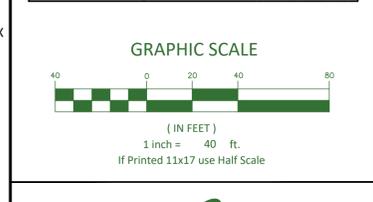
REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



LEGEND

	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	STORM DRAIN PIPE
	STORM DRAIN INLET BOX
	30" CURB & GUTTER
	SLOPE EASEMENT
	EXISTING CONTOUR
	DESIGN CONTOUR
	PROPOSED WALLS



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

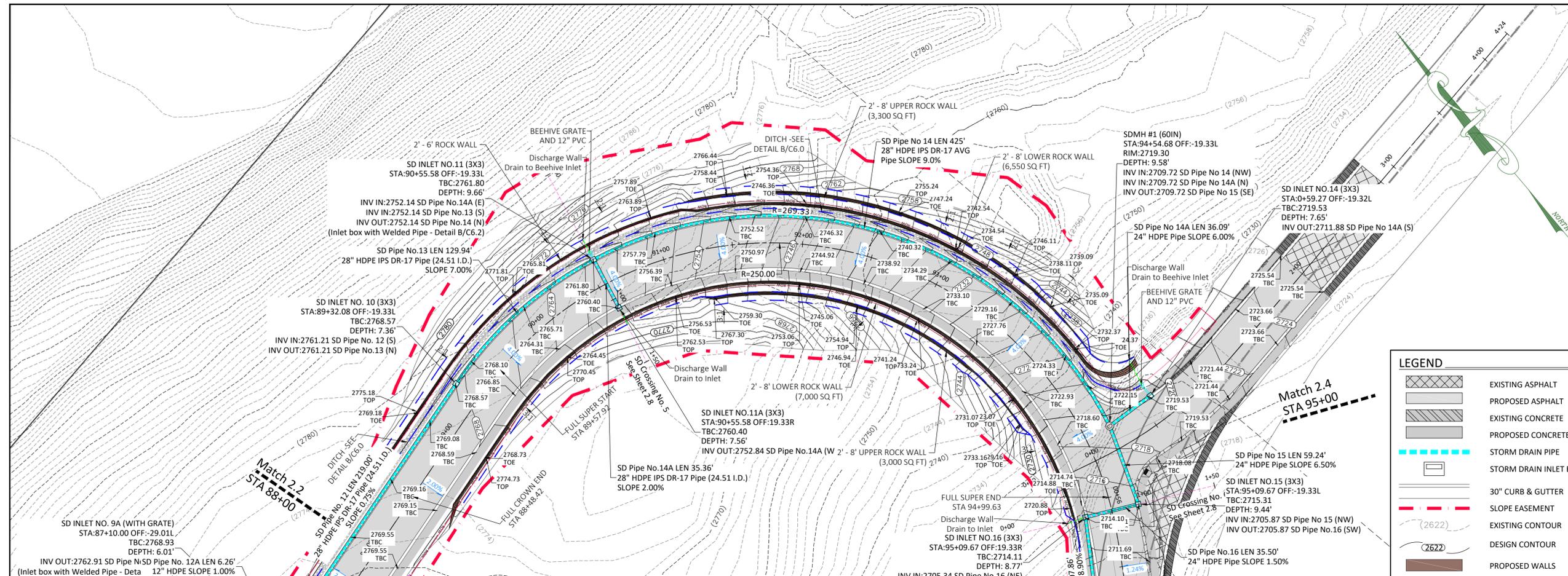
UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780, 435-673-8060
NORTH DAKOTA: 621 26TH STREET W, WILLISTON, ND 58801, 701-572-8100

SOUTHEAST ACCESS ROAD GRADING AND STORM DRAIN PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

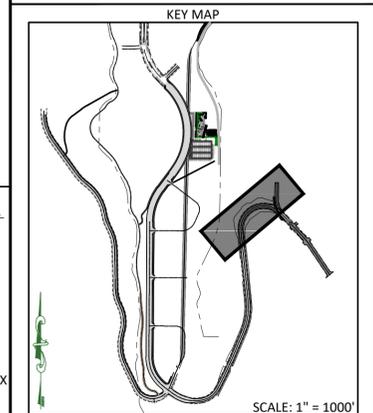
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Sheet 9	of 41 Sheets



Date: 10-19-2023

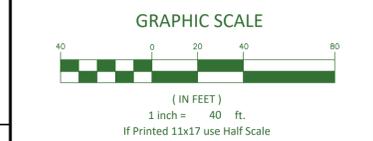
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No.	Date	by	Description

File Name: East Access OPT 2.dwg

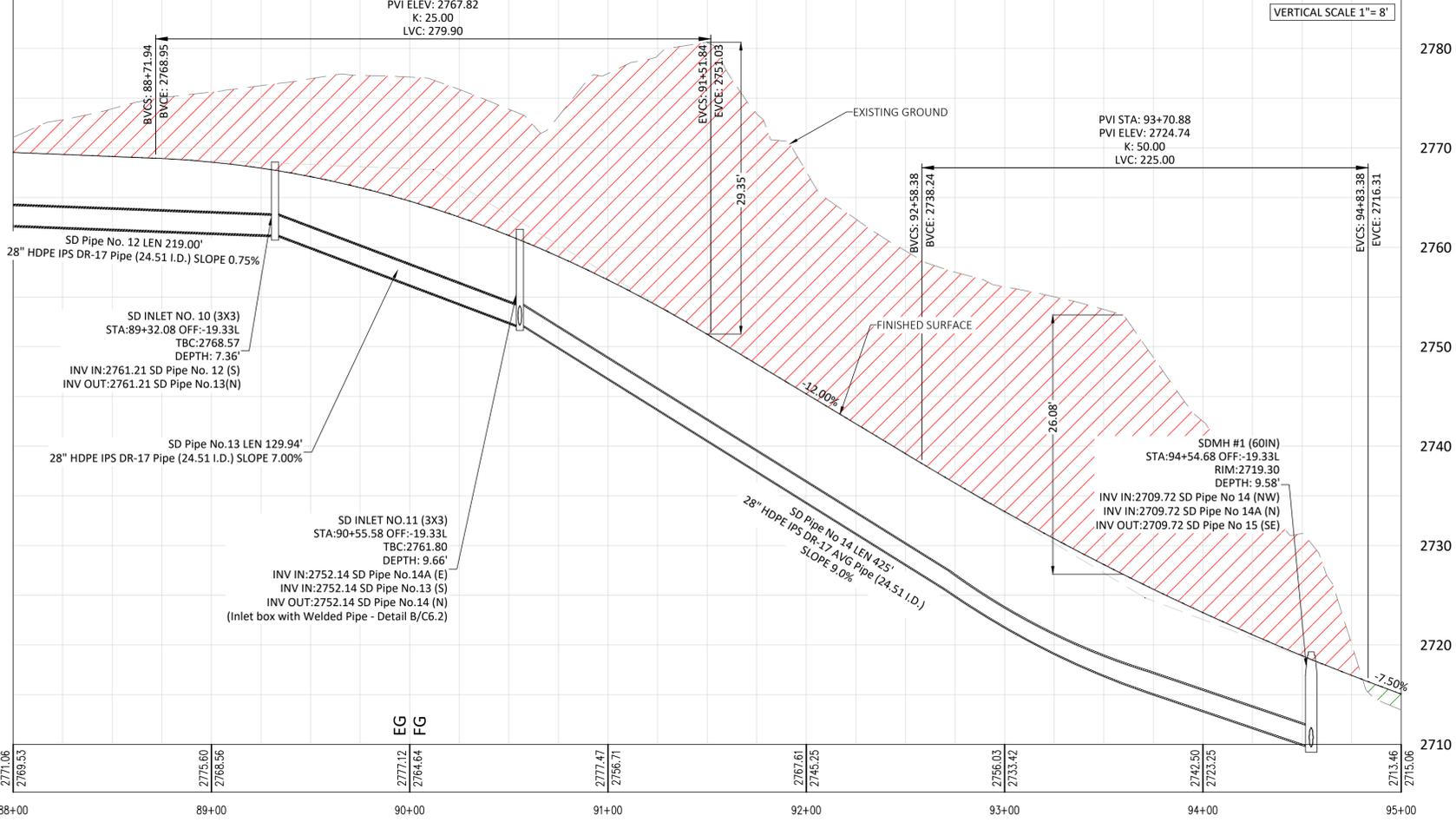


LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING CONCRETE
- PROPOSED CONCRETE
- STORM DRAIN PIPE
- STORM DRAIN INLET BOX
- 30" CURB & GUTTER
- SLOPE EASEMENT
- EXISTING CONTOUR
- DESIGN CONTOUR
- PROPOSED WALLS



East Access REV 4



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

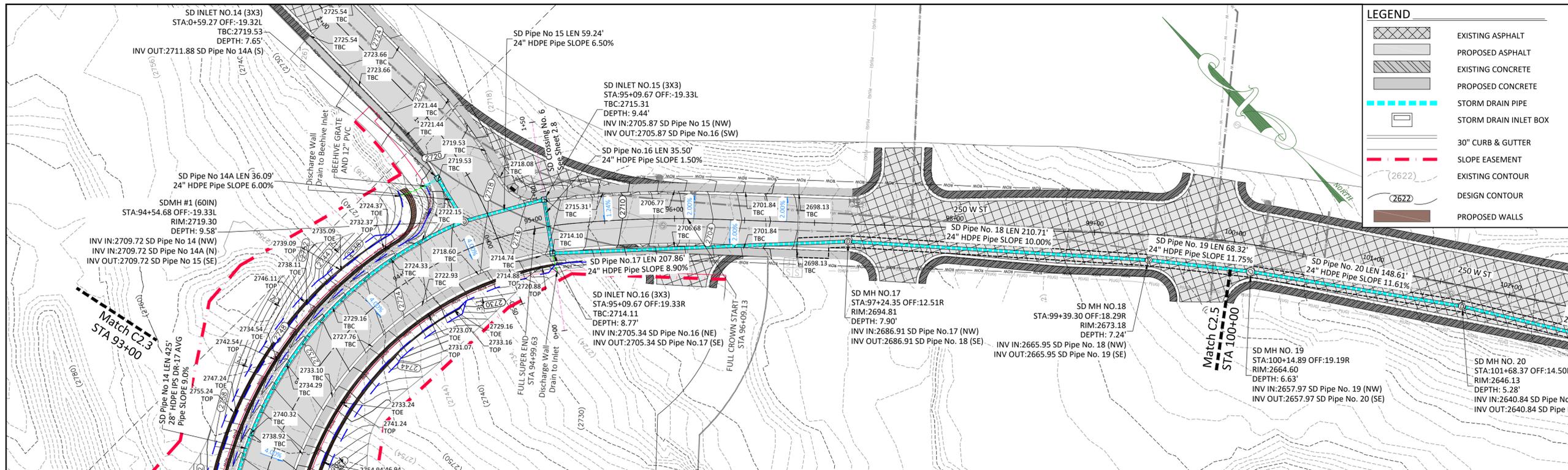
UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780, 435-673-8060
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801, 701-572-8100

SOUTHEAST ACCESS ROAD GRADING AND STORM DRAIN PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

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Sheet 10 of 41	Sheets



LEGEND

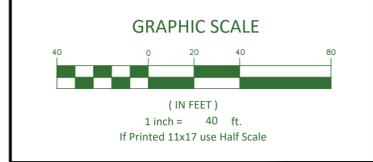
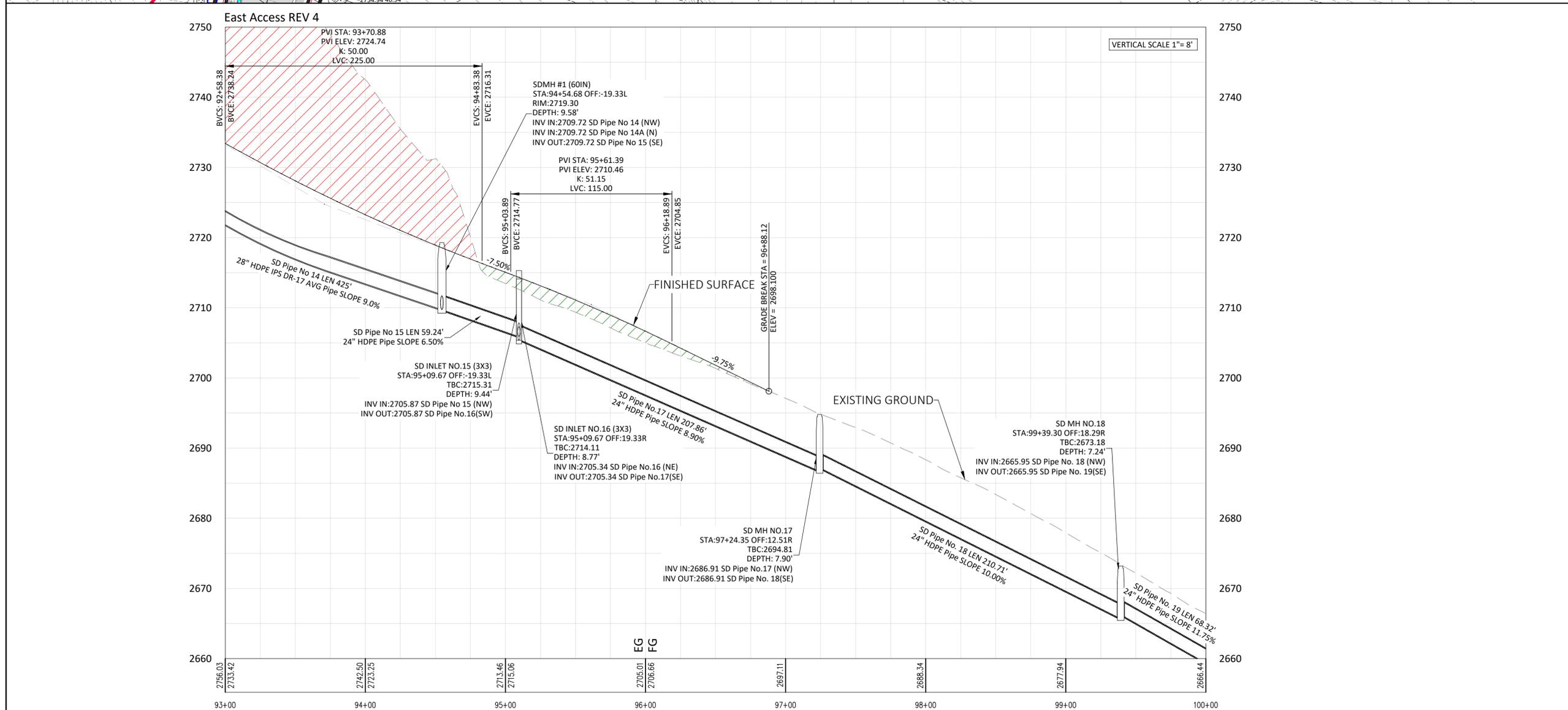
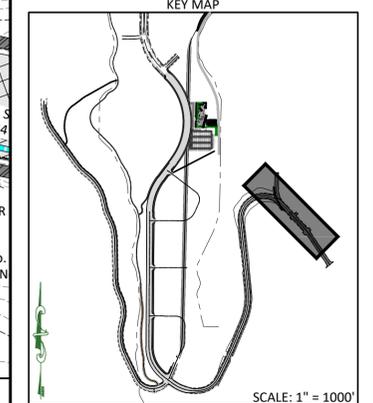
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	PROPOSED ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	STORM DRAIN PIPE
	STORM DRAIN INLET BOX
	30" CURB & GUTTER
	SLOPE EASEMENT
	EXISTING CONTOUR
	DESIGN CONTOUR
	PROPOSED WALLS

Date: 10-19-2023

REVISIONS

No.	Date	by	Description

File Name: East Access OPT 2.dwg



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A PLANNING AND ENGINEERING FIRM

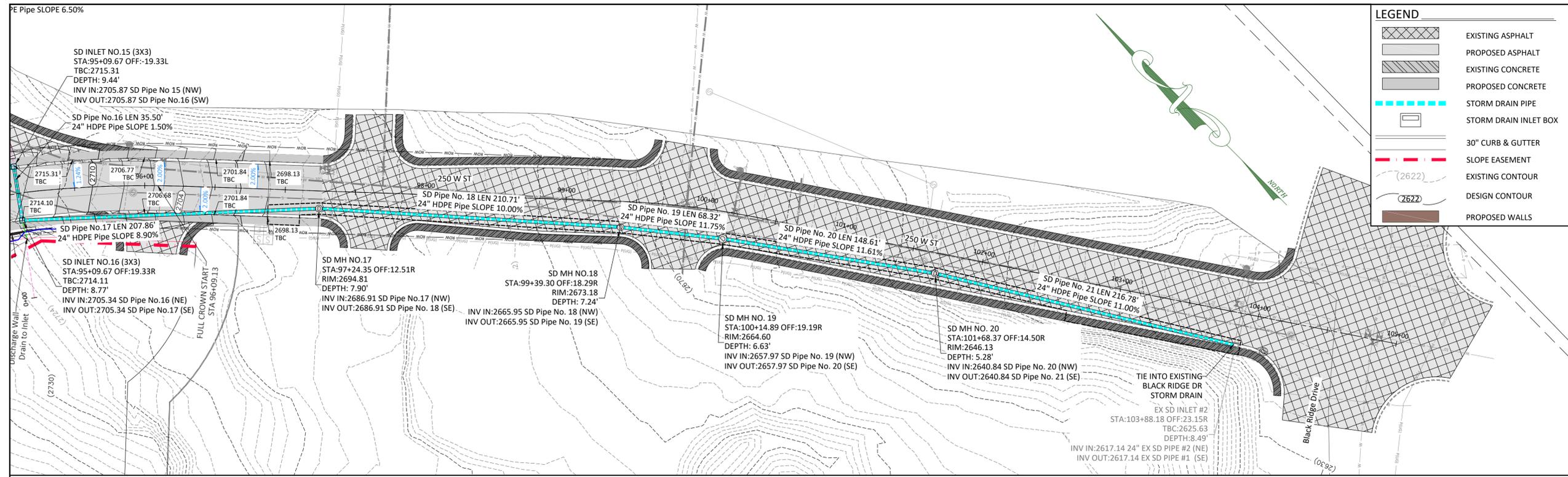
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NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801, 701-572-8100

SOUTHEAST ACCESS ROAD GRADING AND STORM DRAIN PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

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Sheet 11 of 41	Sheets

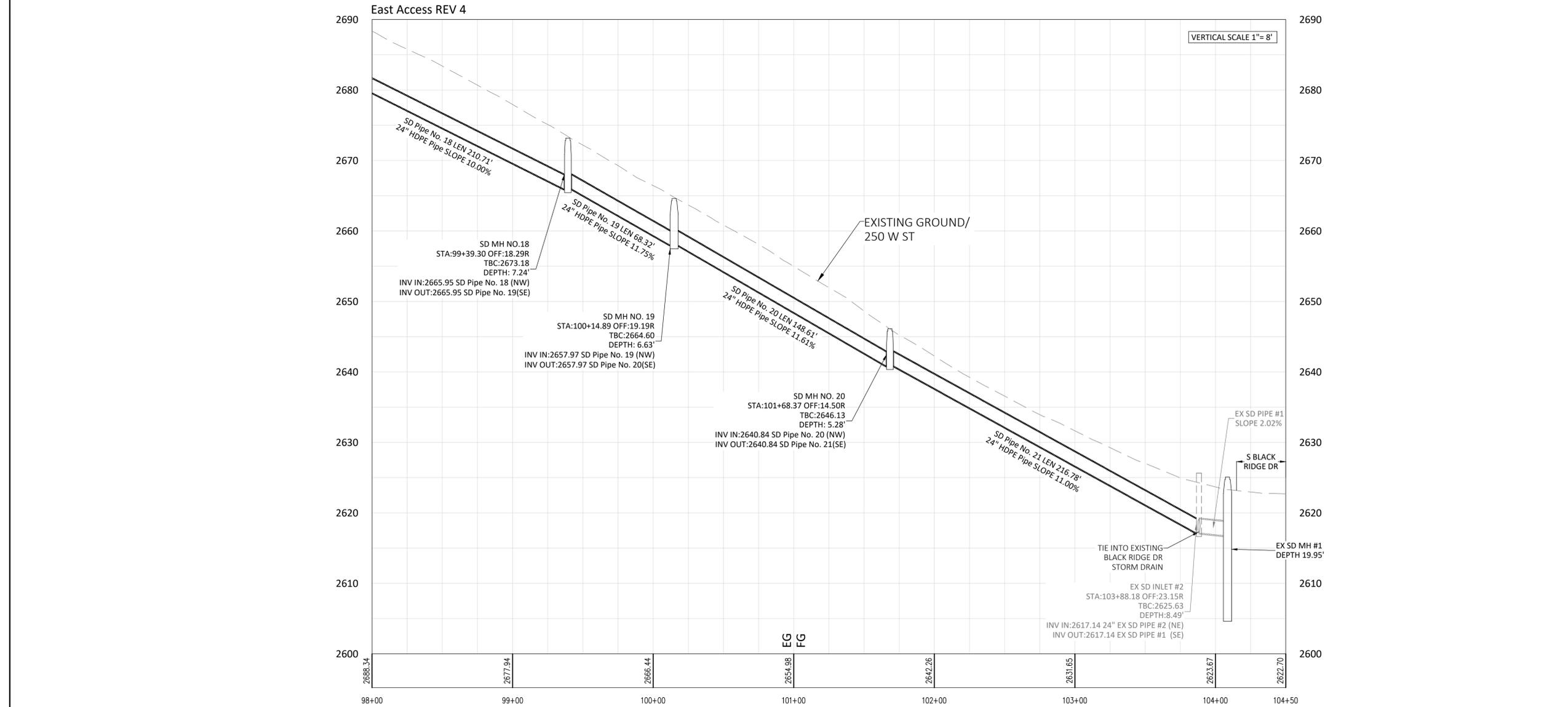


Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg

SCALE: 1" = 1000'



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A PLANNING AND ENGINEERING FIRM

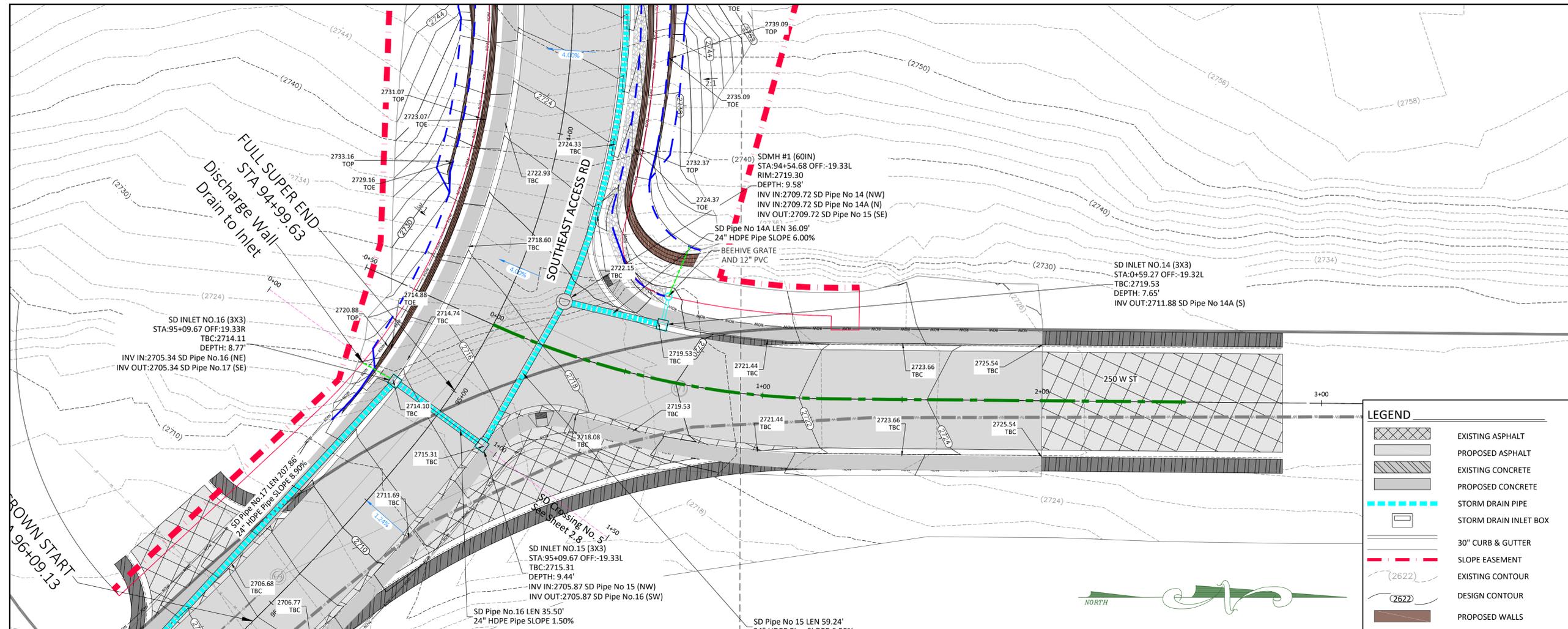
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NORTH DAKOTA: 621 26TH STREET W., WILLISTON, ND 58801, 701-572-8100

SOUTHEAST ACCESS ROAD GRADING AND STORM DRAIN PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

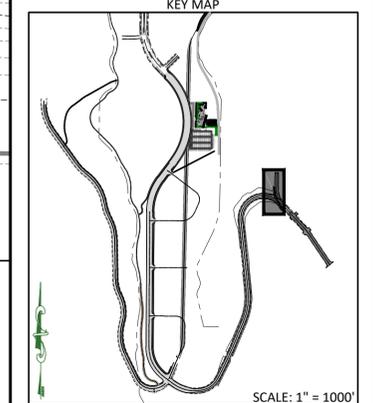
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Sheet 12 of 41	Sheets



Date: 10-19-2023

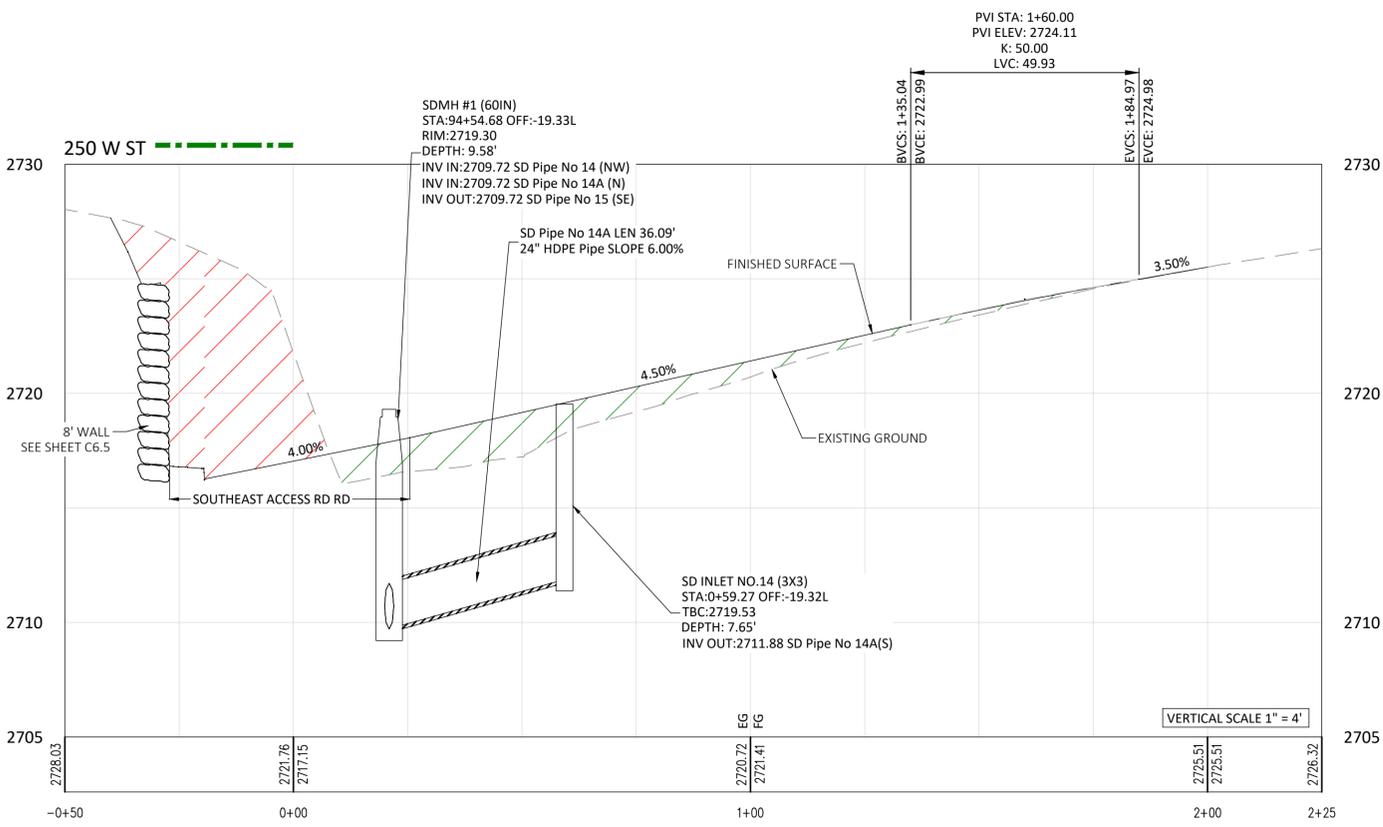
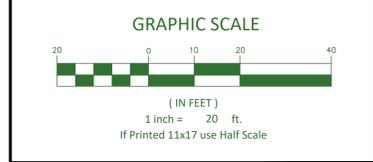
REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



LEGEND

	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING CONCRETE
	PROPOSED CONCRETE
	STORM DRAIN PIPE
	STORM DRAIN INLET BOX
	30" CURB & GUTTER
	SLOPE EASEMENT
	EXISTING CONTOUR
	DESIGN CONTOUR
	PROPOSED WALLS



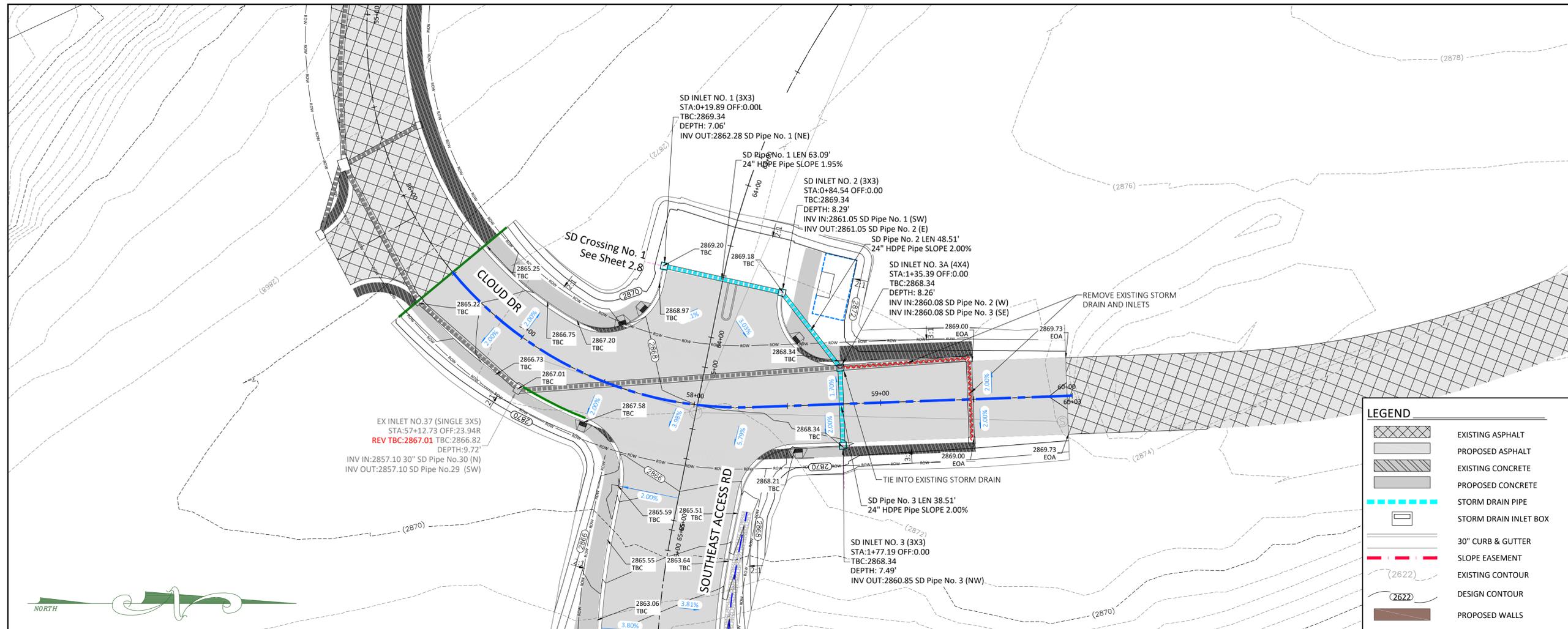
ALLIANCE CONSULTING
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UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780, 435-673-8060
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801, 701-572-8100

250 WEST STREET ALTERATION PLAN AND PROFILE
FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

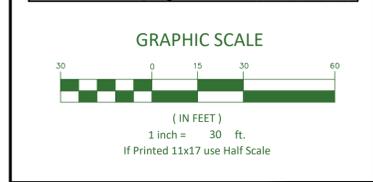
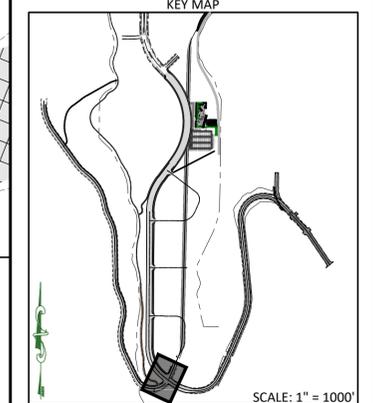
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Sheet 13 of 41	Sheets



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



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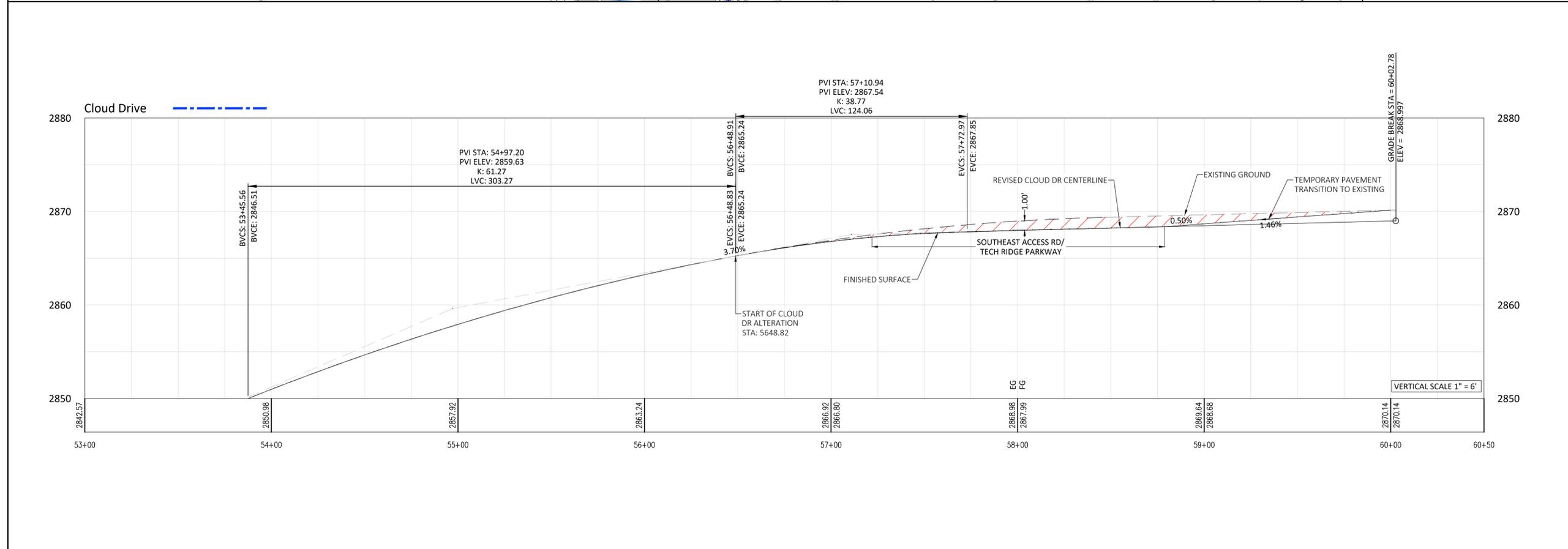
UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

CLOUD DRIVE ALTERATION GRADING PLAN AND PROFILE

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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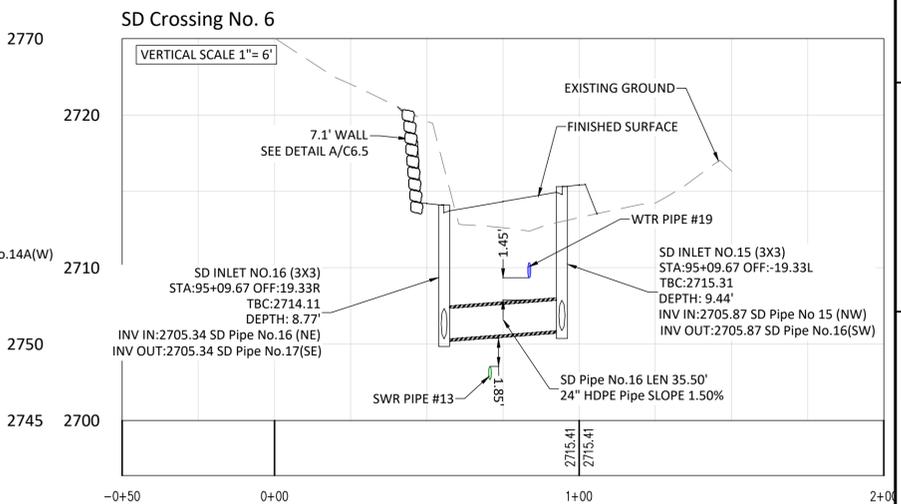
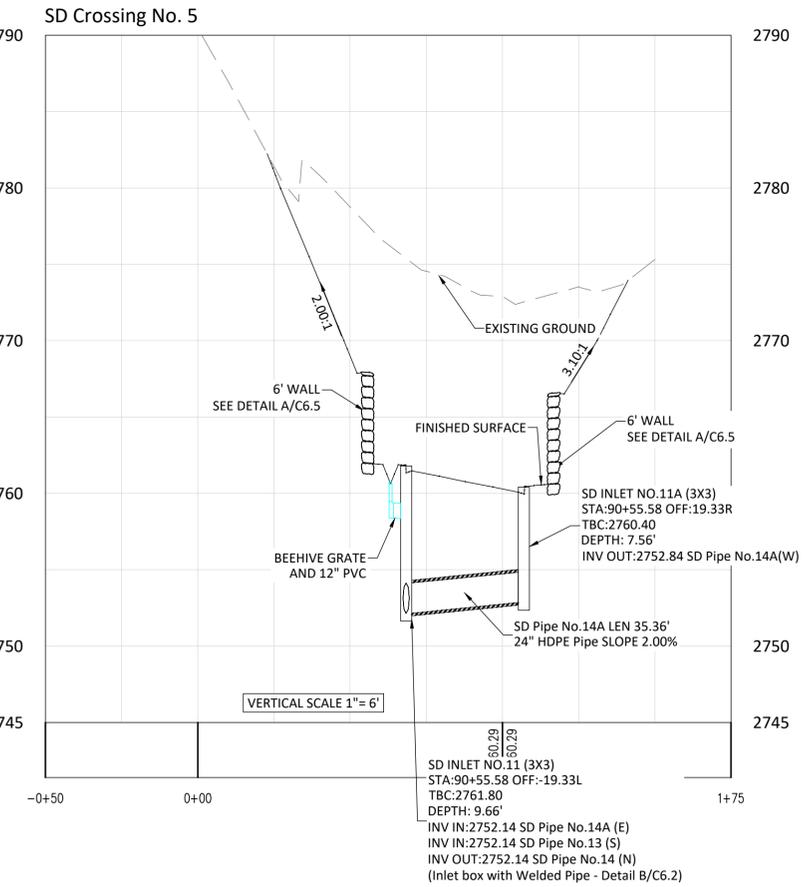
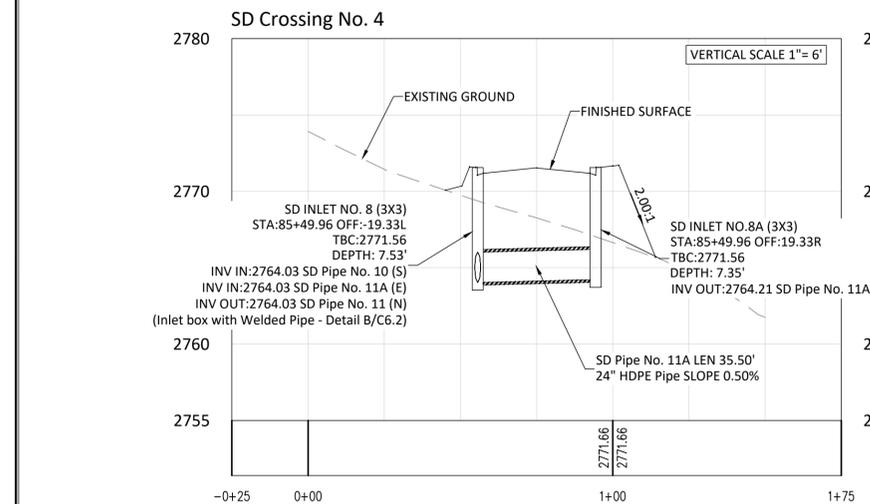
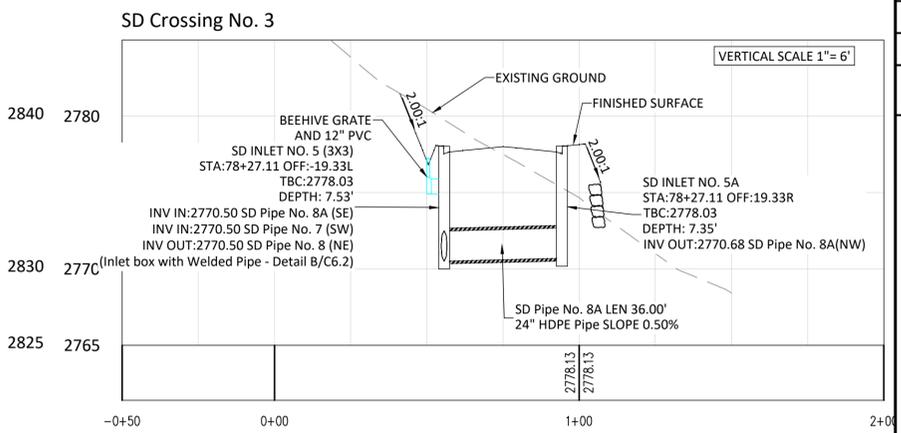
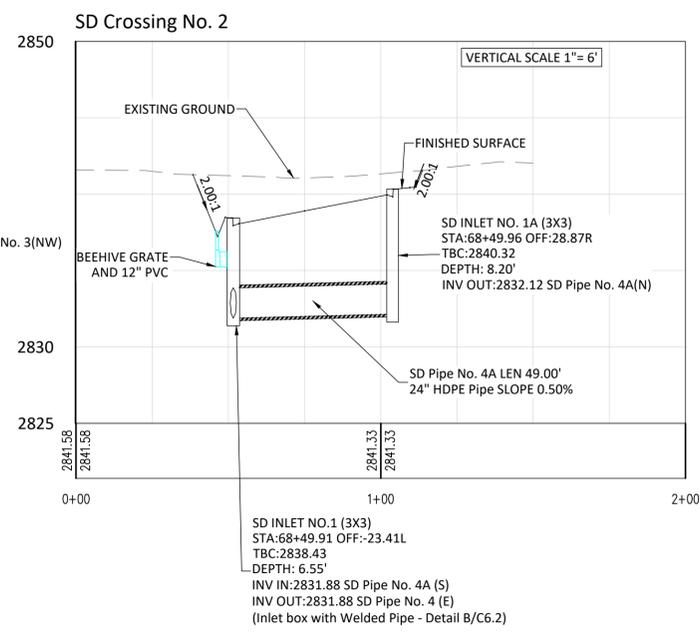
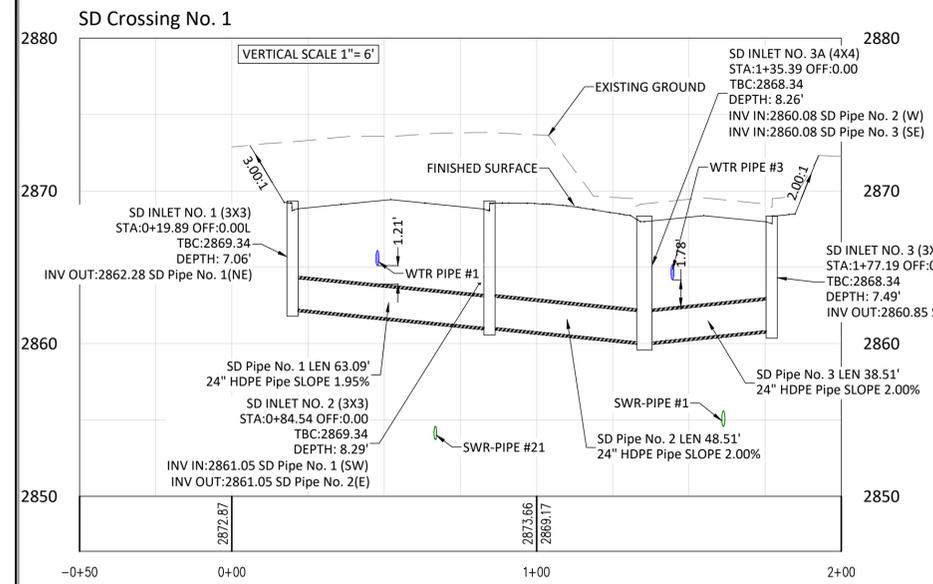


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C2.7	
Sheet 14	of 41 Sheets

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



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UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060
 NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

**SOUTHEAST ACCESS RD
 STORM DRAIN CROSSINGS**

FOR
CITY OF ST. GEORGE
 LOCATED IN SEC 36
 T 42 SOUTH, R 15 WEST SLB&M
 CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

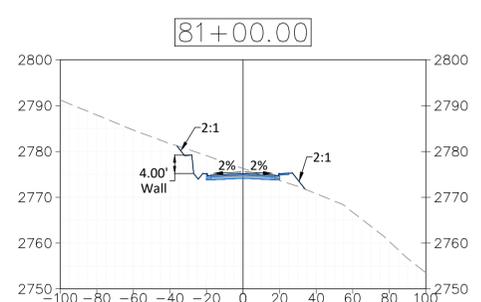
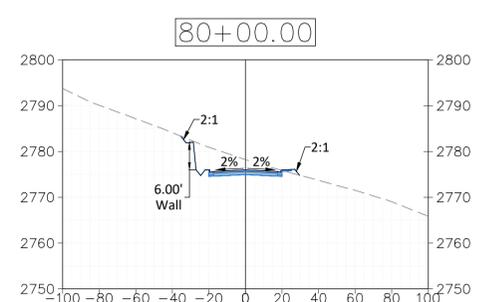
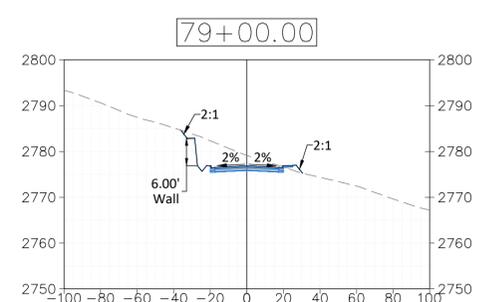
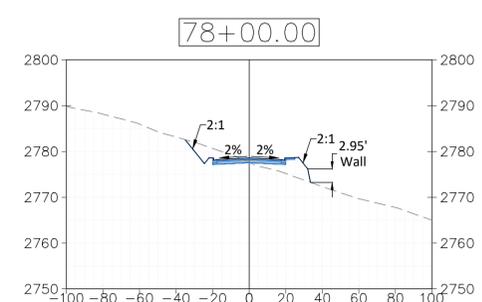
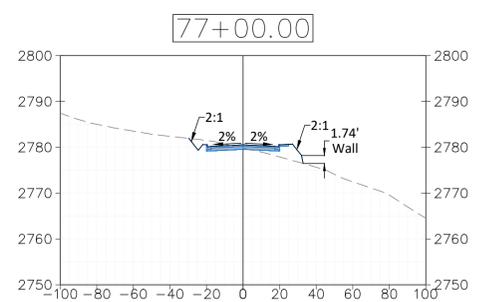
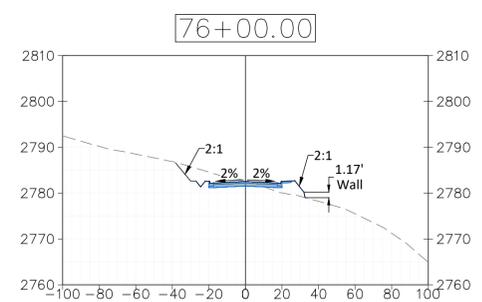
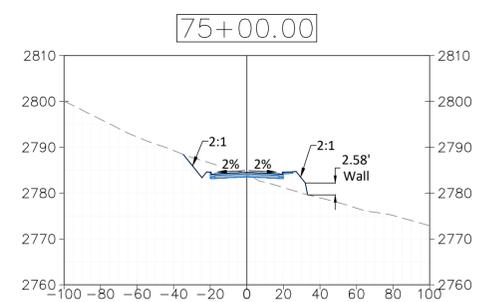
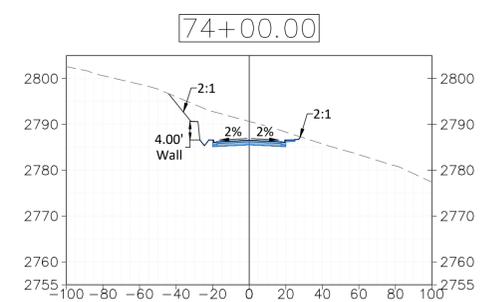
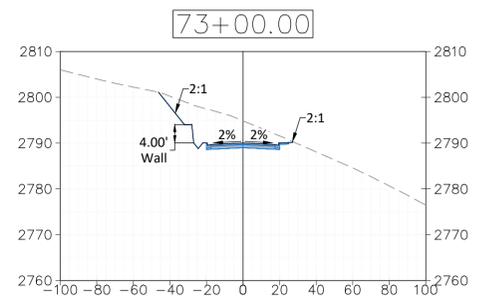
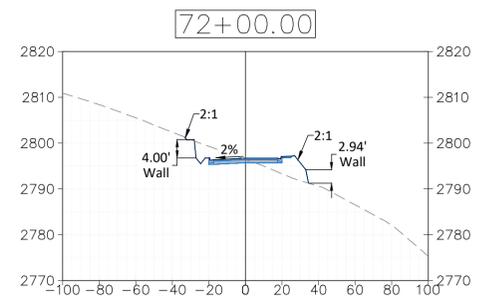
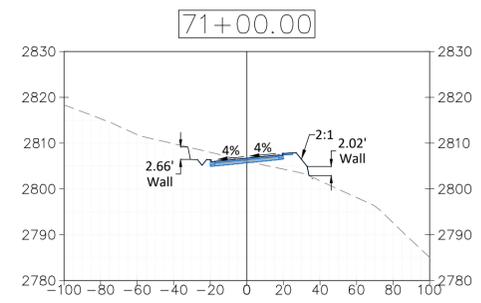
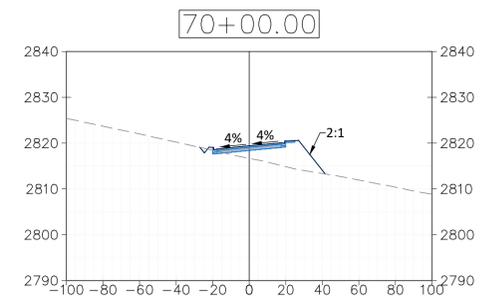
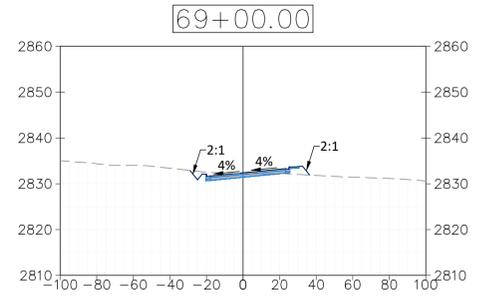
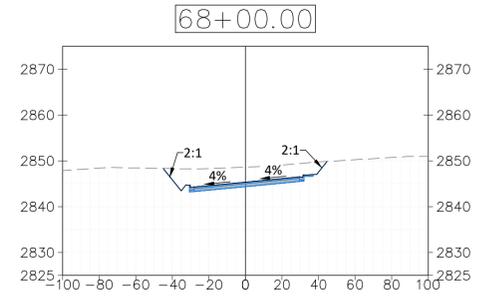
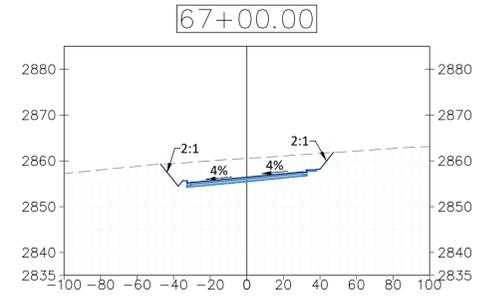
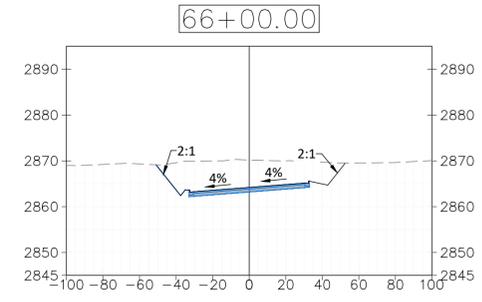
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Sheet 15 of 41	Sheets

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg




ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

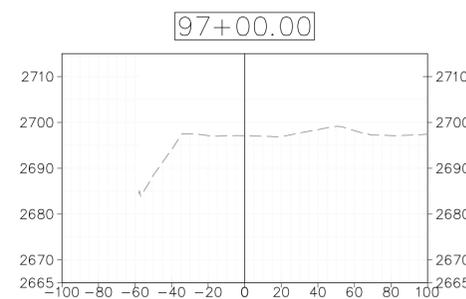
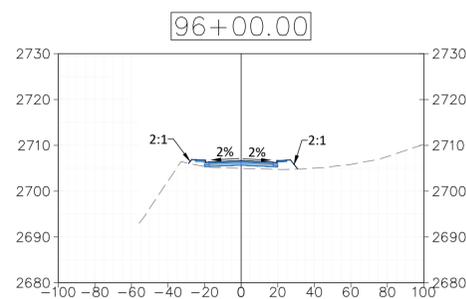
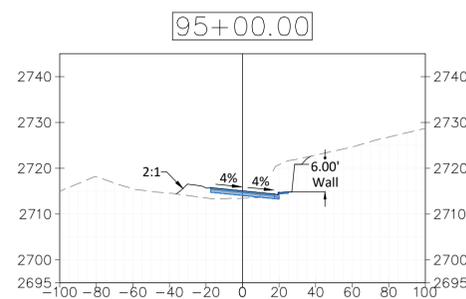
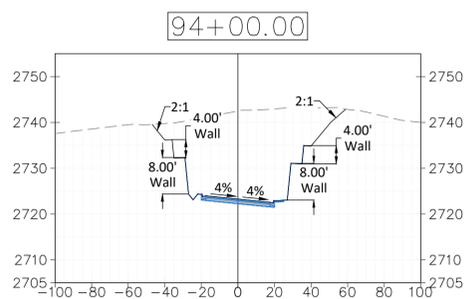
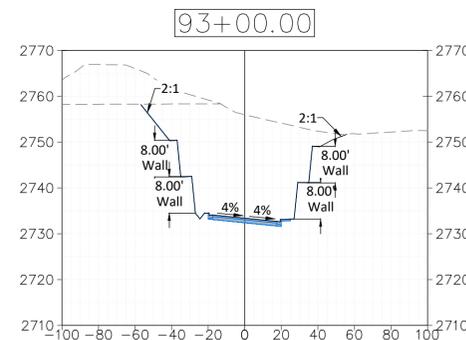
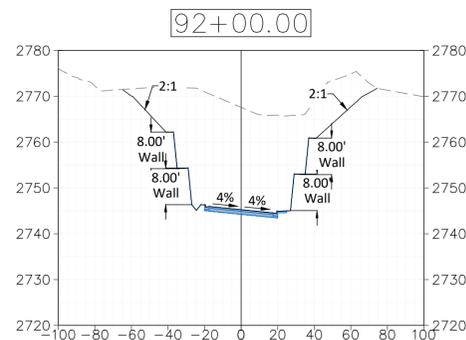
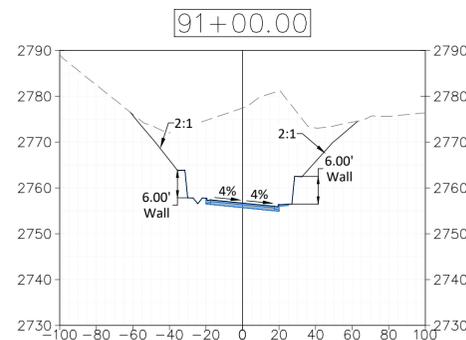
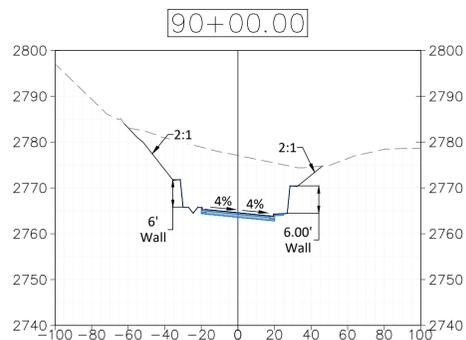
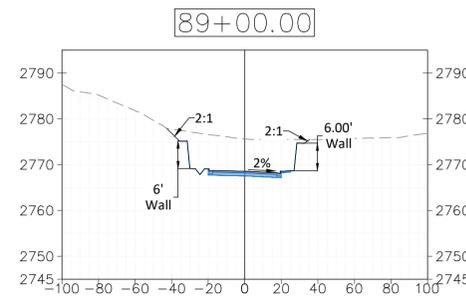
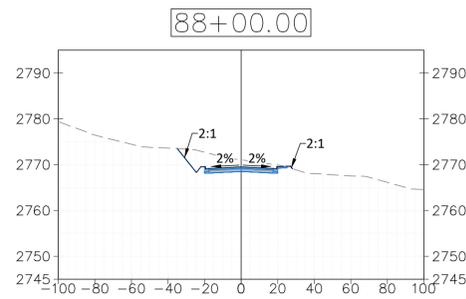
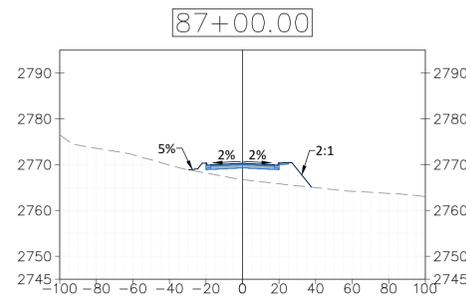
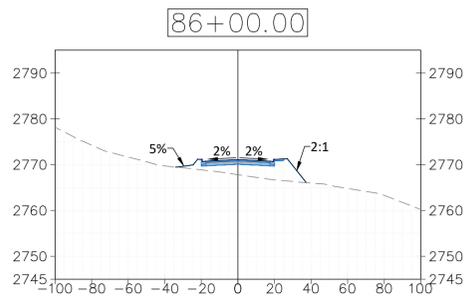
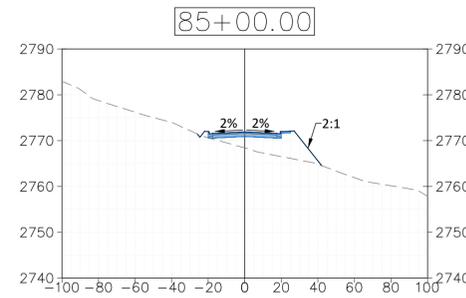
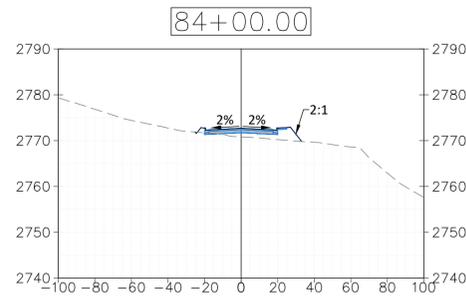
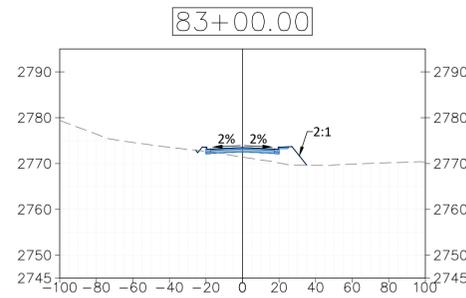
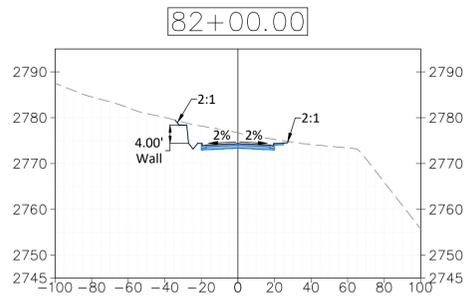
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS
GRADING CROSS SECTIONS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
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C2.9	
Sheet 16	of 41 Sheets



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

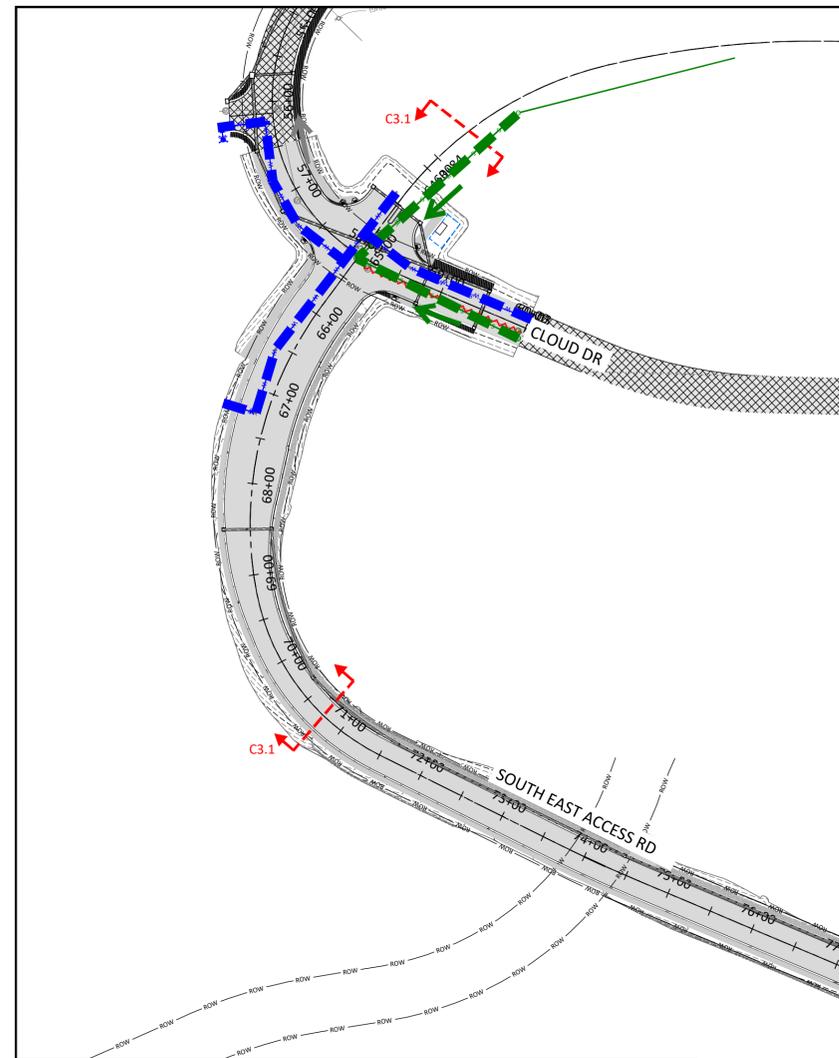
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS RD
GRADING CROSS SECTIONS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
Drawing Sheet C2.10	
Sheet 17 of 41	Sheets



- ### CITY OF ST. GEORGE WATER NOTES:
- ALL WATERLINE WORKS MUST BE INSTALLED BY A CONTRACTOR THAT HAS BEEN PRE-QUALIFIED BY THE CITY OF ST. GEORGE WATER DEPARTMENT.
 - ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF ST. GEORGE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF ST. GEORGE.
 - CONTRACTOR SHALL POTHOLE ALL PIPELINES AND VERIFY LOCATION AND DEPTH PRIOR TO PROCEEDING WITH ANY BUILDING OR PIPELINE CONSTRUCTION. IF THE IN-FIELD CONDITION VARIES FROM DESIGN THE CONTRACTOR IS RESPONSIBLE FOR COSTS DUE TO CHANGES IN CONDITION. CITY MAPS ARE "BEST KNOWLEDGE" AND APPROXIMATE.
 - THE POTABLE WATER SUPPLY TO LAWN IRRIGATION SYSTEMS SHALL BE PROTECTED AGAINST BACKFLOW PER THE "INTERNATIONAL PLUMBING CODE (IPC)" SECTION 608.16.5 AND FIRE SPRINKLER SYSTEMS PER (IPC) 608.16.4.
 - ALL BACKFLOW ASSEMBLY INSTALLATION AND TEST REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE CITY OF ST. GEORGE BACKFLOW ORDINANCE 9-1-1997-5-6-5.
 - 12 GAUGE WIRE SHALL BE TAPED TO ALL WATER LINES FOR LOCATING PURPOSES. THE WIRE SHALL ALSO BE BROUGHT UP AT EACH VALVE BOX AND HYDRANT.
 - THRUST RESTRAINT ON THE NEW PIPELINE WILL BE AS SHOWN ON THE DETAILS. USE MEGA-LUG ON THE FITTINGS AND FIELD LOCK GASKETS ON THE REQUIRED LENGTH OF RESTRAINED PIPE.
 - ASPHALT REPLACED OVER THE PIPE TRENCHING IS TO MATCH EXISTING PAVEMENT DEPTHS WITH A 6" OVER CUT FROM EDGE OF THE TRENCH ON EACH SIDE OF THE TRENCH.
 - CONTRACTORS SHALL CUT OFF AND CAP (BACK AT THE WATER MAIN), ALL EXISTING SERVICE LINES OR UNUSED STUB LINES THAT WILL BE ABANDONED.
 - ANY CHANGES MADE IN THE FIELD MUST BE FIRST APPROVED AND DOCUMENTED BY THE CITY OF ST. GEORGE WATER SERVICES REPRESENTATIVE.
 - ALL NEW FIRE HYDRANTS SHALL BE INSTALLED AT THE CORRECT HEIGHT. RISERS WILL NOT BE ALLOWED.
 - IRRIGATION WATER WORKS MAY REQUIRE ADDITIONAL APPROVALS FROM RESPECTIVE IRRIGATION COMPANIES.

- ### GENERAL WATER NOTES:
- ALL WATER PIPE SHALL BE PVC C-900 CLASS 150, UNLESS OTHERWISE NOTED.
 - ALL WATER LINES SHALL MAINTAIN 1 FOOT MINIMUM SEPARATION BETWEEN ADJACENT WATER PIPES.
 - ALL WATER FITTINGS SHALL BE APPROVED BY ST. GEORGE CITY PUBLIC WORKS PRIOR TO PURCHASE AND INSTALLATION.
 - BACKFILL MATERIALS SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN DETAIL.
 - BEDDING MATERIALS SHALL BE PLACED AND COMPACTED IN HORIZONTAL LIFTS NOT TO EXCEED 6-IN IN COMPACTED THICKNESS. INITIAL BACKFILL MATERIALS SHALL BE PLACED CAREFULLY IN 8-IN NON-COMPACTED HORIZONTAL LIFTS AND COMPACTED TO A DEPTH OF 12-IN ABOVE THE TOP OF THE PIPE. FINAL BACKFILL MATERIALS SHALL BE PLACED IN 8" LOOSE AND 6" COMPACTED HORIZONTAL LIFTS UP TO THE EXISTING GROUND SURFACE.
 - PRIOR TO AND DURING COMPACTION OPERATIONS, ALL BACKFILL MATERIAL SHALL HAVE THE REQUIRED MOISTURE CONTENT UNIFORM THROUGHOUT EACH LAYER.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING PRESSURE TESTING, FOR FLUSHING AND DISINFECTING THE ENTIRE WATER DISTRIBUTION SYSTEM AS PER ST. GEORGE CITY SPECIFICATIONS.

