

**AGENDA**  
**ST. TAMMANY PARISH ZONING COMMISSION MEETING**  
**6:00 P.M. – TUESDAY, FEBRUARY 6, 2024**  
**ST. TAMMANY PARISH ADMINISTRATIVE COMPLEX, COUNCIL CHAMBERS**  
**KOOP DRIVE OFF OF HIGHWAY 59**  
**MANDEVILLE, LOUISIANA**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, February 6, 2024

**ROLL CALL**

**CALL TO ORDER**

**ANNOUNCEMENTS**

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

**INVOCATION**

**PLEDGE OF ALLEGIANCE**

**ELECTION OF OFFICERS**

**APPROVAL OF THE JANUARY 3, 2024 MINUTES**

**POSTPONING OF CASES**

**PUBLIC HEARINGS**

**APPEARERS**

**ZONING CHANGE REQUEST CASES - APPLICATIONS FOR A PROPOSED CHANGE OF ZONING DISTRICT OR AMENDMENTS TO THE LAND USE ORDINANCE REQUIRING REVIEW & RECOMMENDATION OF APPROVAL BY THE ZONING COMMISSION BEFORE ACTION BY THE PARISH COUNCIL ARE AS FOLLOWS:**

**1. 2023-3513-ZC**

Existing Zoning: A-3 (Suburban District)  
Proposed Zoning: HC-2 (Highway Commercial District)  
Location: Parcel located on the west side of Louisiana Highway 1077, south of Interstate 12, Covington; S11, T7S, R10E; Ward 1, District 1  
Acres: 12.70 acres  
Petitioner: Jeffrey Schoen  
Owner: Succession of Jewel Chatellier Gennaro - Anthony Gennaro Jr. & Lisa Gennaro  
Council District: 1

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING AND JANUARY 3, 2024 MEETING**

**2. 2023-3586-ZC**

Existing Zoning: A-4 (Single-Family Residential District)  
Proposed Zoning: A-4 (Single-Family Residential District), MHO (Manufactured Housing Overlay)  
Location: Parcel located on the east side of Beech Avenue, south of Birch Avenue, Slidell; S13, T9S, R14E; Ward 8, District 14  
Acres: 0.253 acres  
Petitioner: Boss Up Rentals and Renovations LLC - Elisha Johnson  
Owner: Dragonfly Enterprises Inc. - Jamie Lindsay  
Council District: 14

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING AND JANUARY 3, 2024 MEETING**

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**MANDEVILLE, LOUISIANA**

**3. Zoning Case No. ZC01-03-028**

Major Amendment to the PUD (Planned Unit Development Overlay)

WARD 4 DISTRICT 11

Parcel located on the northwest intersection of Interstate 12 and Louisiana Highway 1088,  
Mandeville

S33, T7S, R12E

SIZE – 161.115 acres

PETITIONER – Crosby Development Company, LLC

OWNER - Crosby Development Company, LLC, Love’s Travel Stops & Country Stores, Inc.,  
The AZBY Fund

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING AND JANUARY 3, 2024 MEETING**

**4. 2023-3609-ZC**

Existing Zoning: A-2 (Suburban District)

Proposed Zoning: CBF-1 (Community Based Facilities District)

Location: Parcel located on the north side of Louisiana Highway 22 West, being  
1846 Louisiana Highway 22 West, Madisonville; S17, T7S, R10E;  
Ward 1, District 1

Acres: 7.001 acres

Petitioner: Jeff Schoen

Owner: Crosby Development LLC

Council District: 1

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING**

**5. 2023-3665-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: HC-2 (Highway Commercial District) and RO (Rural Overlay)

Location: Parcel located on the north side of US Highway 190 and the east and  
west sides of Pruden Road, west of Penn Mill Road, Covington; S25,  
T6S, R10E; Ward 3, District 3

Acres: 36.85 acres

Petitioner: Roland Vaughn Cimini

Owner: Terryland, LLC - Roland Vaughn Cimini

Council District: 3

**6. 2023-3666-ZC**

Existing Zoning: A-1 (Suburban District)

Proposed Zoning: A-2 (Suburban District)

Location: Parcel located on the south side of McDonald Road, west of  
Louisiana Highway 1077, Covington; S28, T6S, R10E; Ward 1,  
District 3

Acres: 1 acre

Petitioner: Jeffrey D. Schoen

Owner: EMJ Real Estate, LLC

Council District: 3

**7. 2023-3667-ZC**

Existing Zoning: A-1 (Suburban District), MHO Manufactured Housing Overlay, RO  
Rural Overlay

Proposed Zoning: A-2 (Suburban District) MHO Manufactured Housing Overlay, RO  
Rural Overlay

Location: Parcel located on the north side of Varnado Road, east of LA  
Highway 25, Folsom; S3, T4S & T5S, R10E; Ward 2, District 3

Acres: 19.144 acres

Petitioner: Mary Garrett Neal

Owner: Lawrence Garrett, Oline Garrett Johnson, Doroty Cousins, Freddie  
Garrett, Jr., Dorothy Garrett, Margaret Diane Garrett, Mary Garrett  
Neal, Lucy Garrett Cyprian, Clayton Garrett, Hubert Garrett, Orease  
Garrett, and Nelson Garrett

Council District: 3

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**8. 2023-3668-ZC**

Text change: AN ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 - ARTICLE VI, DIVISION 25 – HC-2 HIGHWAY COMMERCIAL DISTRICT; SECTION 130-918 PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 40,000 SQUARE FEET AND DIVISION 26 – HC-2A HIGHWAY COMMERCIAL DISTRICT, SECTION. 130-945 – PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 75,000 SQUARE FEET

**9. 2023-3669-ZC**

Existing Zoning: HC-2 (Highway Commercial District)  
Proposed Zoning: HC-2 (Highway Commercial District) and EO (Entertainment Overlay)  
Location: Parcel located on the southeast corner of Gause Boulevard and Westminster Road, Slidell; S4, T9S, R14E; Ward 9, District 14  
Acres: .72 acres  
Petitioner: Lorie Duval  
Owner: Joan Mogensen and Frank Sciara  
Council District: 14

**10. 2023-3670-ZC**

Existing Zoning: I-4 (Heavy Industrial District) and MHO (Manufactured Housing Overlay)  
Proposed Zoning: I-3 (Heavy Industrial District) and MHO (Manufactured Housing Overlay)  
Location: Parcel located on the south side of Dr. TJ Smith Expressway, Pearl River; S23, T8S, R14E; Ward 8, District 9  
Acres: 1.25 acres  
Petitioner: Harrison Eldred  
Owner: Lorre Lowe  
Council District: 9

**PLAN REVIEW CASES – APPLICATIONS REQUIRING REVIEW AND APPROVAL OF SITE PLANS ALONG A PLANNED DISTRICT BY THE ZONING COMMISSION ARE AS FOLLOWS:**

**1. 2023-3616-PR – USE: Mixed-Use Retail**

**CORRIDOR:** Highway 21 Planned Corridor  
**ZONING:** NC-5 (Retail and Service District)  
**USE SIZE:** Buildings in Phases: 3,265 sq. ft., 5,695 sq. ft., 4,400 sq. ft., 12,495 sq. ft.  
**PETITIONER:** David Divincenti, Sr.  
**OWNER:** 21 At The Point, LLC  
**LOCATION:** Parcel located on the west side of LA Highway 21 and the east side of LA Highway 1077, Madisonville; S38, S41, S44, T7S, R10E; Ward 1, District 4

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING AND JANUARY 3, 2024 MEETING**

**2. 2023-3631-PR – USE: Restaurant**

**CORRIDOR:** Highway 21 Planned Corridor  
**ZONING:** HC-2 (Highway Commercial District)  
**USE SIZE:** +/-5,405 sq. ft.  
**PETITIONER:** Scott St. Romain  
**OWNER:** Scott St. Romain  
**LOCATION:** Parcel located on the north side of LA Highway 21, south of Cherokee Rose Lane, Covington

**POSTPONED FROM THE JANUARY 3, 2024 MEETING**

**NEW BUSINESS**  
**OLD BUSINESS**  
**ADJOURNMENT**

**MINUTES OF THE  
ST. TAMMANY PARISH ZONING COMMISSION MEETING  
6:00 P.M. – WEDNESDAY, JANUARY 3, 2023  
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KOOP DRIVE OFF OF HIGHWAY 59  
MANDEVILLE, LOUISIANA**

**ROLL CALL**

Present: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso and Hernandez

Absent: McInnis and Gaines

**STAFF PRESENT:** Ross Liner, Helen Lambert, Leslie DeLatte, Erin Cook and Emily Couvillion

**CALL TO ORDER**

**ANNOUNCEMENTS**

- **Please silence all phones and electronic devices**
- **Appeals**
- **Speaker Cards**
- **Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal**
- **Please exit the building**

**INVOCATION** Seeger

**PLEDGE OF ALLEGIANCE** Crawford

**APPROVAL OF THE DECEMBER 5, 2023 MINUTES**

**Truxillo made a motion to accept as written, second by Crawford**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**POSTPONING OF CASES:**

**1. 2023-3513-ZC**

Existing Zoning:	A-3 (Suburban District)
Proposed Zoning:	HC-2 (Highway Commercial District)
Location:	Parcel located on the west side of Louisiana Highway 1077, south of Interstate 12, Covington; S11, T7S, R10E; Ward 1, District 1
Acres:	12.70 acres
Petitioner:	Jeffrey Schoen
Owner:	Succession of Jewel Chatellier Gennaro - Anthony Gennaro Jr. & Lisa Gennaro
Council District:	1

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING**

Jeff Schoen came to the podium

A community meeting for this case was set up for Wednesday, January 24, 2024 at 6pm with Commission members Doherty, Troncoso and Hernandez attending,

Helen Lambert then also reminded everyone that a community meeting for case **2023-3609-ZC** will be held on January 16, 2024 at 6 pm with Commission members Doherty, Truxillo, Narcisse and Hernandez attending

Bernard Stigler spoke against this request

**Truxillo made a motion to postpone for one month, second by Seeger**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**MINUTES OF THE  
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KOOP DRIVE OFF OF HIGHWAY 59  
MANDEVILLE, LOUISIANA**

**2. 2023-3586-ZC**

Existing Zoning: A-4 (Single-Family Residential District)  
Proposed Zoning: A-4 (Single-Family Residential District), MHO (Manufactured Housing Overlay)  
Location: Parcel located on the east side of Beech Avenue, south of Birch Avenue, Slidell; S13, T9S, R14E; Ward 8, District 14  
Acres: 0.253 acres  
Petitioner: Boss Up Rentals and Renovations LLC - Elisha Johnson  
Owner: Dragonfly Enterprises Inc. - Jamie Lindsay  
Council District: 14

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING**

Jamie Lindsay came to the podium

**Horne made a motion to postpone for one month, second by Narcisse**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**3.-Zoning Case No. ZC01-03-028**

Major Amendment to the PUD (Planned Unit Development Overlay)  
WARD 4 DISTRICTS 5 & 7  
Parcel located on the northwest intersection of Interstate 12 and Louisiana Highway 1088,  
Mandeville  
S33, T7S, R12E  
SIZE – 161.115 acres  
PETITIONER – Crosby Development Company, LLC  
OWNER - Crosby Development Company, LLC, Love’s Travel Stops & Country Stores, Inc.,  
The AZBY Fund

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING**

Jeff Schoen came to the podium

**Truxillo made a motion to postpone for one month, second by Troncoso**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**3. 2023-3621-ZC**

Existing Zoning: HC-2 (Highway Commercial District)  
Proposed Zoning: HC-3 (Highway Commercial District)  
Location: Parcel located on the on the southwest corner of Desoto Street and Asbury Drive, Mandeville; S34, T7S, R11E; Ward 4, District 5  
Acres: 1.312 acres  
Petitioner: Richard Flick  
Owner: Richard Flick  
Council District: 5

Paul Mayronne came to the podium

**Truxillo made a motion to postpone to March, second by Troncoso**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**MINUTES OF THE  
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KOOP DRIVE OFF OF HIGHWAY 59  
MANDEVILLE, LOUISIANA**

**1. 2023-3616-PR – USE: Mixed-Use Retail**

CORRIDOR: Highway 21 Planned Corridor

ZONING: NC-5 (Retail and Service District)

USE SIZE: Buildings in Phases: 3,265 sq. ft., 5,695 sq. ft., 4,400 sq. ft., 12,495 sq. ft.

PETITIONER: David Divincenti, Sr.

OWNER: 21 At The Point, LLC

LOCATION: Parcel located on the west side of LA Highway 21 and the east side of LA Highway 1077, Madisonville; S38, S41, S44, T7S, R10E; Ward 1, District 1

**POSTPONED FROM THE DECEMBER 5, 2023 MEETING**

**Seeger made a motion to postpone for one month, second by Horne**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**ZONING CHANGE REQUEST CASES:**

**5. 2023-3622-ZC**

Existing Zoning: A-4 (Single-Family Residential District)

Proposed Zoning: A-4 (Single-Family Residential District) and MHO (Manufactured Housing Overlay)

Location: Parcel located on the northwest corner of Bogue Falaya Avenue & E 2nd Street, Covington; S42, T6S, R11E; Ward 3, District 2

Acres: .33 acres

Petitioner: Kengie Gordon

Owner: Kengie Gordon

Council District: 2

Kengie Gordon came to the podium

Benjamin Sheridan spoke in favor of this request

**Seeger made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**6. 2023-3624-ZC**

Existing Zoning: A-4 (Single-Family Residential District) and PF-1 (Public Facilities District)

Proposed Zoning: A-4 (Single-Family Residential District) and MHO (Manufactured Housing Overlay)

Location: Parcel located on the on the on the north side of 2nd Street, east of North 5th Street, Pearl River; S23, T8S, R14E; Ward 8, District 14

Acres: .22 acres

Petitioner: Lynn Crawford

Owner: Lynn Crawford

Council District: 14

Lynn Crawford came to the podium

Mary Cousin spoke in favor of this request

**Crawford made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**MINUTES OF THE  
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MANDEVILLE, LOUISIANA**

**7. 2023-3629-ZC**

Existing Zoning: A-3 (Suburban District)  
Proposed Zoning: HC-2 (Highway Commercial District)  
Location: Parcel located north of Jessikat Lane, Madisonville; S10, T7S, R10E;  
Ward 1, District 1  
Acres: 19.152 acres  
Petitioner: Andrew Calahan  
Owner: Lagrange Legacy, LLC  
Council District: 14

Paul Lagrange came to the podium

Kathline Perez had questions about the maintenance of Jessikat Lane

**Truxillo made a motion to approve, second by Crawford**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

Helen Lambert requested to move up case 2023-3639-ZC

**9. 2023-3639-ZC**

Existing Zoning: A-1A (Suburban District), (RO Rural Overlay)  
Proposed Zoning: A-1A (Suburban District), RO (Rural Overlay) and MHO  
Manufactured Housing Overlay  
Location: Parcel located on the west side of LA Highway 40, south of Stermer  
Road, Bush; S23, T5S, R11E; Ward 2, District 6  
Acres: 3.36 acres  
Petitioner: Brandon Taylor  
Owner: Brandon Taylor  
Council District: 6

Brandon Taylor came to the podium

**Crawford made a motion to approve, second by Horne**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse and Hernandez

NAY: Troncoso

ABSTAIN:

**8. 2023-3633-ZC**

Existing Zoning: HC-2 (Highway Commercial District)  
Proposed Zoning: HC-2 (Highway Commercial District) and EO (Entertainment  
Overlay)  
Location: Parcel located on the northwest side of Louisiana Highway 21,  
Covington; S46, T7S, R11E; Ward 1, District 1  
Acres: 1.285 acres  
Petitioner: Scott St. Romain  
Owner: Scott St. Romain and Cynthia Boswell St. Romain  
Council District: 1

Sarah Bates representing the Romain's came to the podium

**Seeger made a motion to approve, second by Truxillo**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**MINUTES OF THE  
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MANDEVILLE, LOUISIANA**

2. **2023-3631-PR – USE: Restaurant**  
CORRIDOR: Highway 21 Planned Corridor  
ZONING: HC-2 (Highway Commercial District)  
USE SIZE: +/-5,405 sq. ft.  
PETITIONER: Scott St. Romain  
OWNER: Scott St. Romain  
LOCATION: Parcel located on the north side of LA Highway 21, south of Cherokee Rose Lane, Covington

**Seeger made a motion to approve with the waiver, no second**

**Seeger after some discussion, made a motion to postpone for one month, second by Narcisse**

YEA: Seeger, Truxillo, Doherty, Horne, Crawford, Narcisse, Troncoso, and Hernandez

NAY:

ABSTAIN:

**NEW BUSINESS:**

**OLD BUISNESS**

**ADJOURNMENT Crawford made a motion to adjourn**



**ZONING STAFF REPORT**  
2023-3513-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the west side of Louisiana Highway 1077, south of Interstate 12, Covington; S11, T7S, R10E; Ward 1, District 1      **Council District:** 1

**Owners:** Anthony Gennaro Jr. & Lisa Gennaro      **Posted:** January 19, 2024

**Petitioner:** Jeffrey Schoen      **Commission Hearing:** February 6, 2024

**Size:** 12.70 acres      **Prior Determination:** Postponed from October 10, 2023 and November 1, 2023 meetings. Community meeting held on November 13, 2023. Postponed from January 3, 2024 meeting.

**Determination:** Approved, Denied, Postponed



**Current Zoning**

A-3 Suburban District

**Requested Zoning**

HC-2 Highway Commercial District

**Future Land Use**

Residential: Medium-Intensity

Mixed-Use

**Flood Zone**

Effective Flood Zone A

Preliminary Flood Zone AE

**Critical Drainage:**

Yes

**FINDINGS**

1. The applicant is requesting to rezone the 12.70-acre parcel from A-3 Suburban District to HC-2 Highway Commercial District. The property is located on the west side of Louisiana Highway 1077, south of Interstate 12, Covington.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	Unknown	A-3 Suburban District

*Site and Structure Provisions*

3. The subject property is currently developed with a single-family residence and an accessory unit.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial	HC-2 Highway Commercial District
South	Residential	A-2 Suburban District
East	Residential	A-3 Suburban District
West	Undeveloped	A-4 Single-Family Residential District



**ZONING STAFF REPORT**  
2023-3513-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

5. The subject property abuts single-family zoning to the east, south, and west, as well as a commercial property zoned HC-2 Highway Commercial District to the north. The purpose of the HC-2 Highway Commercial District is to provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials and designed to provide services to a portion of the Parish.
6. The minimum size for new lots within the HC-2 Highway Commercial District is 20,000 square feet with a maximum building size of 40,000 square feet. The property could house multiple commercial structures not exceeding 40,000 square feet; however, these structures would be subject to the parking, landscaping, drainage and all other applicable requirements. In addition, the lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot. However, parking and landscape requirements for the intended use must be met in all instances. Therefore, maximum lot coverage may in some cases be less.
7. A change in zoning will allow the applicant to operate any of the following permitted commercial uses: All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

*Consistency with New Directions 2040*

**Residential: Medium-Intensity:** Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

**Mixed Use** areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish's existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

The proposed zoning change is NOT consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

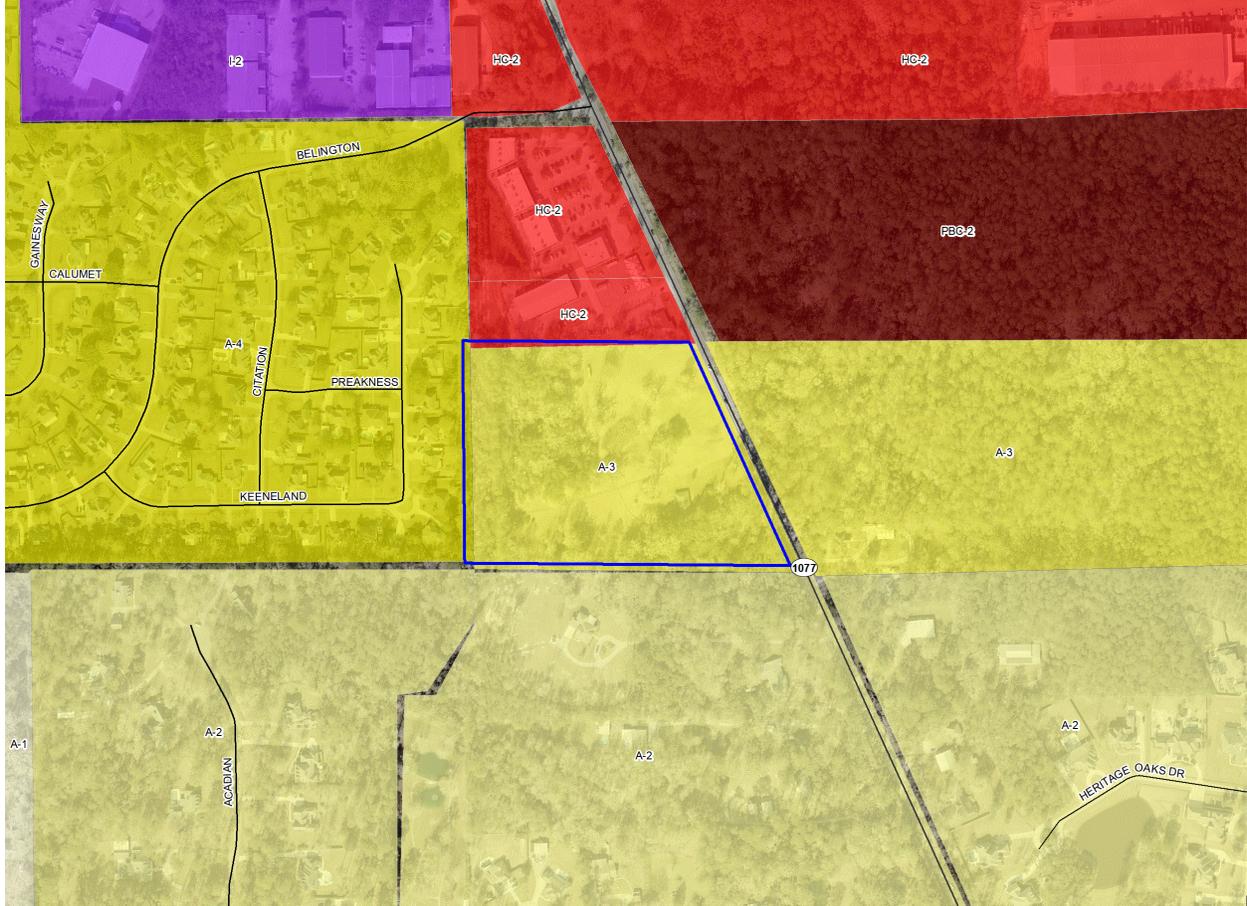
- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high capacity transportation corridors.
- ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



**ZONING STAFF REPORT**  
2023-3513-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director



2023-3513-ZC

NEW CAMELLIA

I-2  
SEYMOUR MYERS

HC-2

BELINGTON

PBC-2

TURNPIKE RD

PREAKNESS

11

A-4  
CITATION

T7-R10E

KEENE LAND

A-3

ACADIAN

A-2

BREWSTER

PUD

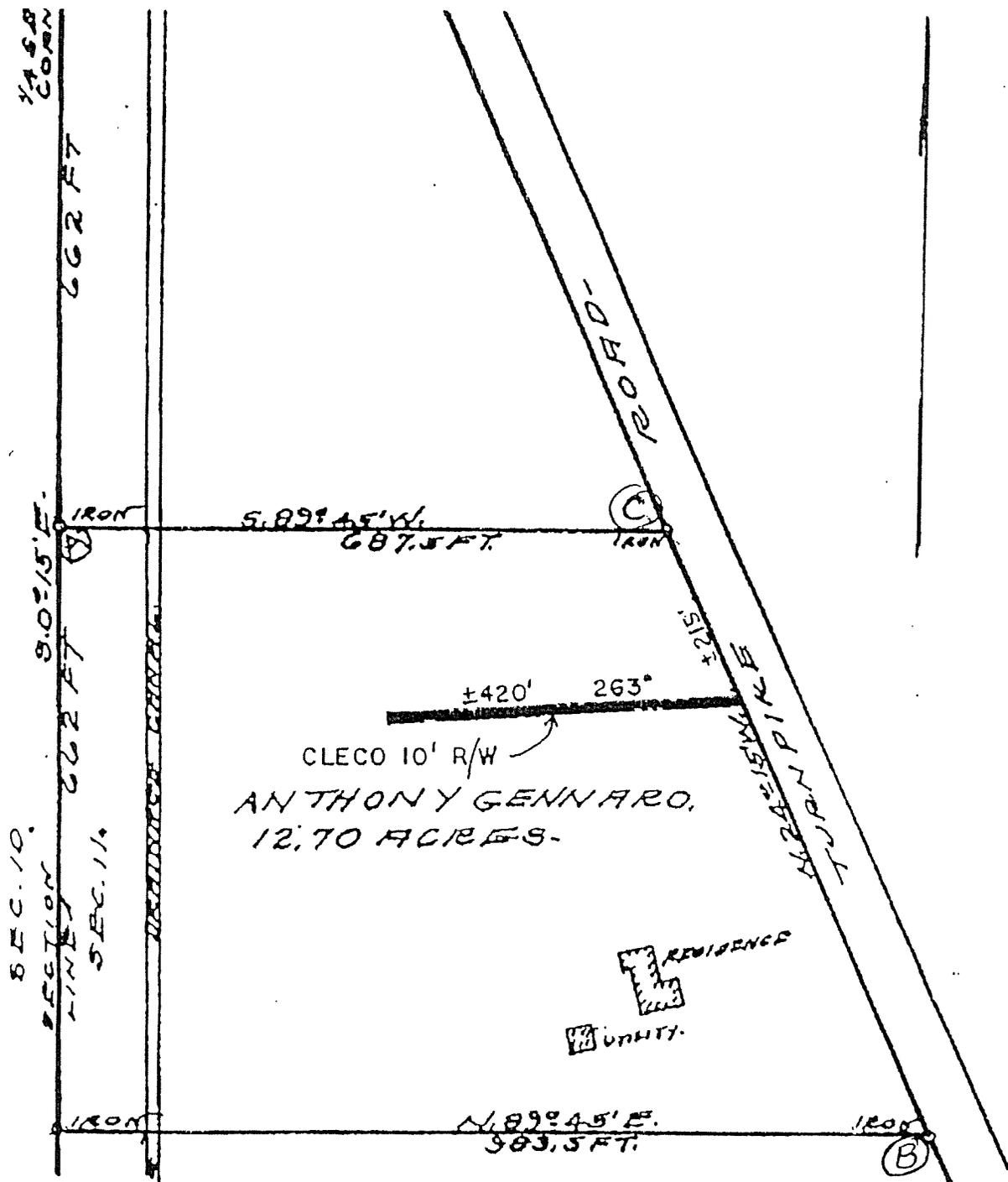
15

14

2023-3513-ZC

SKETCH

OX-24  
Rev. 11/86



MAP SHOWING SURVEY IN SECTION  
11-T-7-S-R-10-E-GREENSBURG-DISTRICT  
ST. TAMMANY PARISH, LOUISIANA.  
SCALE. 1. INCH = 200 FT.  
NOV. 7. 1963-

*A. R. Schultz*  
SURVEYOR  
COVINGTON, LA.

R/W WIDTH 10'  
R/W LENGTH ±420'  
R/W WIDTH \_\_\_\_\_  
R/W LENGTH \_\_\_\_\_  
TLN NUMBER \_\_\_\_\_

CENTRAL LOUISIANA ELECTRIC COMPANY  
PINEVILLE, LOUISIANA

PROPOSED ELECTRIC LINE RIGHT OF WAY  
ACROSS THE PROPERTY OF

GENNARO

IN SECTION 11 T-7S R-10 E  
WARD 1 ST, TAMMANY PARISH, LOUISIANA



**ZONING STAFF REPORT**  
2023-3586-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the east side of Beech Avenue, south of Birch Avenue, being Lots 21, 22, 23, & 24, Sq. 1, Beverly Hills Annex #1, Slidell; S13, T9S, R14E; Ward 8, District 14      **Council District:** 14

**Petitioner:** Boss Up Rentals and Renovations LLC - Elisha Johnson      **Posted:** January 23, 2024

**Owner:** Dragonfly Enterprises, Inc. - Jamie Lindsay      **Commission Hearing:** January 3, 2024

**Size:** 0.253 acres      **Prior Determination:** Postponed at December 5, 2023 & January 3, 2024 Meetings

**Determination:** Approved, Denied, Postponed

**Current Zoning**

A-4 Single-Family Residential District

**Requested Zoning**

A-4 Single-Family Residential District

MHO Manufactured Housing Overlay

**Future Land Use**

Residential Medium-Intensity

**Flood Zone**

Effective Flood Zone C

Preliminary Flood Zone AE

**Critical Drainage:**

Yes

**BFE**

ABFE 13' + 1' Freeboard = 14' FFE



**FINDINGS**

1. The petitioner is requesting to change the zoning classification from A-4 Suburban District to A-4 Suburban District and MHO Manufactured Housing Overlay. The subject property consists of Lots 21, 22, 23, and 24 Square 1 within Beverly Hills Annex Subdivision. The property has a municipal address of 39010 Beech Avenue, Slidell, LA 70461.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Zoning Classification
09-2117 – Comprehensive Rezoning	Unknown	A-4 Single-Family Residential District

*Site and Structure Provisions*

3. According to the application submitted, the land is vacant with a work shed on the property. It appears that there was previously a residence on the site.
4. The subject property consists of 4 individual substandard lots of record, which do not meet the minimum size requirement of 50' in width. The applicant could apply for a minor resubdivision to create two 50ft x 110ft lots, or one 100ft x 110ft lot.



**ZONING STAFF REPORT**  
2023-3586-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**

Ross Liner  
Director

*Compatibility or Suitability with Adjacent Area*

5. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential (Manufactured Home)	A-4 Single-Family Residential District
South	Residential (Manufactured Home)	A-4 Single-Family Residential District
East	Residential (Manufactured Home)	A-4 Single-Family Residential District
West	Possible Detention Pond for I-10	A-2 Suburban District

6. There are various parcels within Beverly Hills and Beverly Hills Annex Subdivision that have received the MHO Manufactured Housing Overlay zoning classification approval over the years. The following properties that have been granted approval for the overlay within the vicinity of the subject property are as follows:

Table 3: Nearby Rezoning Cases

Lot & Subdivision	Request	Ordinance
Lots 3A, 4, 5, & 6 SQ 1	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 11-2590
Lots 31 & 32 SQ 6	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 11-2550
Lot 7A SQ 2	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 13-3015
Lots 44A & 46A SQ 6	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 14-3162
Lots 19A & 21A SQ 9	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 14-3228
Lots 10 & 11 SQ 4	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 18-3938
Lots 21 & 22 SQ 5	A-4 Single-Family Residential TO A-4 Single-Family Residential and MHO Manufactured Housing Overlay	Approved per Council Ord. 21-4597

7. If the request for the MHO Manufactured Housing Overlay is approved, the applicant could apply for a building permit to place a manufactured home on the property after going through the minor subdivision process.

*Consistency with New Directions 2040*

**Residential – Medium Intensity:** Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
  - a. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.





2023-3586-ZC

Y HILLS ANNE  
W 1/2 SECT. 13 - T. 9. S. - R. 14. E. - S. 21. W. A.

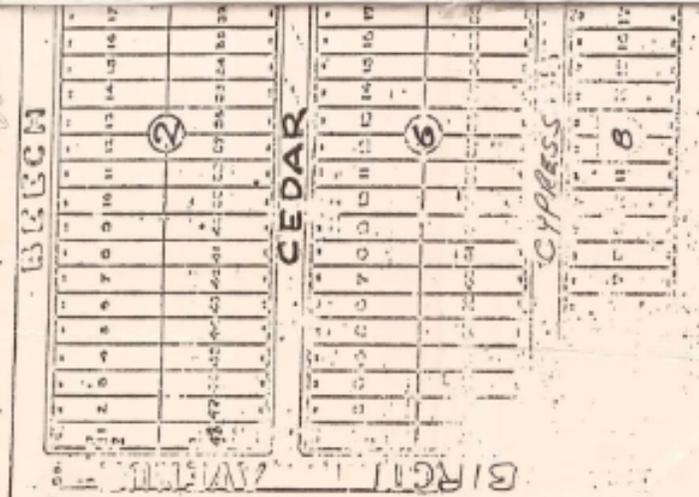
NORTH 2640.0



Subdivided into 36 lots

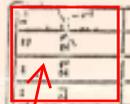
BEVERLY  
DESCRIBED AS W 1/2 OF W 1/2 OF

600



J.W.L. CHETA.  
1003 NEW ORLEANS BANK BLDG.  
NEW ORLEANS, LA.

600



Subject Property



Subdivided into 36 lots

R-Rural Non Flood 7-22-81



**ZONING STAFF REPORT**

ZC01-03-028

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**

Ross Liner  
Director

985-898-2529

21454 Koop Drive, Suite 1B, Mandeville, LA 70471

stpgov.org/planning

**Location:** Parcel located on the northwest intersection of Interstate 12 and Louisiana Highway 1088,

Mandeville; S33, T7S, R12E; Ward 4, Council Districts: 5 and 7

**Size:** 161.115 acres

**Petitioner:** Crosby Development, LLC

**Posted:** January 26, 2024

**Owner:** Crosby Development Company, LLC, Love’s Travel Stops & Country Stores, Inc., The AZBY Fund

**Commission Hearing:** February 6, 2024

**Determination:** Approved, Denied, Postponed



**Current Zoning**

Planned Unit Development:  
Wadsworth PUD

**Requested Zoning**

Major Amendment to the PUD

**Future Land Use**

Manufacturing & Logistics

**Flood Zone:**

Effective Flood Zone C

Preliminary Flood Zone X

**Critical Drainage:** Yes

**Zoning History**

1. The Wadsworth PUD was established in 2001 per Zoning Commission case number ZC01-03-028 and was originally approved with commercial, institutional, and residential uses; providing single family residential, and higher density townhomes, apartments, and condominiums. As can be seen in Table 1 below, the site has been the subject of many requests for Major Amendments to the Planned Unit Development to both reconfigure the allowable uses and redesign the subsequent layout. As of the last Major Amendment to the PUD in 2021, the allowable uses include large scale warehousing and distribution facilities, manufacturing facilities, and research and development uses including some retail sales and service operations.

Table 1: Zoning history of Subject Lot(s)

History of PUD Development	Uses	Amendments
Zoning Change Approving PUD 2001	Commercial, Residential, and Institutional	Original PUD
Major Amendment Approved in 2014	Commercial and Institutional	Reconfiguration of the subdivision including a request to develop the PUD with commercial and industrial uses and removal of all residential and institutional uses
Major Amendment Approved in 2020	Commercial and Institutional	Add permitted uses: Transportation Terminal (bus, truck, or other) and “Warehouse and Distribution Center Reconfigure the previously approved greenspace: remove the 2.85 acre – 50 ft. buffer along the interstate on ramp and provide the required greenspace along the eastern, northern, and western property lines.



**ZONING STAFF REPORT**  
ZC01-03-028

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

Request for Major Amendment 2021	Commercial and Institutional	<p>Add permitted uses</p> <p>Increase the maximum allowable size of building to 1,500,000 square feet and maximum allowable height of building to 120 - feet.</p> <p>Request to reduce the required 25% of open space to 15%</p>
Current Requested Amendment	Commercial, Industrial, and Advanced Manufacturing	To reconfigure the required buffers and subject landscaping requirements, provide alternative parking requirements, and create a governing document which provides specific regulations that exceed the St. Tammany Parish Unified Development Code

**Compatibility or Suitability with Adjacent Area**

Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-2 Suburban District
South	Undeveloped	HC-2 Highway Commercial District
East	Undeveloped	A-3 Suburban District
West	Undeveloped	A-4 Single Family Residential District

**St. Tammany Parish’s Low Impact Development Guide**

- In 2022, St. Tammany Parish introduced the “St. Tammany Parish Low Impact Development Guidebook” to provide developers, designers, and residents of the Parish with new and dynamic ideas on how to reduce peak runoff from major storm events, recharge groundwater, reduce subsidence, and filter pollutants within the groundwater. These nature-based solutions can help adapt and withstand increased rainfall, heightened flood levels, and increased pollutants by managing stormwater where it lands, minimizing impervious surfaces, and introducing native vegetation.
- The current request for the Major Amendment to the Wadsworth PUD takes these development models into effect. As such, the request is to reconfigure the required buffers and subject landscaping requirements, provide alternative parking requirements, and create a governing document which provides specific regulations that exceed the St. Tammany Parish Unified Development Code which future development within the subject PUD must adhere to.

**Proposed PUD Amendment Findings**

- Request to change the Planned Unit Development name from “Wadsworth Planned Unit Development” to “Gulf South Commerce Park Phase 1 Planned Unit Development”.

**Staff Comment:** Staff does not object to this change, however recognizes that legal recorded documents such as minor and major subdivision plats and surveys will still refer to this property as the Wadsworth Subdivision and will not be changed unless and until the owners of the property request an Act of Correction on each recorded document.

- Request to provide specific sign regulations which will exceed the St. Tammany Parish sign regulations in the following ways:
  - To allow internal illumination creating a positive contrast (dark lettering against a light background)
  - To allow private directional signs to measure 12 square feet rather than the Parish required 4 square feet

**Staff Comment:** Staff supports this request and recognizes the proposed monument sign is actually 35 square feet less than the allowable 70 square feet for multi-occupancy developments per St. Tammany Parish ordinance.

- Request to reconfigure the open space requirements which were last approved per the 2021 Major Amendment document herein provided.



**ZONING STAFF REPORT**

ZC01-03-028

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**

Ross Liner  
Director

**Staff Comment:** Staff has no objection to the request. The Planned Unit Development was originally required to provide 25% open space per the St. Tammany Parish PUD regulations. This requirement was altered in the 2020 and 2021 Major Amendment requests and currently, the Wadsworth PUD is required to provide 15% greenspace which can include the total acreage of the ponds. The current request will redistribute the required greenspace to the updated parcel configurations, providing greenspace along all property lines and streets.

- 4. Request to add five additional permitted uses to the PUD's existing allowable uses list including:
  - a. Manufacturing, advanced
  - b. Manufacturing, artisan
  - c. Manufacturing, light
  - d. Wastewater treatment facility
  - e. Electrical energy substation

**Staff Comment:** Staff supports this request as the new proposed uses are consistent with the existing manufacturing, research and development, and transportation and logistics uses.