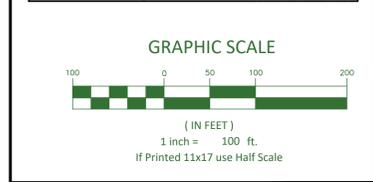
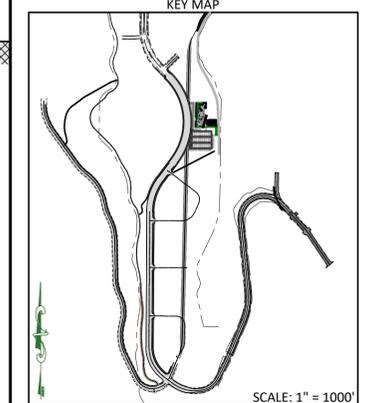
LEGEND

	EXISTING ASPHALT
	PROPOSED NEW ASPHALT
	PROPOSED CONCRETE
	24" CURB & GUTTER
	PROPOSED SEWER LINE
	EXISTING SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	VALVE CAN
NEW	EXISTING
	FIRE HYDRANTS
	WATER VALVES

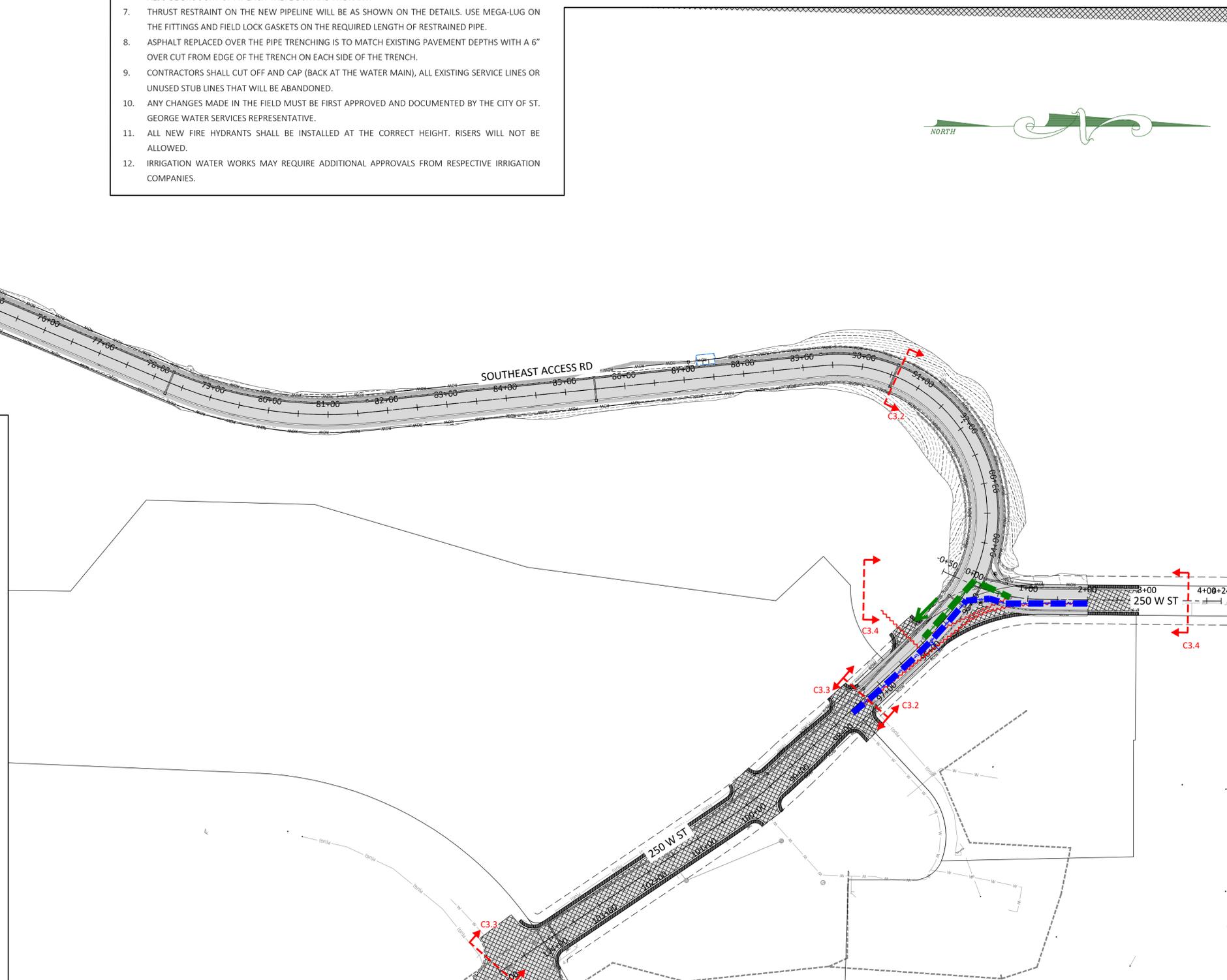
Date: 10-19-2023

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No.	Date	by	Description

File Name: East Access SWR & WTR OPT 2.dwg



- ### CITY OF ST. GEORGE SEWER NOTES
- NO SEWERS UNDER 9' DEEP UNLESS APPROVED BY THE CITY OF ST. GEORGE.
 - ANY SEWERS NOT IN PUBLIC STREETS SHALL SHOW RECORDED EASEMENTS.
 - BUILDINGS MAY REQUIRE INTERCEPTORS AT LATER DATE.
 - ALL SEWER MANHOLES SHALL HAVE "CITY OF ST. GEORGE" LOGO LIDS FOR FINAL INSPECTION.
 - 100' MAXIMUM SPACE BETWEEN SEWER LATERAL CLEANOUTS.
 - ALL CONSTRUCTION SHALL CONFORM TO THE "CITY OF ST. GEORGE STANDARD SPECIFICATIONS FOR DESIGN AND CONSTRUCTION", "THE INTERNATIONAL PLUMBING CODE", AND THE "UNIFORM BUILDING CODE" LATEST EDITION AS ADMINISTERED BY THE CITY OF ST. GEORGE.
- ### GENERAL SEWER NOTES
- BACKFILL MATERIALS SHALL CONFORM TO THE REQUIREMENTS OUTLINED IN DETAIL.
 - BEDDING MATERIALS SHALL BE PLACED AND COMPACTED IN HORIZONTAL LIFTS NOT TO EXCEED 6-IN IN COMPACTED THICKNESS. INITIAL BACKFILL MATERIALS SHALL BE PLACED CAREFULLY IN 8-IN NON-COMPACTED HORIZONTAL LIFTS AND COMPACTED TO A DEPTH OF 12-IN ABOVE THE TOP OF THE PIPE. FINAL BACKFILL MATERIALS SHALL BE PLACED IN 8" LOOSE AND 6" COMPACTED HORIZONTAL LIFTS UP TO THE EXISTING GROUND SURFACE.
 - MINIMUM COMPACTION SHALL BE 95%. WHEN APPROVED FLOWABLE FILL OR SLURRY IS USED, COMPACTION TESTING WILL NOT BE REQUIRED.
 - PRIOR TO AND DURING COMPACTION OPERATIONS, ALL BACKFILL MATERIAL SHALL HAVE THE REQUIRED MOISTURE CONTENT UNIFORM THROUGHOUT EACH LAYER.
 - THE CONTRACTOR IS RESPONSIBLE FOR CONDUCTING DISPLACEMENT, AIR OR EX-FILTRATION AND DEFLECTION TESTING ON ALL NEWLY INSTALLED SEWER PIPE. THE CONTRACTOR IS ALSO RESPONSIBLE FOR CONDUCTING LEAKAGE TESTS ON ALL NEWLY INSTALLED MANHOLES.
 - FOLLOWING INSPECTION, ALL NEWLY INSTALLED SEWER LINES AND MANHOLES SHALL BE FLUSHED BY THE CONTRACTOR.
 - CONTRACTOR IS RESPONSIBLE FOR ALL EXISTING WASTE WATER FLOW DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE ALL WASTE WATER FLOW IS TRANSPORTED DOWN STREAM DURING CONSTRUCTION.
 - THE CITY MUST APPROVE ALL MEANS AND METHODS PRIOR TO BEGINNING CONSTRUCTION WORK.
 - ALL SEWER PIPE ARE PVC 8" SDR-35 AND SIZE INDICATED ON THE PLAN, UNLESS OTHERWISE NOTED.
 - CONCRETE COLLARS ARE REQUIRED ON ALL MANHOLES.
 - ALL SEWER FITTINGS SHALL BE APPROVED BY THE CITY OF ST. GEORGE PRIOR TO PURCHASE AND INSTALLATION.
 - HDPE PIPE TO BE STUBBED A MINIMUM OF 6" INSIDE MANHOLES.



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A PLANNING AND ENGINEERING FIRM

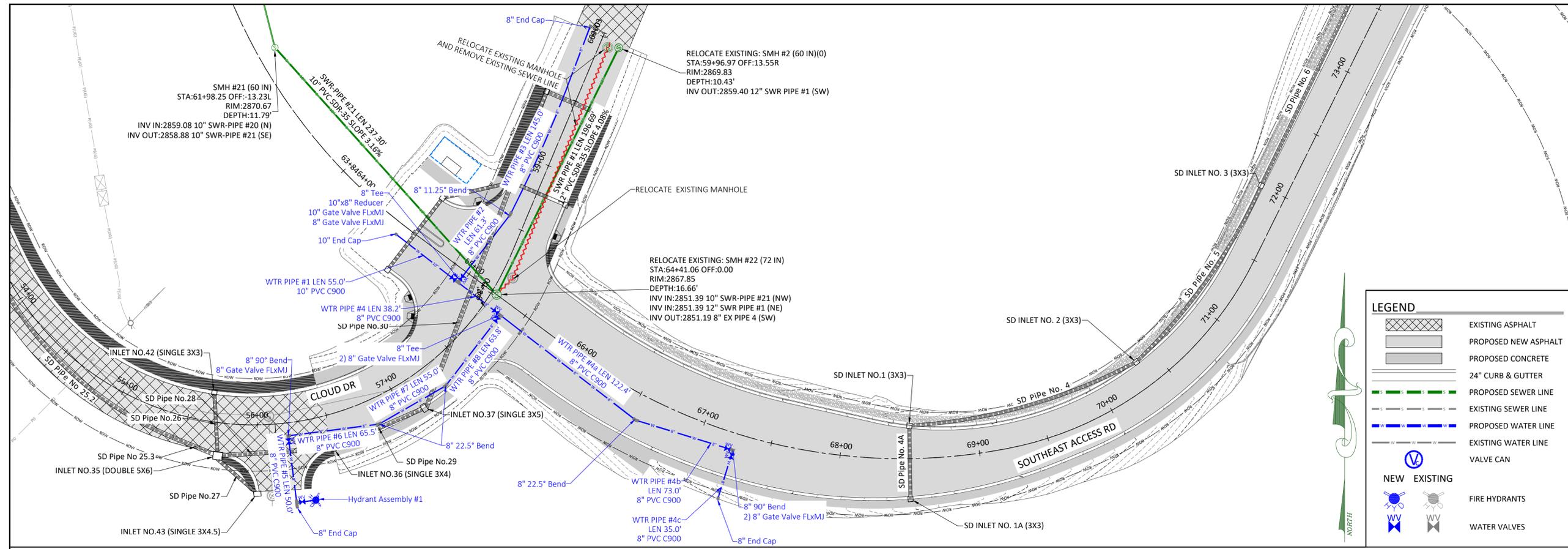
UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

**SOUTHEAST ACCESS RD
AT TECH RIDGE
SEWER AND WATER OVERALL**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 42 NORTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

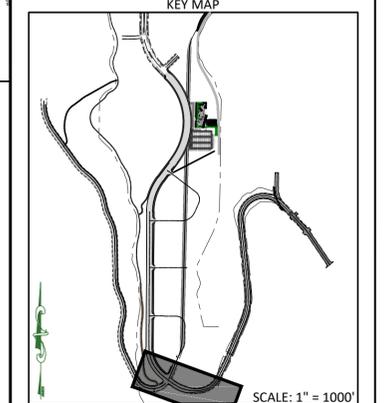
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Sheet 18 of 41	Sheets



Date: 10-19-2023

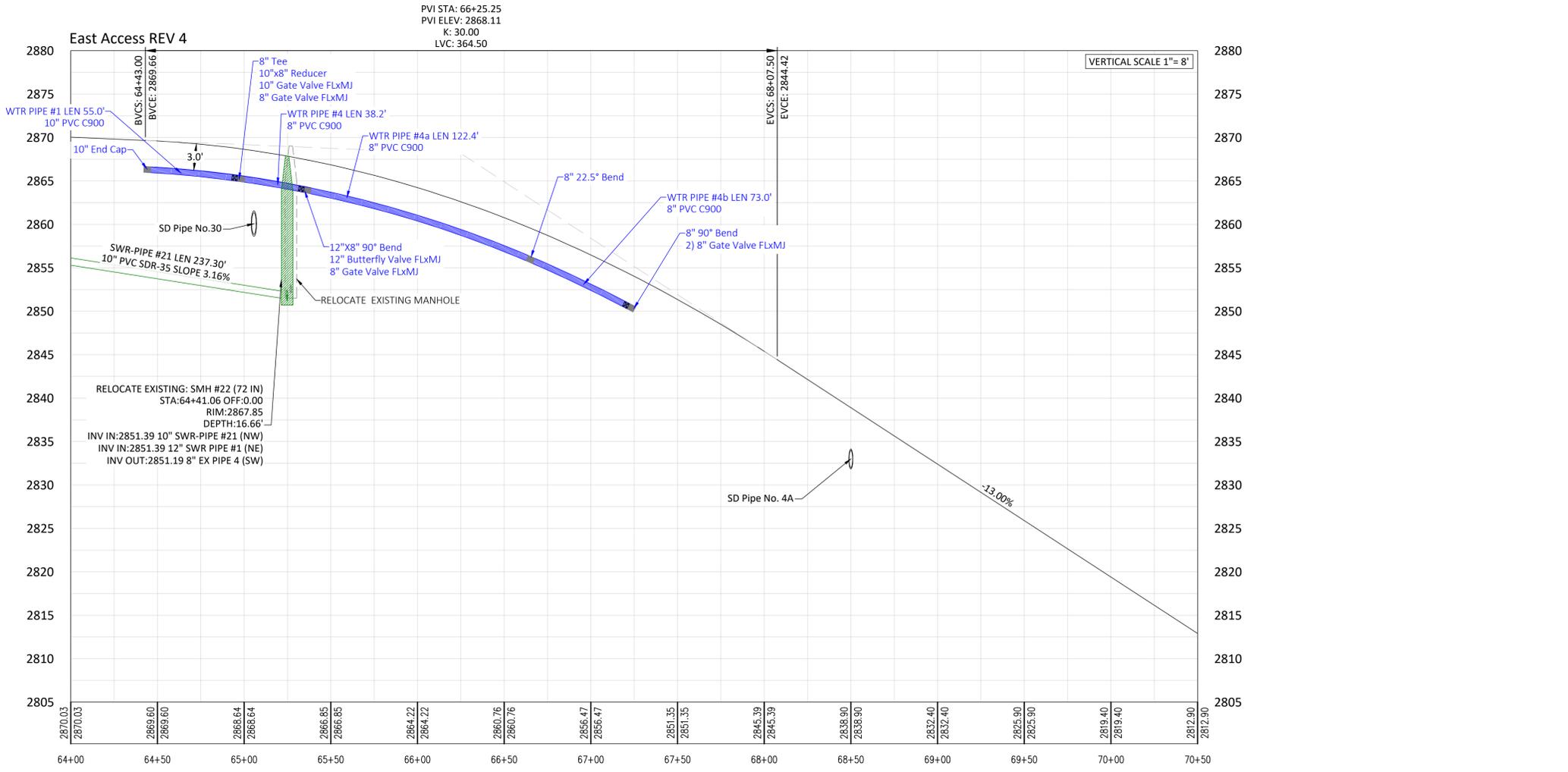
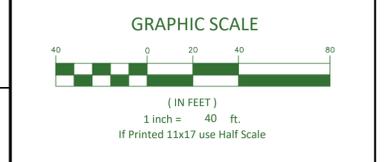
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No.	Date	by	Description

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LEGEND

	EXISTING ASPHALT
	PROPOSED NEW ASPHALT
	PROPOSED CONCRETE
	24\"/>
	PROPOSED SEWER LINE
	EXISTING SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	VALVE CAN
	NEW
	EXISTING
	FIRE HYDRANTS
	EXISTING
	WATER VALVES
	EXISTING



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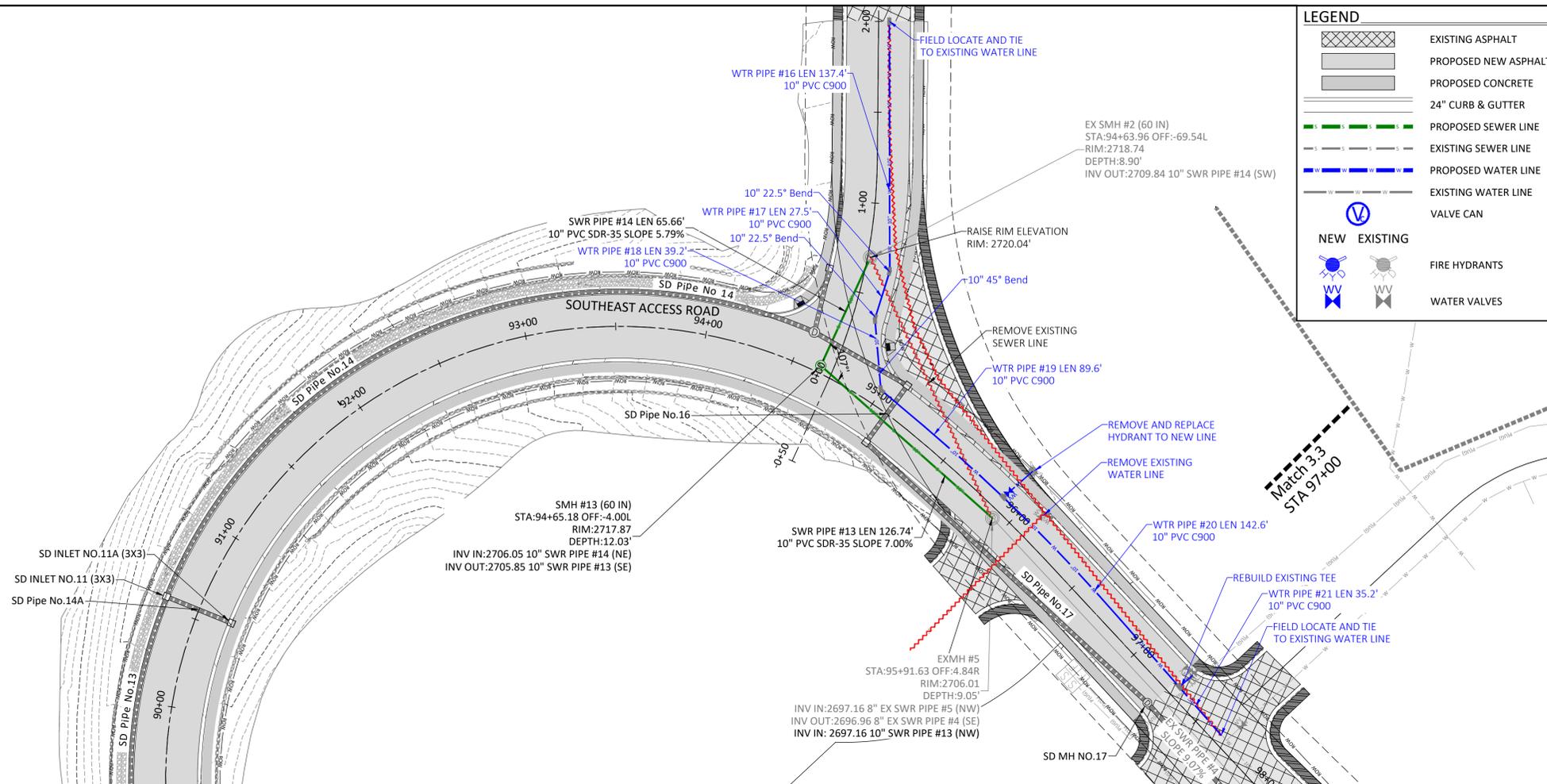
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NORTH DAKOTA: 621 26TH STREET W, WILLISTON, ND 58801, 701-572-8100

**SOUTHEAST ACCESS RD
SEWER AND WATER
PLAN AND PROFILE**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 42 NORTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Sheet 19 of 41	Sheets



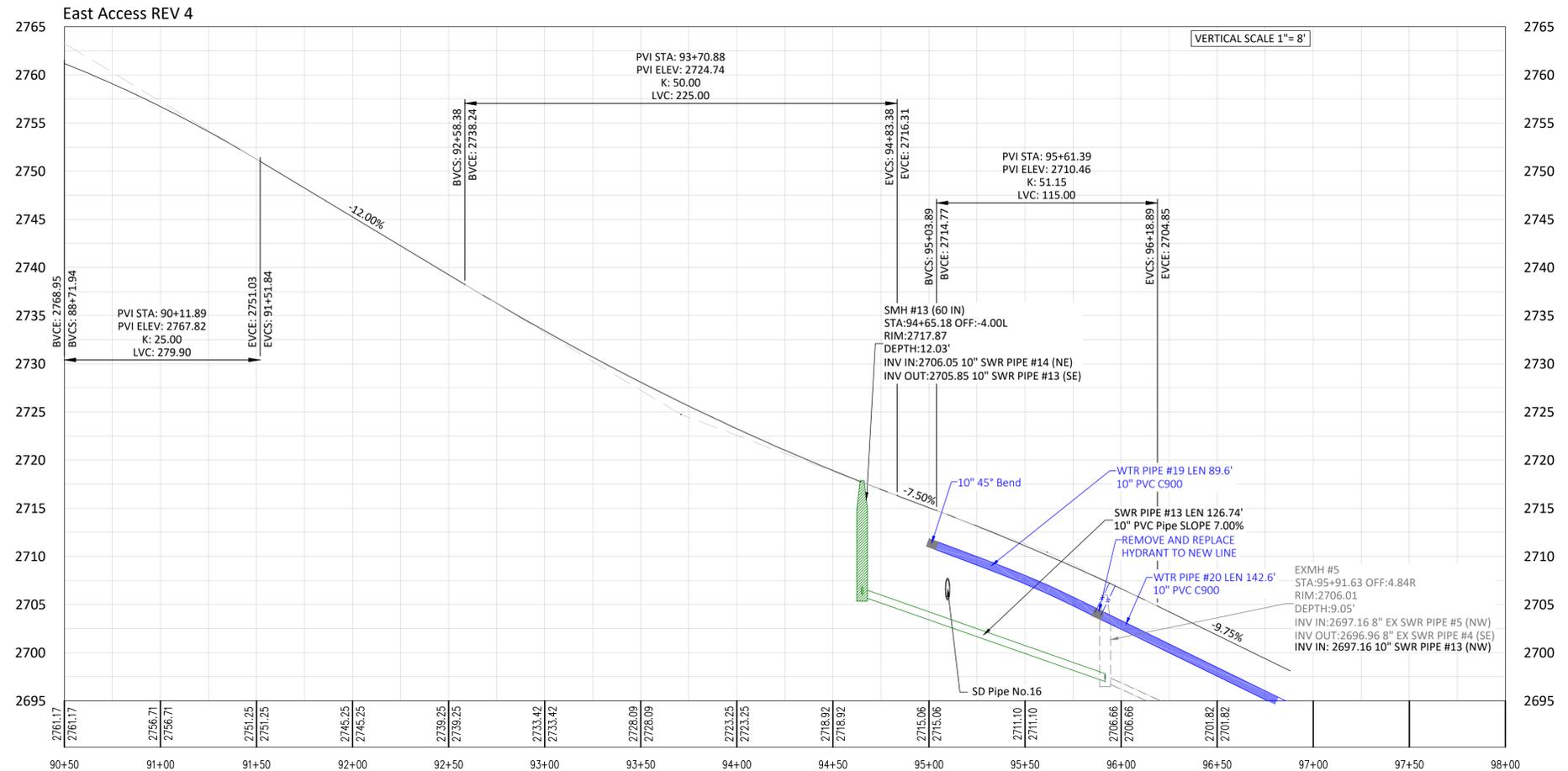
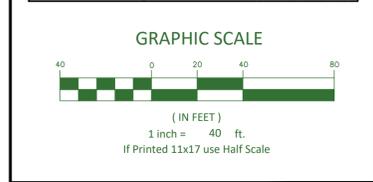
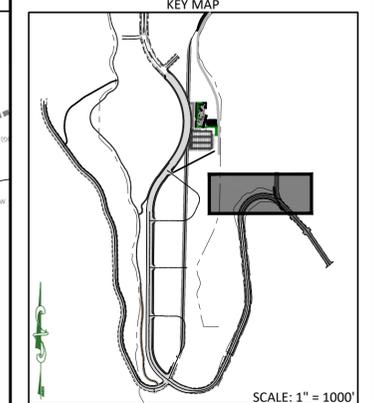
LEGEND

	EXISTING ASPHALT
	PROPOSED NEW ASPHALT
	PROPOSED CONCRETE
	24" CURB & GUTTER
	PROPOSED SEWER LINE
	EXISTING SEWER LINE
	PROPOSED WATER LINE
	EXISTING WATER LINE
	VALVE CAN
NEW	EXISTING
	FIRE HYDRANTS
	WATER VALVES

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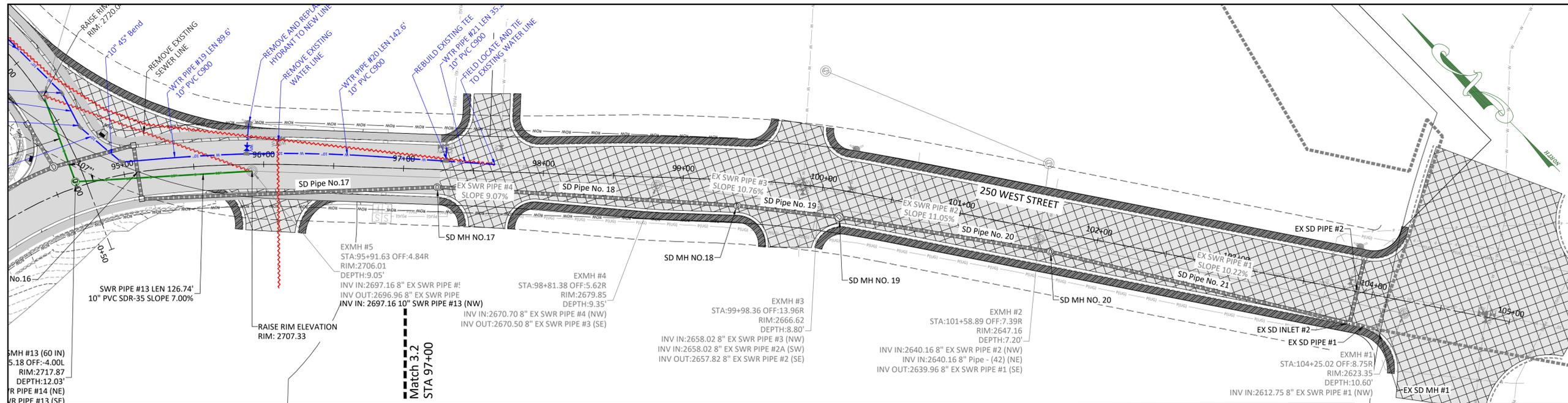
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**SOUTHEAST ACCESS RD
SEWER AND WATER
PLAN AND PROFILE**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 42 NORTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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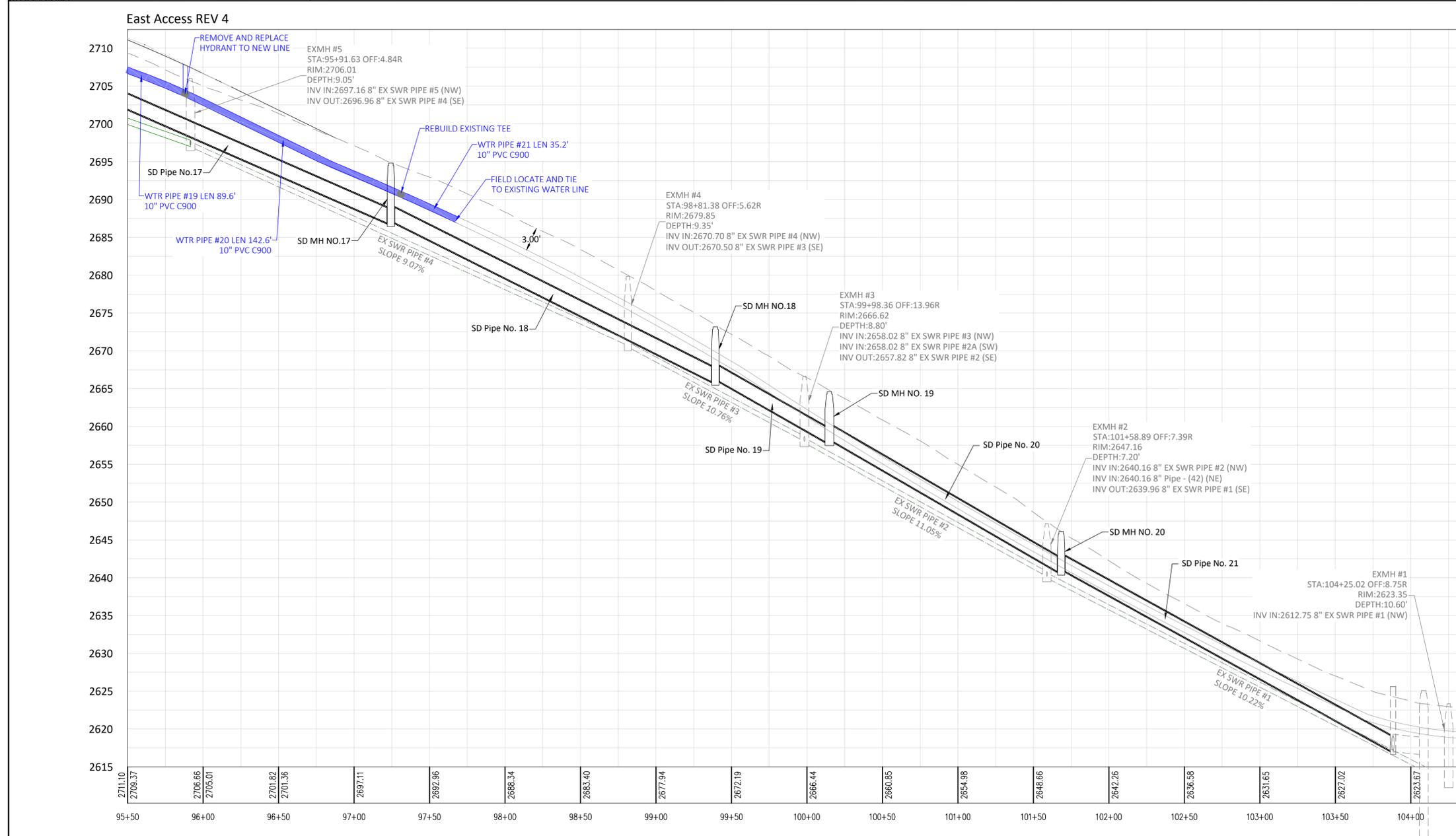
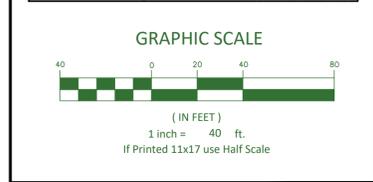
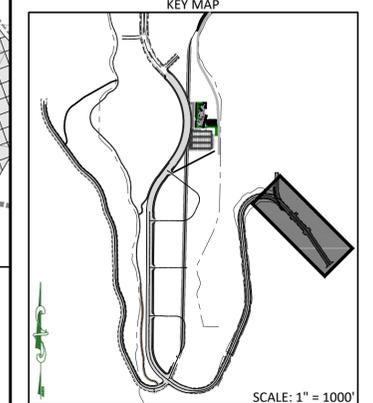
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Sheet 20 of 41	Sheets



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access SWR & WTR OPT 2.dwg



LEGEND

	EXISTING ASPHALT
	PROPOSED NEW ASPHALT
	PROPOSED CONCRETE
	24" CURB & GUTTER
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	VALVE CAN
	NEW FIRE HYDRANTS
	EXISTING FIRE HYDRANTS
	NEW WATER VALVES
	EXISTING WATER VALVES

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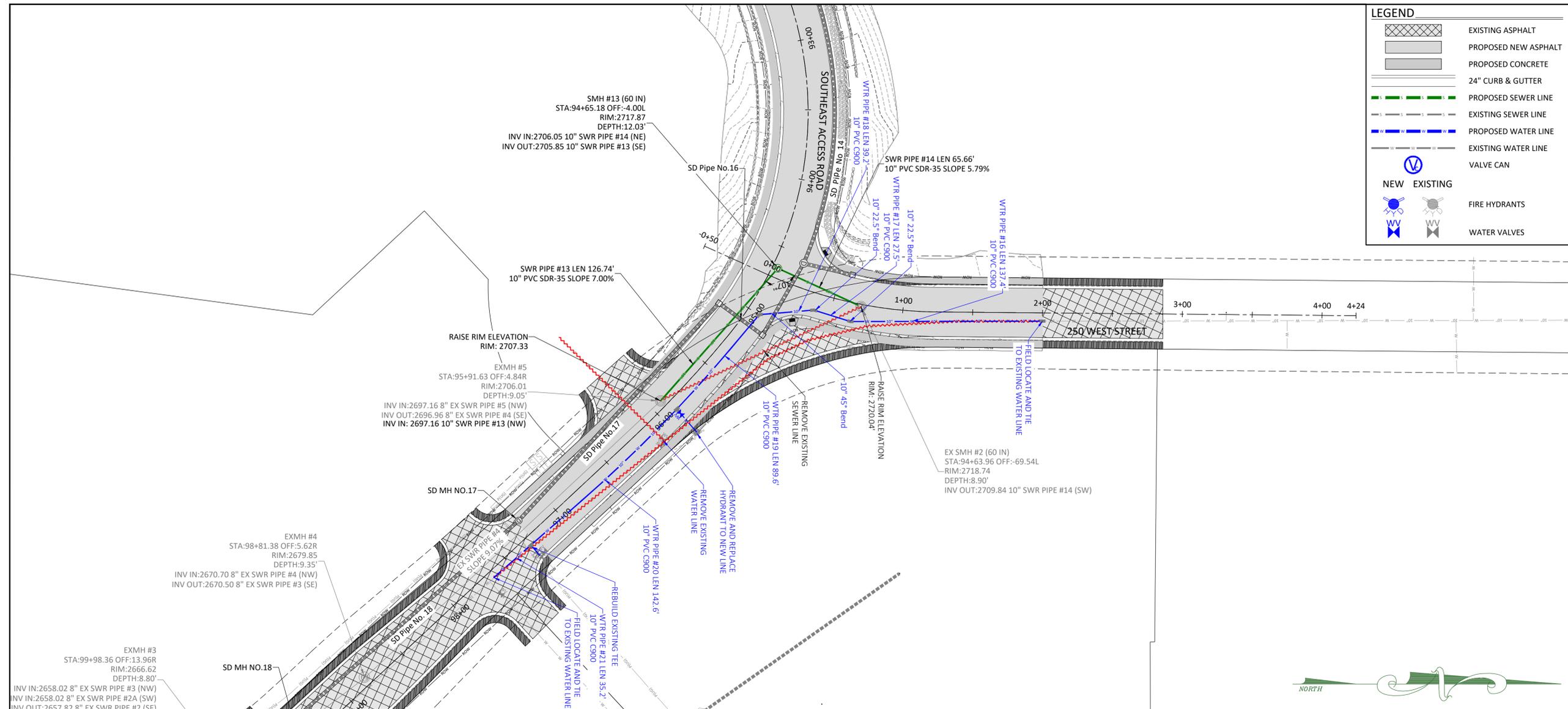
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**SOUTHEAST ACCESS RD
SEWER AND WATER
PLAN AND PROFILE**

FOR
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LOCATED IN SEC 36
TOWNSHIP 42 NORTH, RANGE 15 WEST SL&M
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Sheet 21 of 41	Sheets



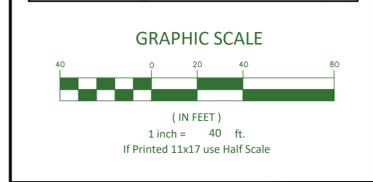
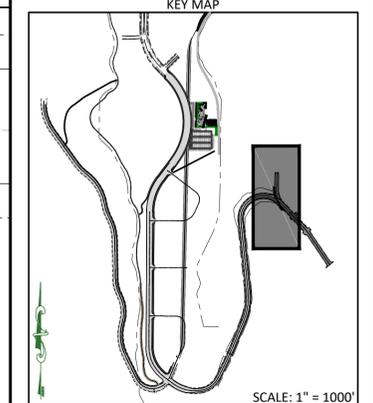
LEGEND

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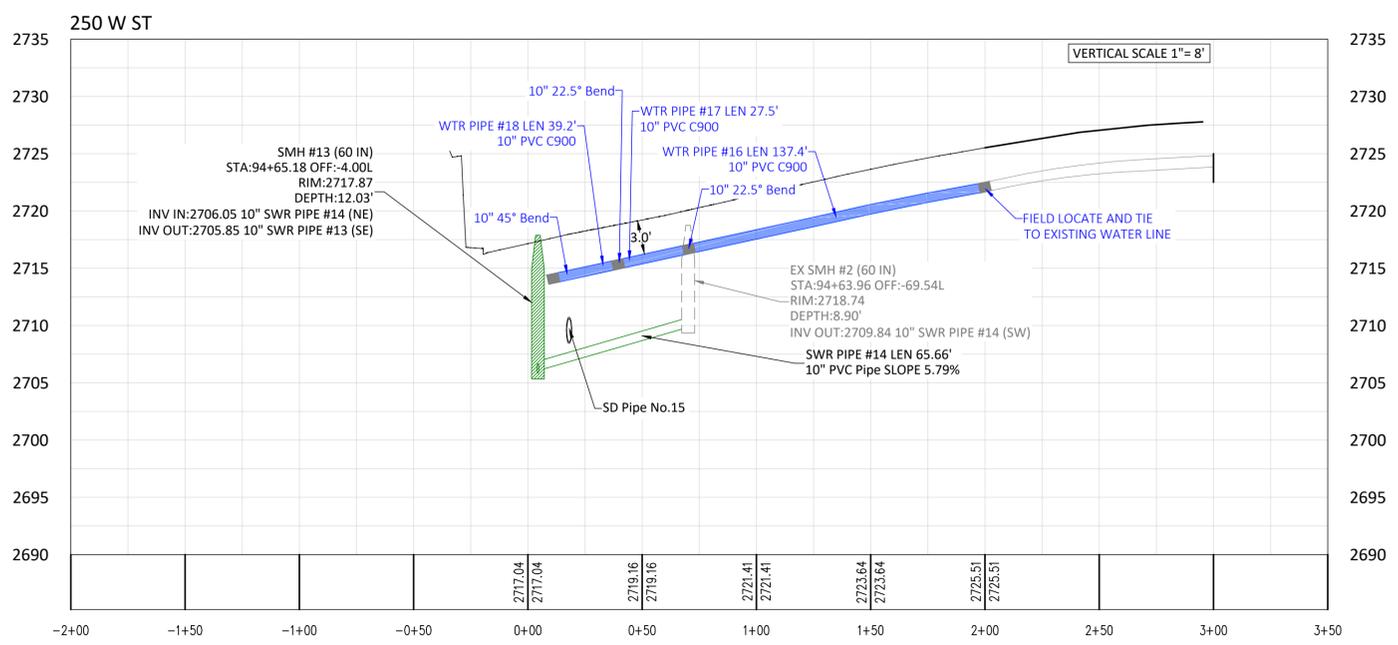
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435-673-8060

NORTH DAKOTA
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WILLISTON, ND 58801
701-572-8100

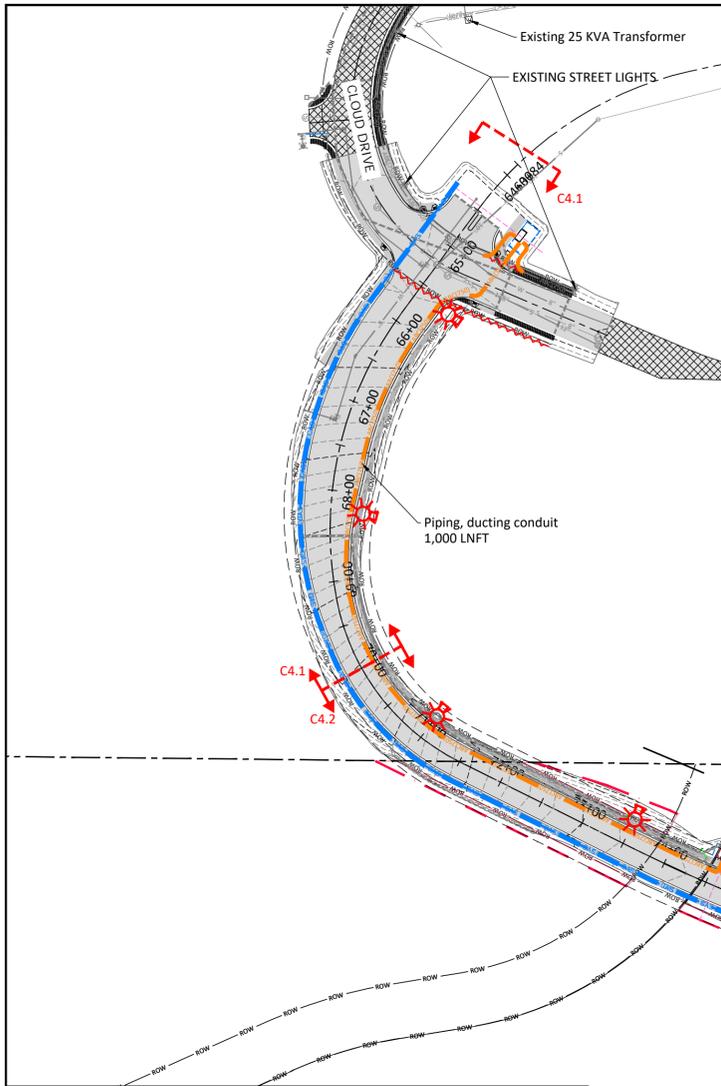


**SOUTHEAST ACCESS RD
SEWER AND WATER
PLAN AND PROFILE**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 42 NORTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Drawn By: AZ	Scale: 1"=40'
Client No. 4568	Project No. 4568
Drawing Sheet	
C3.4	
Sheet 22 of 41	Sheets



ST. GEORGE ENERGY SERVICES POWER NOTES

- Primary power from switch to switch shall be 750 wire in 3" conduit.
- Primary power from vault to transformer shall be 1/0 wire in 3" conduit unless otherwise noted. All wire shall have a temperature rating of 90° C
- Secondary power from transformer to meter (90° C Temp. Rating):
 - For residential lots - where length is less than or equal to 200 ft
 - 100 - 150 amps = 1/0 in 2" conduit
 - 200 amps = 4/0 in 2" conduit
 - 400 amps = 350 mcm in 3" conduit
 - 600 amps = 500 mcm in 3" conduit
 - Contact SGES for lengths > 200 ft if not specified per plan.
 - For C.T. connections (services > 400 amps) secondary conduit and wire shall be sized by building electrical engineer.
 - For commercial and/or apartment complex ≤ 400 amps or > 400 amps with gang pack individual meters - sized by SGES based on load calculations.
- Contractor to follow all blue stakes protocols.
- The power design on the utility plans is considered by St. George Energy Services (SGES) as preliminary and non-biddable until accompanied by a JUC approval stamp.
- All primary underground power work/installation must be completed by a contractor that has been prequalified by SGES and meet all SGES standards. All overhead work/installation must be completed by SGES.
- All work done by SGES will be prepaid by the developer.
- It is the responsibility of the design engineer to provide locations and elevations of all existing and design underground/overhead utilities and structures that will impact the SGES power design.
- All JUC trenches will be backfilled and compacted in 6" to 8" lifts to a compaction of 95% in roadways/sidewalks and 90% behind sidewalk. Testing is to be done at middle and top of trench.
- All changes to existing grades near existing power utilities must be approved by SGES prior to construction.
- Any in field changes to the JUC approved power design will be at the developer's expense and must be pre-approved and documented by SGES prior to installation.

DOMINION ENERGY GAS NOTES

- DEVELOPER NEEDS TO CONTACT DOMINION ENERGY PRE-CONSTRUCTION DEPARTMENT PRIOR TO BREAKING GROUND FOR GAS SIGN UP - ERIC WARD 435-669-2269.
- DEVELOPER WILL BE RESPONSIBLE TO GET ALL COMPACTION TESTS DONE AT DEVELOPER'S EXPENSE.
- IF CASINGS/CONDUITS ARE NEEDED, THEY ARE TO BE INSTALLED BY DEVELOPER AT THEIR COSTS. A MAP WILL BE AVAILABLE AT DOMINION ENERGY FOR CASING LOCATIONS (1155 E 350 N - ST GEORGE).
- ALL OF THE UTILITY EASEMENTS BACK OF SIDEWALK WILL BE GRADED, AT FULL WIDTH, TO WITHIN 6 INCHES OF TOP BACK OF CURB BEFORE GAS LINES WILL BE INSTALLED. **NO RETAINING, ROCK, OR BLOCK WALLS MAY BE CONSTRUCTED ON/IN A PUE **DEVELOPER WILL BE RESPONSIBLE FOR THE COSTS OF ANY GAS LINES TO BE LOWERED AND/OR RELOCATED AFTER INSTALLATION. **
- ALL TRENCHES SHALL BE BACKFILLED AND ALL DEBRIS, CONSTRUCTION MATERIALS AND EXCESS DIRT PILES SHALL BE CLEARED AWAY.
- PROPERTY LOT LINES, BACK OF CURB AND GRADE MUST BE STAKED BY DEVELOPER BEFORE GAS WILL BE INSTALLED.
- POWER, WATER, SEWER LINES, CULVERTS OR OTHER HAZARDS NOT CLEARLY NOTICEABLE SHALL BE STAKED BY DEVELOPER.
- FAILURE TO COMPLY WITH THE ABOVE NOTES WILL RESULT IN DELAY OF SERVICE TO THIS PROJECT.
- CONTACT JC HALL, 435-210-0729 AT LEAST TWO (2) WEEKS PRIOR TO BEING READY, FOR SCHEDULING OF INSTALLATION.
- **IMPORTANT NOTICE** GAS WILL BE PUT ON THE SCHEDULE FOR INSTALLATION WHEN POWER TRENCH IS BURIED, STREETS ARE WITHIN 6 INCHES OF SUB-GRADE AND THE UTILITY EASEMENT IS GRADED TO TOP BACK OF CURB.
- HIGH PRESSURE GAS NOTE: CONTRACTOR IS REQUIRED TO CALL HIGH PRESSURE DISPATCH AT 801-324-3370 OR BRYAN WARD 435-559-6547, AT LEAST 48 HOURS IN ADVANCE, BEFORE WORKING WITHIN 10 FEET OF A HIGH PRESSURE GAS LINE. THIS WILL SCHEDULE A DOMINION ENERGY HIGH PRESSURE INSPECTOR TO THE PROJECT SITE.

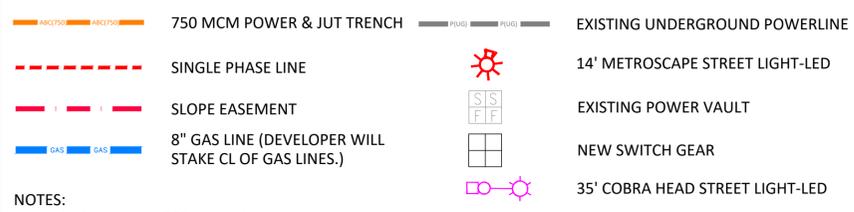
TDS, CATV/BROADBAND NOTES

- THE DEVELOPER WILL PROVIDE ALL REQUIRED TRENCH WITHIN THE PROJECT. ANY MODIFICATIONS ALONG THE PERIPHERY TO FEED THIS PROJECT WILL BE BILLED TO THE DEVELOPER.
- TDS WILL PLACE CONDUITS IN AN OPEN/Joint TRENCH. PLEASE CONTACT TDS ENGINEERING AT 435-288-1415 AT LEAST 3 WEEKS PRIOR TO OPENING TRENCH TO CREATE DESIGN AND SCHEDULE WORK.
- CONTACT TDS PRIOR TO CONSTRUCTING BUILDINGS FOR PREWIRE OPTIONS FOR FIBER OPTIC SERVICE. ANY OTHER QUESTIONS REGARDING CONSTRUCTION OF SERVICE SHOULD BE DIRECTED TO TDS ENGINEERING AT 435-288-1415.
- RELOCATION OF NEW OR EXISTING TDS FACILITIES WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR
- ANY MODIFICATIONS AFTER CONDUIT/CABLE PLACEMENT WILL BE BILLABLE TO THE DEVELOPER/CONTRACTOR AS WILL DAMAGES CAUSED BY OTHER CONTRACTORS WORKING FOR THE DEVELOPER ON THIS PROJECT.

POWER PROJECT NOTES (COMMERCIAL)

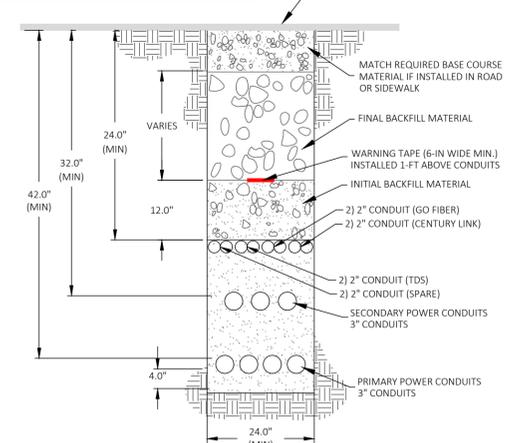
- CONTRACTOR SHALL HAVE ADJACENT TBC LOCATION AND ELEVATION, AND ANY OTHER APPLICABLE IMPROVEMENTS, STAKED PRIOR TO PLACEMENT OF ELECTRICAL EQUIPMENT.
- INSTALL NEW ELECTRICAL EQUIPMENT 6-FT. MIN. BEHIND TBC UNLESS OTHERWISE NOTED; INSTALL TOP OF GROUND SLEEVE 6-INCHES ABOVE ADJACENT TBC GRADE PER CURRENT SGES STANDARDS.
- COORDINATE WITH SGES DEPARTMENT INSPECTOR FOR PHASE SEQUENCE NUMBERS AND TAPING INFORMATION TO BE LABELED ON NEW OR REPLACED TRANSFORMERS AND PULLED OR RE-PULLED WIRE.
- ELECTRICAL ENGINEER SHALL PROVIDE AIC AND COMPLETE ALL NECESSARY CALCULATIONS IN ACCORDANCE TO CURRENT BUILDING CODES; INFORMATION TO BE INCLUDED WITH BUILDING PLANS. SGES WILL PROVIDE EXISTING EQUIPMENT INFORMATION AS NECESSARY.
- METERS AND MAIN PANELS WITH DISCONNECTS SHALL BE MOUNTED OUTSIDE ON AN EXTERIOR BLDG. WALL, LOCATED TO BE VISIBLE & ACCESSIBLE TO THE POWER DEPARTMENT AND PUBLIC SAFETY ENTITIES.
- EASEMENTS ARE REQUIRED FOR ALL ELECTRICAL EQUIPMENT, CONDUIT, AND WIRE TO POINT OF SERVICE.
- METER BASES SHALL CONFORM TO A 5-JAW 12-S TYPE METER FOR SINGLE PHASE SERVICES BEING FED FROM A 3- PHASE TRANSFORMER.

LEGEND



- NOTES:
- All Sweeps for 750 power into the concrete vaults shall be concrete encased. Coordinate with SGES.

JUT TRENCH - TYPICAL



GO FIBER, CATV/FIBER OPTIC NOTES

- DEVELOPER TO PROVIDE ALL REQUIRED TRENCHING WITHIN THE PROJECT. ANY MODIFICATIONS REQUIRED TO FEED PROJECT WILL BE BILLED TO THE DEVELOPER.
- GO FIBER WILL PROVIDE ALL CONDUITS. CALL 435-767-9053 OR EMAIL JUC@GOFIBER.TECH FOR CONDUIT DELIVERY AT LEAST ONE (1) WEEK PRIOR TO OPENING THE TRENCH.
- FOR COMMERCIAL PROJECTS WITH AN MDF/COMM ROOM. DEVELOPER WILL INSTALL A 2" PVC RUN TO THE EXTERIOR OF BUILDING.
- ANY QUESTIONS REGARDING SERVICE SHOULD BE DIRECTED TOWARDS GAB TREMBLEY AT 435-272-3559 OR JUC@GOFIBER.TECH.
- RELOCATION OF EXISTING NEW OR EXISTING GOFIBER FACILITIES ARE BILLABLE TO THE DEVELOPER. THE DEVELOPER WILL BE PROVIDED WITH AN ESTIMATE OF COSTS FOR WORK DONE.

CENTURY LINK TELEPHONE NOTES

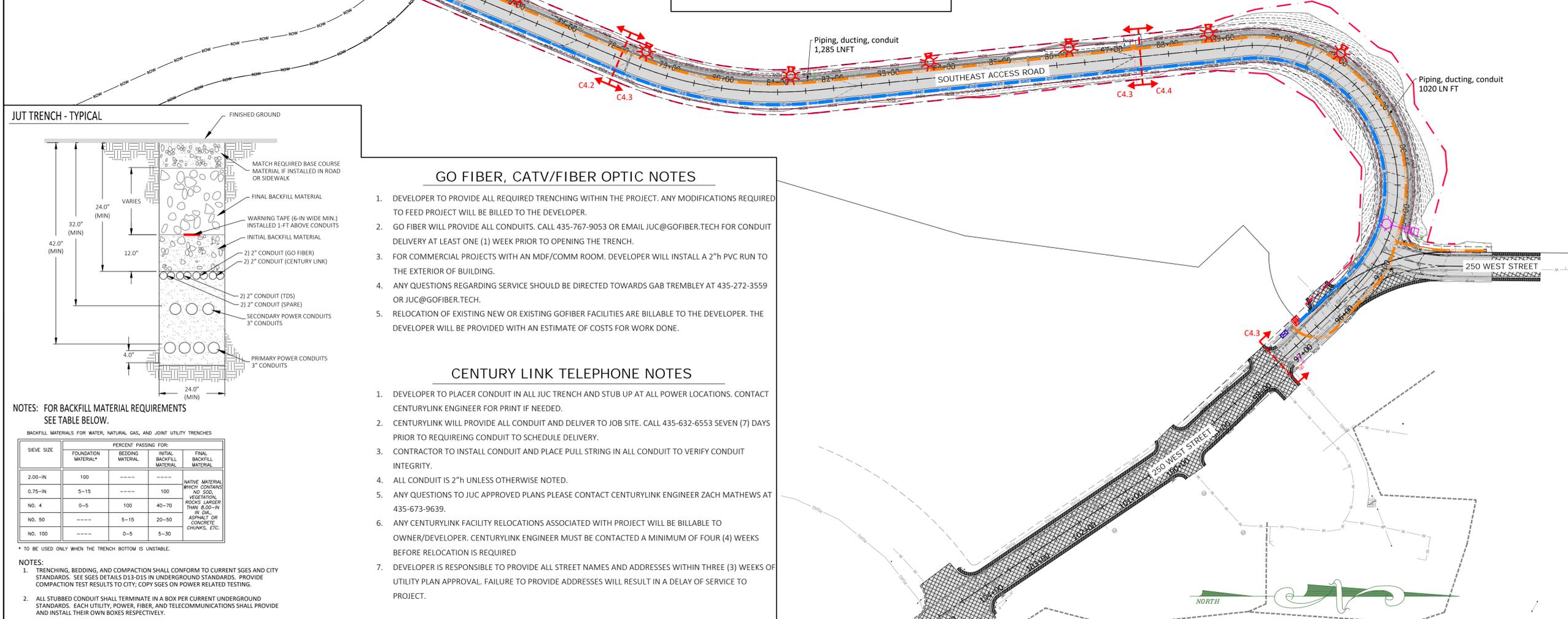
- DEVELOPER TO PLACER CONDUIT IN ALL JUC TRENCH AND STUB UP AT ALL POWER LOCATIONS. CONTACT CENTURYLINK ENGINEER FOR PRINT IF NEEDED.
- CENTURYLINK WILL PROVIDE ALL CONDUIT AND DELIVER TO JOB SITE. CALL 435-632-6553 SEVEN (7) DAYS PRIOR TO REQUIREING CONDUIT TO SCHEDULE DELIVERY.
- CONTRACTOR TO INSTALL CONDUIT AND PLACE PULL STRING IN ALL CONDUIT TO VERIFY CONDUIT INTEGRITY.
- ALL CONDUIT IS 2" UNLESS OTHERWISE NOTED.
- ANY QUESTIONS TO JUC APPROVED PLANS PLEASE CONTACT CENTURYLINK ENGINEER ZACH MATHEWS AT 435-673-9639.
- ANY CENTURYLINK FACILITY RELOCATIONS ASSOCIATED WITH PROJECT WILL BE BILLABLE TO OWNER/DEVELOPER. CENTURYLINK ENGINEER MUST BE CONTACTED A MINIMUM OF FOUR (4) WEEKS BEFORE RELOCATION IS REQUIRED
- DEVELOPER IS RESPONSIBLE TO PROVIDE ALL STREET NAMES AND ADDRESSES WITHIN THREE (3) WEEKS OF UTILITY PLAN APPROVAL. FAILURE TO PROVIDE ADDRESSES WILL RESULT IN A DELAY OF SERVICE TO PROJECT.

NOTES: FOR BACKFILL MATERIAL REQUIREMENTS SEE TABLE BELOW.

SIEVE SIZE	PERCENT PASSING FOR:			
	FOUNDATION MATERIAL*	BEDDING MATERIAL	INITIAL BACKFILL MATERIAL	FINAL BACKFILL MATERIAL
2.00-IN	100	-----	-----	-----
0.75-IN	5-15	-----	100	NATIVE MATERIAL WHICH CONTAINS NO SOIL VEGETATION, ROCKS LARGER THAN 8.00-IN IN DIA. ASPHALT OR CONCRETE CHUNKS, ETC.
NO. 4	0-5	100	40-70	
NO. 50	-----	5-15	20-50	
NO. 100	-----	0-5	5-30	

* TO BE USED ONLY WHEN THE TRENCH BOTTOM IS UNSTABLE.

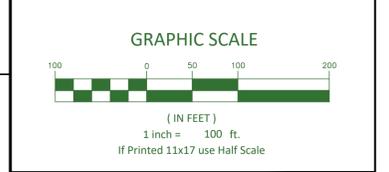
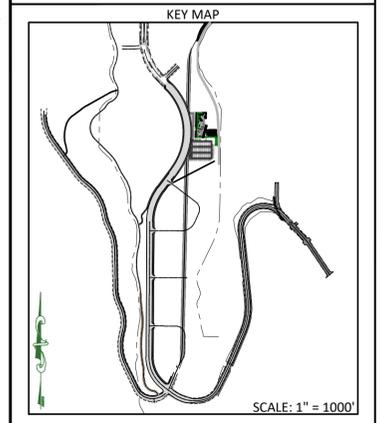
- NOTES:
- TRENCHING, BEDDING, AND COMPACTION SHALL CONFORM TO CURRENT SGES AND CITY STANDARDS. SEE SGES DETAILS D13-D15 IN UNDERGROUND STANDARDS. PROVIDE COMPACTION TEST RESULTS TO CITY; COPY SGES ON POWER RELATED TESTING.
 - ALL STUBBED CONDUIT SHALL TERMINATE IN A BOX PER CURRENT UNDERGROUND STANDARDS. EACH UTILITY, POWER, FIBER, AND TELECOMMUNICATIONS SHALL PROVIDE AND INSTALL THEIR OWN BOXES RESPECTIVELY.



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Pwr & Gas OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

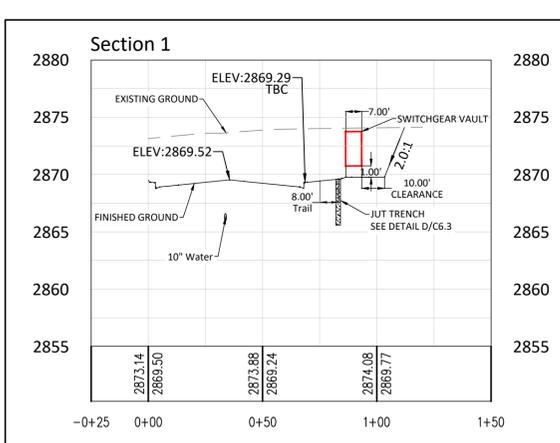
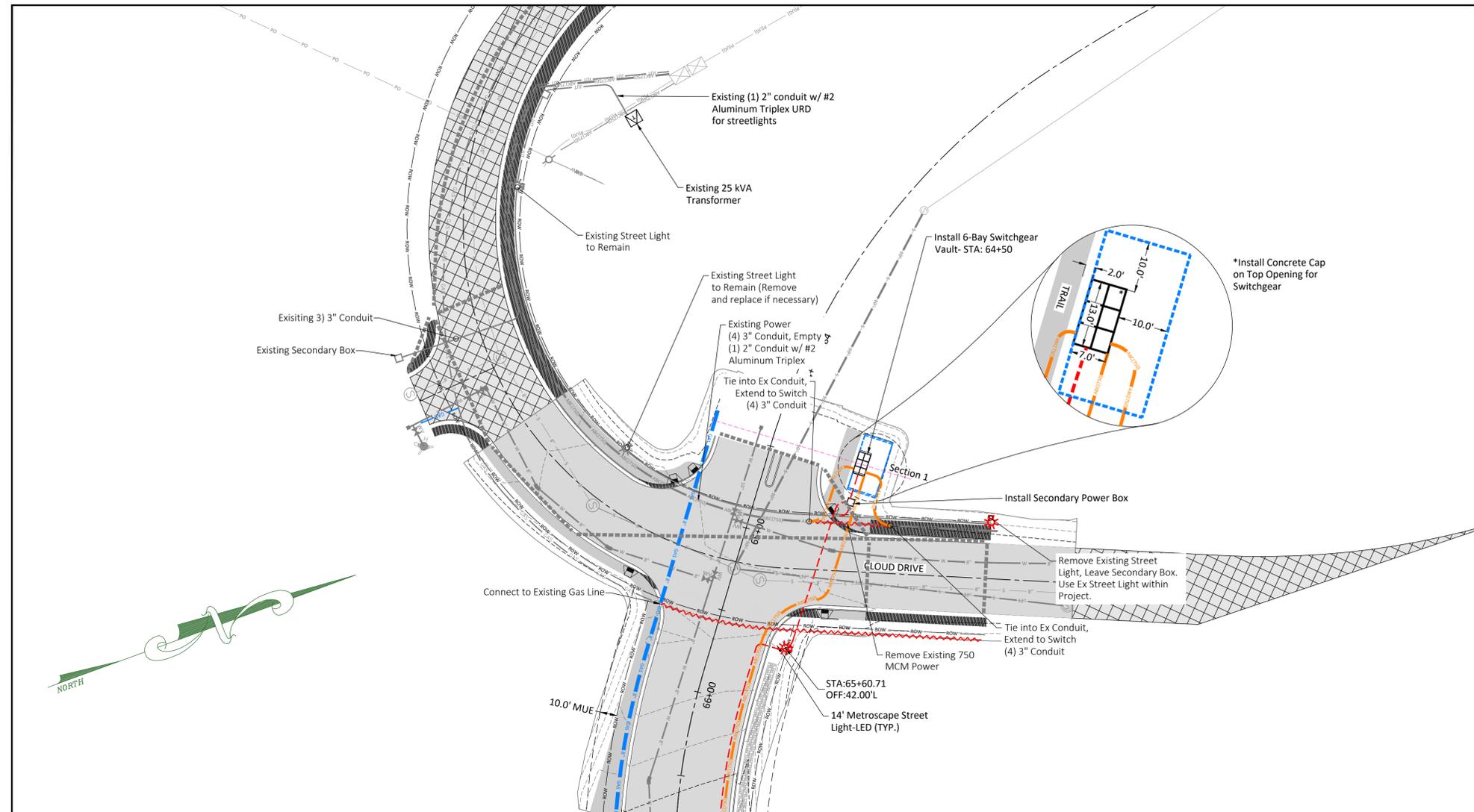
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
POWER AND GAS OVERALL**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 24 SOUTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Client No.	4568	Project No.	4568
Drawing Sheet			
C4.0			
Sheet	23	of	41 Sheets

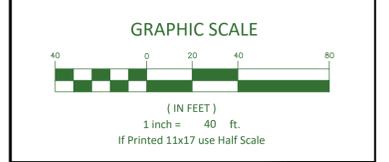
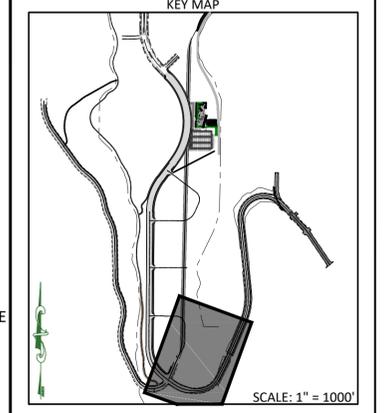


- LEGEND**
- (4) 3" EMPTY CONDUITS
 - - - (1) 2" Conduit w/ #2 Aluminum Triplex
 - - - SLOPE EASEMENT
 - 8" GAS LINE (DEVELOPER WILL STAKE CL OF GAS LINES.)
 - EXISTING UNDERGROUND POWERLINE
 - 14' METROSCAPE STREET LIGHT-LED
 - EXISTING POWER VAULT
 - NEW SWITCH GEAR
 - 35' COBRA HEAD STREET LIGHT-LED
- NOTES:**
- See Detail D/C6.3 for typical Joint Utility Trench Detail
 - All Sweeps for 750 power into the concrete vaults shall be concrete encased. Coordinate with SGES.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Pwr & Gas OPT 2.dwg



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A PLANNING AND ENGINEERING FIRM

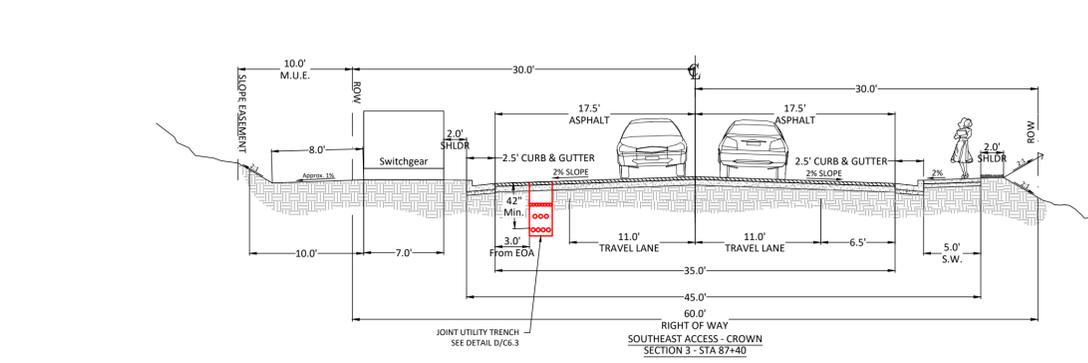
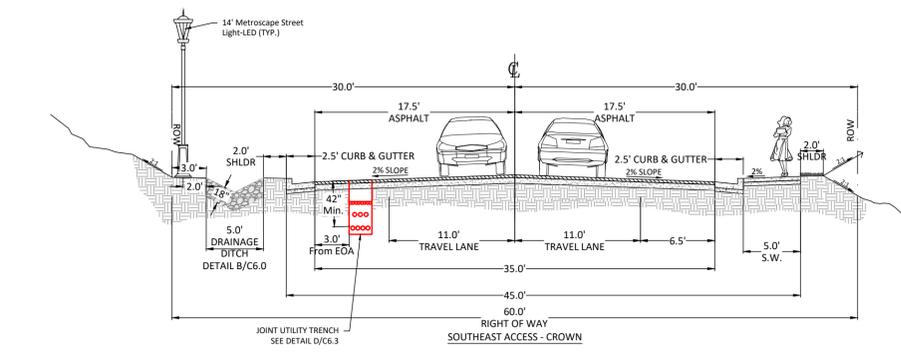
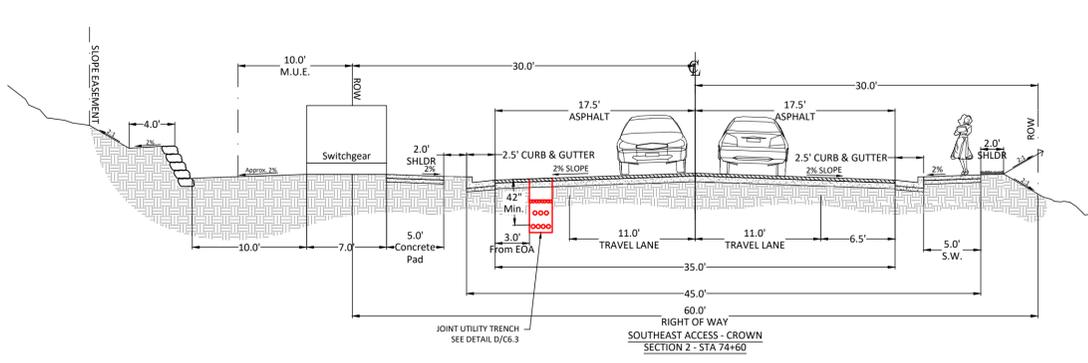
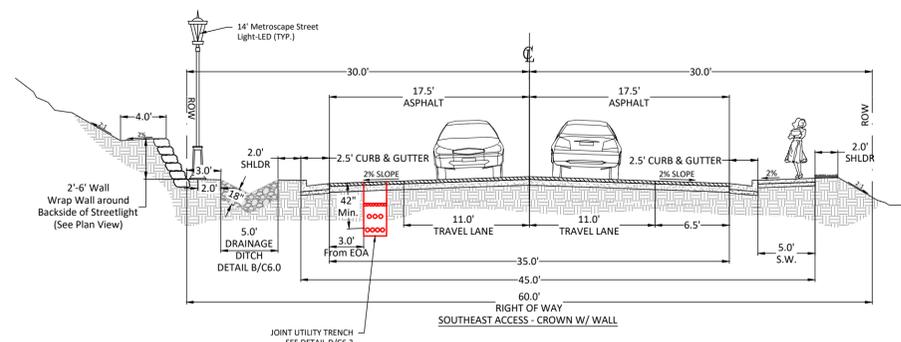
UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
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NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

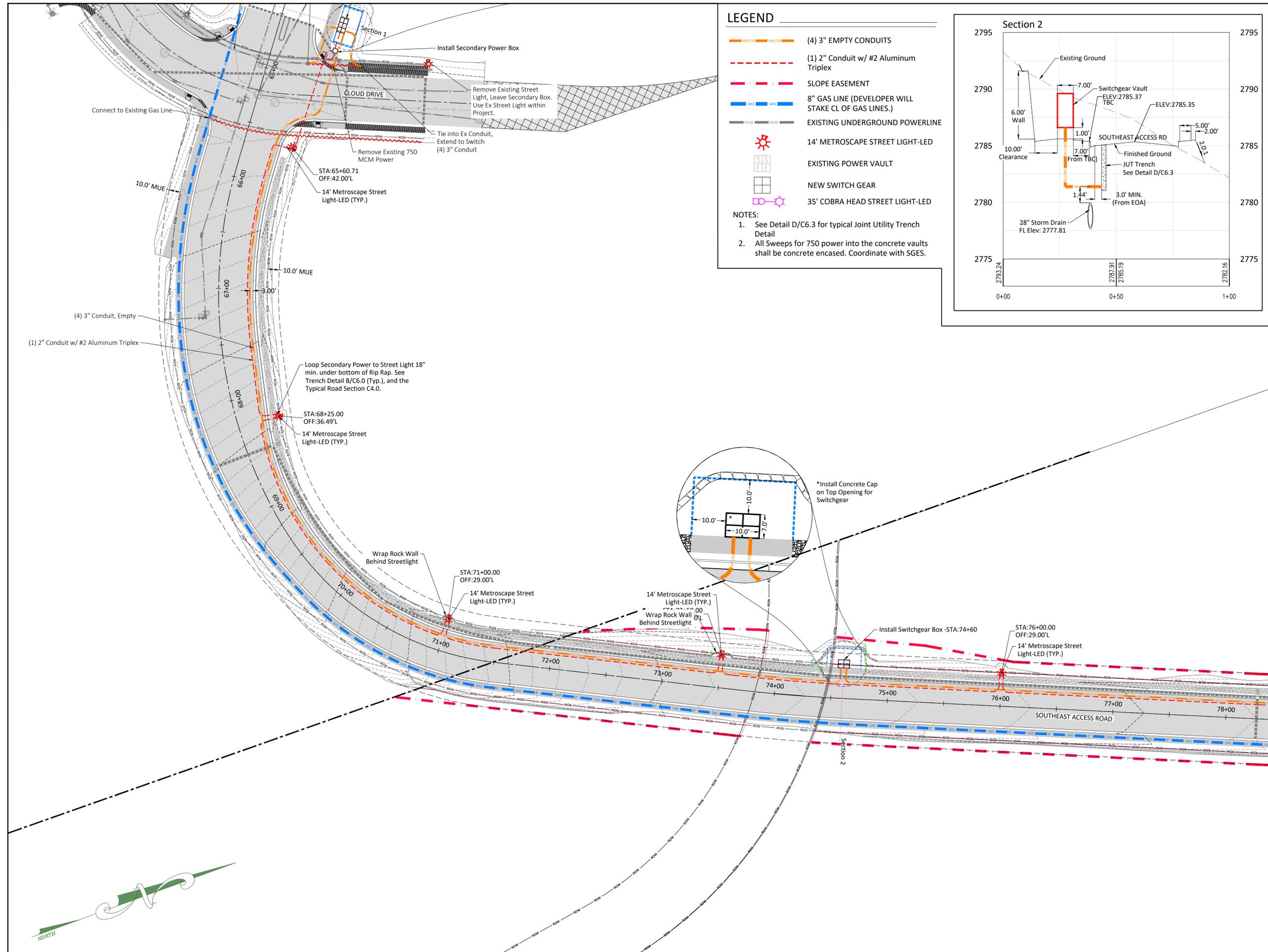
**SOUTHEAST ACCESS ROAD
POWER AND GAS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 24 SOUTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
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Sheet 24	of 41 Sheets

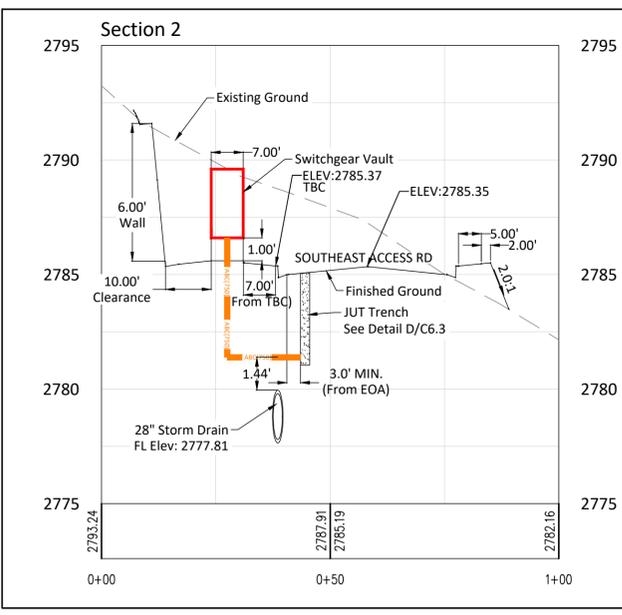


LEGEND

- (4) 3" EMPTY CONDUITS
- - - (1) 2" Conduit w/ #2 Aluminum Triplex
- - - SLOPE EASEMENT
- 8" GAS LINE (DEVELOPER WILL STAKE CL OF GAS LINES.)
- EXISTING UNDERGROUND POWERLINE
- 14' METROSCAPE STREET LIGHT-LED
- EXISTING POWER VAULT
- NEW SWITCH GEAR
- 35' COBRA HEAD STREET LIGHT-LED

NOTES:

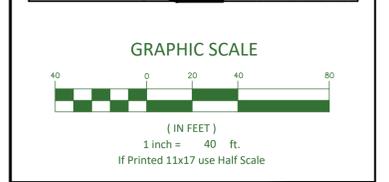
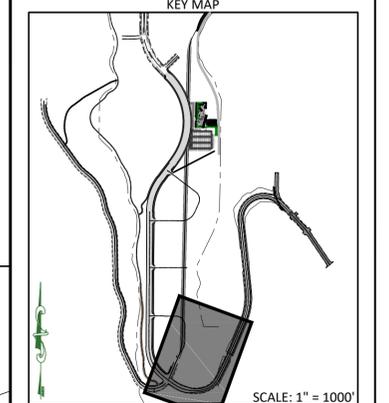
- See Detail D/C6.3 for typical Joint Utility Trench Detail
- All Sweeps for 750 power into the concrete vaults shall be concrete encased. Coordinate with SGES.



Date: 10-19-2023

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**SOUTHEAST ACCESS ROAD
POWER AND GAS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 24 SOUTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

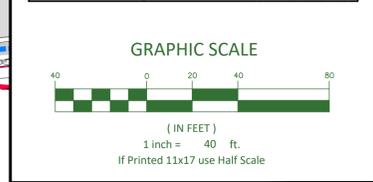
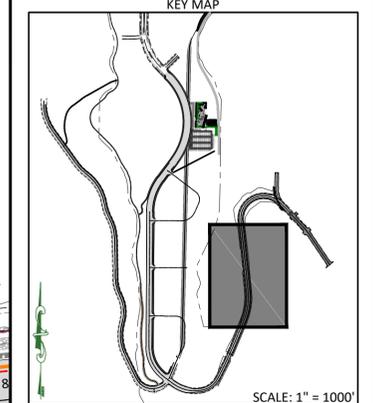
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CONSTRUCTION
REVIEW ONLY**

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Drawing Sheet	
C4.2	
Sheet 25 of 41	Sheets

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Pwr & Gas OPT 2.dwg

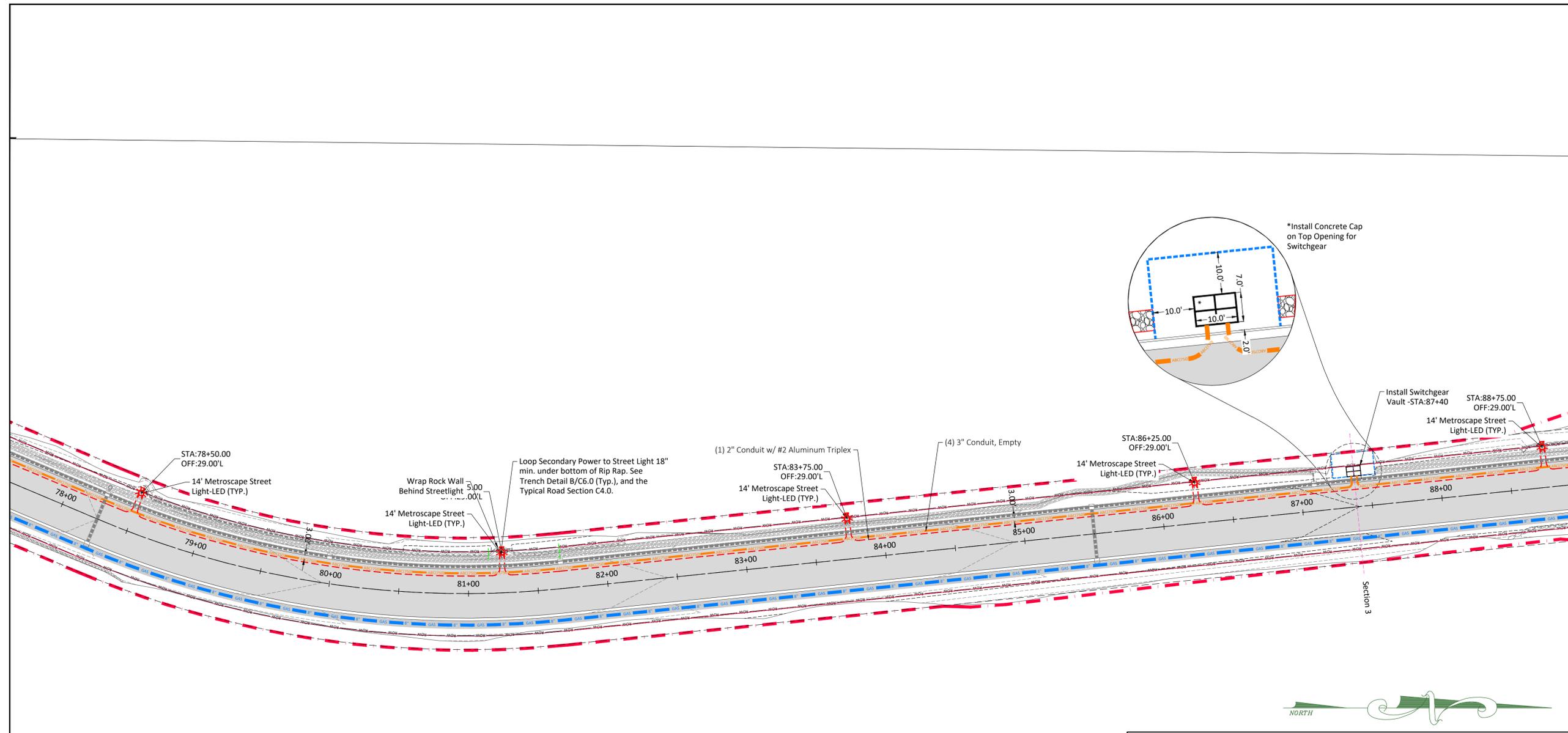



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**SOUTHEAST ACCESS ROAD
 POWER AND GAS**
 FOR
CITY OF ST. GEORGE
 LOCATED IN SEC 36
 TOWNSHIP 24 SOUTH, RANGE 15 WEST SLB&M
 CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Client No. 4568	Project No. 4568
Drawing Sheet	
C4.3	
Sheet 26 of 41	Sheets

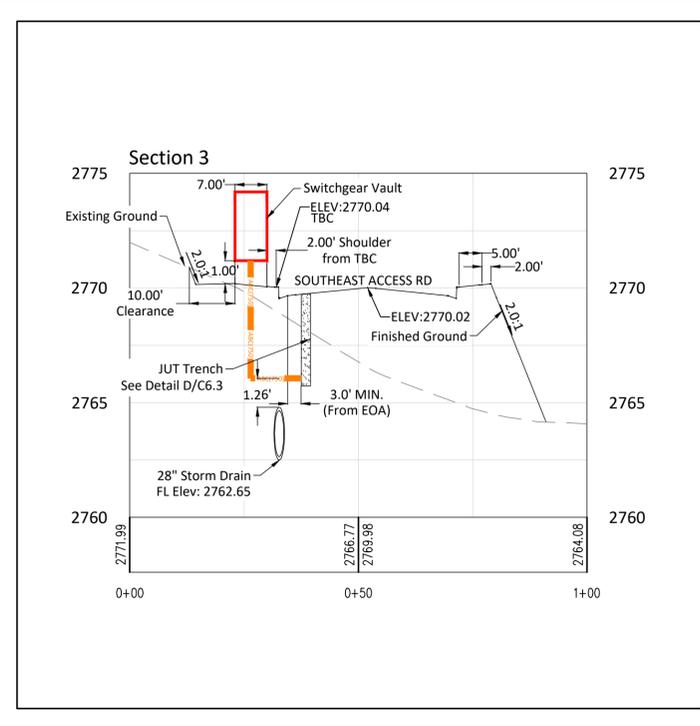


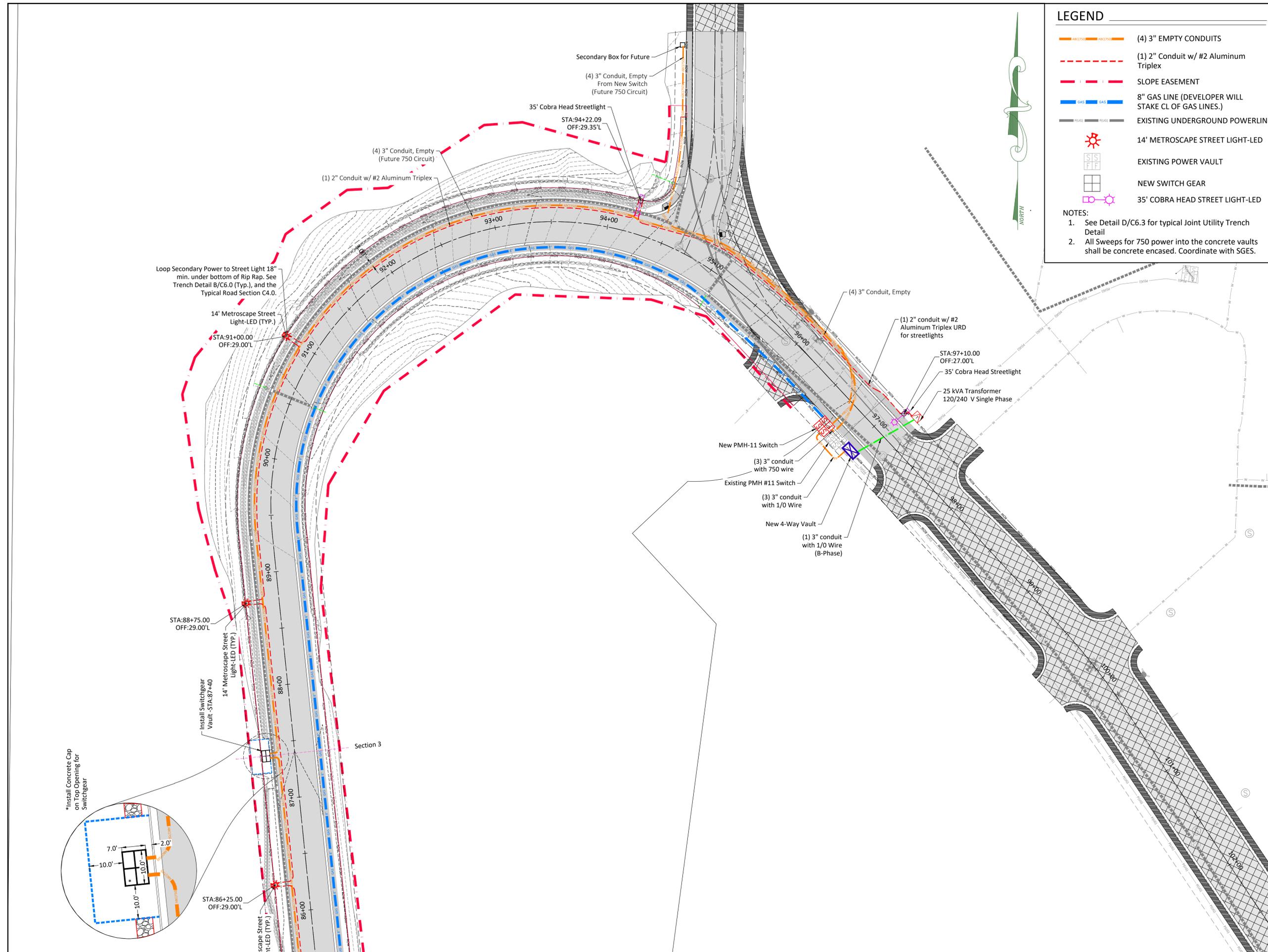
LEGEND

-  (4) 3" EMPTY CONDUITS
-  (1) 2" Conduit w/ #2 Aluminum Triplex
-  SLOPE EASEMENT
-  8" GAS LINE (DEVELOPER WILL STAKE CL OF GAS LINES.)
-  EXISTING UNDERGROUND POWERLINE
-  14' METROSCAPE STREET LIGHT-LED
-  EXISTING POWER VAULT
-  NEW SWITCH GEAR
-  35' COBRA HEAD STREET LIGHT-LED

NOTES:

- See Detail D/C6.3 for typical Joint Utility Trench Detail
- All Sweeps for 750 power into the concrete vaults shall be concrete encased. Coordinate with SGES.





LEGEND

- (4) 3" EMPTY CONDUITS
- - - (1) 2" Conduit w/ #2 Aluminum Triplex
- - - SLOPE EASEMENT
- 8" GAS LINE (DEVELOPER WILL STAKE CL OF GAS LINES.)
- EXISTING UNDERGROUND POWERLINE
- 14' METROSCAPE STREET LIGHT-LED
- EXISTING POWER VAULT
- NEW SWITCH GEAR
- 35' COBRA HEAD STREET LIGHT-LED

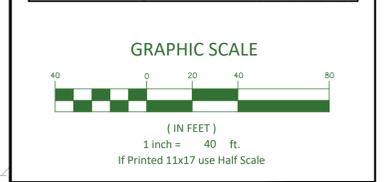
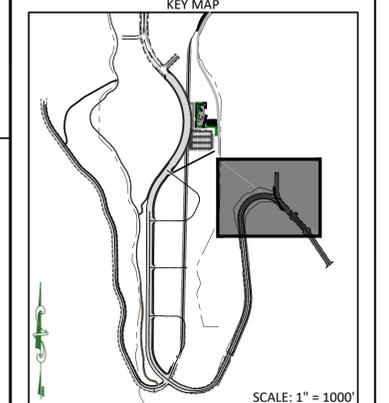
NOTES:

- See Detail D/C6.3 for typical Joint Utility Trench Detail
- All Sweeps for 750 power into the concrete vaults shall be concrete encased. Coordinate with SGES.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Pwr & Gas OPT 2.dwg



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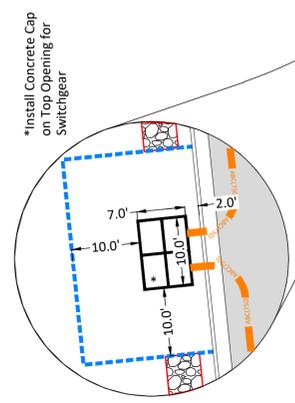
UTAH
2303 N CORAL CANYON BLVD
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WASHINGTON, UT 84780
435-673-8060

NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

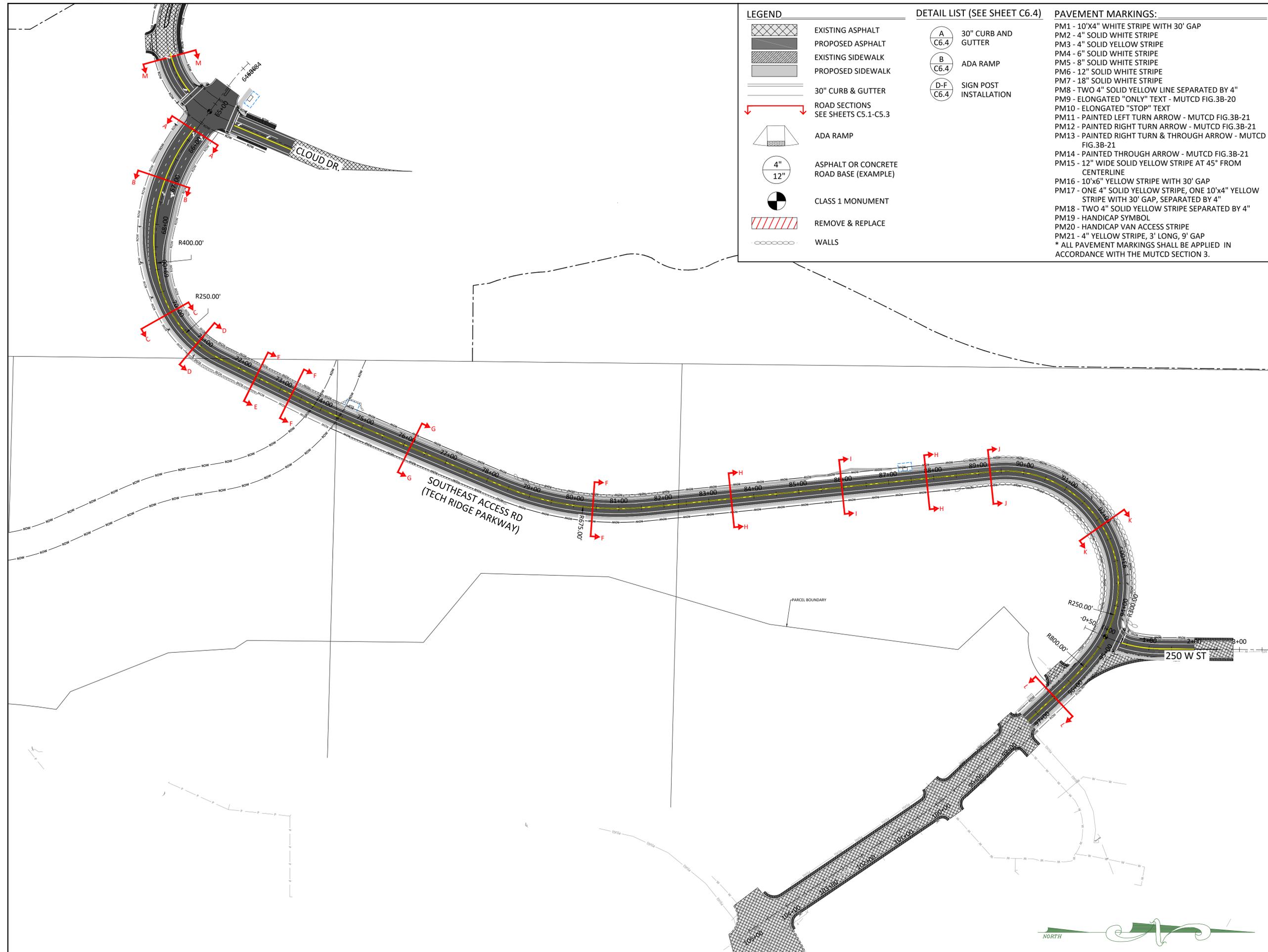
**SOUTHEAST ACCESS ROAD
POWER AND GAS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
TOWNSHIP 24 SOUTH, RANGE 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Drawn By: AZ	Scale: 1"=40'
Client No. 4568	Project No. 4568
Drawing Sheet	C4.4
Sheet 27 of 41 Sheets	



LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- 30" CURB & GUTTER
- ROAD SECTIONS SEE SHEETS C5.1-C5.3
- ADA RAMP
- 4" ASPHALT OR CONCRETE ROAD BASE (EXAMPLE)
- CLASS 1 MONUMENT
- REMOVE & REPLACE
- WALLS

DETAIL LIST (SEE SHEET C6.4)

- 30" CURB AND GUTTER
- ADA RAMP
- SIGN POST INSTALLATION

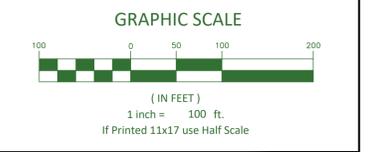
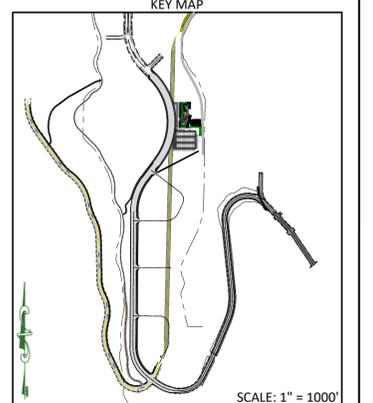
PAVEMENT MARKINGS:

- PM1 - 10'x4" WHITE STRIPE WITH 30' GAP
- PM2 - 4" SOLID WHITE STRIPE
- PM3 - 4" SOLID YELLOW STRIPE
- PM4 - 6" SOLID WHITE STRIPE
- PM5 - 8" SOLID WHITE STRIPE
- PM6 - 12" SOLID WHITE STRIPE
- PM7 - 18" SOLID WHITE STRIPE
- PM8 - TWO 4" SOLID YELLOW LINE SEPARATED BY 4"
- PM9 - ELONGATED "ONLY" TEXT - MUTCD FIG.3B-20
- PM10 - ELONGATED "STOP" TEXT
- PM11 - PAINTED LEFT TURN ARROW - MUTCD FIG.3B-21
- PM12 - PAINTED RIGHT TURN ARROW - MUTCD FIG.3B-21
- PM13 - PAINTED RIGHT TURN & THROUGH ARROW - MUTCD FIG.3B-21
- PM14 - PAINTED THROUGH ARROW - MUTCD FIG.3B-21
- PM15 - 12" WIDE SOLID YELLOW STRIPE AT 45° FROM CENTERLINE
- PM16 - 10'x6" YELLOW STRIPE WITH 30' GAP
- PM17 - ONE 4" SOLID YELLOW STRIPE, ONE 10'x4" YELLOW STRIPE WITH 30' GAP, SEPARATED BY 4"
- PM18 - TWO 4" SOLID YELLOW STRIPE SEPARATED BY 4"
- PM19 - HANDICAP SYMBOL
- PM20 - HANDICAP VAN ACCESS STRIPE
- PM21 - 4" YELLOW STRIPE, 3' LONG, 9' GAP
- * ALL PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MUTCD SECTION 3.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Paving OPT 2.dwg



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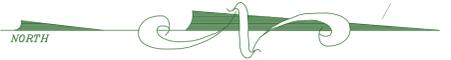
UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060
NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
PAVING OVERALL**

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

NOT FOR
CONSTRUCTION
REVIEW ONLY

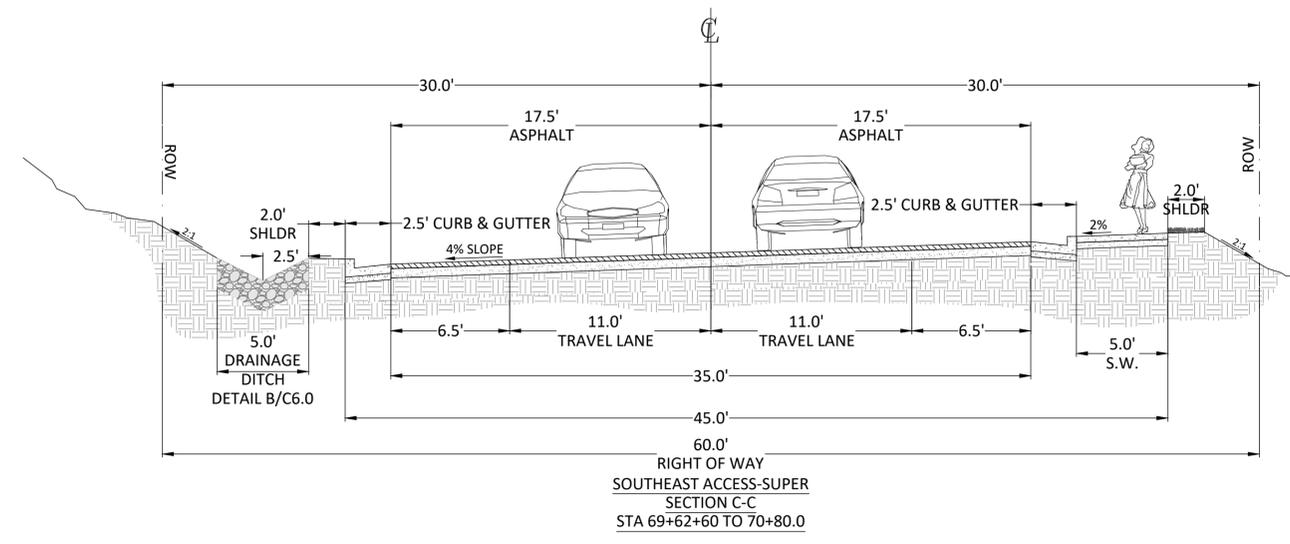
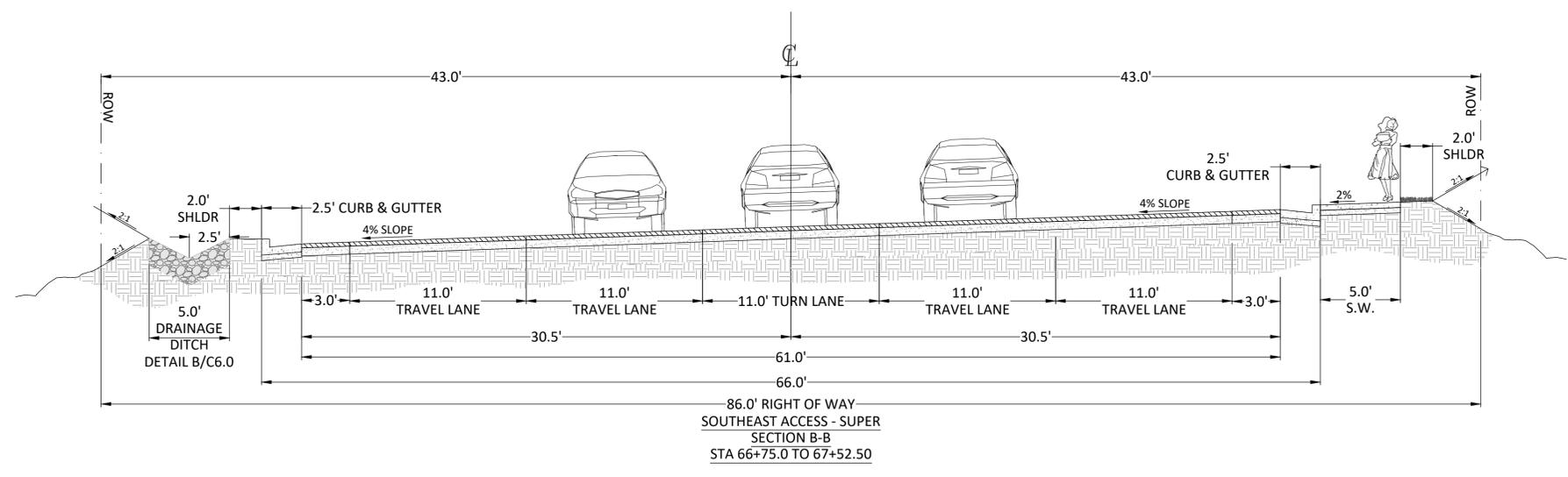
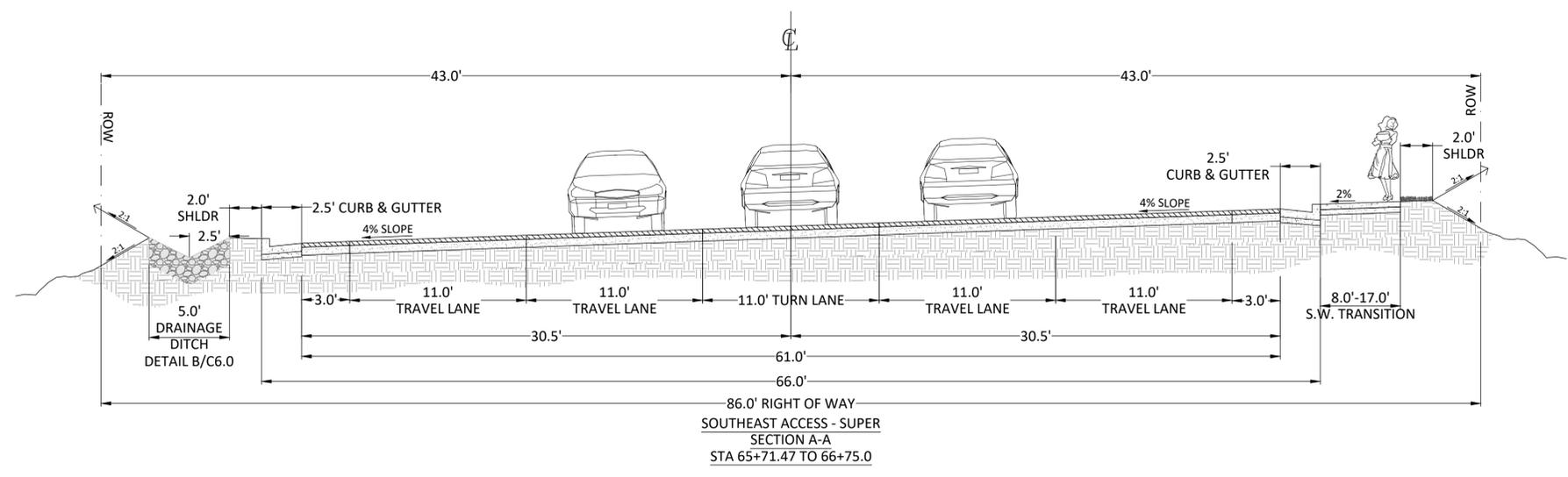
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Drawing Sheet C5.0	
Sheet 28 of 41	Sheets



Date: 10-19-2023

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File Name: East Access Paving OPT 2.dwg



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435-673-8060

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621 26TH STREET W.
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701-572-8100

**SOUTHEAST ACCESS ROAD
CROSS-SECTIONS**

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

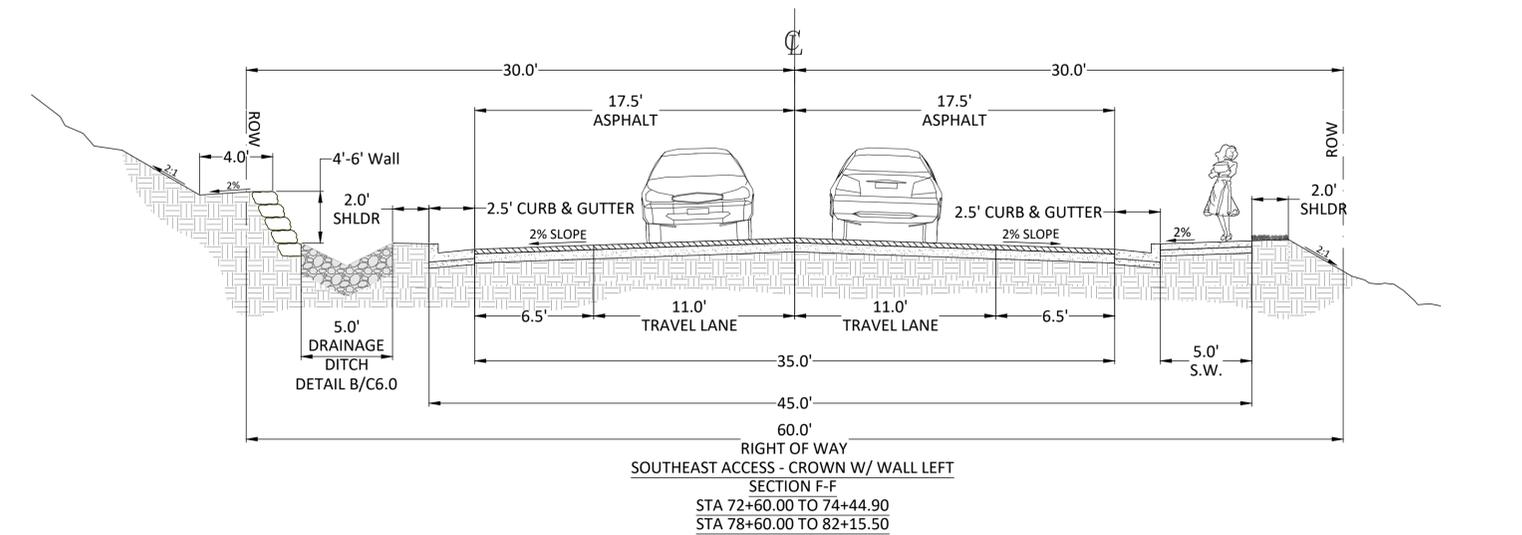
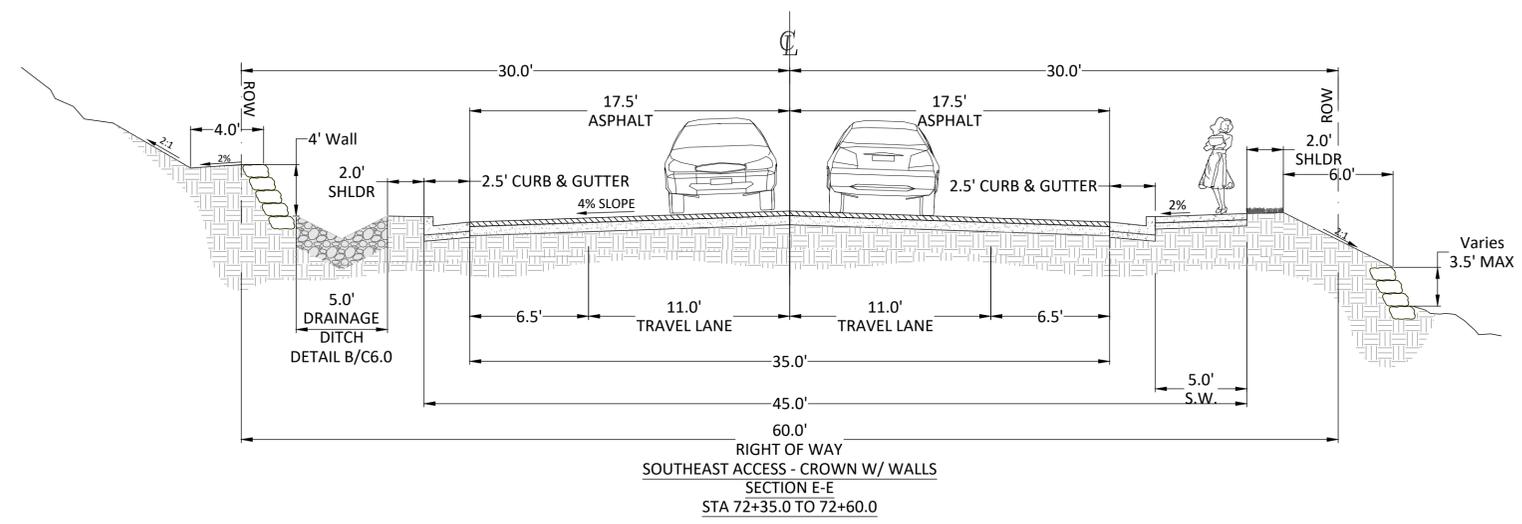
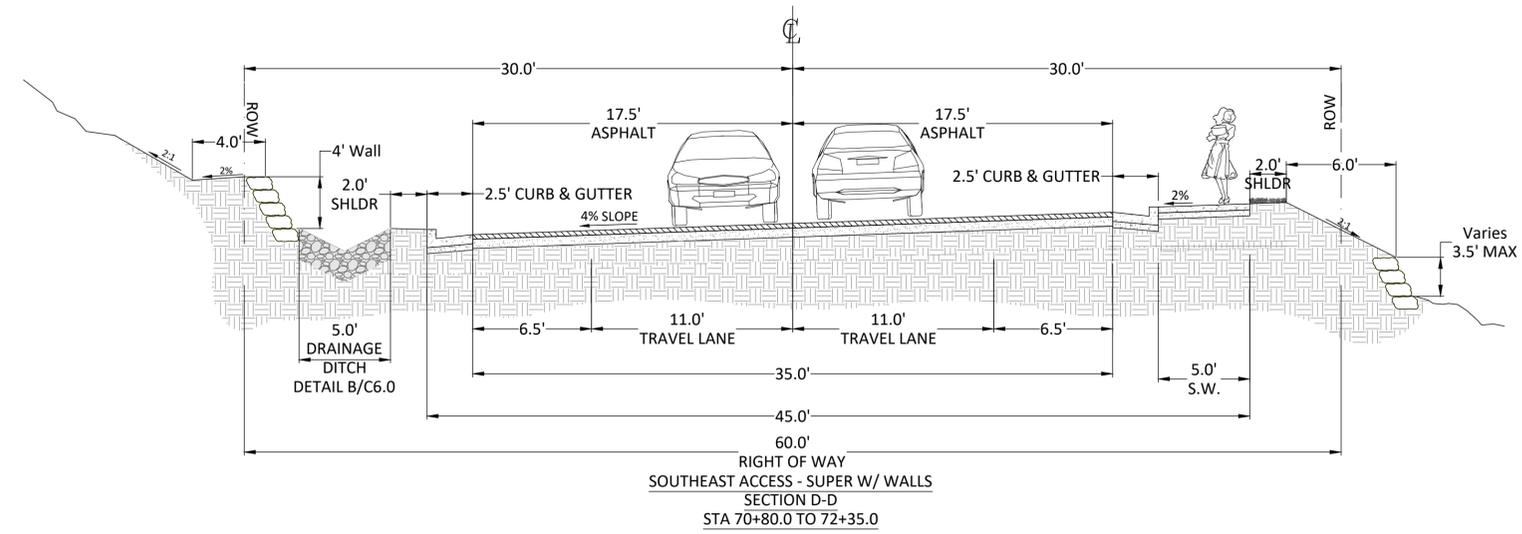
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CONSTRUCTION
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Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C5.1	
Sheet 29	of 41 Sheets

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Paving OPT 2.dwg



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
435-673-8060

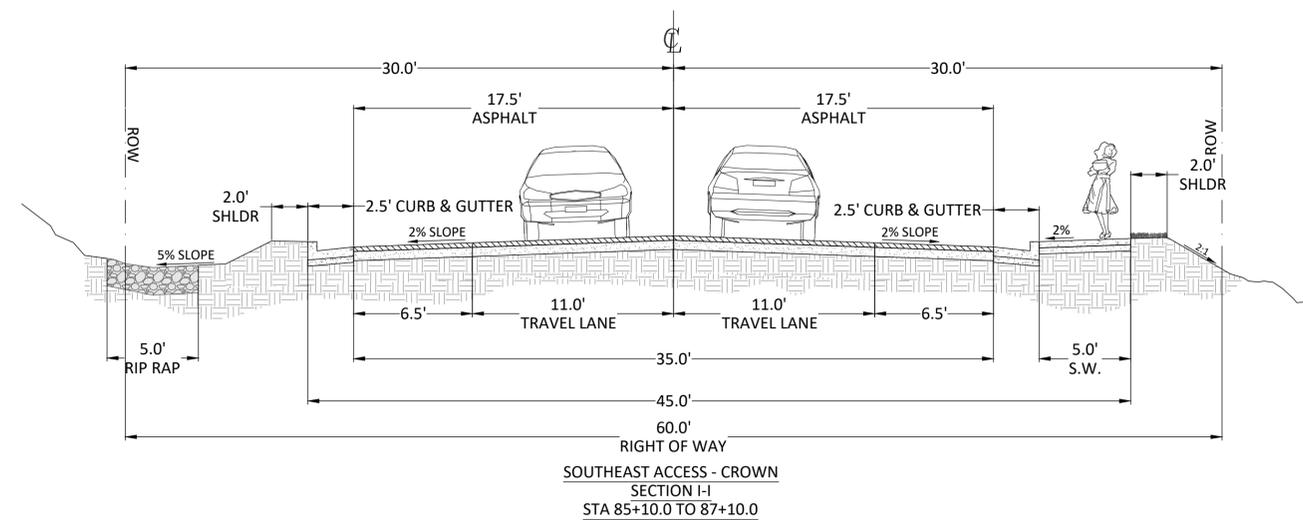
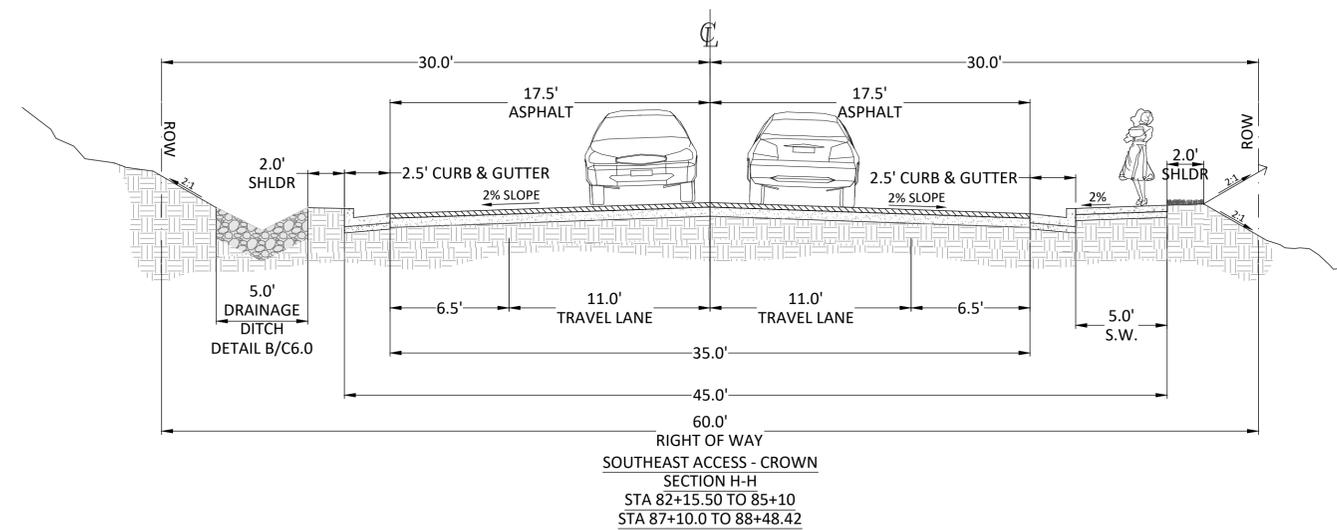
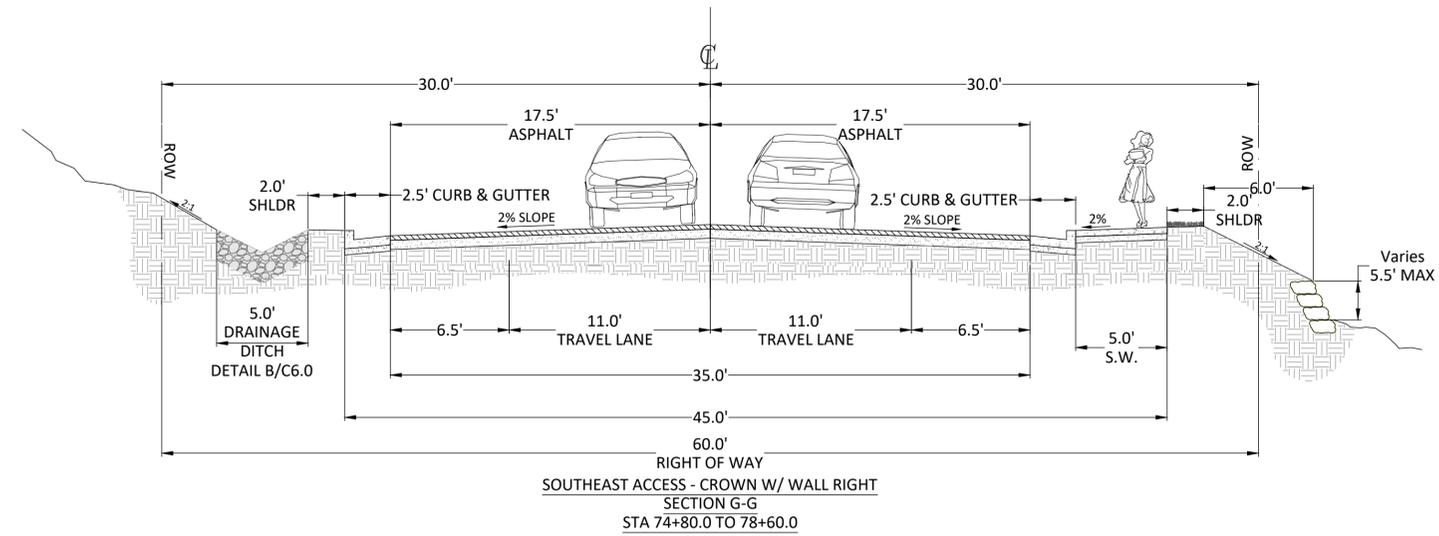
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS ROAD
CROSS SECTIONS**

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

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Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
Drawing Sheet C5.2	
Sheet 30	of 41
Sheets	



Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Paving OPT 2.dwg

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SOUTHEAST ACCESS ROAD CROSS SECTIONS

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

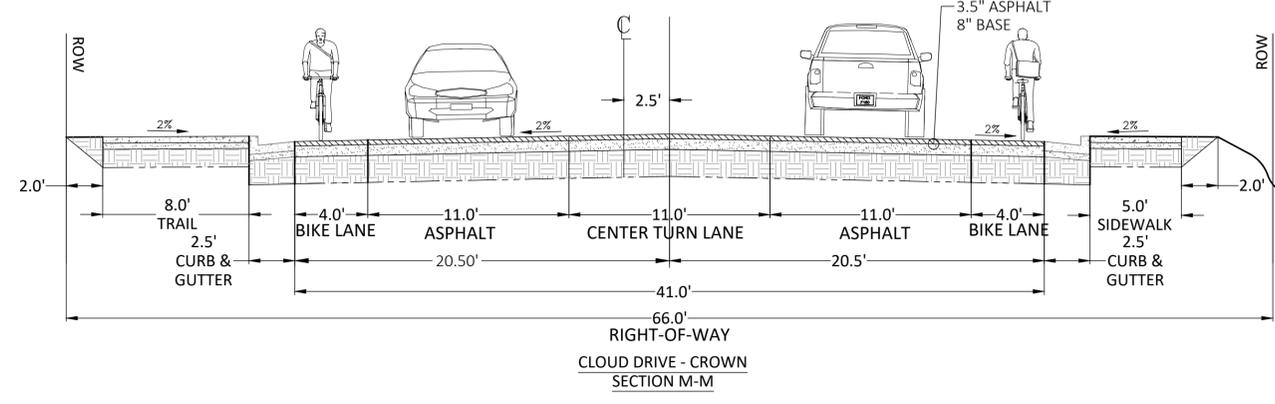
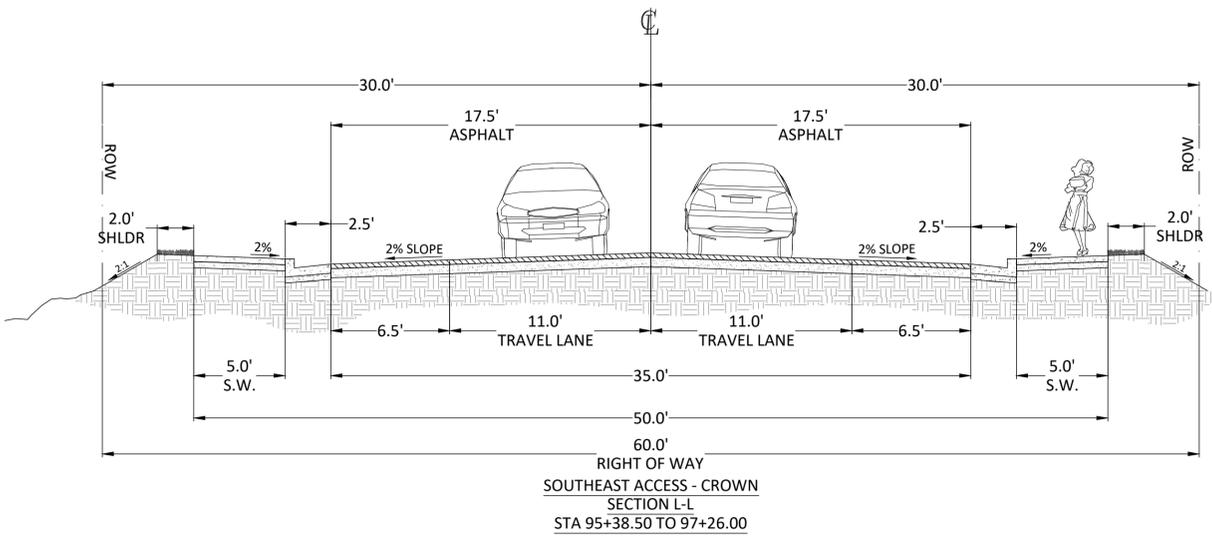
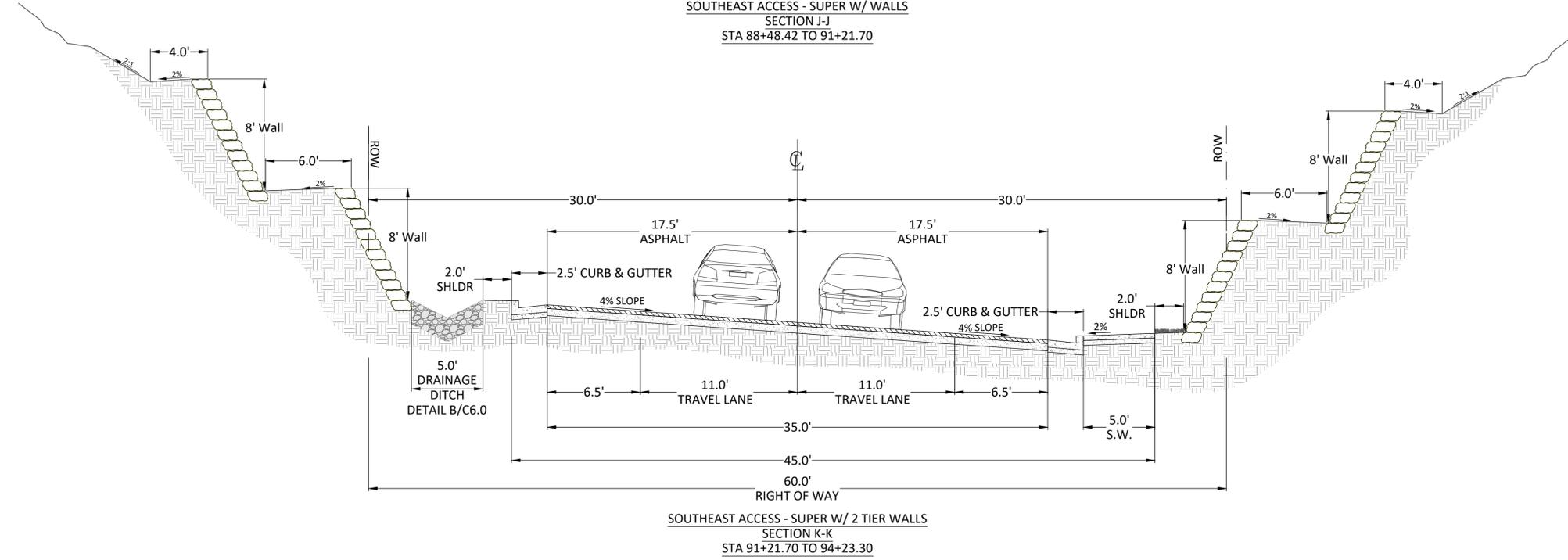
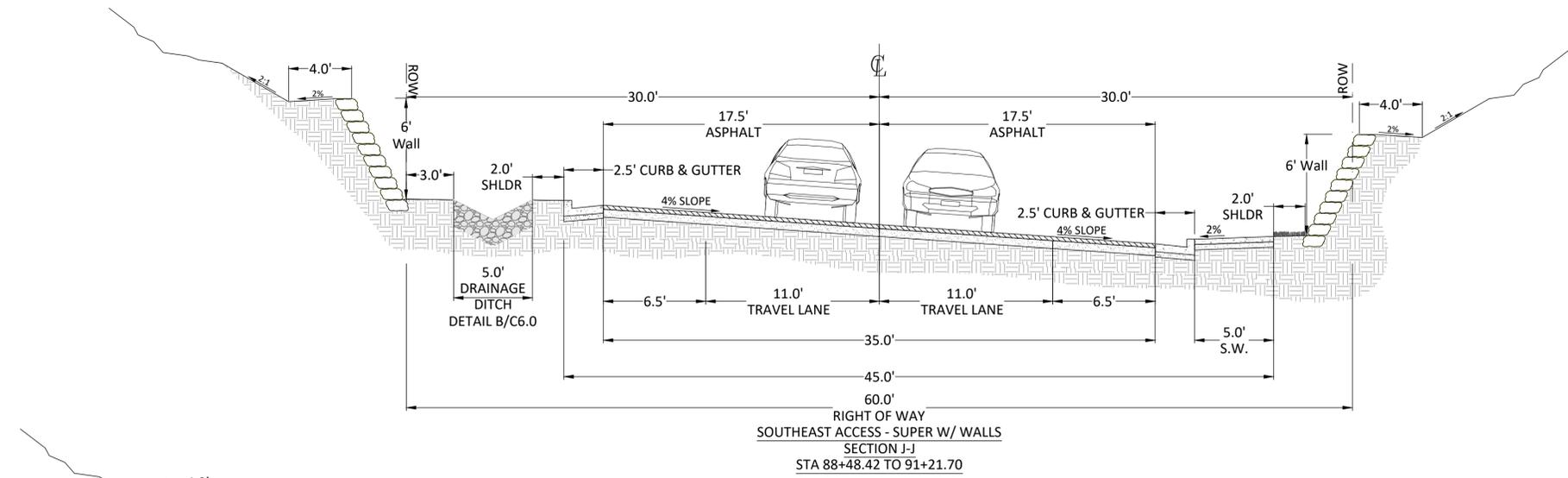
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Sheet 31 of 41	Sheets

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REVISIONS			
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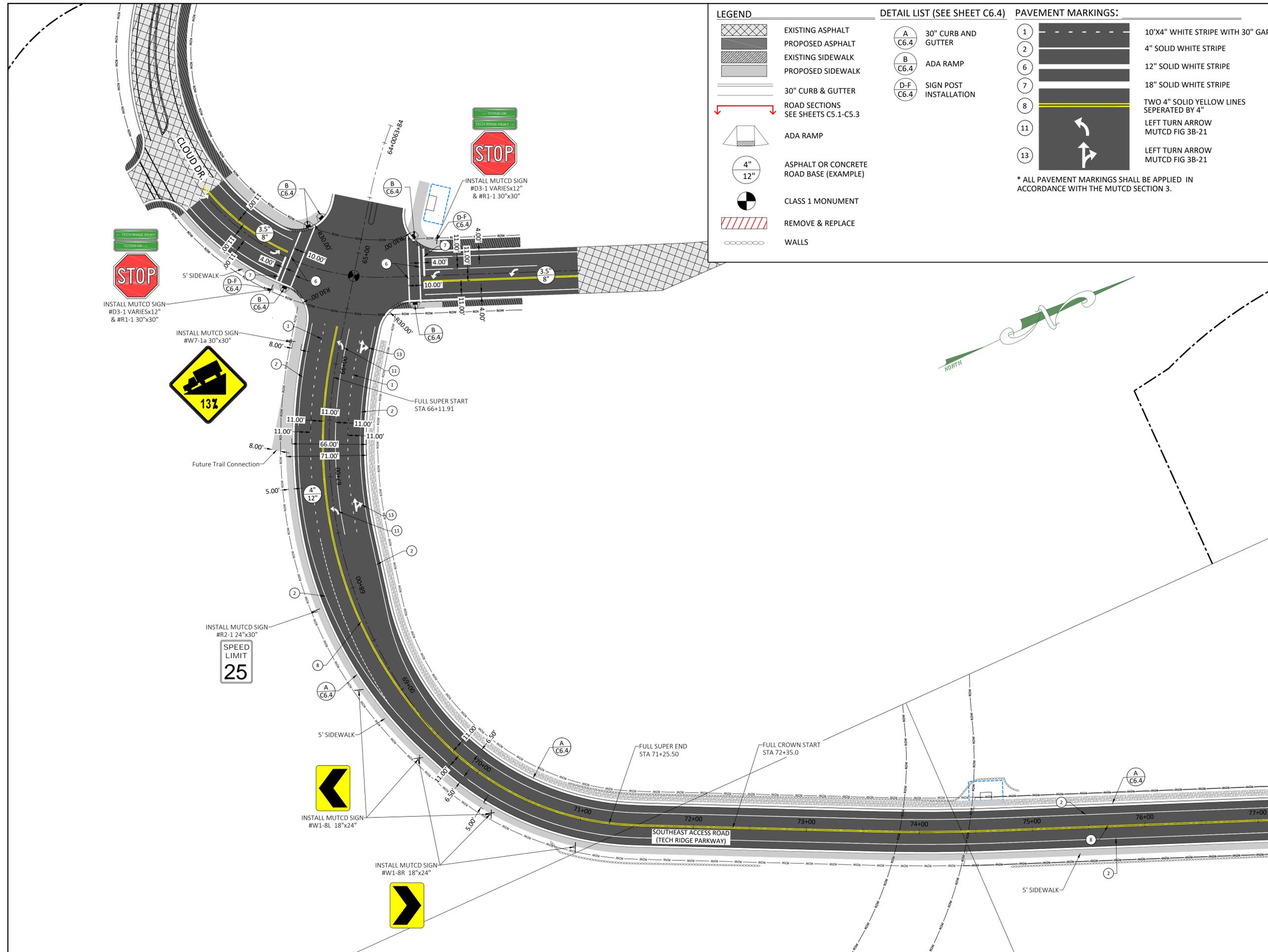
NORTH DAKOTA
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**SOUTHEAST ACCESS ROAD
CROSS SECTIONS**

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

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Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C5.4	
Sheet 32	of 41 Sheets



LEGEND

	EXISTING ASPHALT
	PROPOSED ASPHALT
	EXISTING SIDEWALK
	PROPOSED SIDEWALK
	30" CURB & GUTTER
	ROAD SECTIONS SEE SHEETS C5.1-C5.3
	ADA RAMP
	4" ASPHALT OR CONCRETE ROAD BASE (EXAMPLE)
	CLASS 1 MONUMENT
	REMOVE & REPLACE
	WALLS

DETAIL LIST (SEE SHEET C6.4)

	30" CURB AND GUTTER
	ADA RAMP
	SIGN POST INSTALLATION

PAVEMENT MARKINGS:

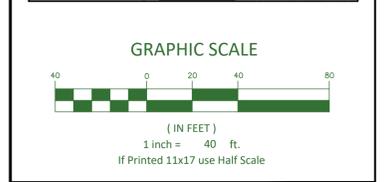
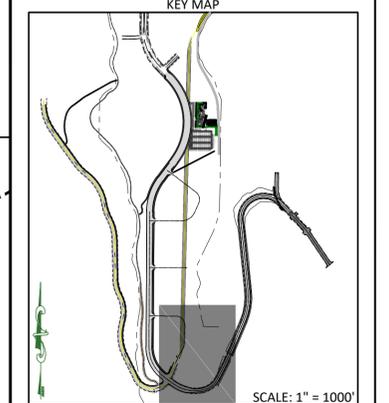
		10'X4" WHITE STRIPE WITH 30" GAP
		4" SOLID WHITE STRIPE
		12" SOLID WHITE STRIPE
		18" SOLID WHITE STRIPE
		TWO 4" SOLID YELLOW LINES SEPERATED BY 4"
		LEFT TURN ARROW MUTCD FIG 3B-21
		LEFT TURN ARROW MUTCD FIG 3B-21

* ALL PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MUTCD SECTION 3.