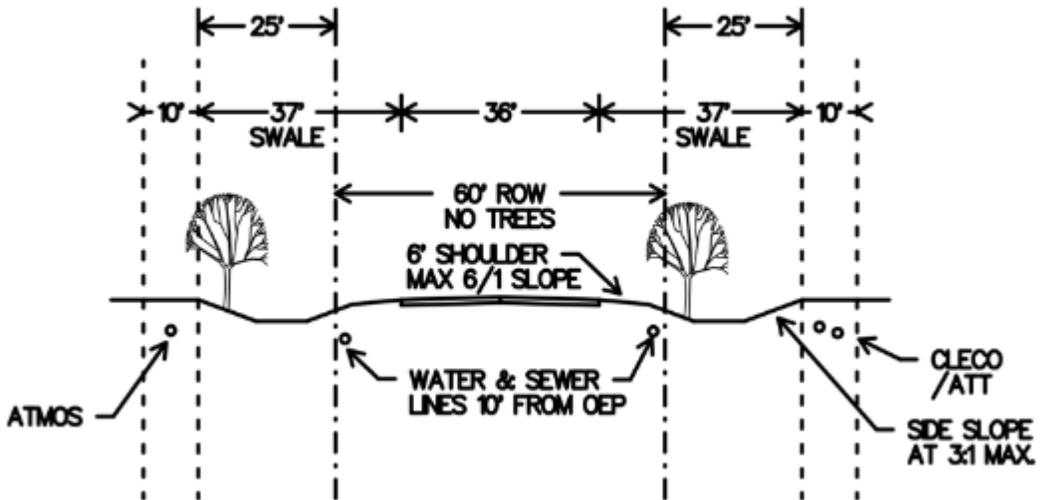
- 5. Request to provide alternative building setback requirements which include the following:
  - a. 50' street facing building setback. Where a building is taller than 50' in height, one additional foot of setback shall be required in each yard.
  - b. 25' building setback along side and rear property lines

**Staff Comment:** Staff supports this request as the current commercial building setbacks do not apply when a commercial or industrially zoned property abut another commercial or industrially zoned property. These proposed regulations exceed those listed within the St. Tammany Parish Unified Development Code.

- 6. Request to provide a minimum street buffer width of 37 feet, 25 feet of which is plantable area to provide the required number of Class A and Class B trees and 12 ft. of which is open greenspace within the street right of way.

**Staff Comment:** Staff supports this request as the initial 25 ft. of the street buffer is to be planted with native Class A and B trees and shrubs and the additional 12 ft. within each side of the street right of way will provide supplementary greenspace and drainage swales to promote low impact development with bioretention cells, bioswales, and rain gardens. These shallow open-channel drainage ways will covey runoff and filter pollutants. See the example below.

Additionally, the request to require a minimum planting area of 150 sq. ft. per canopy tree and 75 sq. ft. per understory tree will ensure that the vegetation planted has enough room to grow to full potential without being located at the bottom of the swale or interrupting maintenance of the swale.



- 7. Request to provide "Aquatic Zones" at each drain inlet for a minimum of 15' in each direction of the swale which must be planted with a minimum of 50% native plant species every 36".

**Staff Comment:** Staff supports this request as the proposed aquatic zones will be designed to hold water and support native aquatic vegetation which will help to remove pollutants before entering local waterways.



**ZONING STAFF REPORT**

ZC01-03-028

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**

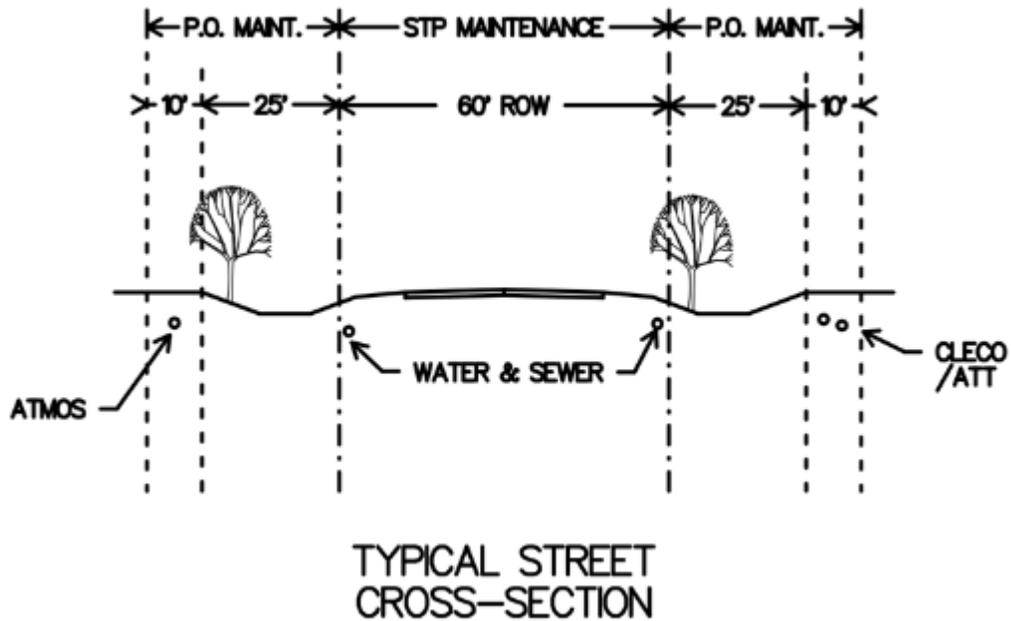
**Ross Liner**  
Director

- 8. Request to increase side and rear buffer planting areas from 10 feet to 15 feet in which bioretention plantings in lieu of sod are encouraged.

**Staff Comment:** Staff supports the request for the additional 5 feet of buffer area provided and the concept of bioretention plantings which are natural to Louisiana.

- 9. Request to reconfigure the landscape and drainage maintenance through the following measures:
  - a. St. Tammany Parish Public Works will be responsible for the functionality of the drainage system including maintaining subsurface drainage pipe, ditches, and detention ponds located on pond parcels needed to provide proper storm drainage.
  - b. The property owner is responsible for maintaining the drainage servitudes/buffers areas outside of the Parish right of way.

**Staff Comment:** Staff supports this arrangement and looks forward to establishing a positive relationship whereby the development can provide native grasses and vegetation within the swales in the right of way to promote LID practices while allowing St. Tammany Parish the rights to maintain functionality of the drainage system.



- 10. Request to allow manufacturing, processing, packaging, storage, and distribution uses within buildings larger than 100,000 square to provide parking at the following ratio:
  - a. 1 space for every 10,000 square feet or occupant load, whichever is greater

**Staff Comment:** Current St. Tammany Parish parking minimums include 1 required space per every 1,000 square feet of warehouse use and 1 required space per every 350 square feet of retail use. Staff recognizes that these parking minimums were created with smaller buildings and business operations in mind and could require an exorbitant amount of parking within an industrial park of this capacity. Staff supports the reduction of required parking.

**Consistency with New Directions 2040**

**Manufacturing & Logistics:** areas provide abundant space and access to infrastructure for a range of uses including advanced manufacturing, storage and distribution, maritime uses, and utilities. These uses serve important economic goals, including provision of living-wage jobs and contribution to a strong tax base. However, some of these uses can negatively impact surrounding communities through truck traffic, noise, and pollution. Manufacturing and Logistics areas are therefore located away from sensitive ecological areas and existing and planned residential areas, and should be located adjacent to high capacity transportation corridors.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Policy 1:2:1 The Future Land Use Map contained within the Comprehensive Plan shall predominantly guide the assignment of zoning districts throughout the Parish

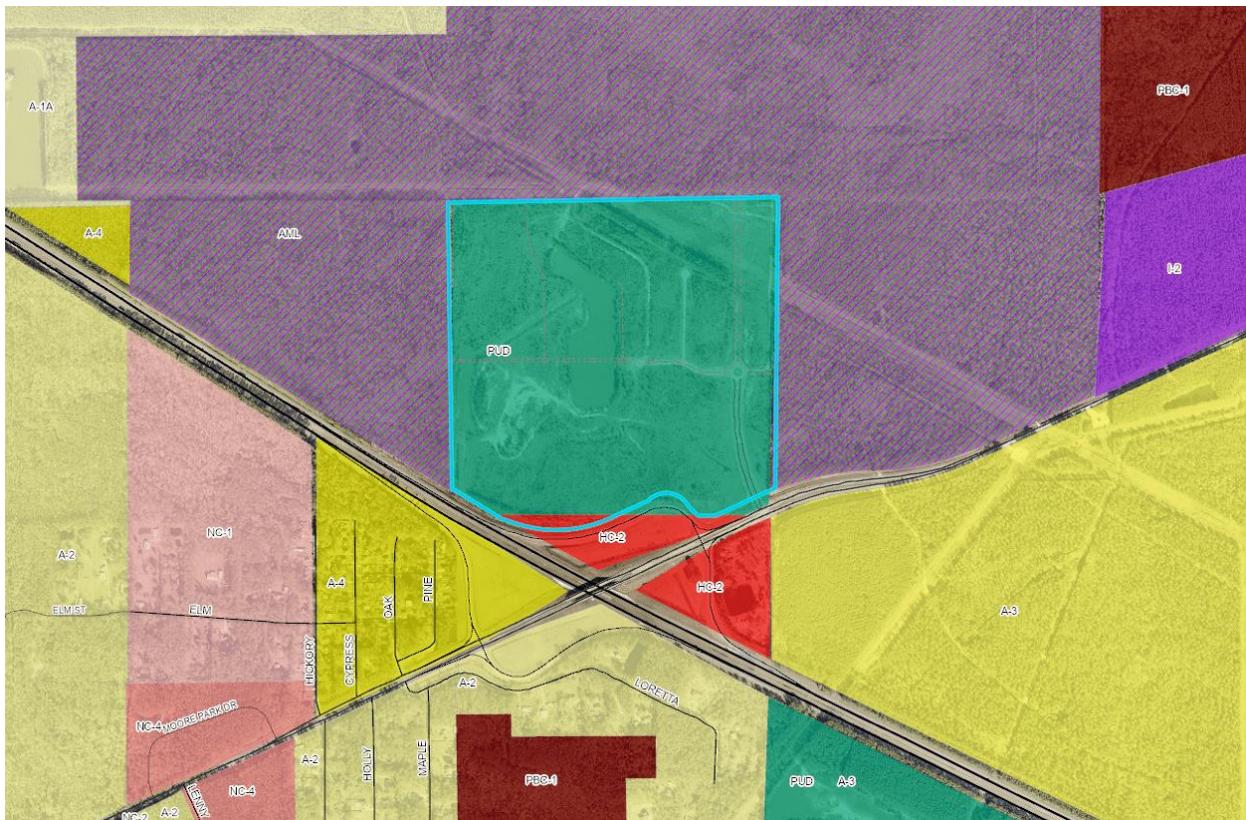


**ZONING STAFF REPORT**  
ZC01-03-028

**MICHAEL B. COOPER**  
PARISH PRESIDENT

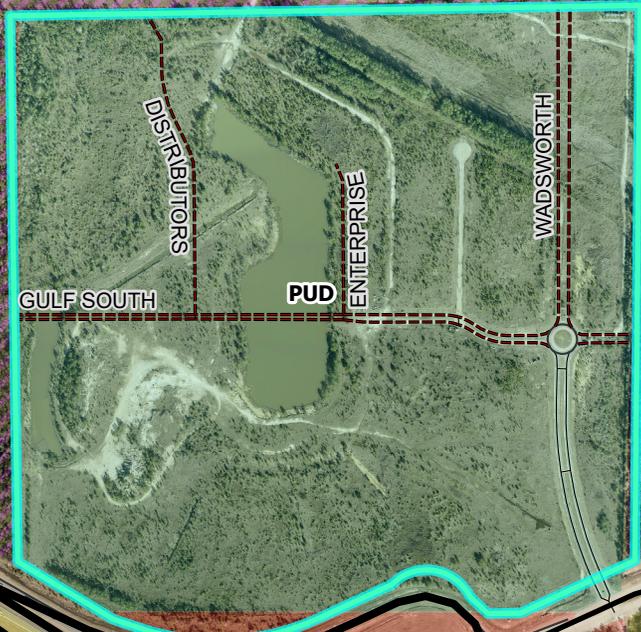
**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

- ii. Goal 4:1 Land and buildings will be developed in ways that lower the risk and incidence of flooding and flood damages caused by rainfall and storm surge.
- iii. Policy 1:4:1 Any development permitted in the Parish's "area of special flood hazard" shall be "low impact", employing systems and practices that use natural processes that promote infiltration, evapotranspiration or use of stormwater in order to reduce flood risk and protect water quality.
- iv. Strategy 2:5:1 Locate high intensity land uses adjacent to high-capacity transportation corridors.
- v. Strategy 1:6:1 Promote, encourage and sometimes require sustainable stormwater-management techniques, such as pervious pavement and elevation on piers, in site planning and new construction.
- vi. Strategy 2:7:1 Encourage the use of green infrastructure – including but not limited to bioretention facilities, rain gardens, vegetated rooftops, rain barrels and permeable pavements – that exceeds minimum requirements in private development through incentives.
- vii. Goal 1:5 The Parish will designate adequate land served by supportive infrastructure for use by businesses and industries seeking to begin or expand.
- viii. Strategy 2:1:5 Maintain existing manufacturing and logistics areas, including Highway 59, and establish an industrial park around the interchange of Interstate 12 and Highway 434 or Highway 1088.
- ix. Goal 2:5 St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



A-1A

AML



NC-1

HC-2

HC-2

A-3

ELM

A-4

OAK

PINE

1088



LORETTA

A-2

PBC-1



MOORE PARK

NC-4

HICKORY

CYPRESS

HOLLY

A-2

LENNY

NC-4

MULBERRY

JUDITH

MAPLE

A-2

A-3

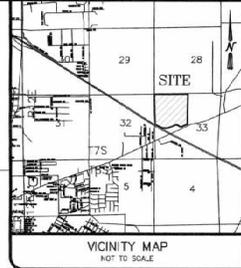
PUD

A-2

OSCAR

A-3

ZC01-03-028



2023-3464-MRP

NOTE: ALL SEWER, WATER DRAINAGE, ACCESS SERVICETUES SHOWN ON PRIOR MAPS OF PARCEL 1 ARE DELETED UNLESS INCLUDED ON THE PLAT.  
NOTE: POND PARCEL 1 AND ALL DRAINAGE & UTILITY SERVICETUES ARE TO BE DEDICATED TO ST. TAMMANY PARISH.

Line #	Length	Bearing
1A	20.00'	S74°45'34"E
1B	8.37'	S89°57'24"E
1C	26.28'	N00°48'32"E
1D	85.07'	N80°48'32"E
1E	18.84'	S02°48'02"W
1F	247.50'	N00°48'32"E
1G	100.17'	S02°48'02"W
1H	146.14'	S89°57'24"E
1I	115.52'	S89°57'24"E
1J	115.52'	S02°48'02"W
1K	115.52'	S02°48'02"W
1L	115.52'	S02°48'02"W
1M	115.52'	S02°48'02"W
1N	115.52'	S02°48'02"W
1O	115.52'	S02°48'02"W
1P	115.52'	S02°48'02"W
1Q	115.52'	S02°48'02"W
1R	115.52'	S02°48'02"W
1S	115.52'	S02°48'02"W
1T	115.52'	S02°48'02"W
1U	115.52'	S02°48'02"W
1V	115.52'	S02°48'02"W
1W	115.52'	S02°48'02"W
1X	115.52'	S02°48'02"W
1Y	115.52'	S02°48'02"W
1Z	115.52'	S02°48'02"W

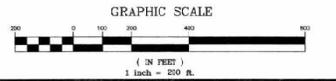
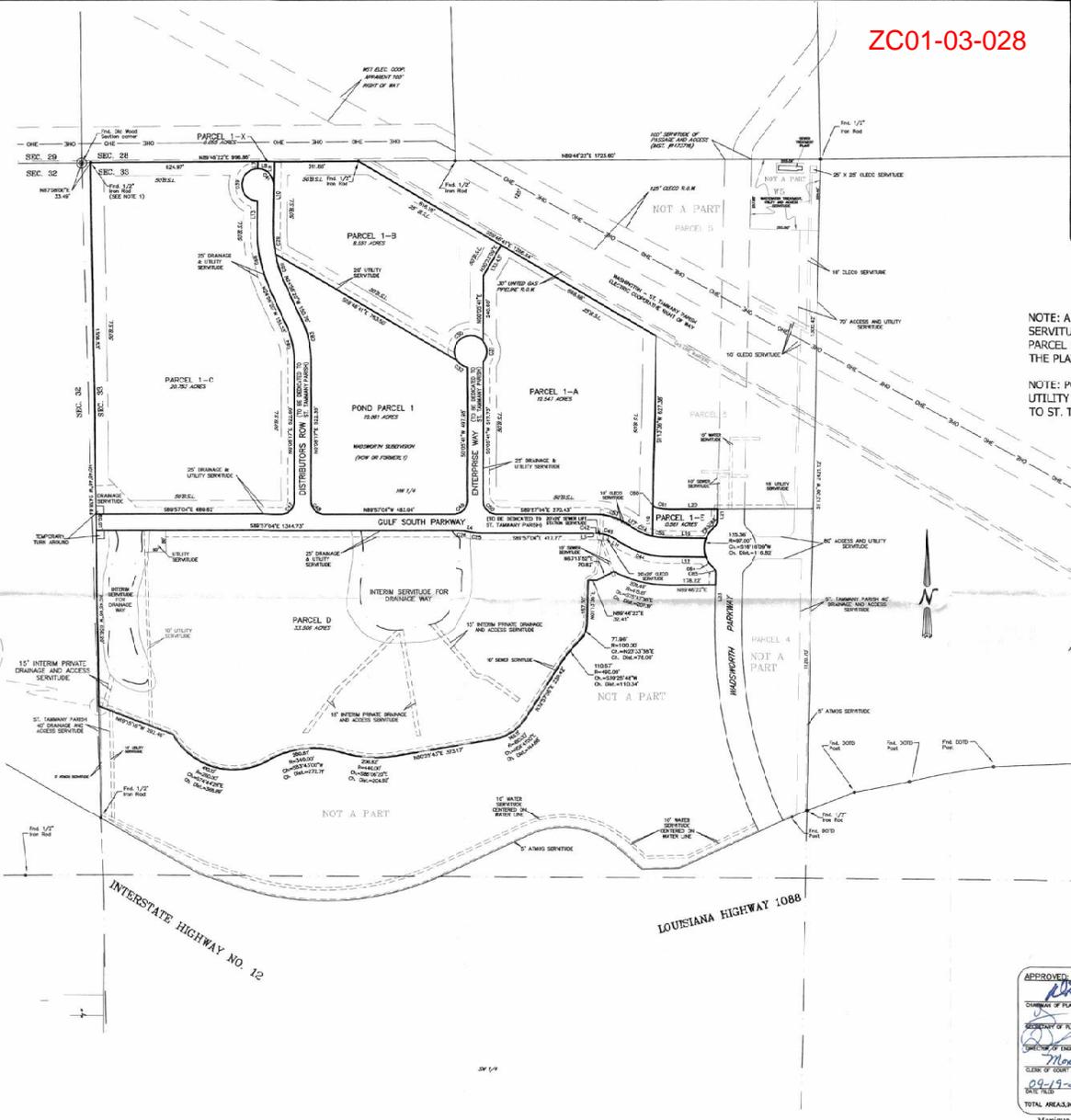
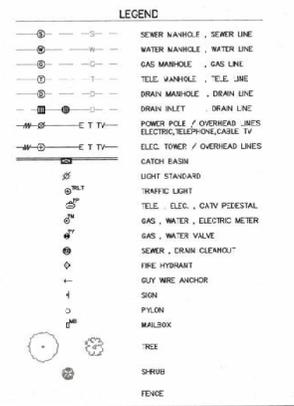
GENERAL NOTES  
1. THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON RECORD DRAWINGS PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES OF STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES.  
2. I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA.  
F.I.S.M. COMMUNITY MAP NO. 223205 0425 C, DATED: 10/7/1988  
FLOOD ZONE: C; BASE FLOOD ELEVATION: N/A.

REFERENCES  
1. SURVEY BY JOHN E. BONNEAU & ASSOCIATES, INC. DATE AUGUST 17TH, 1985 SURVEY NO. 80343  
2. SURVEY BY R.E. WILSON DATED 01/17/1994 SURVEY NO. 2032  
3. A FINAL PLAN OF WADSWORTH SUBDIVISION DATED 5/27/85, MAP FILE 5550  
4. A RESUBDIVISION SURVEY OF PARCELS 2 AND 3 INTO PARCELS 2-A AND 2-B, WADSWORTH SUBDIVISION, SECTION 23, 77S, 102E, ST. TAMMANY PARISH, LA., DATED 02/19/2001, RECORDED 03/29/2001, MAP FILE #06062  
5. A MINOR SUBDIVISION MAP OF 1152.4 ACRES INTO PARCELS 1, 2, & 3 SITUATED IN SECTIONS 28 & 29, 77S, 102E, ST. TAMMANY PARISH, LOUISIANA DATED 10/26/2001, RECORDED 02/15/2002, MAP FILE #0608.

NOTES  
1. THE 2" IRON ROD FOUND SHOWN IN THE NORTHWEST CORNER OF THE SUBDIVISION WAS RECOGNIZED AS THE SECTION CORNER COMMON TO SECTIONS 28, 29, 32 & 33, 1-72S, R-12-E, G.L.S., ST. TAMMANY PARISH, LOUISIANA, ON A PLAT BY RANDALL DIXON DATED 4/4/25, MAP FILE NO. 4186 AND ON A PLAT BY ROBERT W. HERRING DATED 5/27/85, MAP FILE NO. 5550. THIS IRON ROD WAS RECOGNIZED THE OLD WOOD FOUND 33.43' WEST OF THE IRON ROD FOUND AS THE TRUE CORNER AS SHOWN ON THE 8552 OLD TOWNSHIP PLAT.  
2.3 BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

Curve #	Length	Radius	Chord Bearing	Chord Distance
C01	87.51'	80.00'	S78°44'17"E	78.88'
C02	43.87'	90.00'	N78°47'56"W	33.99'
C03	4.87'	500.00'	S72°41'37"E	4.69'
C04	35.49'	200.00'	S84°56'17"E	28.54'
C05	35.49'	200.00'	S84°56'17"E	28.54'
C06	35.41'	400.00'	N84°52'52"W	30.57'
C07	181.22'	90.00'	S33°40'54"W	119.73'
C08	53.54'	50.00'	N00°05'41"E	38.26'
C09	45.48'	80.00'	S54°38'27"E	44.37'
C10	188.48'	90.00'	S00°48'02"W	153.99'
C11	35.33'	90.00'	N13°42'52"W	33.57'
C12	2.54'	140.00'	S89°22'22"E	2.34'
C13	84.91'	140.00'	S71°37'14"E	83.61'
C14	186.87'	305.00'	S71°44'42"E	183.71'
C15	78.47'	90.00'	N48°07'24"E	70.66'
C16	78.47'	90.00'	S48°54'24"E	70.77'
C17	78.50'	90.00'	N48°07'18"E	70.68'
C18	78.50'	90.00'	S48°54'42"E	70.74'
C19	130.87'	210.00'	N72°02'50"W	108.71'
C20	61.78'	230.00'	S00°47'07"E	51.97'
C21	51.00'	200.00'	S02°25'12"E	51.96'
C22	232.50'	940.00'	S11°31'17"E	232.70'
C23	111.00'	480.00'	S71°17'02"E	110.78'
C24	14.71'	12.30'	S33°53'29"E	13.87'
C25	50.21'	155.00'	S78°27'07"E	48.82'
C26	52.75'	25.30'	N07°13'20"E	51.84'
C27	52.74'	27.20'	S37°25'14"W	53.00'
C28	50.90'	27.20'	S37°25'14"W	50.30'
C29	21.77'	15.30'	N04°47'22"W	21.91'
C30	13.42'	10.20'	S09°07'38"E	13.47'
C31	50.81'	110.00'	N07°50'28"E	50.24'
C32	205.80'	1000.00'	S03°10'14"E	204.62'
C33	61.98'	200.00'	N82°11'09"E	67.44'
C34	138.47'	140.00'	S87°02'14"E	138.99'
C35	432.46'	1078.00'	S85°23'51"E	428.67'
C36	428.25'	22761.50'	S00°12'24"E	421.25'
C37	24.67'	140.00'	S74°29'30"E	24.94'
C38	33.67'	200.00'	S74°29'30"E	33.67'
C39	38.27'	50.00'	N78°47'52"E	37.27'
C40	33.32'	50.00'	S87°02'18"E	34.41'

Curve #	Length	Radius	Chord Bearing	Chord Distance
C01	35.49'	50.00'	S84°56'17"E	28.54'
C02	35.41'	400.00'	N84°52'52"W	30.57'
C03	157.50'	300.00'	N13°24'02"W	156.21'
C04	120.30'	300.00'	N13°24'02"W	120.26'



APPROVED: [Signature] 6/15/23  
COMMISSIONER OF PLANNING COMMISSION  
SECRETARY OF PLANNING COMMISSION [Signature] 6/15/23  
CLERK OF COURT [Signature] 6/15/23  
2023-3464-MRP  
Monique J. Bringsel, Deputy Clerk

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL  
1005 Shreveport Highway  
Shreveport, Louisiana 71206  
Phone: 855-645-0075 Fax: 855-644-0544

DATE: 6/15/23  
DRAWN BY: ID /mmk  
CHECKED BY: SEB  
DWG. NO.: 2023-30224  
SHEET: 1 OF 1

A RESUBDIVISION PLAT OF A PORTION OF PARCEL 1 INTO PARCELS 1-A, 1-B, 1-C, 1-D, 1-E, 1-X AND POND PARCEL 1 WADSWORTH SUBDIVISION, GULF SOUTH COMMERCE PARK, PH. 1A SECTION 23, 77S, 102E, ST. TAMMANY PARISH, LA., S.S. R-12-E, SECTION 23, 77S, 102E, ST. TAMMANY PARISH, LOUISIANA  
EXAMINATION MADE BY THE COMMISSIONER OF THE LANDS, AIRS AND WATER RESOURCES DEPARTMENT, STATE OF LOUISIANA  
CROSSY DEVELOPMENT COMPANY, LLC

**GENERAL NOTES**

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON ABOVEGROUND STRUCTURES AND RECORD DRAWINGS PROVIDED BY THE SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES OR STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES OR STRUCTURES MAY BE ENCOUNTERED. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THIS SURVEY TO LOCATE BURIED UTILITIES OR STRUCTURES.

I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND FOUND THIS PROPERTY IS NOT IN A SPECIAL FLOOD HAZARD AREA. F.I.R.M. COMMUNITY MAP NO. 225205 0245 C; DATED: 10/17/1989 FLOOD ZONE: C; BASE FLOOD ELEVATION: N/A.

- REFERENCES:
- 1.) SURVEY BY JOHN E. BONNEAU & ASSOCIATES, INC. DATE AUGUST 17TH, 1985 SURVEY NO. 85343.
  - 2.) SURVEY BY NED R. WILSON DATED 01/12/1994 SURVEY NO. 2032.
  - 3.) A FINAL PLAN OF WADSWORTH SUBDIVISION DATED 3/2/15, MAP FILE 5550.
  - 4.) RESUBDIVISION MAP BY J.V. BURKES & ASSOCIATES DATED 6/15/2023, LAST REVISED 8/14/2023, MAP FILE NO. 6252, FILED FOR RECORD 9/19/2023.
  - 5.) RESUBDIVISION MAP BY RICHMOND W. KREBS DATED 02/10/2021 WHICH CREATED PARCELS 2-A AND 3-A, FILED FOR RECORD 03/29/2021, MAP FILE NO. 60060.

NOTES:

- 1.) THE 1" IRON ROD FOUND SHOWN IN THE NORTHWEST CORNER OF THE SUBDIVISION WAS RECOGNIZED AS THE SECTION CORNER COMMON TO SECTIONS 29, 29, 32 & 33, T-7-S, R-12-E, GLD, ST. TAMMANY PARISH, LOUISIANA ON A PLAT BY RANDALL DIXON DATED 4/4/05, MAP FILE NO. 4186 AND ON A PLAT BY RICHMOND W. KREBS DATED 3/2/15, MAP FILE NO. 5550. THIS FIRM HAS RECOGNIZED THE OLD WOOD FOUND 33.49' WEST OF THE 1" IRON ROD FOUND AS THE TRUE CORNER AS SHOWN ON THE 1852 GLO TOWNSHIP PLAT.

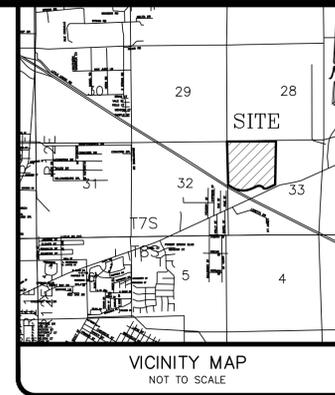
- 2.) BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

Curve #	Length	Radius	Chord Bearing	Chord Distance
C8	87.31'	60.00'	S78°44'58"E	79.81'
C9	93.03'	60.00'	N78°47'50"W	83.99'
C10	4.69'	500.00'	S75°41'31"E	4.69'
C25	35.69'	200.00'	S84°50'19"E	35.64'
C26	35.69'	200.00'	S84°50'19"E	35.64'
C29	95.16'	480.00'	N04°52'45"W	95.01'
C30	181.22'	60.00'	S53°40'54"W	119.78'
C31	83.54'	60.00'	N00°05'41"E	76.95'
C32	45.66'	80.00'	S94°38'50"E	44.57'
C39	188.48'	60.00'	S00°48'02"W	120.00'
C41	95.35'	60.00'	N43°40'52"W	85.63'
C42	2.34'	140.00'	S89°28'22"E	2.34'
C43	84.91'	140.00'	S71°37'14"E	83.61'
C44	186.60'	305.50'	S71°44'40"E	183.71'
C47	78.46'	50.00'	N45°05'36"E	70.66'
C48	78.62'	50.00'	S44°54'24"E	70.77'
C49	78.50'	50.00'	N45°04'18"E	70.68'
C50	78.58'	50.00'	S44°55'42"E	70.74'
C53	130.86'	210.00'	N72°05'56"W	128.76'
C54	91.78'	235.50'	S65°24'39"E	91.20'

Curve #	Length	Radius	Chord Bearing	Chord Distance
C55	52.06'	235.50'	S82°54'31"E	51.96'
C58	232.55'	540.00'	S11°32'12"E	230.76'
C59	111.00'	480.00'	S17°11'02"E	110.76'
C60	14.71'	12.00'	S33°53'35"E	13.81'
C61	50.21'	135.61'	S79°37'13"E	49.92'
C62	22.72'	25.00'	N27°15'35"E	21.94'
C63	53.74'	97.00'	S37°25'14"W	53.06'
C64	50.93'	97.00'	S35°47'48"E	50.35'
C65	22.72'	25.00'	N24°48'22"W	21.94'
C66	13.45'	50.00'	N69°09'36"E	13.41'
C67	59.61'	180.00'	N70°56'29"E	59.34'
C70	266.86'	1800.00'	S03°01'14"E	266.62'
C71	67.58'	300.00'	N83°19'09"E	67.44'
C72	191.49'	440.00'	S87°06'14"E	189.98'
C74	472.46'	1075.92'	S85°25'51"E	468.67'
C75	421.25'	22781.50'	S60°15'24"E	421.25'
C77	24.97'	140.00'	S74°20'10"E	24.94'
C78	35.67'	200.00'	S74°20'10"E	35.63'
C79	38.20'	50.00'	N78°40'10"E	37.27'
C80	35.13'	50.00'	S54°30'29"E	34.41'

Curve #	Length	Radius	Chord Bearing	Chord Distance
C81	36.99'	50.00'	N58°15'16"W	36.15'
C82	39.28'	50.00'	S82°04'13"W	38.28'
C83	157.56'	360.00'	N12°24'02"W	156.31'
C84	131.30'	300.00'	N12°24'02"W	130.26'

ZC01-03-028

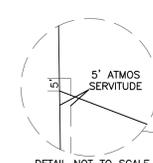
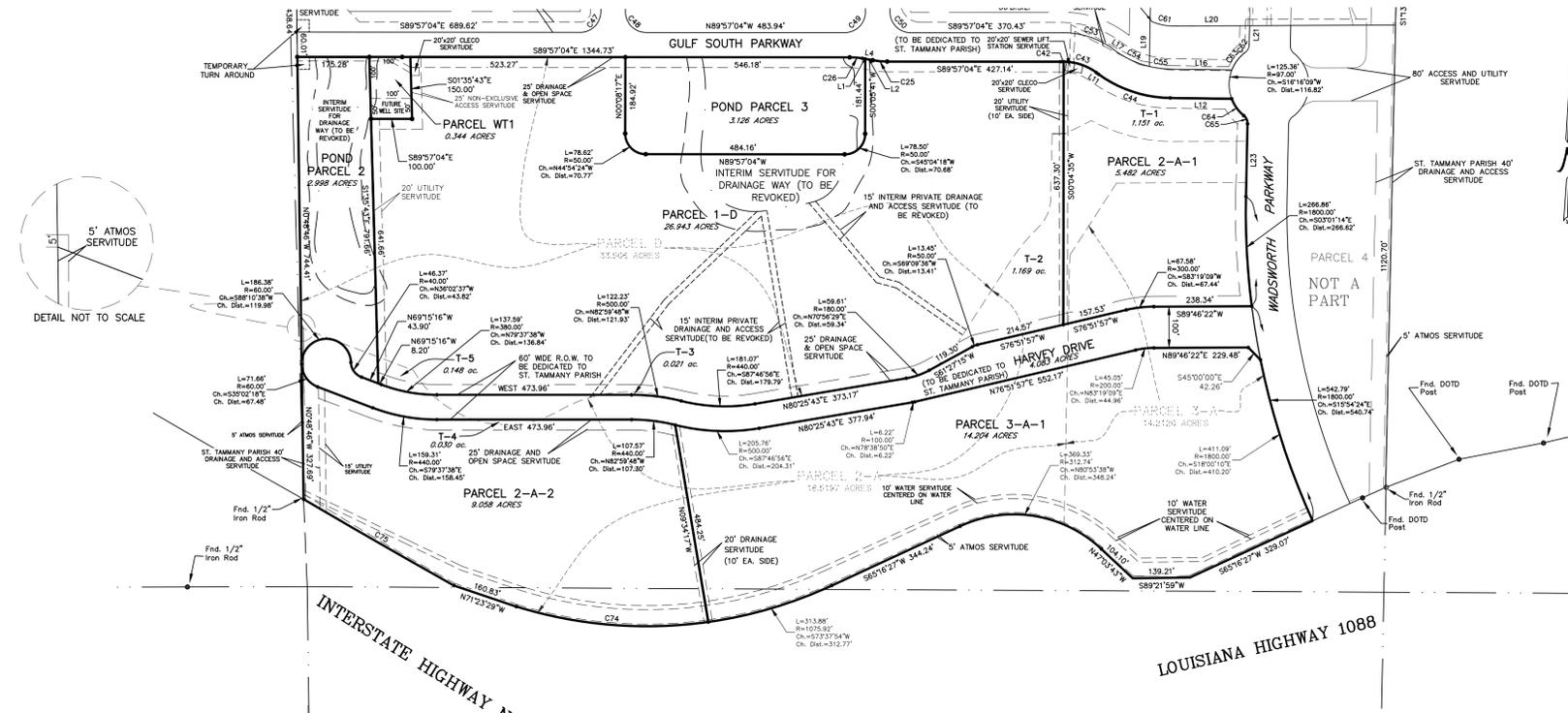


SEAN J. BURKES  
LA REG. NO. 9785

**J.V. Burkes & Associates, Inc.**  
SURVEYING ENGINEERING ENVIRONMENTAL

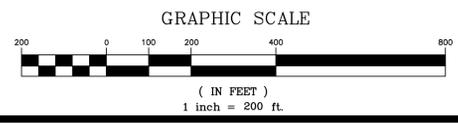
1805 Shortcut Highway  
Shreve, Louisiana 70565  
E-mail: jburkes@jvburkes.com  
Phone: 855-649-8075 Fax: 855-649-0154

Line #	Length	Direction
L1	2.38'	S79°43'34"E
L2	18.17'	S79°43'34"E
L4	20.55'	S79°43'34"E
L5	9.37'	S89°57'04"E
L7	26.28'	N00°48'02"E
L8	60.01'	N89°46'22"E
L9	88.45'	S00°48'02"W
L10	247.55'	N00°48'02"E
L11	6.86'	S54°14'48"E
L12	149.58'	S89°14'22"E
L13	100.19'	N00°48'02"E
L16	149.14'	S89°14'22"E
L17	6.86'	S54°14'48"E
L19	118.52'	N00°52'40"E
L20	185.33'	S89°46'22"W
L21	45.54'	S01°13'36"W
L22	119.30'	N61°27'15"E
L23	175.84'	S01°13'36"W



**LEGEND**

- ⊙ --- S --- SEWER MANHOLE, SEWER LINE
- ⊙ --- W --- WATER MANHOLE, WATER LINE
- ⊙ --- C --- GAS MANHOLE, GAS LINE
- ⊙ --- T --- TELE. MANHOLE, TELE. LINE
- ⊙ --- D --- DRAIN MANHOLE, DRAIN LINE
- ⊙ --- D --- DRAIN INLET, DRAIN LINE
- ⊙ --- E T V --- POWER POLE / OVERHEAD LINES ELECTRIC, TELEPHONE, CABLE TV
- ⊙ --- E T V --- ELEC. TOWER / OVERHEAD LINES
- ⊙ --- CATCH BASIN
- ⊙ --- LIGHT STANDARD
- ⊙ --- TRAFFIC LIGHT
- ⊙ --- TELE., ELEC., CATV PEDESTAL
- ⊙ --- GAS, WATER, ELECTRIC METER
- ⊙ --- GAS, WATER VALVE
- ⊙ --- SEWER, DRAIN CLEANOUT
- ⊙ --- FIRE HYDRANT
- ⊙ --- GUY WIRE ANCHOR
- ⊙ --- SIGN
- ⊙ --- PYLON
- ⊙ --- MAILBOX
- ⊙ --- TREE
- ⊙ --- SHRUB
- ⊙ --- FENCE



OWNER: LOVE'S TRAVEL STOPS & COUNTRY STORES, INC. DATE: \_\_\_\_\_

OWNER: THE AZBY FUND DATE: \_\_\_\_\_

OWNER: CROSBY DEVELOPMENT CO., LLC DATE: \_\_\_\_\_

**APPROVED:**

CHAIRMAN OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY OF PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

CLERK OF COURT \_\_\_\_\_ DATE \_\_\_\_\_

DATE FILED \_\_\_\_\_ FILE NO. \_\_\_\_\_

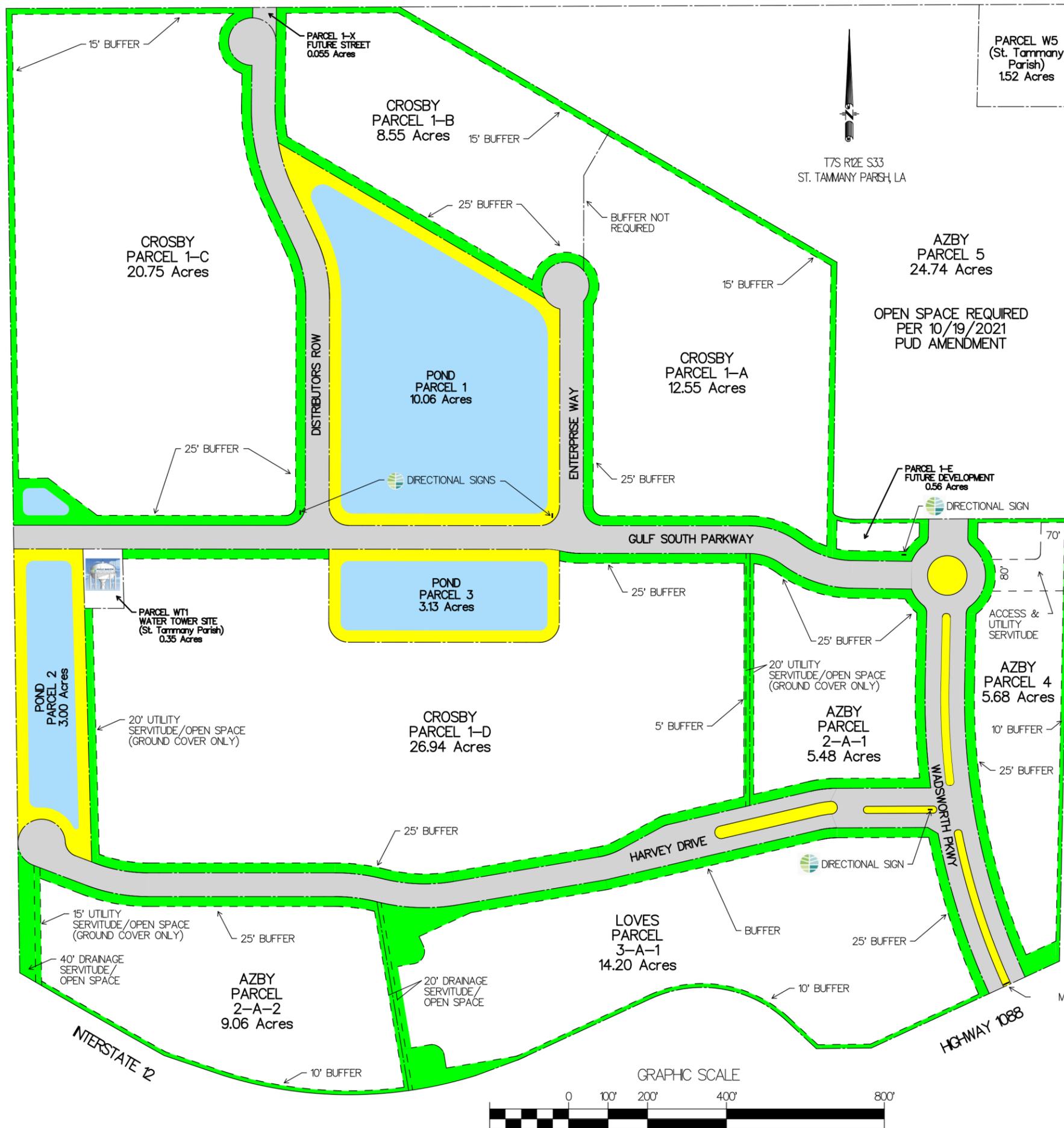
TOTAL AREA: 2,885,327.28 SQ. FT. OR 66.238 ACRES

NOTE: ALL SEWER, WATER, DRAINAGE & ACCESS SERVITUDES SHOWN ON MAP FILE 5550 ARE DELETED UNLESS INCLUDED ON THE PLAT.

NOTE: POND PARCELS 2 & 3 AND ALL DRAINAGE & UTILITY SERVITUDES ARE TO BE DEDICATED TO ST. TAMMANY PARISH.

REVISION	DATE	BY	DESCRIPTION
1	07/15/2024	RMB	REVISION PER PARISH COMMENTS
2	07/15/2024	RMB	REVISION PER PARISH COMMENTS
3	07/15/2024	RMB	REVISION PER PARISH COMMENTS
4	07/15/2024	RMB	REVISION PER PARISH COMMENTS
5	07/15/2024	RMB	REVISION PER PARISH COMMENTS
6	07/15/2024	RMB	REVISION PER PARISH COMMENTS
7	07/15/2024	RMB	REVISION PER PARISH COMMENTS
8	07/15/2024	RMB	REVISION PER PARISH COMMENTS
9	07/15/2024	RMB	REVISION PER PARISH COMMENTS
10	07/15/2024	RMB	REVISION PER PARISH COMMENTS
11	07/15/2024	RMB	REVISION PER PARISH COMMENTS
12	07/15/2024	RMB	REVISION PER PARISH COMMENTS
13	07/15/2024	RMB	REVISION PER PARISH COMMENTS
14	07/15/2024	RMB	REVISION PER PARISH COMMENTS
15	07/15/2024	RMB	REVISION PER PARISH COMMENTS
16	07/15/2024	RMB	REVISION PER PARISH COMMENTS
17	07/15/2024	RMB	REVISION PER PARISH COMMENTS
18	07/15/2024	RMB	REVISION PER PARISH COMMENTS
19	07/15/2024	RMB	REVISION PER PARISH COMMENTS
20	07/15/2024	RMB	REVISION PER PARISH COMMENTS
21	07/15/2024	RMB	REVISION PER PARISH COMMENTS
22	07/15/2024	RMB	REVISION PER PARISH COMMENTS
23	07/15/2024	RMB	REVISION PER PARISH COMMENTS
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40	07/15/2024	RMB	REVISION PER PARISH COMMENTS
41	07/15/2024	RMB	REVISION PER PARISH COMMENTS
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97	07/15/2024	RMB	REVISION PER PARISH COMMENTS
98	07/15/2024	RMB	REVISION PER PARISH COMMENTS
99	07/15/2024	RMB	REVISION PER PARISH COMMENTS
100	07/15/2024	RMB	REVISION PER PARISH COMMENTS

A RESUBDIVISION PLAT OF A PORTION OF PARCELS 1-D, 2-A-1, 2-A-2, 3-A-1, 3-A-2, 3-A-3, 3-A-4, 3-A-5, 3-A-6, 3-A-7, 3-A-8, 3-A-9, 3-A-10, 3-A-11, 3-A-12, 3-A-13, 3-A-14, 3-A-15, 3-A-16, 3-A-17, 3-A-18, 3-A-19, 3-A-20, 3-A-21, 3-A-22, 3-A-23, 3-A-24, 3-A-25, 3-A-26, 3-A-27, 3-A-28, 3-A-29, 3-A-30, 3-A-31, 3-A-32, 3-A-33, 3-A-34, 3-A-35, 3-A-36, 3-A-37, 3-A-38, 3-A-39, 3-A-40, 3-A-41, 3-A-42, 3-A-43, 3-A-44, 3-A-45, 3-A-46, 3-A-47, 3-A-48, 3-A-49, 3-A-50, 3-A-51, 3-A-52, 3-A-53, 3-A-54, 3-A-55, 3-A-56, 3-A-57, 3-A-58, 3-A-59, 3-A-60, 3-A-61, 3-A-62, 3-A-63, 3-A-64, 3-A-65, 3-A-66, 3-A-67, 3-A-68, 3-A-69, 3-A-70, 3-A-71, 3-A-72, 3-A-73, 3-A-74, 3-A-75, 3-A-76, 3-A-77, 3-A-78, 3-A-79, 3-A-80, 3-A-81, 3-A-82, 3-A-83, 3-A-84, 3-A-85, 3-A-86, 3-A-87, 3-A-88, 3-A-89, 3-A-90, 3-A-91, 3-A-92, 3-A-93, 3-A-94, 3-A-95, 3-A-96, 3-A-97, 3-A-98, 3-A-99, 3-A-100, 3-A-101, 3-A-102, 3-A-103, 3-A-104, 3-A-105, 3-A-106, 3-A-107, 3-A-108, 3-A-109, 3-A-110, 3-A-111, 3-A-112, 3-A-113, 3-A-114, 3-A-115, 3-A-116, 3-A-117, 3-A-118, 3-A-119, 3-A-120, 3-A-121, 3-A-122, 3-A-123, 3-A-124, 3-A-125, 3-A-126, 3-A-127, 3-A-128, 3-A-129, 3-A-130, 3-A-131, 3-A-132, 3-A-133, 3-A-134, 3-A-135, 3-A-136, 3-A-137, 3-A-138, 3-A-139, 3-A-140, 3-A-141, 3-A-142, 3-A-143, 3-A-144, 3-A-145, 3-A-146, 3-A-147, 3-A-148, 3-A-149, 3-A-150, 3-A-151, 3-A-152, 3-A-153, 3-A-154, 3-A-155, 3-A-156, 3-A-157, 3-A-158, 3-A-159, 3-A-160, 3-A-161, 3-A-162, 3-A-163, 3-A-164, 3-A-165, 3-A-166, 3-A-167, 3-A-168, 3-A-169, 3-A-170, 3-A-171, 3-A-172, 3-A-173, 3-A-174, 3-A-175, 3-A-176, 3-A-177, 3-A-178, 3-A-179, 3-A-180, 3-A-181, 3-A-182



LEGEND

- 1. PARCELS
- 2. BUFFERS/OPEN SPACE
- 3. STREETS
- 4. PONDS
- 5. COMMON LANDSCAPE AREAS

OPEN SPACE CALCULATION

Total Parcel Area	128.71
Buffer Areas	15.01
Medians	0.63
Ponds	16.19
Total Open Space	31.83
<b>Total Area</b>	<b>160.54</b>
Total Provided	19.8%
Total Required	15.0%

ZC01-03-028

MAINTENANCE NOTES

1. Property Owner is responsible for all maintenance of their property.
2. Property Owner is responsible for the grass cutting and landscape maintenance of any Buffer areas and street ROWs adjacent to their property.
3. All Streets are to be dedicated to St. Tammany Parish for maintenance.
4. Ponds to be maintained by St. Tammany Parish.
5. Common Landscape areas to be maintained by the property owners association.
6. Signage to be maintained by the property owners association.
7. Refer to PUD Document for additional maintenance requirements.



MONUMENT & DIRECTIONAL SIGN NOTES

- Single face internally illuminated monument sign in designated area.
- Sign will be aluminum fabricated welded internal aluminum angle frame and 1/8" thick face. Acrylic backed copy w/ vinyl decoration per corporate branding specifications.
- Logo mark and name vinyl will be digitally printed to match provided PMS colors.
- Sign cabinet and pole cover will have painted finishes to match.
- Sign will be internally illuminated w/ single sided white LED low voltage power.
- Sign back will be removable via countersink fasteners for installation and service access.
- Sign will be supported w/ (2) standard wall steel pipes in concrete footers as required by engineer calculations to meet current wind load requirements.
- Directional Signs same as above except signs will be double face and non-illuminated.



Phases 1-A and 1-B  
PUD Plan

Drawn By: JLC Date: 1/13/2024

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## Proposed PUD Amendment for Wadsworth Subdivision – January 13, 2024

### Name Change

The name of the Subdivision/PUD shall be changed to Gulf South Commerce Park Phase 1.

### Signage

Signage shall be permitted per the attached Gulf South Commerce Park PUD Plan dated 1/13/2023. This approval does not preclude the installation of other signs which may be authorized by future PUD amendments and approved by St. Tammany Parish.

### Open Space

Minimum Open Space required per the attached Gulf South Commerce Park PUD Plan dated 1/13/2023.

### Land Uses

In addition to current approved uses under this PUD, the uses shall be expanded and clarified to include the following:

1. Manufacturing, advanced
2. Manufacturing, artisan
3. Manufacturing, light
4. Wastewater treatment facility
5. Electrical energy substation

### Applicable Parcels.

The following shall be allowed as an alternate drainage, parking, and landscaping design for AML buildings which are adjacent to other AML uses. This amendment applies only to Parcels 1-A, 1-B, 1-C, 1-D, 1-E, Pond Parcel 1, Pond Parcel 2, and Pond Parcel 3 (Crosby owned properties). Parcel 1-X is for a future Street ROW and Parcel WT1 is to be dedicated to St. Tammany Parish. The setback requirements contained herein do not apply to Parcels 2-A-1, 2-A-2, 3-A-1, 4, and 5. (Azby & Loves owned properties.)

### General standards for required landscaping.

(a) *Plant condition and installation.*

(1) *Condition of plants.* All plant materials shall be alive and in a healthy condition when planted.

(2) *Installation of plants.* All plant material shall be installed in a fashion that ensures the availability of sufficient soil and water to sustain healthy growth.

(b) *Definition of trees and shrubs, native species.*

(1) *Canopy Tree.* Any self-supporting woody plant of a species which normally grows to an overall height of a minimum of 50 feet, usually with one main stem or trunk although some species may have multiple trunks, and with many branches. Any species not listed below shall be submitted for consideration.

Canopy Tree	
Common Name	Scientific Name
Southern sugar maple	<i>Acer barbatum</i>
Swamp red maple	<i>Acer rubrum drummondii</i>
Red maple	<i>Acer rubum l. var. rubum</i>
Pecan	<i>Carya illinoensis</i>
American beech	<i>Fagus grandiflora</i>
Sweetgum	<i>Liquidambar styraciflua</i>
Tulip poplar	<i>Liriodendron tulipifera</i>
Southern magnolia	<i>Magnolia grandiflora</i>
Big Leaf Magnolia	<i>Magnolia macrophylla</i>
Sweetbay magnolia	<i>Magnolia virginiana</i>
Black Gum	<i>Nyssa sylvatica</i>
Slash pine	<i>Pinus elliotii</i>
Spruce pine	<i>Pinus glabra</i>
Longleaf pine	<i>Pinus palustris</i>
Loblolly pine	<i>Pinus taeda</i>
American sycamore	<i>Platanus occidentalis</i>
Black cherry	<i>Prunus serotina</i>
White oak	<i>Quercus alba</i>
Red oak	<i>Quercus falcata</i>
Overcup oak	<i>Quercus lyrata</i>
Swamp chestnut oak	<i>Quercus michauxii</i>
Nuttall oak	<i>Quercus nuttallii</i>
Willow oak	<i>Quercus phellos</i>
Shumard oak	<i>Quercus shumardii</i>
Southern live oak	<i>Quercus virginiana</i>
Pond cypress	<i>Taxodium ascendens</i>
Bald cypress	<i>Taxodium distichum</i>
Winged elm	<i>Ulmus alata</i>
American elm	<i>Ulmus americana</i>

(2) *Understory Tree*. Any self-supporting woody plant of a species which normally grows to an overall height of a minimum of 25 feet, with one or more main stem or trunk and many branches. Any species not listed below shall be submitted for consideration.

Understory Tree	
Common Name	Scientific Name
Bottlebrush buckeye	<i>Aesculus parviflorum</i>
Red buckeye	<i>Aesculus avia</i>

River birch	<i>Betula nigra</i>
Ironwood or blue beech	<i>Carpinus carolinian</i>
Southern catalpa	<i>Catalpa bignonioides</i>
Redbud	<i>Cercis canadensis</i>
Greybeard	<i>Chionanthus virginicus</i>
Parsley hawthorn	<i>Crataegus marshallii</i>
Persimmon	<i>Diospyros virginiana</i>
Silver bell	<i>Halesia dipteral</i>
Fosters holly, savannah holly, etc.	<i>Ilex attenuata cultivars</i>
Cassine or dahoon holly	<i>Ilex cassine</i>
Deciduous holly	<i>Ilex decidua</i>
Yaupon	<i>Ilex vomitoria</i>
Weeping yaupon	<i>Ilex vomitoria pendula</i>
Crape Myrtles, Etc.	<i>Lagerstroemia indica</i>
Southern crabapple	<i>Malus angustifolia</i>
Red mulberry	<i>Morus rubra</i>
Wax myrtle	<i>Myrica cerifera</i>
Big leaf wax myrtle	<i>Myrica heterophylla</i>
Hop hornbeam	<i>Ostrya virginiana</i>
Red bay	<i>Persea borbonia</i>
American plum	<i>Prunus americana</i>
Cherry laurel	<i>Prunus caroliniana</i>
Mexican plum	<i>Prunus mexicana</i>
Black willow	<i>Salix nigra</i>
American snowbell	<i>Styrax americana</i>
Big leaf snowbell	<i>Styrax grandifolius</i>
Tree huckleberry	<i>Vaccinium arboreum</i>
Possumhaw viburnum	<i>Viburnum nudum</i>
Walter s viburnum	<i>Viburnum oboratum</i>

(2) *Native species.* Species of shrubs referred to as native species are set forth in list below. Native species is a defined term as used in this division; any species not listed below shall be submitted for consideration.

Native Shrubs	
Common Name	Scientific Name
Honeybells	<i>Agarista populifolia</i>
Serviceberry	<i>Amelanchier arborea</i>
Southern cane	<i>Arundinaria gigantea</i>
Azalea	<i>Azalea indica</i>
French mulberry	<i>Callicarpa americana</i>

Carolina Allspice	<i>Calycanthus floridus</i>
Camellia	<i>Camellia sasanqua</i>
Clethra	<i>Clethra alnifolia</i>
Strawberry Bush	<i>Euonymus americanus</i>
Crimson-eyed Rose Mallow	<i>Hibiscus moscheutos</i>
Oakleaf hydrangea	<i>Hydrangea quercifolia</i>
Inkberry Holly	<i>Ilex glabra</i>
Dahoon holly	<i>Ilex Myrt folia</i>
Winterberry	<i>Ilex verticillata</i>
Dwarf yaupon	<i>Ilex vomitoria nana</i>
Florida Anise	<i>Illicium floradanum</i>
Yellow anise	<i>Illicium parviflorum</i>
Virginia Sweetspire	<i>Itea virginica</i>
Fetterbush	<i>Lyonia spp.</i>
Giant Turk's Cap	<i>Malvaviscus arboreus</i>
Carolina Buckthorn	<i>Rhamnus caroliniana</i>
Wild azalea	<i>Rhododendron austrinum</i>
Wild azalea	<i>Rhododendron canescens</i>
Wild azalea	<i>Rhododendron serrulatum</i>
Palmetto	<i>Sabal minor</i>
Sassafras	<i>Sassafras albidum</i>
Blueberry/huckleberry	<i>Vaccinium species</i>
Arrowwood	<i>Viburnum dentate</i>

(c) *Minimum caliper and height of trees and shrubs.*

(1) *Canopy & Understory Trees.* All Canopy and Understory species trees, at the time of planting, shall have a minimum caliper of at least 1½ inches, measured six inches above the root ball, and a minimum height of eight to ten feet, as per the National Nursery Association Standards.

(2) *Shrubs.* All shrubs, at the time of planting, shall have a minimum height of 18 inches.

(d) *Credit for existing trees.*

(1) Existing trees and saplings less than 2½ inches DBH that are located in underbrush areas shall be credited towards the satisfaction of the minimum landscape planting requirements at the following exchange rate: 1 Canopy Tree per 100 sq. ft. of underbrush area.

**Building Setback Requirements.**

- (a) 50’ Building Setback when facing any street. Where a building is taller than 50 feet in height, one additional foot of setback shall be required in each yard. The height of each façade is measured separately, and the additional setback depth is required perpendicular to that facade.
- (b) 25’ Building Setback when not facing a street.

**Buffer planting area requirements on a street.**

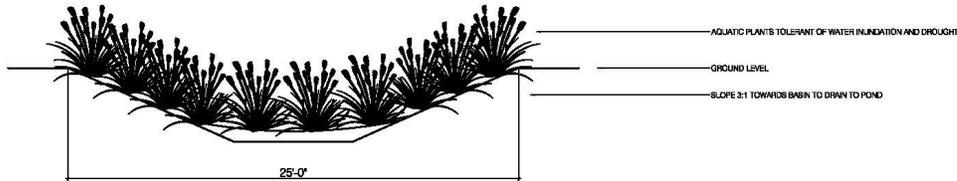
- (a) *Buffer planting area width.* A street planting area is the area along the street or road along which a property abuts which is designated for the preservation of trees and for landscaping. The minimum buffer width shall be 37 feet. Trees and shrubs shall not be allowed in the street ROW area however are allowed in the remaining 25’ of the buffer area. A minimum planting area of 150 sq. ft. per canopy tree and 75 sq. ft. per understory tree shall be provided. Trees are allowed in the side slopes however shall not be located in bottom of the swale or such that they will interrupt the efficient routine maintenance of the swale. The buffer planting area may be combined with the non-paved portion of the street ROW to create a vegetated swale with a minimum width 10 feet area to be allocated to create a swale for storm water runoff. The intent is to provide a more natural look for the area between the street and parking areas.

Bioretention Plants	
Common Name	Scientific Name
Swamp Milkweed	<i>Asclepias incarnata</i>
Aquatic Milkweed	<i>Asclepias perennis</i>
Blue Wild Indigo	<i>Baptisia australis</i>
Carex Appalachian Sedge	<i>Carex appalachica</i>
Lanceleaf Tickseed	<i>Coreopsis lanceolata</i>
Coneflower	<i>Echinacea purpurea</i>
Joe Pye Weed	<i>Eupatorium maculatum</i>
Crimson-eyed Rose Mallow	<i>Hibiscus moscheutos</i>
Spider Lily	<i>Hymenocallis caroliniana</i>
Virginia Sweetspire	<i>Itea virginica</i>
Cardinal Flower	<i>Lobelia cardinalis</i>
Royal Fern	<i>Osmunda regalis</i>
Switch Grass	<i>Panicum virgatum</i>
White top Sedge	<i>Rhynchospora latifolia</i>
Black-eyed Susan	<i>Rudbeckia amplexicaulis</i>
Showy Goldenrod	<i>Solidago speciosa</i>
Stokes' Aster	<i>Stokesia laevis</i>
Spiderwort	<i>Tradescantia spp</i>

- (b) Allowed and prohibited things in street planting area.

(1) Allowed in street planting area. Trees, shrubs, landscaping, fountains, and any other landscape architectural feature, specifically approved by the department of planning and development, are allowed. Subject to the other rules and limitations provided for in this division and other provisions of this chapter, sidewalks, driveways, signs, retention/detention ponds, drainageways and facilities, and decorative fences are allowed in street planting areas. The street landscape buffer must be combined with the non-paved portion of the street ROW to create a vegetated swale. The swale shall be a shallow open-channel drainage way stabilized with turf grass or other vegetation used to convey runoff and filter pollutants.

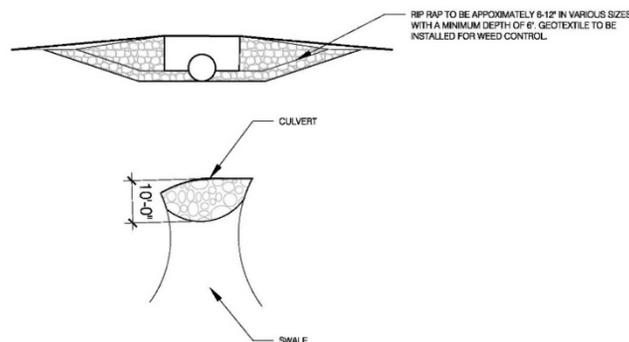
- (2) Prohibited in street planting areas. Everything not specifically allowed above is prohibited in street planting areas.
- (3) Decorative fences are decorative metal or wooden picket. Vinyl fences are not allowed.
- (c) *Maximum side slope.* The maximum side slope to be 3:1. All swales must be 5' minimum away from pavement edge. The swale may have structures such as berms, check dams, or weirs, placed perpendicular to the swale flow path to promote settling and infiltration to enhance detention and stormwater pollutant removal.
- (d) *Aquatic Zones.* An aquatic zone shall be created at each drain inlet for a minimum of 15' in each direction of the swale. This area shall be designed to hold water and support native aquatic vegetation.



a. *Plant species.* A minimum of 50% native plant species to be utilized and are to be tolerant to wide fluctuations in soil moisture content. 15' Aquatic zone required at drain inlet. Provide a perennial or grass as listed below every 36" within the 15' Aquatic zone.

Aquatic Plants	
Common Name	Scientific Name
Common Buttonbush	<i>Cephalanthus occidentalis</i>
Crinum Lilly	<i>Crinum americanum</i>
Crimson-eyed Rose Mallow	<i>Hibiscus moscheutos</i>
Copper Iris, Louisiana Iris	<i>Iris fulva, Iris 'Louisiana'</i>
Giant Blue Iris	<i>Iris giganticaerulea</i>
Dixie Iris	<i>Iris hexagona</i>
Saltmarsh Mallow	<i>Kosteletzkya pennaceous</i>
American Lotus	<i>Nelumbo lutea</i>
Pickereel Weed	<i>Pontederia cordata</i>
Bull Tongue Arrowhead	<i>Sagittaria lancifolia</i>
Powdery Alligator-Flag	<i>Thalia dealbata</i>
Giant Cutgrass	<i>Zizaniopsis miliacea</i>

- (e) *Utilities in street Buffer Planting Areas.* Street buffer planting areas may be used for drainage and detention, and generally not for underground utilities. Water and sewer lines shall be located within the street ROW. Other utilities such as electricity, gas, and fiber optics shall be in private servitudes adjacent to the buffer area. Due to the geometry of the street to avoid conflicts with other utilities, the occasional underground utility may cross the buffer area.
- (f) *Culverts.* Areas near culverts are to be covered with riprap for erosion control measures.



- (g) *Ground cover required.* Living vegetative ground cover material covering the entire surface of the street planting area other than driveways, sidewalks, retention/detention ponds, drainageways and facilities, fountains, signs, and other areas which are not plantable due to landscape architectural features.
- (h) Plants required in street planting area.
  - (1) *Trees and shrubs required.* The following minimum number of trees and shrubs shall be planted in the street planting area or areas (if the property abuts more than one street) each street planting area to be computed separately if there is more than one street planting area. Shrubs can be located in swale. If plants are to be placed in swale, the plant choices must be from the Bioretention plant list. Double the Bioretention plants are required for credit of Shrubs. For example: 1 Shrub Credit = 2 Perennials.

Width of Street Planting	Canopy Trees Required
37 Feet	1 Per 50 linear feet of street or road frontage
	Understory Trees Required
	1 Per 50 linear feet of street or road frontage
	Shrubs Required
	1 Per 25 linear feet of street or road frontage

**Landscape and Drainage Maintenance.**

- (a) *St. Tammany Parish Responsibilities.* St. Tammany Parish will be responsible for the road rights of way to include any cross culverts and all pond parcels located within this development. The developer/property owner is responsible for maintaining the drainage servitudes/buffer areas outside of the Parish ROW. St. Tammany Parish will be responsible for the functionality of the drainage system including maintaining subsurface drainage pipe, ditches, and detention ponds located on pond parcels needed to provide proper storm drainage.
- (b) *Property Owner Responsibilities.* The Property Owner is responsible for maintaining the drainage servitudes/buffer areas outside of the Parish ROW. The Property Owner shall be responsible for routine grass cutting and the maintenance of trees and other vegetation. The Property Owner shall also be responsible for the replacement of landscape vegetation that may be damaged by St. Tammany Parish while in the process of performing their stormwater drainage maintenance responsibilities.
- (c) *Drainage Servitudes.* Notwithstanding the agreement by the Parish with respect to drainage maintenance as set forth above, any changes in the current drainage system, drainage ponds or drainage servitudes at Wadsworth Subdivision will require the prior written approval and consent of all owners of the Wadsworth Subdivision, The Azby Fund and Love’s Travel Stops & Country Stores, Inc., and Crosby Development Co., LLC.

**Side and Rear buffer planting area requirements not on a street.**

- (a) *Buffer planting area width.* Buffer planting area shall be a minimum of 15 feet. Bioretention plantings in lieu of sod is encouraged to be planted in swale. Trees shall not be located in bottom of the swale or such that they will interrupt the efficient routine maintenance of the swale. Bioretention grasses and perennials are to be minimum of 1 gal. See list below.

Bioretention Plants	
Common Name	Scientific Name
Swamp Milkweed	<i>Asclepias incarnata</i>
Aquatic Milkweed	<i>Asclepias perennis</i>
Blue Wild Indigo	<i>Baptisia australis</i>
Carex Appalachian Sedge	<i>Carex appalachica</i>
Lanceleaf Tickseed	<i>Coreopsis lanceolata</i>
Coneflower	<i>Echinacea purpurea</i>
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Crimson-eyed Rose Mallow	<i>Hibiscus moscheutos</i>
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Whitetop Sedge	<i>Rhynchospora latifolia</i>
Black-eyed Susan	<i>Rudbeckia amplexicaulis</i>
Showy Goldenrod	<i>Solidago speciosa</i>
Stokes' Aster	<i>Stokesia laevis</i>
Spiderwort	<i>Tradescantia spp</i>

- (b) *Trees and shrubs required.* The following minimum number of trees and shrubs shall be planted in the buffers. Shrubs credit will be given to plant material planting in swale at a rate of 1 shrub is equivalent to 2 Bioretention grasses or perennials. For example: 1 Shrub Credit = 2 Perennials.

Width of Buffer Area	Canopy Trees Required
15 Feet	1 Per 50 linear feet of street or road frontage
	Understory Trees Required
	1 Per 50 linear feet of street or road frontage
	Shrubs Required
	1 Per 25 linear feet of street or road frontage

- (c) *Ground cover required.* Existing, preserved vegetation, additional new vegetative ground cover, and/or non-living mulch materials area required to cover the entire surface of the buffer planting area so that no bare ground is provided, other than driveways, sidewalks, and other areas which are not plantable due to landscape architectural features.
- (d) *Fences.* Fences are allowed but not required in accordance with fencing prohibitions listed in the street planting requirements.

**Parking landscaping requirements.**

- (a) *Screening for parking area.* Parking lot screening shall not be required.
- (b) *Specific interior parking landscape requirements.*
  - (1) *Landscape islands within rows.* No more than 12 parking spaces shall be permitted in a continuous row without being interrupted or terminated by a landscaped island or median of not less than 10 feet in width (including the curbs) and not less than the length of the parking space.
  - (2) *Landscape islands at end of rows.* Every parking row shall terminate in a landscaped island of not less than 10 feet in width (including the curbs) and not less than the length of the parking space; provided that a landscape island shall not be required at the end of a parking row where the end of the parking row abuts a street planting area or buffer planting area.
  - (3) *Medians between rows.* Every fourth row of parking shall be separated by a median strip for landscaping of not less than 10 feet in width (inclusive of curbs).
  - (4) *Required plants.* The landscaped islands shall contain a minimum of one Canopy tree. One Canopy tree for every 50 linear feet shall be planted in the required median between rows. The surface of the landscaped islands and medians shall be planted in a living vegetative ground cover.

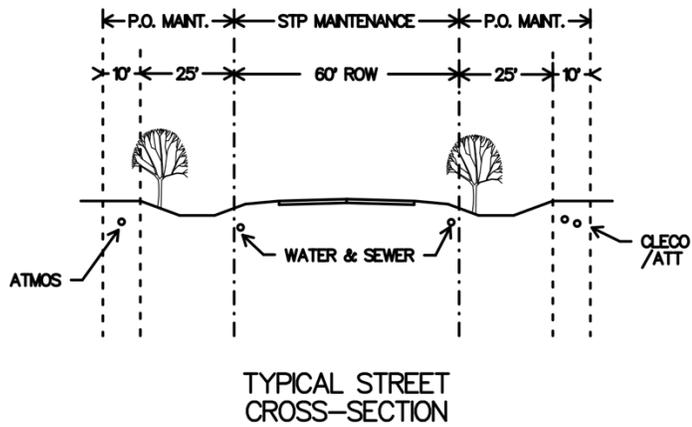
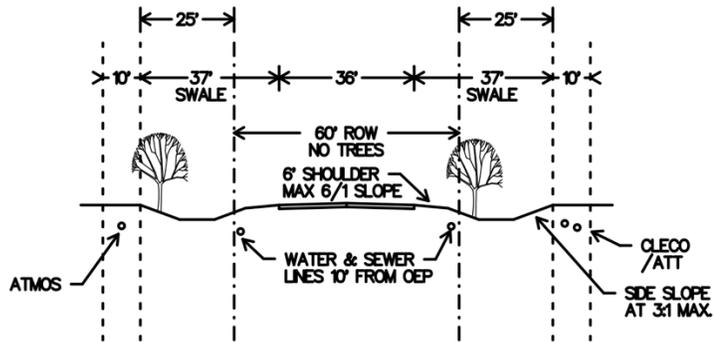
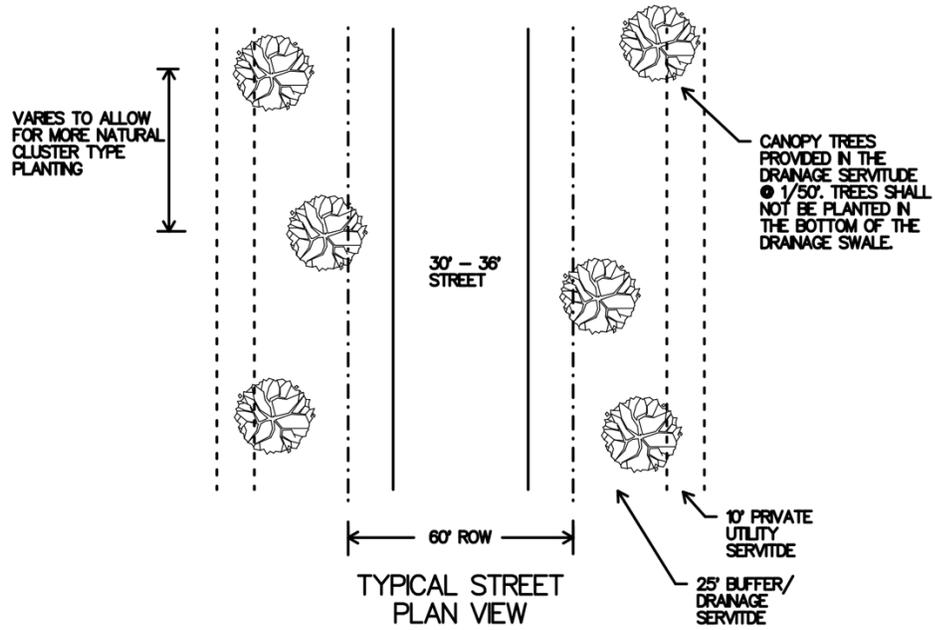
**Building facade landscaping requirements.**

- (a) *Definition.* The building façade planting area is located along the primary entrance, exterior wall of the building, between the base of the building and the adjacent vehicle use parking area for said building.
- (b) *Area, location, width, length.* The building façade planting area shall be the full length of the exterior building wall facing the vehicle use parking area, and no less than ten feet in width.
  - (1) *Pedestrian Entrance Plaza.* Entrance to the building shall have a small plaza area including a seating area for pedestrian use accompanied by shrubs and understory trees (minimum of 2). Shrubs required for Building Façade can be utilized in pedestrian entrance plaza.
  - (2) *Planting requirements:*

Linear Footage of Building Façade Planting	Understory Trees Required
	1 Per 50 linear feet of building façade
	Shrubs Required
	1 Per 10 linear feet of building façade

**Parking requirements.**

- (a) For buildings more than 100,000 square feet, the required parking for manufacturing, processing, packaging, storage, distribution, etc. uses shall be 1 space for every 10,000 square feet or occupant load whichever is greater. The occupant load is the maximum probable number of occupants present at any time.

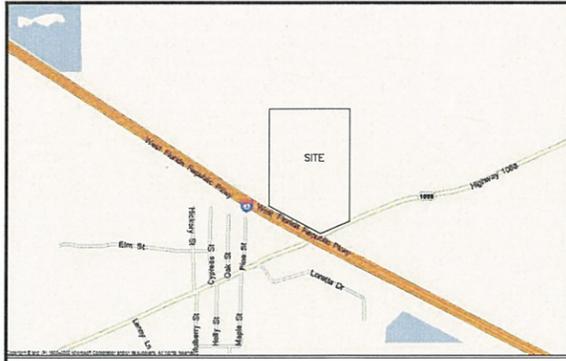




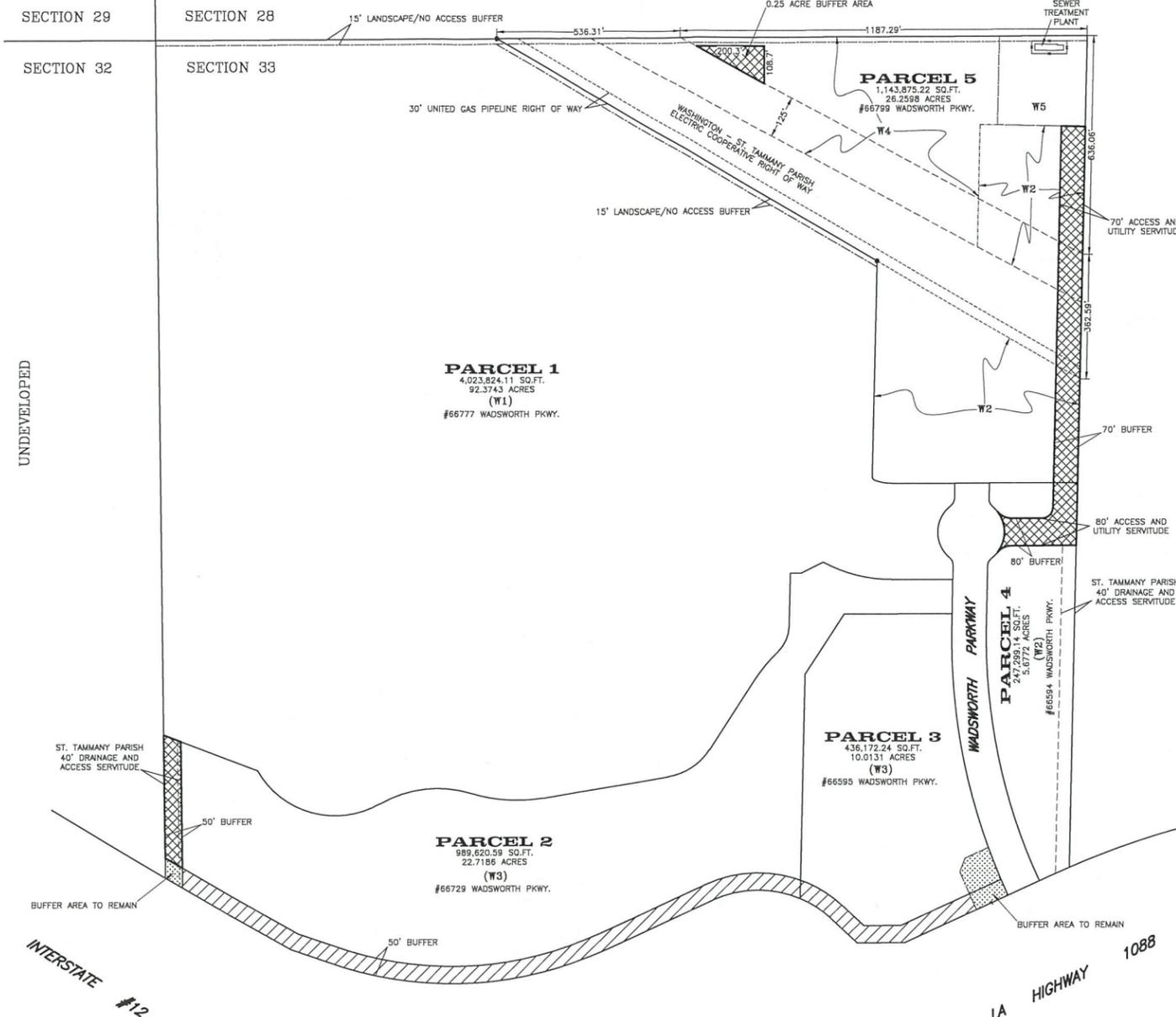


WADSWORTH SUBDIVISION  
SECTION 33 T7S R12E  
ST. TAMMANY PARISH, LA

ZC01-03-028: 2020 PUD Plan

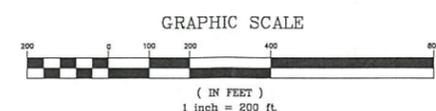


VICINITY MAP  
NOT TO SCALE



DENOTES BUFFER AREA TO BE RELOCATED  
2.85 ACRES

DENOTES RELOCATED BUFFER AREA  
2.90 ACRES



ALL ANGLES ARE 90° UNLESS NOTED OTHERWISE  
NOTE:  
SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY.  
DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE.  
FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES  
ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

ELEVATION NOTES
THIS IS TO CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: 10/17/89 FLOOD ZONE: C BASE FLOOD ELEVATION: N/A COMMUNITY PANEL #: 225205 0245 C
REFERENCE BENCH MARK: NGS MARKER ALCO ELEVATION: 5.8'

GENERAL NOTES
THE SERVICED SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVICEDS ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.
THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR.
THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.