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REVISIONS			
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ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

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435-673-8060

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621 26TH STREET W.
WILLISTON, ND 58801
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SOUTHEAST ACCESS ROAD PAVING

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

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Drawn By: AZ	Scale: 1"=40'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C5.5	
Sheet 33 of 41	Sheets



DETAIL LIST (SEE SHEET C6.4)

- A
C6.4 30" CURB AND GUTTER
- B
C6.4 ADA RAMP
- D-F
C6.4 SIGN POST INSTALLATION

LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- 30" CURB & GUTTER
- ROAD SECTIONS SEE SHEETS C5.1-C5.3
- ADA RAMP
- 4" ASPHALT OR CONCRETE ROAD BASE (EXAMPLE)
- CLASS 1 MONUMENT
- REMOVE & REPLACE
- WALLS

PAVEMENT MARKINGS:

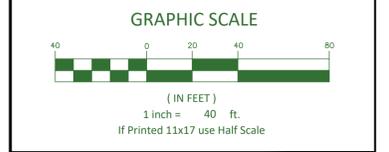
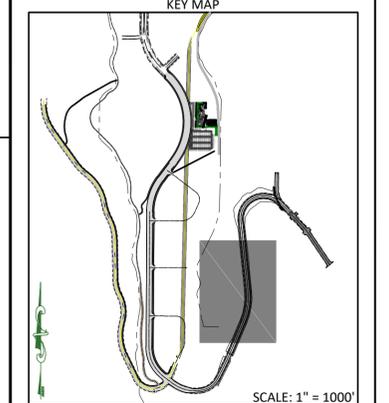
- 1 10'X4" WHITE STRIPE WITH 30" GAP
- 2 4" SOLID WHITE STRIPE
- 6 12" SOLID WHITE STRIPE
- 7 18" SOLID WHITE STRIPE
- 8 TWO 4" SOLID YELLOW LINES SEPERATED BY 4"
- 11 LEFT TURN ARROW MUTCD FIG 3B-21
- 13 LEFT TURN ARROW MUTCD FIG 3B-21

* ALL PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MUTCD SECTION 3.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Paving OPT 2.dwg



ALLIANCE CONSULTING
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 NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

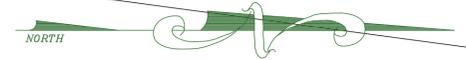
SOUTHEAST ACCESS ROAD PAVING

FOR
CITY OF ST. GEORGE
 LOCATED IN
 ST. GEORGE CITY
 WASHINGTON COUNTY, UT

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Drawn By: AZ	Scale: 1"=40'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C5.6	
Sheet 34 of 41	Sheets

PARCEL BOUNDARY



LEGEND

- EXISTING ASPHALT
- PROPOSED ASPHALT
- EXISTING SIDEWALK
- PROPOSED SIDEWALK
- 30" CURB & GUTTER
- ROAD SECTIONS SEE SHEETS C5.1-C5.3
- ADA RAMP
- 4" ASPHALT OR CONCRETE ROAD BASE (EXAMPLE)
- 12" ASPHALT OR CONCRETE ROAD BASE (EXAMPLE)
- CLASS 1 MONUMENT
- REMOVE & REPLACE
- WALLS

PAVEMENT MARKINGS:

- 1 10'X4" WHITE STRIPE WITH 30" GAP
- 2 4" SOLID WHITE STRIPE
- 6 12" SOLID WHITE STRIPE
- 7 18" SOLID WHITE STRIPE
- 8 TWO 4" SOLID YELLOW LINES SEPERATED BY 4"
- 11 LEFT TURN ARROW MUTCD FIG 3B-21
- 13 LEFT TURN ARROW MUTCD FIG 3B-21

* ALL PAVEMENT MARKINGS SHALL BE APPLIED IN ACCORDANCE WITH THE MUTCD SECTION 3.

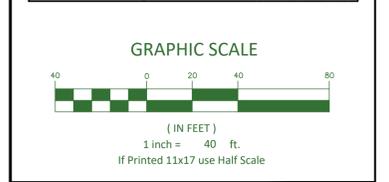
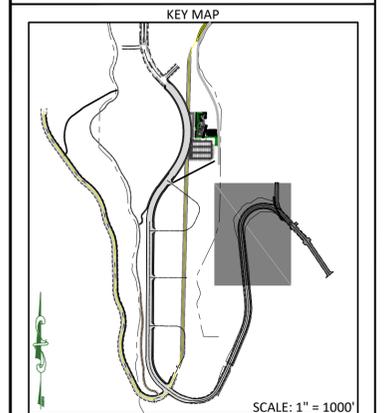
DETAIL LIST (SEE SHEET C6.4)

- A 30" CURB AND GUTTER
- B ADA RAMP
- D-F SIGN POST INSTALLATION

Date: 10-19-2023

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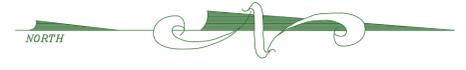
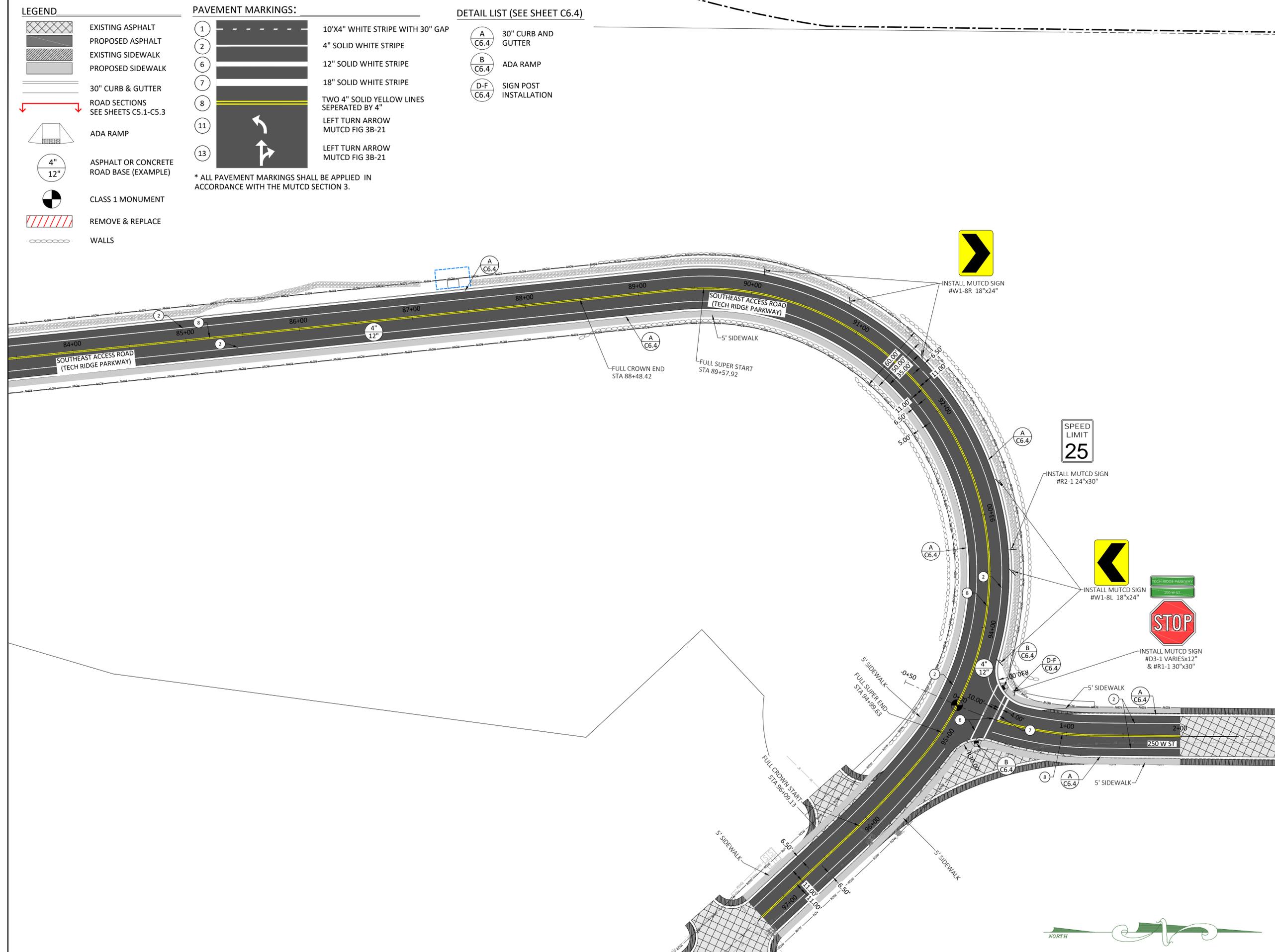
SOUTHEAST ACCESS ROAD PAVING

FOR
CITY OF ST. GEORGE
LOCATED IN
ST. GEORGE CITY
WASHINGTON COUNTY, UT

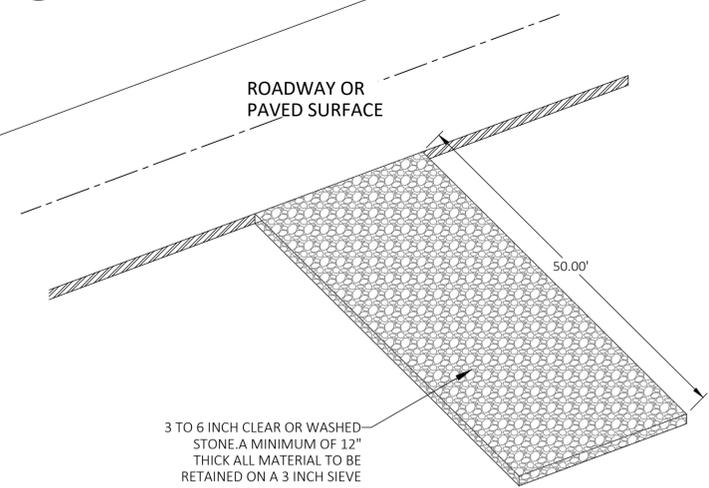
NOT FOR CONSTRUCTION REVIEW ONLY

Drawn By: AZ Scale: 1"=40'
Client No. 4568-21 Project No. 4568-21

Drawing Sheet
C5.7
Sheet 35 of 41 Sheets

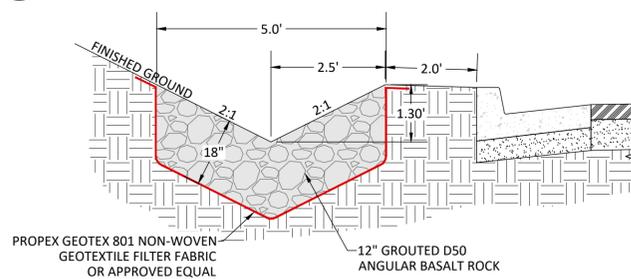


A TRACKING PAD DETAIL
SCALE: NONE



- NOTES:**
- DIVERT FLOW AWAY FROM TRACKING PAD USING CULVERTS, SHALLOW TRENCH OR DIVERSION DAM.
 - ROCKS LODGED BETWEEN THE TIRES OF DUAL VEHICLES SHALL BE REMOVED PRIOR TO LEAVING THE SITE.
 - ON SITES WITH A HIGH WATER TABLE OR SATURATED SOILS. INSTALL A GEOTEXTILE FABRIC UNDER STONE TRACKING PAD.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND /OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.

B RIP RAP DITCH DETAIL
SCALE: NONE



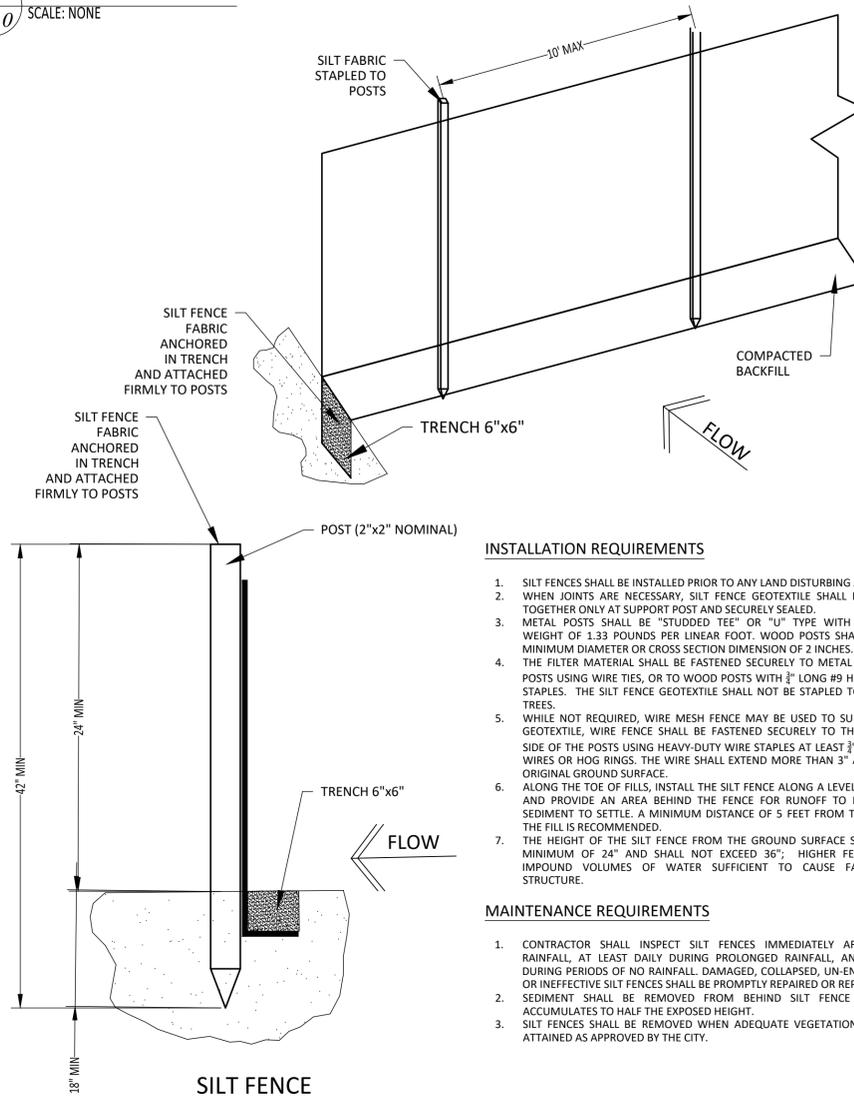
- FILTER FABRIC SHALL BE PROPEX GEOTEX 801 WOVEN GEOTEXTILE OR AN APPROVED EQUAL. FABRIC SHALL BE PLACED AS SHOWN HEREON AND INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS. CARE SHALL BE TAKEN TO PREVENT FABRIC FROM TEARING DURING ROCK PLACEMENT.
- ROCK USED FOR HAND PLACED RIP-RAP SHALL BE HARD, DURABLE, ANGULAR IN SHAPE, AND FREE FROM CRACKS, OVERBURDEN, SHALE, AND ORGANIC MATTER. NEITHER BREADTH NOR THICKNESS OF A SINGLE STONE SHALL BE LESS THAN 1/3 ITS LENGTH AND ROUNDED STONES SHALL BE AVOIDED. ROCK HAVING A MINIMUM SPECIFIC GRAVITY OF 2.60 IS PREFERRED; HOWEVER, IN NO CASE SHOULD ROCK HAVE A SPECIFIC GRAVITY LESS THAN 2.50. CLASSIFICATION AND GRADATION FOR RIPRAP IS SHOWN IN THE ROCK GRADATION TABLE. ALL ROCK RIP-RAP SHALL BE INSPECTED BY THE ENGINEER PRIOR TO BACKFILLING.
- RIP-RAP THICKNESS SHALL BE 2 X MAX. ROCK DIA.

ROCK GRADATION TABLE

Stone Diameter Range (ft)	Loose Riprap Gradations Percent of Gradation Smaller Than	Riprap D ₅₀ **				
		12"	14"	18"	24"	30"
1.5 D ₅₀ to 1.70 D ₅₀	100	18-20	21-24	27-31	36-41	45-51
1.2 D ₅₀ to 1.40 D ₅₀	85	14-17	17-20	22-25	29-34	36-42
1.0 D ₅₀ to 1.150 D ₅₀	50	12-14	14-16	18-21	24-28	30-35
0.4 D ₅₀ to 0.60 D ₅₀	15	5-7	6-9	7-11	10-15	12-18
0.1 D ₅₀	10	1	1.5	2	2.5	3

*D50 = Nominal particle size

C SILT FENCE DETAIL
SCALE: NONE



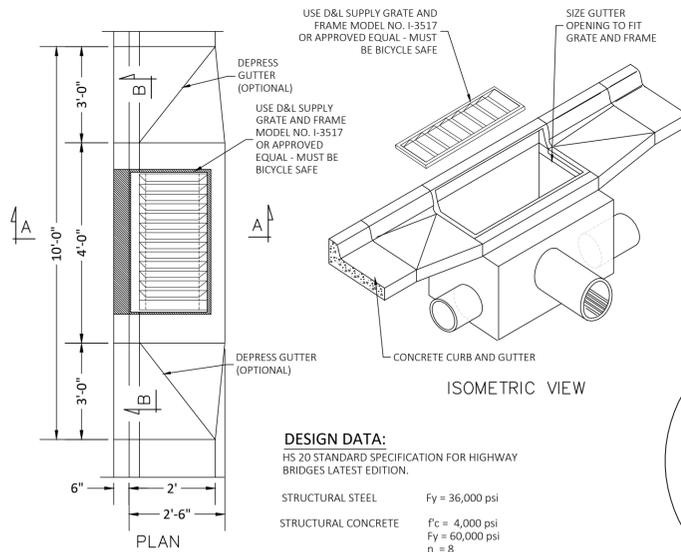
INSTALLATION REQUIREMENTS

- SILT FENCES SHALL BE INSTALLED PRIOR TO ANY LAND DISTURBING ACTIVITY.
- WHEN JOINTS ARE NECESSARY, SILT FENCE GEOTEXTILE SHALL BE SPLICED TOGETHER ONLY AT SUPPORT POST AND SECURELY SEALED.
- METAL POSTS SHALL BE "STUDDED TEE" OR "U" TYPE WITH MINIMUM WEIGHT OF 1.33 POUNDS PER LINEAR FOOT. WOOD POSTS SHALL HAVE A MINIMUM DIAMETER OR CROSS SECTION DIMENSION OF 2 INCHES.
- THE FILTER MATERIAL SHALL BE FASTENED SECURELY TO METAL OR WOOD POSTS USING WIRE TIES, OR TO WOOD POSTS WITH 3/4" LONG #9 HEAVY-DUTY STAPLES. THE SILT FENCE GEOTEXTILE SHALL NOT BE STAPLED TO EXISTING TREES.
- WHILE NOT REQUIRED, WIRE MESH FENCE MAY BE USED TO SUPPORT THE GEOTEXTILE, WIRE FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY-DUTY WIRE STAPLES AT LEAST 3/4" LONG. TIE WIRES OR HOG RINGS. THE WIRE SHALL EXTEND MORE THAN 3" ABOVE THE ORIGINAL GROUND SURFACE.
- ALONG THE TOE OF FILLS, INSTALL THE SILT FENCE ALONG A LEVEL CONTOUR AND PROVIDE AN AREA BEHIND THE FENCE FOR RUNOFF TO POND AND SEDIMENT TO SETTLE. A MINIMUM DISTANCE OF 5 FEET FROM THE TOE OF THE FILL IS RECOMMENDED.
- THE HEIGHT OF THE SILT FENCE FROM THE GROUND SURFACE SHALL BE A MINIMUM OF 24" AND SHALL NOT EXCEED 36"; HIGHER FENCES MAY IMPOUND VOLUMES OF WATER SUFFICIENT TO CAUSE FAILURE OF STRUCTURE.

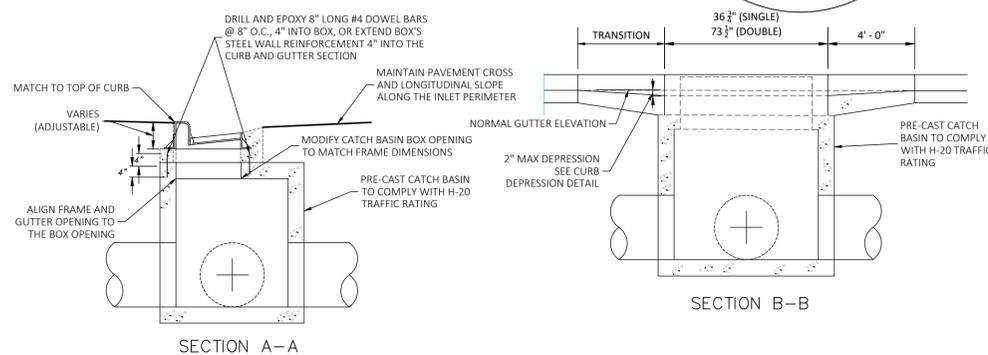
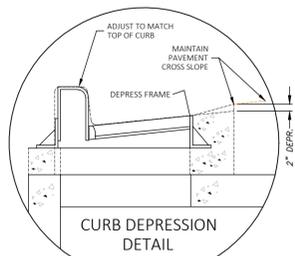
MAINTENANCE REQUIREMENTS

- CONTRACTOR SHALL INSPECT SILT FENCES IMMEDIATELY AFTER EACH RAINFALL, AT LEAST DAILY DURING PROLONGED RAINFALL, AND WEEKLY DURING PERIODS OF NO RAINFALL. DAMAGED, COLLAPSED, UN-ENTRENCHED OR INEFFECTIVE SILT FENCES SHALL BE PROMPTLY REPAIRED OR REPLACED.
- SEDIMENT SHALL BE REMOVED FROM BEHIND SILT FENCE WHEN IT ACCUMULATES TO HALF THE EXPOSED HEIGHT.
- SILT FENCES SHALL BE REMOVED WHEN ADEQUATE VEGETATION COVER IS ATTAINED AS APPROVED BY THE CITY.

D INLET BOX DETAIL
SCALE: NONE



- NOTES:**
- USE COATED DEFORMED REINFORCING STEEL BARS CONFORMING TO AASHTO M 284 OR M 111 AND M 31 GRADE 60 RESPECTIVELY.
 - FIELD CUT AND BEND REINFORCING STEEL AS NECESSARY TO CLEAR PIPES AND MAINTAIN 2" COVER. REPAIR ANY DAMAGE OR CUTS TO THE EPOXY COATING ON REINFORCING BARS.
 - USE CLASS AA (AE) CONCRETE.
 - USE TYPE II CEMENT (LOW ALKALI).
 - PROVIDE 2" CONCRETE COVER TO REINFORCING STEEL.
 - FOR NUMBER, LOCATION, AND SIZE OF PIPE SEE ROADWAY PLANS.
 - SEE PLANS FOR DEPRESSION DIMENSIONS.
 - PROVIDE 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
 - FOR GRATE AND FRAME USE D&L SUPPLY MODEL NO. I-3517 OR APPROVED EQUAL.



Date: 10-19-2023

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435-673-8060

NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
DETAILS**

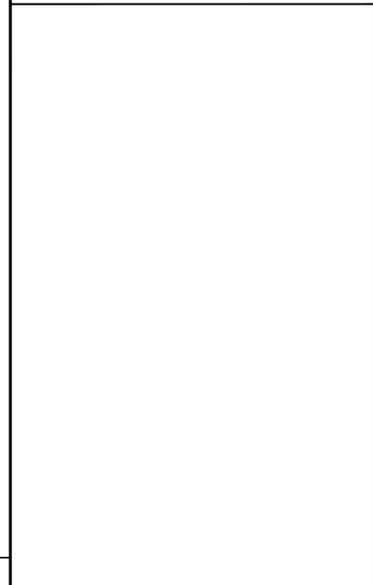
FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C6.0	
Sheet 36 of 41	Sheets

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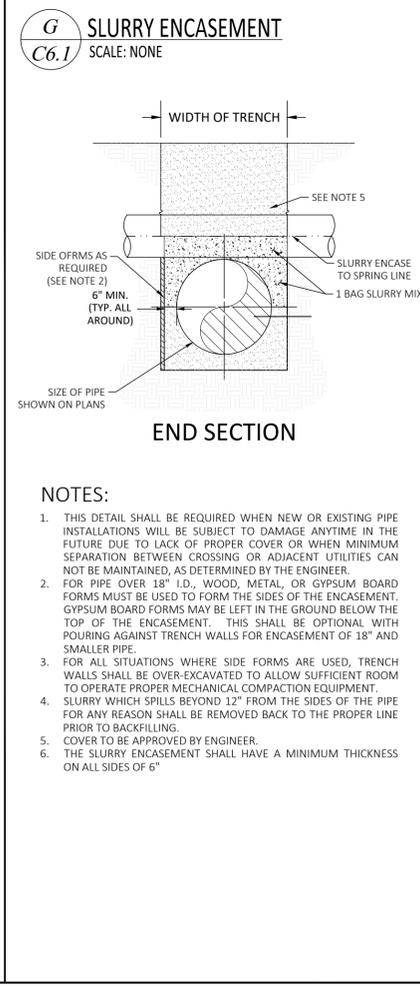
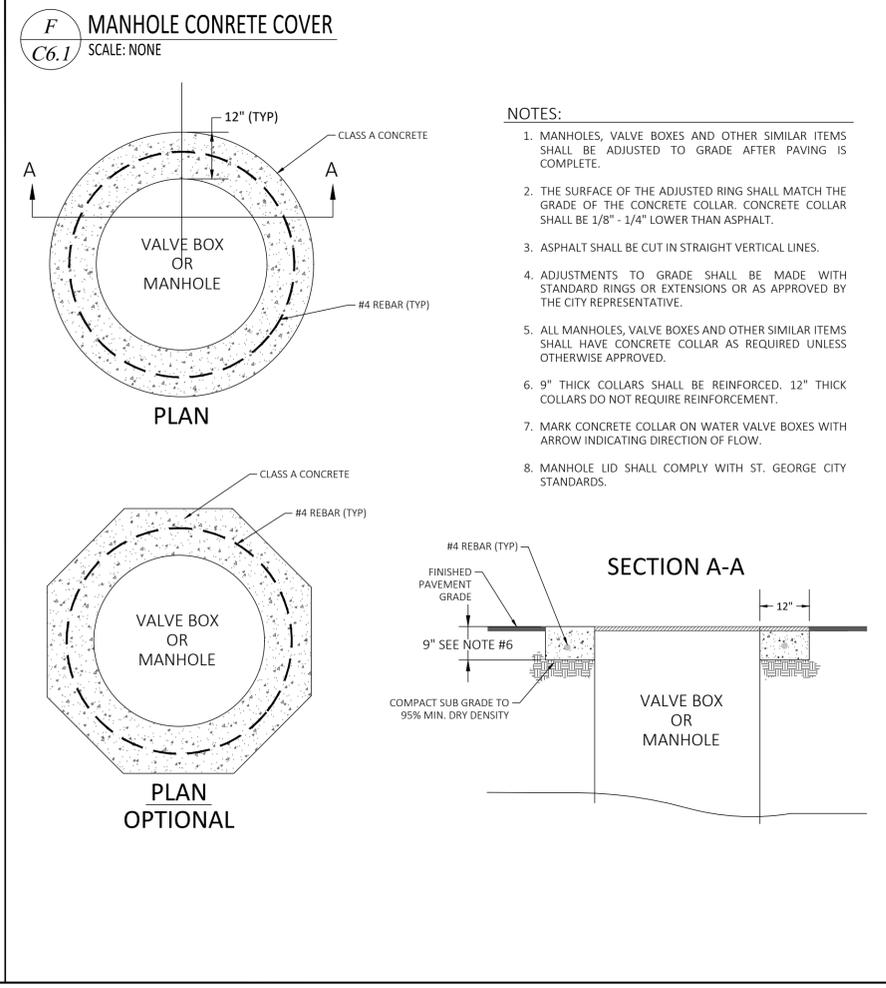
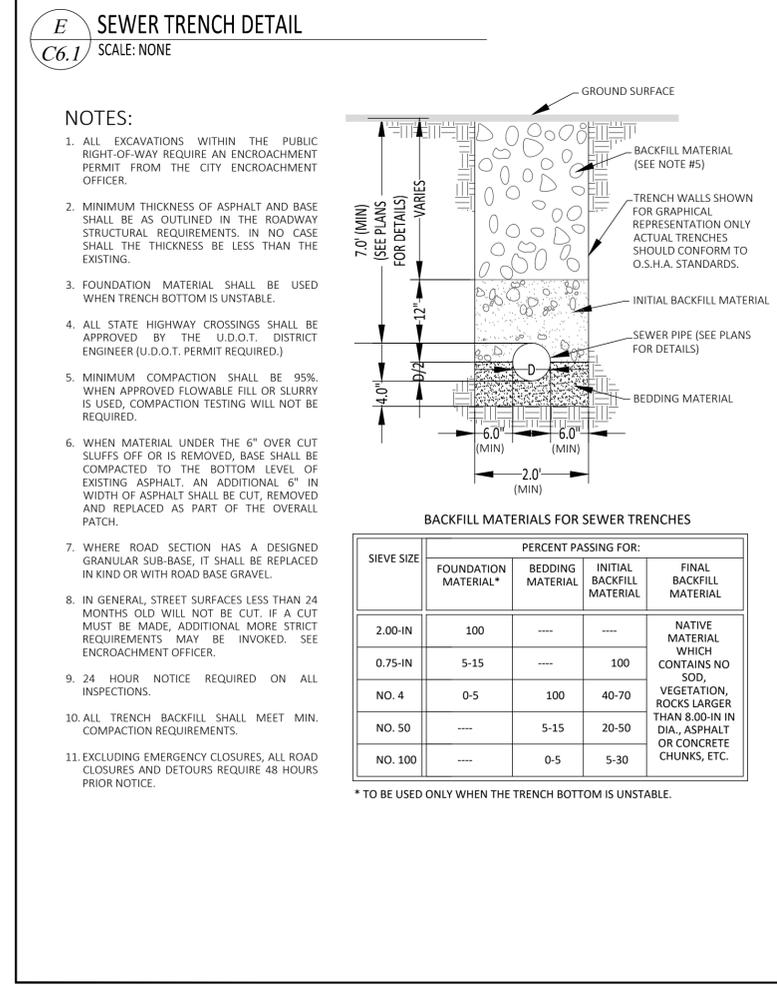
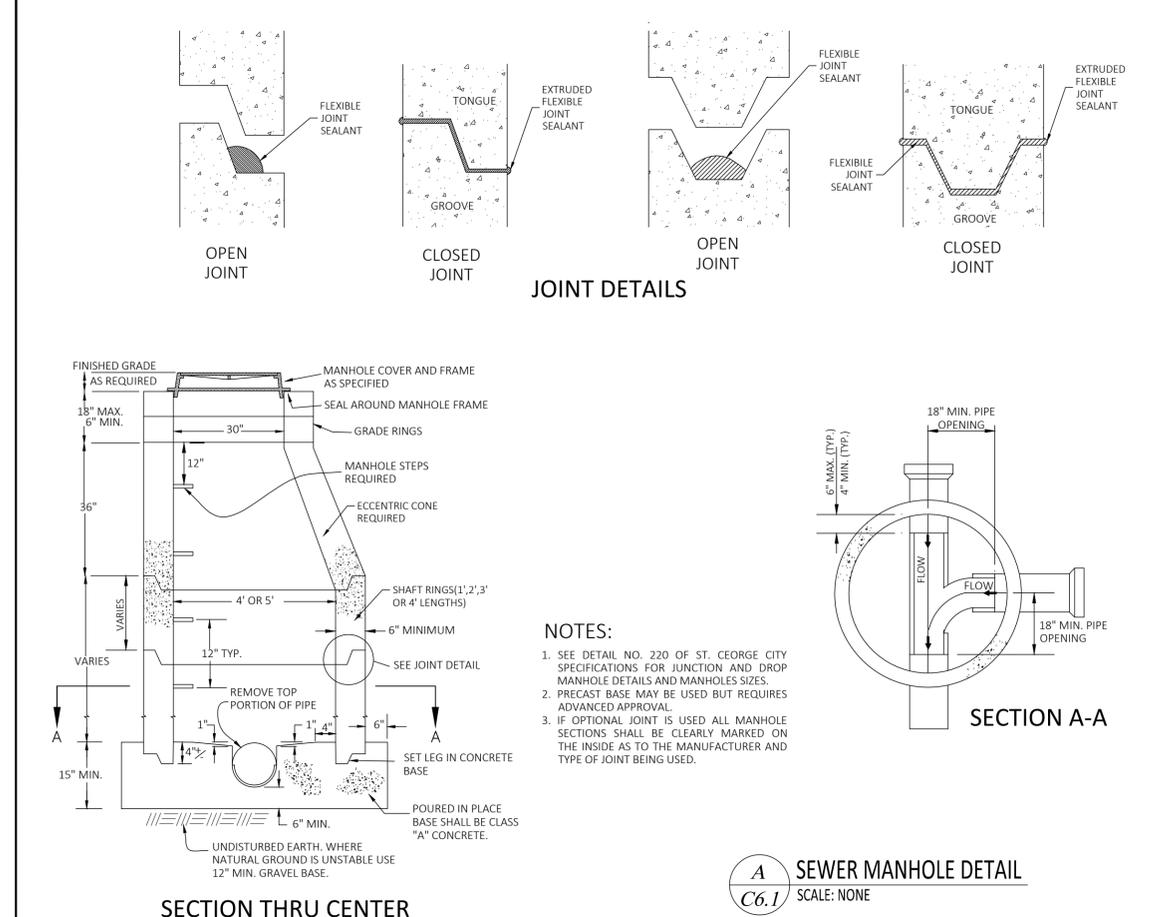
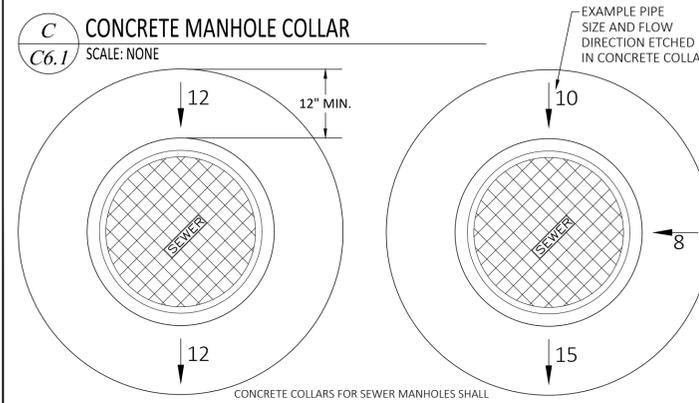
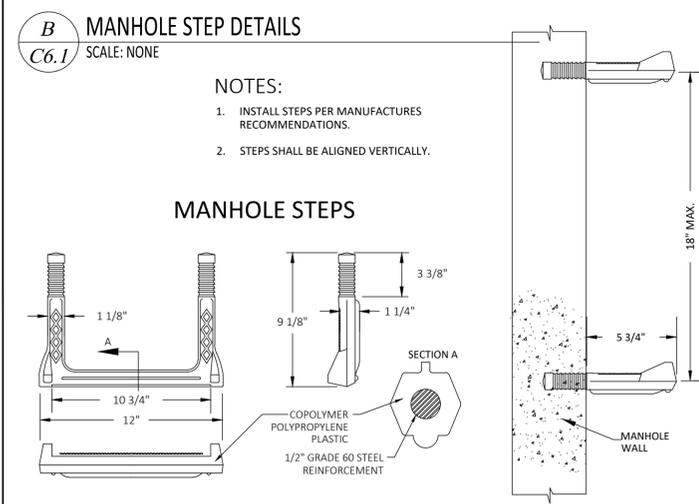
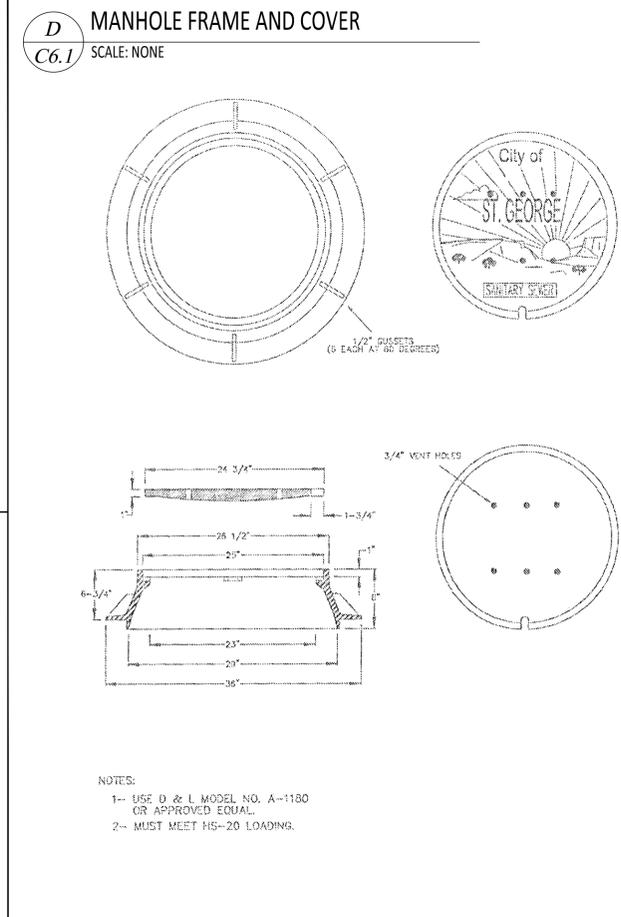
NORTH DAKOTA
621 26TH STREET W.
WILLISTON, ND 58801
701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
DETAILS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

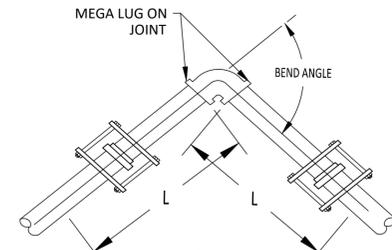
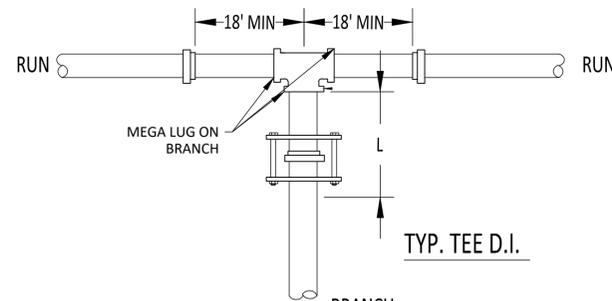
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Drawing Sheet	
C6.1	
Sheet 37	of 41 Sheets



A MECHANICAL JOINT DETAIL-D.I.

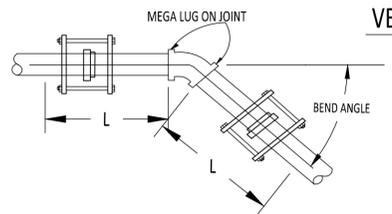
C6.2 SCALE: NONE



HORIZONTAL BEND FOR D.I.

1. ALL JOINTS WITHIN LENGTH "L" MUST BE RESTRAINED. USE RETAINER GLAND AT MECHANICAL JOINTS AND HARNESS WITH PUSH-ON PIPE PER CITY SPECIFICATION.
2. FOR TEST PRESSURES AND LAYING CONDITIONS SEE SECTION ON GENERAL NOTES FOR USE OF RESTRAINED JOINT LENGTHS.

BEND ANGLE	SIZE DIAMETER		RESTRAINED LENGTHS, "L" (IN FEET)												
	4	6	8	10	12	14	16	20	22.5	28	34	40	45	51	62
11.25	3	2	3	3	4	4	5	6							
22.5	3	4	7	7	8	9	10	12							
45	6	9	12	14	16	19	21	26							
90	15	21	28	34	40	45	51	62							



VERTICAL DOWN BEND D.I.

1. ALL JOINTS WITHIN LENGTH "L" MUST BE RESTRAINED. USE RETAINER GLAND AT MECHANICAL JOINTS AND HARNESS WITH PUSH-ON PIPE PER CITY SPECIFICATION.
2. FOR TEST PRESSURES AND LAYING CONDITIONS SEE SECTION ON GENERAL NOTES FOR USE OF RESTRAINED JOINT LENGTHS.

BEND ANGLE	SIZE DIAMETER		RESTRAINED LENGTHS, "L" (IN FEET)											
	4	6	8	10	12	14	16	20	22.5	28	33	38	43	53
11.25	3	5	7	8	8	10	11	13						
22.5	6	10	11	14	16	18	22	25						
45	14	18	24	28	33	38	43	53						

IN LINE VALVE/DEAD END ON D.I. PIPE



1. ALL JOINTS WITHIN LENGTH "L" MUST BE RESTRAINED. USE RETAINER GLAND AT MECHANICAL JOINTS AND HARNESS WITH PUSH-ON PIPE PER CITY SPECIFICATION.
2. FOR TEST PRESSURES AND LAYING CONDITIONS SEE SECTION ON GENERAL NOTES FOR USE OF RESTRAINED JOINT LENGTHS.

PIPE SIZE IN INCHES									
4	6	8	10	12	14	16	18	20	
44	62	82	99	118	135	153	169	187	

RESTRAINED JOINT LENGTHS USAGE GENERAL NOTES

RESTRAINED LENGTH CALCULATIONS ARE BASED ON THE FOLLOWING DESIGN TYPICALLY USED WITH BACKFILL IN ST. GEORGE.

1. THREE (3) FEET MINIMUM DEPTH OF COVER.
2. A SAFETY FACTOR OF 1.5
3. SOIL TYPE SANDY CLAY
4. TYPE 5 TRENCH COMPACTION FROM FOUR (4) INCHES MINIMUM UNDER THE PIPE TO THE CENTER LINE OF THE PIPE, AND COMPACTED GRANULAR OR SELECTED MATERIAL FROM THE CENTER LINE OF THE PIPE TO THE TOPOF THE PIPE (90 PERCENT STANDARD PROCTOR DENSITY, AASHTO T-99).
5. 200 PSI TEST PRESSURES FOR FOUR (4) THROUGH SIXTEEN (16) INCH SIZE PIPES.

IF ACTUAL CONDITIONS DIFFER FROM THOSE LISTED ABOVE OR THE REQUIRED RESTRAINED LENGTH CANNOT BE MET, THE RESTRAINED JOINT LENGTH SHALL BE DETERMINED BY THE WATER ENGINEER.

BRANCH SIZE DIAMETER	RUN SIZE DIAMETER		BRANCH													
	4	6	8	10	12	14	16	18	20	24						
4	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
6	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
8	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*	*
10	*	*	*	10	2	*	*	*	*	*	*	*	*	*	*	*
12	*	*	*	19	12	4	*	*	*	*	*	*	*	*	*	*
14	*	*	*	28	22	15	8	*	*	*	*	*	*	*	*	*
16	*	*	*	37	31	26	13	*	*	*	*	*	*	*	*	*
18	*	*	*	46	41	30		*	*	*	*	*	*	*	*	*
20	*	*	*	55	45			*	*	*	*	*	*	*	*	*
24	*	*	*	72				*	*	*	*	*	*	*	*	*

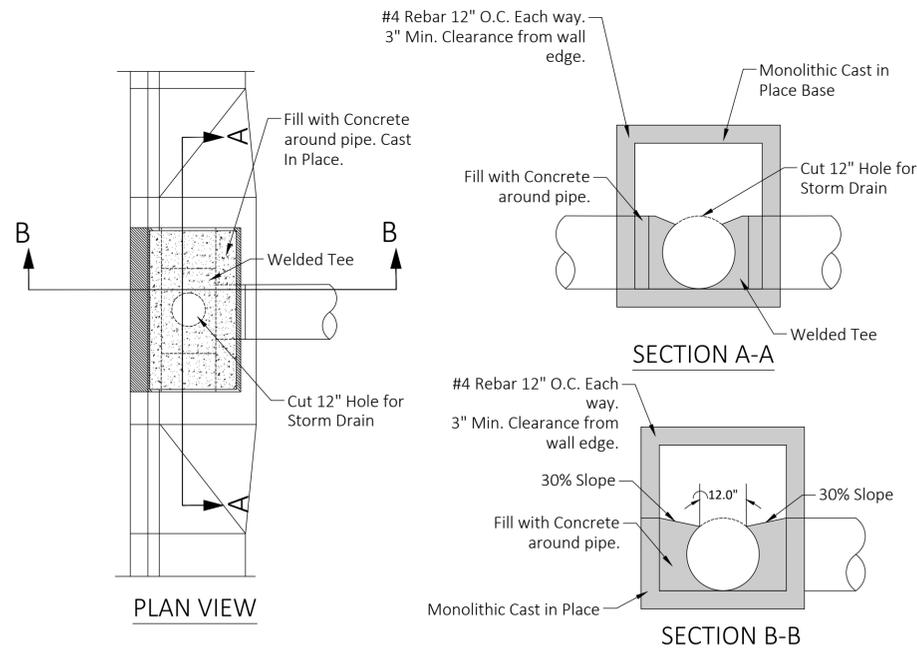
* - FOR THIS CONDITION NEED ONLY RESTRAIN THE BRANCH OUTLET OF THE TEE.

RESTRAINED LENGTHS, "L" (IN FEET)

1. RESTRAIN THE TWO MECHANICAL JOINTS ON THE RUN SIDES OF THE TEE. THERE SHOULD BE A FULL 18' LENGTH OF PIPE INSTALLED ON EACH SIDE OF THE TEE.
2. ALL JOINTS WITHIN THE LENGTH "L" ON THE BRANCH MUST BE RESTRAINED. USE RETAINER GLAND AT MECHANICAL JOINTS AND HARDNESS ON PUSH-ON PIPE PER CITY SPECIFICATION.
3. FOR TEST PRESSURES AND LAYING CONDITIONS SEE SECTION ON GENERAL NOTES FOR USE OF RESTRAINED JOINT LENGTHS.

B INLET BOX WITH WELDED PIPE

C6.2 SCALE: NONE



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**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
DETAILS**

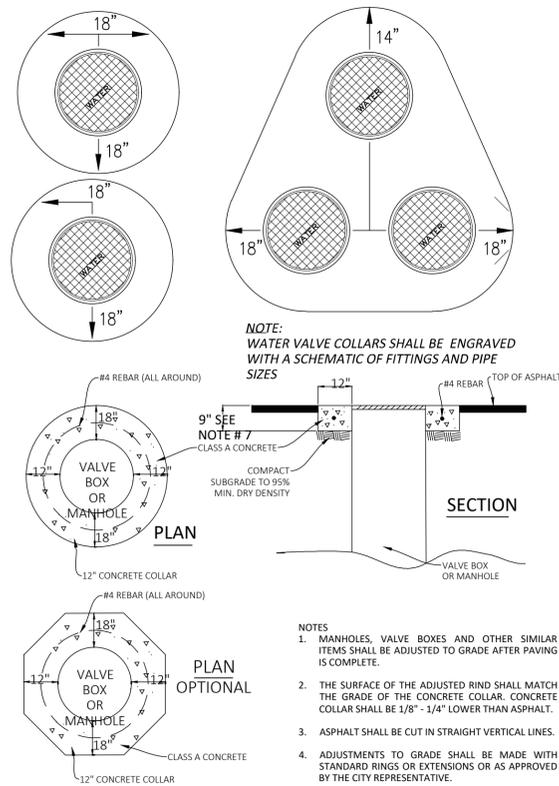
FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

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Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C6.2	
Sheet 38	of 41 Sheets

A WATER VALVE CONC. COLLAR

C6.3 SCALE: NONE

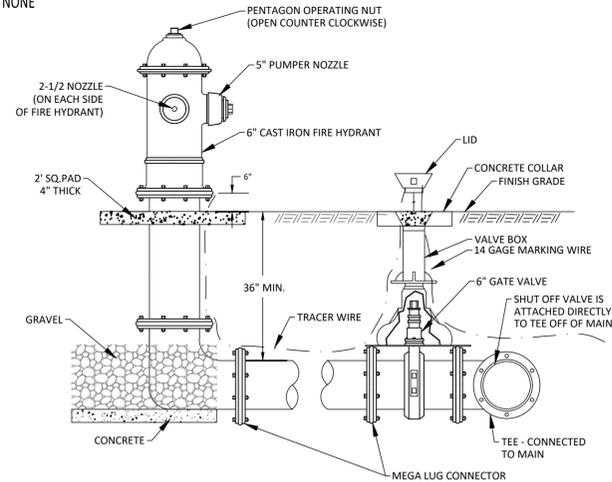


NOTE: WATER VALVE COLLARS SHALL BE ENGRAVED WITH A SCHEMATIC OF FITTINGS AND PIPE SIZES

- NOTES:
1. MANHOLES, VALVE BOXES AND OTHER SIMILAR ITEMS SHALL BE ADJUSTED TO GRADE AFTER PAVING IS COMPLETE.
 2. THE SURFACE OF THE ADJUSTED RIND SHALL MATCH THE GRADE OF THE CONCRETE COLLAR. CONCRETE COLLAR SHALL BE 1/8" - 1/4" LOWER THAN ASPHALT.
 3. ASPHALT SHALL BE CUT IN STRAIGHT VERTICAL LINES.
 4. ADJUSTMENTS TO GRADE SHALL BE MADE WITH STANDARD RINGS OR EXTENSIONS OR AS APPROVED BY THE CITY REPRESENTATIVE.
 5. ALL MANHOLES, VALVE BOXES AND OTHER SIMILAR ITEMS SHALL HAVE CONCRETE COLLAR AS REQUIRED UNLESS OTHERWISE APPROVED.
 6. 9" THICK COLLARS SHALL BE REINFORCED. 12" THICK COLLARS DO NOT REQUIRE REINFORCEMENT.
 7. MARK CONCRETE COLLAR ON WATER VALVE BOXES WITH ARROW INDICATING DIRECTION OF FLOW AND LINE SIZE.

B TYP. FIRE HYDRANT

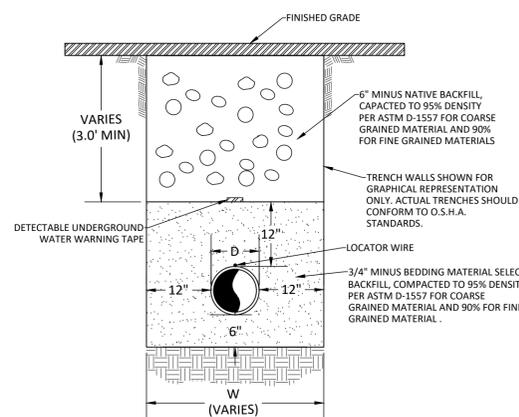
C6.3 SCALE: NONE



- NOTES:
1. IN GENERAL, NO PART OF THE FIRE HYDRANT SHALL BE PLACED WITHIN 12" OF THE BACK OF THE SIDEWALK.
 2. INSTALL TRACER WIRE FROM SHUT OFF VALVE TO HYDRANT.

C WATER TRENCH DETAIL

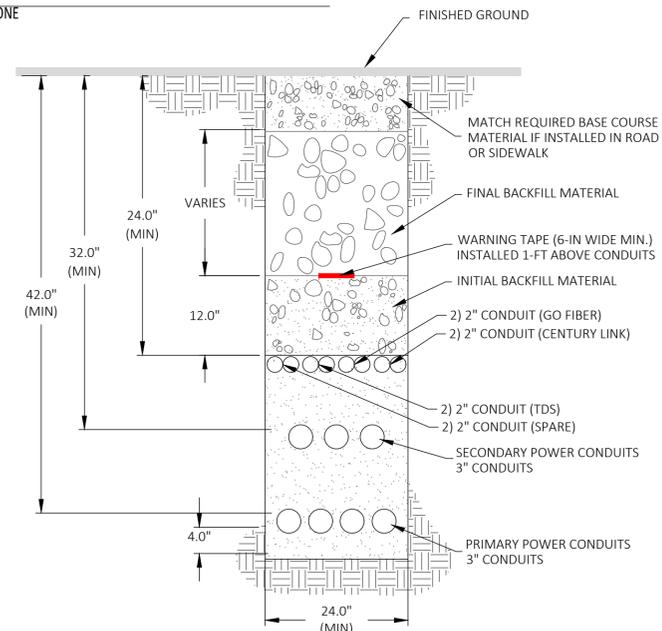
C6.3 SCALE: NONE



- NOTES:
1. ALL EXCAVATIONS WITHIN PUBLIC RIGHT-OF-WAY REQUIRE AN ENCROACHMENT PERMIT FROM THE CITY ENCROACHMENT OFFICER.
 2. EXCLUDING EMERGENCY CLOSURES ALL ROAD CLOSURES AND DETOURS REQUIRE 48 HOURS PRIOR NOTICE.
 3. ALL STATE HIGHWAY CROSSING SHALL BE APPROVED BY THE U.D.O.T. DISTRICT ENGINEER (U.D.O.T. PERMIT REQUIRED)
 4. MINIMUM COMPACTION SHALL BE 95% WHEN APPROVED FLOWABLE FILL OR SLURRY IS USED COMPACTION TESTING WILL NOT BE REQUIRED.
 5. MINIMUM THICKNESS OF ASPHALT AND BASE SHALL BE OUTLINED IN THE ROADWAY STRUCTURAL REQUIREMENTS. IN NO CASE SHALL THE THICKNESS BE LESS THAN THE EXISTING.
 6. FOUNDATION MATERIAL SHALL BE USED WHEN TRENCH BOTTOM IS UNSTABLE.
 7. WHERE ROAD SECTION HAS A DESIGNED GRANULAR SUB-BASE, IT SHALL BE REPLACED IN KIND OR WITH ROAD BASE GRAVEL.
 8. IN GENERAL, STREET SURFACES LESS THAN 24 MONTHS OLD WILL NOT BE CUT. IF A CUT MUST BE MADE, ADDITIONAL, STRICTER REQUIREMENTS MAY BE INVOKED SEE ENCROACHMENT OFFICER.
 9. 24 HOUR NOTICE REQUIRED ON ALL INSPECTIONS.
 10. ALL TRENCH BACKFILL SHALL MEET MIN COMPACTION REQUIREMENTS.
 11. ALL PIPE MATERIAL SHALLBE NSF 61 COMPLIANT FOR CULINARY WATER USE.

D JUT TRENCH - TYPICAL

C6.3 SCALE: NONE



NOTES: FOR BACKFILL MATERIAL REQUIREMENTS SEE TABLE BELOW.

BACKFILL MATERIALS FOR WATER, NATURAL GAS, AND JOINT UTILITY TRENCHES

SIEVE SIZE	PERCENT PASSING FOR:			
	FOUNDATION MATERIAL*	BEDDING MATERIAL	INITIAL BACKFILL MATERIAL	FINAL BACKFILL MATERIAL
2.00-IN	100	----	----	NATIVE MATERIAL WHICH CONTAINS NO SOD, VEGETATION, ROCKS LARGER THAN 8.00-IN IN DIA., ASPHALT OR CONCRETE CHUNKS, ETC.
0.75-IN	5-15	----	100	
NO. 4	0-5	100	40-70	
NO. 50	----	5-15	20-50	
NO. 100	----	0-5	5-30	

* TO BE USED ONLY WHEN THE TRENCH BOTTOM IS UNSTABLE.

NOTES:

1. TRENCHING, BEDDING, AND COMPACTION SHALL CONFORM TO CURRENT SGES AND CITY STANDARDS. SEE SGES DETAILS D13-D15 IN UNDERGROUND STANDARDS. PROVIDE COMPACTION TEST RESULTS TO CITY; COPY SGES ON POWER RELATED TESTING.
2. ALL STUBBED CONDUIT SHALL TERMINATE IN A BOX PER CURRENT UNDERGROUND STANDARDS. EACH UTILITY, POWER, FIBER, AND TELECOMMUNICATIONS SHALL PROVIDE AND INSTALL THEIR OWN BOXES RESPECTIVELY.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Details OPT 2.dwg

ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH
2303 N CORAL CANYON BLVD
SUITE 201,
WASHINGTON, UT 84780
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NORTH DAKOTA
621 26TH STREET W.
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701-572-8100

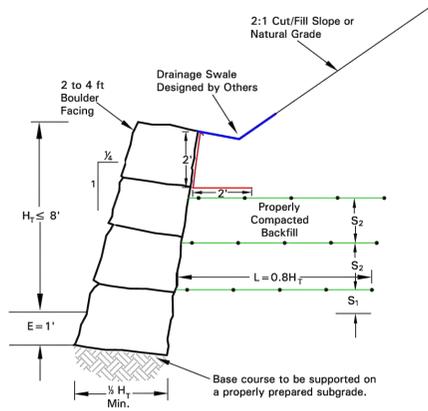
**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
DETAILS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C6.3	
Sheet 39	of 41 Sheets

TECH RIDGE SOUTHEAST ACCESS ROAD
ST. GEORGE, UTAH



- Key:
- Mirafra 140N Filter Fabric
 - 10 Mil. PVC Liner or Concrete Lined Trench
 - Geosynthetic Reinforcement

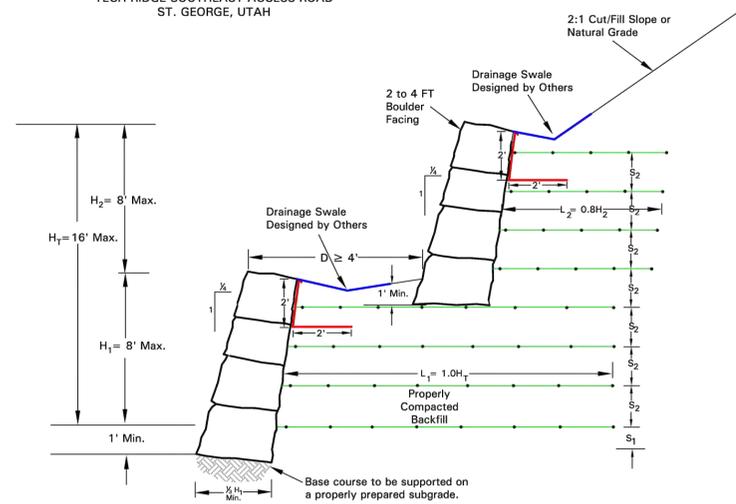


By: Jake Erickson, P.E.

2230249 **AGEC** SINGLE TIERED ROCKERY FACED REINFORCED FILL SLOPE

Figure 3

TECH RIDGE SOUTHEAST ACCESS ROAD
ST. GEORGE, UTAH



- Key:
- Mirafra 140N Filter Fabric
 - 10 Mil. PVC Liner or Concrete Lined Trench
 - Geosynthetic Reinforcement



By: Jake Erickson, P.E.

2230249 **AGEC** TWO TIERED ROCKERY FACED REINFORCED FILL SLOPE

Figure 1

TECH RIDGE SOUTHEAST ACCESS ROAD
ST. GEORGE, UTAH

- A. Boulder Placement/Construction:**
- Boulders should be angular, rectangular ledge rock. Boulders should have a flat stacking surface and decrease in size as they are stacked.
 - Base rock size = $\frac{1}{2} \frac{1}{2} H$; Minimum rock size 24 inches and/or 200 pounds.
 - Boulders should consist of durable material resistant to weathering. Typically 2 to 5 feet in size. Suitable sources in Washington County - Basalt, tan (Shinarump) sandstone, some limestone from Fort Pearce area.
 - Minimum embedment = 1 foot unless deeper embedment is shown on drawing.
 - Minimum batter $\frac{1}{2}:1$ (Horizontal to Vertical).
 - The slope/boulder subgrade should be properly prepared/compacted as directed by the geotechnical engineer prior to placing of fill or boulders.
 - Landscaping and associated irrigation systems are not recommended. Wetting of the backfill may result in settling or reduced stability. Block walls or fences may settle if placed in the backfill zone.
- B. Fill:**
- Backfill should have a maximum size of 3", 200 < 30% and LL < 30%.
 - Refer to geotechnical investigation (AGEC Project No. 2180295) for approved low permeable fill criteria.
 - Each lift of backfill should be properly compacted. Hand compaction should be used within 3 feet of boulder facing. 4 inch lifts should be used for hand compaction equipment. Lift thickness may be increased to 8 inches for rubber tire or roller compaction.
- C. Construction Observation:**
- Pre-construction meeting with Engineer, Owner and Contractor.
 - Observation of construction should be completed so that the quality of construction can be documented and modifications can be made if conditions require.
 - Backfill placed behind boulders and in reinforced areas should be tested frequently to verify compaction is at least 95% of the maximum dry density as determined by ASTM D-1557. We recommend a testing frequency of approximately every 1 foot of fill placed staggered approximately every 50 lineal feet. If the fill is not properly compacted, the stability of the slope will be reduced.
 - Backfill should be placed in 6 to 8-inch loose lifts prior to compacting. Proper moisture conditioning should be conducted in the backfill material before compacting.
 - A representative of AGECE should observe/verify placement of the geogrid, filter fabric and strip drains.

- D. Geosynthetics:**
- The filter fabric may consist of Mirafra 140N, non-woven filter fabric or equivalent.
 - Geosynthetic reinforcement should be placed continuously in the primary strength direction. It may not be spliced in the primary strength direction.
 - The geogrid should be stretched by hand until taut and free of wrinkles. Individual lengths of the geosynthetic reinforcement should be overlapped at least 1 foot.
 - Where rockery wall forms an outside corner, geogrid should be placed in both directions with a minimum of 4" of backfill between the overlapping layers of geogrid.
 - The following table should be referred to for geosynthetic grid length: (See Figure 1)

Boulder Faced Fill Slope Height (ft)	Geosynthetic Reinforcement Required	Approved* Geosynthetic Reinforcement	Geosynthetic Vertical Spacing (ft)		Grid Lengths (ft)	
			S ₁	S ₂	L ₁	L ₂
H ₂ ≤ 3	No	NA	NA	NA	See Detail	See Detail
3 < H ₂ ≤ 16	Yes	Mirafra 5XT	1	2	See Detail	See Detail

* Approved Equivalents - Tensar UX1500HS = Mirafra 5XT = WGG



By: Jake Erickson, P.E.

2230249 **AGEC** Rockery Faced Slope Notes

Figure 4

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access Details OPT 2.dwg



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UTAH: 2303 N CORAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780 435-673-8060

NORTH DAKOTA: 621 26TH STREET W. WILLISTON, ND 58801 701-572-8100

**SOUTHEAST ACCESS ROAD
AT TECH RIDGE
DETAILS**

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 15 WEST SLB&M
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR
CONSTRUCTION
REVIEW ONLY

Drawn By: AZ	Scale: NONE
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	
C6.5	
Sheet 41	of 41 Sheets

NOTES:
1. All rock wall material is Basalt.

Exhibit D
GEOTECHNICAL REPORT



GEOTECHNICAL INVESTIGATION

**TECH RIDGE SOUTH ACCESS ROAD
ST. GEORGE, UTAH**

PREPARED FOR:

**TECH RIDGE, LLC
446 SOUTH MALL DRIVE
ST. GEORGE, UTAH 84790**

ATTENTION: ISAAC BARLOW

PROJECT NO. 2180295

OCTOBER 19, 2018

TABLE OF CONTENTS

SUMMARY Page 1

SCOPE OF WORK Page 3

SITE CONDITIONS Page 4

PROPOSED CONSTRUCTION Page 4

GEOLOGY AND GEOLOGIC HAZARDS Page 5

ROADWAY SUBSURFACE CONDITIONS Page 6

ROADWAY SUBSURFACE WATER Page 11

EAST SLOPE STABILITY Page 11

ROADWAY RECOMMENDATIONS Page 15

 A. Site Grading Page 16

 B. Soil Corrosion Page 23

 C. Pavement Analysis and Design Page 23

 D. Pavement Support, Section, and Materials Page 24

 E. Drainage and Maintenance Page 26

 F. Construction Materials Observation and Testing Page 27

 G. Geotechnical Recommendation Review Page 27

LIMITATIONS Page 28

REFERENCES Page 29

FIGURES AND TABLE

 Vicinity and Geologic Map Figure 1

 Test Pit Locations Figures 2

 Logs of Test Pits Figures 3-4

 Legend and Notes of Test Pits Figure 5

 Consolidation Test Results Figures 6-12

 Gradation/Soil Class. & Moisture Density Relationship Test Results Figures 13-17

 California Bearing Ratio Test Results Figures 18-22

 Summary of Laboratory Test Results Table 1

SUMMARY

A. East Slope Stability

1. Much of the proposed roadway crosses historical landslide deposits.
2. An evaluation of the east slope stability was included in the scope of this investigation.
3. Based on the available information obtained from previous investigations, inclinometer measurements, and past performance of the slope, it is apparent that the east slope for this project is currently maintaining its stability.

Using the information available from our subsurface exploration, the laboratory test results along with our experience in the area, it is our professional opinion that the stability of the east slope is marginal. Even with the lack of apparent movement, small changes in the slope configuration and/or weakening of the material in the slope could trigger future movement.

The strength of the slope will be adversely impacted by water infiltration. Therefore, we recommend strict drainage recommendations be followed to reduce the risk of future slope instability.

B. Roadway

If construction of the roadway is to proceed, the following information and recommendations apply.

1. A variety of soil and bedrock types were encountered in the test pits. Lean clay, silt, silty sand, well graded sand with silt, silty gravel with sand, basalt, mudstone, and shale bedrock were encountered. Practical excavator refusal was encountered on stiff clay, boulders, basalt and shale bedrock
2. Potentially expansive mudstone, potentially expansive lean clay and potentially collapsible silty sand were encountered in the test pits.
3. Subsurface water was not encountered in the excavated test pits to the maximum depths investigated. Fluctuation in groundwater level may occur over time. An evaluation of such fluctuations is beyond the scope of this report.
4. The on-site granular soils such as the silty gravel with sand (GM), silty sand (SM), and well graded sand with silt (SW-SM) free of organics, debris, and material greater than 6 inches in size, are suitable for use as site grading fill. Oversized rocks (greater than 6 inches and smaller than 12 inches) may be used as fill at depths greater than 3 feet below finished subgrade. The oversized rock should be placed so that rock to rock contact is minimized to reduce potential for nesting and voids.

5. The on-site fine grained soils range between non-plastic silt to highly plastic mudstone. The silt and portions of the lean clay observed in test pits TP-7 and TP-8 are suitable for use as low permeable fill above expansive subgrade. The mudstone and expansive lean clay similar to that encountered in test pits TP-1, should not be used as fill within 6 feet of the finished roadway subgrade elevation.
6. Consolidation testing of remolded samples of mudstone and lean clay indicate the material remains expansive upon processing and adding moisture. However, the laboratory tests also indicate the expansion potential of the processed and remolded mudstone and lean clay can be reduced with moisture contents of 4 to 6 percent above the optimum moisture content and a compaction of approximately 90 percent of the modified proctor value (ASTM D-1557). Conversely, remolded samples with moisture contents below 4 percent and compaction near or above 95% will likely exhibit higher expansive properties.
7. The proposed roadway may be supported on a properly prepared subgrade as recommended in the Subgrade Preparation section of this report.

The on-site, potentially expansive mudstone and expansive lean clay should be overexcavated to an appropriate depth beneath the proposed roadway. Overexcavation depths may be determined from the information provided in the Subgrade Preparation section of this report.

Areas which expose near surface loose, dry, potentially collapsible silty sand should be overexcavated prior to placing fill as recommended in the Subgrade Preparations section of this report.

Drainage recommendations are also provided in this report to reduce the risk of the underlying expansive subgrade.

Moisture conditioning and compaction criteria are also included in this report. The calculated asphalt, untreated base course, and borrow thickness vary depending on subgrade and traffic loading.

8. The information provided in this summary should not be used independent of that provided within the body of this report.

SCOPE OF WORK

This report presents the results of a geotechnical investigation for the proposed south access road construction project to Tech Ridge located in St. George, Utah as shown on Figures 1 and 2. The geotechnical investigation includes access from the east and west sides of Tech Ridge. AGECC was requested to perform the following tasks:

1. Conduct a subsurface investigation to determine the subsurface conditions. The subsurface investigation included the excavation of 21 test pits along the roadway alignment. The first 13 test pits which include the west access road (TP-1 through TP-11) and a portion of the east access road (TP-12 and TP-13) were excavated with a track mounted excavator (CAT 336E) equipped with a 30-inch wide bucket. A ripper tooth attachment was also used to loosen boulders encountered during test pit excavations.
2. Log the subsurface soil profile and obtain samples of the subsurface soils to conduct laboratory testing.
3. Conduct a laboratory testing program on the subsurface soils to determine their engineering characteristics and determine the support value of the subsurface soil.
4. Prepare a report which presents the subsurface conditions encountered and recommendations for the geotechnical aspects of the project including slope stability of the eastern facing slope. Our conclusions and recommendations are based on the subsurface investigation, the results of laboratory testing and our engineering analysis.

This report was prepared in accordance with our "Proposal for Professional Geotechnical Services" dated, April 30, 2018.

SITE CONDITIONS

The existing site topography consists of sloping hillsides and relatively flat areas. A dry wash runs through the west side access from the north to the south. The majority of the hillside along the proposed alignment have been mapped geologically as ancient landslide deposits and consists of undulating hummocky terrain with relatively gently benches and steeper sloping areas. Existing vegetation across the site consists of sparse, low brush. Basalt boulders are also exposed at the surface across the site. Various dirt roads traverse the sides of both hill slopes.

PROPOSED CONSTRUCTION

The proposed project consists of constructing a 2 lane roadway to the west and a 4 lane roadway to the east near the south end of Tech Ridge. Detailed roadway cross-sections and grading plans for the east access road were not provided for the preparation of this report.

Based on a review of the plan and profile sheet (dated 03/28/2018) prepared by Alliance Consulting for the west access road, we anticipate cuts of up to 9 feet and fills on the order of 19 feet will be required to grade the proposed roadway. The grading plan also indicates a 12-foot by 12-foot underpass will be constructed over the existing drainage. A flexible pavement section is proposed for the project and we anticipate the project will include curb, gutter and sidewalk.

The Average Daily Traffic (ADT) provided by Alliance Consulting includes 2,500 to 5,000 vehicles for the west access and approximately 15,000 vehicles for the east access road. These ADT values correspond to a Traffic Index of 6 for the west side access road and 7 for the east side as provided by the City of St. George Design Criteria.

GEOLOGY AND GEOLOGIC HAZARDS

Geologic conditions at the site were evaluated by a review of geologic literature and aerial photographs. Aerial photographs used during the investigation were downloaded from the Utah Geological Survey website. They have photograph numbers of 810941 AM-4-1 and 2 and a photograph date of October 23, 1981.

A. Geologic Literature Review

The site is located in the transition zone of the Basin and Range, and Colorado Plateau provinces. Hayden and Willis (2011) map the area to be underlain by the Moenave and Chinle Formations (See Figure 1). The bedrock dips gently down to the north. The bedrock is capped by the Cedar Bench lava flow at the top of the hill. Alluvial and colluvial sediments overlie the bedrock at the northwest end of the road alignment. Landslide deposits are mapped for the south and central portions of the road alignment. A geologist from AGECE visited on September 12, 2018. The geology of the area was found to be consistent with mapping by Hayden and Willis (2011).

Geologic hazards mapped by Lund and others (2008) are mostly limited to landslide and rockfall. Rockfall is not generally a hazard for the road for the current condition of the hillside but could become a hazard depending on how cut slopes are developed for the road. Similarly, landslide is not currently a significant hazard on the slope in its present condition, but could be a concern with added water or steepened slopes. This will be addressed in the geotechnical study for the project.

B. Aerial Photograph Review

Based on review of aerial photographs of the site, faulting and debris flow are not potential hazards at the site. The area of landslide deposits appears to be similar to that mapped by Hayden and Willis (2011). Lineations formed in the landslide deposits and likely representative of intermediate landslide scarps are shown on Figure 1.

C. Seismicity

The property is located in the Intermountain Seismic Zone, which consists of an area of relatively high historical seismic activity. The most intense seismic ground shaking at the site is expected to originate from the Washington fault zone. The Washington fault zone is considered capable of producing earthquakes on the order of 7 to 7.5 magnitude and can result in significant seismic ground shaking at the site. The US Geological Survey data indicate that a peak ground acceleration in bedrock of 0.24g can be expected to have a 2 percent probability of being exceeded in a 50-year time period at this site (IBC, 2015). The St George fault zone may also add to the seismic hazard in the area, although there is no evidence that the fault displaces Holocene sediments, suggesting the fault may not be active. The St George Fault is not included in the Quaternary Fault and Fold Database (Utah Geological Survey, 2018).

ROADWAY SUBSURFACE CONDITIONS

On August 8 and 9, 2018, an engineer from AGECE visited the site and observed the excavation of 13 test pits at the approximate locations shown on Figure 2. The 8 additional test pits (TP-14 to TP-21) were excavated during a previous geotechnical investigation by AGECE in August of 1998. The subsurface profile observed within the excavated test pits at the site is highly variable and consists of lean clay, silt, silty sand with gravel, well graded sand with silt, silty gravel with sand, basalt, mudstone bedrock, and shale bedrock.

Potentially expansive mudstone was encountered in test pits TP-1, TP-2, TP-10, TP-14, and TP-15 as shown on Figures 3-5. Expansive lean clay was encountered in test pits TP-1, TP-3, TP-5, TP-6, TP-7, TP-8, TP-14, TP-16 and TP-20. The shale bedrock encountered in test pits TP-16, TP-19, and TP-21 may also contain expansive layers. The dry loose nature of the near surface silty sand with gravel encountered in test pit TP-10 indicates the material is potentially collapsible if exposed to water.

Practical excavator refusal was encountered on stiff clay and boulders in test pits TP-3, TP-7, TP-8 and TP-20. Practical excavator refusal on basalt was encountered in test pits TP-11, TP-12, TP-13, and TP-17 with refusal on shale bedrock encountered in test pit TP-19. The maximum depth investigated in the test pits was 19 feet.

Detailed descriptions of the bedrock and soil types observed follow.

Lean Clay - The lean clay is medium stiff to very stiff, moist, medium plastic, contains varied amounts of sand, gravel, and boulders (1 to 4 feet in size). The lean clay varies from red-brown to brown with white mottles in color.

Laboratory tests conducted on samples of the lean clay indicate in-place moisture contents ranging from 5 to 16 percent, in-place dry densities ranging from 93 to 124 pounds per cubic foot (pcf), gravel contents (percent retained on the No. 4 sieve) ranging from 0 to 12 percent, and fines contents (percent passing the No. 200 sieve) ranging from 62 to 96 percent. Atterberg Limits tests conducted on samples of the lean clay indicated liquid limits ranging from 27 to 48 percent and plasticity indices ranging from 14 to 35 percent.

Moisture-Density relationship (ASTM D-1557) tests conducted on samples of the lean clay from test pits TP-3 and TP-8 indicate maximum dry densities (MDD) ranging from 116.5 pcf to 123.5 pcf and optimum moisture contents (OMC) ranging from 10.0 to 12.5 percent. California Bearing Ratio (CBR) tests conducted on remolded samples of the lean clay indicate CBR values ranging from 4 to 5 percent. The samples were remolded to near 90 percent of the maximum dry density (ASTM D-1557) and approximately 2% above the optimum moisture content.

One-dimensional consolidation tests conducted on samples of the native lean clay indicate it is slightly moisture sensitive when wetted under a constant pressure of approximately 1,000 pounds per square foot (psf). Swell potentials of 1 to 1½ percent and swell pressures ranging from 2,650 psf to 3,500 psf were measured in the laboratory testing.

Remolded one-dimensional consolidation tests conducted on samples of the lean clay indicate moisture conditioned and remolded samples are still expansive when wetted. The remolded one-dimensional consolidation results indicate a reduction in expansion potential with an increase moisture content during processing.

Silt - The silt is medium stiff to stiff, slightly moist to moist, contains various amount of sand, and is reddish brown in color.

Laboratory tests conducted on samples of the silt indicate in-place moisture contents ranging from 6 to 17 percent, in-place dry densities ranging from 101 to 112 pcf, and a fines content ranging from 81 to 94 percent. Atterberg Limits tests conducted on samples of the silt indicate it is non-plastic.

Silty Sand - The silty sand is loose to medium dense, dry, fine to medium grained, contains occasional gravel, cobbles, and boulders and ranges in color from light reddish brown to brown in color.

Laboratory tests conducted on samples of the silty sand indicate in-place moisture contents ranging from 3 to 8 percent, in-place dry densities ranging from 88 to 108 pcf, a gravel content of 2 percent, and fines contents ranging from 35 to 48 percent. The relatively low dry density and moisture content of the near surface silty sand indicates it is potentially collapsible.

A Moisture-Density relationship (ASTM D-1557) test indicates the silty sand has a maximum dry density of 126.0 pcf and an optimum moisture content of 7.5 percent.

Well Graded Sand with Silt - The well graded sand with silt is medium dense, dry, contains gravel, and brown in color.

Laboratory tests conducted on samples of the silty to clayey gravel with sand indicate an in-place moisture content of 1 percent, and a fines content of 6 percent.

Silty Gravel with Sand - The silty gravel with sand is medium dense to dense, dry to moist, and light brown to brown in color.

Laboratory tests conducted on the silty gravel with sand from test pit TP-4 indicate an in-place moisture content of 11 percent.

Basalt - The basaltic rock is moderately hard to very hard, dry, highly fractured to less fractured, and black in color.

A Moisture-Density relationship (ASTM D-1557) test indicates the fractured basalt with silt and sand has a maximum dry density of 134.5 pcf and an optimum moisture content of 5.5 percent.

Mudstone - The mudstone, known locally as "blue clay" is soft to moderately hard, dry to moist, medium to highly plastic, and grey to purple in color.

Laboratory tests conducted on samples of the mudstone indicate in-place moisture contents ranging from 7 to 15 percent, in-place dry densities ranging from 96 to 118 pcf, and fines contents ranging from 59 to 99 percent. Atterberg Limits tests conducted on samples of the mudstone indicate liquid limits ranging from 35 to 76 percent and plasticity indexes ranging from 19 to 39 percent.

A Moisture-Density relationship (ASTM D-1557) test indicates the mudstone has a maximum dry density of 115.0 pcf and an optimum moisture content of 12.5 percent. A CBR test conducted on a remolded sample of the mudstone indicates a CBR value of 6 percent. The sample was remolded to near 90 percent of the maximum dry density (ASTM D-1557) and approximately 2 percent above the optimum moisture content.

One-dimensional consolidation tests conducted on natural samples of the mudstone indicate it is moisture sensitive (expansive) when wetted under a constant pressure of approximately 1,000 psf. Swell potentials of ½ to 1 percent with swell pressures of 2,170 to 4,000 psf were measured in the laboratory testing.

Remolded one-dimensional consolidation tests conducted on samples of the mudstone indicate moisture conditioned and remolded samples are still expansive when wetted. The remolded one-dimensional consolidation results indicate a reduction in expansion potential with an increase moisture content during processing.

Shale Bedrock - The shale bedrock is soft to hard, dry to slightly moist, interbedded with layers of siltstone and claystone, and dark brown to dark red in color.

Laboratory tests conducted on a sample of the shale bedrock indicate an in-place moisture content of 5 percent, an in-place dry density of 110 pcf, and a fines content of 71 percent.

The Logs, Legend and Notes of Test Pits are shown on Figures 3-5. The results of laboratory testing are also shown on Figures 3 and 4 and are summarized in the Summary of Laboratory Test Results, Table 1. The One-dimensional Consolidation Test Results are shown graphically on Figures 6-12. The Gradation/Soil Classification and Moisture-Density Relationship Test Results are shown graphically on Figures 13-17. The California Bearing Ratio Test Results are shown graphically on Figures 18-22.

ROADWAY SUBSURFACE WATER

Groundwater was not encountered during the subsurface investigation to the maximum depth investigated, approximately 19 feet. Fluctuations in the groundwater level may occur over time. An evaluation of such fluctuations is beyond the scope of this report.

EAST SLOPE STABILITY

AGEC previously investigated the subsurface conditions of the east facing slope by drilling five borings to depths varying from 110 to 250 feet. Inclinator casings were installed at each of the five locations along with an adjacent boring to facilitate measurements of the groundwater level.

Our findings of the stability analysis are presented without the boring logs, laboratory test results, inclinometer measurements, and our calculations as stipulated in our agreement for this project.

Existing Conditions

As indicated on Figure 1, portions of both arms of the access road are located on landslide deposits. In addition to verifying the geologic mapping presented on Figure 1, the east hillside stability has been evaluated. Site conditions that reflect the material behavior and characteristics of the landslide include:

1. The hummocky nature of the ground surface along with the lineations associated with each of the landslide slumps .

2. Landslide masses will often reach equilibrium at a slope angle close to the internal material strengths. The ground surface slopes from 8 to 18 degrees (3 to 7:1 horizontal to vertical) which are consistent with the internal friction values obtained from our earlier studies and from samples tested in the laboratory.

Contributing Factors

In addition to the surface geology, the following items contribute to the status of the slope stability.

1. The bedding planes in the area generally slope down to the northeast at an angle of approximately 7 to 8 degrees.
2. The weakest clay sample tested from explorations conducted on the east slope has been found to have a residual coefficient of friction of 7.5 degrees. This angle closely matches the dip of the bedding plane. With this strength and bedding plane combination, slippage would occur on 7.5 degree downward slope if the interface strength is less than 7.5 degrees or slippage would also occur if there are areas or zones where the dip angle of the bedding plane is steeper than the 7.5 degrees.
3. Investigation into landslide movements on the east slope indicate a relatively thick deposit that contains layers of this potentially weak clay. Measurements indicate that the hillside movement occurs at multiple depths indicating similar strength characteristics throughout the deposit.
4. Groundwater was encountered in each of the deep borings.

Status of Movement

Inclinometers were installed at five locations to depths of 92 to 258 feet on the east hillside in 2007. Inclinometer Measurements were obtained in 2008, 2011 and April 4, 2018. The 2018 measurements on 4 of the 5 inclinometers are within the accuracy of the equipment indicating no measurable movement.

The inclinometer located immediately west of the vacant restaurant, located at 1090 South Bluff Street, was measured before 2011. Displacement was measured at multiple depths.

Geotechnical Testing Services (GTS) installed an inclinometer on a berm placed behind the restaurant. We understand that recent measurements by GTS indicate lateral movement of approximately 0.7 inches in the last 5 years.

Anticipated Performance

With the lack of measured movement in the 4 inclinometers over the past 10½ years along with the lack of surficial evidence of movement, it is apparent that the portion of the slope for this project is currently maintaining its stability. Using the information available from our subsurface exploration, the laboratory test results along with our experience in the area, it is our professional opinion that the stability of the slope is marginal even with the lack of apparent movement.

With these conditions, small changes in the slope configuration or weakening of the material strengths in the slope could trigger future movement.

As stated in the 1996 Transportation Research Board, Special Report 247, (entitled Landslides, Investigation and Mitigation), "...old landslides are often barely stable, and they may not have significant resistance to new loadings or other changed conditions that tend to reduce their stability. Changing natural drainage patterns on the surfaces of old landslides may significantly influence their stability and cause unwanted movements. Thus, the decision to construct transportation facilities over ancient landslides must be carefully investigated and appropriate consideration given to remedial measures and long-term stability".

It is important to recognize that marginal stability of the slope indicates that:

1. A calculated factor of safety using the parameters selected to characterize the materials in the slope and the existing configuration is near 1.0 and will not meet the standard acceptable level of at least 1.5.
2. Changes in the internal conditions and/or surficial geometry modifications may improve or reduce the ability of the slope to maintain its stability. It may not be practical to quantify with confidence the impact that internal changes may have provided.
3. It is a matter of time before more movement on the slope occurs. Determining a location and/or timing of such an event is not possible with the information currently available.
4. A seismic event could introduce sufficient lateral load to initiate slope movement.

Mitigation

If the decision is made to continue with construction of the roadway on the landslides, we recommend the following items be seriously considered:

1. Introduction of moisture into the subgrade should be minimized if not eliminated. This could be accomplished by:
 - a. Collecting and transporting surface drainage off of the slope in watertight catch basins and piping. This is not standard storm drainage procedures therefore, this would require specific attention to verify that the improvements are watertight.
 - b. Water ways should be lined to prevent seepage into the ground.
 - c. Measures need to be taken to eliminate the potential for water to pond on the slope.
 - d. No water bearing utilities should be installed within the landslide area.
2. Cut and fill slopes need to be minimized. Overall impact of potential grade changes should be evaluated and the consequence of the change found to be acceptable before proceeding.
3. Water entering the ground in all areas above the slope (within the Tech Ridge area) should be reduced and ideally eliminated. Some, if not all, of the methods described above should be considered within the Tech Ridge area.

ROADWAY RECOMMENDATIONS

The following recommendations are provided with the assumption that all stakeholders recognize and accept the risk of landslide movement. The recommendations are based on the proposed construction, information obtained from the field and laboratory testing, engineering analysis, and our experience in the area.

A. Site Grading

Based on the subsurface conditions and the proposed grading provided by Alliance Consulting, the following recommendations are provided:

1. Subgrade Preparation

- a. *General Subgrade Preparation:* Prior to conducting site grading, vegetation and soil containing significant amounts of roots and organics should be removed. Loose/disturbed soil, debris, deleterious material, previously placed fill, and undiscovered fill should be removed to the full depth.

- b. *Expansive Mudstone and Lean Clay Subgrade Areas:* To reduce the potential for wetting and subsequent swelling of the expansive subgrade supporting the proposed roadway, we recommend the expansive mudstone and lean clay areas be overexcavated to remove a portion of the expansive material and it replace with properly compacted, low permeable fill. The low permeable fill is intended to provide a less permeable zone which reduces the potential for infiltration of water to the underlying expansive mudstone and lean clay. If the natural moisture content of the expansive mudstone and lean clay is maintained, distress to the asphalt/sidewalk and curb will be reduced.

Prior to placing the low permeable fill and subsequent to overexcavation, the exposed subgrade should be scarified a minimum of 8 inches, moisture conditioned to 4 to 6 percentage points above the optimum moisture content and compacted to 90 percent of the maximum dry density as determined by ASTM D-1557.

We recommend overexcavation and replacement of the expansive mudstone and lean clay be performed to provide a low permeable zone above expansive materials and reduce the risk of wetting and potential heave. The surface heave estimates are provided in the following table. The estimates are based on an assumed active zone (wetted depth) of 10 feet. The heave estimates should be used to assist in determining the depth of overexcavation and replacement desired based on the associated risk of surface heave.

Depth to Expansive Soil Below Finished Subgrade Elevation (feet)	Estimated Potential Surface Heave (inches)
0	3 to 4½
2	2½ to 4
4	2 to 3
6	1 to 2½

- c. *Sand, and Gravel Areas (All Other Subgrades Encountered)*: Subsequent to grubbing and prior to placing fill, base course, or asphalt pavement, the exposed subgrade beneath pavement and fill slope areas should be scarified to a depth of 8 inches, moisture conditioned and properly compacted to at least 95 percent of the maximum dry density as determined by ASTM D-1557.

If the exposed subgrade consists of loose, dry silty sand or silty gravel (potentially collapsible soils), we recommend this soil be overexcavated to remove the full depth of this material. An engineer from AGECC should observe the exposed subgrade to provide guidance regarding the subgrade preparation in these areas.

- d. *Potentially Soft Subgrade (Encountered in Area of TP-4):* Potentially soft subgrade conditions may be encountered near TP-4 resulting from heavy equipment and very moist subgrade conditions observed in the test pit. If soft/pumping conditions are encountered subgrade stabilization may be implemented using overexcavation to remove the soft soils or by implementing gravel and geosynthetic reinforcement may be necessary. Additional details may be provided upon request.

2. Excavation/Earthwork

The on-site soils and soft mudstone bedrock may be excavated with conventional excavation equipment. Excavations extending into large boulders, potential cemented zones, basalt and hard shale bedrock will likely require the use of heavy excavation equipment such as a trackhoe equipped with rock teeth or a single ripper tooth. A rock hammer may also be necessary to excavate portions of the basalt or shale bedrock. Difficulty may be particularly evident in confined excavations.

3. Grading Slopes

Review of the grading plan for the west side access road indicates existing slopes along the road alignment of the project will be excavated and cut to construct the roadway. We also anticipate grading along the east side access road will require cuts into hillside. Our experience with soil cut and fill slopes in the area has shown soils will tend to erode over time to their natural angle of repose. The following table provides recommendations for guidance of cut slopes based on the observed onsite soils:

Expected Soil Condition	Grading Recommendations (Horizontal:Vertical)
Basalt	½ :1
Lean Clay	¾ :1
Silty Sand and gravel	1:1
Shale and Mudstone Bedrock	½ :1 (if faced) or 1 ½ :1 (if not faced)

Mudstone and clay slopes cut steeper than 1 ½ :1 would remain stable, but will desiccate, and likely ravel naturally to approximately a 1 ½ :1 slope. This process will require long term maintenance to remove the accumulated soils deposited at the toe of the slope. If this process is not acceptable, steep slopes may be flattened or faced to provide protection from weathering and erosion. Stacked rockery facing or reinforced gunnite facing anchored with soil nails may be considered to protect steeper cut slopes. Design and recommendations associated with reinforced/stabilized cut slopes are beyond the scope of AGECE's services.

Additionally, several existing cut slopes are part of a larger ancient landslide deposit. This analysis does not address the potential development, re-activation or stabilization of larger scale slope movement as could be possible due to the site being part of the larger landslide deposit.

We recommend fill slopes constructed with onsite soil not exceed a 2:1 (horizontal:vertical) slope. Fill slopes should be graded by overbuilding and then cutting them back to the desired grade to provide a compacted slope face. Fill placed on existing slopes steeper than 4:1 (horizontal to vertical) should be placed using a benching procedure to "key" the fill into the existing slope. Benches should be of sufficient width to extend fill placement through loose/surficial soils or to meet the criteria given in the following table, whichever is greater.

Approximate Slope Grade (Horizontal:Vertical)	Bench Width (feet)
1:1	2
2:1	4
3:1	6
4:1	8

4. Materials

The on-site granular soils such as the silty gravel with sand (GM), silty sand (SM), and well graded sand with silt (SW-SM) free of organics, debris, and material greater than 6 inches in size, are suitable for use as site grading fill. Oversized rocks (greater than 6 inches and smaller than 12 inches) may be used as fill at depths greater than 3 feet below finished subgrade. The oversized rock should be placed so that rock to rock contact is avoided to reduce potential voids and nesting of rocks.

The on-site fine grained soils range between non-plastic silt to low to medium plastic lean clay and highly plastic mudstone. The silt and portions of the lean clay observed in test pits TP-7 and TP-8 are suitable for use as low permeable fill above expansive subgrade. The on-site expansive soils (mudstone and lean clay) free of organics may be used as site grading fill in areas not supporting the roadway. The mudstone and the expansive lean clay should not be used as fill within 6 feet of the finished roadway subgrade elevation without accepting potential surface heave risks.

Listed below are the materials recommended for fill.

Area	Fill Type	Soil Type
Roadway	Untreated Base Course	CBR > 70%, 200 < 12% Maximum size: 1 inch
Roadway	Site Grading and Embankment Fill	-200 < 35%, LL < 30% Maximum size: 4 inches Solubility < 1%

-200 = Percent Passing the No. 200 Sieve

LL = Liquid Limit

The potential impact of the expansive characteristics of the underlying expansive mudstone and lean clay can be reduced by protecting the expansive material from becoming wet. Placement of relatively low permeable fill above the expansive soil/bedrock can help reduce the possibility of water coming in contact with the expansive material.

Low permeable fill used to replace removed expansive soil should meet at least one of the following options:

Option No.	Liquid Limit (%)	Percent Passing the No. 200 Sieve
1	50 +	15-20
2	30-50	20-40
3	0-30	30-100

Based on the above criteria, we anticipate some of the on-site soils will be suitable for use as low permeable fill. Mixing of onsite soils (lean clay and mudstone) with non-expansive fill may be necessary to produce low permeable fill meeting the above requirements. If mixing will be considered, AGECE should be contacted to conduct additional laboratory testing to determine mixing/blending recommendations.

5. Compaction

Compaction of fill materials placed at the site should meet the following moisture content criteria and equal or exceed the following compaction criteria:

Area	Moisture Content	Percent Compaction
Low Permeable Fill	+ 2% to + 4% above OMC	90%
Subgrade - Expansive Materials	+ 4% to + 6% above OMC	90%
Subgrade - Non-expansive Materials	± 2% of OMC	90%
Roadway Fill - Expansive Materials	+ 4% to + 6% above OMC	90%
Roadway Fill - Non-expansive Materials	± 2% of OMC	95%
Roadway Base Course	± 2% of OMC	95%

OMC = Optimum moisture content

Fill tested should be compared to the maximum dry density as determined by ASTM D-1557. Soils placed as site grading fill should be moisture conditioned to the above recommendations. Soil at the site was generally below the optimum moisture content and will require moisture conditioning prior to placement to achieve the required compaction.

It is critical that the low permeable fill is moisture conditioned over the optimum moisture content (as recommended) to provide the low permeable properties necessary for the application. If the low permeable fill is placed dry of the optimum moisture content, the permeability or infiltration rate of water will be higher.

Fill should be placed in lift thicknesses which do not exceed the capacity of the compaction equipment used. Generally 6 inch loose lifts are appropriate for heavy rubber-tire compaction equipment. Lift thickness should be reduced to 4 inches for hand compaction equipment. Fill placed at the site should be tested frequently to verify proper compaction.

B. Soil Corrosion

Our experience has shown the on-site soils, bedrock and many import soils may contain sulfates in sufficient concentration to be corrosive to concrete. Therefore, we recommend concrete elements that will be exposed to the on-site soils be designed in accordance with provisions provided in the American Concrete Institute Manual of Concrete Practice (ACI) 318-14 Chapter 19. Tables 19.3.1.1 and 19.3.2.1 of ACI 318-14 should be referenced for design of concrete elements utilizing a Sulfate Exposure Class of S2.

Consideration should also be given to cathodic protection of buried metal pipes. We recommend utilizing PVC pipes where local building codes allow.

C. Pavement Analysis and Design

The following pavement design criteria were used in our pavement design based on the UDOT Pavement Management and Pavement Design Manual dated November, 1998 and updated March, 2008.

- A 20 year design life with ADT values of 2,500 to 5,000 for the west access road and 15,000 for the east access road were provided by Alliance Consulting. These traffic conditions correspond to a Major Collector (TI = 6) for the west access roadway and a Minor Arterial (TI = 7) for the east access roadway according to the St. George City Design Specifications.
- A Standard Deviation of 0.45.
- Initial and Terminal Serviceabilities of 4.2 and 2.5, respectively.
- A Reliability of 90 percent.
- CBR values of 4 and 10 percent for varying on-site soil types.
- A Subgrade Resilient Modulus of 1500*CBR value.
- A Untreated Base Course Resilient Modulus of 27,000 psi.
- A Granular Borrow Resilient Modulus of 15,000 psi.
- Layer Coefficients of 0.4, 0.1, and 0.08 for the hot mix asphalt, untreated base course, and the granular borrow, respectively.
- A Drainage Coefficient of 1 for the untreated base course and the granular borrow.

D. Pavement Support, Section, and Materials

Based on the subsurface conditions encountered, UDOT/AASHTO Design methods, and a 20-year design life, the following recommendations are given. Although the following pavement sections are based on a 20 year design life, the life span of the pavement may be shorter if not properly maintained, drained, and due to the presence of expansive materials, and landslide deposits below the roadway on some portions of the project.

1. Subgrade Support

The subgrade should be prepared as outlined in the Site Grading section of this report. We anticipate the subgrade materials at the site will generally consist of lean clay, mudstone, silty sand and gravel, and silty gravel with sand.

AGEC measured CBR values ranging from 4 to 33 percent from remolded samples of the on-site soils obtained from the test pit excavations. For the purpose of this report, a CBR value of 4 was used for design of pavement supported over the mudstone and lean clay and a CBR value of 10 was used for the design of pavement supported over the remaining subgrade soils encountered at the site.

2. Pavement Thickness

Refer to the following tables for pavement section thicknesses.

East Access Roadway (TI = 7)

Subgrade Type	CBR Value	Asphalt Thickness (in)	Base Course Thickness (in)
Mudstone and Lean Clay	4	4	12
Other Soils	10	3½	8

West Access Roadway (TI = 6)

Subgrade Type	CBR Value	Asphalt Thickness (in)	Base Course Thickness (in)
Mudstone and Lean Clay	4	3½	8
Other Soils	10	3	6

3. Pavement Materials

The pavement materials should meet St. George City specifications for gradation and quality. The pavement thicknesses indicated above assume that the base course is a high quality material with a CBR of at least 50 percent and the asphaltic concrete has a minimum Marshal stability of 1,800 pounds.

Other materials may be considered for use in the pavement section. The use of other materials may result in other pavement material thicknesses.

E. Drainage and Maintenance

The collection and diversion of drainage away from the pavement surface is extremely important to the satisfactory performance and life span of the pavement section and the slope stability. Proper drainage and precautions presented in the stability section should be provided.

Due to the moisture sensitivity of the on-site mudstone and portions of the lean clay, it is critical that infiltration of water be minimized to reduce the potential for future movement of pavement and utilities. Maintaining natural soil moisture conditions of the moisture sensitive soil and bedrock reduces potential for expansion of underlying soil/bedrock and subsequent heave. To reduce infiltration, we recommend the following:

1. Maintain positive site drainage during and following construction. Ponding of water should be eliminated.
2. Surface drainage of streets should be maintained by providing sufficient crown/grade in the road to direct flows into the curb/gutter systems or off of roadway improvements in areas not including curb and gutter. Positive flow of the gutters should be provided and maintained.
3. Seams and joints in the asphalt and concrete should be properly sealed to reduce infiltration of water to the underlying expansive soil/bedrock.
4. Maintenance should be provided to maintain asphalt cracks which may occur over time.

F. Construction Materials Observation and Testing

Construction materials observation and testing should meet St. George City testing requirements. We also recommend the following be conducted during the construction of the roadway.

1. Verify that the subgrade is properly prepared prior to placing fill and the recommended overexcavation depths are achieved to expose the underlying competent basalt.
2. Observe the placement and conduct compaction testing on each foot of site grading fill placed in roadway areas and within utility trenches.
3. Conduct materials testing on road-base, concrete, and asphalt in accordance with St. George City standards.

G. Geotechnical Recommendation Review

The client should familiarize themselves with the information contained in this report. If specific questions arise or if the client does not fully understand the conclusions/recommendations provided, AGECE should be contacted to provide clarification.

LIMITATIONS

This report has been prepared in accordance with generally accepted soil engineering practices in the area for design purposes. The conclusions and recommendations included within the report are based on the information obtained from the borings drilled and the test pits excavated at the locations indicated on the site plan, the results of laboratory testing, the referenced documents and our experience in the area. Variations in the subsurface conditions may not become evident until additional exploration or excavation is conducted. If the subsurface soil or groundwater conditions are found to be different from what is described in this report, we should be notified to reevaluate the recommendations given.

Sincerely,

APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC.

Jake Erickson, P.E.

James E. Nordquist, P.E.

Reviewed by Arnold DeCastro, P.E.

JE/sd P:\2018 Project Files\2180200\2180295 Tech Ridge Access Road(s)\2180295 Report.wpd

References

Hayden, J.M. and Willis, G.C., 2011; Geologic map of the St George quadrangle, Washington County, Utah, Utah Geological Survey Map 251DM.

International Building Code, 2015; International Code Council, Falls Church, Virginia.

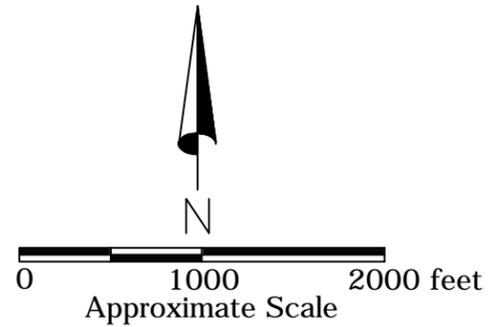
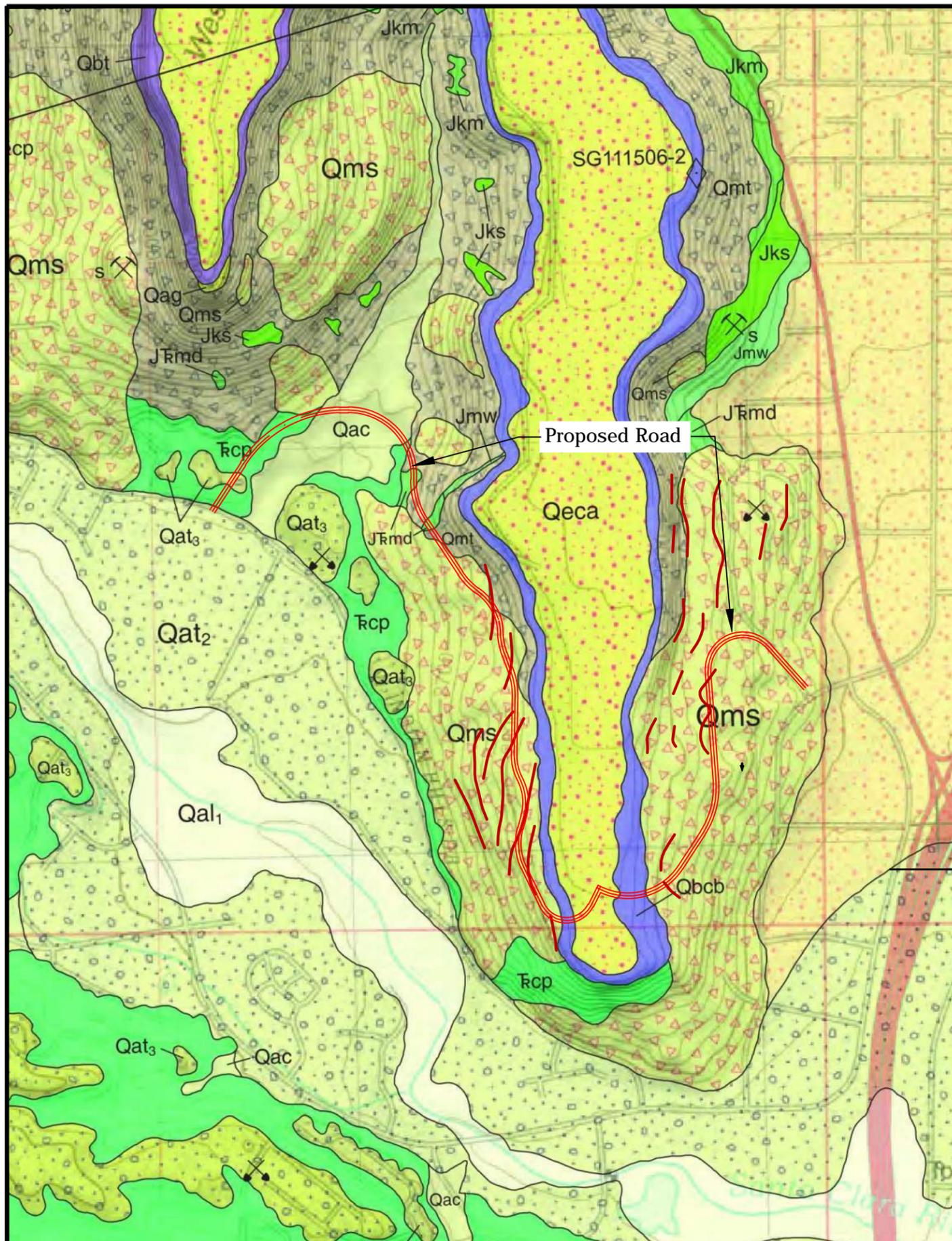
Lund, W.R., Knudsen, T.R., Vice, G.S. and Shaw, L.M., 2008; Geologic hazards and adverse conditions, St George-Hurricane metropolitan areas, Wasatch County, Utah, Utah Geological Survey Special Study 127.

Utah Geological Survey, 2018; Utah Quaternary Fault and Fold Database, <http://geology.utah.gov/resources/data-databases/qfaults/> Accessed September 24, 2018.

"Pavement Management and Pavement Design Manual", Utah Department of Transportation, November 1998, updated March 2008.

"Landslide-Hazard Map for the St. George-Hurricane Metropolitan Area", Utah Geological Survey, 2008.

"St. George Geologic Map Overlay", Utah Geological Survey, 2013.

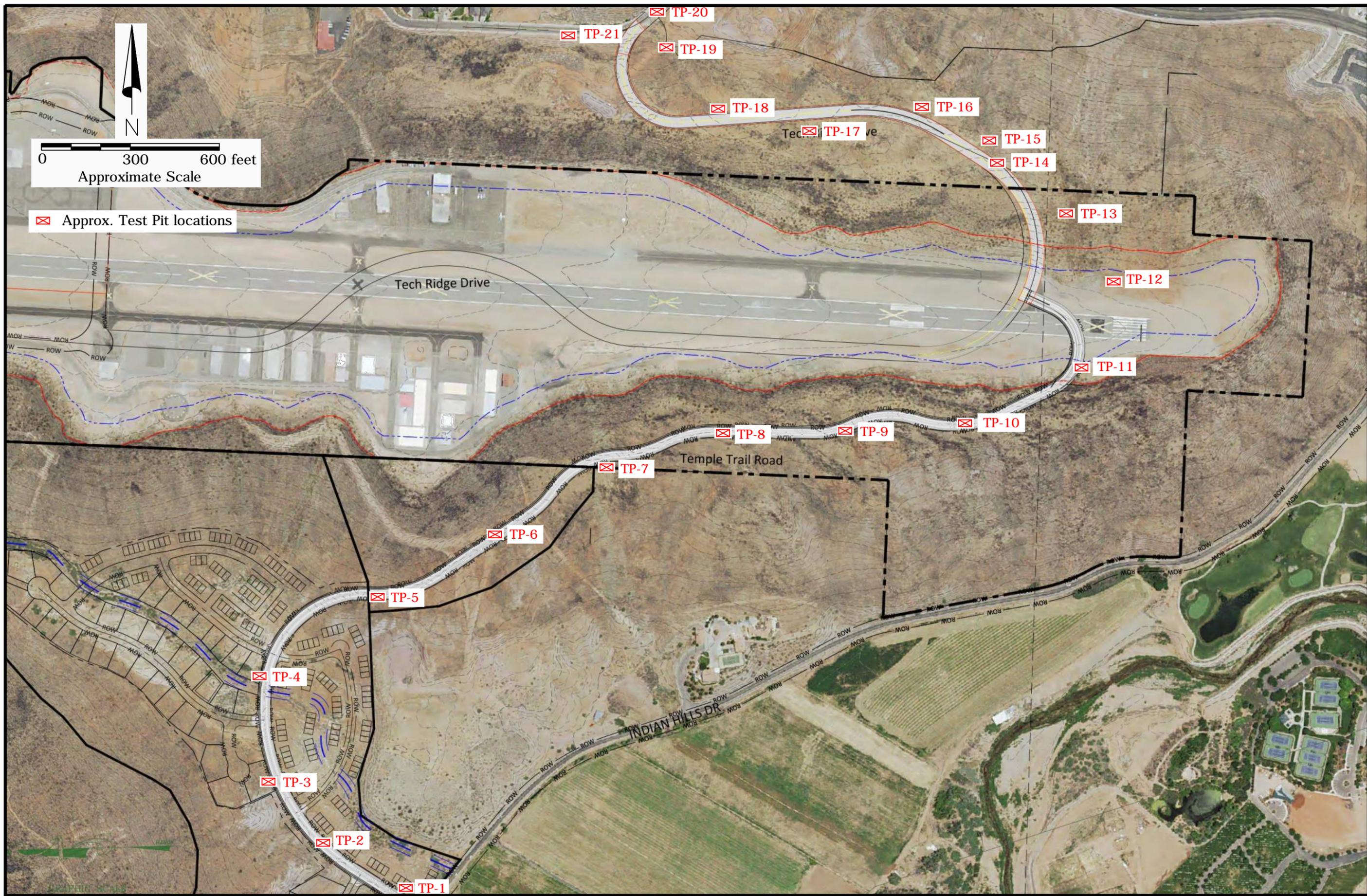


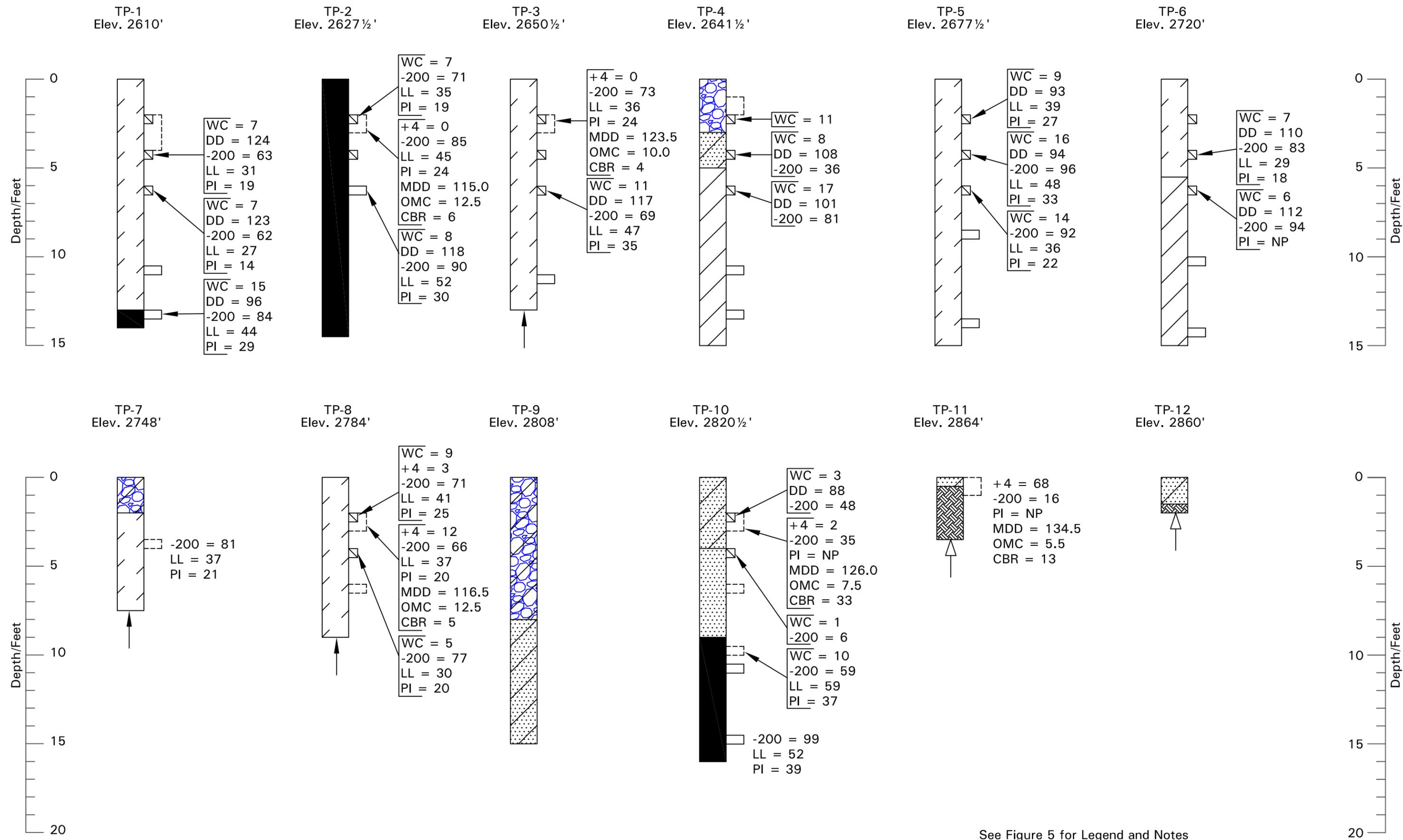
Explanation of Symbols and Geologic Units in Area of Proposed Road

- Qal₁ - Stream alluvium (Holocene)
- Qac - Mixed alluvial and colluvial deposits (Holocene to upper Pleistocene)
- Qeca - Eolian and alluvial deposits (Holocene to lower Pleistocene)
- Qat₂ - Alluvial-terrace deposits (Holocene)
- Qat₃ - Alluvial-terrace deposits (late Pleistocene)
- Qmt - Talus deposits (Holocene to upper Pleistocene)
- Qms - Landslide deposits (Holocene to middle Pleistocene)
- Qbcb - Cedar Bench lava flow (lower Pleistocene)
- Jmw - Whitmore Point Member of the Moenave Formation (Lower Jurassic)
- JFmd - Dinosaur Canyon Member of the Moenave Formation (Lower Jurassic)
- Rcp - Petrified Forest Member of the Chinle Formation (Upper Triassic)
- Liation within the landslide deposits
- Approximate location of proposed access roads

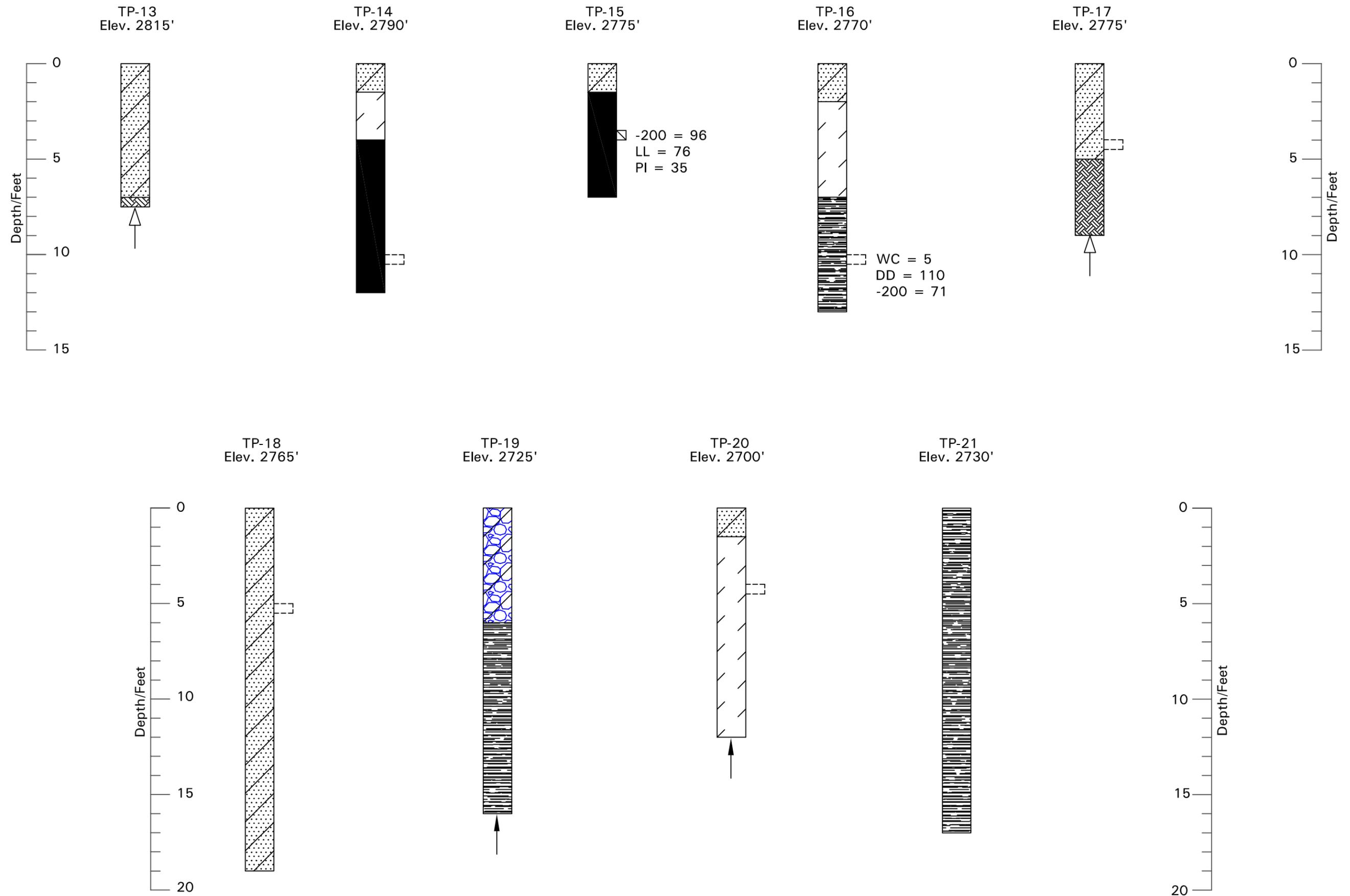
TECH RIDGE SOUTH ACCESS ROAD
ST. GEORGE, UTAH

Map taken from Hayden, J.M. and Willis, G.C., 2011; Geologic map of the St George quadrangle, Washington County, Utah, Utah Geological Survey Map 251DM.





See Figure 5 for Legend and Notes



See Figure 5 for Legend and Notes

LEGEND:

- 

Lean Clay (CL); medium stiff to very stiff, moist, medium plastic, contains varied amounts of sand, gravel, and boulders (1 to 4 feet in size), red-brown to brown with white mottles.
- 

Silt (ML); medium stiff to stiff, slightly moist to moist, contains various amounts of sand, reddish brown.
- 

Silty Sand (SM); loose to medium dense, dry, fine to medium grained, contains occasional gravel, cobbles and boulders (1 to 4 feet in size), light reddish brown to brown.
- 

Well Graded Sand with Silt (SW-SM); medium dense, dry, contains gravel, brown.
- 

Silty Gravel with Sand (GM); medium dense to dense, dry to moist, light brown to brown.
- 

Basalt; moderately hard to very hard, dry, highly fractured near surface, black.
- 

Mudstone; soft to moderately hard, dry to moist, medium to highly plastic, grey to purple.
- 

Shale Bedrock; soft to hard, dry to slightly moist, interbedded with layers of siltstone and claystone, dark brown to dark red.
- 

Indicates relatively undisturbed hand drive sample taken.
- 

Indicates relatively undisturbed block sample taken.
- 

Indicates disturbed sample taken.
- 

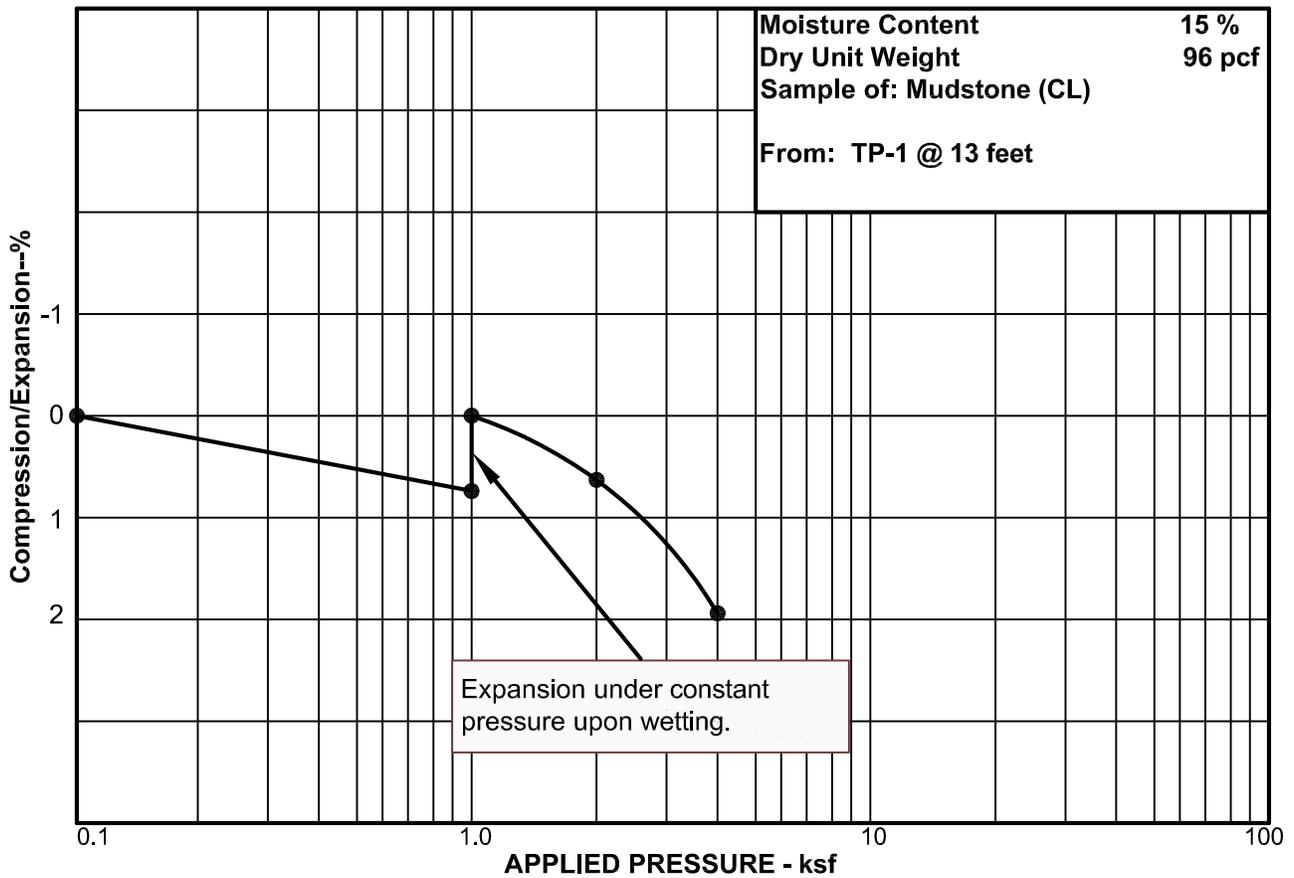
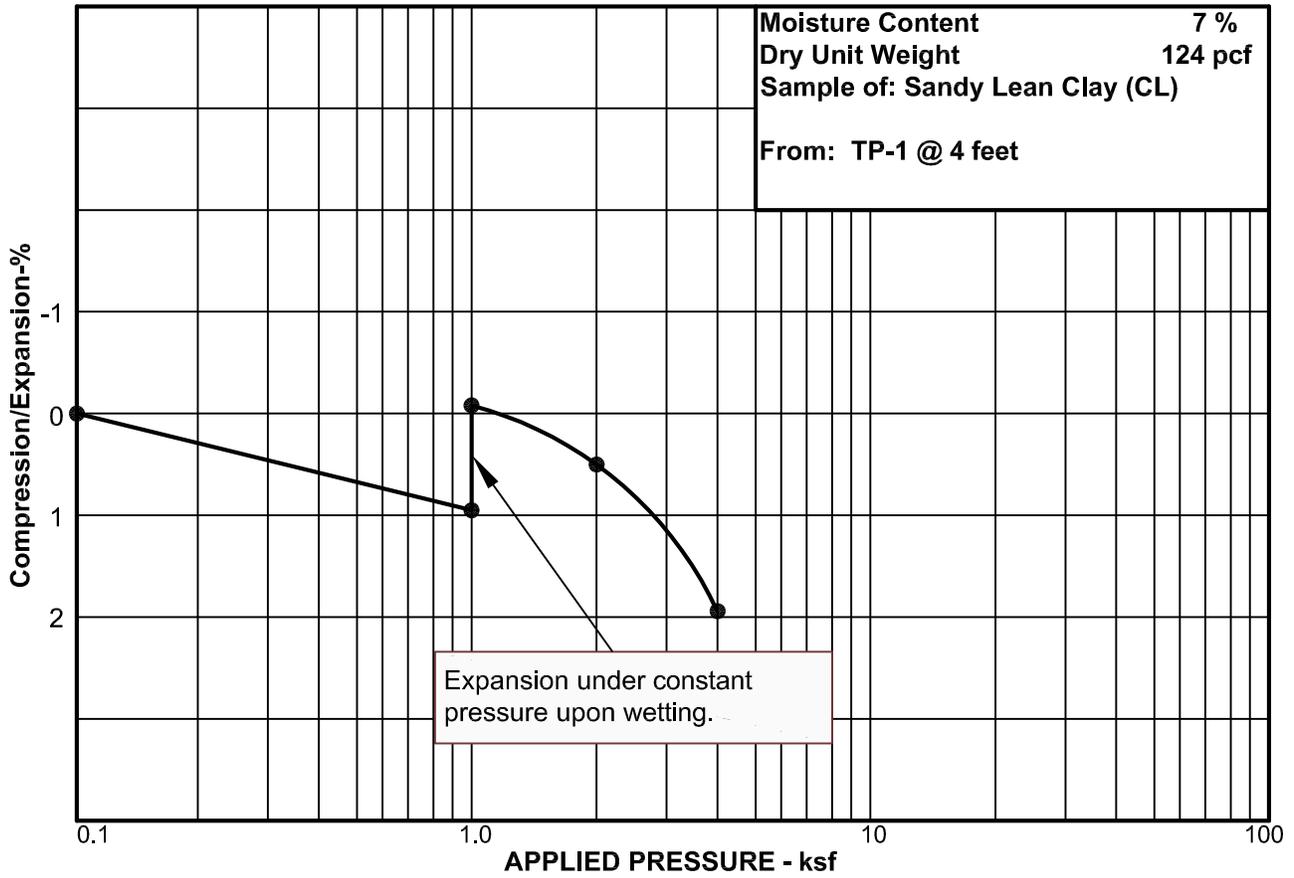
Indicates practical backhoe refusal on stiff clay and boulders or shale bedrock.
- 

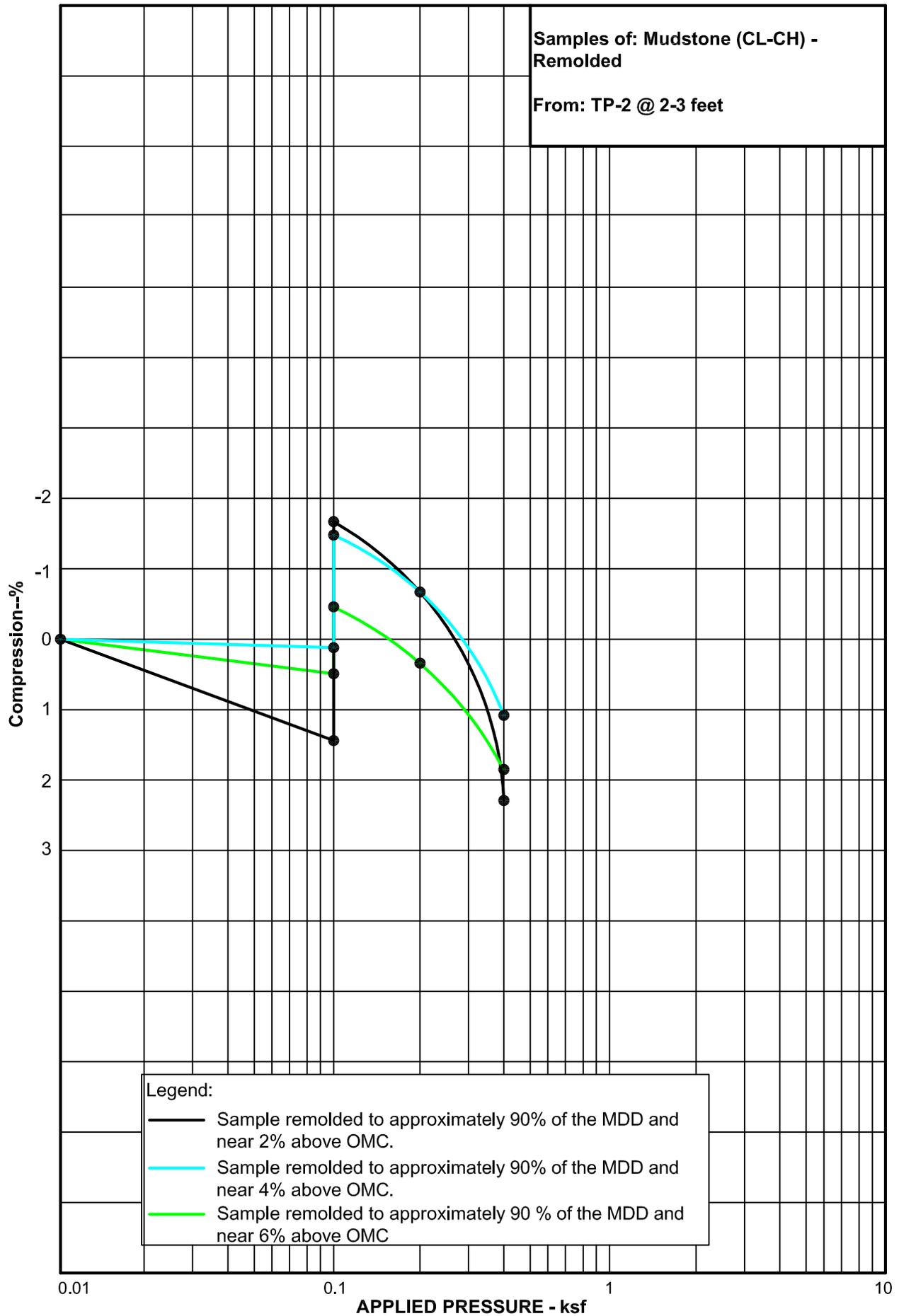
Indicates practical backhoe refusal on basalt.

NOTES:

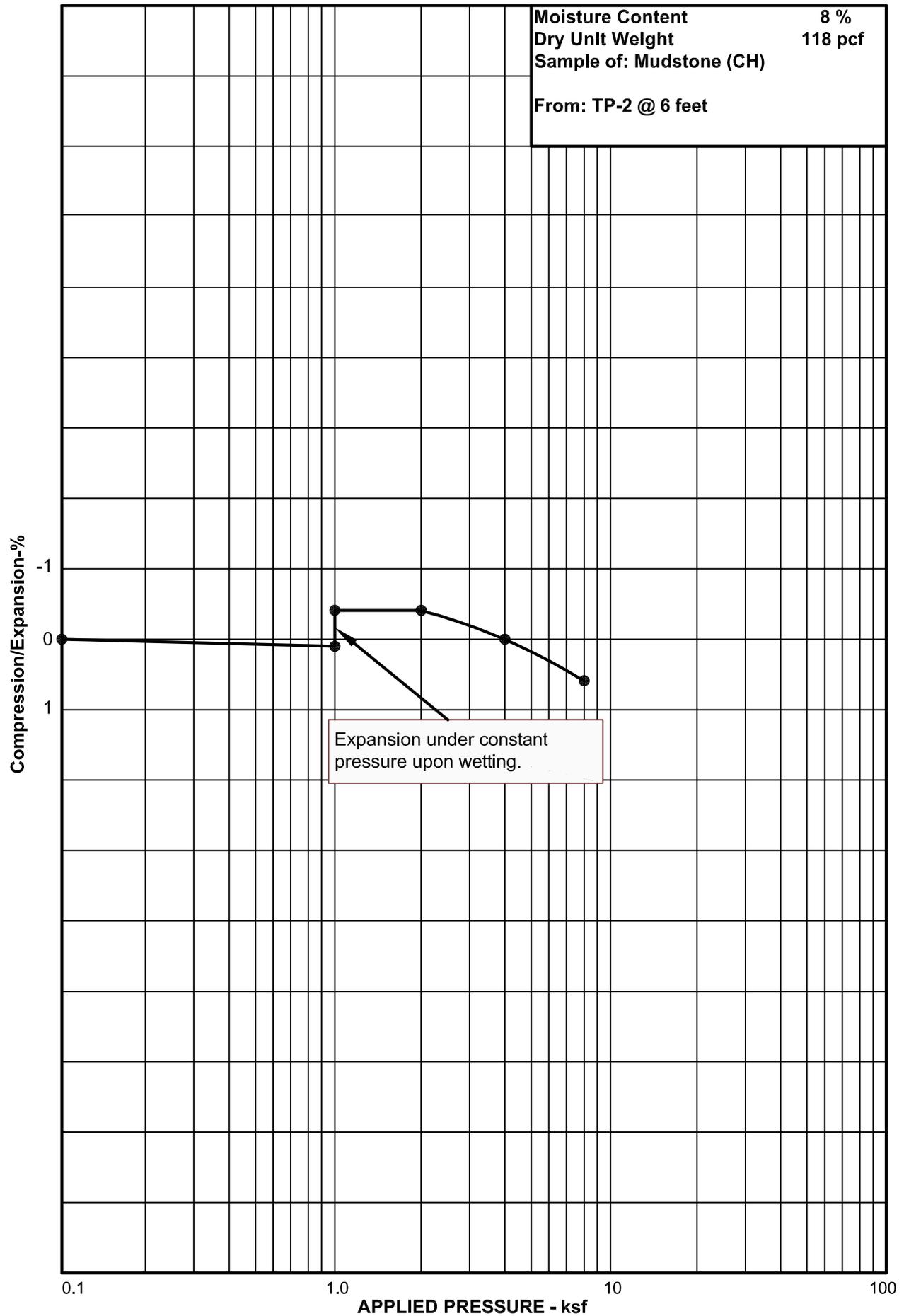
1. Test pits TP-1 through TP-13 were excavated on August 8 and 9, 2018 and test pits TP-14 through TP-21 were excavated on August of 1998 with a trackhoe.
2. The locations and elevations of test pits TP-1 through TP-11 were measured using roadway centerline stakes, which were located using GPS by others.
3. The locations of test pits TP-12 through TP-21 were located by pacing from features shown on Figure 2. The elevations of test pits TP-12 through TP-21 were interpolated between contours shown on Figure 2.
4. The test pit locations and elevations should be considered accurate only to the degree implied by the method used.
5. The lines between the materials shown on the test pit logs represent the approximate boundaries between material types and the transitions may be gradual.
6. Free water was not encountered in the test pits at the time of excavation.
7. WC = water content (%);
 DD = dry density (pcf);
 +4 = percent retained on the No. 4 sieve;
 -200 = percent passing No. 200 sieve;
 LL = liquid limit (%);
 PI = plasticity index (%);
 NP = non-plastic;
 MDD = maximum dry density (pcf);
 OMC = optimum moisture content (%);
 CBR = california bearing ratio (%).