REFERENCE NOTES
ANGLES AND/OR BEARINGS ARE BASED ON REFERENCE PLAN #1 REFERENCE PLAN #: KREBS, LASALLE, LEMIEUX CONSULTANTS DATED DECEMBER 31, 2012
DATE: FEBRUARY 21, 2020 SCALE: 1" = 200'
DRAWN BY: NDK CHECKED BY: RWK
JOB #: 208393

THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:IX, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY  
MADE AT THE REQUEST OF THE AZBY FUND

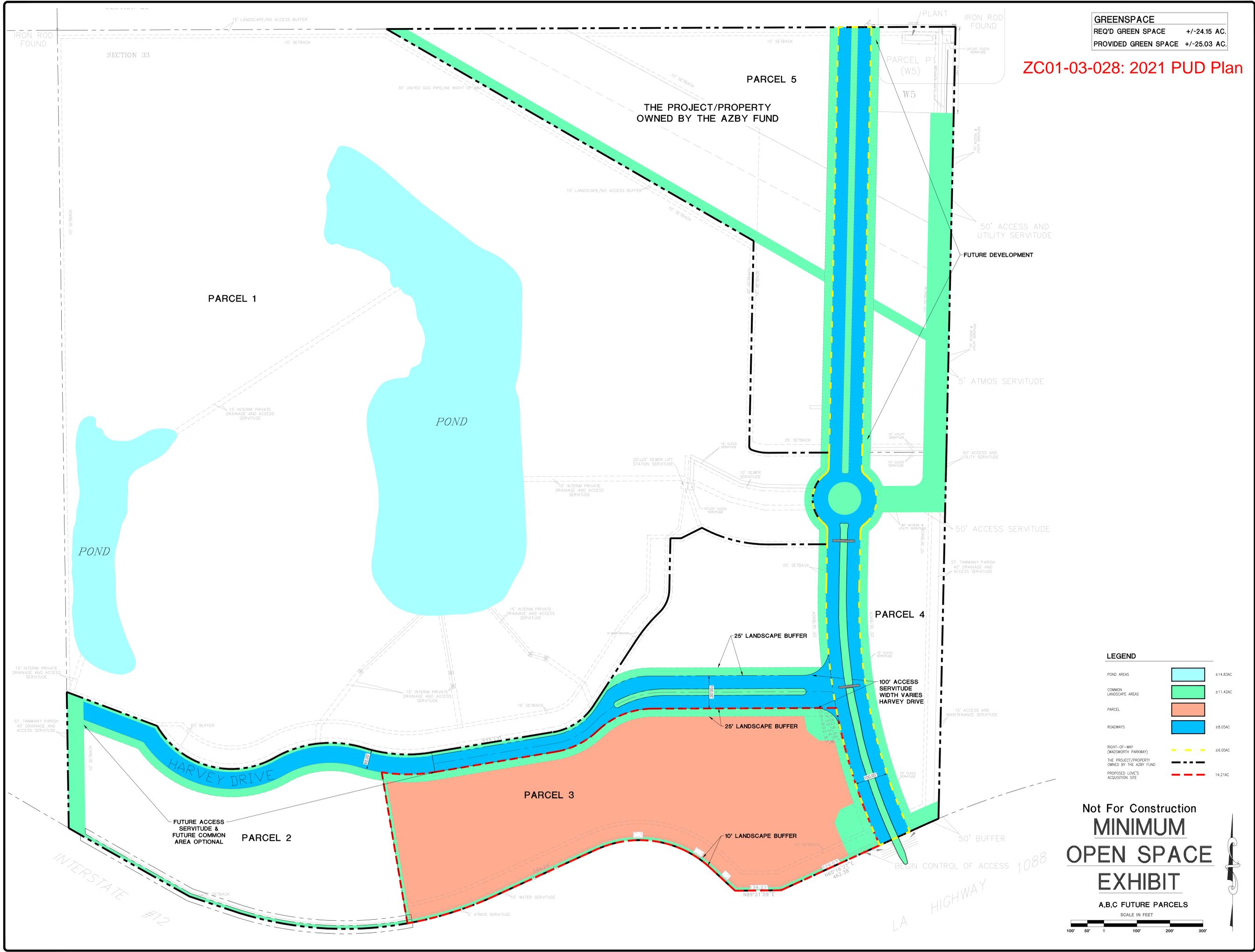
**PRELIMINARY FOR REVIEW**

BY: \_\_\_\_\_  
RICHMOND W. KREBS PLS# 4636

UNDEVELOPED

**R.W. KREBS**  
PROFESSIONAL LAND SURVEYING, LLC  
RICHMOND W. KREBS, SR., PLS  
3445 N. CAUSEWAY BLVD, SUITE 201  
METairie, LA. 70002  
PHONE: (504) 889-9616  
FAX: (504) 889-0916  
E-MAIL: richmond@rwkrebs.com  
WEB: www.rwkrebs.com

**BUFFER RELOCATION PLAN  
WADSWORTH SUBDIVISION  
SECTION 33, T7S - R12E  
ST. TAMMANY PARISH, LA**



GREENSPACE	
REQ'D GREEN SPACE	+/-24.15 AC.
PROVIDED GREEN SPACE	+/-25.03 AC.

ZC01-03-028: 2021 PUD Plan

REVISION	BY

16564 E. Brewster Road,  
Suite 101  
Cornington, LA 70433  
Office: 985.249.6180  
Fax: 985.249.6190  
www.ddgpc.com

**DDG**  
DUPLANTIS DESIGN GROUP

SIGNATURE \_\_\_\_\_  
DATE \_\_\_\_\_

STAMP

WADSWORTH COMMON AREA PLAN  
MANDEVILLE, LA  
ST. TAMMANY PARISH  
FOR AZBY FUND  
NEW ORLEANS, LA

**LEGEND**

POND AREAS		±14.83AC
COMMON LANDSCAPE AREAS		±11.42AC
PARCEL		
ROADWAYS		±8.05AC
RIGHT-OF-WAY (WADSWORTH PARKWAY)		±6.00AC
THE PROJECT/PROPERTY OWNED BY THE AZBY FUND		
PROPOSED LOVE'S ACQUISITION SITE		14.21AC

Not For Construction  
**MINIMUM OPEN SPACE EXHIBIT**

A,B,C FUTURE PARCELS

SCALE IN FEET  
100' 50' 0' 100' 200' 300'

DRAWN	DTS
CHECKED	THS
ISSUED DATE	10-20-21
ISSUED FOR	---
PROJECT NO.	14-175
FILE	14-175 EXHIBIT 8 MINIMUM OPEN SPACE EXHIBIT
SHEET	EX-8

\\A:\CAD\DWG\14-000\14-175\LOVES\EXHIBITS\14-175 EXHIBIT 8 MINIMUM OPEN SPACE EXHIBIT.dwg

## **WADSWORTH SUBDIVISION PUD – PERMITTED USE LIST:**

The Parcel designations below refer to the R.W. Krebs Plat dated March 2, 2015, recorded on June 30, 2016, Map File No. 5550 and revised by the R.W. Krebs Plat dated February 10, 2021, recorded on March 29, 2021, Map File No. 6006 D.

Permitted Land Uses - Parcels: 1, 2-A, 4 and 5

1. Research and Development
2. Aeronautics and aerospace research, development and manufacturing.
3. Automotive research, development and manufacturing.
4. Computer, electrical and electronics research, development and manufacturing.
5. Data centers and data warehousing.
6. Distribution and warehousing facilities.
7. Durable goods manufacturing.
8. Food products processing and manufacturing.
9. Furniture manufacturing.
10. Garment manufacturing.
11. Hydraulics and robotics research, development and manufacturing.
12. Pharmaceutical and medical research, development and manufacturing.
13. Software development and programming.
14. Scientific research and development services.
15. General, Professional and Medical Office Buildings and Hospitals.
16. Services and Retail.
17. Parcel Service.
18. Health and Fitness Centers.
19. Commercial Recreation – excluding riverboat gaming and associated facilities – outdoor.
20. Indoor Recreations Establishments, such as bowling alleys, skating rinks and movie theaters.
21. Music Studio, Radio and Television Studios, Broadcasting Stations, and Radio and Television Broadcasting Transmitters.
22. Parks and Playgrounds.
23. Banks and Financial Institutions including retail banks with drive through.
24. Grocery Stores.
25. Hotels, Motels and Convention Centers.
26. Restaurants and Lounges including Quick Service Restaurants with drive through.
27. Automotive Sales.
28. Bus, truck or other transportation terminals.
29. Car wash and truck wash facilities
30. Portable storage containers used for storage.
31. Drug Stores and Pharmacies.
32. Convenience Stores with gasoline sales.
33. Post office.
34. Funerary parlor, crematorium.

## **WADSWORTH SUBDIVISION PUD – PERMITTED USE LIST**

### **Continued:**

35. Passenger transportation terminals.
36. Churches, temples and synagogues greater than 10,000 square feet.
37. Government offices.
38. Government maintenance facilities.
39. Fire Stations
40. Private non-profit animal services, including but not limited to veterinary clinic, kennel, overnight boarding, grooming, animal training, dog park and pet cemetery, crematorium (animal only).
41. Outdoor storage yards and lots and contractor's storage yards in conjunction with an affiliated office. Visual screening required.
42. Hospitals and Medical Office buildings for overnight stay.
43. Emergency Rooms and affiliated helicopter landing pad.
44. Retirement communities
45. LTAC and drug and alcohol treatment facilities including overnight stay.

### **Site and Structure Provisions**

1. Maximum building size shall be 1,500,000 square feet.
2. Minimum lot area is 20,000 square feet.
3. A maximum building height of 120' shall be allowed on Parcels 1, 4, and 5.
4. A maximum building height of 200' is currently allowed on Parcels 2-A and 3-A.
5. Wastewater treatment plant, water well, and other uses that are similar and compatible thereto shall be allowed on Parcel 5.
6. Since the subdivision is a commercial PUD and 15% Open Space is required, maximum lot coverage provisions are not applicable. Open Space may include designated green spaces, ponds, hard surface open space, green spaces in street rights of way and building setback areas.
7. Minimum building setbacks shall be 25' Front, 10' Rear, 10' Side.



**ZONING STAFF REPORT**  
2023-3609-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the north side of Louisiana Highway 22 West, being 1846 Louisiana Highway 22 West, Madisonville; S17, T7S, R10E; Ward 1, District 1      **Council District:** 1

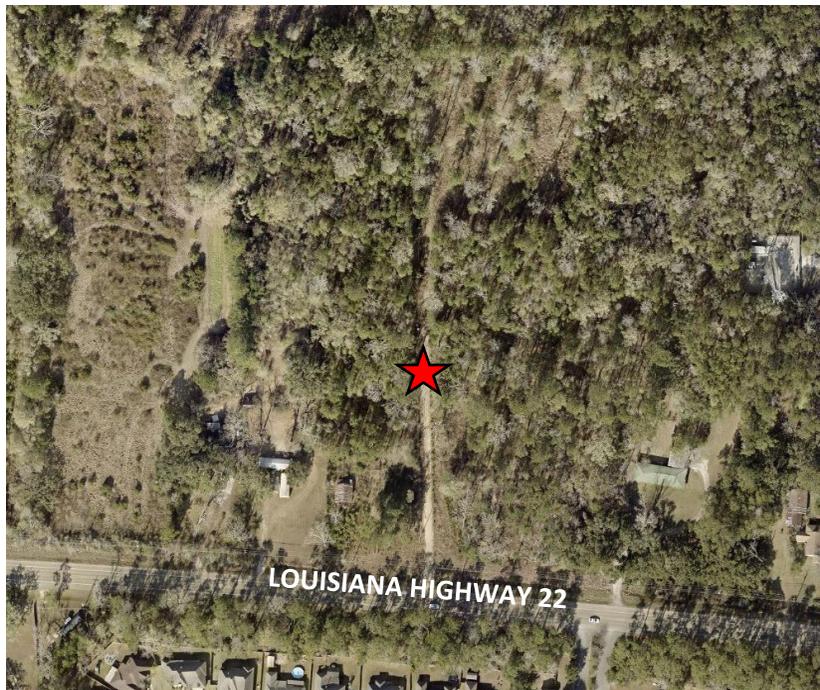
**Petitioner:** Jeffrey Schoen      **Posted:** January 22, 2024

**Owner:** Crosby Development LLC      **Commission Hearing:** February 6, 2024

**Size:** 7.001 acres

**Prior Determination:** Postponed at the December 6, 2023 and January 3, 2024 meetings

**Determination:** Approved, Denied, Postponed



**Current Zoning**

A-2 Suburban District

**Requested Zoning**

CBF-1 Community Based Facilities District

**Future Land Use**

Mixed Use and Residential Medium Intensity

**Flood Zone**

Effective Flood Zone C

Preliminary Flood Zone X

**Critical Drainage:**

No

**BFE:**

FFE is 12" above crown of street elevation

**FINDINGS**

1. The applicant is requesting to rezone a 7.001-acre parcel from A-2 Suburban District to CBF-1 Community Based Facilities District. The property is located on the north side of Louisiana Highway 22 West. The municipal address is 1846 Louisiana Highway 22 West, Madisonville.
2. Per the petitioner's application, the site is proposed to be develop with a softball and baseball facility.

*Zoning History*

3. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
09-2116	unknown	A-2 Suburban District

4. The subject property was zoned A-2 Suburban District during the 2009-2010 Comprehensive rezoning. At the end of 2020, the applicant had applied to rezone the property from A-2 Suburban District to HC-2 Highway Commercial District (Zoning Case No. 2020-2139-ZC). According to the applicant, the intention was to develop an RV and Boat Storage Facility. That zoning case was withdrawn.

*Site and Structure Provisions*



**ZONING STAFF REPORT**  
2023-3609-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

- 5. The subject property is composed of three separate lots and is currently developed with a vacant single-family residence.
- 6. The existing A-2 Suburban District allows for a minimum lot size of 1-acre parcel size with maximum allowable density of 1 unit per acre and minimum lot width of 150ft.

*Compatibility or Suitability with Adjacent Area*

- 7. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-2 Suburban District
South (across Highway 22)	Residential	PUD Planned Unit Development - Timberlane
East	Residential	A-2 Suburban District
West	Residential	A-2 Suburban District

- 8. The subject property is surrounded by residential zoning on all sides: Timberlane Subdivision/ Residential PUD Planned Unit Development to the south, across LA Highway 22, and A-2 Suburban District zoning on all other sides (north, east, and west).
- 9. The purpose of the existing A-2 Suburban District is to provide a single-family residential environment on large, multi-acre lots. The A-2 Suburban District is intended to be located primarily in less populated areas where the character of the area should be preserved through low densities. To protect the intention of the district, permitted activities are limited to single-family dwellings, certain specified agricultural, and utility uses. All strictly commercial uses are prohibited in the A-2 Suburban District.
- 10. The purpose of the requested CBF-1 Community Based Facilities district is to provide for the location of public and quasi-public uses that are appropriate within close proximity to residential districts. The allowed uses in a CBF-1 Community Based Facilities District include: Golf courses and recreational facilities owned by public or private entities, including restaurants, clubhouses, grills and retail (including sale of alcohol) when accessory to recreational facilities; Churches, temples and synagogues; Religious educational facilities; Clubs and lodges; Fraternal and religious institutions.
- 11. If approved, the applicant could place any of the permitted uses listed under the CBF-1 Zoning District:  
Golf courses and recreational facilities owned by public or private entities, including restaurants, clubhouses, grills and retail (including sale of alcohol) when accessory to recreational facilities, churches, temples, and synagogues, religious educational facilities, clubs and lodges, and fraternal and religious institutions.
- 12. To develop any of the above uses, the applicant will have to meet all applicable Parish requirements, including drainage, landscaping, and parking.



**ZONING STAFF REPORT**  
2023-3609-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

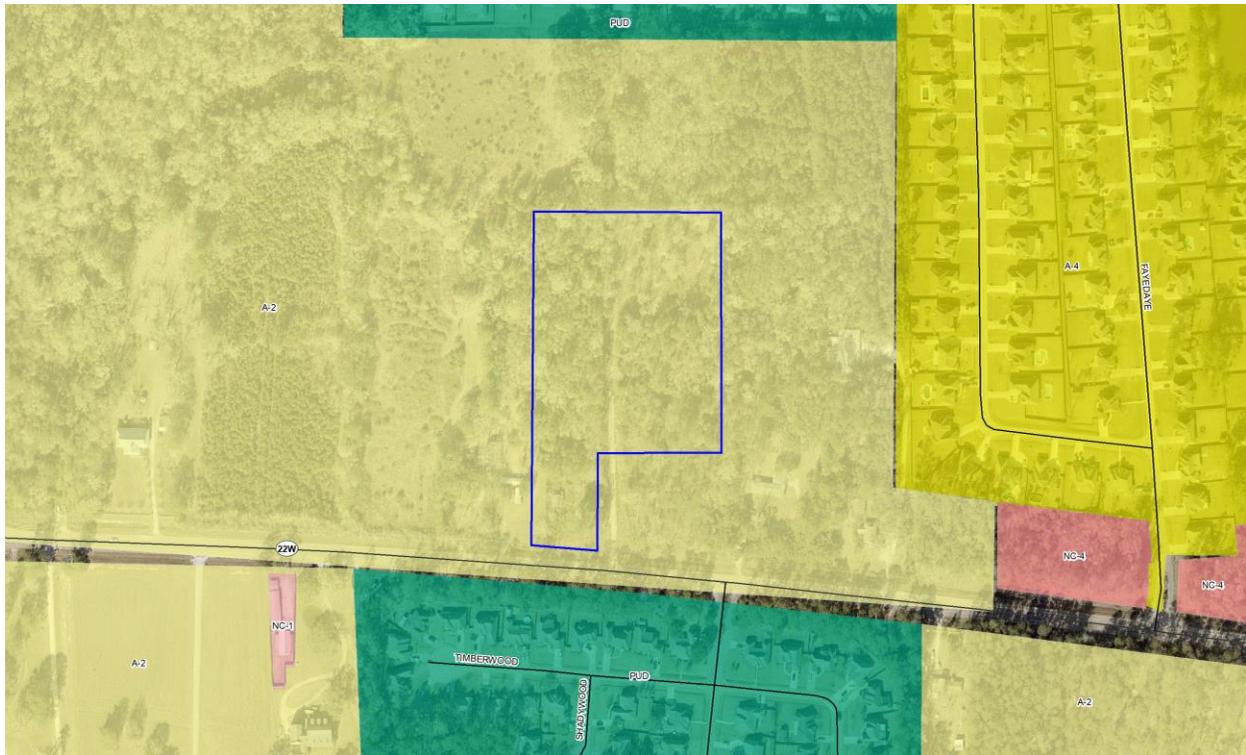
*Consistency with New Directions 2040*

**Residential Medium-Intensity** neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

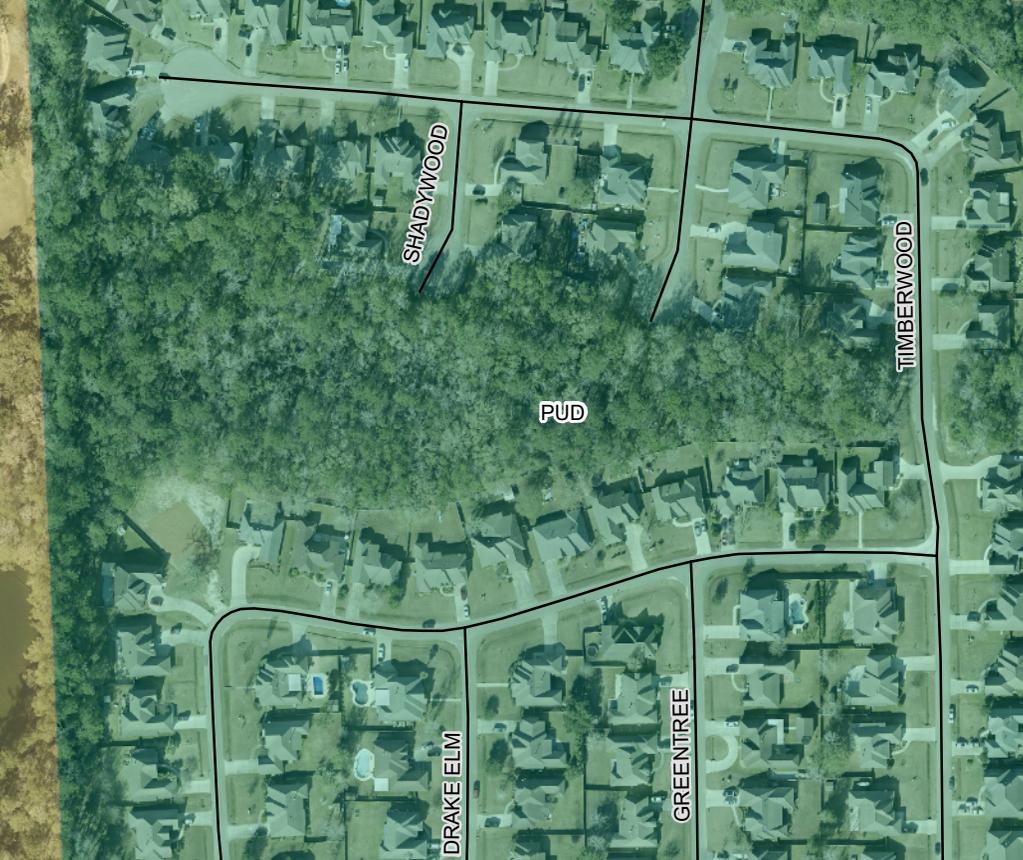
**Mixed Use** areas are flexible and appropriate for higher concentration of residential and commercial uses, allowing shorter trips between destinations and opportunities for walkable, compact development patterns. Mixed Use areas are typically located at or near the Parish’s existing hubs of activity and intersections of major roads, as well as along major traffic corridors. Mixed Use areas may also include higher density residential uses, such as garden apartments and condominiums.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish’s tax base and provide living wage jobs to residents of varying skill levels.
- ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



A-2  
2023-3609-ZC

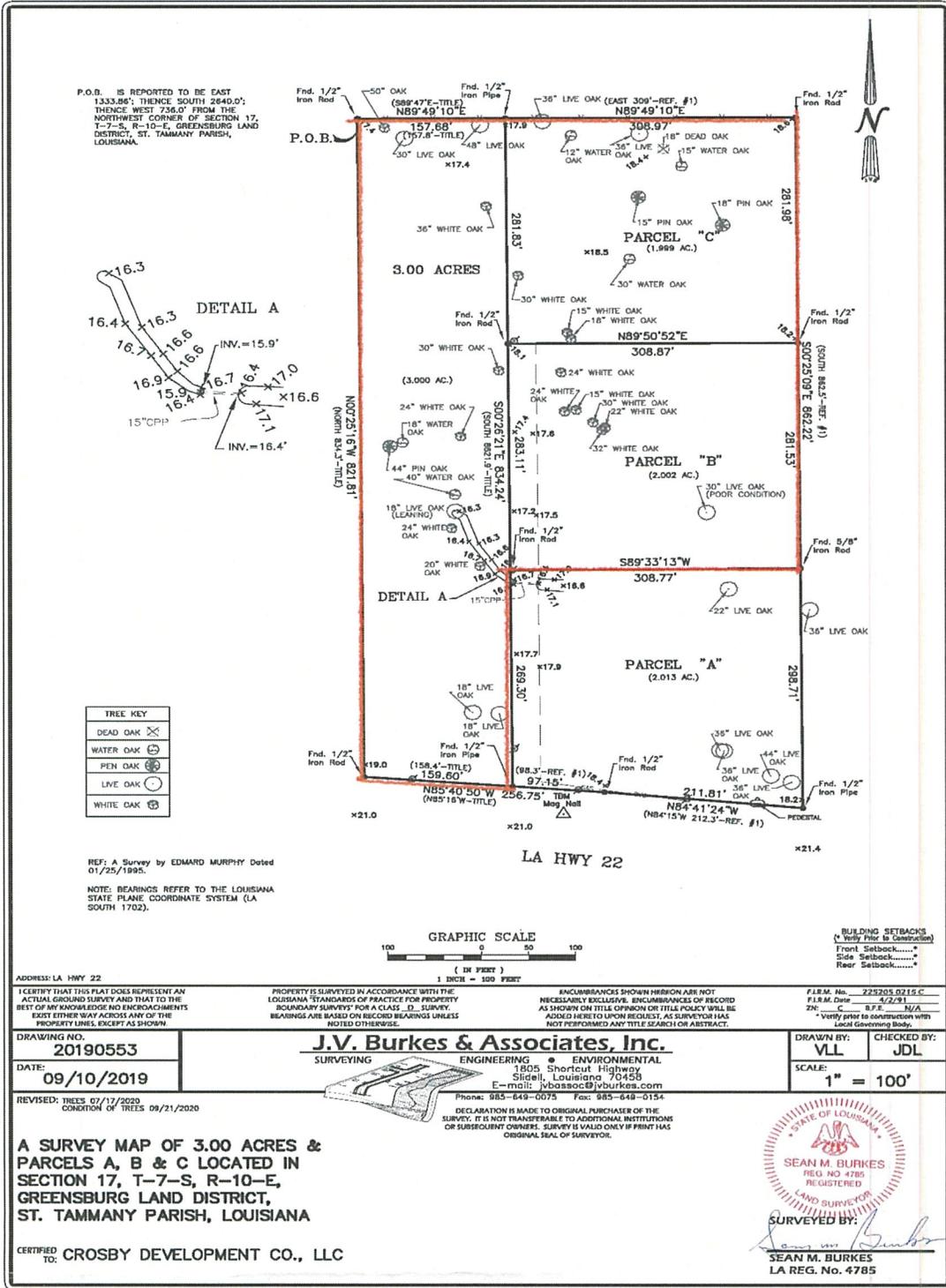


215

Exhibit "A"

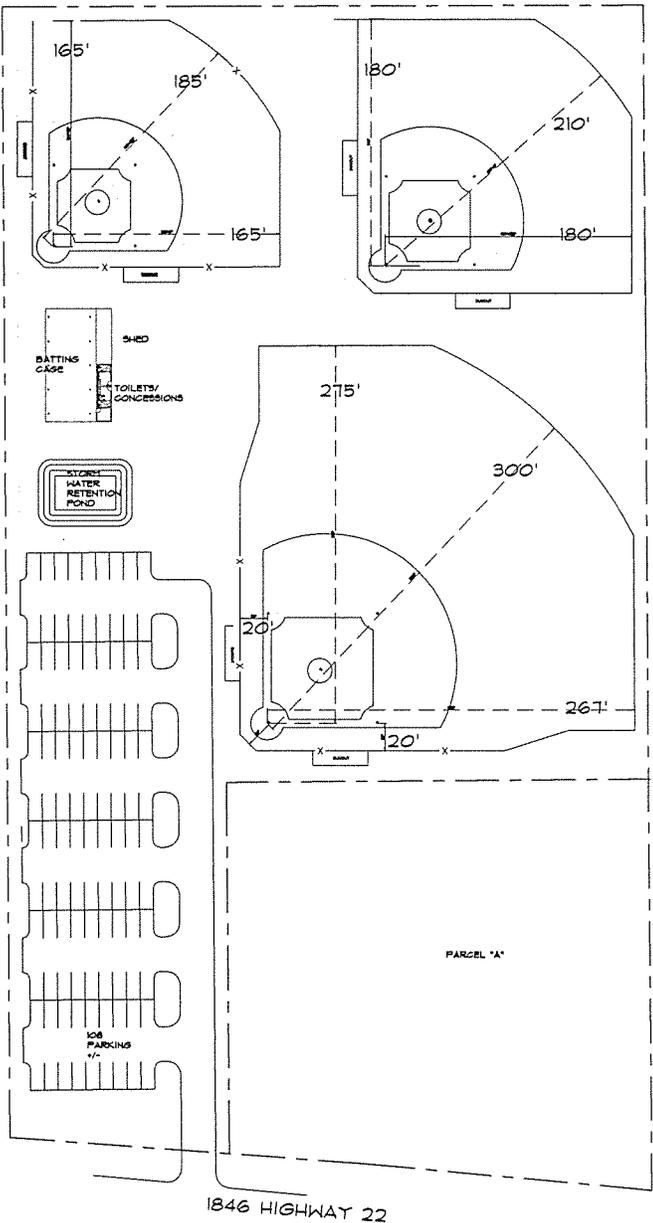
216

2023-3609-ZC



217

2023-3609-ZC



1846 HIGHWAY 22

PROPOSED SITE PLAN  
SCALE 1" = 80'

CALLED NORTH 

REVISED 10.10.2023

PROPOSED  
BASEBALL FIELDS  
1846 HIGHWAY 22  
MADISONVILLE, LOUISIANA

Date: OCTOBER 4, 2023	Job Number: 2023-08
Drawn: JFH	Chk. By: JFH

Sheet:  
**A-2**



**ZONING STAFF REPORT**  
2023-3665-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the north side of US Highway 190 and the east and west sides of Pruden Road, west of Penn Mill Road, Covington; S25, T6S, R10E; Ward 3, District 3      **Council District:** 3

**Owners:** Terryland, LLC - Roland Vaughn Cimini      **Posted:** January 19, 2024

**Petitioner:** Roland Vaughn Cimini      **Commission Hearing:** February 6, 2024

**Size:** 36.85 acres      **Determination:** Approved, Denied, Postponed



**Current Zoning**  
A-1 Suburban District

**Requested Zoning**  
HC-2 Highway Commercial District

**Future Land Use**

**Flood Zone**  
Effective Flood Zone A4  
Preliminary Flood Zone AE

**Critical Drainage:**  
Yes

**BFE:**  
BFE 29' + 1 Freeboard = 30' FFE

**FINDINGS**

- The applicant is requesting to rezone the 36.85-acre parcel from A-1 Suburban District to HC-2 Highway Commercial District. The property is located on the north side of US Highway 190 and the east and west sides of Pruden Road, west of Penn Mill Road, Covington

*Zoning History*

- Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
88-015	Unknown	SA Suburban Agriculture
10-2234	SA Suburban Agriculture	A-1 Suburban District

*Site and Structure Provisions*

- The subject property is currently developed with a single-family residence and an accessory unit.

*Compatibility or Suitability with Adjacent Area*

- Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential	A-1 Suburban District
South (Across Highway 190)	Residential	A-1 Suburban District
East	Commercial	HC-2 Highway Commercial District
West	Residential (Pineland Acres Subdivision)	A-1 Suburban District



**ZONING STAFF REPORT**  
2023-3665-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

5. The subject property abuts single-family zoning to the north, south, and west, as well as a commercial property zoned HC-2 Highway Commercial District to the east.
6. The purpose of the existing A-1 Suburban District is to provide a single-family residential environment at a low-density level. The minimum requirements for the A-1 Suburban District are 5-acre lot sizes with a minimum of 300' of Parish road frontage. The allowable density of the zoning classification is one unit per every 5 acres.
7. The purpose of the HC-2 Highway Commercial District is to provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials and designed to provide services to a portion of the Parish.
8. The minimum size for new lots within the HC-2 Highway Commercial District is 20,000 square feet with a maximum building size of 40,000 square feet. The property could house multiple commercial structures not exceeding 40,000 square feet; however, these structures would be subject to the parking, landscaping, drainage and all other applicable requirements. In addition, the lot coverage of all principal and accessory buildings on a zoning lot shall not exceed 50 percent of the total area of the lot. However, parking and landscape requirements for the intended use must be met in all instances. Therefore, maximum lot coverage may in some cases be less.
9. A change in zoning will allow the applicant to operate any of the following permitted commercial uses: All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.

*Consistency with New Directions 2040*

**Residential: Light-Intensity:** Predominantly single family, detached homes on very large lots. The lower residential density creates a more spacious character appropriate as a transition between the Parish's Rural or Conservation areas and more intense land uses. The dispersed development pattern makes public services and amenities less efficient and more expensive to provide, and so residents typically must travel farther to access them.

The proposed zoning change is NOT consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- a. Goal 1.3: The character of existing residential areas, expansive rural landscapes, and sensitive ecological areas will be preserved.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Strategy 1:5:2 Locate high intensity land uses adjacent to high-capacity transportation corridors.

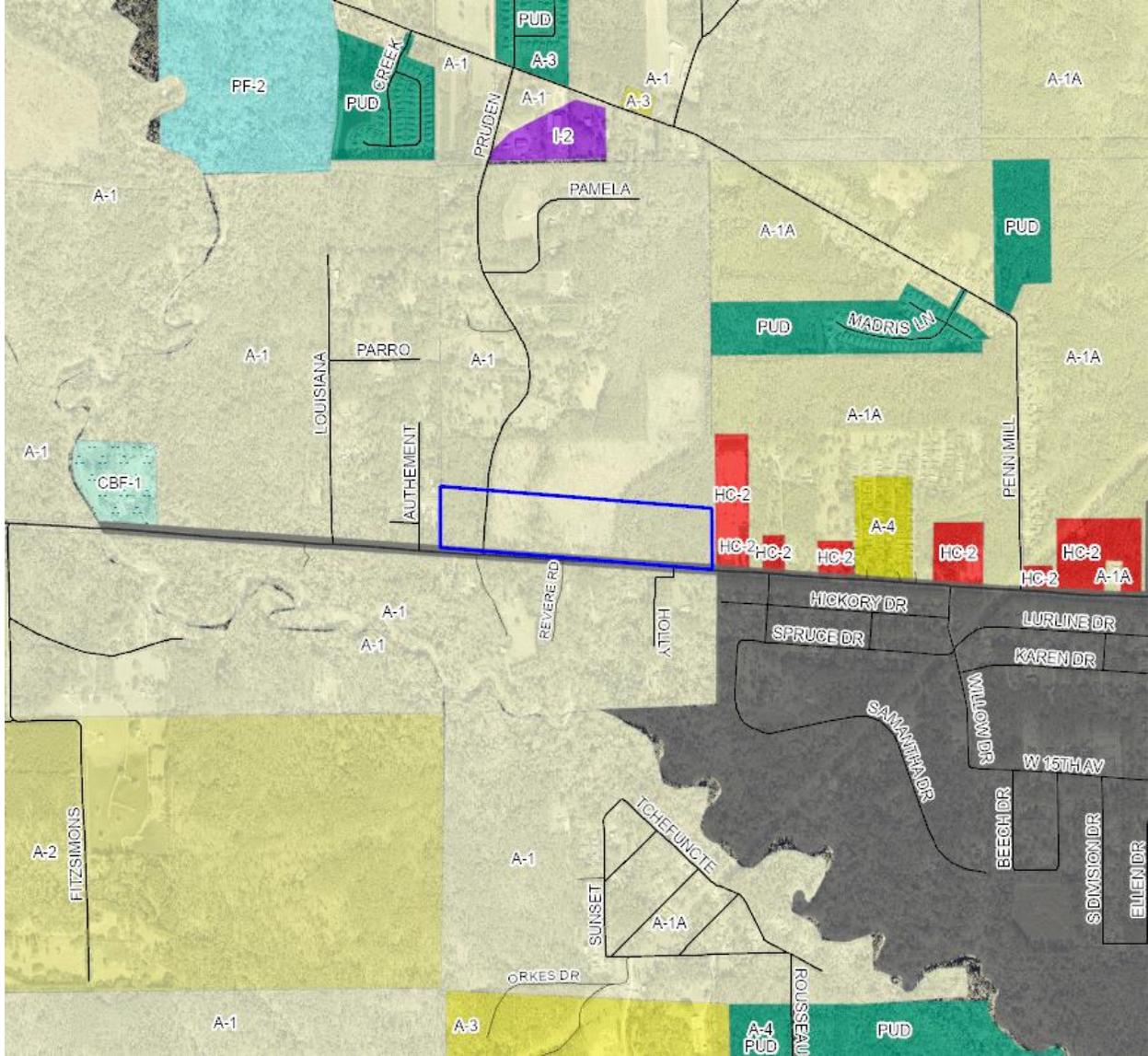


**ZONING STAFF REPORT**  
2023-3665-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

4



PF-2

CREEK  
CREEK

TURF

GRASSY

PENN MILL

COVINGTON  
VINCENT AIRPORT

I-2

PRUDEN

PAMELA

A-1A

GREEN  
ACRES

PUD

MADRIS

PARRO

A-1

LOUISIANA

HC-2

A-4

AMINTH

AUTHEMENT

HOLLY  
ROAD NO 2

CLARK ALLEN

REVERE

HOLLY

190

REDWOOD

HICKORY

SPRUCE

CEDAR

SAMANTHA

A-2

MAGNOLIA  
MAGNOLIA

SUNSET

WILDWOOD

FOREST

MEADOWLARK

TCHFUNCTE

ORKES

PLEASANT

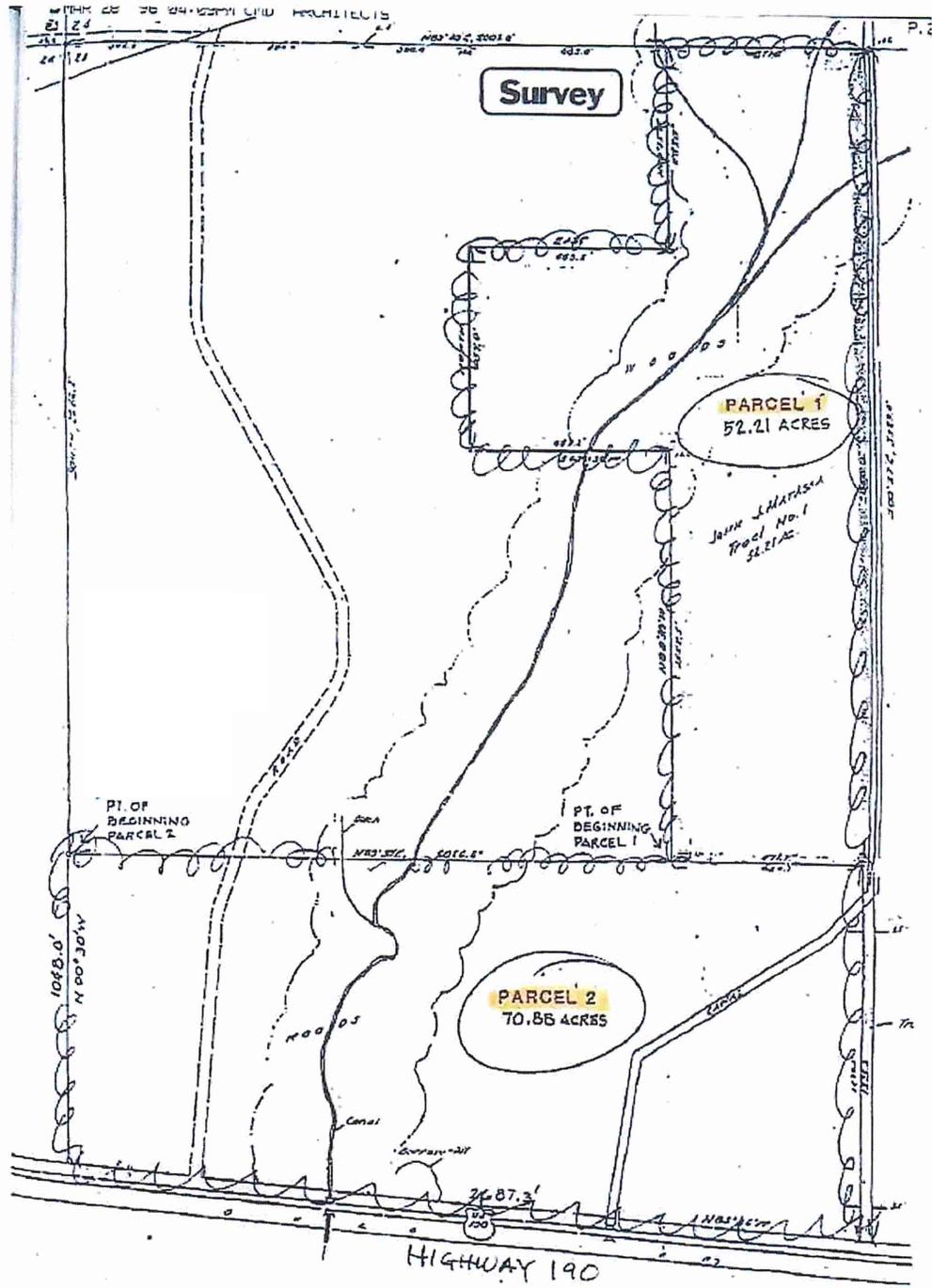
A-3

SOLOMON

AMY

ROUSSEAU

Survey





**ZONING STAFF REPORT**  
2023-3666-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the south side of McDonald Road, west of Louisiana Highway 1077, Covington; S28, T6S, R10E; Ward 1, District 3      **Council District:** 3

**Petitioner:** Jeffrey D. Schoen      **Posted:** January 23, 2024

**Owner:** EMJ Real Estate, LLC      **Commission Hearing:** February 6, 2024

**Size:** 1 acre      **Determination:** Approved, Denied, Postponed



**Current Zoning**

A-1 Suburban District

**Requested Zoning**

A-2 Suburban District

**Future Land Use**

Rural and Agricultural

**Flood Zone**

Effective Flood Zone A

Preliminary Flood Zone X

**Critical Drainage:** Yes

**BFE:**

BFE 29' + 1' Freeboard = 30' FFE

**FINDINGS**

1. The applicant is requesting to rezone the 1-acre parcel from A-1 Suburban District to A-2 Suburban District. The property is located on the south side of McDonald Road, west of Louisiana Highway 1077, Covington.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District

*Site and Structure Provisions*

3. The subject property currently consists of a total of 14.31 acres. The applicant is requesting to rezone 1 acre on the northwest corner of the site.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North (across McDonald Road)	St. Tammany Fire District #13 Dry Hydrant	PF-1 Public Facilities District
South	Undeveloped	A-1 Suburban District and A-2 Suburban District
East	Residential	A-1 Suburban District
West	Undeveloped / Commercial	A-1 Suburban District / NC-1 Professional Office District



**ZONING STAFF REPORT**  
2023-3666-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

5. The subject property is across from a St. Tammany Fire District hydrant across from McDonald Road zoned PF-1 Public Facilities District. The site also abuts undeveloped / residential uses zoned A-1 Suburban District and A-2 Suburban District to the south and east, as well as a parcel zoned A-1 Suburban District and NC-1 Professional Office District that houses a sports facility.
6. The property abutting the subject parcel to the south was rezoned to obtain the A-2 Suburban District Classification as of Ordinance # 22-5053.
7. The existing A-1 Suburban District calls for a minimum 5-acre parcel size with an allowable density of 1 unit per every 5 acres and minimum parcel width of 300ft. The requested A-2 Suburban District requires a minimum 1-acre parcel size and a density of 1 unit per every 1 acre and a minimum parcel width of 150ft.
8. If approved, the applicant could apply for a minor subdivision of the existing 14.31-acre parcel and carve out the 1-acre as it would then meet the minimum lot size / road frontage of the A-2 Suburban District.

*Consistency with New Directions 2040*

**Residential: Medium-Intensity:** Medium Intensity neighborhoods include a broader mix of large and small lots but remain predominantly, single-family detached homes. Attached homes such as townhomes and 2-unit homes, as well as assisted living centers may fit into the character of Medium Intensity Residential Neighborhoods. The higher density of development makes central water and sewer more practical than on-site water and wastewater systems, and infrastructure like sidewalks, subsurface drainage, and street lighting are more common. These areas are appropriate buffers between Rural or Low Intensity Residential Neighborhoods and High Intensity Residential Neighborhoods or Commercial and Institutional areas.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

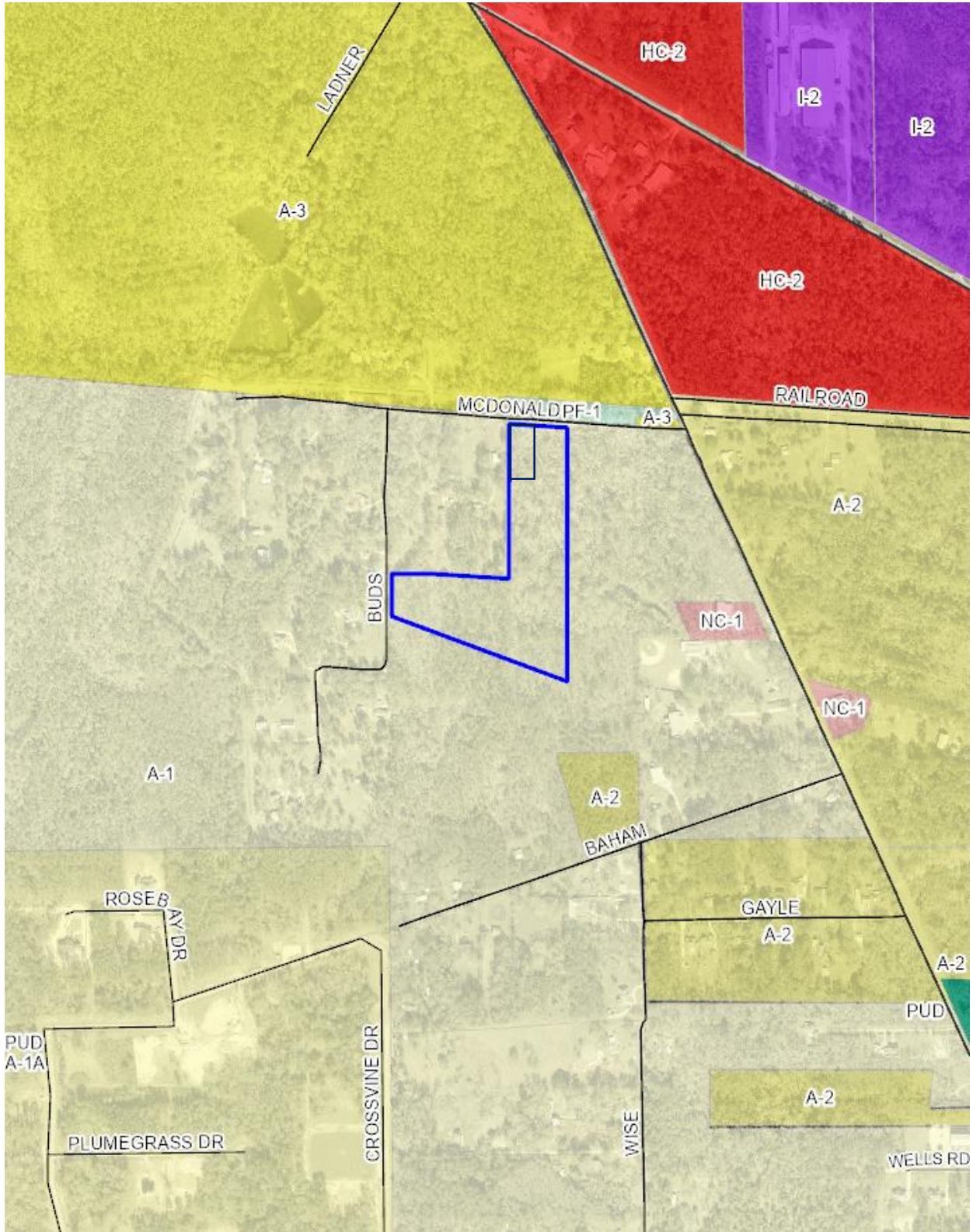
- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.



**ZONING STAFF REPORT**  
2023-3666-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director



LADNER

1077

190

TURNPIKE RD

HC-2

A-3

RAILROAD

MCDONALD

PF-1

OAK BRANCH

BUDS

A-1

NC-1

PUD  
A-1A

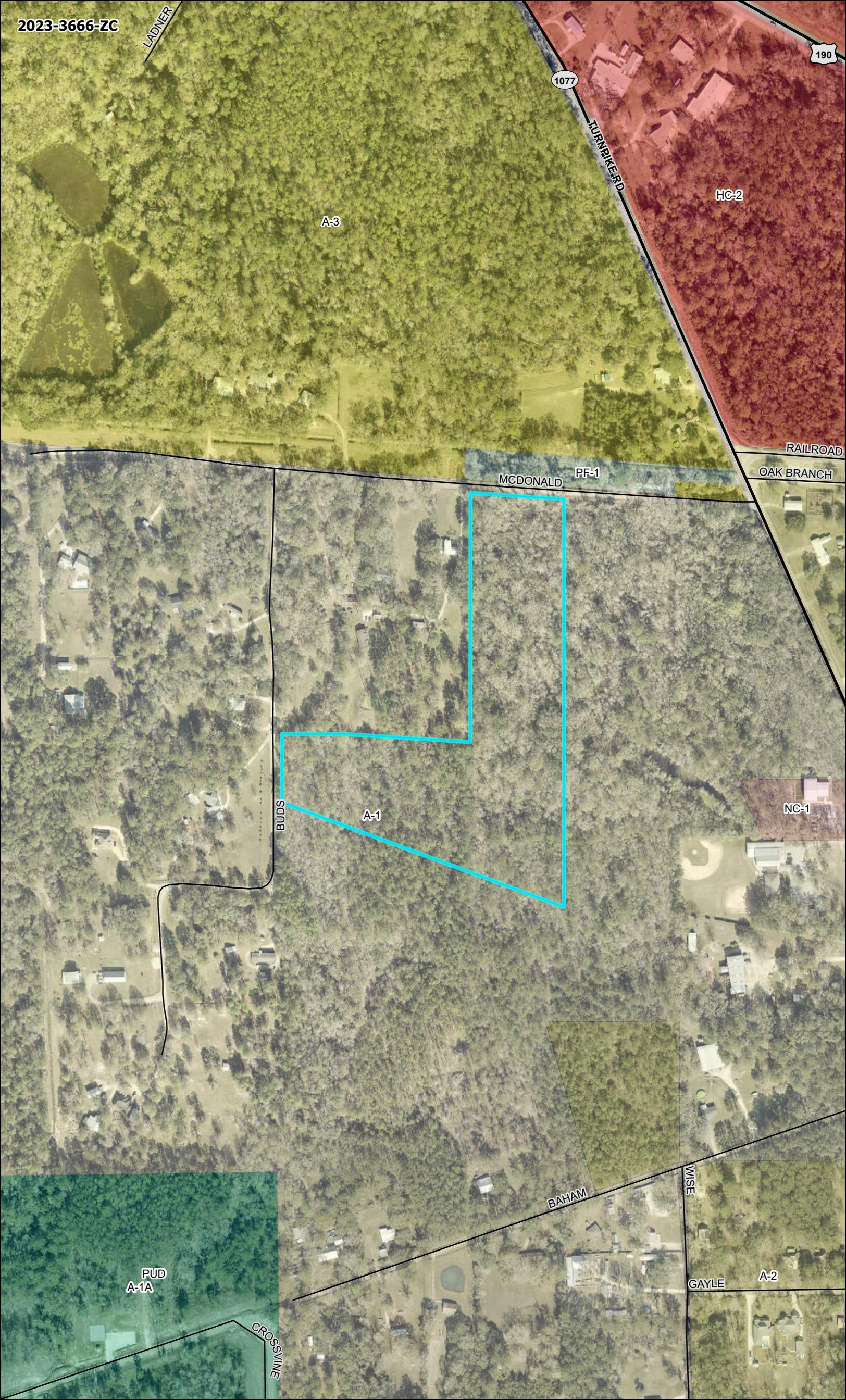
CROSSLINE

BAHAM

WISE

GAYLE

A-2



\*THIS MAP IS FOR REZONING ONLY.

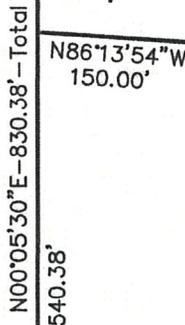
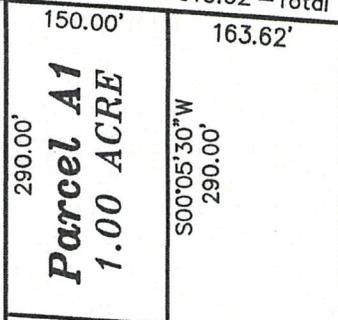
(Asphalt)  
**McDonald Road**

S86°13'54"E-313.62'-Total

A Rezoning Map of Parcel A (14.31 Acres) into  
Parcels A1 & A2, located in Section 28, T-6-S,  
R-10-E, St. Tammany Parish, Louisiana

Reference: A Resub Plat by this Firm, Dated  
9-18-2017, Job No. 18214, for Wingfield RE, LLC

The P.O.B. is reported to be N89°34'33"E-2646.86';  
N00°01'16"W-1223.25' from the Section Corner common  
to Sections 28, 29, 32 & 33, T-6-S, R-10-E,  
St. Tammany Parish, Louisiana



**Parcel A2**  
**13.31 ACRES**

*Parcel A*  
**14.31 ACRES**



(Asphalt)  
**Bud Lane**

N00°01'16"W  
228.03'

N89°55'16"E  
208.70'

S86°22'55"E-422.73'

P.O.B.

N69°43'45"W-1006.77'

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE.  
SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY  
WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS  
PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS  
MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED  
PEDESTALS.  
THIS MAP IS NOT IN ACCORDANCE WITH THE STANDARD DETAILED  
REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A BOUNDARY  
SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46:LXI.

(Must verify prior to Construction)  
Building Setbacks  
Front:  
Side:  
Rear:  
Side Street:

MAP PREPARED FOR **AMY DIXON**

SHOWN A SKETCH MADE OF PROPERTY LOCATED IN SECTION 28, T-6-S, R-10-E, ST. TAMMANY PARISH, LOUISIANA

THIS MAP IS NOT IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED:  
SIGNATURE AND STAMPED SEAL MUST BE IN RED OR THIS PLAT IS NOT A TRUE COPY.

**LAND SURVEYING LLC**

518 N. Columbia Street, Covington, LA 70433  
(985) 892-6277 office (985) 898-0355 fax  
landsurveyingllc@gmail.com



*Bruce M. Butler, III*  
BRUCE M. BUTLER, III  
LOUISIANA PROFESSIONAL LAND SURVEYOR  
LICENSE NO. 4894

SCALE: 1" = 170'

DATE: 12-15-2023

NUMBER: 21485



**ZONING STAFF REPORT**  
2023-3667-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the north side of Varnado Road, east of LA Highway 25, Folsom; S3, T4S & T5S, R10E; Ward 2, District 3      **Council District:** 3

**Petitioner:** Mary Garrett Neal      **Posted:** January 19, 2024

**Owner:** Lawrence Garrett, Oline Garrett Johnson, Doroty Cousins, Freddie Garrett, Jr., Dorothy Garrett, Margaret Diane Garrett, Mary Garrett Neal, Lucy Garrett Cyprian, Clayton Garrett, Hubert Garrett, Orease Garrett, and Nelson Garrett      **Commission Hearing:** February 6, 2024

**Size:** 19.144 acres      **Determination:** Approved, Denied, Postponed



**Current Zoning**

A-1 Suburban District, RO Rural Overlay, MHO  
Manufactured Housing Overlay

**Requested Zoning**

A-2 Suburban District, RO Rural Overlay, MHO  
Manufactured Housing Overlay

**Future Land Use**

Rural and Agricultural

**Flood Zone**

Effective Flood Zone C  
Preliminary Flood Zone X

**Critical Drainage:** No

**BFE:**

FFE is 12" above crown of street elevation

**FINDINGS**

1. The applicant is requesting to rezone the 19.144-acre parcel from A-1 Suburban District to A-2 Suburban District. The property is located on the north side of Varnado Road, east of LA Highway 25, Folsom.

*Zoning History*

2. Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
10-2234	Unknown	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay

*Site and Structure Provisions*

3. The subject property currently consists of a total of 19.144 acres.

*Compatibility or Suitability with Adjacent Area*

4. Table 3: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Undeveloped	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
South	Residential	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
East	Residential	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay
West	Undeveloped	A-1 Suburban District, RO Rural Overlay, MHO Manufactured Housing Overlay

5. The subject property is flanked by large residential properties zoned A-1 Suburban District, RO Rural Overlay, and MHO Manufactured Housing Overlay on all sides.



**ZONING STAFF REPORT**  
2023-3667-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

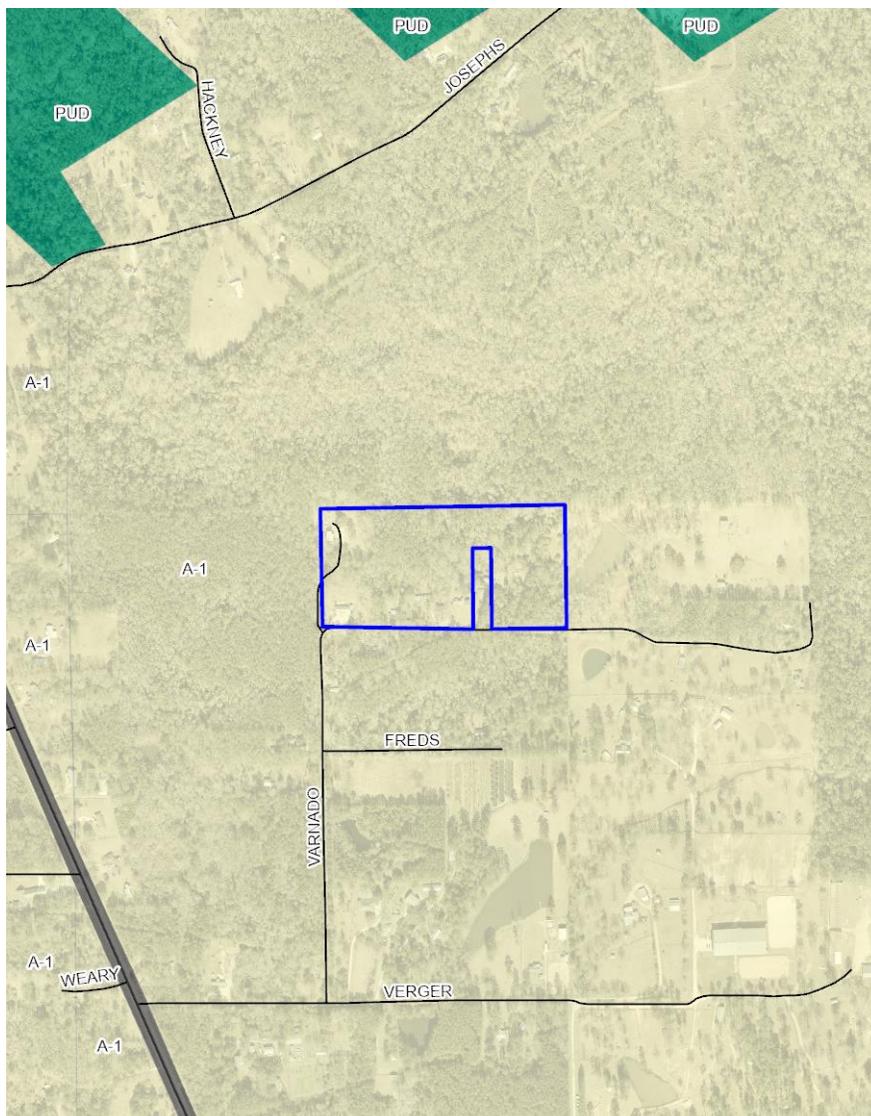
6. The existing A-1 Suburban District calls for a minimum 5-acre parcel size with an allowable density of 1 unit per every 5 acres and minimum parcel width of 300ft. The requested A-2 Suburban District requires a minimum 1-acre parcel size and a density of 1 unit per every 1 acre and a minimum parcel width of 150ft.
7. If approved, the applicant could apply for a minor subdivision of the existing 19.144-acre parcel and reconfigure the property boundaries to create multiple 1-acre lots or greater. If the applicant does propose to create more than 5 lots, however, this would incur the full major subdivision review through the St. Tammany Parish Planning Commission.

*Consistency with New Directions 2040*

**Rural & Agricultural:** areas include mostly very low intensity uses in non-urbanized areas, such as agriculture, horse farms, timberlands, ranches, and very large single family lots typically larger than three acres. No large traffic generators or noisy or pollution causing uses are located in Rural and Agricultural areas. Low-capacity country roads—typically two-lanes—serve these areas. Septic systems and wells are typical. The Parish’s abundant rural areas provide ample space for low-intensity uses, offering residents privacy and access to the outdoors. The countryside also fosters a number of commercial activities, such as production farms, horse boarding, and lumber harvesting. The Rural and Agricultural category includes these commercial uses, as well as small rural-serving businesses such as small groceries, gas stations, restaurants, and auto repair shops. St. Tammany’s countryside supports a growing tourism industry, whose businesses in this area include bed and breakfasts, retreat centers, nature tours, and “u-pick” farms.

The proposed zoning change is NOT consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 1.8: A variety of safe, affordable, and attractive housing types will meet the needs of our diverse community.





HACKNEY

JOSEPHS

CYPRIAN

A-1

VARNADO

FRED'S

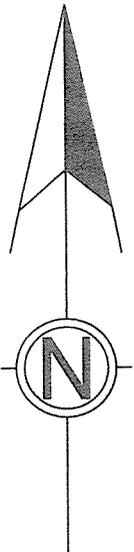
HOLLINS

WEARY

VERGER

25

2023-3667-ZC



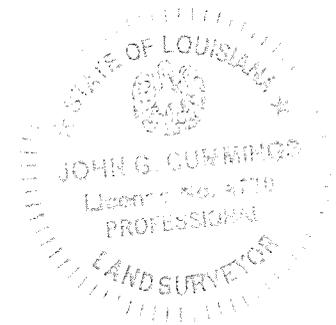
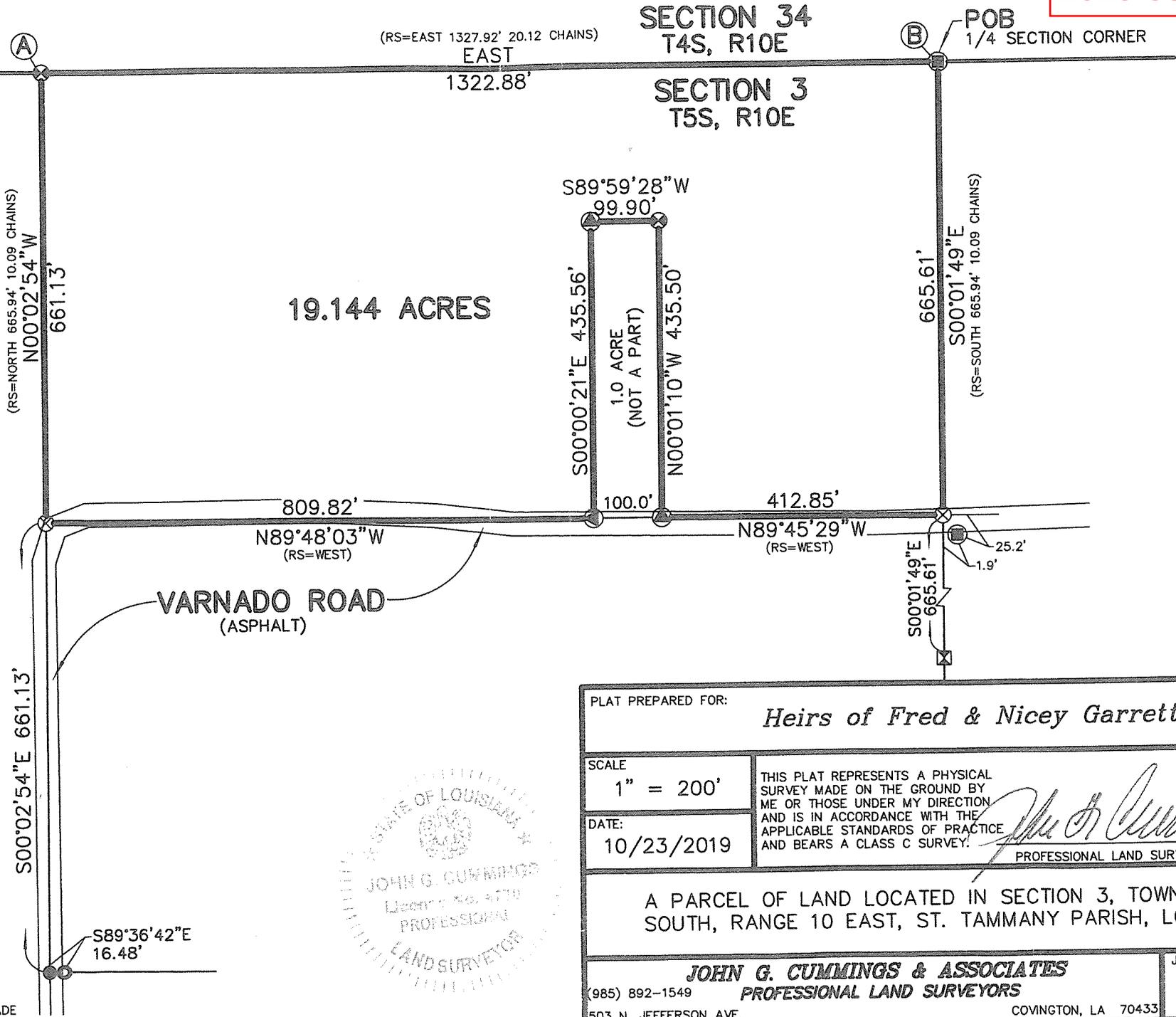
REFERENCE BEARING:  
Iron Rod A to Iron Pipe B  
East  
(per Reference Survey No. 1)

- LEGEND**
- ☒ = WOOD CORNER FOUND
  - = 1" IRON PIPE FOUND
  - ◐ = 1/2" IRON PIPE FOUND
  - ◑ = 5/8" IRON ROD FOUND
  - ⊗ = 1/2" IRON ROD FOUND
  - = MAG NAIL SET
  - ⊗ = 1/2" IRON ROD SET
  - RS = REFERENCE SURVEY NO. 1

**NOTE:**  
This property is located in Flood Zone C,  
per F.E.M.A. Map No. 225205 0025 B,  
dated March 1, 1984.

- REFERENCE SURVEY:**
- Survey for Fred & Hulon Garrett by Joseph Pugh, Surveyor, dated July 6, 1942.
  - Survey for the Paul Garrett Estate by Jeron R. Fitzmorris, Surveyor, dated April 29, 1971.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.



PLAT PREPARED FOR:		<i>Heirs of Fred &amp; Nicey Garrett</i>	
SCALE	1" = 200'	THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECTION AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.	<i>John G. Cummings</i> PROFESSIONAL LAND SURVEYOR
DATE:	10/23/2019		
A PARCEL OF LAND LOCATED IN SECTION 3, TOWNSHIP 5 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA.			
JOHN G. CUMMINGS & ASSOCIATES PROFESSIONAL LAND SURVEYORS (985) 892-1549 503 N. JEFFERSON AVE.		JOB NO. 19211 COVINGTON, LA 70433	

For Review Only

2023-3667-ZC

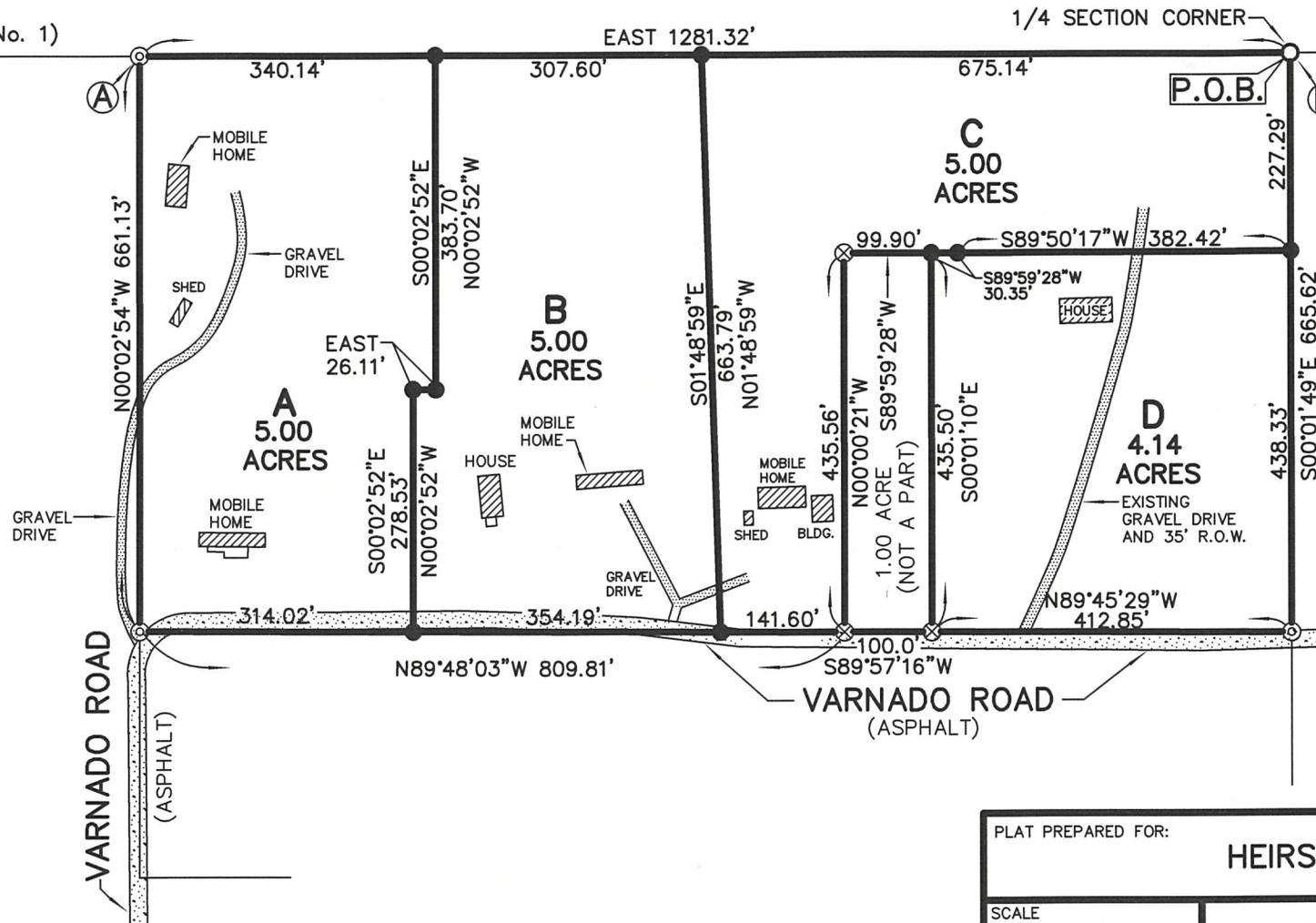
**REFERENCE BEARING:**

From Iron Rod A  
to Iron Pipe B  
East  
(per Reference Survey No. 1)



SECTION 34  
T4S, R10E

SECTION 3  
T5S, R10E



**LEGEND**

- ⊙ = 1/2" IRON ROD FOUND
- = 1/2" IRON PIPE FOUND
- ⊗ = 5/8" IRON ROD FOUND

**NOTES:**

1. This property is located in Flood Zone C, per F.E.M.A. Map No. 225205 0025 B, dated March 1, 1984.
2. Building Setback Lines must be determined by the St. Tammany Parish Planning Department.
3. Property Corners to be set upon approval.

**REFERENCE SURVEYS:**

1. Survey for Fred & Hulon Garrett by Joseph Pugh, Surveyor, dated July 6, 1942.
2. Survey for Paul Garrett Estate by Jeron R. Fitzmorris, Surveyor, dated April 29, 1971.
3. Survey for Heirs of Fred & Nicey Garrett by John G. Cummings, Surveyor, dated October 23, 2019, Job No. 19211.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

PLAT PREPARED FOR:

**HEIRS OF FRED & NICEY GARRETT**

SCALE

1" = 200'

DATE:

11/02/2023

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME OR THOSE UNDER MY DIRECTION AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

For Review Only  
PROFESSIONAL LAND SURVEYOR

A PROPOSED MINOR SUBDIVISION OF A PARCEL OF LAND LOCATED IN SECTION 3, TOWNSHIP 5 SOUTH, RANGE 10 10 EAST, ST. TAMMANY PARISH, LOUISIANA.

**JOHN G. CUMMINGS & ASSOCIATES**  
PROFESSIONAL LAND SURVEYORS

(985) 892-1549

503 N. JEFFERSON AVE.

COVINGTON, LA 70433

JOB NO.

19211-C



ST. TAMMANY PARISH  
MICHAEL B. COOPER  
PARISH PRESIDENT

## DEPARTMENT OF PLANNING AND DEVELOPMENT MEMO

TO: St. Tammany Parish Zoning Commission  
FROM: Ross Liner, AICP, PTP, CFM  
DATE: February 6, 2024  
SUBJECT: 2023-3668-ZC: Text Change

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### 2023-3668-ZC

Text change: AN ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 - ARTICLE VI, DIVISION 25 – HC-2 HIGHWAY COMMERCIAL DISTRICT; SECTION 130-918 PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 40,000 SQUARE FEET AND DIVISION 26 – HC-2A HIGHWAY COMMERCIAL DISTRICT, SECTION. 130-945 – PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 75,000 SQUARE FEET

The purpose of the HC-2 Highway Commercial District and HC-2A Highway Commercial District is to provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials designed to provide services to a portion of the Parish. Listed under the allowable uses of the HC-2 Highway Commercial District are “Automotive repair and service facilities not to exceed 10,000 square feet.” Per the site and structure provisions of the HC-2 Highway Commercial District, the maximum building size allowed is 40,000 sqft not to exceed 50% of the total area of the lot (and 75,000 sqft in HC-2A) for all other developments that are allowed in the zoning district including the following:

**All uses permitted in the HC-1 Highway Commercial District and Banks and financial institutions; Convenience stores with gas; Drive-in restaurants; Liquor stores; Any private office use that is a permitted use in the NC district over 20,000 sq. ft.; Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 sq. ft.); Veterinary clinics (with outdoor kennels); Parcel post delivery stations; Mini-warehouses; Commercial kennels; Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side; Lodging, 100 rooms or less (including apartments, hotels, motels); Automotive sales not to exceed two acres**

**of display and storage; Outdoor retail and storage yards; Potable storage containers use for storage; Outdoor display area of pre-assembles building, pool and playground equipment.**

The HC-3 Highway Commercial District, in relation to the three previous HC designations (HC-1, HC-2, and HC-2A), allows for a maximum building size of 250,000 sqft. In addition, the list of permitted uses under the HC-3 includes “automotive service, stations, centers, and sales” similarly to the HC-2. However, the building size for this use is capped at the max square footage allowed under the zoning. Based on the list of permitted uses under the HC-2 District, the 10,000 sqft maximum building size restriction is specifically for automotive repair facilities, which seems to be an arbitrary number that prohibits larger building size without any justification in the St. Tammany Parish Unified Development Code.

For example, if an applicant that was in possession of 10 acres zoned HC-2 Highway Commercial District were to apply for a building permit with the desire to construct an automotive repair facility, the building could not exceed 10,000 sqft. The only alternative would be to Rezone the property to the HC-3 Highway Commercial District which would allow all uses from HC-1 to HC-3 and have a maximum building size of 250,000 sqft.

The intent of this text change is not only to remove a subjective cap on the square footage for one specific use, but also to prevent what can be described as up-zoning in areas of unincorporated St. Tammany Parish.

ST. TAMMANY PARISH COUNCIL

ORDINANCE

ORDINANCE CALENDAR NO.: \_\_\_\_\_

ORDINANCE COUNCIL SERIES NO.: \_\_\_\_\_

COUNCIL SPONSOR: \_\_\_\_\_

PROVIDED BY: PLANNING & DEVELOPMENT

INTRODUCED BY: \_\_\_\_\_

SECONDED BY: \_\_\_\_\_

ON THE 7<sup>TH</sup> DAY OF MARCH, 2024

AN ORDINANCE TO AMEND ST. TAMMANY PARISH CODE OF ORDINANCES, PART II – LAND DEVELOPMENT CODE, CHAPTER 130 - ARTICLE VI, DIVISION 25 – HC-2 HIGHWAY COMMERCIAL DISTRICT; SECTION 130-918 PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 40,000 SQUARE FEET AND DIVISION 26 – HC-2A HIGHWAY COMMERCIAL DISTRICT, SECTION. 130-945 – PERMITTED USES: INCREASE THE MAXIMUM ALLOWABLE BUILDING SIZE FOR (13) AUTOMOTIVE REPAIR AND SERVICES FACILITIES NOT TO EXCEED 10,000 SQUARE FEET TO 75,000 SQUARE FEET (2023-3668-ZC)

WHEREAS, the purpose of the HC-2 Highway Commercial District and HC-2A Highway Commercial District is to provide for the location of moderately scaled, more intense retail, office and service uses, generally located along major collectors and arterials designed to provide services to a portion of the Parish; and

WHEREAS, listed under the allowable uses of the HC-2 Highway Commercial District are “Automotive repair and service facilities not to exceed 10,000 square feet.”; and

WHEREAS, per the site and structure provisions of the HC-2 Highway Commercial District, the maximum building size allowed is 40,000 sqft not to exceed 50% of the total area of the lot (and 75,000 sqft in HC-2A) for all other uses that are allowed in the zoning district; and

WHEREAS, the HC-3 Highway Commercial District, in relation to HC-1 Highway Commercial, HC-2 Highway Commercial, and HC-2A Highway Commercial Districts, allows for a maximum building size of 250,000 sqft. In addition, the list of permitted uses under the HC-3 includes “automotive service, stations, centers, and sales” similarly to the HC-2 Highway Commercial District; and

WHEREAS, the 10,000 sqft maximum building size restriction is specifically for automotive repair facilities, which prohibits a larger building size without any justification in the St. Tammany Parish Unified Development Code; and

WHEREAS, the intent of this text change is to remove a subjective cap on the square footage for one specific use, but also to prevent as up-zoning areas of unincorporated St. Tammany Parish.