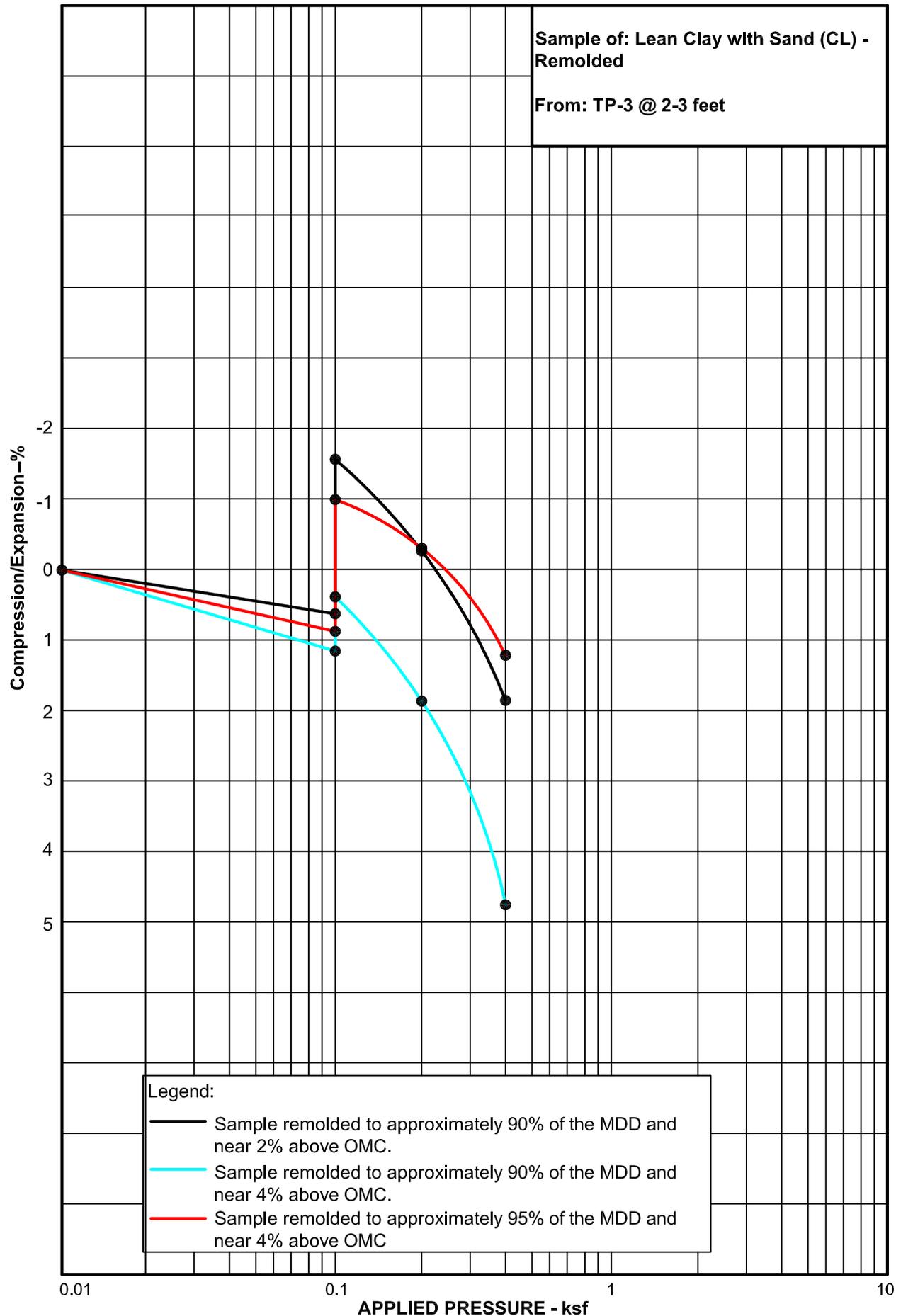
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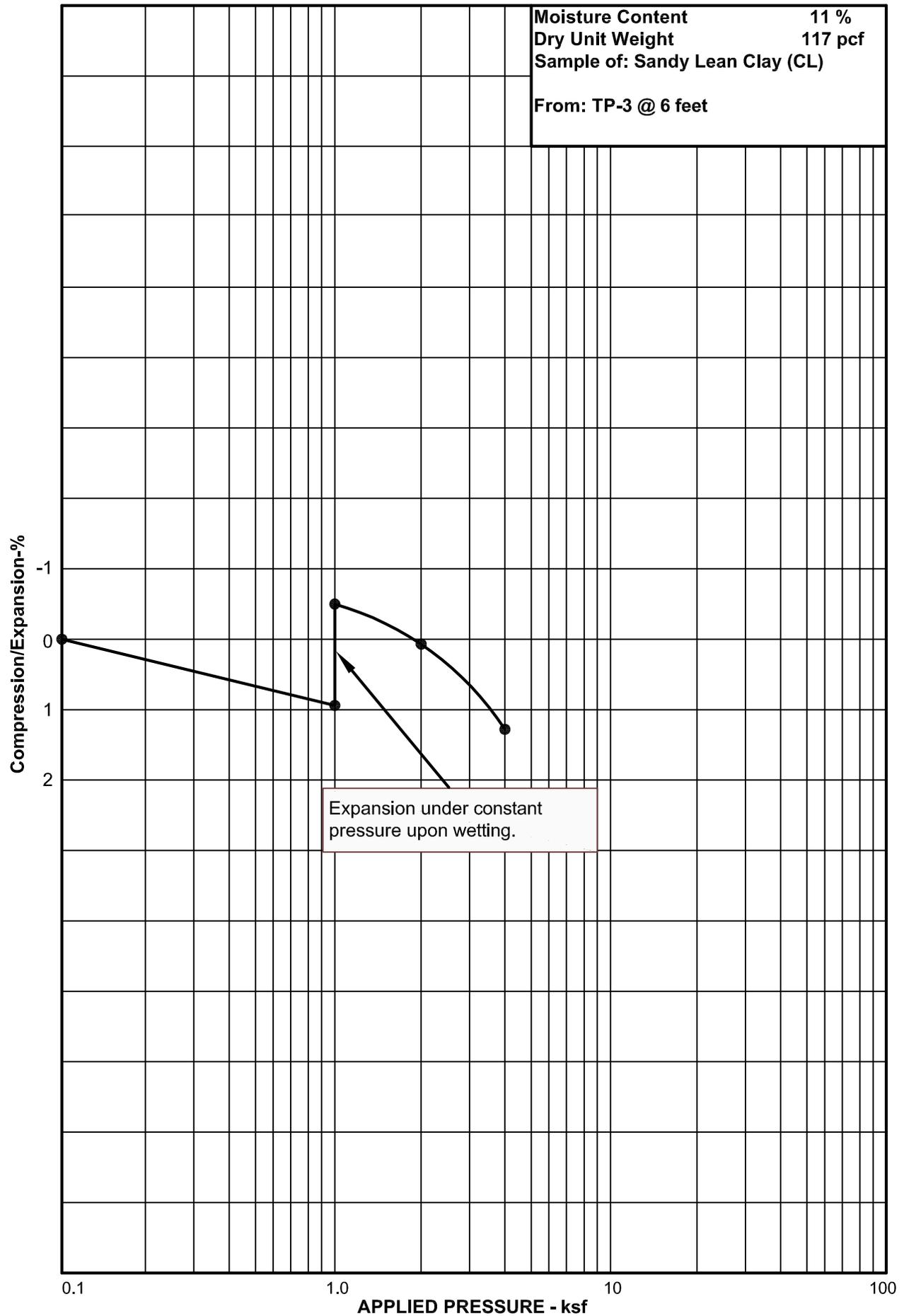


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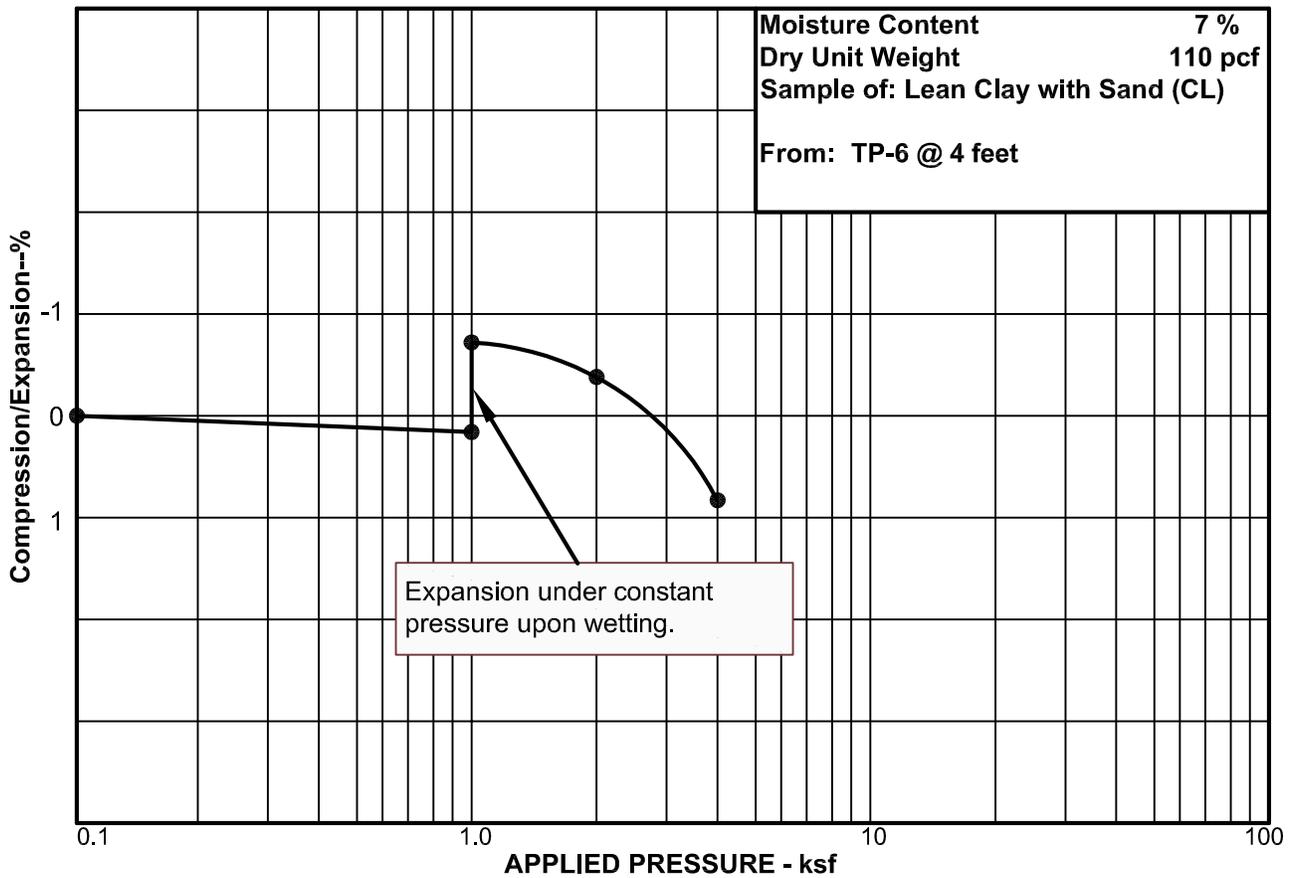
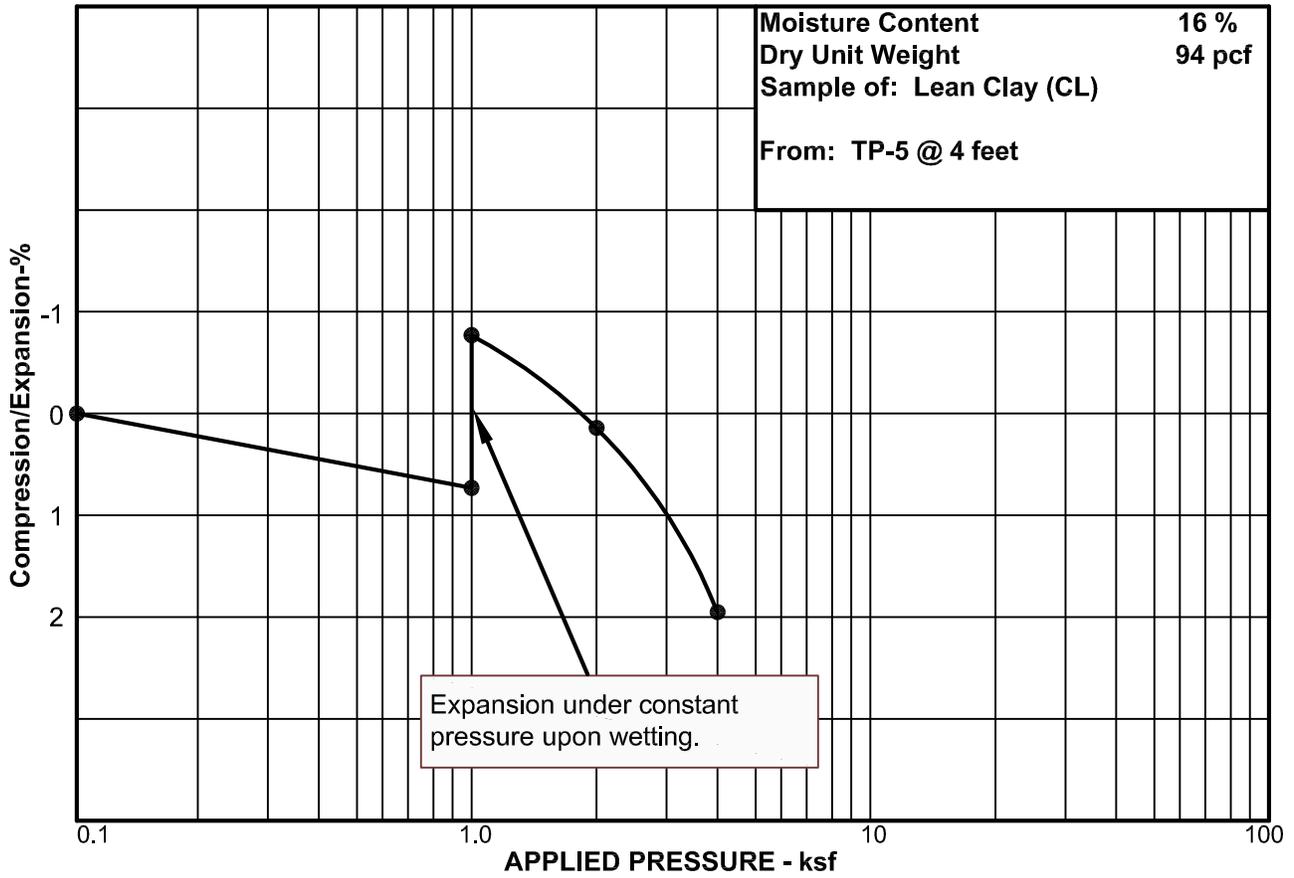


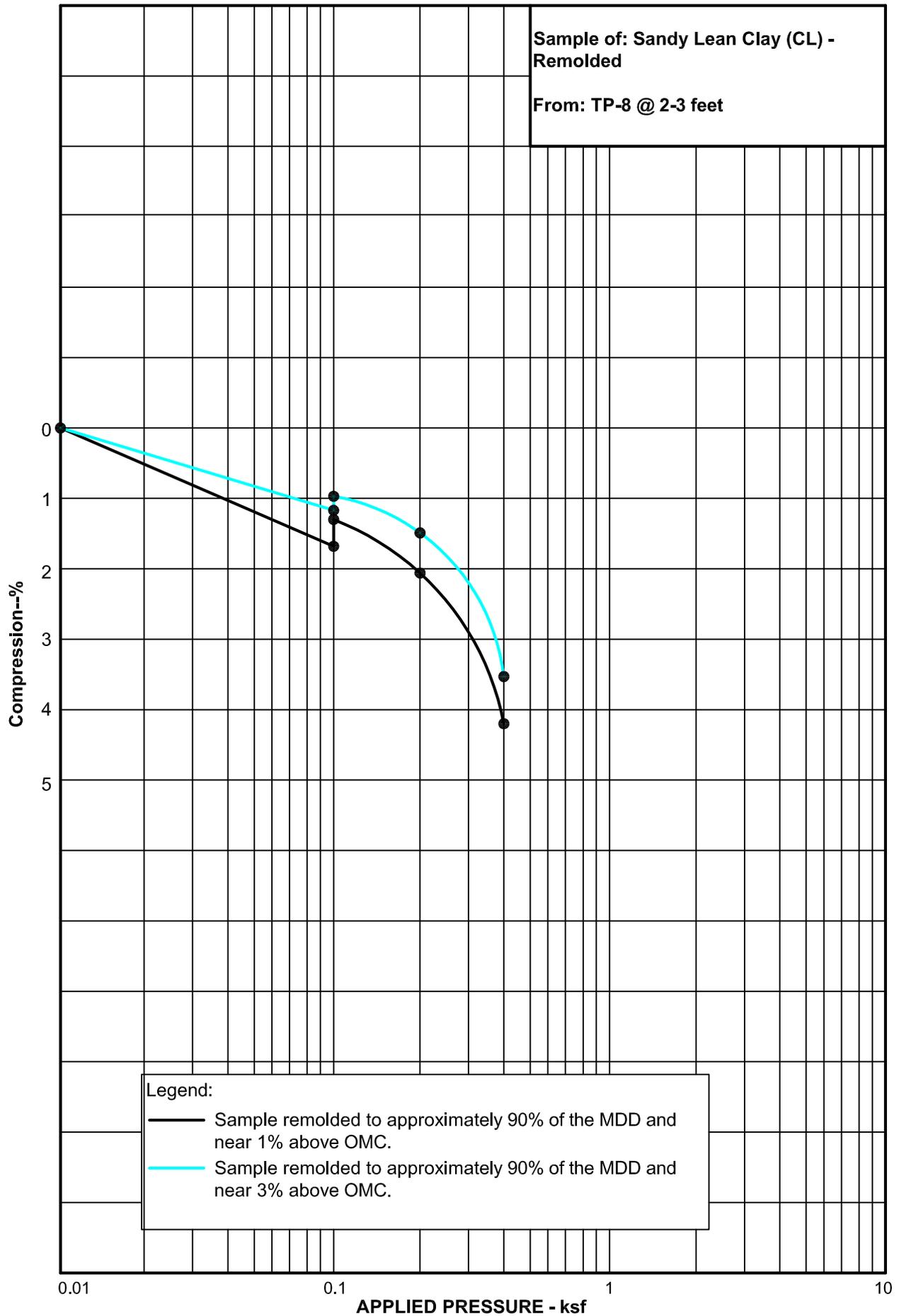


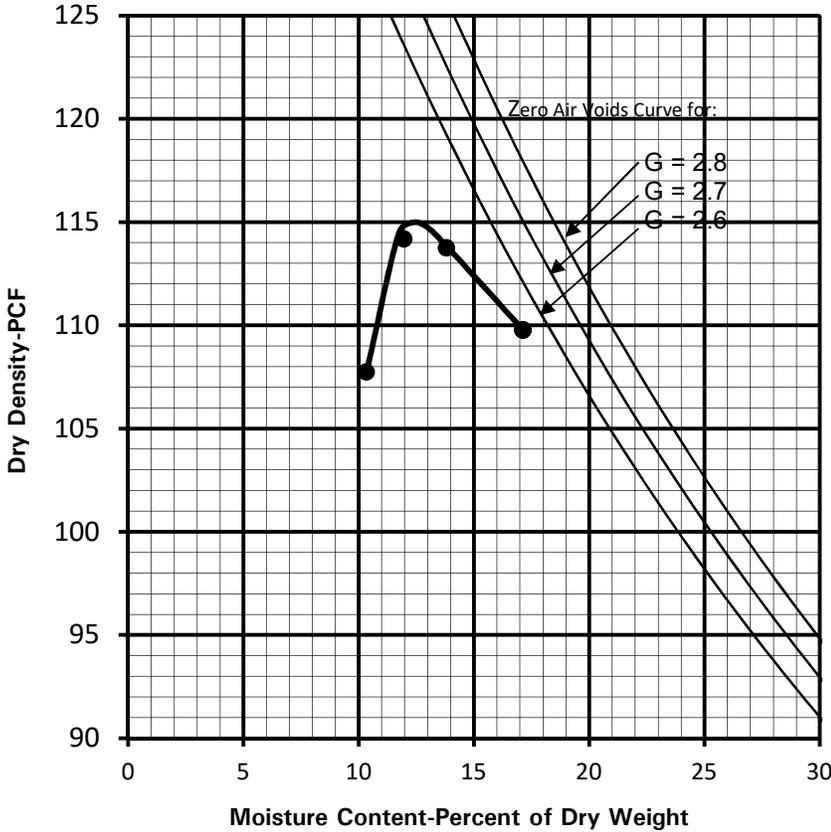
Applied Geotechnical Engineering Consultants, Inc.



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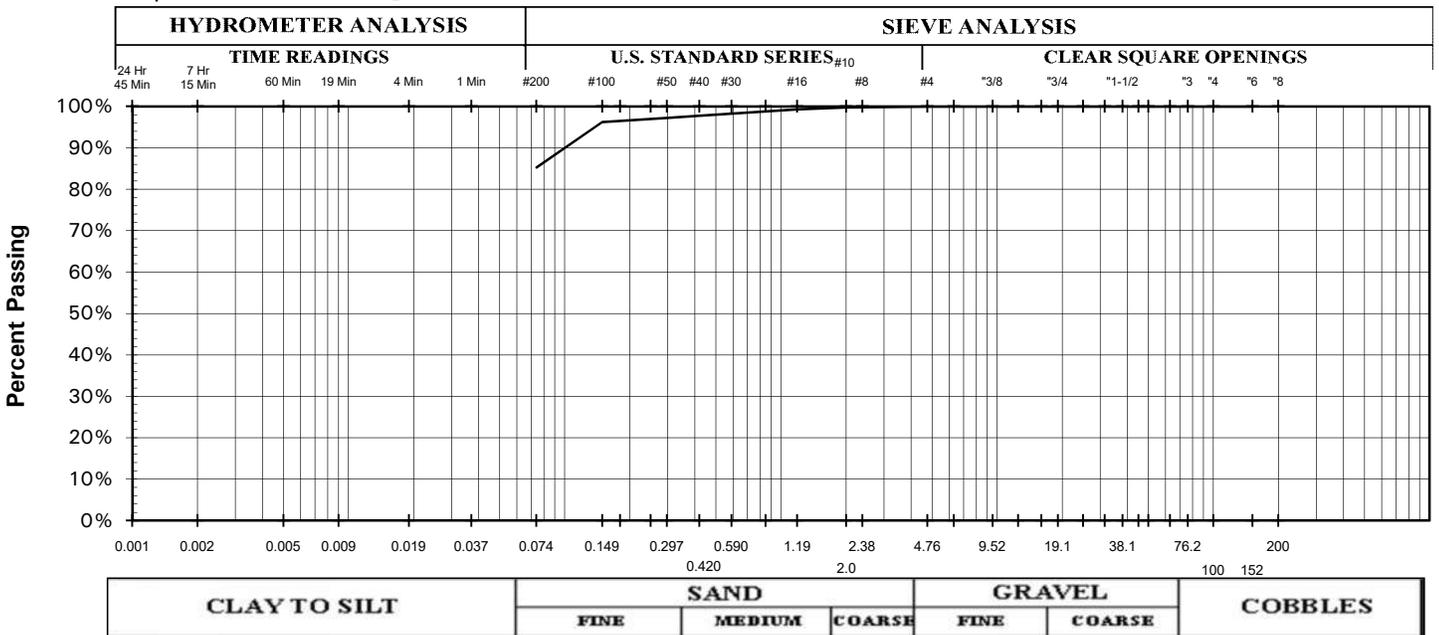




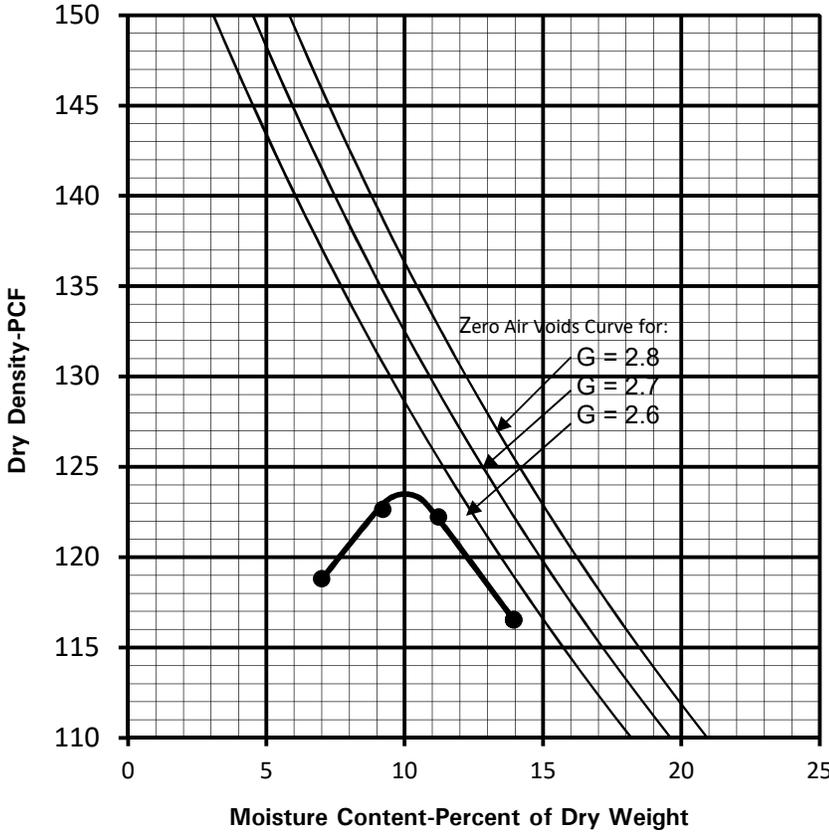
Sample Date: 8/14/18
Sample No.: 180815G
Maximum Dry Density: 115.0
Optimum Moisture: 12.5
Atterberg Limits
 Liquid Limit: 45%
 Plasticity Index: 24%
Gradation
 Gravel: 0%
 Sand: 15%
 Silt & Clay: 85%

Moisture - Density Relationship Test Procedure: ASTM D-1557 B
 Sample Description: Mudstone - lean clay (CL)
 AASHTO Classification: A-7-6
 Sample Location: TP-2 @ 2-3'

Reviewed By: BI



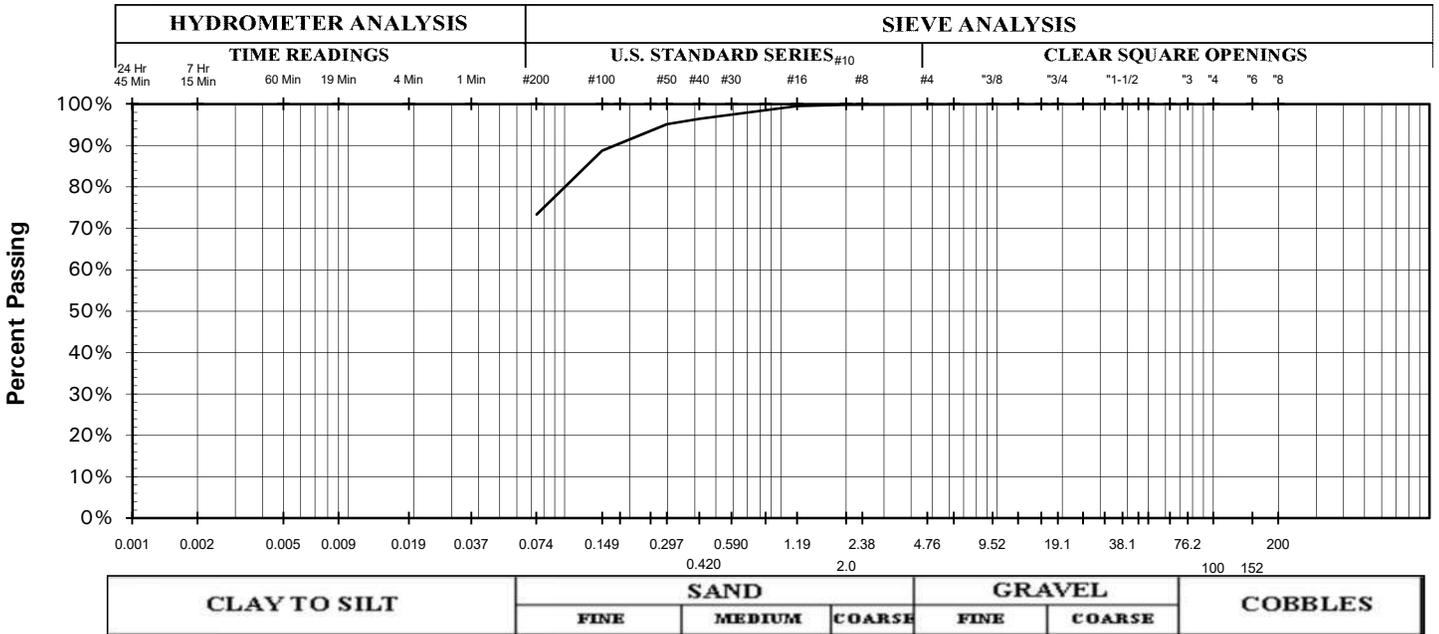
GRADATION AND MOISTURE-DENSITY RELATIONSHIP RESULTS



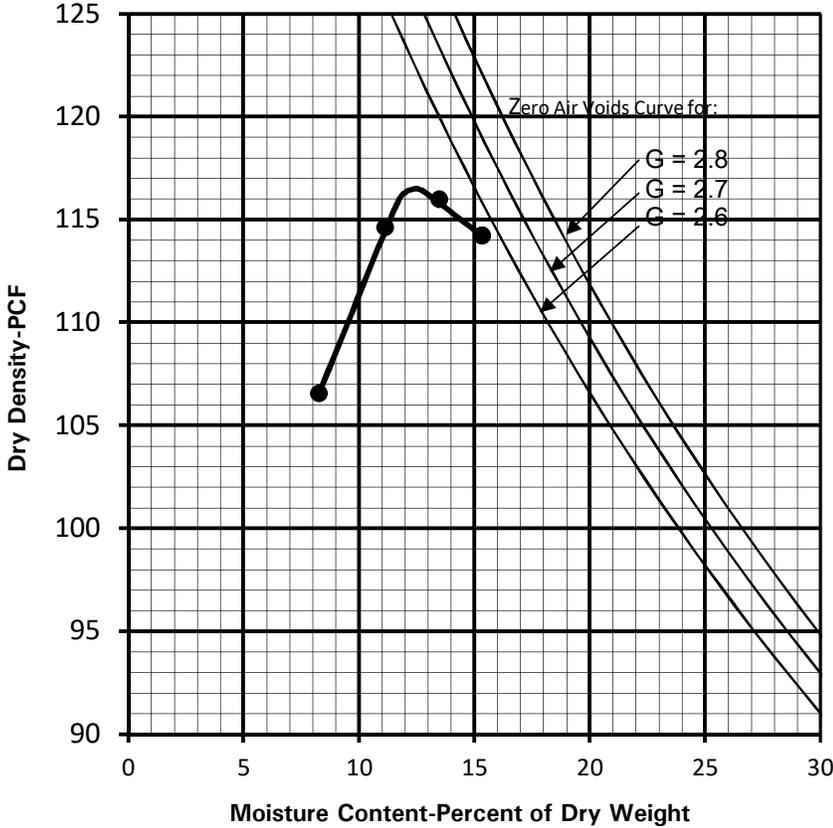
Sample Date: 8/14/18
Sample No. 180816A
Maximum Dry Density: 123.5
Optimum Moisture: 10.0
Atterberg Limits
 Liquid Limit: 36%
 Plasticity Index: 24%
Gradation
 Gravel: 0%
 Sand: 27%
 Silt & Clay: 73%

Moisture - Density Relationship Test Procedure: ASTM D-1557 B
 USCS Classification: lean clay with sand (CL)
 AASHTO Classification: A-6
 Sample Location: TP-3 @ 2-3'

Reviewed By: BI



GRADATION AND MOISTURE-DENSITY RELATIONSHIP RESULTS



Sample Date: 8/14/18
Sample No.: 180816b
Maximum Dry Density: 116.5
Optimum Moisture: 12.5
Atterberg Limits
 Liquid Limit: 37%
 Plasticity Index: 20%
Gradation
 Gravel: 12%
 Sand: 22%
 Silt & Clay: 66%

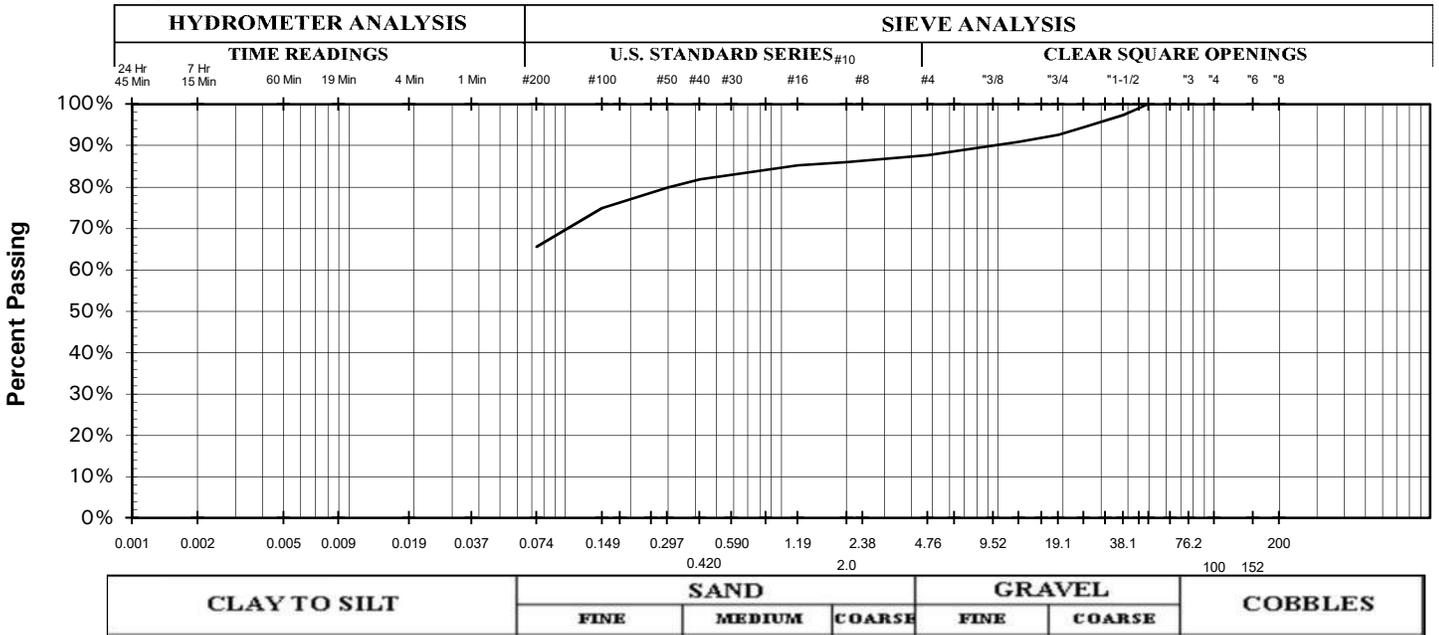
Moisture - Density Relationship Test Procedure: ASTM D-1557 B

Reviewed By: BI

Sample Description: sandy lean clay (CL)

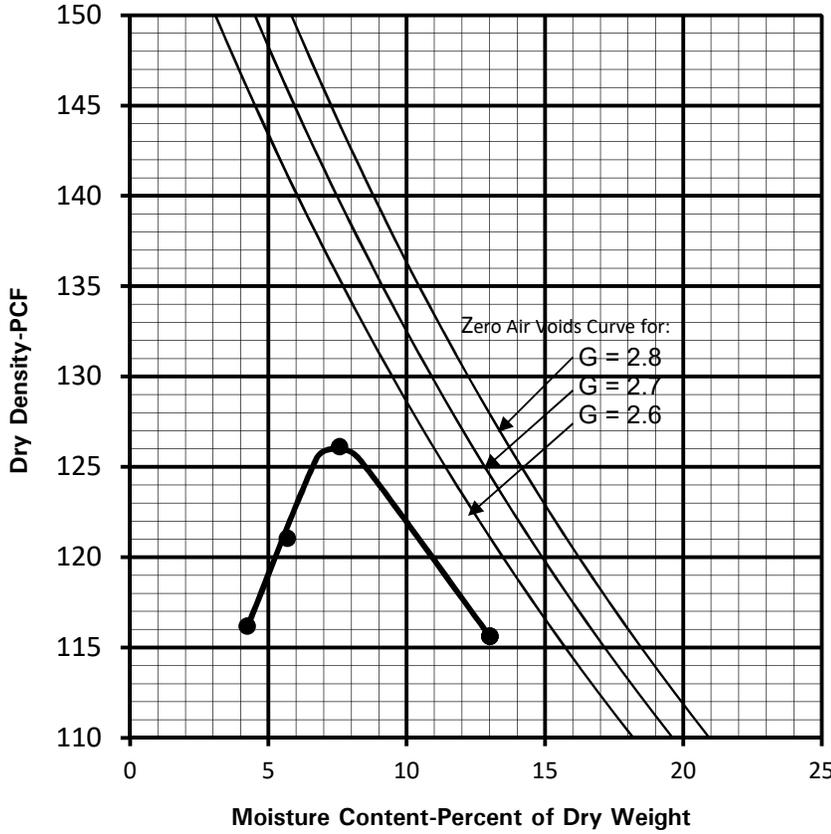
AASHTO Classification: A-6

Sample Location: TP-8 @ 2-3'



GRADATION AND MOISTURE-DENSITY

RELATIONSHIP RESULTS



Sample Date: 8/14/18
Sample No.: 180816E
Maximum Dry Density: 126.0
Optimum Moisture: 7.5

Atterberg Limits

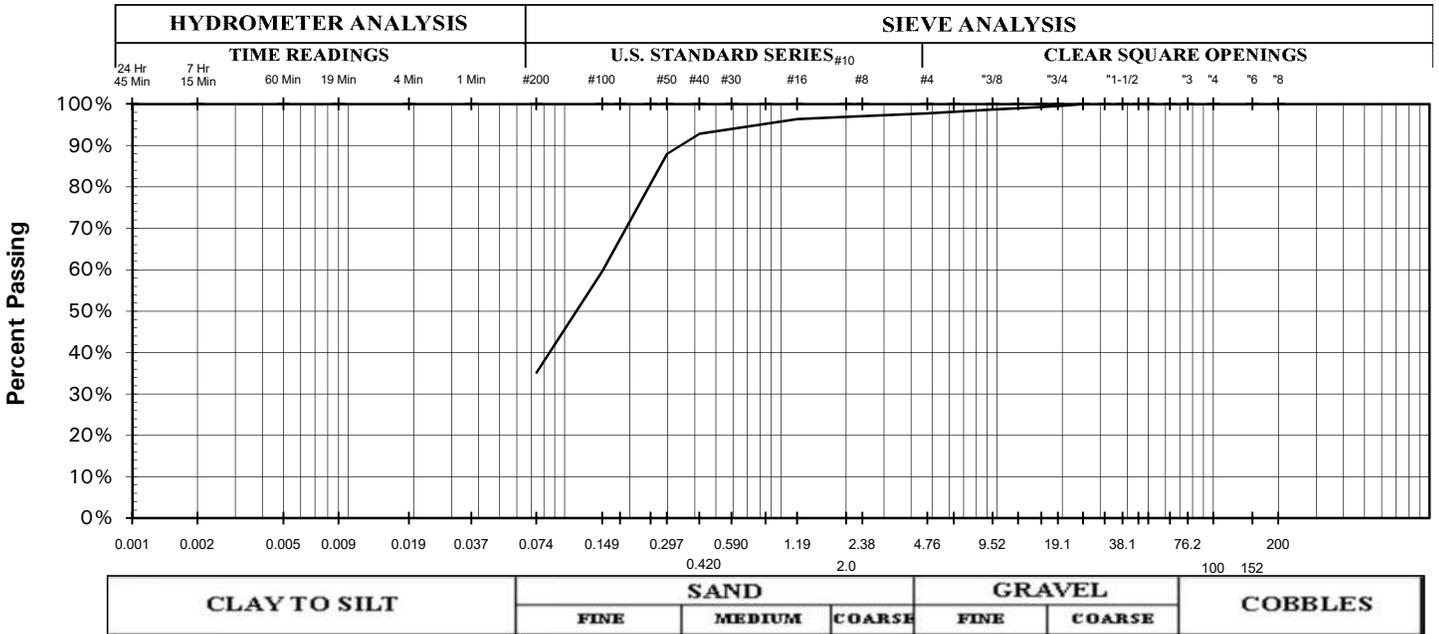
Liquid Limit:
Plasticity Index: Non-Plastic

Gradation

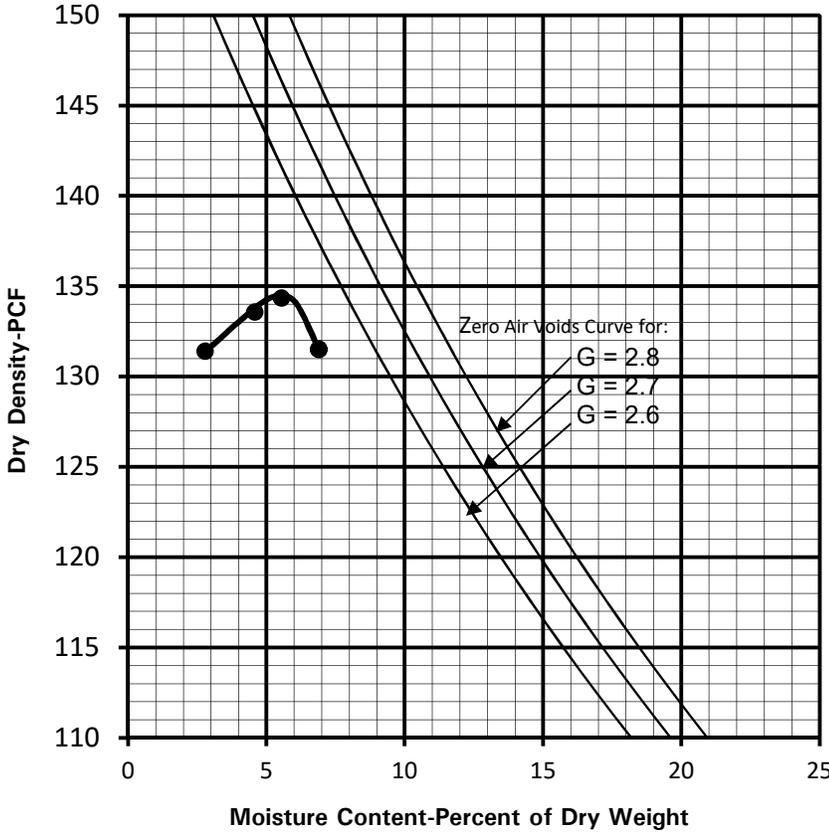
Gravel: 2%
Sand: 63%
Silt & Clay: 35%

Moisture - Density Relationship Test Procedure: ASTM D-1557 B
 USCS Classification: silty sand (SM)
 AASHTO Classification: A-4
 Sample Location: TP-10 @ 2-3'

Reviewed By: BI



**GRADATION AND MOISTURE-DENSITY
RELATIONSHIP RESULTS**



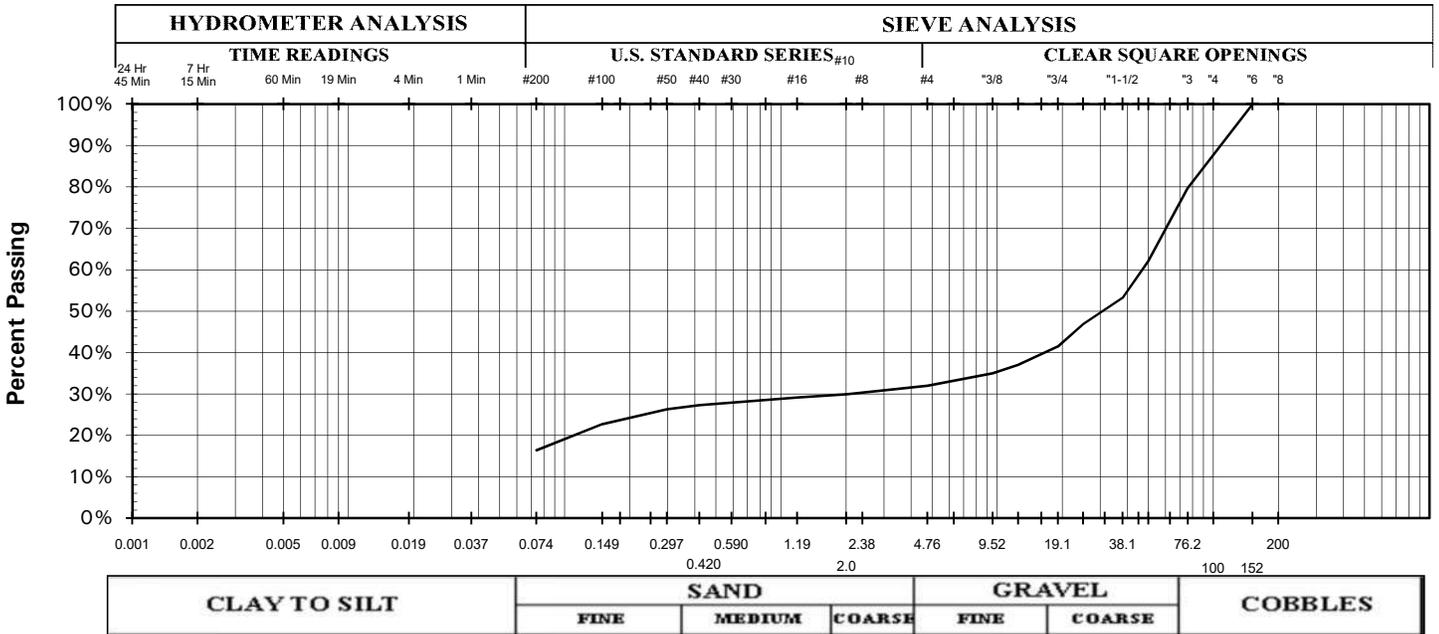
Sample Date: 8/14/18
Sample No. 180816F
Maximum Dry Density: 134.5
Optimum Moisture: 5.5

Atterberg Limits
Liquid Limit:
Plasticity Index: Non-Plastic

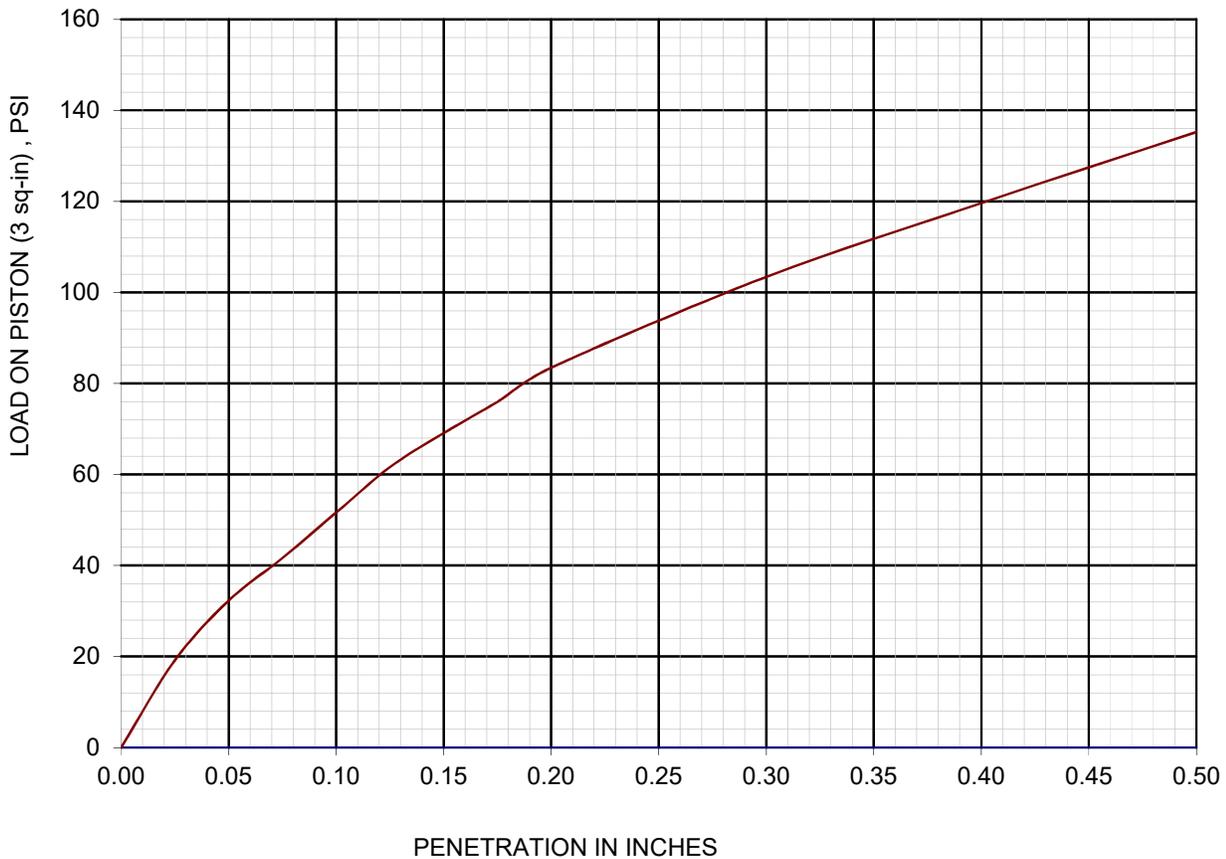
Gradation
Gravel: 68%
Sand: 16%
Silt & Clay: 16%

Moisture - Density Relationship Test Procedure: ASTM D-1557 B
 USCS Classification: silty gravel with sand (GM) *Rock Corrected*
 AASHTO Classification: A-1-b
 Sample Location: TP-11 @ 0-1'

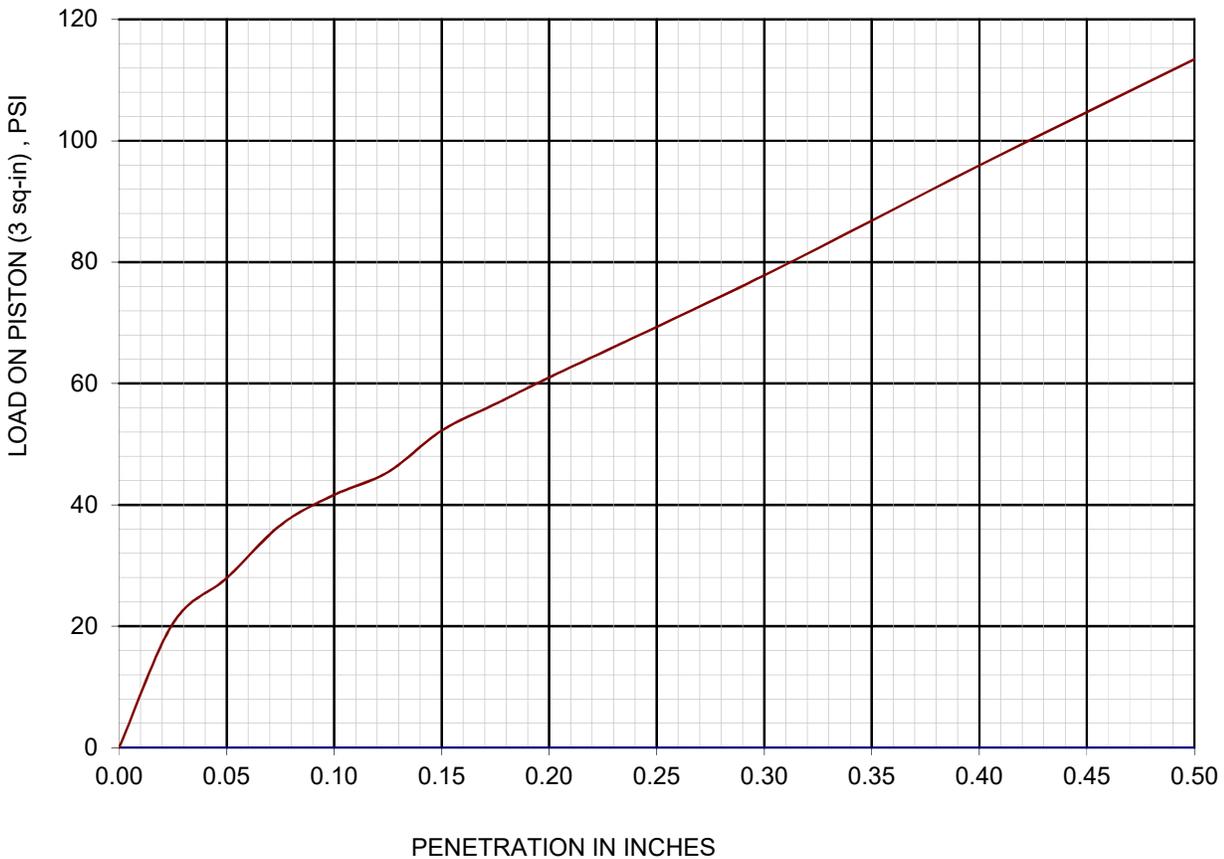
Reviewed By: TT



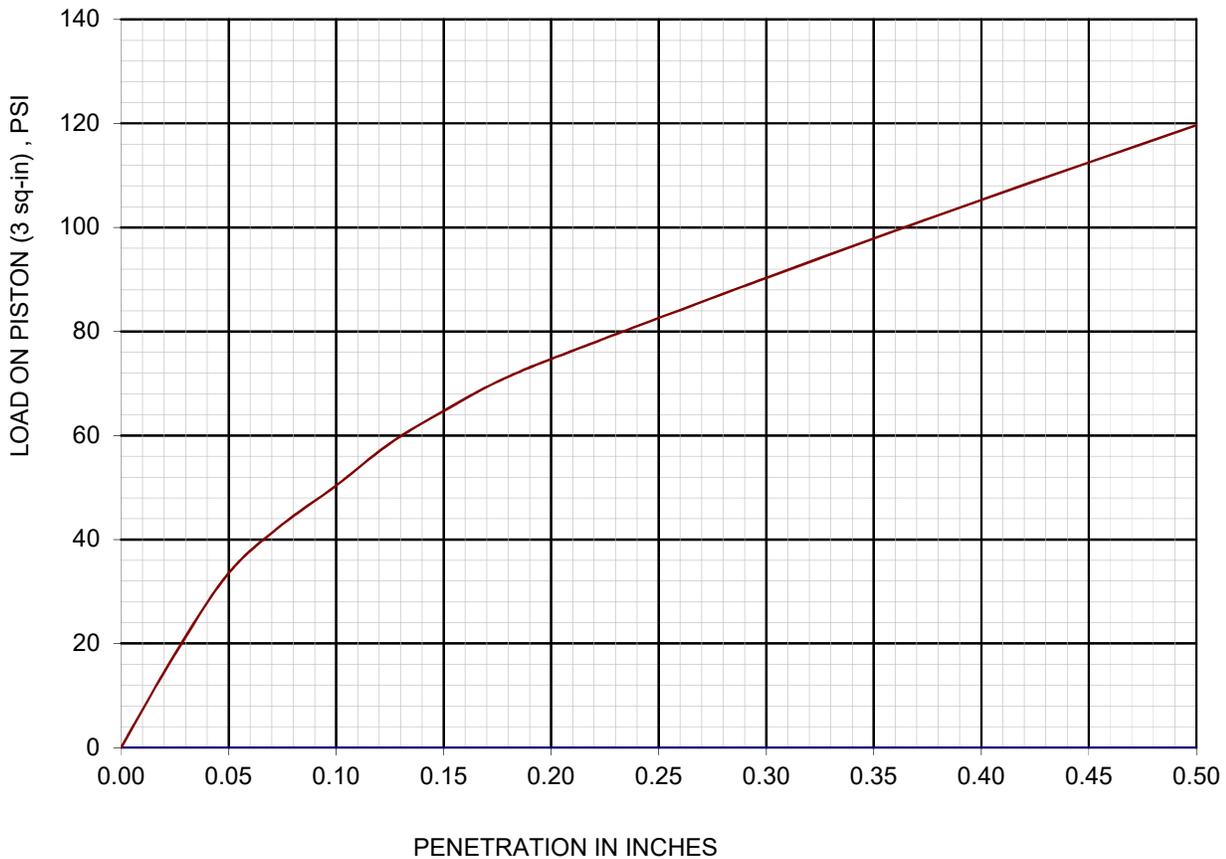
GRADATION AND MOISTURE-DENSITY RELATIONSHIP RESULTS



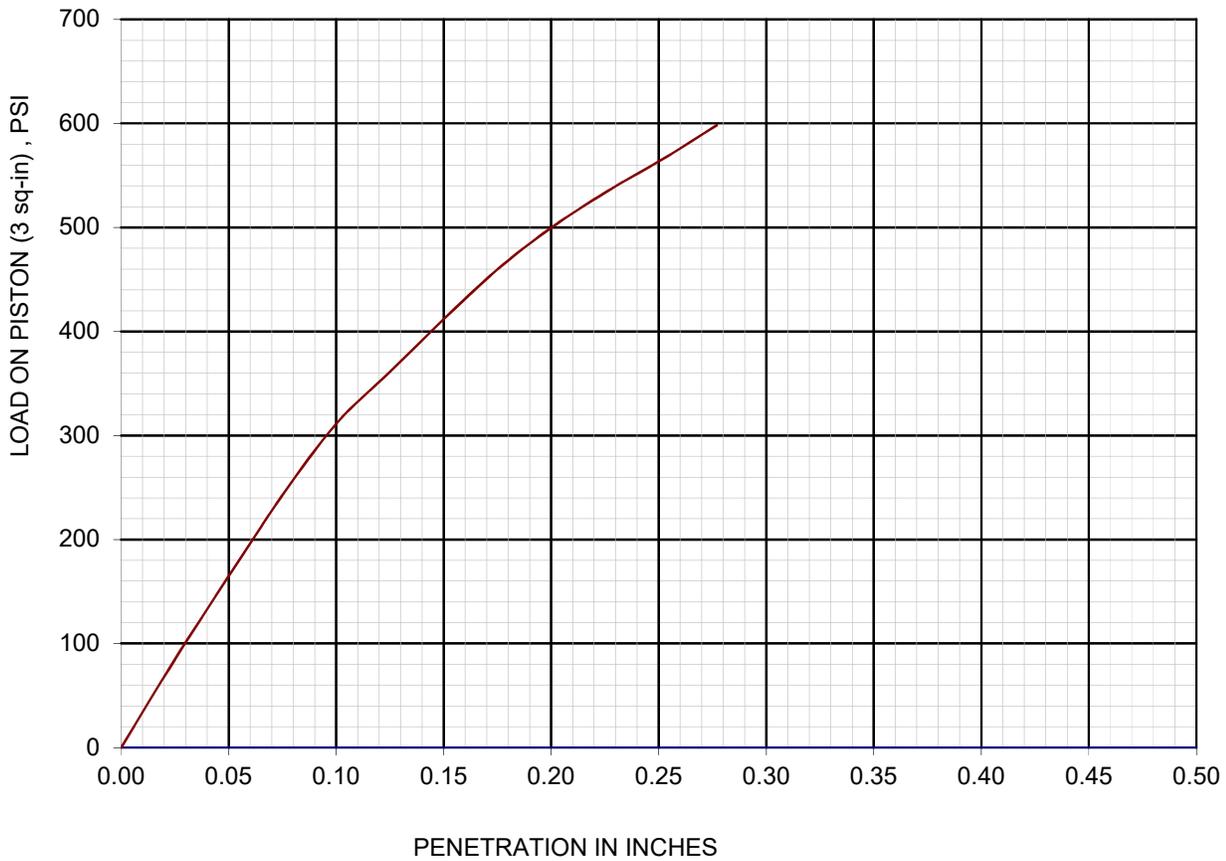
Project	300 West	Sample Location	TP-2 @ 2-3'
Sample Classification	(CL) lean clay - purple mudstone	AGEC Sample ID No.	A-082718
Method of sample preparation:	Remolded to approximately 90% of the maximum dry density at the optimum moisture content +2 as per ASTM D-1557		
Sample penetration after soaking for	96	hours	
Dry Density:	as molded	103.0	pcf
	after soaking	98.1	pcf
Moisture Content:	as molded	14.1	percent
	top 1-inch after soaking	26.0	percent
Swell:	after soaking	4.1	percent
	average after soaking	25.3	percent
Comment:	CBR value taken at 0.2 inch penetration		
Bearing Ratio of Sample,	CBR =	6	percent
	Surcharge	30	lb



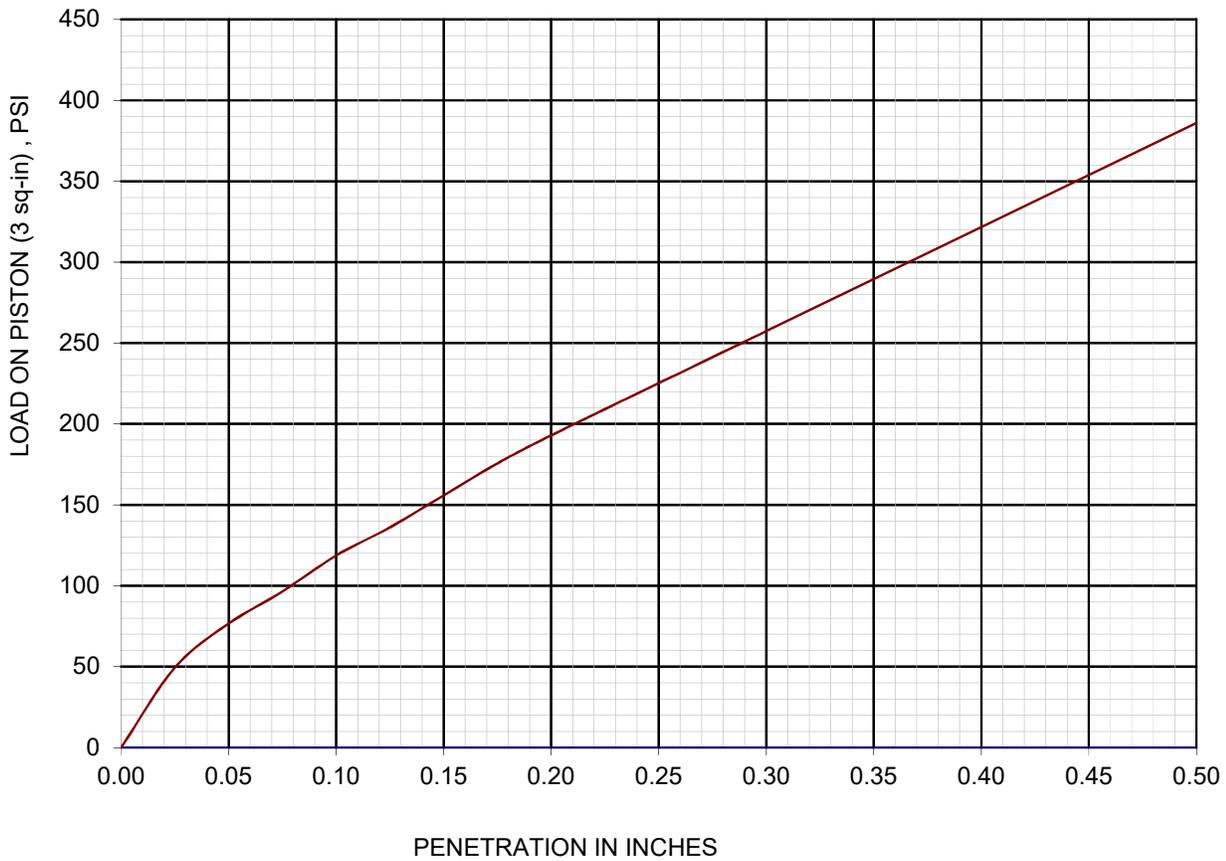
Project	300 West	Sample Location	TP-3 @ 2-3'
Sample Classification	(CL) lean clay with sand	AGEC Sample ID No.	B-082718
Method of sample preparation:	Remolded to approximately 90% of the maximum dry density at the optimum moisture content +2% as per ASTM D-1557		
Sample penetration after soaking for	96	hours	
Dry Density:	as molded	113.6	pcf
	after soaking	108.6	pcf
Moisture Content:	as molded	12.0	percent
	top 1-inch after soaking	23.1	percent
Swell:	after soaking	1.3	percent
	average after soaking	20.0	percent
Comment:	CBR value taken at 0.2 inch penetration		
Bearing Ratio of Sample,	CBR =	4	percent
	Surcharge	30	lb



Project	<u>300 West</u>	Sample Location	<u>TP-8 @ 2-3'</u>	AGEC Sample ID No.	<u>C-082718</u>
Sample Classification	<u>(CL) sandy lean clay</u>				
Method of sample preparation:	<u>Remolded to approximately 90% of the maximum dry density at the optimum moisture content +2% as per ASTM D-1557</u>				
Sample penetration after soaking for	<u>96</u>	hours			
Dry Density:	as molded	<u>104.5</u>	pcf	Moisture Content:	as molded
	after soaking	<u>104.1</u>	pcf		top 1-inch after soaking
Swell:	after soaking	<u>1.5</u>	percent		average after soaking
Comment:	<u>CBR value taken at 0.2 inch penetration</u>				
Bearing Ratio of Sample,	CBR =	<u>5</u>	percent	Surcharge	<u>30</u> lb



Project	<u>300 West</u>	Sample Location	<u>TP-10 @ 2-3'</u>
Sample Classification	<u>(SM) Silty sand</u>	AGEC Sample ID No.	<u>D-082718</u>
Method of sample preparation:	<u>Remolded to approximately 95% of the maximum dry density at the optimum moisture content as per ASTM D-1557</u>		
Sample penetration after soaking for	<u>96</u>	hours	
Dry Density:	as molded	<u>122.2</u>	pcf
	after soaking	<u>123.0</u>	pcf
Moisture Content:	as molded	<u>7.4</u>	percent
	top 1-inch after soaking	<u>10.3</u>	percent
Swell:	after soaking	<u>0.2</u>	percent
	average after soaking	<u>10.5</u>	percent
Comment:	<u>CBR value taken at 0.2 inch penetration</u>		
Bearing Ratio of Sample,	CBR =	33	percent
	Surcharge	10	lb



Project	300 West	Sample Location	TP-11 @ 0-1'
Sample Classification	Silty sand w/gravel - Basalt	AGEC Sample ID No.	E-082718
Method of sample preparation:	Remolded to approximately 95% of the maximum dry density at the optimum moisture content as per ASTM D-1557		
Sample penetration after soaking for	96	hours	
Dry Density:	as molded	127.1	pcf
	after soaking	122.6	pcf
Swell:	after soaking	1.6	percent
Moisture Content:	as molded	5.1	percent
	top 1-inch after soaking	18.8	percent
	average after soaking	16.7	percent
Comment:	CBR value taken at 0.2 inch penetration		
Bearing Ratio of Sample,	CBR =	13	percent
	Surcharge	30	lb

Applied Geotechnical Engineering Consultants, Inc.

Table 1 - Summary of Laboratory Test Results

Tech Ridge South Access Road

Project No. 2180295

Sample Location		Natural Moisture Content (%)	Natural Dry Density (pcf)	Gradation			Atterberg Limits		Moisture-Density Relationship		California Bearing Ratio (%)	Soil Type
Test Pit No.	Depth (ft)			Gravel (%)	Sand (%)	Silt/Clay (%)	Liquid Limit (%)	Plastic Index (%)	Maximum Dry Density (pcf)	Optimum Moisture Content (%)		
TP-1	4	7	124			63	31	19				Sandy Lean Clay (CL)
TP-1	6	7	123			62	27	14				Sandy Lean Clay (CL)
TP-1	13	15	96			84	44	29				Mudstone
TP-2	2	7				71	35	19				Mudstone
TP-2	2-3			0	15	85	45	24	115.0	12.5	6	Mudstone
TP-2	6	8	118			90	52	30				Mudstone
TP-3	2-3			0	27	73	36	24	123.5	10.0	4	Lean Clay with Sand (CL)
TP-3	6	11	117			69	47	35				Sandy Lean Clay (CL)
TP-4	2	11										Silty Gravel with Sand (GM)
TP-4	4	8	108			36						Silty Sand (SM)
TP-4	6	17	101			81						Silt with Sand (ML)
TP-5	2	9	93				39	27				Lean Clay (CL)
TP-5	4	16	94			96	48	33				Lean Clay (CL)
TP-5	6	14				92	36	22				Lean Clay (CL)
TP-6	4	7	110			83	29	18				Lean Clay with Sand (CL)

Applied Geotechnical Engineering Consultants, Inc.

Table 1 - Summary of Laboratory Test Results

Tech Ridge South Access Road

Project No. 2180295

Sample Location		Natural Moisture Content (%)	Natural Dry Density (pcf)	Gradation			Atterberg Limits		Moisture-Density Relationship		California Bearing Ratio (%)	Soil Type
Test Pit No.	Depth (ft)			Gravel (%)	Sand (%)	Silt/Clay (%)	Liquid Limit (%)	Plastic Index (%)	Maximum Dry Density (pcf)	Optimum Moisture Content (%)		
TP-6	6	6	112			94		NP				Silt (ML)
TP-7	3½					81	37	21				Lean Clay with Sand (CL)
TP-8	2	9		3	26	71	41	25				Lean Clay with Sand (CL)
TP-8	2-3			12	22	66	37	20	116.5	12.5	5	Sandy Lean Clay (ML)
TP-8	4	5				77	30	20				Lean Clay with Sand (CL)
TP-10	2	3	88			48						Silty Sand (SM)
TP-10	2-3			2	63	35		NP	126.0	7.5	33	Silty Sand (SM)
TP-10	4	1				6						Well Graded Sand with Silt (SW-SM)
TP-10	9½	10				59	59	37				Mudstone
TP-10	14½					99	52	39				Mudstone
TP-11	0-1			68	16	16		NP	134.5	5.5	13	Silty Gravel with Sand (GM)
TP-15	4					96	77	35				Shale Bedrock
TP-16	10½	5	110			71						Mudstone



September 8, 2023

St. George City Public Works, Engineering Division
175 East 200 North
S. George, Utah 84770

Attention: Wes Jenkins
email: wes.jenkins@sgcity.org

Subject: Geotechnical Report Update Consultation
Tech Ridge Southeast Access Roadway
St. George, Utah
Project Nos. 22230249

REFERENCES

1. "Geotechnical Investigation, Tech Ridge South Access Road", prepared by AGECE under Project No. 2180295, dated October 19, 2018.
2. "Preliminary Construction Plans - Southeast Access Road, Sheets C1.1, C1.2, C1.3, C2.9, and C2.10", prepared by Alliance Consulting under Project No. 4568-21, dated June 30, 2023.

AGEC was requested to provide an update to the referenced report above (Reference No. 1) and respond to items from the St. George City plan review. AGECE has reviewed the referenced report and concludes that the recommendations provided (Reference No. 1) still apply and should be used for design and construction. Additionally, we were informed that a change to include water bearing utilities such as waterline and storm drains has been added to the roadway construction.

Due to the existence of landslide deposits across the eastern slope (which the proposed roadway alignment traverses) and our analysis which indicates the eastern slope contains marginal stability, AGECE provided the following as mitigation for the landslide area:

Mitigation

If the decision is made to continue with construction of the roadway on the landslides, we recommend the following items be seriously considered:

1. *Introduction of moisture into the subgrade should be minimized if not eliminated. This could be accomplished by:*

- a. *Collecting and transporting surface drainage off the slope in watertight catch basins and piping. This is not standard storm drainage procedures therefore, this would require specific attention to verify that the improvements are watertight.*
 - b. *Water ways should be lined to prevent seepage into the ground.*
 - c. *Measures need to be taken to eliminate the potential for water to pond on the slope.*
 - d. *No water bearing utilities should be installed within the landslide area.*
2. *Cut and fill slopes need to be minimized. Overall impact of potential grade changes should be evaluated and the consequence of the change found to be acceptable before proceeding.*
 3. *Water entering the ground in all areas above the slope (within the Tech Ridge area) should be reduced and ideally eliminated. Some, if not all, of the methods described above should be considered within the Tech Ridge area.*

Due to the marginal stability of the landslide deposits, the long-term stability of the site largely depends on keeping the natural hillside topography and subsurface moisture conditions unchanged. The inclusion of water bearing utilities will likely increase the risk that future landslide movement could occur because of water infiltrating the subsurface soils and bedrock leading to weakened subsurface conditions.

St. George City should understand the risk associated with this project and plan accordingly. Frequent maintenance and inspection of the roadway drainage during and after heavy precipitation could be conducted to check for potential water ponding or infiltration issues so that repairs can be made to provide proper drainage.

Additionally, inspections of the storm drainpipes and basins could be done to check for leaks so that repairs can be made quickly to seal the leaks. Thorough inspections and testing should be provided during construction to check for any leaks prior to backfilling water bearing utilities.

Special attention to the backfill material and process should be conducted around the pipes to reduce potential damage to the pipes. We understand that fused HDPE pipe is planned to be used, which may experience lengthening/shortening under temperature fluctuations. Design and construction of the water and storm drain systems should consider the effects lengthening/shortening may have on the system to remain watertight. Unfortunately, waterline leaks on buried pipes are difficult to observe until a major failure occurs. Our experience indicates small leaks in underground water-bearing utilities will likely go unnoticed for a period, while the trenches transport water through them as a conduit. Consideration should be given to evaluating the cost of running the water bearing utilities along an alternate route outside the landslide vs. the future cost of repairs should landslide movement be triggered.

If you have any questions, or if we can be of further service, please call.

Sincerely,

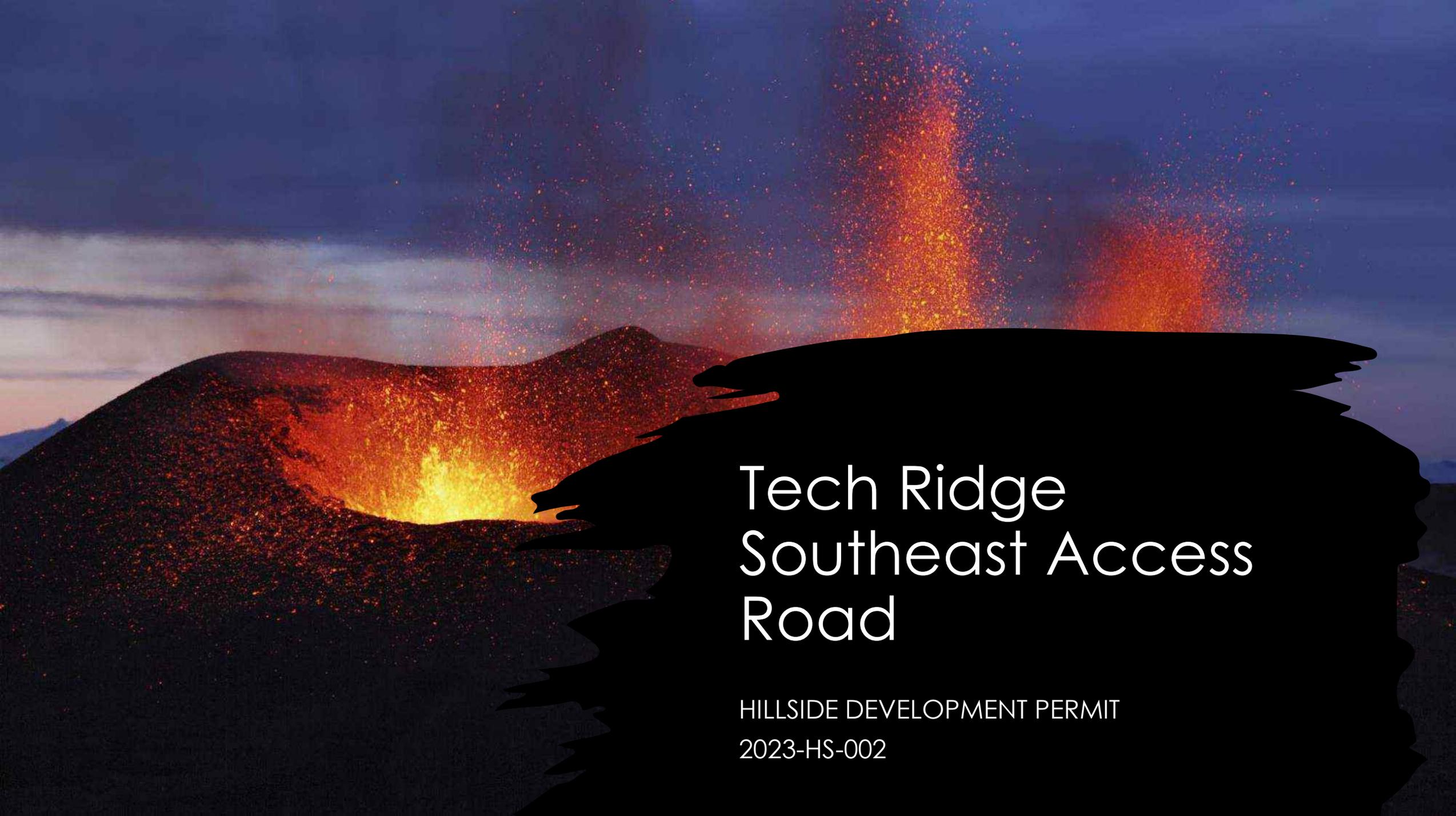
APPLIED GEOTECHNICAL ENGINEERING CONSULTANTS, INC.

Jake Erickson, P.E.



Reviewed by: G. Wayne Rogers, P.E.

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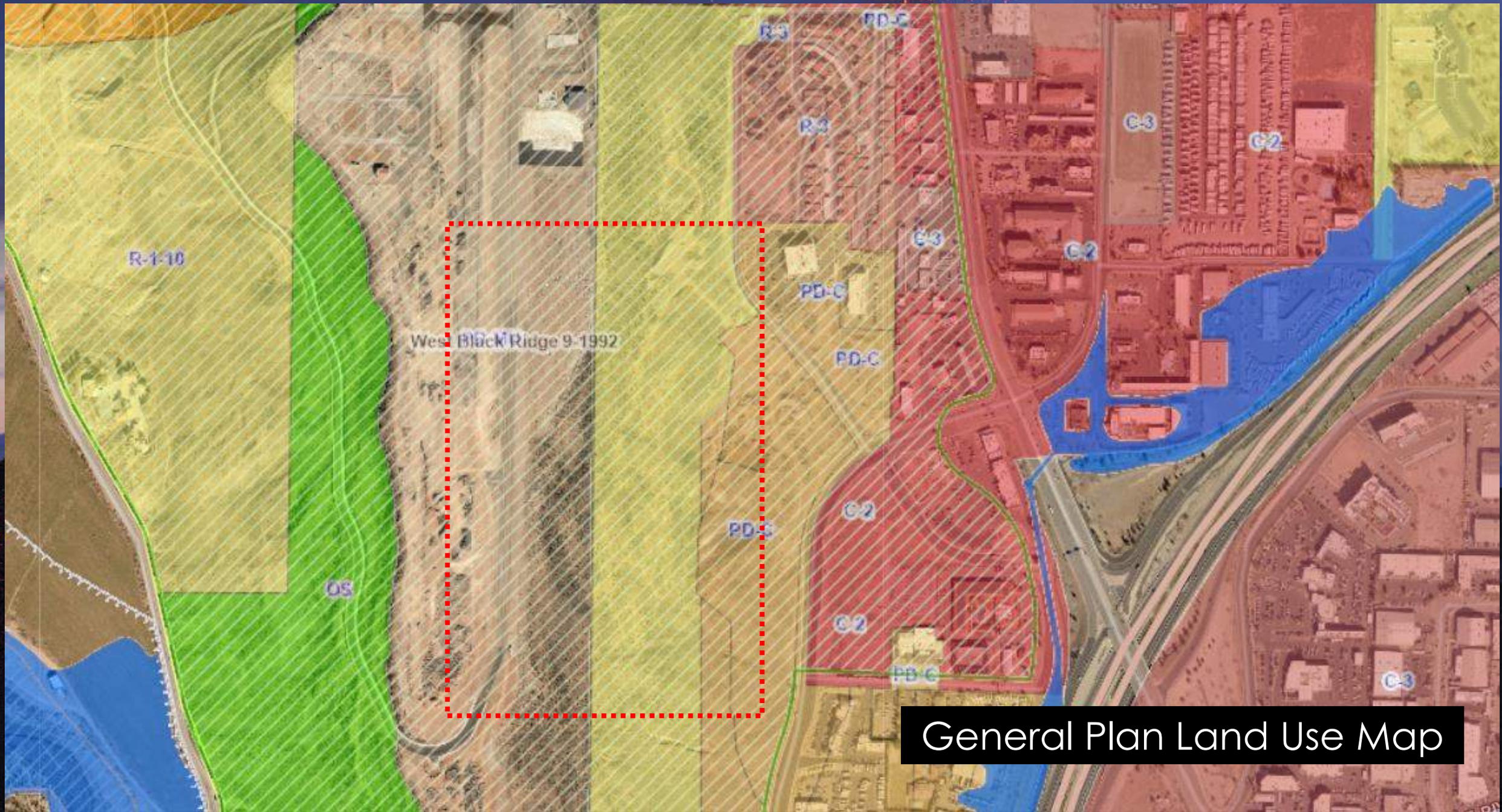


Tech Ridge Southeast Access Road

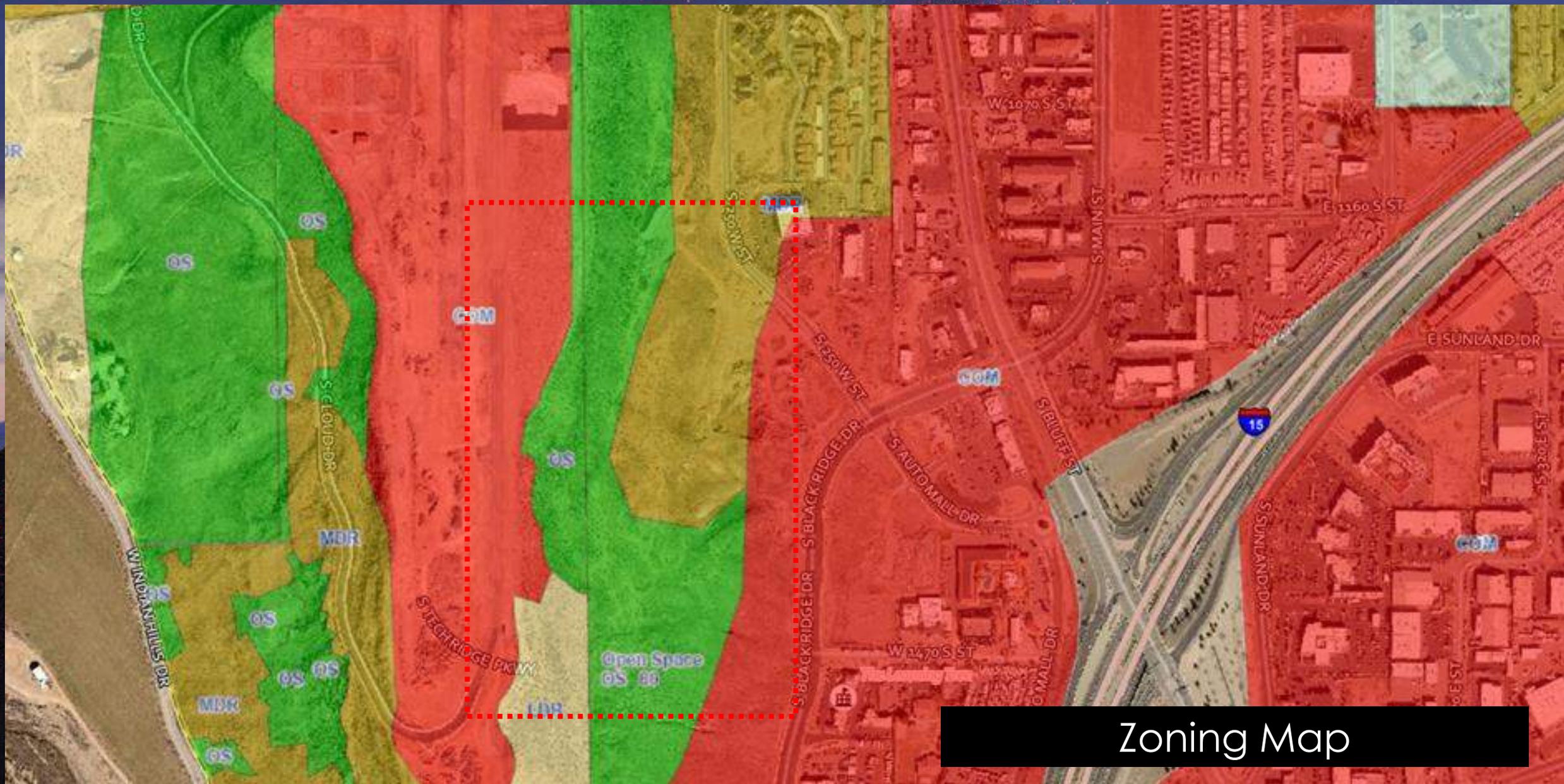
HILLSIDE DEVELOPMENT PERMIT

2023-HS-002

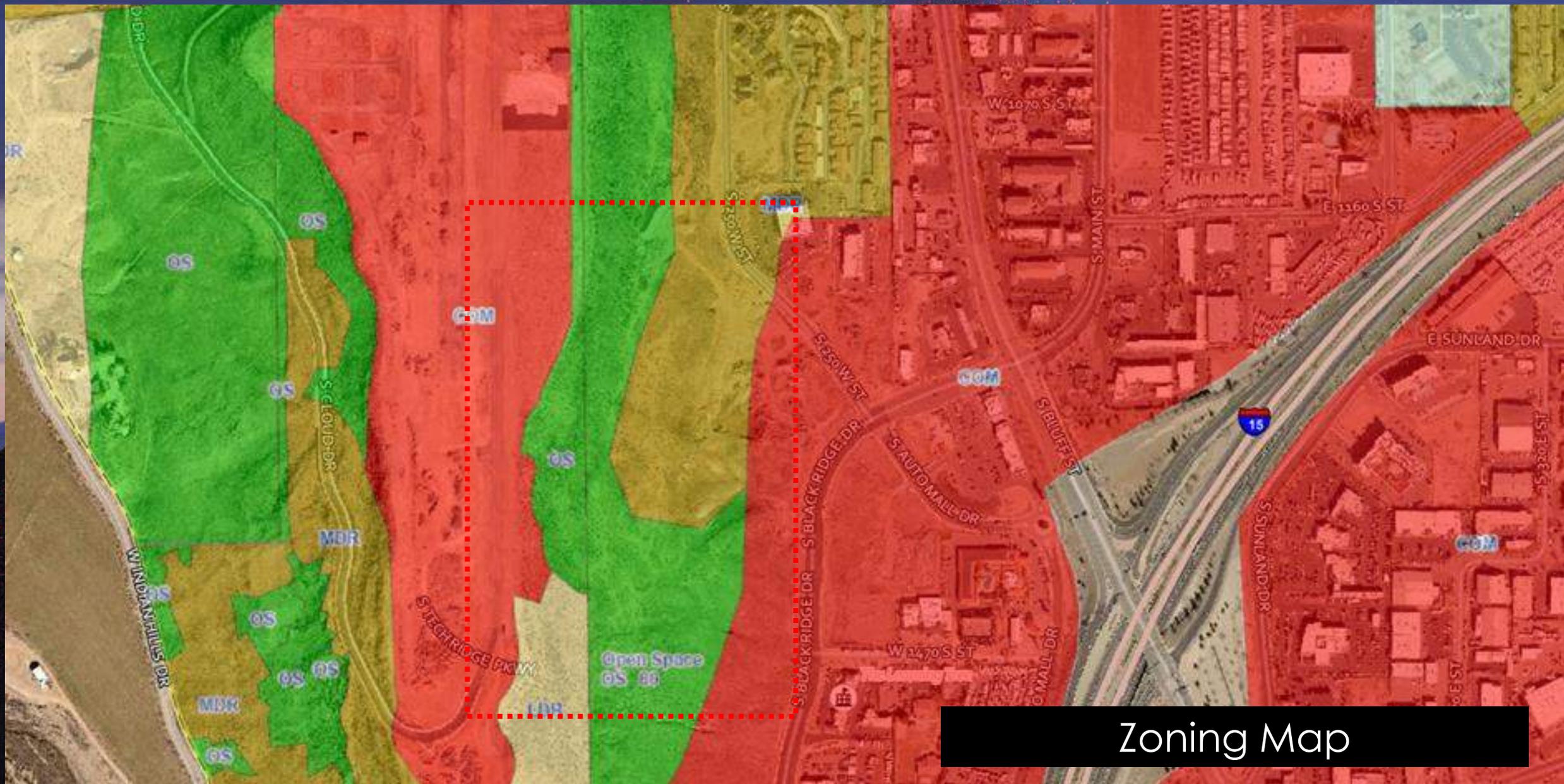




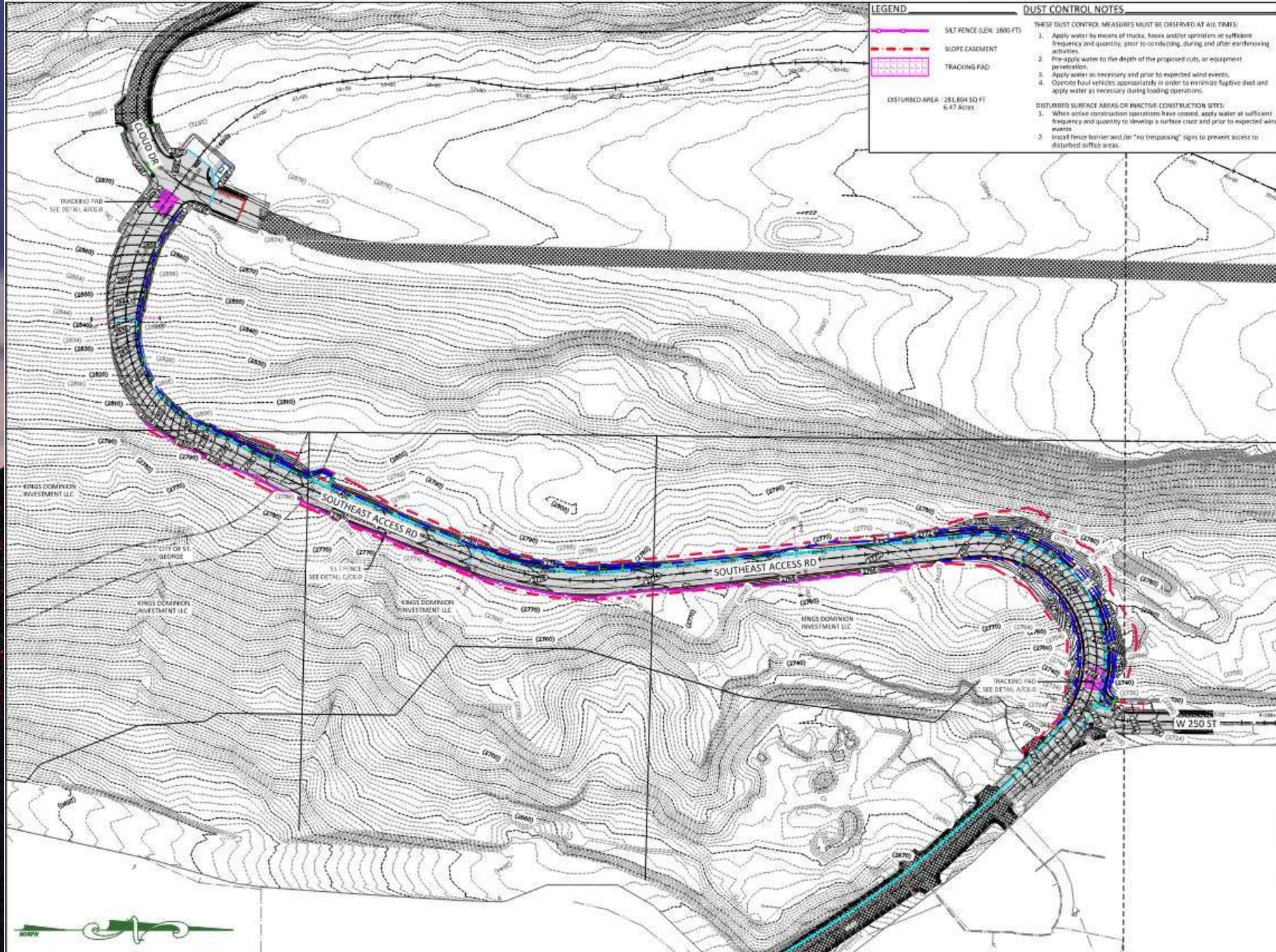
General Plan Land Use Map



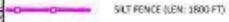
Zoning Map



Zoning Map



LEGEND

-  SALT FENCE (LEN: 1800 FT)
 -  SLOPE EASEMENT
 -  TRACKING PAD
- DISTURBED AREA - 261,804 SQ FT
6.47 ACRES

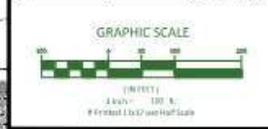
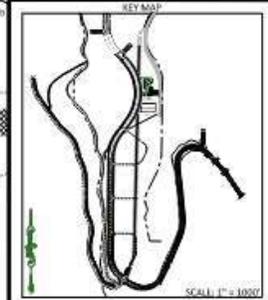
DUST CONTROL NOTES

- THESE DUST CONTROL MEASURES MUST BE OBSERVED AT ALL TIMES:
1. Apply water by means of trucks, hoses and/or sprinklers at sufficient frequency and quantity, after to conducting, during and after earthmoving activities.
 2. Pre-apply water to the depth of the proposed cuts, or equipment penetration.
 3. Apply water as necessary and prior to expected wind events.
 4. Operate haul vehicles appropriately in order to minimize fugitive dust and apply water as necessary during loading operations.
- DISTURBED SURFACE AREAS OR INACTIVE CONSTRUCTION SITES:
1. When active construction operations have ceased, apply water at sufficient frequency and quantity to develop a surface crust and prior to expected wind events.
 2. Install fence barrier and/or "no trespassing" signs to prevent access to disturbed surface areas.

Date: 10-19-2023

REVISIONS			
No.	Date	by	Description

File Name: East Access OPT 2.dwg




ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2305 N. CORRAL CANYON BLVD SUITE 201, WASHINGTON, UT 84780, 435-673-8040
NORTH DAKOTA: 627 25th STREET W, WAXLOTION, ND 58002, 701-572-8100

DUST AND SWPPP/ EROSION CONTROL PLAN

FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 13 WEST SUBRM
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

NOT FOR CONSTRUCTION REVIEW ONLY

Drawn By: AZ	Scale: 1"=100'
Client No. 4568-21	Project No. 4568-21
Drawing Sheet	C1.3
Sheet 4 of 03	Sheets



S CLOUD DR

S TEGH RIDGE PKWY

S 250 W ST

S BLUFF ST

S MAIN

S BLACK RIDGE DR

S AUTO MALL DR

S SUNLAND DR

WINDMILL RD

15

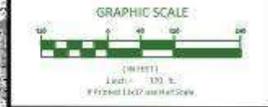
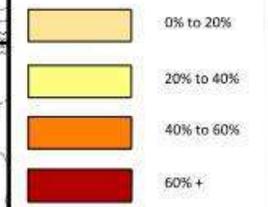
Date: 12-30-2022

REVISIONS

No.	Date	by	Description
		ARL	

File Name: East Access Hillside Application.dwg

SLOPE ANALYSIS LEGEND



ALLIANCE CONSULTING
A PLANNING AND ENGINEERING FIRM

UTAH: 2303 N CORRAL CANYON BLVD, SUITE 200, WASHINGTON, UT 84780, 435-673-0950
NORTH DAKOTA: 621 26th STREET W, WALLSTON, ND 58083, 703-572-8100

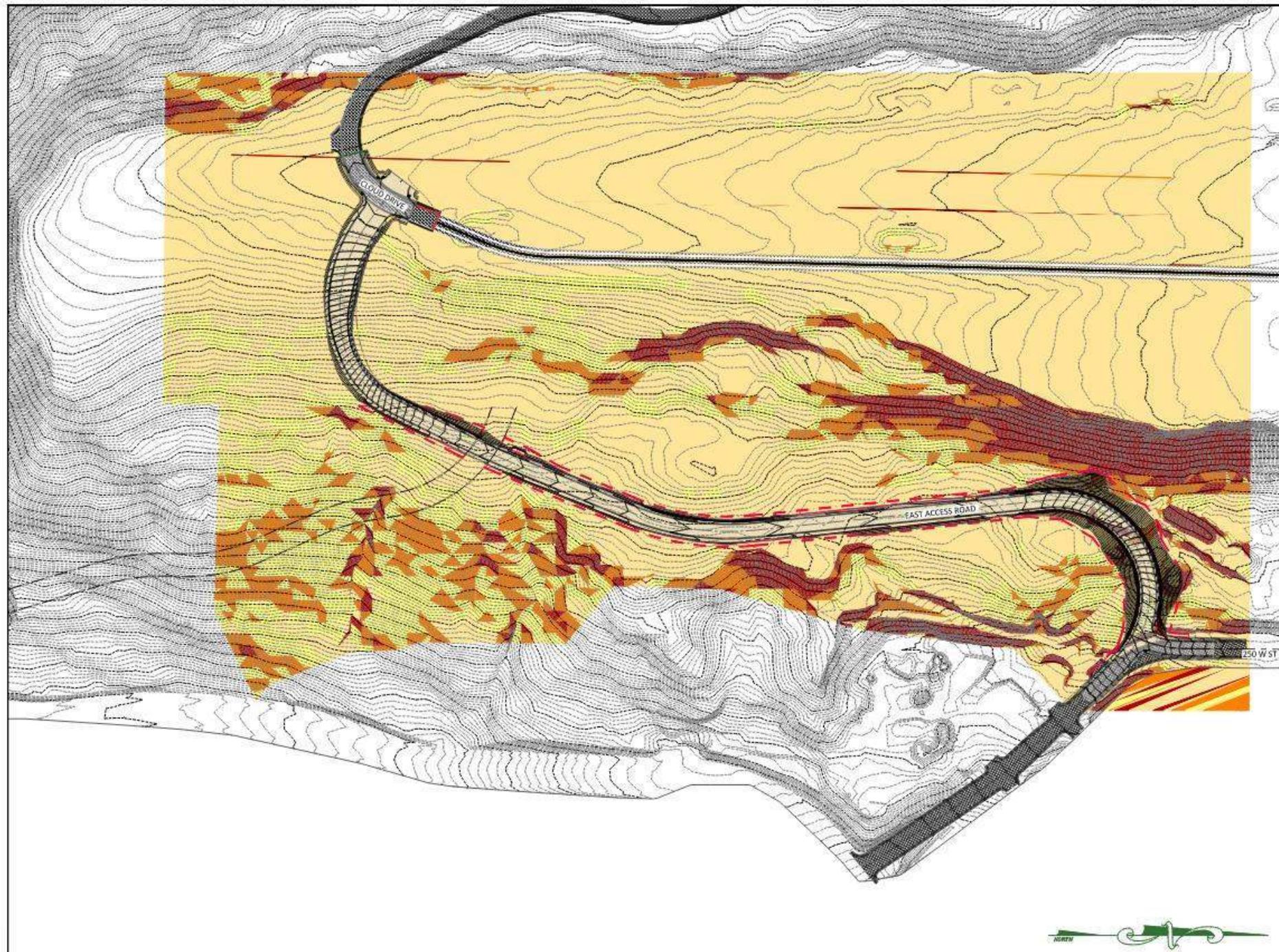
**TECH RIDGE
EAST ACCESS ROAD
HILLSIDE SLOPE ANALYSIS**

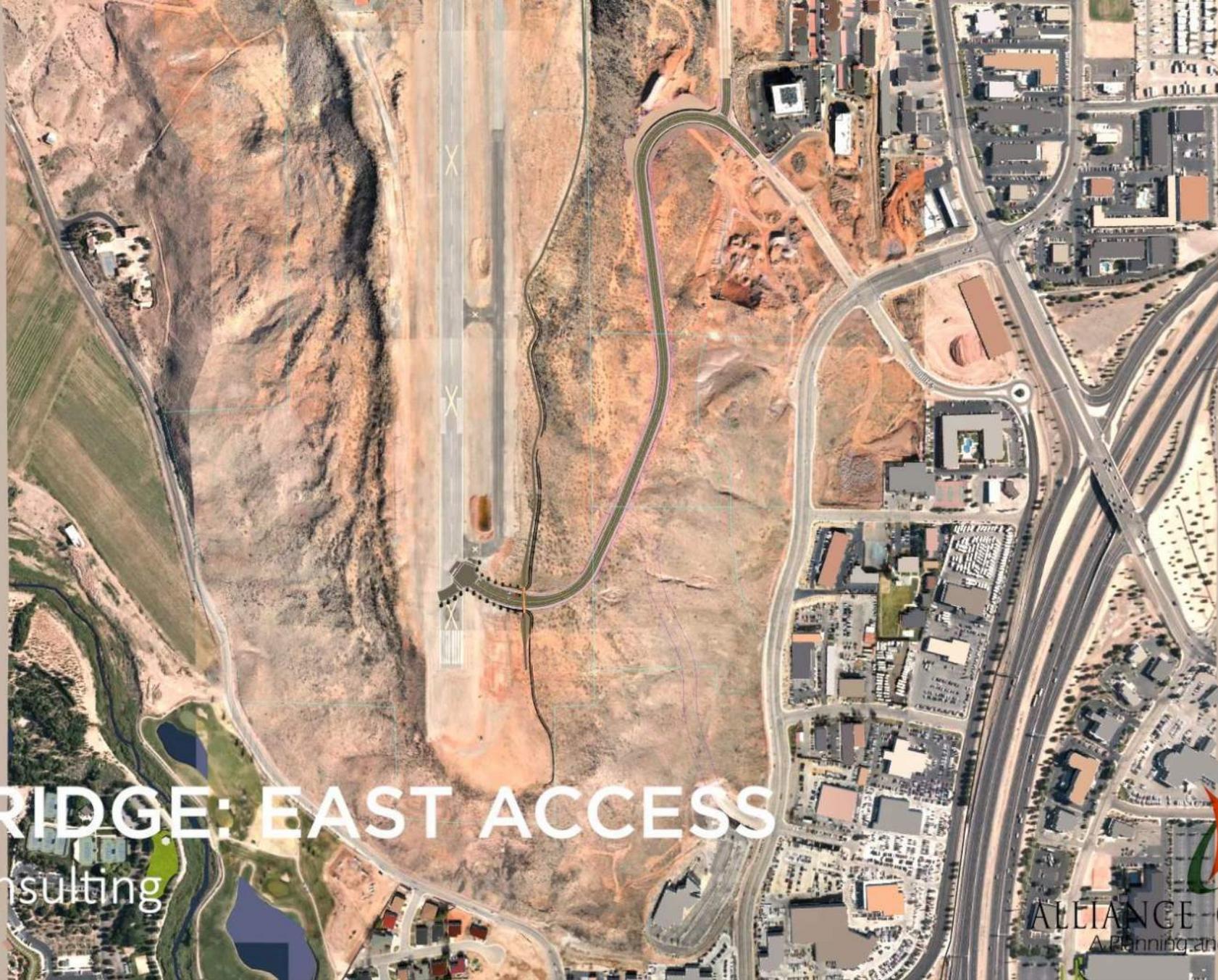
FOR
CITY OF ST. GEORGE
LOCATED IN SEC 36
T 42 SOUTH, R 16 WEST SUBRM
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn By:	ARL	Scale:	1"=120'
Client No.:	4568	Project No.:	AS24

Drawing Sheet: C1.2





TECH RIDGE: EAST ACCESS

Alliance Consulting



ALLIANCE CONSULTING
A Planning and Engineering Firm



Recommendation

The Hillside Committee recommended approval of the Tech Ridge Southeast Access Road Hillside Development Permit with the following condition:

That they address and meet the recommendations in the project Geotechnical Report as stated in the letter dated September 8, 2023, starting at the bottom of page 1 and continuing onto page 2.

Agenda Date: 12/07/2023

Agenda Item Number: 10

Subject:

Consider approval of the preliminary plat for Tech Ridge Area 1.6 Subdivision, a 15-lot and 6 parcel commercial preliminary plat on approximately 17.78 located at approximately 650 South Tech Ridge Parkway. Case No. 2023-PP-040

Item at-a-glance:

Staff Contact: Carol Winner

Applicant Name: Tech Ridge, LLC

Reference Number: 2023-PP-040

Address/Location:

Located at approximately 650 South Tech Ridge Parkway

Item History (background/project status/public process):

This parcel of land is located on Tech Ridge Parkway within the Tech Ridge project. This preliminary plat will create 15 new lots ready for commercial development. In addition, this preliminary plat will create 6 parcels. Three of the parcels will be used for shared parking for the commercial development. Two of the parcels will be dedicated to open space and trail use. The ridgeline trail will be built at this location on the western ridgeline. At their meeting held on October 24, 2023, the Planning Commission held a public meeting and recommended approval.

Staff Narrative (need/purpose):

This preliminary plat will create 15 new lots ready for commercial development. In addition, this preliminary plat will create 6 parcels. Three of the parcels will be used for shared parking for the commercial development. Two of the parcels will be dedicated to open space and trail use. The ridgeline trail will be built at this location on the western ridgeline.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

With a 6-0 vote, the Planning Commission recommended approval of this preliminary plat.

PLANNING COMMISSION AGENDA REPORT: 10/24/2023
 CITY COUNCIL AGENDA REPORT: 12/07/2023

Tech Ridge Area 1.6 Subdivision Preliminary Plat (Case No. 2023-PP-040)	
Request:	The applicant is requesting approval of a 15-lot and 6 parcel commercial preliminary plat to be called Tech Ridge Area 1.6 Subdivision
Applicant:	Tech Ridge, LLC
Representative:	Michael Bradshaw
Location:	Located at approximately 650 S. Tech Ridge Parkway
General Plan:	Traditional Neighborhood
Existing Zoning:	PD-MU (Planned Development Mixed Use)
Land Area:	Approximately 17.78 acres



BACKGROUND:

This parcel of land is located on Tech Ridge Parkway within the Tech Ridge project. This preliminary plat will create 15 new lots ready for commercial development. In addition, this preliminary plat will create 6 parcels. Three of the parcels will be used for shared parking for the commercial development. Two of the parcels will be dedicated to open space and trail use. The ridgeline trail will be built at this location on the western ridgeline.

RECOMMENDATION:

With a 6-0 vote, the Planning Commission recommended approval of this preliminary plat.

ALTERNATIVES:

1. Approve as presented.
2. Approve with conditions.
3. Deny this request.
4. Table or Continue the proposed preliminary plat to a specific date.

POSSIBLE MOTION:

I move we approve the Tech Ridge Area 1.6 Subdivision Preliminary Plat.

FINDINGS FOR APPROVAL:

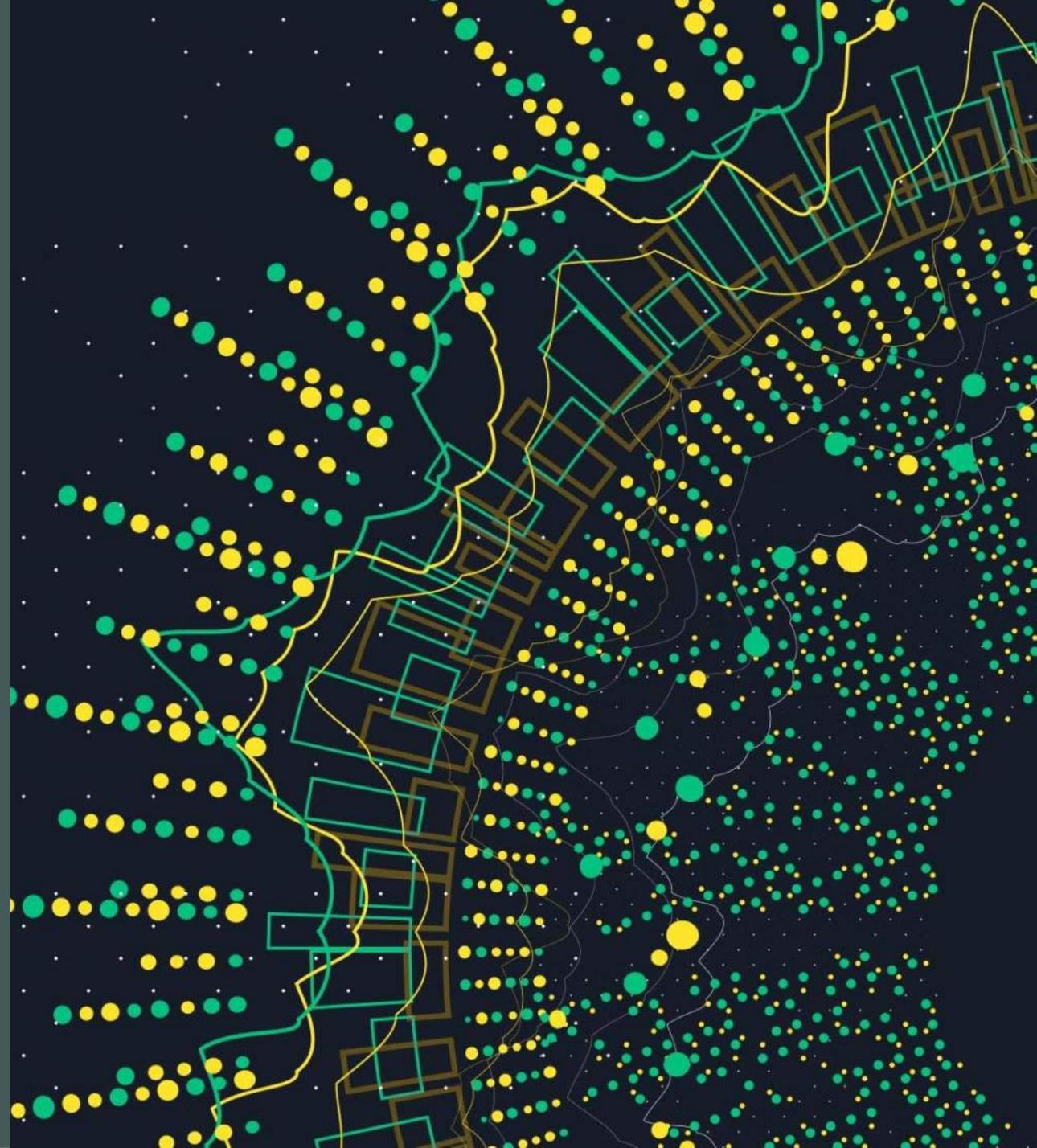
1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size requirements found in Section 10-8B-2.

EXHIBIT B
PowerPoint Presentation

Tech Ridge Area 1.6 Subdivision

Preliminary Plat

2023-PP-40



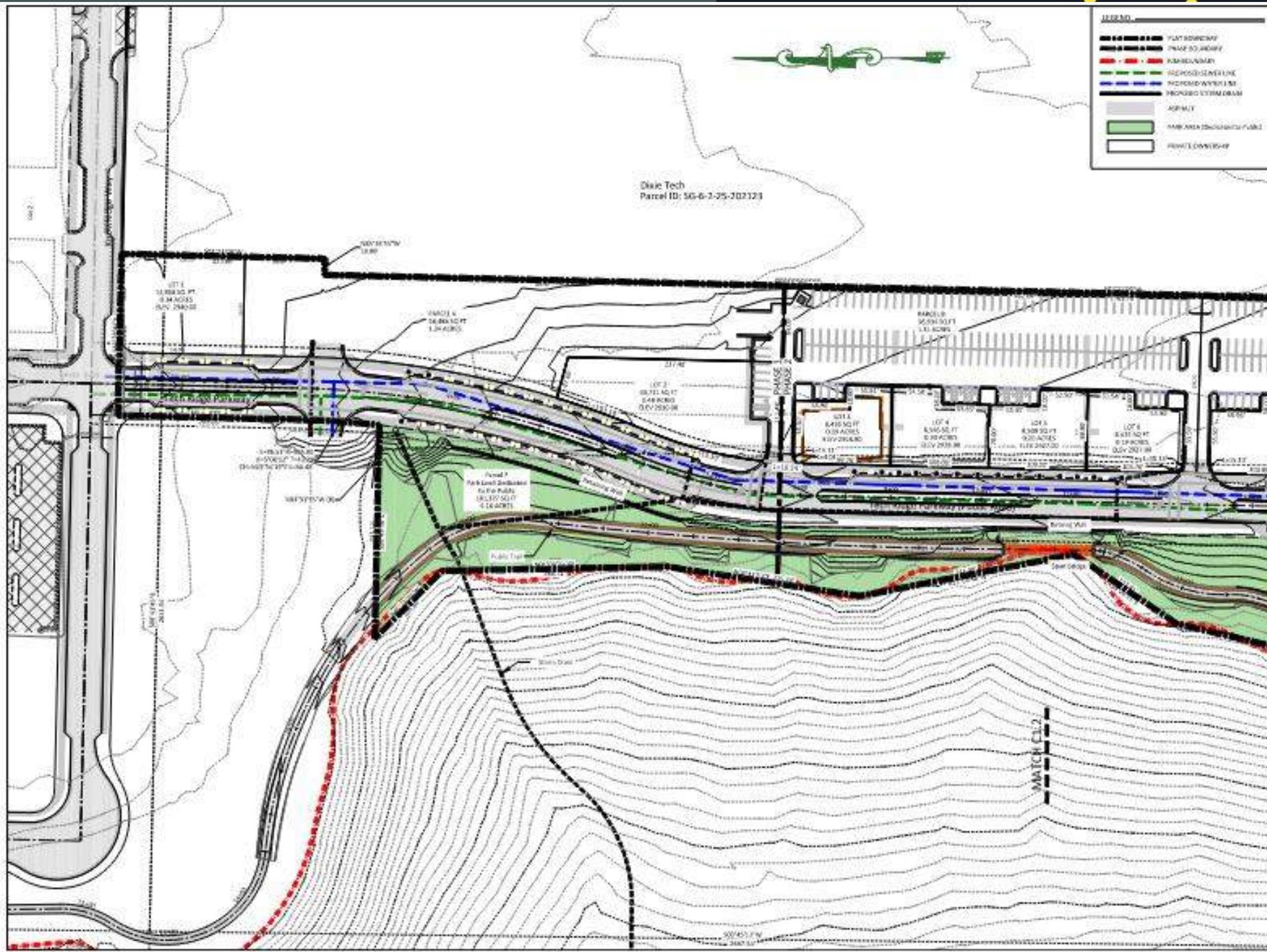


E RIVERSIDE DR

S DIXIE DR





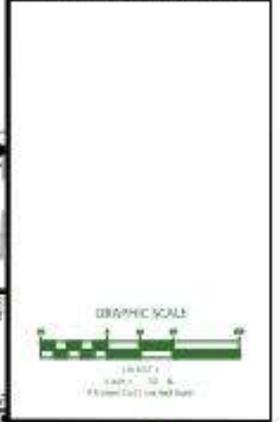


Dixie Tech
Parcel ID: SG-6-7-25-202123

LINE NO.	DESCRIPTION
---	PLAT BOUNDARY
---	PHASE BOUNDARY
---	WATER MAIN
---	SEWER MAIN
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN
---	ASPHALT
---	PARK AREA (DISCONTINUED PLAT)
---	PRIVATE OWNERSHIP

REVISED			
No.	Date	By	Description

File Name:
TechRidgePlanArea1.6PreliminaryPlat.dwg




ALLIANCE CONSULTING
A PLANNING CONSULTING AND ENGINEERING FIRM

2102 WOODBRIDGE BLVD
SUITE 200
WASHINGTON, UT 84798
801.779.4300

SOUTH UTAH
417 WEST STREET, 4TH FLOOR
SALT LAKE CITY, UT 84101
313.470.0100

**Tech Ridge Plan Area 1.6
Subdivision Preliminary Plat**

FOR
CITY OF ST. GEORGE
LOCATED IN REC. PL. 6.2N
1.17 NORTH, RANGE 24 WEST, 36 EAST
CITY OF ST. GEORGE, WASHINGTON COUNTY, UT

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

DATE PLOTTED:	DATE:	SCALE:
4/28/21	4/28/21	1"=40'
DRAWING SHEET:	C1.1	



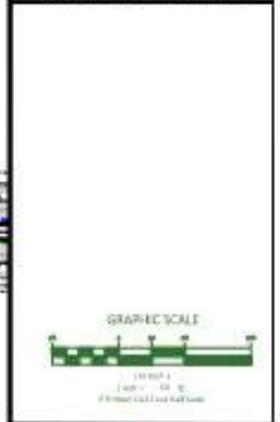
LEGEND

- PLAT BOUNDARY
- PAKC BOUNDARY
- ROW BOUNDARY
- PROPOSED WATER LINE
- PROPOSED STORM DRAIN
- ASPHALT
- PARK AREA (Dedicated to Public)
- PUBLIC CONSTRUCTION

DATE: 10-25-2023

REVISIONS			
No.	Date	By	Description

File Name: TechRidgePlanArea1.6\Drawings\Plot.dwg



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1001
2020 HOODS LARKSON BLVD
SUITE 201
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WASHINGTON, DC 20015
202-678-9100

**Tech Ridge Plan Area 1.6
Subdivision Preliminary Plat**

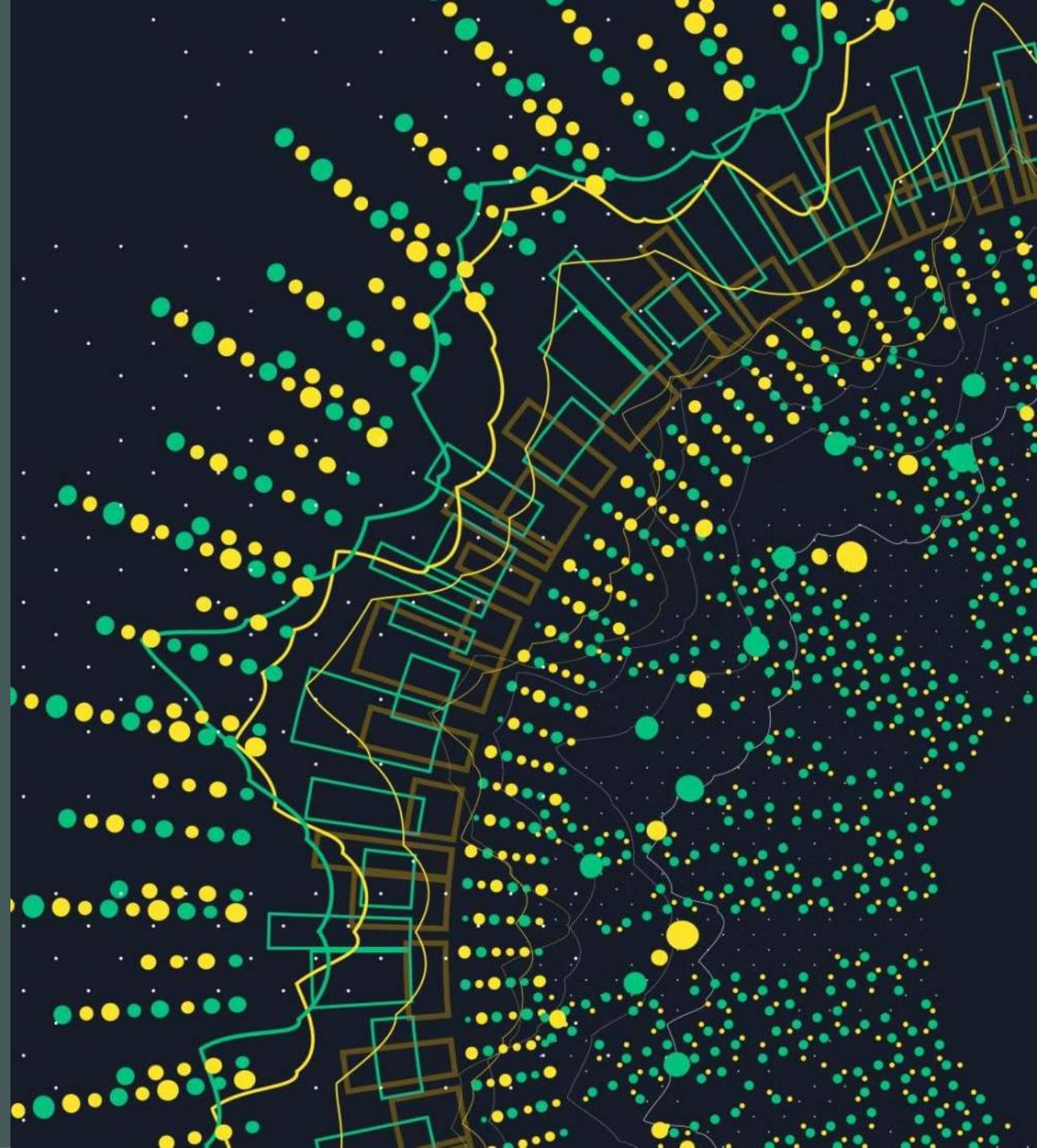
FOR
CITY OF ST. GEORGE
LOCATED IN REC. 24 & 26
T. 17 NORTH, R. 10 WEST, S. 8 EAST
CITY OF ST. GEORGE, WASHINGTON COUNTY, FL

**NOT FOR
CONSTRUCTION
REVIEW ONLY**

Drawn by: JAB	Scale: 1"=40'
Client No: 4488-17	Project No: 4488-17
Drawing Sheet: C1.2	
Sheet 1 of 1 Sheets	

Tech Ridge Area 1.6 Subdivision

Reccomendation





Agenda Date: 12/07/2023

Agenda Item Number: 11

Subject:

Consider approval of the preliminary plat for the Desert Color Pickleball Courts subdivision, a single lot, 1.49-acre subdivision located generally to the south of the Desert Color clubhouse between Lagoon Parkway and Akoya Pearl Road. Case No. 2023-PP-036

Item at-a-glance:

Staff Contact: Dan Boles

Applicant Name: Ryan Lay (Bush and Gudgell)

Reference Number: 2023-PP-036

Address/Location:

Located to the south of the Desert Color clubhouse between Lagoon Parkway and Akoya Pearl Rd

Item History (background/project status/public process):

In May of 2022, the City Council approved a PD amendment on the subject property. This amendment was to allow pickleball bocce ball courts as well as a grassy area for Desert Color residents and their guests. At their meeting held on November 14, 2023. the Planning Commission recommended approval of the plat with a 6-0 vote and no conditions.

Staff Narrative (need/purpose):

This proposed plat would create a single lot for the aforementioned amenities. The lot will be 1.49 acres in size.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

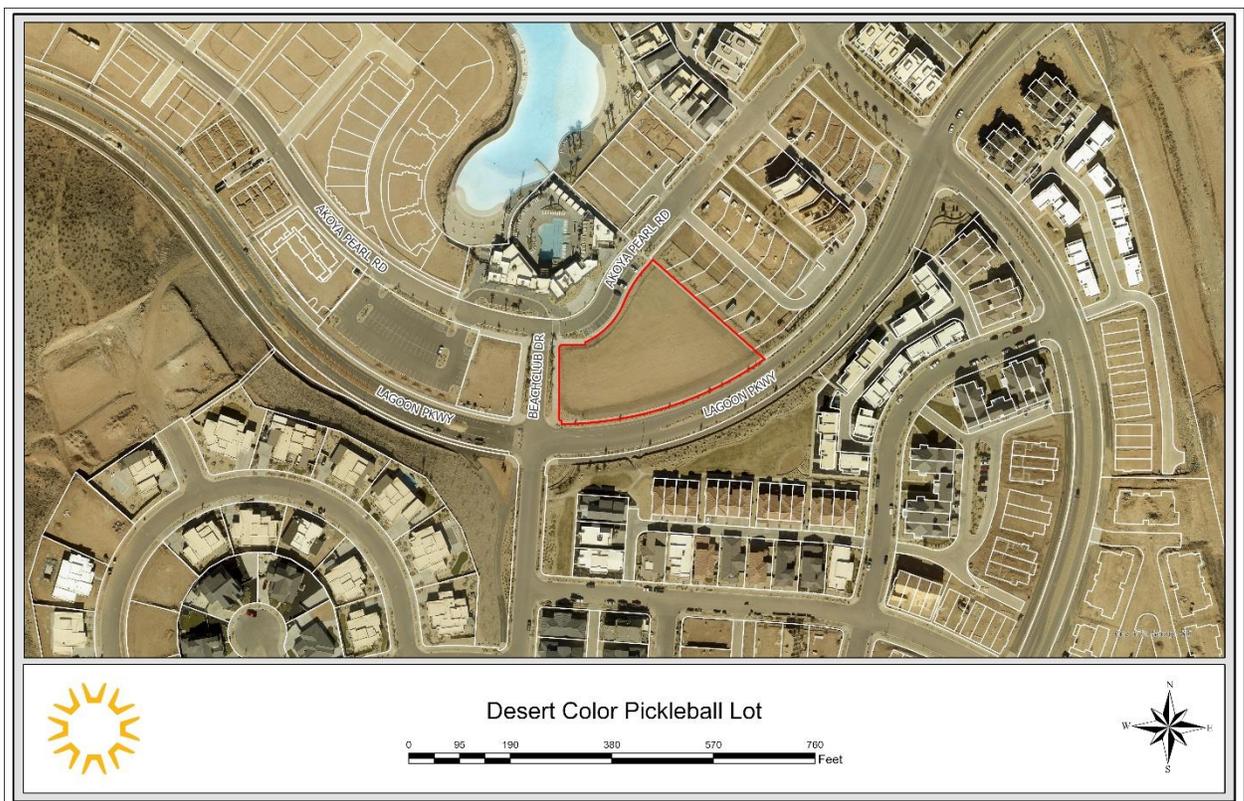
Recommendation (Include any conditions):

Planning Commission recommends approval of the preliminary plat with a 6-0 vote and no conditions.

PLANNING COMMISSION AGENDA REPORT: 11/14/2023
CITY COUNCIL AGENDA REPORT: 12/07/2023

Preliminary Plat
Desert Color Pickleball Courts Preliminary Plat
Case No. 2023-PP-036

- Request:** The applicant is requesting approval of a preliminary plat to create a single lot for the previously approved pickleball courts adjacent to the Desert Color clubhouse.
- Representative:** Ryan Lay (Bush and Gudgell)
- Location:** The property is located to the south of the Desert Color clubhouse between Lagoon Parkway and Akoya Pearl Rd.
- Total Acreage:** Approximately 1.49 acres
- Existing Zoning:** Planned Development Residential (PD-R)
- General Plan:** RES (Residential) & TC (Town Center)



Background & Analysis: In May of 2022, the City Council approved a PD amendment on the subject property. This amendment was to allow pickleball courts and bocce ball courts as well as a grassy area for Desert Color residents and their guests. This proposed plat would create a single lot for the aforementioned amenities. The lot will be 1.49 acres in size.

Recommendation: Planning Commission held a public meeting and recommends approval of this preliminary plat 6-0.

Alternatives:

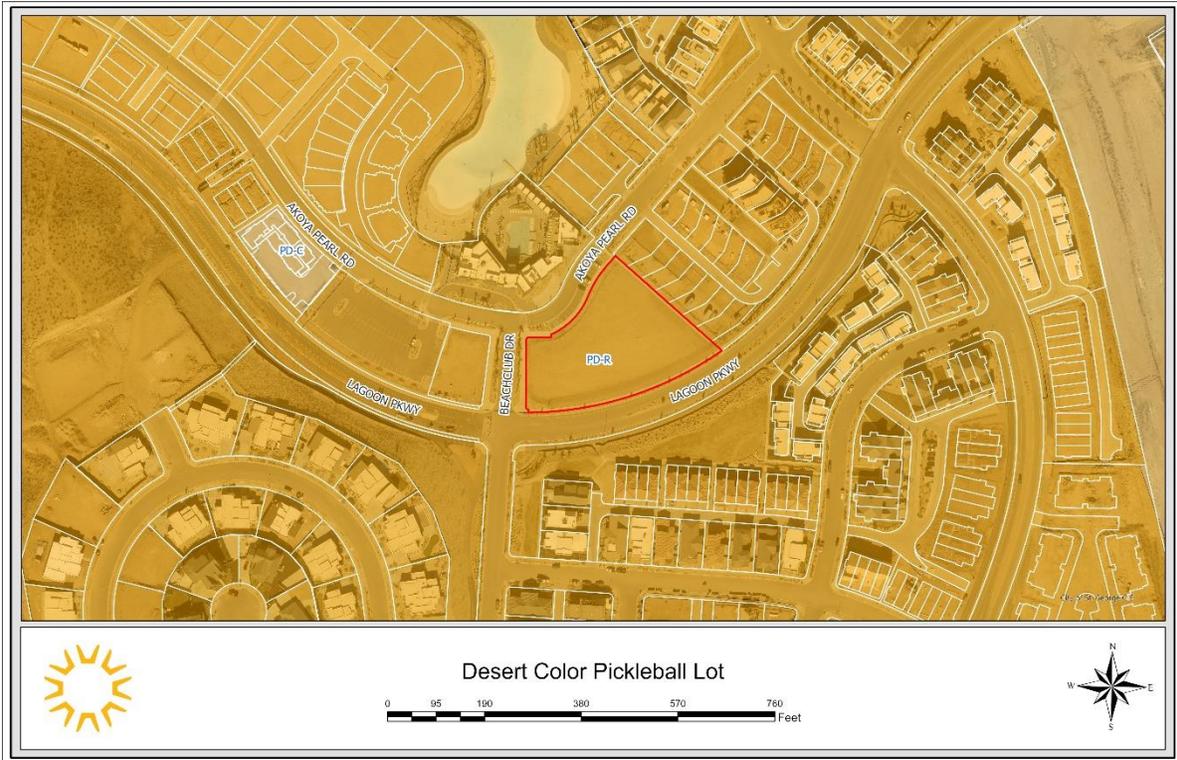
1. Approve as presented.
2. Deny the application.
3. Continue the proposed preliminary plat to a future date.

Sample Motion: “I move that we approve the Desert Color Pickleball Courts Preliminary Plat request, application number 2023-PP-036, based on the findings noted in the staff report.”

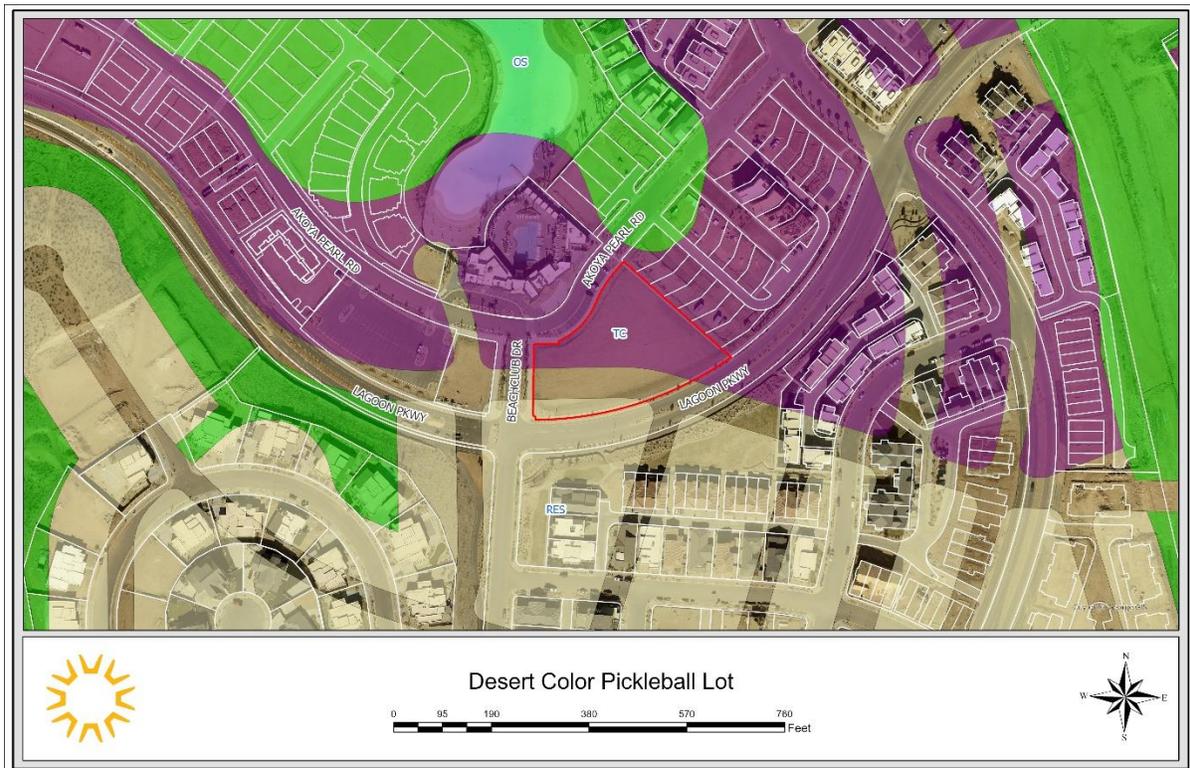
Possible Findings:

1. That the plat is consistent with and compliant to the zoning on the property.
2. That the plat will not leave any remnant property unaccounted for.
3. That development in the plat is consistent with the PD amendment previously approved.

Zoning Map



General Plan Map



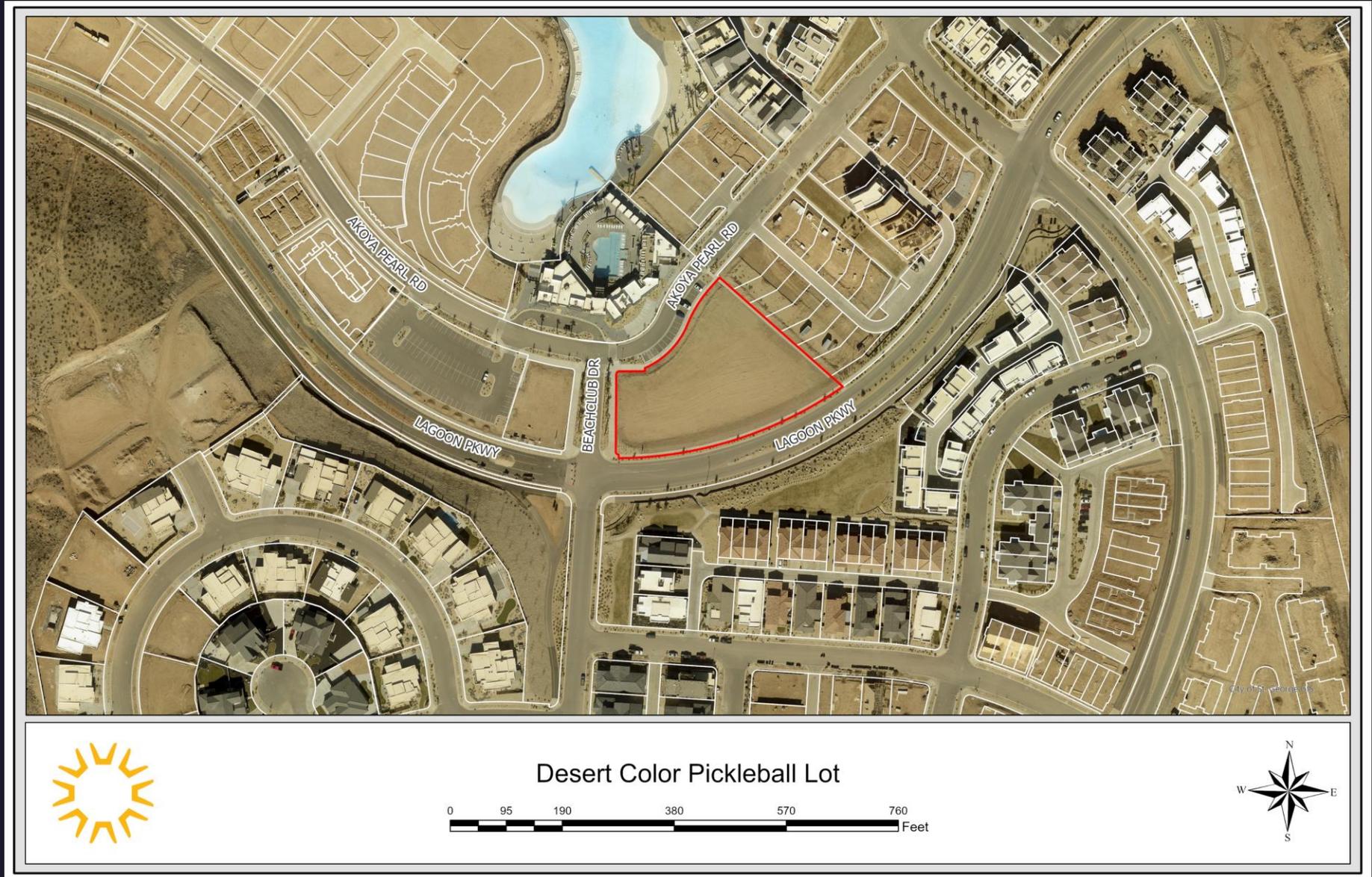
Presentation

Desert Color
Pickleball
Court Lot

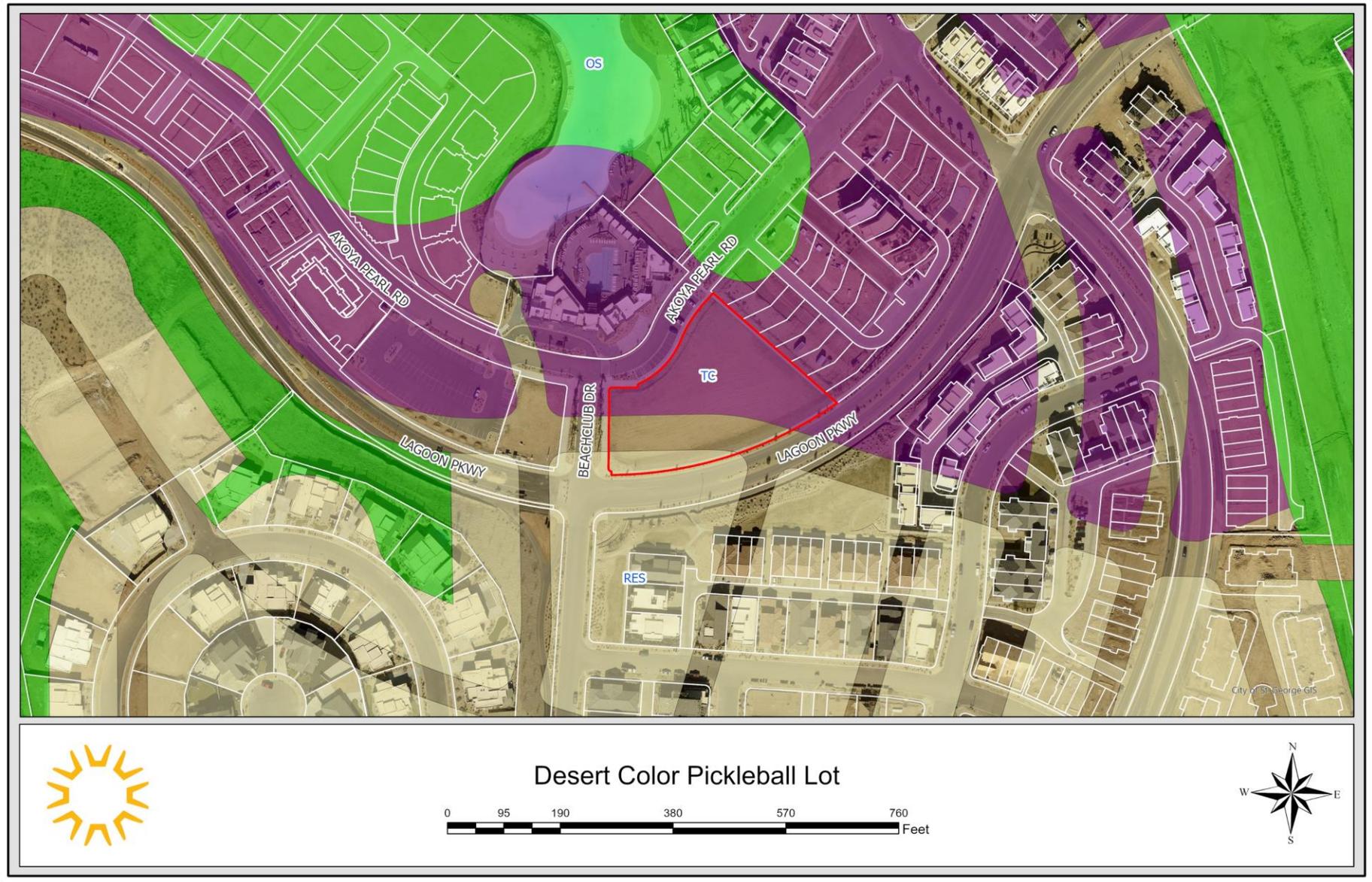
2023-PP-036



Aerial Map



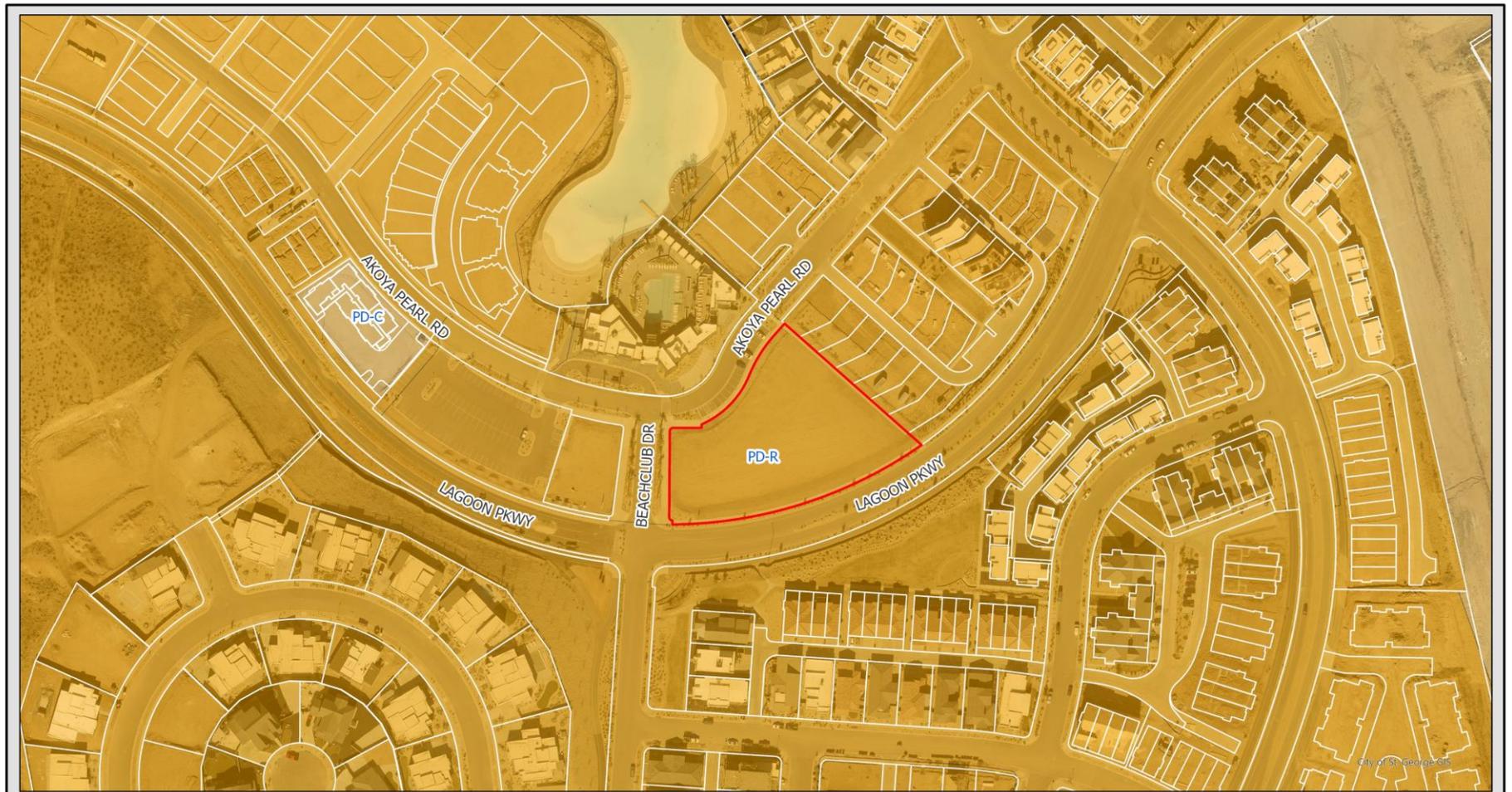
Land Use Map



Desert Color Pickleball Lot



Zoning Map



Desert Color Pickleball Lot





Agenda Date: 12/07/2023

Agenda Item Number: 12

Subject:

Consider approval of the preliminary plat for the Dirt Road Ranch subdivision, a single lot, 2.48-acre preliminary plat located on the south side of Seegmiller Drive at approximately 2650 East. Case No. 2023-PP-059

Item at-a-glance:

Staff Contact: Dan Boles

Applicant Name: NJE Family LC - Mike Terry

Reference Number: 2023-PP-059

Address/Location:

Located on the south side of Seegmiller Drive at approximately 2650 East

Item History (background/project status/public process):

On November 2, 2023, the City Council approved a zone change which fixed a split zoning issue on the property. The property is now entirely zoned A-1 (Agricultural, one acre minimum lot size). At their meeting held on November 14, 2023, the Planning Commission recommended approval with a 7-0 vote and no conditions.