THE PARISH OF ST. TAMMANY HEREBY ORDAINS, in regular session convened that:

SECTION I: The below sections shall be modified as follows:

**Sec. 130-918. - Permitted uses.**

- (a) Use by right subject to any minimum standards as listed in [section 130-2213](#).
- (b) All uses permitted in the HC-1 district and:
  - (1) Banks and financial institutions (greater than 3,000 square feet).
  - (2) Convenience stores (with gas), when the criteria of [section 130-2213](#)(51)a are met.
  - (3) Drive-in restaurants.
  - (4) Liquor stores.
  - (5) Any private office use that is a permitted use in the NC district over 20,000 square feet.
  - (6) Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 square feet).
  - (7) Veterinary clinics (with outdoor kennels).
  - (8) Parcel post delivery stations.
  - (9) Mini-warehouses.
  - (10) Commercial kennels.
  - (11) Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side.
  - (12) Lodging, 100 rooms or less (including apartments, hotels, motels).
  - (13) Automotive repair and service facilities ~~not to exceed 10,000 square feet.~~
  - (14) Automotive sales not to exceed two acres of display and storage.
  - (15) Outdoor retail sales and storage yards.
  - (16) Portable storage containers use for storage.
  - (17) Outdoor display area of pre-assembled building, pool and playground equipment.

**Sec. 130-945. - Permitted uses.**

- (a) Use by right subject to any minimum standards as listed in [section 130-2213](#).
- (b) All uses permitted in the HC-1 district and:
  - (1) Banks and financial institutions (greater than 3,000 square feet).
  - (2) Convenience stores (with gas), when the criteria of [section 130-2213](#)(51)a are met.
  - (3) Drive-in restaurants.
  - (4) Liquor stores.
  - (5) Any private office use that is a permitted use in the NC district over 20,000 square feet.
  - (6) Clubs, lodges, fraternal and religious institutions, meeting halls (over 20,000 square feet).
  - (7) Veterinary clinics (with outdoor kennels).
  - (8) Parcel post delivery stations.
  - (9) Mini-warehouses.
  - (10) Commercial kennels.
  - (11) Outdoor storage yards that do not occupy an area greater than 50 percent of land area, and are enclosed by an eight-foot opaque perimeter fence, located on the same parcel as, and are accessory to an existing mini-warehouse, not to be located on the street side.
  - (12) Lodging, 100 rooms or less (including apartments, hotels, motels).
  - (13) Automotive repair and service facilities ~~not to exceed 10,000 square feet.~~
  - (14) Automotive sales not to exceed two acres of display and storage.
  - (15) Outdoor retail sales and storage yards.
  - (16) Portable storage containers use for storage.
  - (17) Outdoor display area of pre-assembled building, pool and playground equipment.

ORDINANCE CALENDAR NUMBER: \_\_\_\_\_  
ORDINANCE COUNCIL SERIES NUMBER: \_\_\_\_\_  
PAGE 3 OF 3

REPEAL: All Ordinances or parts of Ordinances in conflict herewith are hereby repealed.

SEVERABILITY: If any provision of this Ordinance shall be held to be invalid, such invalidity shall not affect other provisions herein which can be given effect without the invalid provision and to this end the provisions of this Ordinance are hereby declared to be severable.

EFFECTIVE DATE: This Ordinance shall become effective fifteen (15) days after adoption.

MOVED FOR ADOPTION BY: \_\_\_\_\_ SECONDED BY: \_\_\_\_\_

WHEREUPON THIS ORDINANCE WAS SUBMITTED TO A VOTE AND RESULTED IN THE FOLLOWING:

YEAS:

NAYS:

ABSTAIN:

ABSENT:

THIS ORDINANCE WAS DECLARED DULY ADOPTED AT A REGULAR MEETING OF THE PARISH COUNCIL ON THE \_\_\_\_ DAY OF \_\_\_\_\_, 2024; AND BECOMES ORDINANCE COUNCIL SERIES NO. 24-\_\_\_\_\_.

\_\_\_\_\_  
AUTHUR LAUGHLIN, COUNCIL CHAIRMAN

ATTEST:

\_\_\_\_\_  
KATRINA L. BUCKLEY, COUNCIL CLERK

\_\_\_\_\_  
MICHAEL B. COOPER, PARISH PRESIDENT

Published Introduction: \_\_\_\_\_, 2024

Published Adoption: \_\_\_\_\_, 2024

Delivered to Parish President: \_\_\_\_\_, 2024 at \_\_\_\_\_

Returned to Council Clerk: \_\_\_\_\_, 2024 at \_\_\_\_\_



**ZONING STAFF REPORT**  
2023-3669-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the southeast corner of Gause Boulevard and Westminster Road, Slidell; S4, T9S, R14E; Ward 9, District 14  
**Council District:** 14  
**Owner:** Joan Mogensen and Frank Sciara  
**Posted:** January 23, 2024  
**Applicant:** Lorie Duval  
**Commission Hearing:** February 6, 2024  
**Size:** .72 acres  
**Determination:** Approved, Denied, Postponed



**Current Zoning**

HC-2 Highway Commercial District

**Requested Zoning**

HC-2 Highway Commercial District  
Entertainment Overlay

**Future Land Use**

Commercial

**Flood Zone**

Effective Flood Zone C  
Preliminary Flood Zone X

**Critical Drainage:**

No

**BFE**

FFE is 12" above crown of street

*Findings*

1. The petitioner is requesting to change the zoning classification from HC-2 Highway Commercial District to HC-2 Highway Commercial District and Entertainment Overlay. The site is located on the southeast corner of Gause Boulevard and Westminster Road, Slidell.

*Zoning History*

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
07-055	Unknown	LC Light Commercial
09-2116	LC Light Commercial	HC-2 Highway Commercial District

*Site and Structure Provisions*

1. The subject property is currently developed with a retail center.

*Compatibility or Suitability with Adjacent Area*

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North (across Gause Boulevard West)	Commercial	HC-2 Highway Commercial District
South	Residential	A-4 Single-Family Residential District (Huntwyck Village Subdivision)
East	Commercial	HC-2 Highway Commercial District
West	Commercial	HC-2 Highway Commercial District



**ZONING STAFF REPORT**  
2023-3669-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

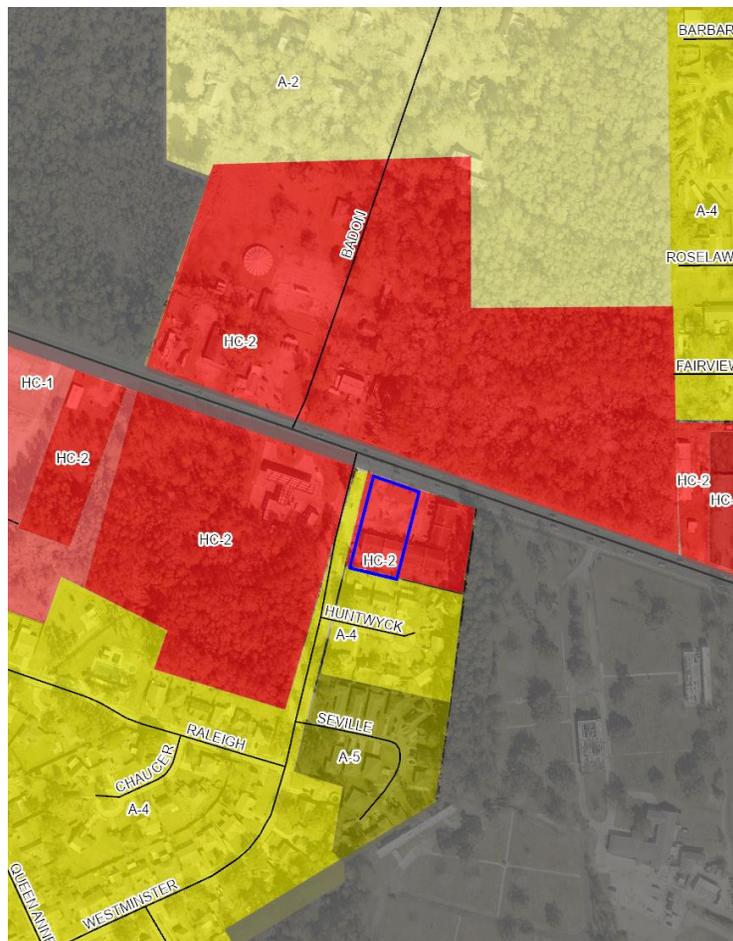
3. Per Sec. 6-34(b), a sale of high alcohol content is not permitted on premises that are located adjacent to single-family residentially zoned property or within 500 feet or less of single-family residentially zoned property unless the property owner has applied for and received the Entertainment Overlay or maintains a 100-foot no cut buffer between the development and residentially zoned property.
4. The purpose of the Entertainment Overlay is to accommodate a limited number of entertainment-based uses required to obtain a permit for the sale of beverages of high alcoholic content, other than beer and wine, in a limited geographic area, adjacent to residentially zoned neighborhood, to maintain a balance of uses that are compatible with the surrounding residential neighborhoods and properties and to protect the character of surrounding residential neighborhoods and properties.
5. If approved, the applicant would be permitted to apply for a liquor license with the St. Tammany Parish Sheriff's Office as well as with the Louisiana ATC Office to serve/sell higher alcohol content on-site.

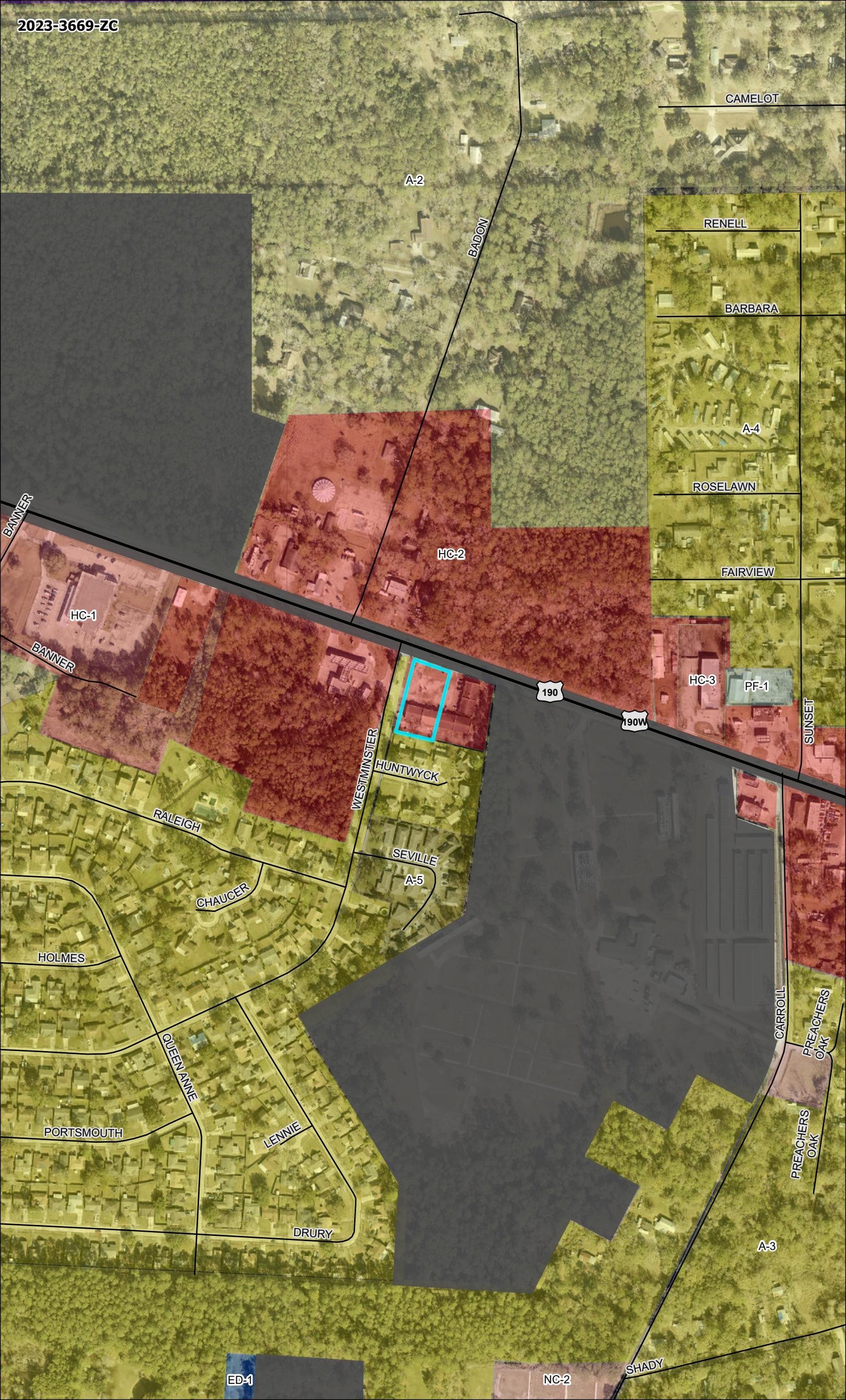
*Consistency with New Directions 2040*

**Commercial:** areas are concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from small clusters of neighborhood-serving uses such as personal care and convenience goods, to large-scale retail centers that employ hundreds and attract thousands of shoppers, to office complexes that employ workers commuting from around Southeast Louisiana and Mississippi. Higher density housing, such as garden apartments and condominiums, may also be located amid Commercial Areas with appropriate buffering to protect resident safety and health. Commercial use intensities correspond to the capacity of infrastructure available to support it.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.
- ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.





CAMELOT

A-2

BADON

RENELL

BARBARA

A-4

ROSELAWN

FAIRVIEW

HC-1

HC-2

HC-3

PF-1

190

190W

SUNSET

WESTMINSTER

HUNTWYCK

SEVILLE

A-5

RALEIGH

CHAUCER

HOLMES

QUEEN ANNE

CARROLL

PREACHERS OAK

PREACHERS OAK

PORTSMOUTH

LENNIE

DRURY

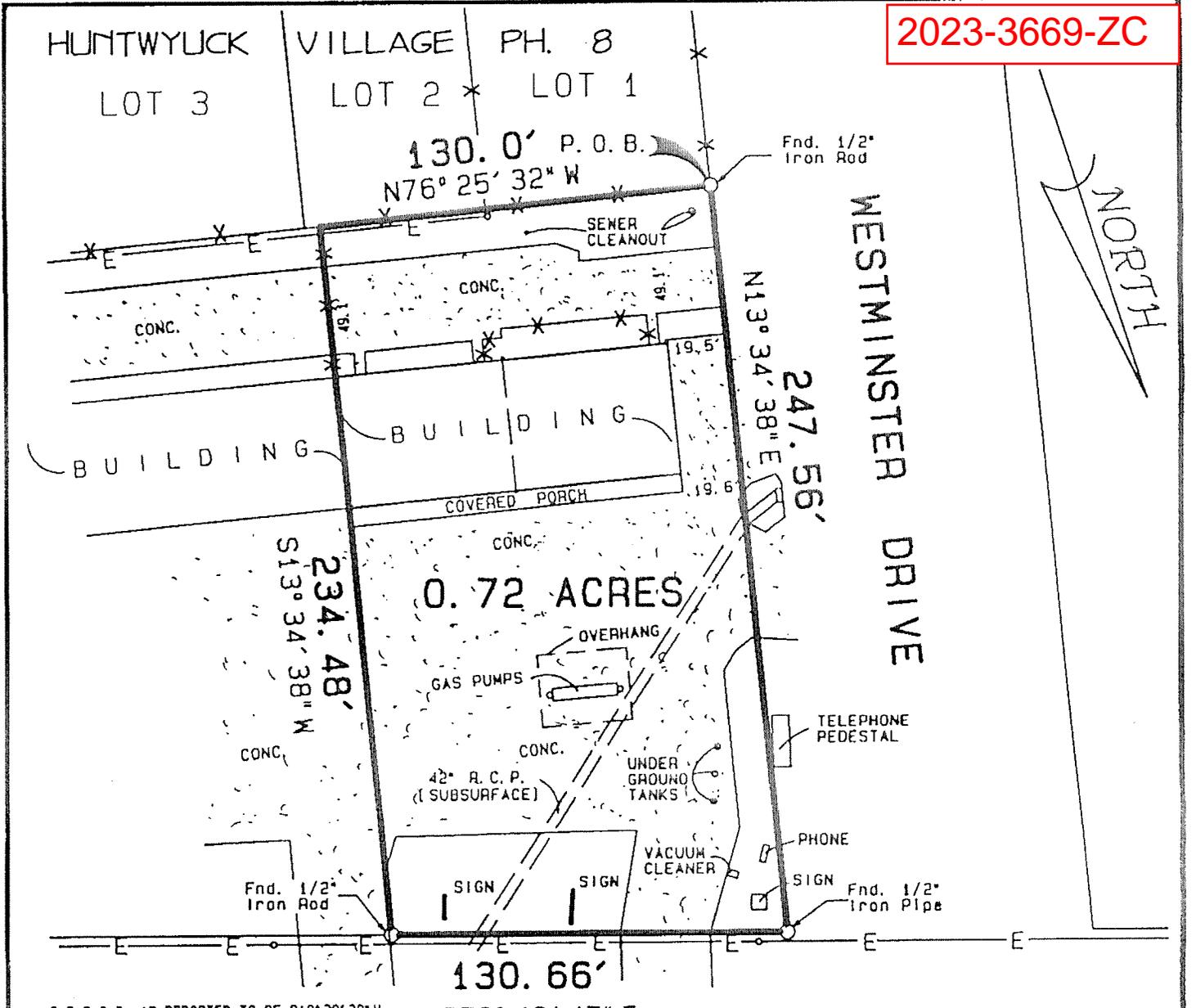
A-3

ED-1

NC-2

SHADY

2023-3669-ZC



THE P.O.B. IS REPORTED TO BE S19°39'38" W  
 255.02'; THENCE S72°36'12" E 457.68';  
 THENCE N13°34'28" E 550.0' FROM THE  
 SECTION CORNER COMMON TO SECTIONS 4, 5  
 & 38, T-9-S, R-14-E, ST. TAMMANY  
 PARISH, LOUISIANA.

S70° 40' 47" E

U. S. HIGHWAY 190

NOTE: Setback lines shall be verified by owner  
 or contractor prior to any construction, as an  
 abstract has not been performed by the undersigned.

Note: Servitudes shown hereon are not  
 necessarily exclusive. Servitudes of  
 record as shown on title opinion or title  
 policy will be added hereto upon request,  
 as surveyor has not performed any title  
 search or abstract.

Note: This is to certify that I have consulted the Federal Insurance  
 Administration Flood Hazard Boundary Maps and found the property  
 described is located in Flood Zone(s) "C" with a  
 Base Flood Elevation of N/A In accordance with Community  
 Panel No. 225205 0420 D ; Revised: APRIL 2, 1991

This is to certify that I have done an  
 actual ground survey and found that  
 no encroachments exist either way across  
 any property lines except as shown.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND  
 AND IS IN ACCORDANCE WITH THE "MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF  
 REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "A" SURVEY.

**SURVEY MAP OF**  
**A 0.72 ACRE PARCEL OF LAND SITUATED**  
 in  
**SECTION 4, T-9-S, R-14-E**  
**St. Tammany Parish, Louisiana**  
 for  
**JOAN MOGENSEN wife of/and**  
**FRANK S. SCIARA**

Survey No. 97127  
 Date: FEBRUARY 17, 1997

Drawn by: JEB  
 Revised:

Scale: 1" = 50'

This Survey is Certified  
 True and Correct By

**JOHN E. BONNEAU & ASSOCIATES, INC.**  
 Professional Land Surveyors • Planners and Consultants  
 1011 N. CAUSEWAY BLVD. - SUITE 34 • MANDEVILLE, LA. 70471 (504) 626-0808  
 SLIDELL (504) 643-2508 • MANDEVILLE (504) 626-3546 • N. O. (504) 456-2042  
 FAX NO. (504) 626-0057

*John E. Bonneau*  
 John E. Bonneau  
 Professional Land Surveyor  
 Registration No. 4423



**ZONING STAFF REPORT**  
2023-3670-ZC

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529      21454 Koop Drive, Suite 1B, Mandeville, LA 70471      stpgov.org/planning

**Location:** Parcel located on the south side of Dr. TJ Smith Expressway, Pearl River; S23, T8S, R14E; Ward 8, District 9      **Council District:** 9  
**Owner:** Lorre Lowe      Posted: January 12, 2024  
**Applicant:** Harrison Eldred      **Commission Hearing:** February 6, 2024  
**Size:** 1.25 acres      **Determination:** Approved, Denied, Postponed

**Current Zoning**

I-4 Heavy Industrial District  
MHO Manufactured Housing Overlay

**Requested Zoning**

I-3 Heavy Industrial District  
MHO Manufactured Housing Overlay

**Future Land Use**

Manufacturing and Logistics

**Flood Zone**

Effective Flood Zone C  
Preliminary Flood Zone X

**Critical Drainage:**

No

**BFE**

FFE is 12" above crown of street



*Findings*

1. The petitioner is requesting to change the zoning classification from I-4 Heavy Industrial District to I-3 Heavy Industrial District. The site is located on the located on the south side of Dr. TJ Smith Expressway, Pearl River.

*Zoning History*

Table 1: Zoning history of Subject Lot(s)

Ordinance	Prior Classification	Amended Classification
99-038	Unknown	M-1 Manufacturing
09-2116	LC Light Commercial	HC-2 Highway Commercial District

*Site and Structure Provisions*

1. The subject property is currently developed with an outdoor storage yard.

*Compatibility or Suitability with Adjacent Area*

2. Table 2: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North (across Highway Department Road)	Undeveloped	I-4 Heavy Industrial District
South	Undeveloped	I-4 Heavy Industrial District
East	Industrial	I-4 Heavy Industrial District
West	Undeveloped	I-4 Heavy Industrial District



**ZONING STAFF REPORT**  
2023-3670-ZC

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

3. The subject property is currently flanked by I-4 Industrial District on all sides.
4. The purpose of the existing I-4 Industrial District is to provide for the location of industrial uses of large scale and highly intense industrial uses along major collectors and arterials in such a fashion and location as to minimize the conflict with nearby residential uses. The only allowable permitted use in the I-4 Heavy Industrial District is an outdoor salvage yard. The remaining fall under the requirements of a Conditional Use which include the following uses: sanitary landfills for the disposal of solid waste, atomic generating plants, chemical processing plants, shipbuilding and repair, asphalt batching plant (except those temporarily erected for a specific construction project), and concrete batching plant (except those temporarily erected for a specific construction project).
5. The applicant's request is to downzone from the I-4 Heavy Industrial District to the I-3 Heavy Industrial District as the former does not include the allowable uses of the I-3 District.
6. The applicant's request, if approved, will rezone the property to the correct zoning classification for the existing bulk storage of petroleum and gasses use.

*Consistency with New Directions 2040*

**Manufacturing and Logistics:** areas provide abundant space and access to infrastructure for a range of uses including advanced manufacturing, storage and distribution, maritime uses, and utilities. These uses serve important economic goals, including provision of living-wage jobs and contribution to a strong tax base. However, some of these uses can negatively impact surrounding communities through truck traffic, noise, and pollution. Manufacturing and Logistics areas are therefore located away from sensitive ecological areas and existing and planned residential areas, and should be located adjacent to high-capacity transportation corridors.

The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:

- i. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.
- ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.



A-4A

HIGHWAY DEPARTMENT

T4

DR TJ SMITH SR



DEROGERS

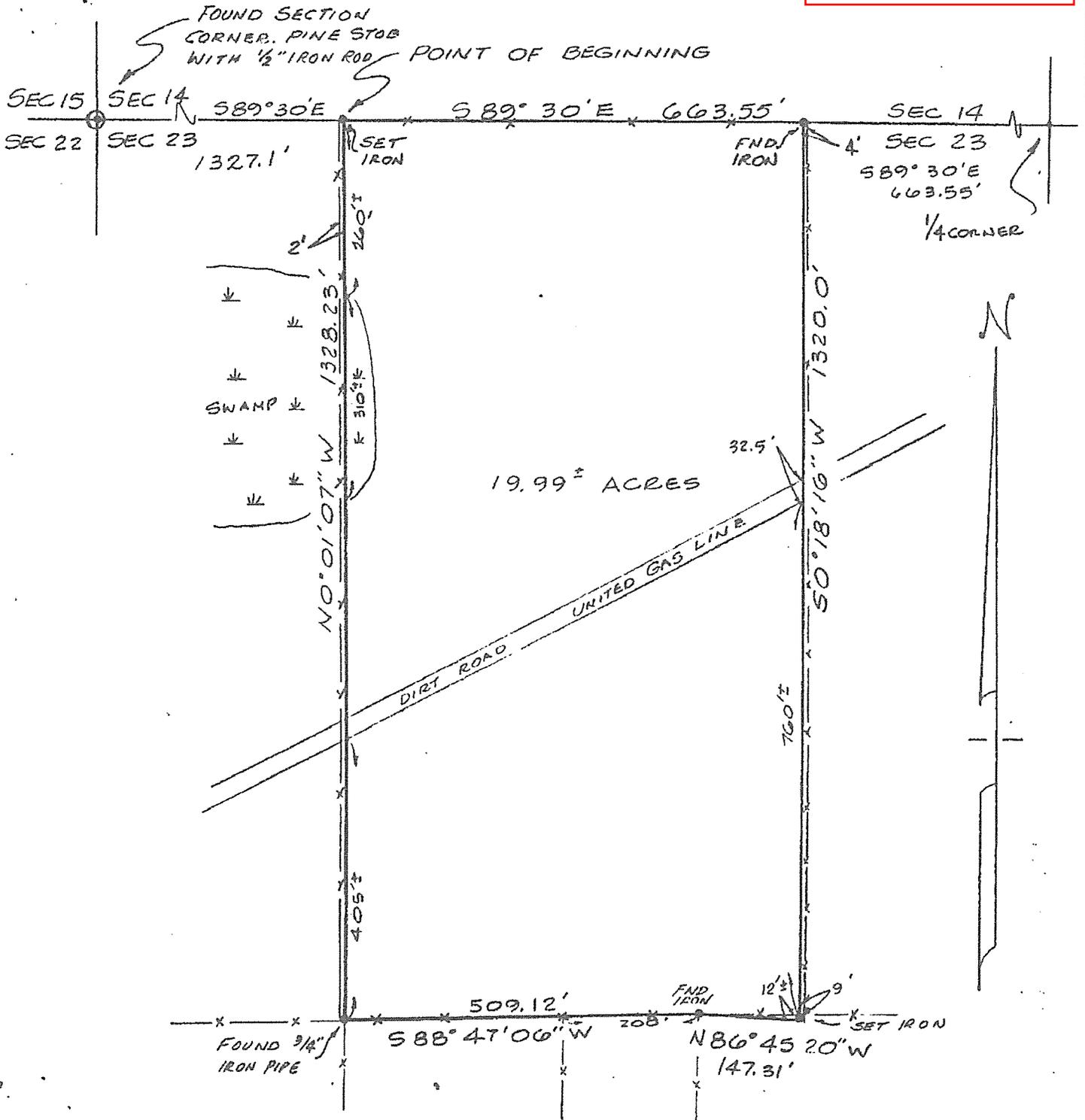
A-4

WILLIE MEARIS

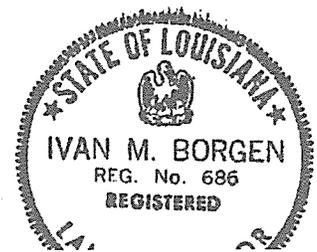
LEWIS

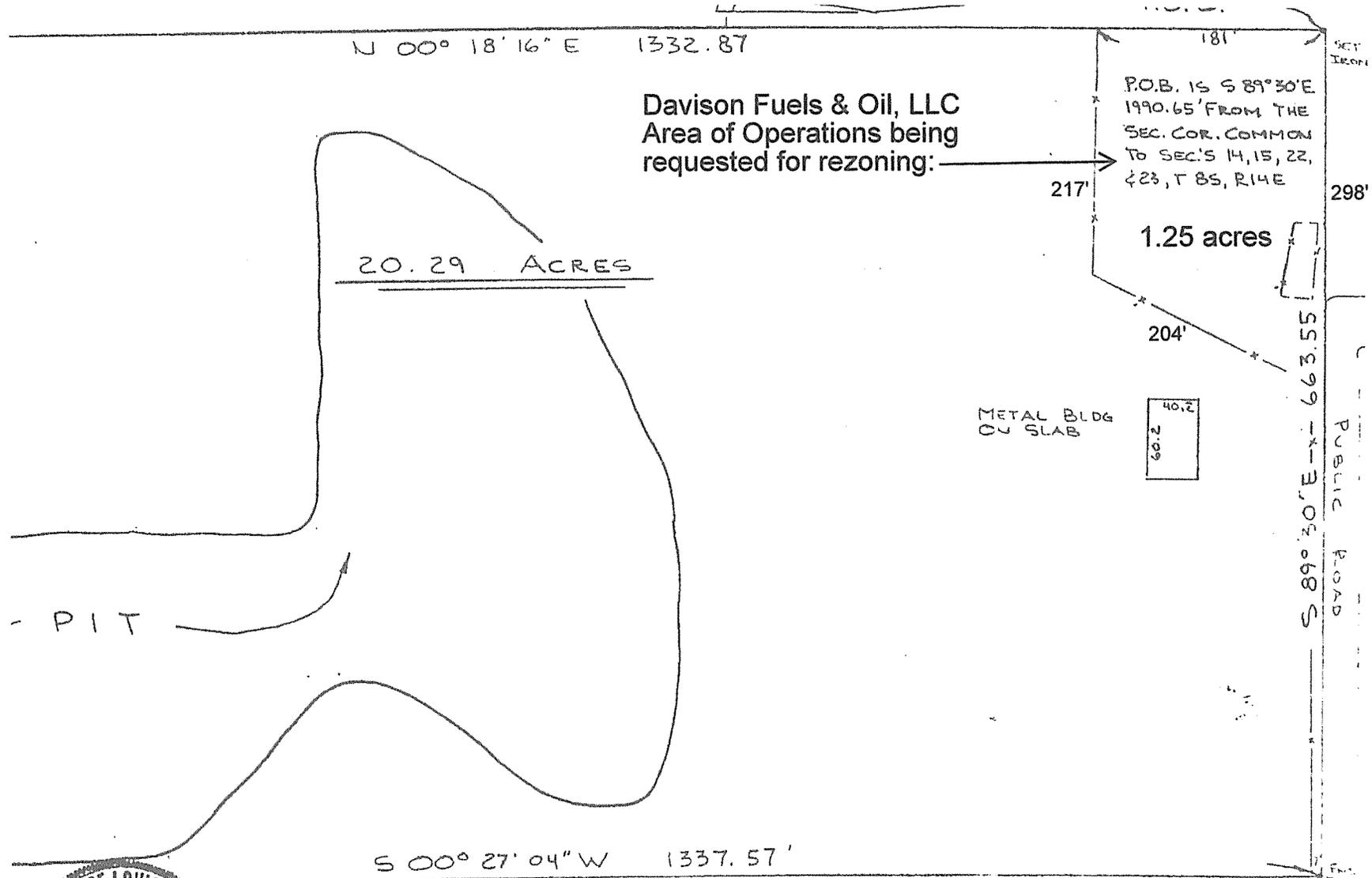
SHORT

2023-3670-ZC



PLAT OF SURVEY OF  
 A PARCEL OF LAND IN  
 SEC. 23-T8S-R14E  
 ST. TAMMANY PARISH, LA.  
 FOR: LORRE L. LOWE



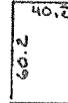


Davison Fuels & Oil, LLC  
Area of Operations being  
requested for rezoning:

20.29 ACRES

1.25 acres

METAL BLDG  
ON SLAB



55.999' - E - 663.55'

PUBLIC ROAD

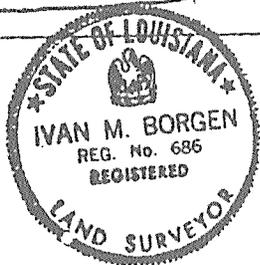
S 00° 27' 04" W 1337.57'

SURVEY PLAT  
IN  
SECTION 23, T 8S, R 14E  
ST. TAMMANY PARISH, LA.  
FOR  
LEON LOWE & SONS

THIS SURVEY IS CERTIFIED  
TRUE AND CORRECT BY

IVAN M. BORGEN  
NO. 686

BORGAN ENGINEERING  
550 BROWNSWITCH ROAD SUITE 100





**ZONING STAFF REPORT**  
2023-3616-PR

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529

21454 Koop Drive, Suite 1B, Mandeville, LA 70471

stpgov.org/planning

**Proposed Use:** Mixed-Use Retail

**Gross Area Lot Size:** 3.53 acres

**Previous/Current Use:** Residential

**Use Size:** Buildings in Phases: 3,265 sq. ft, 5,965 sq. ft, 4,400 sq. ft, 12,495 sq. ft

**Owner:** 21 At the Point, LLC

**Council District:** 1

**Applicant:** David Divincenti, Sr.

**Posted:** November 16, 2023; December 22, 2023; January 26, 2024

**Commission Hearing:** December 5, 2023

**Prior Determination:** Postponed until January 3, 2024

**Determination:** Postponed until February 6, 2024

**Location:** Parcel located on the west side of LA Highway 21 and the east side of LA Highway 1077, Madisonville; S38, S41, S44, T7S, R10E; Ward 1, District 1



**Current Zoning**

NC-5 Retail and Service District

**Planned Corridor Overlay**

Highway 21 Planned Corridor

**Future Land Use**

Commercial

**Flood Zone**

Preliminary: Flood Zone X

Effective Flood Zone C

**Critical Drainage:** No

**Site Information:**

1. The petitioned property consists of a total of 3.53 acres which is located on the west side of LA Highway 21 and the east side of LA Highway 1077, Madisonville. The property was previously occupied with multiple single-family dwellings.
2. The applicant is proposing to develop the site as a mixed-use retail development which will consist of multiple buildings that are proposed to be constructed in phases. The sizes and uses of all buildings are as follows:
  - 3,265 sq. ft. – Phase 1 Medical Clinic
  - 5,965 sq. ft. – Phase 2 Commercial Building
  - 4,400 sq. ft. – Phase 3 Commercial Building
  - 12,495 sq. ft. – Phase 4 Commercial Building

3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Commercial and Residential	NC-1 Professional Office District A-4 Single-Family Residential District
South	Undeveloped	NC-5 Retail Service District
East	Undeveloped and Commercial	NC-1 Professional Office District NC-4 Neighborhood Institutional District
West	Residential	NC-4 Neighborhood Institutional District A-3 Suburban District



**ZONING STAFF REPORT**  
2023-3616-PR

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

4. The subject site is within the Highway 21 Planned Corridor Overlay District and is flanked by commercial and residential uses and zoning classifications to the north, undeveloped commercial property to the south, undeveloped and commercially developed property to the east, and residential uses to the west.
5. The applicant has submitted a concurrent application for a minor subdivision to create a single lot of record out of the four existing lots. This request is being reviewed administratively by the Department of Planning and Development (2023-3615-MSA).

**Findings:**

6. The applicant has submitted a site plan, a grading and drainage plan and drainage impact study, a lighting plan, a tree survey, a landscape plan, and a minor subdivision survey for the proposed development. These documents have been reviewed by staff per the Unified Development Code Section 130-1813. The findings are as follows:

**Tree Preservation**

7. All live oak trees and cypress trees over six inches DBH shall be preserved wherever they may be located on the property. There is a 48" live oak, a 42" live oak, and a 36" cypress on site which the applicant originally requested to remove. These trees are now proposed to be protected and the applicant is no longer requesting a waiver.

**Highway 21 Planned Corridor Street Buffer and Planting Requirements**

1. The Highway 21 Street Buffer requires 58 Class A trees, 87 Class B trees, and 34 shrubs. There are four existing trees within this buffer which provide 15 tree credits. The most current landscape plan is utilizing 10 tree credits, and providing 49 Class A trees and 85 Class B trees. This plan meets the Highway 21 Planned Corridor planting requirements.
  - a. Per Section 130-1976 – Street Planting Areas, ponds are permitted in the street buffers when there are no existing trees to be removed. The subject site currently has 13 existing Crape Myrtles planted in the Highway 21 Street Buffer area and are seeking to remove and relocate these trees elsewhere on site to create two detention ponds.
  - b. Per Section 130-1981 – Retention/detention planting area requirements, there must be a five-foot flat space which is “at least grade level and shall not be excavated or made a part of the slope of the retention/detention pond...which shall contain the required landscaping for the area in which the retention/detention pond is located. For example, if the retention/detention pond is located in a street planting area, the trees and shrubs required in such area shall be planted on such strip”.

As can be seen on Sheet Number 9.1 – “Cross Sections” – “Typical East Pond Section” of the civil documents attached hereto, the applicant is seeking to provide a 7.5’ “planting area” which is being placed on a 1:6 slope and is seeking a waiver to the requirement to provide a five-foot flat space on the Highway 21 ponds.

While the actual planting requirements to provide 58 Class A trees and 87 Class B trees are being met, the applicant is proposing to plant a majority of these trees on a 1:6 slope along the western side of the pond and a 1:4 slope along the eastern side of the pond. Staff has concerns with the potential inundation of these trees, the proposed planting slopes, and the tree’s subsequent survivability.

**Highway 1077 Street Buffer and Planting Requirements**

1. The applicant is proposing to remove 2 existing trees, being a 24” pine and a 30” pine within the Highway 1077 Street buffer for the placement of a pond. This will require a waiver to Section 130-1975(b)(2) which requires all trees over 6” DBH to remain.
2. The Highway 1077 Street Buffer requires 15 Class A trees, 15 Class B trees, and 37 shrubs and is providing the required total, therefore meeting the planting requirement.



**ZONING STAFF REPORT**  
2023-3616-PR

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

- a. Per Section 130-1976 – Street Planting Areas, ponds are permitted in the street buffers when there are no existing trees to be removed. Per #1 above, the applicant is requesting to remove 2 trees within the Highway 1077 Street buffer to create two detention ponds.
- b. Per Section 130-1981 – Retention/detention planting area requirements, there must be a five-foot flat space which is “at least grade level and shall not be excavated or made a part of the slope of the retention/detention pond...which shall contain the required landscaping for the area in which the retention/detention pond is located. For example, if the retention/detention pond is located in a street planting area, the trees and shrubs required in such area shall be planted on such strip”.  
As can be seen on Sheet Number 9.1 – “Cross Sections” – “Typical Southwest Pond Section” of the civil documents attached hereto, the applicant is seeking to provide a 10’ “planting area” which is being placed on a 1:6 slope and is seeking a waiver to the requirement to provide a five-foot flat space on the Highway 1077 southwest pond.

**Side and Rear Buffer and Planting Requirements**

1. The required north and south side buffer areas are being protected from fill with a 6” turn down curb and the existing trees within these buffers are being protected. The applicant is no longer requesting a waiver for the removal of any trees within these buffers and meets all planting requirements.

**Additional Regulations**

1. Per Sec. 130-1813(e)(2)(m), the applicant is required to provide an illustrative approved drainage plan by the Department of Engineering.
  - The applicant has provided a hydrological analysis in accordance with Sec. 115-111. This document has been reviewed and approved by the Department of Engineering.
2. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
  - The applicant has provided a lighting plan which has been reviewed and approved by the Planning Department

**Staff Recommendation:**

As is currently drawn, the applicant is seeking a waiver to provide a 1:6 slope within the required 5 ft. flat space around the ponds in the street buffers. The Highway 21 Planned Corridor requires 43 more Class A trees and 72 more Class B trees than the Highway 1077 street buffer. Staff has concerns regarding the potential inundation of these trees, the proposed planting slopes, and the tree’s subsequent survivability. If the Zoning Commission votes to approve the 1:6 slopes to replace the required 5 ft. flat planting space, staff recommends the applicant move a percentage of the required plantings in the Highway 21 buffer to the tree protection area which is around the existing cypress and live oaks on site. This will enable a better survival rate for the required trees while allowing the applicant to place the ponds in the Highway Street buffers.

**Consistency with New Directions 2040**

**Commercial:** Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

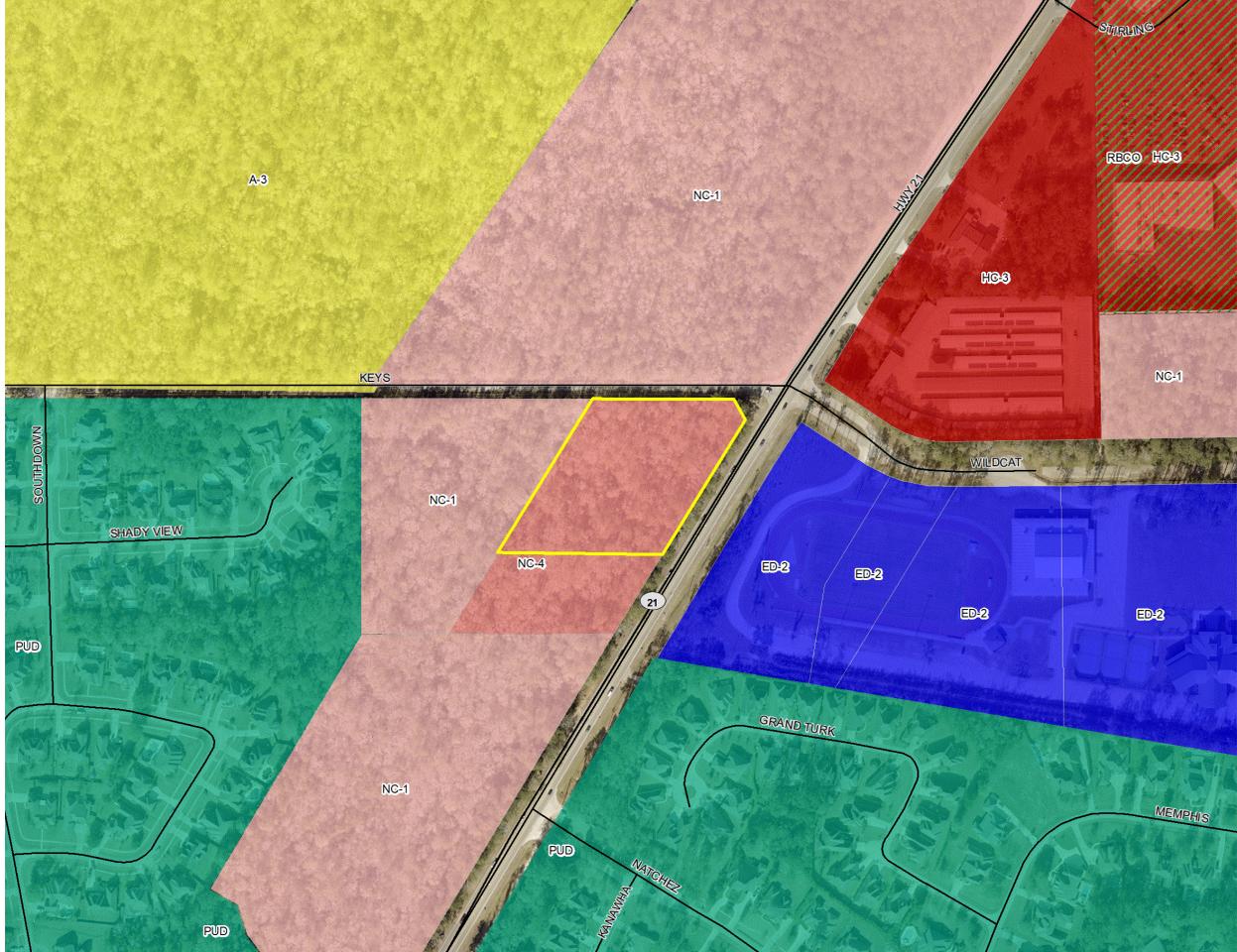
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
  - i. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
  - ii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish’s tax base and provide living wage jobs to residents of varying skill levels.



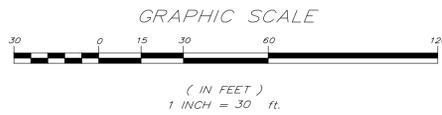
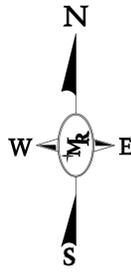
**ZONING STAFF REPORT**  
2023-3616-PR

**MICHAEL B. COOPER**  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director







**LEGEND:**

- PROPERTY LINE
- - - ADJACENT PROPERTY LINE
- - - SECTION LINE
- - - OLD PROPERTY LINE
- X - X - X FENCE
- - - OVERHEAD UTILITIES
- - - ROAD CENTERLINE
- - - BUILDING SETBACK
- PROPERTY CORNER FOUND
- PROPERTY CORNER SET
- ⊗ FOUND RIGHT OF WAY MONUMENT
- ⊗ GAS METER
- ⊗ GATE POST
- ⊗ TELEPHONE PEDESTAL
- ⊗ TELECOMM PEDESTAL/VAULT
- ⊗ ELECTRIC PEDESTAL
- ⊗ UTILITY POLE

**SITE NOTES:**

ZONED: NC-5  
 AREA: 3.526 ACRES  
 NUMBER OF LOTS: 4  
 SEWER: ST. TAMMANY DEPT. OF UTILITIES  
 WATER: ST. TAMMANY DEPT. OF UTILITIES  
 ELECTRIC CO.: CLECO POWER, LLC  
 NAT. GAS: TOWN OF MADISONVILLE

**REFERENCE BEARING: \*S32°24'45"W**

BASED UPON GPS OBSERVATIONS AND FOUND MONUMENTS "A" & "B". BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, LOUISIANA ZONE SOUTH (NAD 83).

**REFERENCE BENCHMARK:**

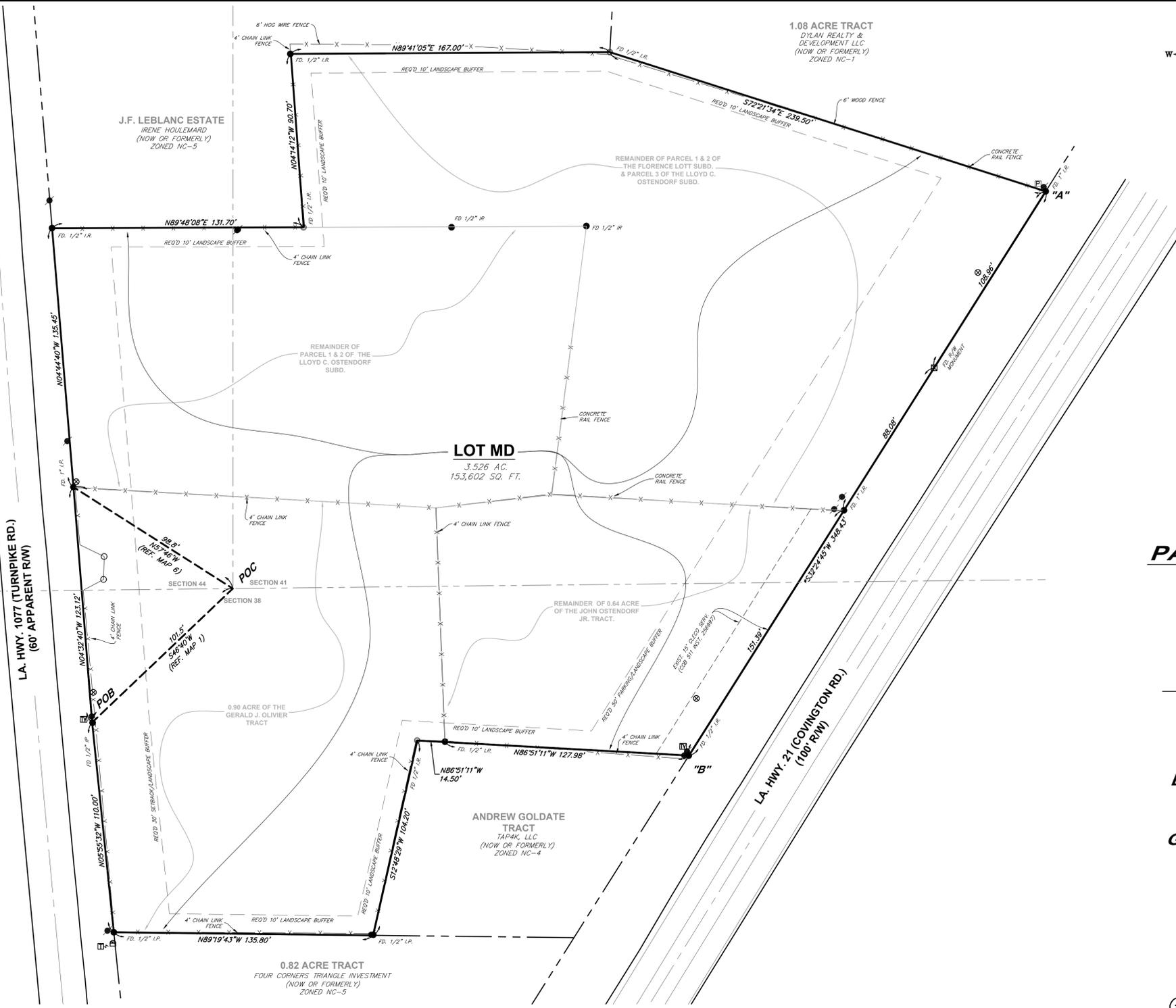
THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NGS STATION "5.81" (PID D64818). THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE (GEOD 18).

**REFERENCE MAPS:**

- 1) MAP SHOWING SURVEY MADE FOR JOHN OSTENDORF JR. IN SECTIONS 38 AND 41, T7S-R10E, GREENSBURG DISTRICT, LOUISIANA, BY C.R. SCHULTZ, SURVEYOR, DATED MAY 13, 1954.
- 2) MAP PREPARED FOR THE EXCLUSIVE USE OF MR. GERALD J. OLIVIER SHOWING A SURVEY MADE OF PROPERTY LOCATED IN, BEING A PART OF SECTION 38, 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED OCT. 2, 1961.
- 3) MAP PREPARED FOR THE EXCLUSIVE USE OF MESSRS. GERALD J. OLIVIER & ANDREW GOLDATE SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTION 38, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY ROBERT A. BERLIN, REGISTERED LAND SURVEYOR, DATED OCT. 10, 1962.
- 4) MAP PREPARED FOR THE EXCLUSIVE USE OF MR. LLOYD OSTENDORF SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 44 & 41, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED FEB. 17, 1964.
- 5) MAP SHOWING SURVEY MADE FOR FLORENCE LOTT IN SECTION 41, T7S-R10E, GREENSBURG DISTRICT, ST. TAMMANY PARISH, LOUISIANA, BY C.R. SCHULTZ, SURVEYOR, DATED MAY 29, 1968.
- 6) MAP PREPARED FOR THE EXCLUSIVE USE OF AUDREY LEBLANC COOPER, ET. AL., SHOWING SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED JAN. 21, 1970.
- 7) MAP PREPARED FOR LLOYD C. OSTENDORF, SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND SURVEYING, INC., DATED MARCH 7, 1984, REVISED MAY 21, 1984 & LAST REVISED JUNE 13, 1984.

**GENERAL NOTES:**

- 1) THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "C" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ST. TAMMANY PARISH, STATE OF LOUISIANA, COMMUNITY-PANEL NUMBER 225205 0220 C, DATED APRIL 2, 1991. THE CURRENT BASE FLOOD ELEVATION IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE DEPARTMENT OF ENGINEERING PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 2) WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NON-VISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NON-VISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
- 3) DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
- 4) NO ATTEMPT HAS BEEN MADE BY MR. ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.



VICINITY MAP

SCALE: 1" = 2,000'

2023-3616-PR

MAP SHOWING  
 MINOR RESUBDIVISION  
 OF  
**THE REMAINDER OF  
 PARCEL NO. 1 & NO. 2  
 FLORENCE LOTT SUBD.  
 & PARCEL 3  
 LLOYD C. OSTENDORF SUBD.  
 AND  
 THE REMAINDER OF  
 THE 0.64 ACRE  
 JOHN OSTENDORF JR. TRACT  
 AND  
 THE REMAINDER OF  
 PARCELS 1 & 2  
 LLOYD OSTENDORF SUBD.  
 AND  
 0.90 ACRES  
 GERALD J. OLIVIER TRACT  
 INTO  
**LOT MD****

LOCATED IN  
 SECTIONS 38, 41 & 44,  
 T7S-R10E,  
 GREENSBURG LAND DISTRICT,  
 ST. TAMMANY PARISH,  
 STATE OF LOUISIANA,  
 FOR  
**21 AT THE POINT, LLC**

**OWNER:**

MICHAEL S. DIVINCENTI, JR. \_\_\_\_\_ DATE \_\_\_\_\_  
 21 AT THE POINT, LLC

**CERTIFICATION:**

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON WAS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5081, ET. SEQ. AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND AND TO THE MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS "B" SURVEY AS ESTABLISHED BY THE LOUISIANA PROFESSIONAL ENGINEERING AND LAND SURVEYING BOARD.

PRELIMINARY FOR REVIEW & COMMENT 12/14/2023  
 CHRISTOPHER B. MAESTRI, P.E., P.L.S. DATE



**APPROVED:**

ST. TAMMANY PARISH

SECRETARY - PLANNING COMMISSION \_\_\_\_\_ DATE \_\_\_\_\_

DIRECTOR - DEPARTMENT OF ENGINEERING \_\_\_\_\_ DATE \_\_\_\_\_

CLERK OF COURT \_\_\_\_\_ DATE \_\_\_\_\_

DATE FILED \_\_\_\_\_ FILE NO. \_\_\_\_\_

PLANS OF PROPOSED PRIVATE PARKING LOT,  
STORM DRAINAGE & UTILITY IMPROVEMENTS  
FOR

21 AT THE POINT

LOCATED ON  
LA-21 & LA-1077

IN SECTIONS 38, 41 & 44 T-7-S, R-10-E  
ST TAMMANY PARISH  
LOUISIANA

2023-3616-PR

January 2024

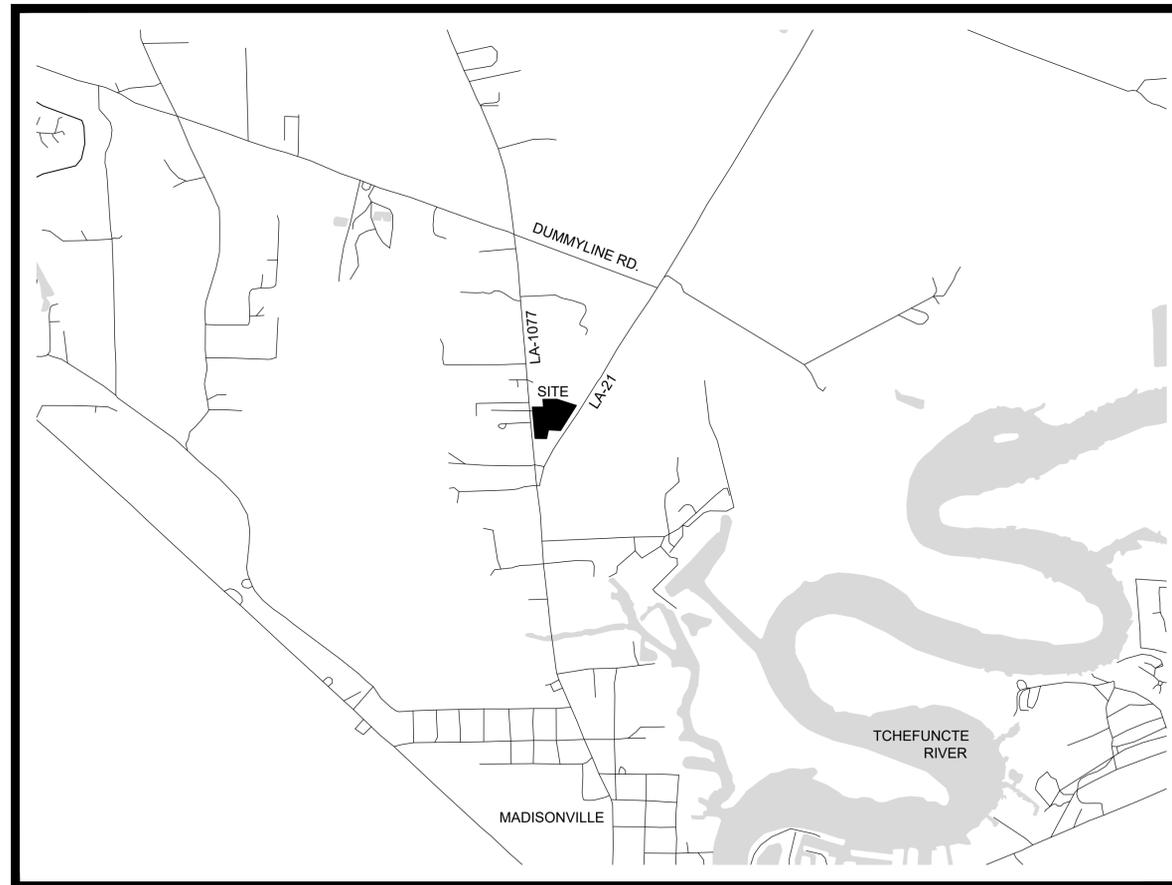
Sheet List Table	
Sheet Number	Sheet Title
01	TITLE SHEET
2	EXISTING CONDITIONS
3	SITE PLAN
3.1	GEOMETRIC SITE PLAN
4	GRADING & DRAINAGE
8.1	SITE DETAILS
9.1	CROSS SECTIONS
9.2	CROSS SECTIONS

**NOTES**

- 1) ALL WORK IN THIS CONTRACT SHALL CONFORM TO THE STANDARD SPECIFICATIONS FOR ST. TAMMANY PARISH ENGINEERING DIVISION, LATEST EDITION.
- 2) THE APPROVAL OF THESE PLANS APPLIES TO THE CONSTRUCTION FEATURES ONLY AS REQUIRED BY THE ST TAMMANY PARISH DEPARTMENT OF PUBLIC WORKS REGULATIONS.
- 3) THE OWNER OF EACH LOT WILL FURNISH AN ELECTRICAL SERVITUDE FROM THE SOURCE OF SUPPLY TO HIS METER LOCATION FOR RECEIPT OF ELECTRIC SERVICE ON THE LOT.
- 4) THE CONTRACTOR SHALL INSTALL AND MAINTAIN ADEQUATE CONSTRUCTION SIGNAGE AND BARRICADES WHERE REQUIRED IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- 5) AN LA DOTD PERMIT IS REQUIRED FOR ACTIVITY WITHIN A STATE RIGHT-OF-WAY.
- 6) MR ENGINEERING & SURVEYING IS NOT RESPONSIBLE FOR ANY LIGHTING DESIGN. ANY DETAILS SHOWN HEREIN ARE FOR INFORMATIONAL PURPOSES ONLY AND SHALL NOT BE DEEMED AS A CERTIFIED DESIGN. THIS INFORMATION IS INCLUDED AS A PLACE HOLDER ONLY AND IS ONLY CONCEPTUAL IN NATURE. PLEASE REFER TO THE APPROPRIATE SHEETS FOR DETAILED INFORMATION TO BE PROVIDED BY OTHERS.
- 7) THE 2016 EDITION OF LOUISIANA STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES, ALONG WITH THE LATEST DOTD SUPPLEMENTAL SPECIFICATIONS, SHALL GOVERN ON THIS PROJECT WITHIN DOTD RIGHT OF WAY.

APPLICABLE D.O.T.D. STANDARD PLANS\*

- BM-01 BEDDING AND BACKFILL DETAILS
- EC-01 TEMPORARY EROSION CONTROL DETAILS
- CB-01 CONCRETE OPEN TOP CATCH BASIN



**VICINITY MAP**  
SCALE: 1" = 1,000'

**MR** MR ENGINEERING & SURVEYING, LLC  
3945 Interline Avenue, Baton Rouge, LA 70809 225-490-9592

STATE OF LOUISIANA  
CHRISTOPHER MAESTRI  
License No. 44543  
PROFESSIONAL ENGINEER  
01/22/24  
CIVIL ENGINEERING

**Louisiana 811**  
LA ONE CALL - CALL BEFORE YOU DIG  
FOR INFORMATION ON THE 811 SERVICE AND TO CALL  
LOUISIANA, PLEASE CALL 811 OR VISIT 811.LA  
PARISH DEPARTMENT OF PUBLIC WORKS TO HAVE UTILITIES  
LOCATED. FOR A LIST OF PARTICIPATING UTILITIES, VISIT  
FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES  
THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

21 AT THE POINT  
LA 21 & LA 1077  
MADISONVILLE, LOUISIANA  
ST. TAMMANY PARISH  
TITLE SHEET

DESIGNED	CBM	CMS	11/2023
CHECKED	CBM	CMS	1 OFB
DETAILED	CBM	CMS	
CHECKED	CBM	CMS	
DATE			
SHEET			

REVISION	DATE	DESCRIPTION	BY
1	12/15/23	PERMITTING COMMENTS	CBM
2	01/22/24	PERMITTING COMMENTS	CBM

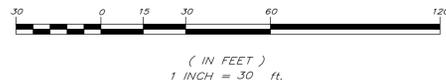
SHEET NUMBER 1

**LEGEND:**

- PROPERTY LINE
- ADJACENT PROPERTY LINE
- FENCE
- ROAD STRIPING
- CULVERT
- OVERHEAD UTILITIES
- ROAD CENTERLINE
- EDGE OF GRAVEL
- TOP BANK OF DITCH
- DITCH CENTERLINE
- BUILDING SETBACK
- PROPERTY CORNER FOUND
- PROPERTY CORNER SET
- FOUND RIGHT OF WAY MONUMENT
- DROP INLET SQUARE
- WATER FAUCET
- GAS METER
- STORM SHELTER VENT
- GATE POST
- SIGN POST
- TELEPHONE PEDESTAL
- TELEVISION PEDESTAL/VAULT
- ELECTRIC PEDESTAL
- POWER POLE
- AIR CONDITIONING UNIT
- GUY WIRE WITH ANCHOR



**GRAPHIC SCALE**



**SITE NOTES:**

2023-3616-PR

ZONED: NC-5  
 AREA: 3.526 ACRES  
 SEWER: ST. TAMMANY DEPT. OF UTILITIES  
 WATER: ST. TAMMANY DEPT. OF UTILITIES  
 ELECTRIC CO.: CLECO POWER, LLC  
 NAT. GAS: TOWN OF MADISONVILLE

**REFERENCE BEARING: \*S32°24'45"W**

BASED UPON GPS OBSERVATIONS AND FOUND MONUMENTS "A" & "B". BEARINGS SHOWN HEREON ARE BASED ON THE STATE PLANE COORDINATE SYSTEM, LOUISIANA ZONE SOUTH (NAD 83).

**REFERENCE BENCHMARK:**

THE HORIZONTAL POSITIONS AND GRID BEARINGS SHOWN ARE REFERENCED TO NGS STATION "SUB1" (PID 064818). THE HORIZONTAL POSITIONS AND GRID BEARINGS ARE REFERENCED TO THE NAD 83 DATUM AND ARE GIVEN IN VALUES CORRESPONDING TO THE STATE PLANE COORDINATE SYSTEM, LOUISIANA SOUTH ZONE (GEOID 18).

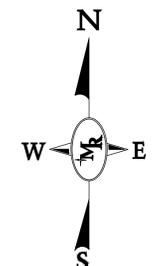
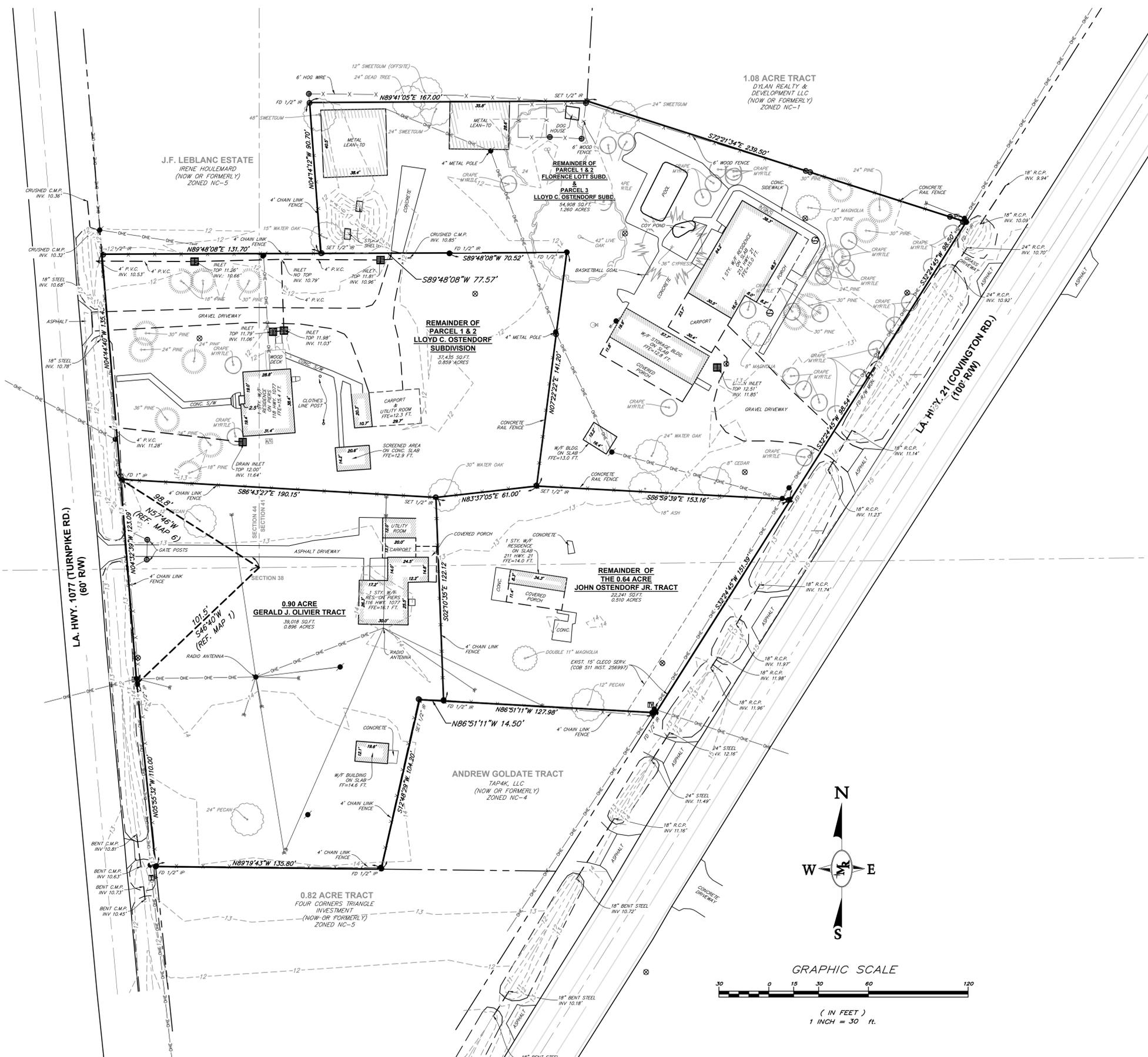
**REFERENCE MAPS:**

- 1) MAP SHOWING SURVEY MADE FOR JOHN OSTENDORF JR. IN SECTIONS 38 AND 41, T7S-R10E, GREENSBURG DISTRICT, LOUISIANA, BY C.R. SCHULTZ, SURVEYOR, DATED MAY 13, 1954.
- 2) MAP PREPARED FOR THE EXCLUSIVE USE OF MR. GERALD J. OLIVIER SHOWING A SURVEY MADE OF PROPERTY LOCATED IN BEING A PART OF SECTION 38, 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED OCT. 2, 1961.
- 3) MAP PREPARED FOR THE EXCLUSIVE USE OF MESSRS. GERALD J. OLIVIER & ANDREW GOLDATE SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTION 38, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY ROBERT A. BERLIN, REGISTERED LAND SURVEYOR, DATED OCT. 10, 1962.
- 4) MAP PREPARED FOR THE EXCLUSIVE USE OF MR. LLOYD OSTENDORF SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 44 & 41, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED FEB. 17, 1964.
- 5) MAP SHOWING SURVEY MADE FOR FLORENCE LOTT IN SECTION 41, T7S-R10E, GREENSBURG DISTRICT, ST. TAMMANY PARISH, LOUISIANA, BY C.R. SCHULTZ, SURVEYOR, DATED MAY 29, 1968.
- 6) MAP PREPARED FOR THE EXCLUSIVE USE OF AUDREY LEBLANC COOPER, ET. AL., SHOWING SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND ENGINEERING SERVICES, INC., DATED JAN. 21, 1970.
- 7) MAP PREPARED FOR LLOYD C. OSTENDORF, SHOWING A SURVEY MADE OF PROPERTY LOCATED IN SECTIONS 41 & 44, T7S-R10E, ST. TAMMANY PARISH, LOUISIANA, BY LAND SURVEYING, INC., DATED MARCH 7, 1984, REVISED MAY 21, 1984 & LAST REVISED JUNE 13, 1984.

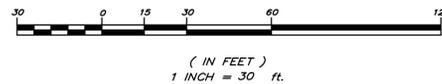
**GENERAL NOTES:**

- 1) THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "C" AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ST. TAMMANY PARISH, STATE OF LOUISIANA, COMMUNITY-PANEL NUMBER 225205 0220 C, DATED APRIL 2, 1991. THE CURRENT BASE FLOOD ELEVATION IS SUBJECT TO CHANGE AND SHOULD BE VERIFIED WITH THE DEPARTMENT OF ENGINEERING PRIOR TO ISSUANCE OF BUILDING PERMITS.
- 2) WHERE FOUND, PHYSICAL ABOVE GROUND EVIDENCE OF UTILITIES HAVE BEEN SHOWN HEREON. THE LOCATION OF UNDERGROUND AND OTHER NON-VISIBLE UTILITIES, HOWEVER, HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE CONTROLLING AGENCIES AND / OR EXTRACTED FROM RECORDS MADE AVAILABLE BY THE CONTROLLING AGENCIES. THE ACTUAL LOCATIONS OF UNDERGROUND AND OTHER NON-VISIBLE UTILITIES MAY VARY FROM THOSE SHOWN ON THIS SURVEY. ANY REQUEST FOR UTILITY LOCATIONS SHOULD BE MADE THROUGH LOUISIANA ONE CALL, CONTACT LOUISIANA ONE CALL AT 1-800-272-3020 BEFORE DIGGING.
- 3) DELINEATION OF JURISDICTIONAL WETLANDS HAS NOT BEEN REQUESTED NOR IS A PART OF THIS SURVEY.
- 4) NO ATTEMPT HAS BEEN MADE BY MR ENGINEERING & SURVEYING, LLC TO VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS, RIGHTS OF WAY, OR OTHER BURDENS ON THE PROPERTY OTHER THAN THAT FURNISHED BY THE OWNER OR THE OWNERS REPRESENTATIVE.

NOTE: THIS IS NOT A BOUNDARY SURVEY PER LA REVISED STATUTES. BEARINGS & DISTANCES ARE FOR REFERENCE ONLY. SHEET IS ONLY PROVIDED TO SHOW SCOPE OF DEMOLITION WORK REQUIRED



**GRAPHIC SCALE**



MR ENGINEERING & SURVEYING, LLC  
 9345 Metairie Avenue, Baton Rouge, LA 70809 225-490-9692

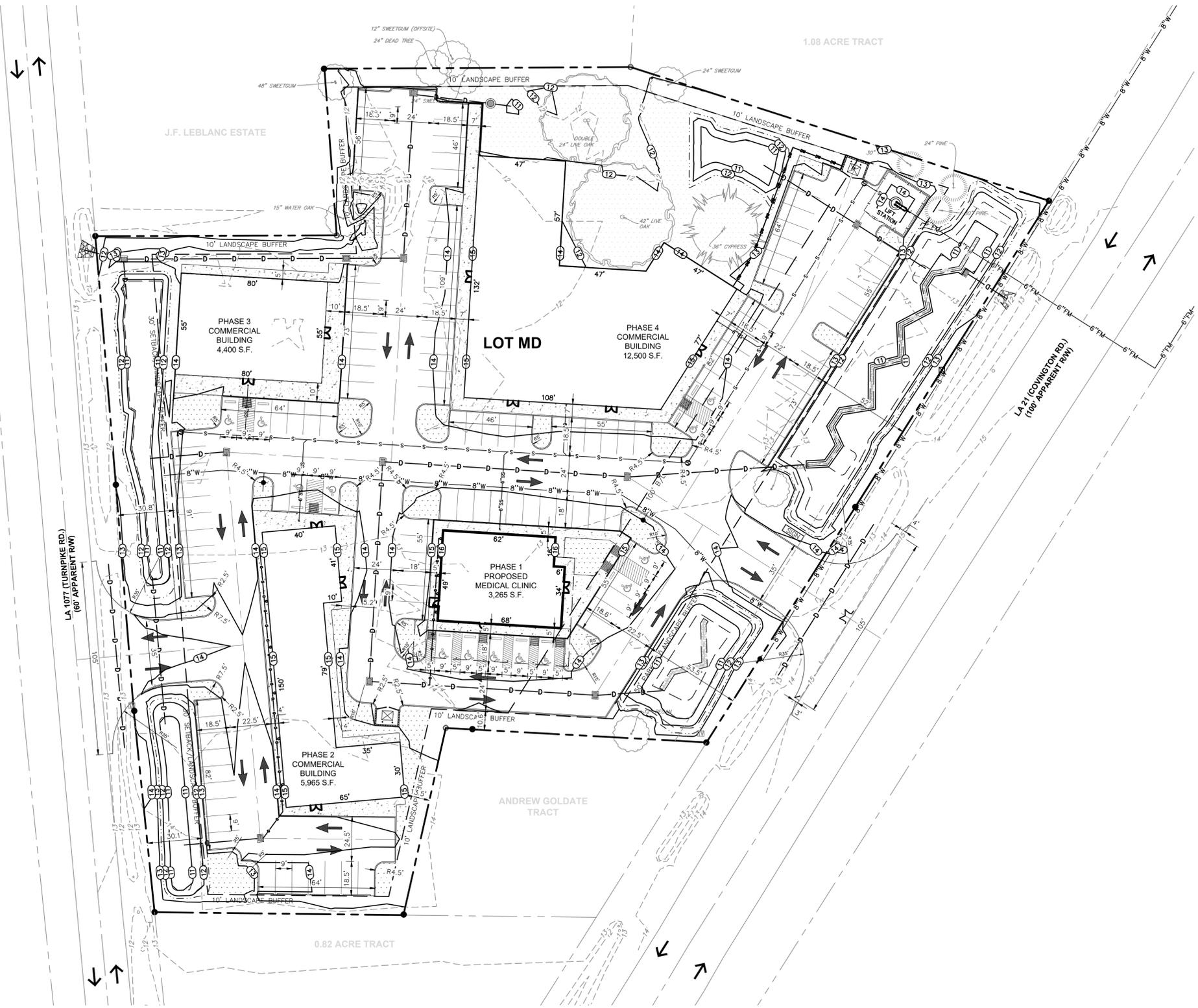
21 AT THE POINT  
 LA 21 & LA 1077  
 MADISONVILLE, LOUISIANA  
 ST. TAMMANY PARISH  
 EXISTING CONDITIONS

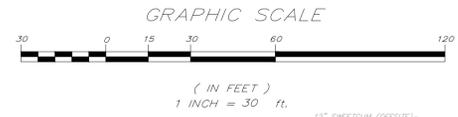
DESIGNED	CHECKED	DATE	BY	REVISION	DESCRIPTION
GMS	GMS	1/2024	GMS	2	OFB
GMS	GMS				
GMS	GMS				
GMS	GMS				

SHEET NUMBER 2

C:\USERS\CHRIS\MES\PROJECTS\BROOKHAVEN\PROJECTS\EXISTING CONDITIONS.DWG JAN-21-2024 CHRIS





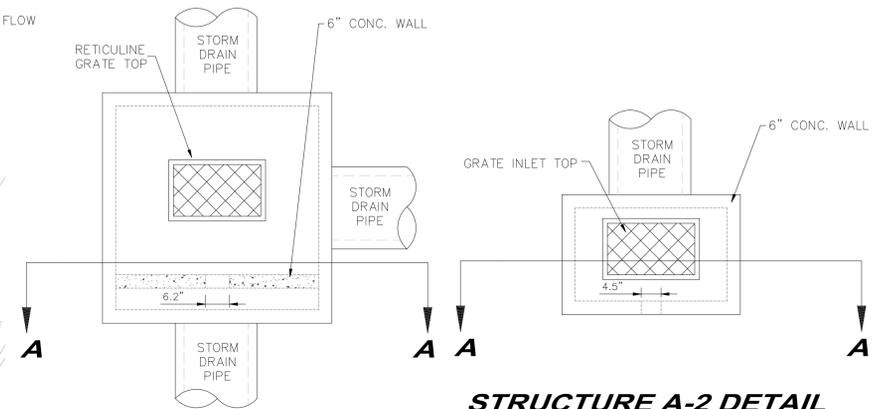


**GRADING NOTE:**

1. EXISTING GRADES AROUND TREES TO REMAIN. PLACEMENT OF MORE THAN ONE INCH OF FILL WITHIN REQUIRED BUFFERS AROUND TREES REQUIRED TO REMAIN IS PROHIBITED. (RE: LANDSCAPE)

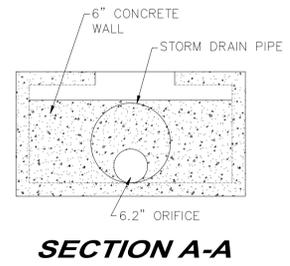
**LEGEND**

- - - - - EXISTING CONTOURS
- DRAINAGE PIPE
- INDICATES DIR. OF DRAIN. FLOW
- ▣ RETICULINE GRATE INLET
- YARD DRAIN
- HIGH POINT
- GUTTER DOWNSPOUT

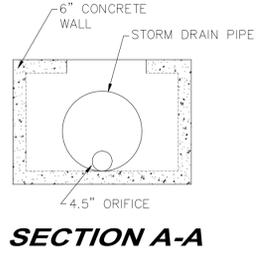


**STRUCTURE F-2 DETAIL**  
SCALE: N.T.S.

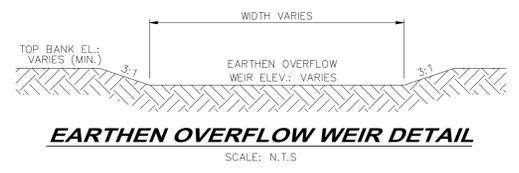
**STRUCTURE A-2 DETAIL**  
SCALE: N.T.S.