Staff Narrative (need/purpose):

The property consists of two parcels, one 1.79 acres and one 0.69 acres in size. The request is now to plat the property to combine both parcels and create a single 2.48 acre parcel in order to build a home on the property.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

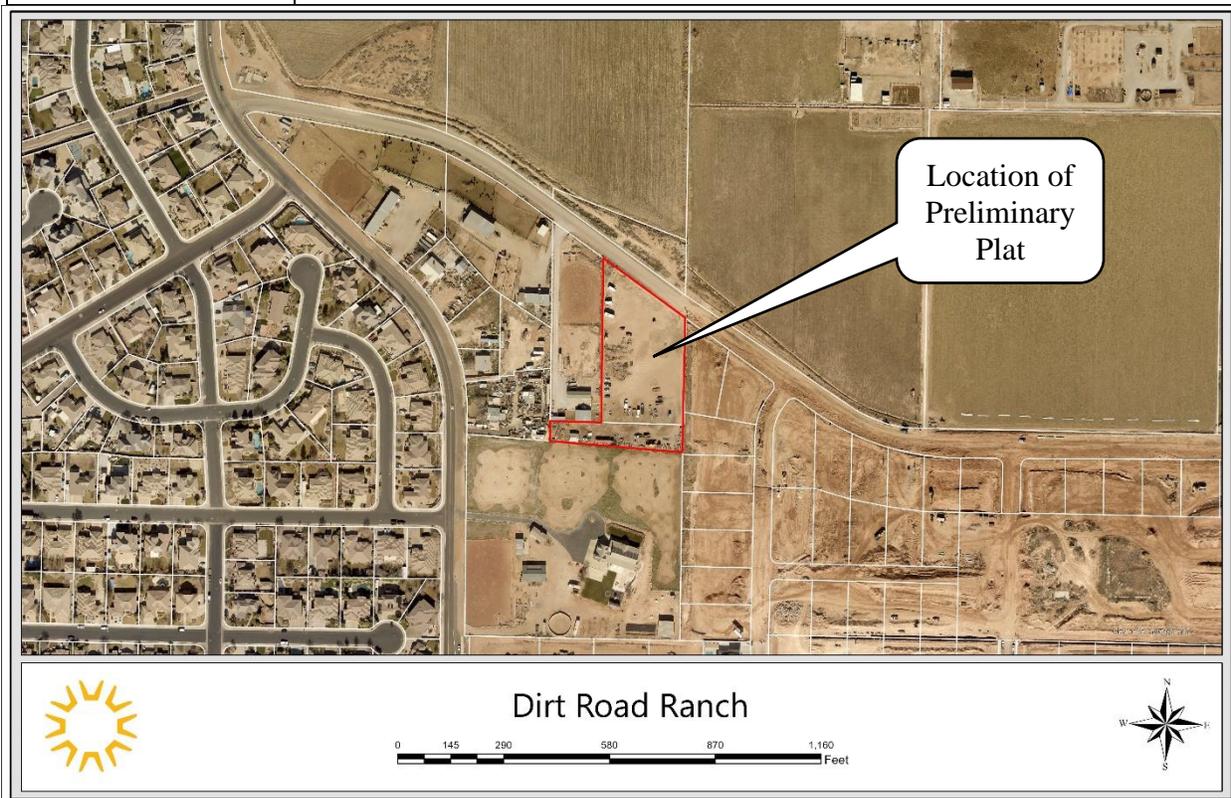
Recommendation (Include any conditions):

The Planning Commission held a public meeting to hear the request for a preliminary plat on November 14, 2023 and recommend approval with a 7-0 vote with no conditions.

PLANNING COMMISSION AGENDA REPORT: **11/28/2023**

CITY COUNCIL AGENDA REPORT: **12/07/2023**

Dirt Road Ranch Preliminary Plat (Case No. 2023-PP-059)	
Request:	The applicant is requesting approval of a single lot residential preliminary plat to be called Dirt Road Ranch.
Applicant:	NJE Family LC
Representative:	Mike Terry
Location:	Located on the south side of Seegmiller Drive at approximately 2650 East.
General Plan:	LDR (Low Density Residential)
Existing Zoning:	A-1 (Agriculture 1 acre minimum lot size)
Land Area:	Approximately 2.48 acres



BACKGROUND & REQUEST:

On November 2, 2023, the City Council approved a zone change which fixed a split zoning issue on the property. The property is now entirely zoned A-1 (Agricultural, one acre minimum lot size). The property actually consists of two parcels, one 1.79 acres and one 0.69 acres in size. The request is now to plat the property to combine both parcels and create a single 2.48 acre parcel in order to build a home on the property.

RECOMMENDATION:

Planning Commission held a public meeting on the request and recommends approval of this preliminary plat with a 7-0 vote and no conditions.

ALTERNATIVES:

1. Approve as presented.
2. Approve with conditions.
3. Deny the application.
4. Continue the proposed preliminary plat to a later date.

POSSIBLE MOTION:

“I move that we approve the Dirt Road Ranch preliminary plat request, application number 2023-PP-059, based on the findings noted in the staff report.”

FINDINGS FOR APPROVAL:

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size requirements found in Section 10-5-3 of the St. George City Code.

EXHIBIT A
PowerPoint Presentation

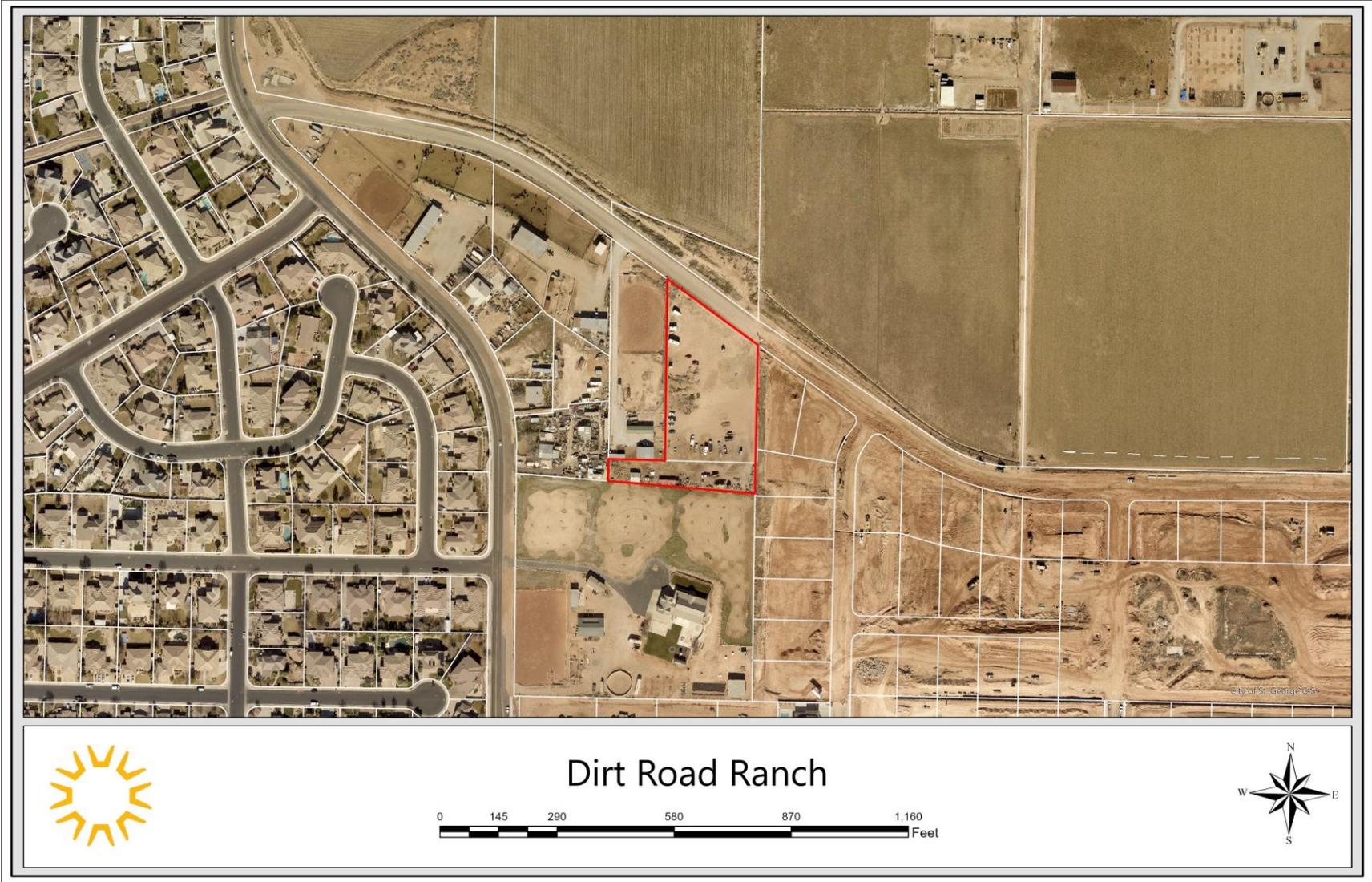


Dirt Road Ranch

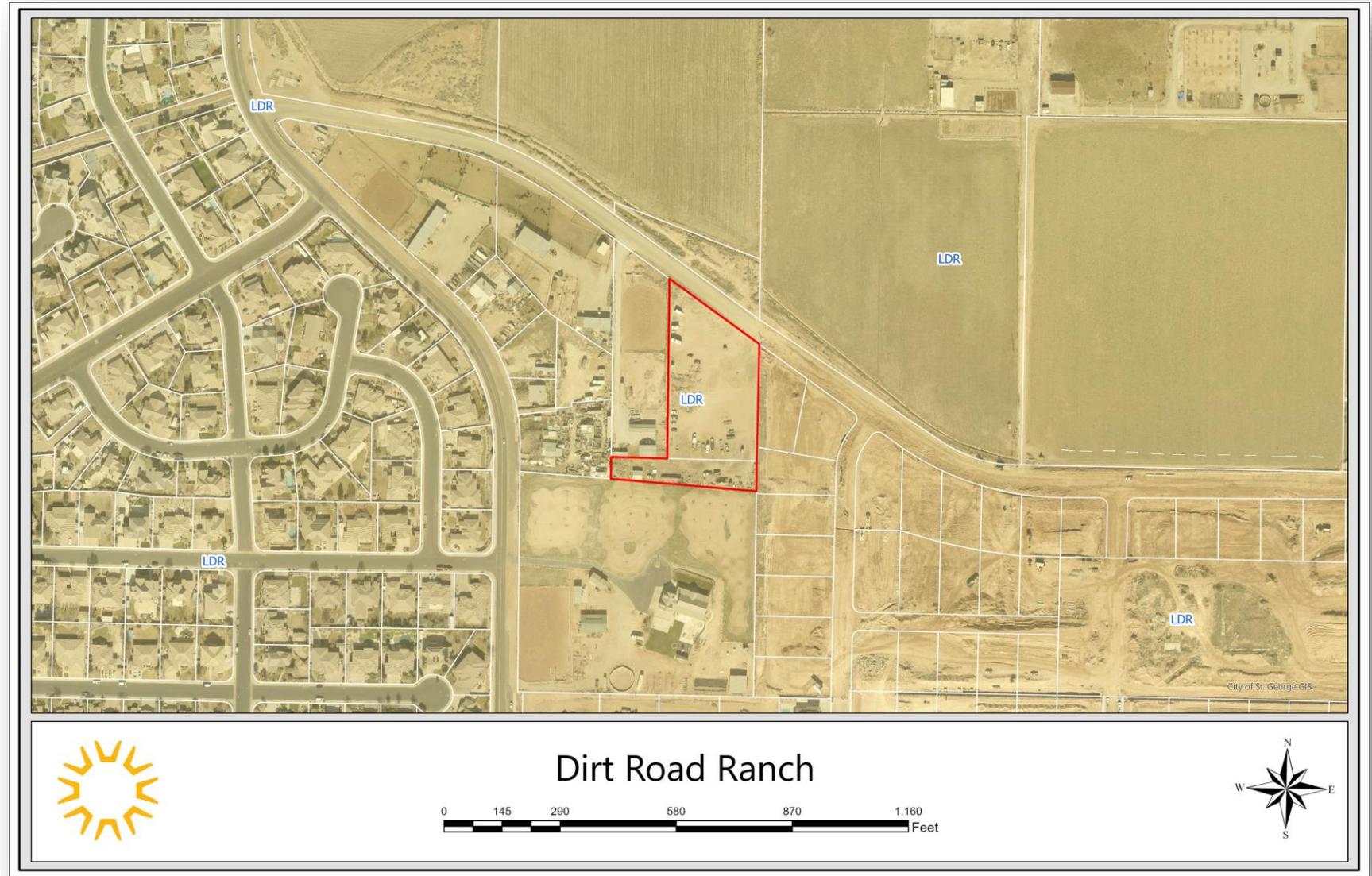
2023-PP-059



Aerial Map

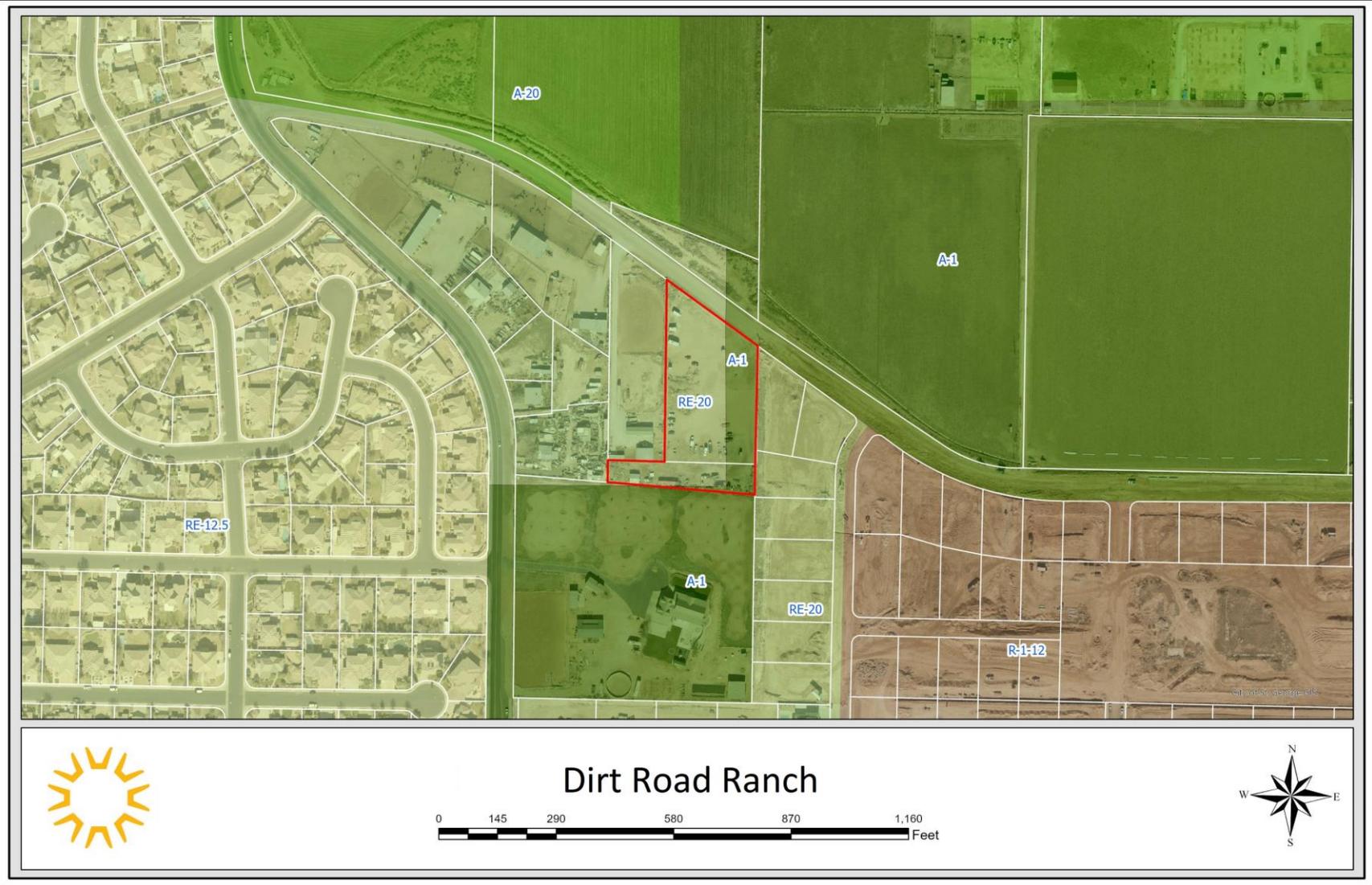


Land Use Map

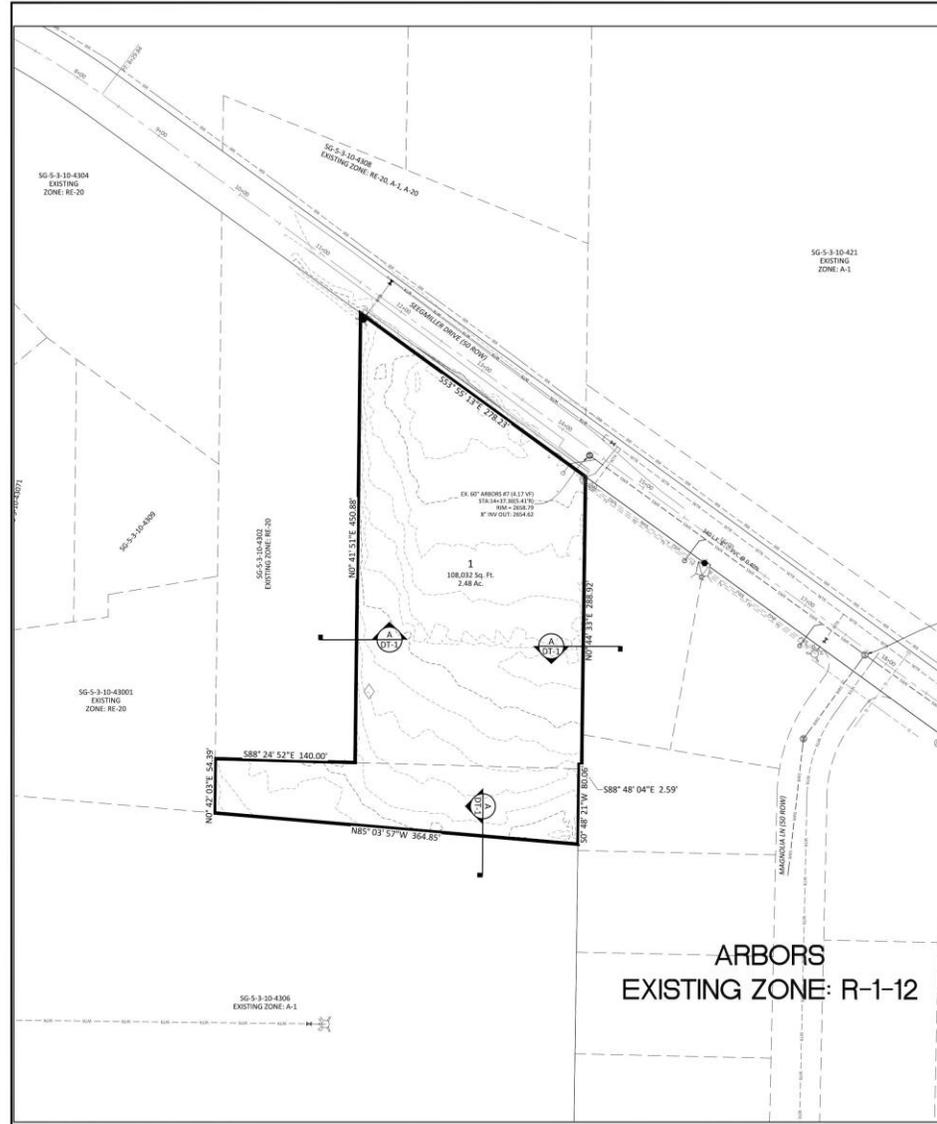




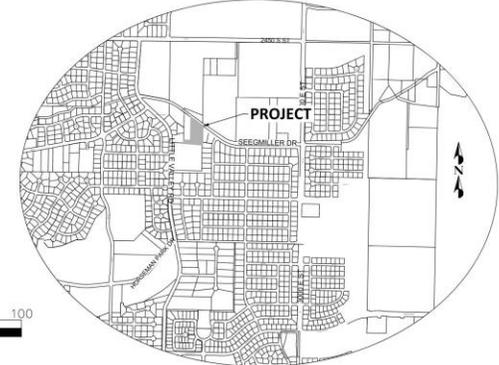
Zoning Map



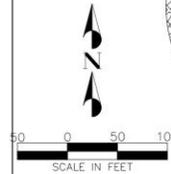
Proposed Plat



PRELIMINARY PLAT FOR NJE FAMILY LC LOTS SG-5-3-10-4301, SG-5-3-10-4305



Vicinity Map
1" = 300'



LEGEND:

- SUBDIVISION BOUNDARY
- STREET CENTERLINE
- ROAD RIGHT OF WAY LINE
- PROPOSED PROPERTY LINE
- EXISTING PROPERTY LINE
- PROPOSED CURB & GUTTER
- SETBACK LINE
- PHASE BOUNDARY

SITE DATA:

ZONING: A-3
SITE AREA: 2.48 ACRES
TOTAL DWELLING UNITS: 1 UNITS
DENSITY: 0.4 DU/AC

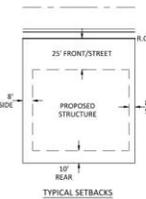
BENCHMARK

CENTER 1 CORNER OF SECTION 10, TOWNSHIP 43 SOUTH, RANGE 15 WEST, SALT LAKE BASE & MERIDIAN WASHINGTON COUNTY BRASS CAP.
2675.673(FT) H.C.N. #295 (MON. REC. #7-15-43-15)

LEGAL DESCRIPTION

A-3 ZONE:

BEGINNING NORTH 00°41'51" EAST ALONG THE SECTION LINE, A DISTANCE OF 864.85 FEET AND SOUTH 88°24'52" EAST 288.95 FEET FROM THE WEST QUARTER CORNER OF SECTION 10, TOWNSHIP 43 SOUTH, RANGE 15 WEST, SALT LAKE BASE AND MERIDIAN, (BASE OF BEARING BEING NORTH 00°41'51" EAST BETWEEN THE WEST QUARTER CORNER AND THE NORTHWEST CORNER OF SAID SECTION 10), AND RUNNING THENCE SOUTH 88°24'52" EAST 140.00 FEET, THENCE NORTH 00°41'51" EAST 86.87 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF THE BISSALLER DRIVE ROADWAY DEDICATION, RECORDED AS ENTRY NO. 0037929 IN THE WASHINGTON COUNTY RECORDER'S OFFICE, THENCE SOUTH 57°01'57" EAST ALONG SAID RIGHT-OF-WAY LINE, A DISTANCE OF 278.228 FEET TO THE NORTHWESTERLY BOUNDARY CORNER OF THE ARBORS - PHASE 15 SUBDIVISION, AS RECORDED AND ON FILE IN THE WASHINGTON COUNTY RECORDER'S OFFICE, THENCE ALONG THE WESTERLY BOUNDARY OF SAID SUBDIVISION THE FOLLOWING (1) THREE COURSES (2) SOUTH 00°46'33" WEST 288.955 FEET TO THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHWEST QUARTER OF SAID SECTION 10, (3) NORTH BEARING WEST ALONG THE SOUTH LINE OF SAID NORTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF SAID SECTION 10, A DISTANCE OF 2.384 FEET, AND (3) SOUTH 00°47'21" WEST 80.056 FEET, THENCE NORTH 80°30'57" WEST 364.853 FEET, THENCE NORTH 00°42'01" EAST 54.390 FEET TO THE POINT OF BEGINNING.
CONTAINS 108,032 SQ. FT. (2.48 ACRES)



PROJECT NAME:	DIRT ROAD RANCH
LOCATION:	LOCATED IN ST. GEORGE, UTAH
SHEET NAME:	PRELIMINARY PLAT PLAN
DATE:	07/20/23
DRAWN BY:	MT
DESIGNED BY:	MT
CHECKED BY:	MT
PROJECT NO.:	23-032
SCALE:	AS SHOWN
SHEET NUMBER:	PP-1
	1 OF 3 TOTAL

DSG ENGINEERING, INC.
LAND PLANNERS, LAND SURVEYORS, CIVIL ENGINEERS
3113 EAST 2000 NORTH, STE. #2
ST. GEORGE, UT 84770





Agenda Date: 12/07/2023

Agenda Item Number: 13

Subject:

Consider approval of the preliminary plat for the Fields at Mall Drive Lot 5 subdivision, a 3-lot, 5.17-acre subdivision located at approximately 2700 East Mall Drive (North side of the street). Case No. 2023-PP-058

Item at-a-glance:

Staff Contact: Dan Boles

Applicant Name: JW Properties - Jake Woodward

Reference Number: 2023-PP-058

Address/Location:

Located at approximately 2700 E Mall Drive (North side of the street)

Item History (background/project status/public process):

On October 5, 2023, a PD amendment was approved for a portion of this property which will allow Walgreens to be built. The applicant now desires to divide the property into three lots. At their meeting held on November 28, 2023, the Planning Commission recommended approval of the application 7-0 with conditions.

Staff Narrative (need/purpose):

The applicant is requesting approval of a preliminary plat to divide the property into three lots. The purpose for this preliminary plat is to create three separate legal lots in the PD-C (Planned Development Commercial) zone.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

On November 28, 2023, the Planning Commission held a public meeting to review the requested preliminary plat and recommend approval of the application 7-0 with the following conditions:

1. The legend should show a cross access and utility easement through lots 1 and 2 for vehicle access and utility access for the project, see redline drawing. The easements will need to be shown on the final plat.
2. The connection to the existing water main within the Revere Health property will need an easement from Revere Health to the city for maintenance of this water main through their property. The city will also require a municipal utility easement for the proposed water main that loops through the site so the city can own and maintain the water main and fire hydrants.
3. Since the proposed detention basin located on proposed lot 2 appears to provide the location to provide storm runoff detention for the entire site, an easement will need to be granted over this proposed detention basin for all 3 lots as this is where their storm runoff will be detained.
4. There is an existing irrigation main in Mall Drive. The preliminary plat does not show the existing irrigation line. With development of the property, the developer will be required to connect to the existing irrigation main in Mall Drive and extend an irrigation line into the project to provide irrigation for the landscaping to be installed with the project.
5. As we have been discussing, the project will need an access easement from Revere Health for access from Mall Drive to the traffic signal as this is all on Revere Health's property.

PLANNING COMMISSION AGENDA REPORT: **11/28/2023**

CITY COUNCIL AGENDA REPORT: **12/07/2023**

Preliminary Plat

Fields at Mall Drive Lot 5 Preliminary Plat

Case No. 2023-PP-058

Request: The applicant is requesting approval of a preliminary plat to divide the property into three lots. The purpose for this preliminary plat is to create three separate legal lots in the PD-C (Planned Development Commercial) zone.

Representative: Jake Woodward (JW Properties)

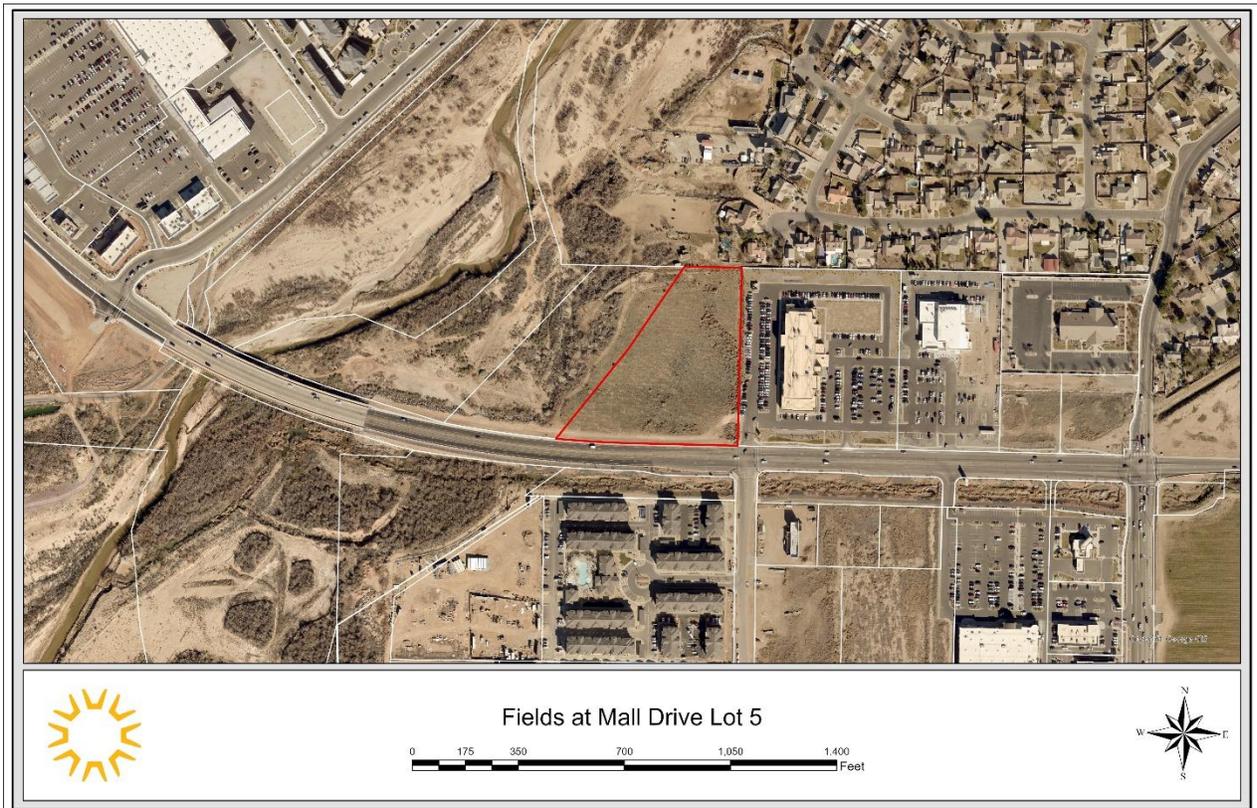
Parcel Number: SG-FMD-2-5

Location: The property is located at approximately 2700 E Mall Drive (North side of the street)

Total Acreage: Approximately 5.17 acres (225,205 ft²)

Existing Zoning: PD-C (Planned Development Commercial)

General Plan: PO (Professional Office)



Adjacent zones: North – Washington City (PUD-R – Residential)
 South – Agricultural, minimum lot size 20 acres (A-20)
 East – PD-C (Planned Development Commercial)
 West – Agricultural, minimum lot size 20 acres (A-20)

Background & Analysis: On October 5, 2023, a PD amendment was approved for a portion of this property which will allow Walgreens to be built. The PD affected the south east portion of the property which is the proposed lot one and is approximately 1.36 acres or 59,292 ft².

As previously stated, Lot one which is the Walgreens lot, will be 1.36 acres (59,292 ft²). Lot two and three are proposed to be 1.56 acres (67,989 ft²) and 2.25 acres (97,940 ft²) respectively. Each lot will be responsible for obtaining approval of PD amendments and site plan approvals as necessary.

Recommendation: Planning Commission recommends approval of this preliminary plat with a 7-0 vote with the conditions listed in the staff report.

Alternatives: 1. Approve as presented.
 2. Approve with conditions
 3. Deny the application.
 4. Continue the proposed preliminary plat into the future.

Sample Motion: “I move that we approve the Fields at Mall Drive Lot 5 Preliminary Plat request, application number 2023-PP-058, based on the findings and subject to the conditions noted in the staff report.”

Conditions: 1. The legend should show a cross access and utility easement through lots 1 and 2 for vehicle access and utility access for the project, see redline drawing. The easements will need to be shown on the final plat.
 2. The connection to the existing water main within the Revere Health property will need an easement from Revere Health to the city for maintenance of this water main through their property. The city will also require a municipal utility easement for the proposed water main that loops through the site so the city can own and maintain the water main and fire hydrants.
 3. Since the proposed detention basin located on proposed lot 2 appears to provide the location to provide storm runoff detention for the entire site, an easement will need to be granted over this proposed detention basin for all 3 lots as this is where their storm runoff will be detained.
 4. There is an existing irrigation main in Mall Drive. The preliminary plat does not show the existing irrigation line. With

development of the property, the developer will be required to connect to the existing irrigation main in Mall Drive and extend an irrigation line into the project to provide irrigation for the landscaping to be installed with the project.

5. As we have been discussing, the project will need an access easement from Revere Health for access from Mall Drive to the traffic signal as this is all on Revere Health's property.

Possible Findings:

1. That the plat is consistent with and compliant to the zoning on the property.
2. That the plat will not leave any remnant property unaccounted for.
3. That development in the plat is consistent with the PD amendment previously proposed by the applicant.

Exhibit A

Presentation



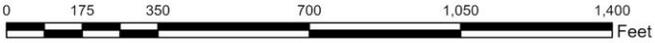
THE FIELDS AT
MALL DRIVE LOT 5

| *2023-PP-058*

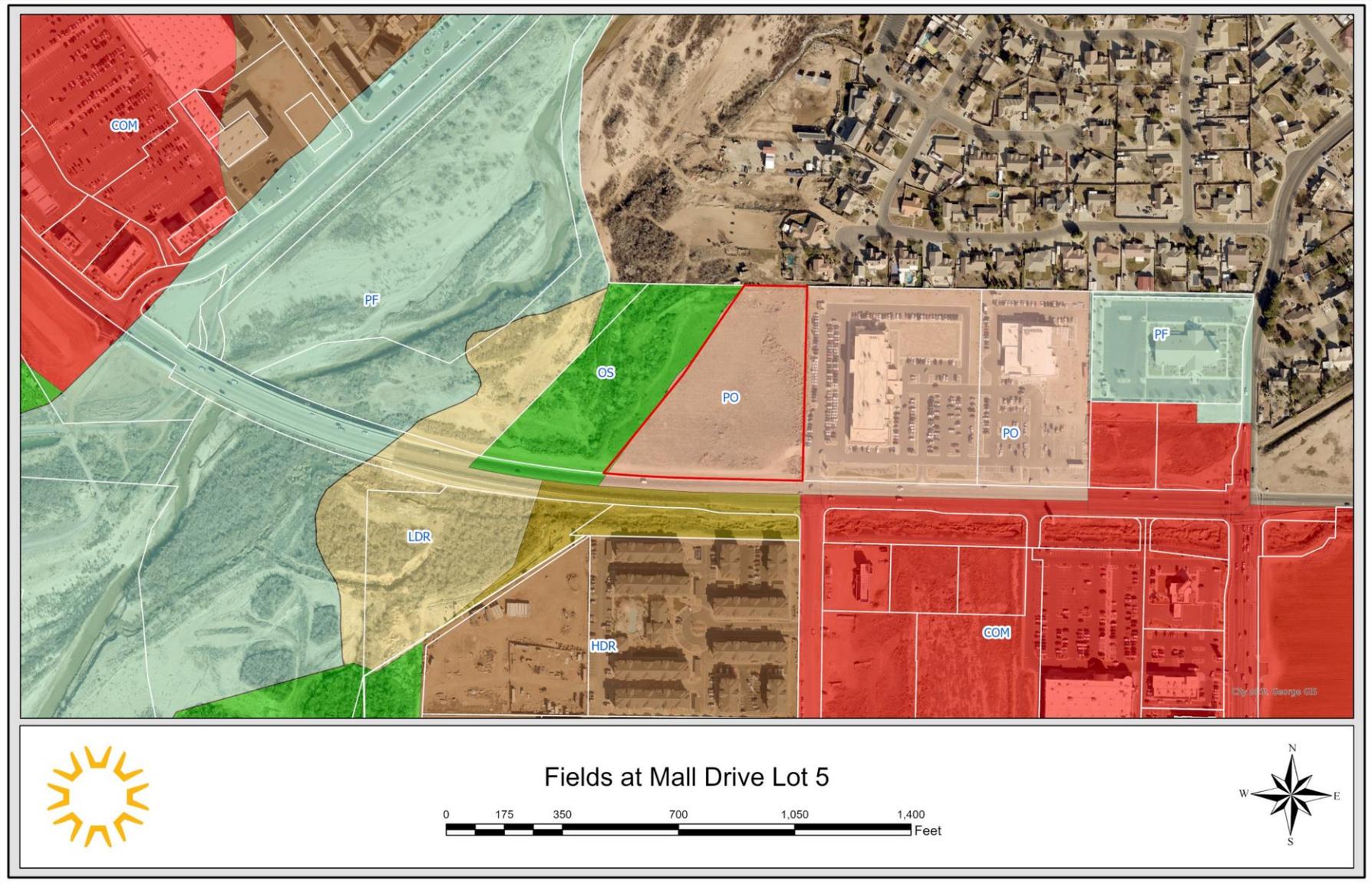
AERIAL MAP



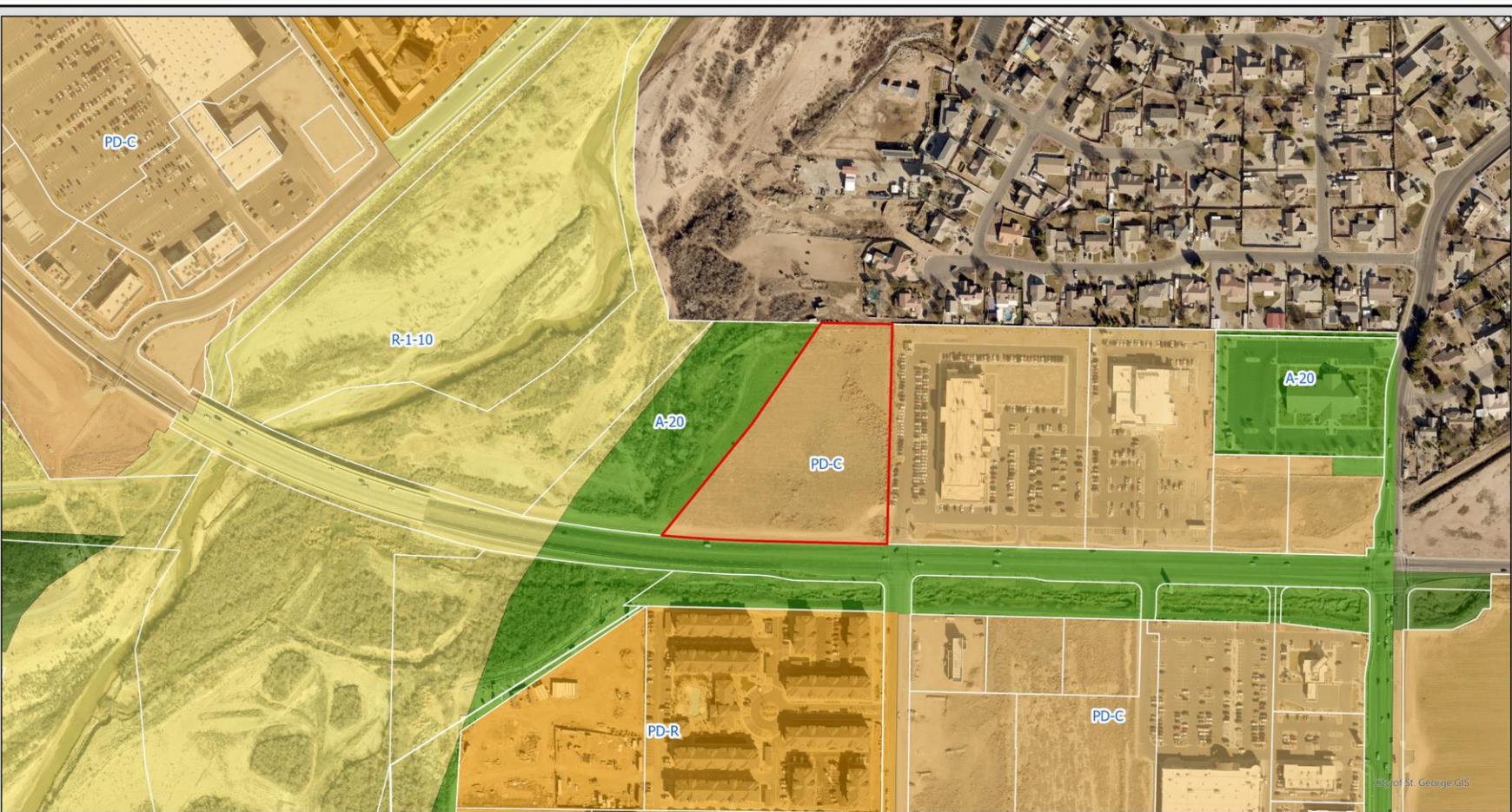
Fields at Mall Drive Lot 5



LAND USE MAP



ZONING MAP



Fields at Mall Drive Lot 5



PROPOSED PRELIMINARY PLAT

LEGEND

- BOUNDARY
- SECTION LINE
- ASSESSMENT
- RIGHT OF WAY LINE
- FEED LINE
- CENTERLINE
- BUILDING SETBACK
- EXISTING PROPERTY LINE
- SECTION MONUMENT FOUND
- STREET MONUMENT (ON SET)
- BOUNDARY MARKERS

FOR REVIEW ONLY

BOUNDARY DESCRIPTION

Lot 1, 1.34 acres (5924 sq ft)
 Lot 2, 1.36 acres (5949 sq ft)
 Lot 3, 2.24 acres (9748 sq ft)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF ALL THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SURVEYED INTO LOTS AND EASEMENTS TO HEREAFTER BE KNOWN AS

**THE FIELDS AT MALL DRIVE LOT 5 SPLIT
PRELIMINARY PLAT**

FOR GOOD AND VALUABLE CONSIDERATION RECEIVED, DOES HEREBY DEDICATE AND CONVEY TO THE CITY OF ST. GEORGE FOR PUBLIC USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS PUBLIC STREETS, AND EASEMENTS AS SHOWN. ALL LOTS AND EASEMENTS ARE NOTED AS SHOWN. THE OWNERS DO HEREBY WARRANT TO THE CITY OF ST. GEORGE, AND ITS SUCCESSORS, AND ASSIGNS TITLE TO ALL PROPERTY DEDICATED AND CONVEYED TO PUBLIC USE HEREIN AGAINST THE CLAIMS OF ALL PERSONS, LOTS SHOWN ON THIS ARE SUBJECT TO THE DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS (CCARs), RECORDED CONCURRENTLY WITH THIS PLAT. SAID DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS IS HEREBY INCORPORATED AND MADE PART OF THIS PLAT.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF _____ A.D. 20__

SUBURBAN LAND RESERVE INC. PROPERTY RESERVE INC.

LIMITED LIABILITY ACKNOWLEDGMENT

STATE OF UTAH
 S.A.
 COUNTY OF _____

ON THE ____ DAY OF _____ A.D. 20__ PERSONALLY APPEARED BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, IN AND FOR THE COUNTY OF _____ SAID STATE OF UTAH, _____ WHO AFTER BEING DULY SWORN, ACKNOWLEDGED TO ME THAT HE/SHE WAS THE _____ WHO BECAME SIGNED THE OWNER'S DECLARATION FREELY AND VOLUNTARILY FOR AND IN BEHALF OF SAID LIMITED LIABILITY COMPANY FOR THE PURPOSES THEREOF.

MY COMMISSION EXPIRES: _____ A NOTARY PUBLIC COMMISSIONED IN UTAH RESIDING IN _____ COUNTY

MY COMMISSION No. _____ PRINTED FULL NAME OF NOTARY _____

**THE FIELDS AT MALL DRIVE LOT 5 SPLIT
PRELIMINARY PLAT**

LOCATED IN THE SOUTHWEST QUARTER OF SECTION 27, T4S, R15W, S1/4, SALT LAKE BASIN & MERRION, CITY OF ST. GEORGE, WASHINGTON COUNTY, UTAH

RECORDED NUMBER

SURVEYOR'S CERTIFICATE

I, Justin Lundberg, Professional Land Surveyor number 12554429, hold a license in accordance with Title 26, Chapter 22, Professional Engineers and Land Surveyors Licensing Act and have completed a survey of the property described herein in accordance with Section 17-25-17 and hereby certify all measurements and descriptions are correct. Measurements will be set as represented on this plat further certify that by authority of the herein owners, I have made a survey of the tract of land shown on this plat and have established the same true line and corners true to the herebefore known as:

THE FIELDS AT MALL DRIVE LOT 5 SPLIT

This plat has been correctly surveyed and points established on the ground in accordance with the herein legal description.

Justin Lundberg
 Professional Land Surveyor
 License No. 12554429

Date: _____

APPROVAL OF THE PLANNING AND ZONING MANAGER

I, PLANNING AND ZONING MANAGER FOR THE CITY OF ST. GEORGE, HAVE THIS THE ____ DAY OF _____ A.D. 20__ REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND RECOMMEND THE SAME FOR ACCEPTANCE BY THE CITY OF ST. GEORGE, UT.

PLANNING AND ZONING MANAGER
 CITY OF ST. GEORGE

ENGINEER'S APPROVAL

THE HEREIN SUBDIVISION FINAL PLAT HAS BEEN REVIEWED AND IS APPROVED IN ACCORDANCE WITH THE INFORMATION ON FILE IN THIS OFFICE THIS ____ DAY OF _____ A.D. 20__

ENGINEER
 CITY OF ST. GEORGE

APPROVAL AS TO FORM

APPROVED TO FORM, THIS THE ____ DAY OF _____ A.D. 20__

CITY ATTORNEY
 CITY OF ST. GEORGE

APPROVAL OF THE PLANNING COMMISSION

ON THIS ____ DAY OF _____ A.D. 20__ THE PLANNING COMMISSION OF THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL, RECORD IN THE MINUTES OF ITS MEETING OF THE ____ DAY OF _____ A.D. 20__ HEREBY ACCEPT SAID FINAL PLAT WITH ALL COMMENTS AND OBLIGATIONS PERTAINING THERETO.

CHAIRMAN, PLANNING COMMISSION
 CITY OF ST. GEORGE

APPROVAL AND ACCEPTANCE BY THE CITY OF ST. GEORGE, UTAH

WE, THE MAYOR AND CITY COUNCIL OF THE CITY OF ST. GEORGE, UTAH, HAVE REVIEWED THE ABOVE SUBDIVISION FINAL PLAT AND BY AUTHORIZATION OF SAID CITY COUNCIL, RECORD IN THE MINUTES OF ITS MEETING OF THE ____ DAY OF _____ A.D. 20__ HEREBY ACCEPT SAID FINAL PLAT WITH ALL COMMENTS AND OBLIGATIONS PERTAINING THERETO.

CITY RECORDER
 CITY OF ST. GEORGE

TREASURER APPROVAL

I, WASHINGTON COUNTY TREASURER, CERTIFY ON THIS ____ DAY OF _____ A.D. 20__ THAT ALL TAXES SPECIFIC ASSESSMENTS, AND FEES DUE AND OWING ON THIS SUBDIVISION FINAL PLAT HAVE BEEN PAID IN FULL.

WASHINGTON COUNTY RECORDER

PAGE 1 OF 1

FOCUS
 ENGINEERING AND SURVEYING, LLC
 6949 S. HIGH TECH DRIVE SUITE 200
 MIDVALE, UTAH 84047 TEL: (801) 552-9875
 www.focusuth.com

(S) LAMP NOT REQUIRED PER UTAH CODE 6-1-1406 IF ABOVE IS FILLED IN

Agenda Date: 12/07/2023

Agenda Item Number: 14

Subject:

Consider approval of the preliminary plat for the Rustic Estates subdivision, a 4-lot, 2.26-acre subdivision located generally on the southeast corner of Rustic Drive & River Road. Case No. 2023-PP-034

Item at-a-glance:

Staff Contact: Dan Boles

Applicant Name: Bush & Gudgell - Ryan Lay

Reference Number: 2023-PP-034

Address/Location:

Located generally on the southeast corner of Rustic Drive & River Road

Item History (background/project status/public process):

In March of 2021, the City Council approved a request for a preliminary plat on the subject property. That plat divided the property into six lots. Including the existing home on River Road but excluding the Mt. States Telephone & Telegraph Company parcel next to that home. Nearly three years later, that plat has expired. At their meeting held on November 14, 2023, the Planning Commission recommended approval of the plat with a condition.

Staff Narrative (need/purpose):

In order to divide the property into separate lots, a preliminary and final plat is necessary. The Preliminary plat shows the property boundaries, lot lines, rights of way, etc.

Name of Legal Dept approver: Jami Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

On November 14, 2023, the Planning Commission held a public meeting on the preliminary plat request. They have forwarded a positive recommendation for the preliminary plat with a 6-0 vote and with the following condition: 1. That a final plat is approved within a year after City Council approval of this preliminary plat.

PLANNING COMMISSION AGENDA REPORT: **11/14/2023**
CITY COUNCIL AGENDA REPORT: **12/07/2023**

Rustic Estates Preliminary Plat (Case No. 2023-PP-034)	
Request:	The applicant is requesting approval of a four lot residential preliminary plat to be called Rustic Estates.
Applicant:	Bush & Gudgell
Representative:	Ryan Lay
Location:	Located on the south-east corner of Rustic Dr. & River Rd.
General Plan:	LDR (Low Density Residential, 0-2 units per acre)
Existing Zoning:	R-1-10 (Residential Single-Family, 10,000 ft ² minimum lot size)
Land Area:	Approximately 2.26 acres



Rustic Estates



BACKGROUND & REQUEST:

In March of 2021, City Council approved a request for a preliminary plat on the subject property. That plat divided the property into six lots. Including the existing home on River Road but excluding the Mt. States Telephone & Telegraph Company parcel next to that home. Nearly three years later, that plat has expired. The applicant is now proposing a new layout which will divide the property into four lots.

The lots will all conform to the standards of the R-1-10 zone in which it is located. This will require each lot to have a minimum of 10,000 ft². Lot one is proposed to be 13,977 ft² (0.32 acres) while lot three would be the largest lot at 54,111 ft² (1.24 acres).

CONDITIONS:

1. That a final plat is approved within a year after City Council approval of this preliminary plat.

RECOMMENDATION:

Planning Commission held a public meeting to hear the plat request and recommends approval of this preliminary plat with a 6-0 vote.

ALTERNATIVES:

1. Approve as presented.
2. Approve with conditions.
3. Deny the request.
4. Continue the proposed preliminary plat to a later date.

POSSIBLE MOTION:

“I move that we approve the Rustic Estates Preliminary Plat request, application number 2023-PP-034, based on the findings and subject to the conditions noted in the staff report.”

FINDINGS FOR APPROVAL:

1. The proposed Preliminary Plat meets the requirements found in Section 10-25C-3 of the Subdivision Regulations.
2. The proposed project meets the lot size requirements found in Section 10-8B-2.

EXHIBIT A
POWERPOINT PRESENTATION

Rustic Estates Preliminary Plat

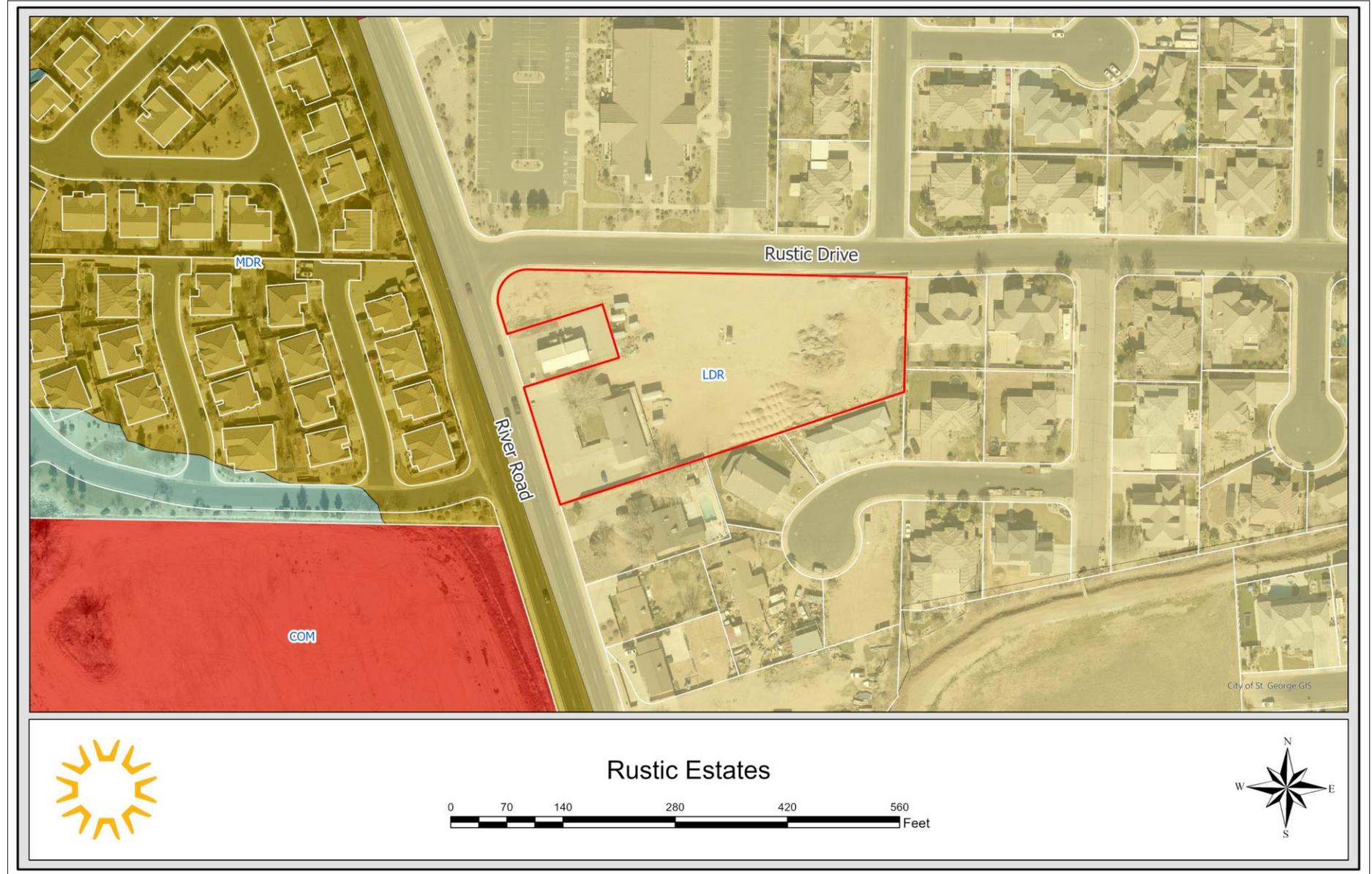
2023-PP-034



Aerial Map



Land Use Map



Zoning Map





Agenda Date: 12/07/2023

Agenda Item Number: 15

Subject:

Consider approval of the preliminary plat for Red Industrial, a 3-lot subdivision located in Fort Pierce at 1630 East Commerce Drive. Case No. 2023-PP-041

Item at-a-glance:

Staff Contact: Mike Hadley

Applicant Name: Kenneth & Patricica Ann Blake Trust

Reference Number: 2023-PP-041

Address/Location:

1630 E Commerce Dr

Item History (background/project status/public process):

The applicant is proposing to divide the property into three lots. The property is a salvage yard in Fort Pierce Industrial Park. The parents have passed away and the property is in the family trust. The trust has decided to subdivide the property and sell two of the lots. At their meeting held on November 14, 2023 the Planning Commission held a public meeting and recommended approval.

Staff Narrative (need/purpose):

In Fort Pierce area when a lot is created by SITLA it is done with a patent so it is unplatted. As lots in Fort Pierce modify or adjust the lot lines on the property they are required to go through the preliminary plat process to plat and create the new lots. The applicant is creating three lots for future development.

Name of Legal Dept approver: Jamie Brackin

Budget Impact: No Impact

Recommendation (Include any conditions):

The Planning Commission held a public meeting on November 14, 2023 as part of the preliminary plat process and have recommended approval of the application with a vote of 5-1 and the following condition: 1. As a condition of approval of the preliminary plat the owner will be required to finish the roadway improvements along Commerce Drive, which include asphalt pavement, curb, gutter, and sidewalk. A note will need to be added to the final plat that states this requirement.

PLANNING COMMISSION AGENDA REPORT: **11/14/2023**

CITY COUNCIL: **12/07/2023**

Red Industrial

Case No. 2023-PP-041

Request: Consider a request for a three (3) lot preliminary plat known as Red Industrial, located approximately at 1630 E and Commerce Dr in Fort Pierce Industrial Park. The property is 20 acres and is zoned M-1 (Manufacturing). The applicant is Kenneth & Patricia Ann Blake Trust, and the representative is Dave Nasal. Case No. 2023-PP-041 (Staff – Mike Hadley)

Location: The site is located at approximately 1630 E Commerce Dr in Fort Pierce Industrial Park.

Property: 20 acres

Number of Lots: 3

Density: N/A

Zoning: M-1 (Manufacturing).

Adjacent zones: This plat is surrounded by the following zones:
North – M-1 (Manufacturing).
South – M-1 (Manufacturing).
East – R-1-10 (Single Family Residential minimum 10,000 sq ft lots).
West – M-1 (Manufacturing).

General Plan: IND (Industrial).

Applicant: Kenneth & Patricia Ann Blake Trust.

Representative: Dave Nasal

Comments: Engineering had comment as a condition of approval.

Background: This lot is in Fort Pierce and is currently a salvage yard. The owners have passed away and the property is in the family trust. The family trust is selling the land and creating a three-lot subdivision which includes 2 large lots and one small lot that currently has a cellular tower on it.

Preliminary Plat

Planning Commission: The Planning Commission recommended approval of the Red Industrial preliminary plat with the condition listed in the staff report. At their meeting on November 14, 2023, the Planning Commission voted 5-1 in recommending approval.

RECOMMENDATION PRELIMINARY PLAT:

Staff recommend approval of the Preliminary Plat for the Venture Park with the following conditions.

1. As a condition of approval of the preliminary plat the owner will be required to finish the roadway improvements along Commerce Drive, which include asphalt pavement, curb, gutter, and sidewalk. A note will need to be added to the final plat that states this requirement.

Red Industrial
2023-PP-041



Vicinity Map



Zoning Map



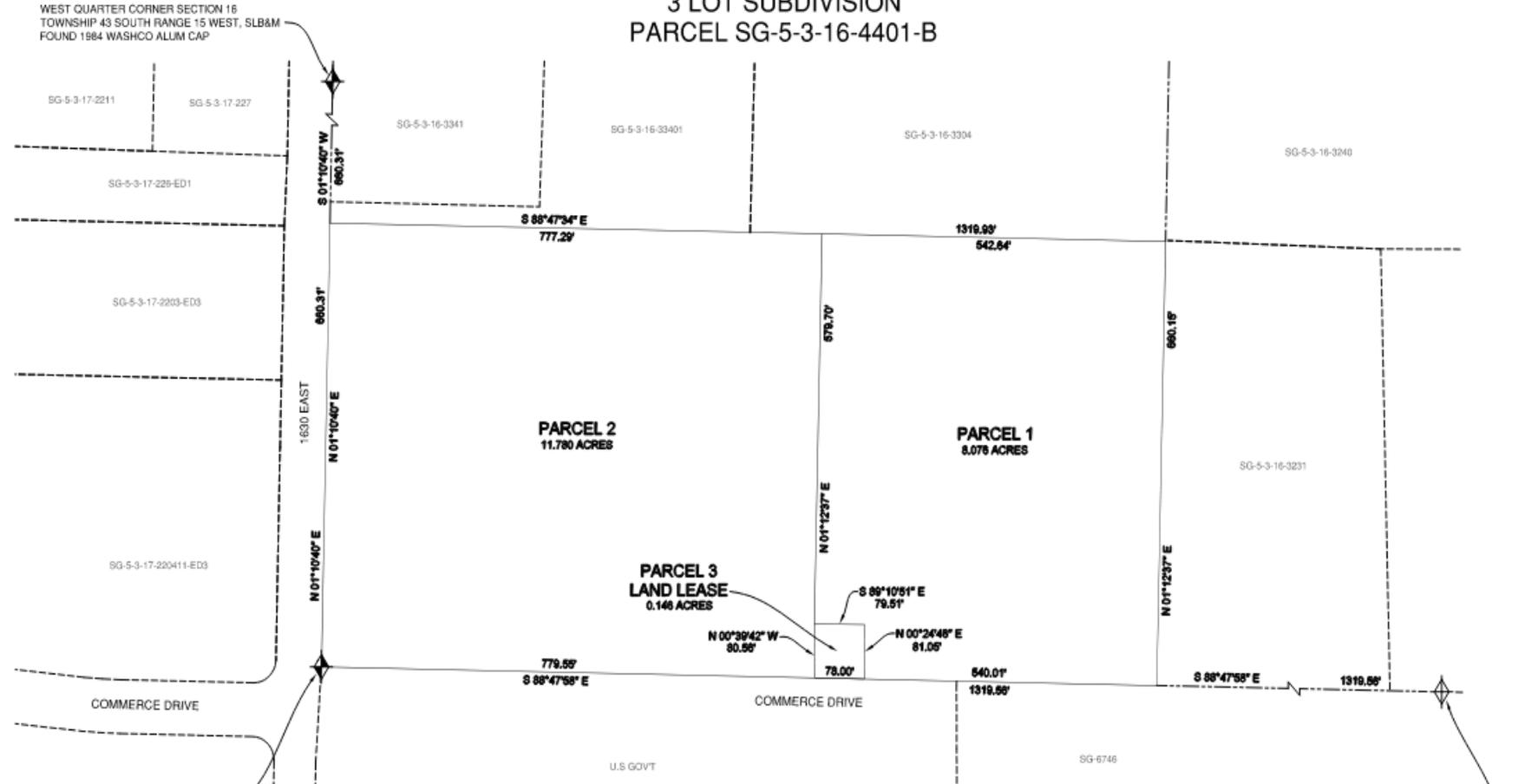
General Plan Map



Preliminary Plat

RED INDUSTRIAL

3 LOT SUBDIVISION
PARCEL SG-5-3-16-4401-B



WEST QUARTER CORNER SECTION 16
TOWNSHIP 43 SOUTH RANGE 15 WEST, SLB&M
FOUND 1984 WASHCO ALUM CAP

SOUTHWEST CORNER SECTION 16
TOWNSHIP 43 SOUTH RANGE 15 WEST, SLB&M
FOUND BC 2.5± FEET BELOW SURFACE

PROPERTY INFO

PROPERTY ADDRESS - PARCEL # SG-5-3-16-4401-B
1630 EAST S COMMERCE DRIVE
ST GEORGE, UTAH 84790

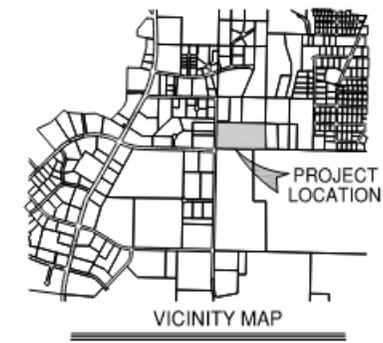
OWNER / DEVELOPER:
KENNETH & PATRICIA ANN BLAKE
4395 S 1030 E
ST GEORGE, UTAH 84790
PHONE: (435) 705-4474

GRAPHIC SCALE



LEGAL DESCRIPTION

DESCRIPTION OF DOGWOODS
ALL OF THE SOUTH HALF OF THE SOUTH-WEST QUARTER OF THE
SOUTHWEST QUARTER OF SECTION 16, TOWNSHIP 43 SOUTH,
RANGE 15 WEST, S411 AND B&M AND B&M&M, ACCORDING TO
THE OFFICIAL PLAT THEREOF, AS RECORDED IN THE OFFICE OF
THE WASHINGTON COUNTY RECORDER.
TOGETHER WITH ALL IMPROVEMENTS AND APPURTENANCES OF
THERETO BELONGING NOT BEING SUBJECT TO EASEMENTS,
RIGHTS OF WAY AND RESTRICTIONS OF RECORD AND THOSE
ENFORCEABLE IN LAW AND EQUITY.



SOUTH QUARTER CORNER SECTION 16
TOWNSHIP 43 SOUTH RANGE 15 WEST, SLB&M
LOCATION RE-ESTABLISHED BY MEADOW VALLEY
FARMERS SUBDIVISION 10A PLAT AND
LRP ROS 3342-01

DATE:	04/20/23
DRAWN BY:	P.A.M.
CHECKED BY:	M.S.T.
CLIENT:	DAI

SCALE: 1" = 80'

PRELIMINARY PLAT
RED INDUSTRIAL 3 LOT SUBDIVISION
PARCEL SG-5-3-16-4401-B
ST. GEORGE, UTAH 84770

10/16/2023
Issued As 22369
Mark R. Hays
Mark R. Hays

PP