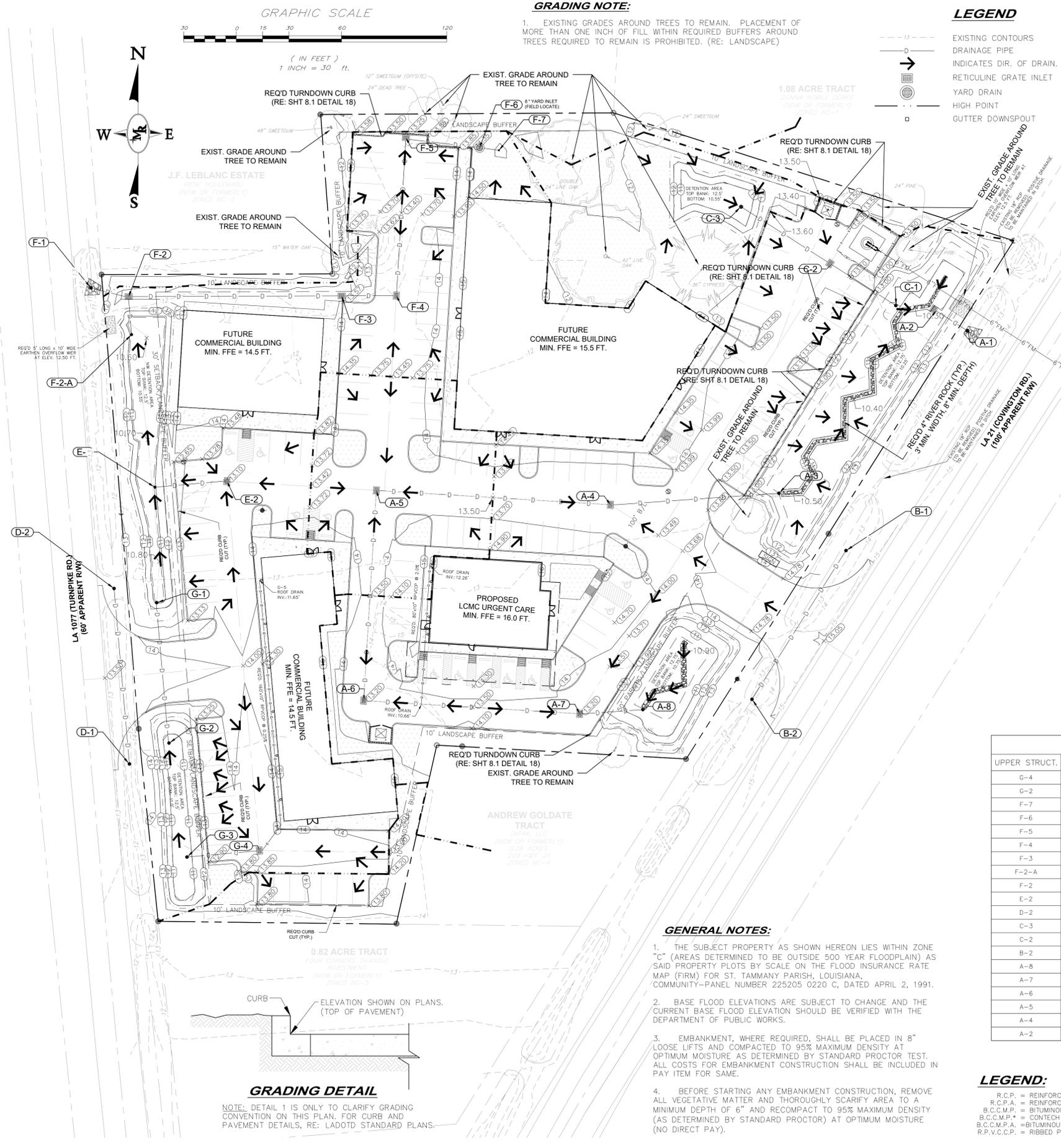
**SECTION A-A**



**SECTION A-A**



**EARTHEN OVERFLOW WEIR DETAIL**  
SCALE: N.T.S.



**GENERAL NOTES:**

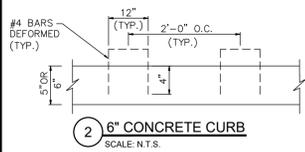
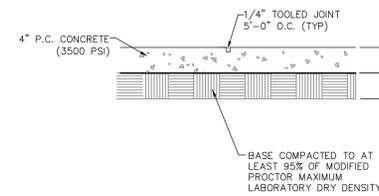
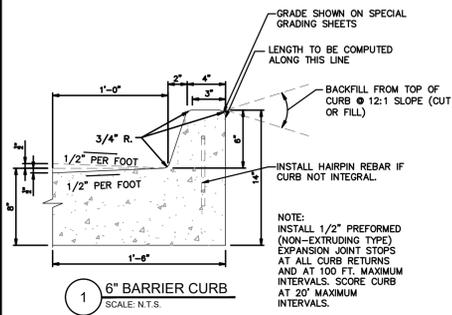
1. THE SUBJECT PROPERTY AS SHOWN HEREON LIES WITHIN ZONE "C" (AREAS DETERMINED TO BE OUTSIDE 500 YEAR FLOODPLAIN) AS SAID PROPERTY PLOTS BY SCALE ON THE FLOOD INSURANCE RATE MAP (FIRM) FOR ST. TAMMANY PARISH, LOUISIANA, COMMUNITY-PANEL NUMBER 225205 0220 C, DATED APRIL 2, 1991.
2. BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE DEPARTMENT OF PUBLIC WORKS.
3. EMBANKMENT, WHERE REQUIRED, SHALL BE PLACED IN 8" LOOSE LIFTS AND COMPACTED TO 95% MAXIMUM DENSITY AT OPTIMUM MOISTURE AS DETERMINED BY STANDARD PROCTOR TEST. ALL COSTS FOR EMBANKMENT CONSTRUCTION SHALL BE INCLUDED IN PAY ITEM FOR SAME.
4. BEFORE STARTING ANY EMBANKMENT CONSTRUCTION, REMOVE ALL VEGETATIVE MATTER AND THOROUGHLY SCARIFY AREA TO A MINIMUM DEPTH OF 6" AND RECOMPACT TO 95% MAXIMUM DENSITY (AS DETERMINED BY STANDARD PROCTOR) AT OPTIMUM MOISTURE (NO DIRECT PAY).

**LEGEND:**

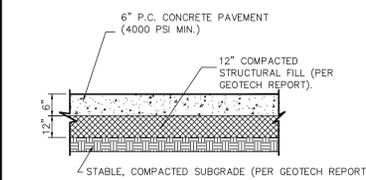
- R.C.P. = REINFORCED CONCRETE PIPE
- R.C.P.A. = REINFORCED CONCRETE PIPE ARCHED EQUIVALENT
- B.C.C.M.P. = BITUMINOUS COATED CORRUGATED METAL PIPE
- B.C.C.M.P.A. = CONTECH ULTRA FLO B.C.C.M.P.
- B.C.C.M.P.A. = BITUMINOUS COATED CORRUGATED METAL PIPE ARCHED EQUIV.
- R.P.V.C.C.P. = RIBBED P.V.C. CULVERT PIPE

**GRADING DETAIL**

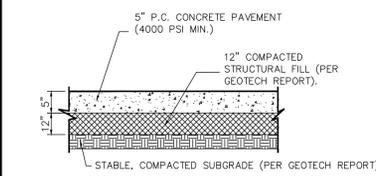
NOTE: DETAIL 1 IS ONLY TO CLARIFY GRADING CONVENTION ON THIS PLAN. FOR CURB AND PAVEMENT DETAILS, RE: LADOTD STANDARD PLANS.



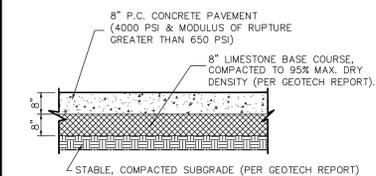
**NOTE:**  
ALL PAVEMENT, BASE & SUBGRADE SECTIONS SHALL MEET THE REQUIREMENTS SET FORTH BY THE GEOTECHNICAL REPORT.



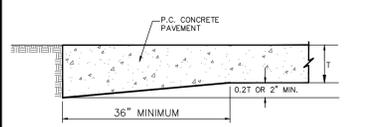
3 HEAVY DUTY P.C. PAVEMENT & DRIVEWAY APRON SECTIONS  
SCALE: N.T.S.



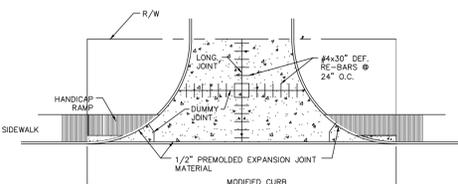
4 STANDARD DUTY P.C. CONCRETE PAVEMENT SECTION  
SCALE: N.T.S.



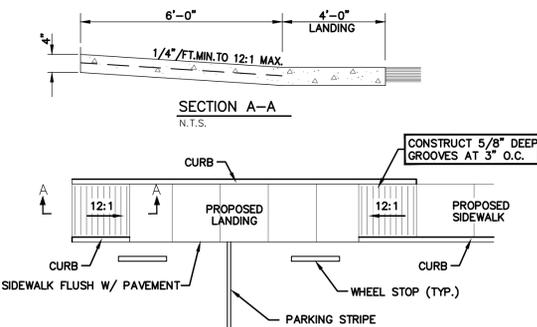
5 DUMPSTER PAD TYPICAL SECTION  
SCALE: N.T.S.



6 THICKENED P.C. PAVEMENT AT EDGES W/O CURB  
SCALE: N.T.S.



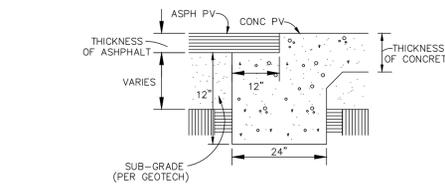
8 SINGLE CURBED DRIVE WITH SETBACK SIDEWALK  
SCALE: N.T.S.



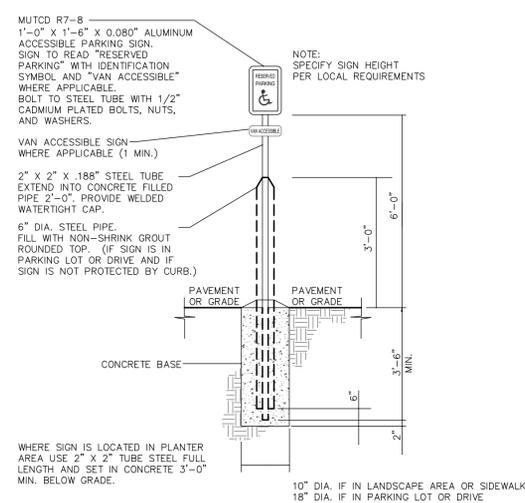
**DETECTABLE WARNING SURFACE SHALL COMPLY WITH THE FOLLOWING:**

- 1) WITHIN PUBLIC R/W: DETECTABLE WARNING SHALL BE RAISED TRUNCATED DOMES WITH DIAMETER OF 0.9 INCHES, A HEIGHT OF NOMINAL 0.2 INCHES AND A CENTER TO CENTER SPACING OF 2.35 INCHES (COLOR BY ARCH).
- 2) WITHIN SCHOOL PROPERTY: DETECTABLE WARNING SHALL BE 1/4\"/>

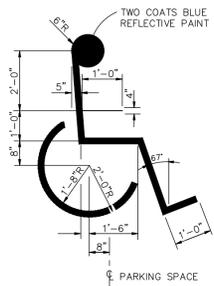
9 ACCESSIBLE SIDEWALK RAMPS  
SCALE: N.T.S.



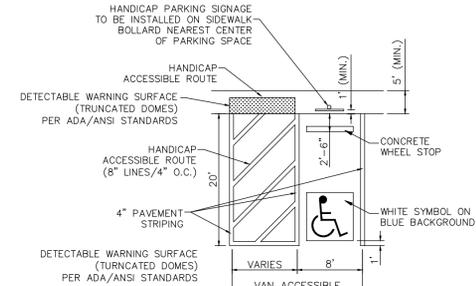
10 CONCRETE PV & ASPHALT PV CONNECTION  
SCALE: N.T.S.



11 ACCESSIBLE SIGN DETAIL (R7-8)  
SCALE: N.T.S.



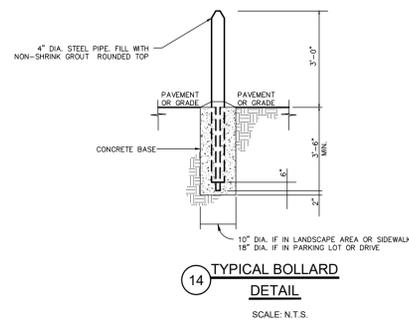
12 ACCESSIBLE SYMBOL OF ACCESSIBILITY  
SCALE: N.T.S.



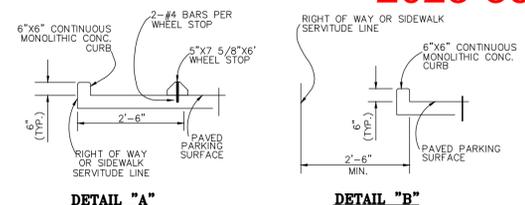
**NOTES:**

1. THE LAYOUT SHOWN HEREON IS A TYPICAL HANDICAPPED PARKING LAYOUT. REFER TO THE GEOMETRIC LAYOUT SHOWN HEREIN FOR EXACT LOCATION OF HANDICAPPED PARKING.
2. ALL HANDICAPPED PAVEMENT STRIPING AND SYMBOLS SHALL BE BLUE THERMOPLASTIC PAVEMENT MARKINGS.
3. ALL HANDICAPPED PARKING SHALL CONFORM TO CURRENT A.D.A. REQUIREMENTS

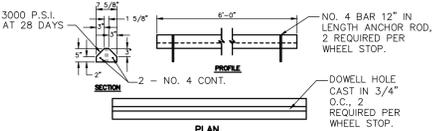
13 TYPICAL HANDICAPPED PARKING LAYOUT  
SCALE: N.T.S.



14 TYPICAL BOLLARD DETAIL  
SCALE: N.T.S.



DETAIL "A" DETAIL "B"

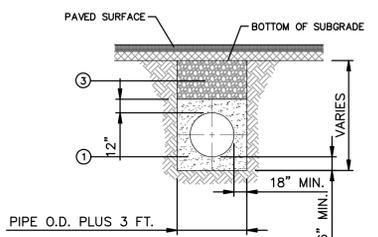


DETAIL "C"

**NOTES:**

1. WHEN THE END OF PARKING STALL ABUTS THE RIGHT OF WAY LINE, OR SIDEWALK SERVICE LINE, USE DETAIL "A" OR "B".
2. DETAIL "A" OR "B" WILL ALSO APPLY IN CASES WHEN PARKING STALL DOES NOT ABUT THE RIGHT OF WAY LINE OR SIDEWALK SERVICE LINE, BUT IS WITHIN 10 FEET OF SAID LINE.

15 WHEEL STOP DETAILS  
SCALE: N.T.S.

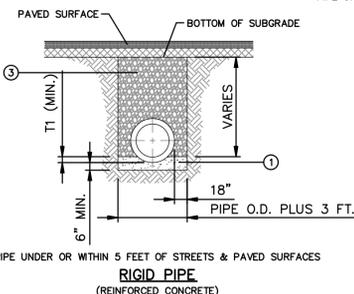


PIPE BEDDING SCHEDULE (RIGID PIPE)

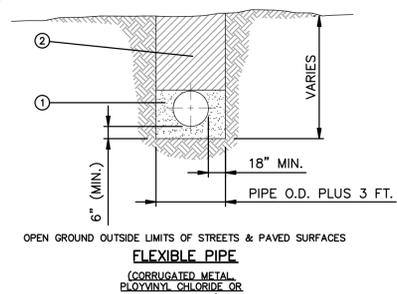
PIPE SIZE	T1 (MIN.)
*12"-30"	6"
36"-60"	12"
66"-96"	18"

- 1 GRANULAR BEDDING MATERIAL COMPACTED TO 95% STANDARD PROCTOR DENSITY. (NO DIRECT PAY)
- 2 BACKFILL MATERIAL (QUALITY EXCAVATED OR SELECT MATERIAL). COMPACTED TO A DENSITY AT LEAST EQUAL TO THE SURROUNDING UNDISTURBED SOIL. (NO DIRECT PAY).
- 3 BACKFILL MATERIAL (SAND). COMPACTED TO 95% STANDARD PROCTOR DENSITY. (NO DIRECT PAY).

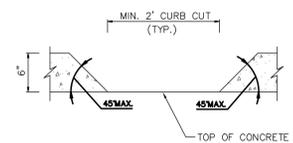
16 BEDDING & BACKFILL DETAILS  
SCALE: N.T.S.



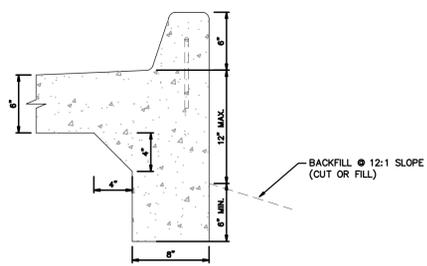
RIGID PIPE (REINFORCED CONCRETE)



FLEXIBLE PIPE (CORRUGATED METAL, POLYVINYL CHLORIDE OR POLYETHYLENE)



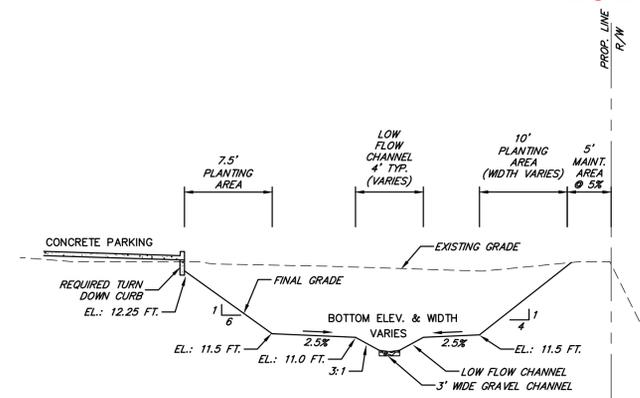
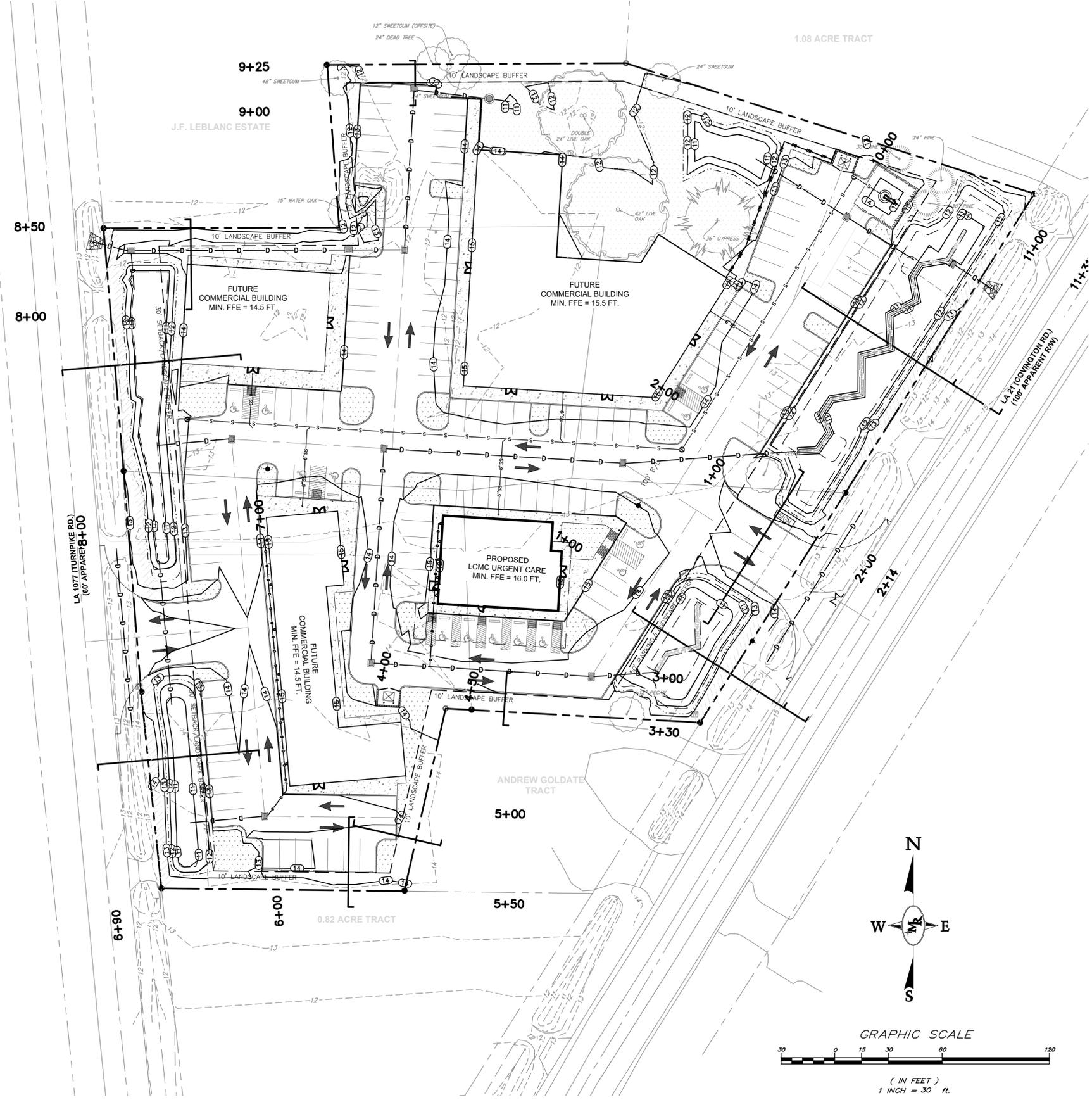
17 CURB OPENING DETAIL  
SCALE: N.T.S.



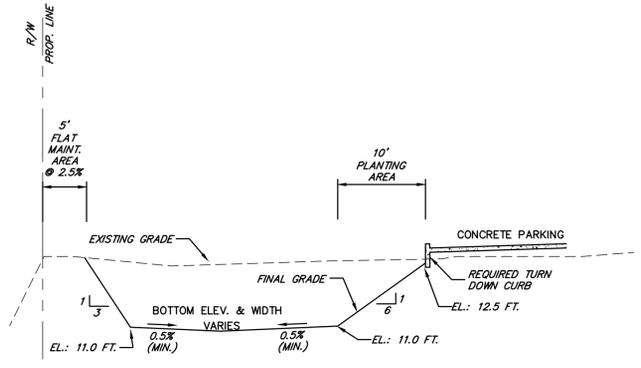
18 TURNDOWN CURB DETAIL  
SCALE: N.T.S.

DESIGNED	CBS	CMS	DETAILED	CBS	CMS	DATE	BY
CHECKED			CHECKED			1/2024	8.1/CFB

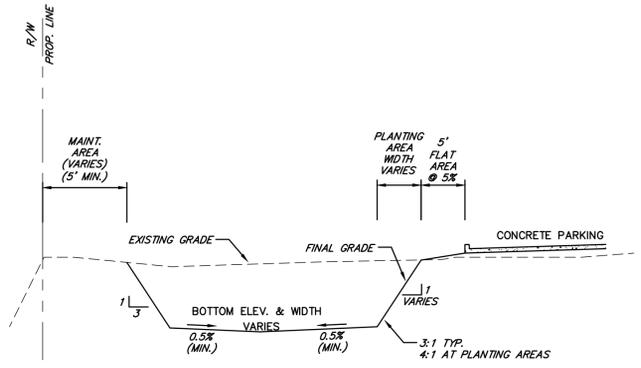
REVISION NUMBER	REVISION DESCRIPTION	DATE	BY



**TYPICAL EAST POND SECTION**  
SCALE: N.T.S.



**TYPICAL SOUTHWEST POND SECTION**  
SCALE: N.T.S.

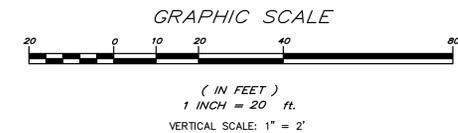
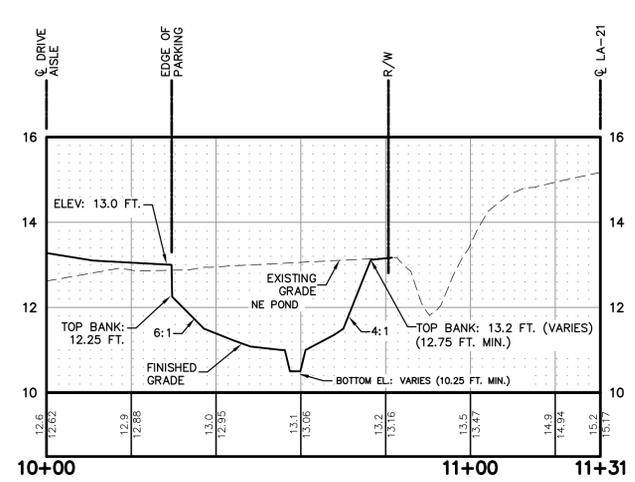
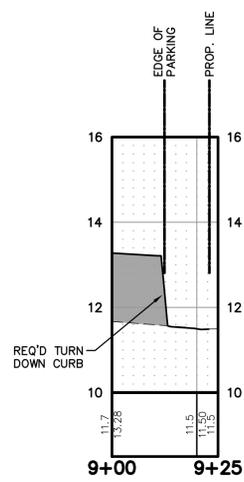
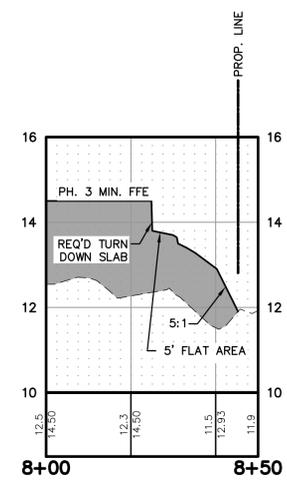
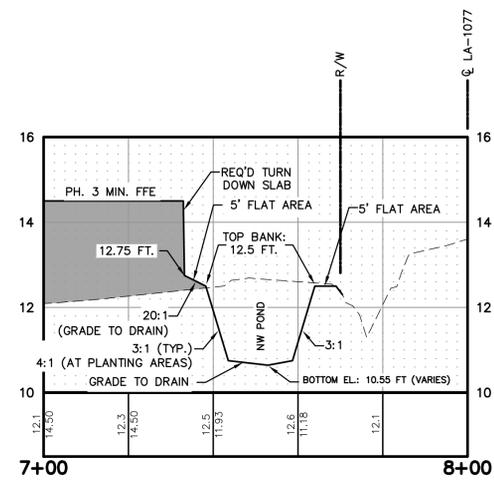
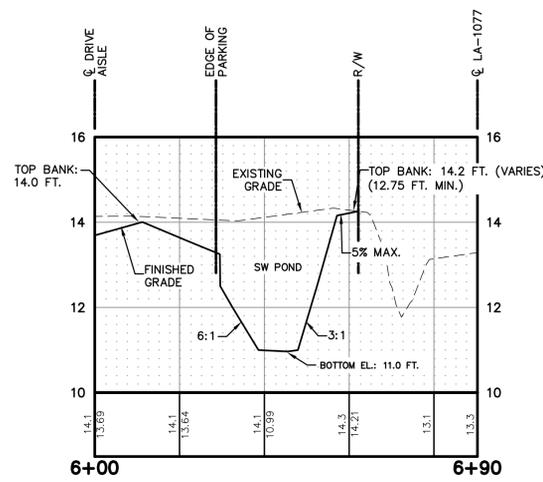
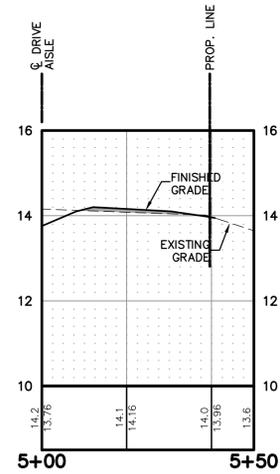
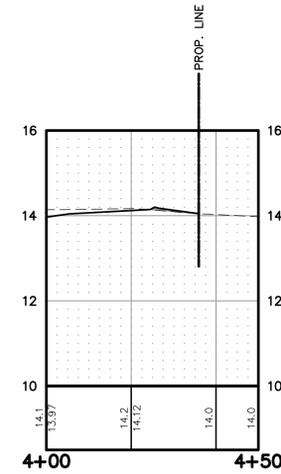
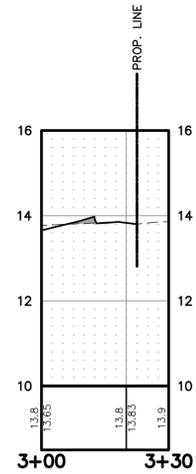
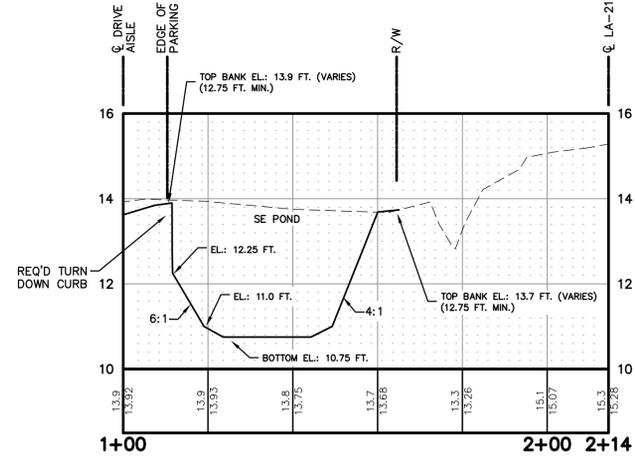
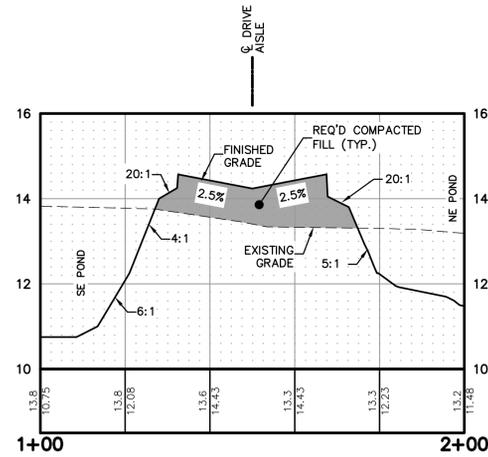


**TYPICAL NORTHWEST POND SECTION**  
SCALE: N.T.S.



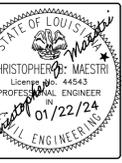
21 AT THE POINT  
LA 21 & LA 1077  
MADISONVILLE, LOUISIANA  
ST. TAMMANY PARISH  
CROSS SECTIONS

DESIGNED	CRM	CMS	DATE	1/2024
CHECKED	CRM	CMS	BY	9.1 OFB
DETAILED	CRM	CMS	REVISION	DESCRIPTION
CHECKED	CRM	CMS	REVISION	DATE



C:\USERS\CHRIS\MRES\PROJECTS\DRP\PROJECTS\21 AT THE POINT\DWG\CROSS SECTIONS\DWG JAN-21-2024 CHRIS

**MR** MR ENGINEERING & SURVEYING, LLC  
3945 Interline Avenue, Baton Rouge, LA 70809 225-490-9592



**Louisiana 811**  
LA ONE CALL - CALL BEFORE YOU DIG  
FOR INFORMATION ON THE 811 SERVICE OR TO CALL  
PARISH DEPARTMENT OF PUBLIC WORKS TO HAVE UTILITIES  
LOCATED, VISIT WWW.LAONECALL.COM OR CALL  
811. FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES  
FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES, VISIT  
WWW.LAONECALL.COM OR CALL 811. THE UTILITY COMPANIES FOR ALL AREAS OF CONSTRUCTION.

**21 AT THE POINT**  
LA 21 & LA 1077  
MADISONVILLE, LOUISIANA  
ST. TAMMANY PARISH  
CROSS SECTIONS

DESIGNED	CBM
CHECKED	CMS
DETAILED	CBM
CHECKED	CMS
DATE	1/2024
SHEET	9 OF 9

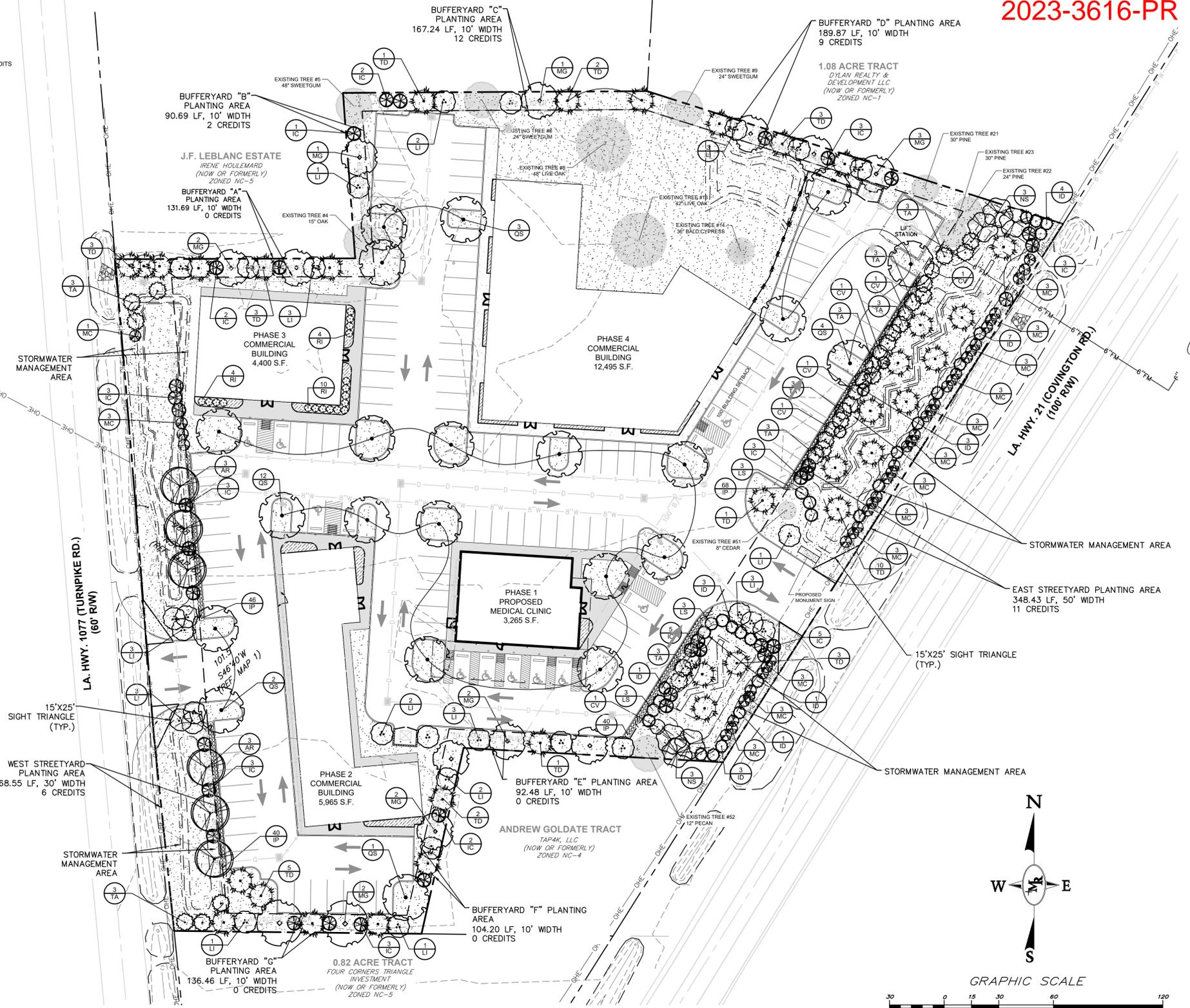
REVISION NUMBER	REVISION DATE	REVISION DESCRIPTION	BY

LANDSCAPE ORDINANCE REQUIREMENTS		
STREET/PLANTING REQUIREMENT		PROPOSED STREET/PLANTINGS
<b>WEST SY - LA HWY 1077 (30' BUFFER)</b>	368.55 LF TOTAL 1 CLASS "A" TREE PER 25 LF. 1 CLASS "B" TREE PER 25 LF. 1 SHRUB PER 10 LF.	368.55 LF TOTAL 15 CLASS A TREES PROPOSED 15 CLASS B TREES PROPOSED SCREENING SHRUBS SATISFY REQMT 0 TREE CREDITS USED
<b>EAST SY - LA HWY 21 (50' BUFFER)</b>	348.43 LF TOTAL 1 CLASS "A" TREE PER 300 SF. 1 CLASS "B" TREE PER 200 SF. 1 SHRUB PER 10 LF.	348.43 LF TOTAL 49 CLASS A TREES PROPOSED 85 CLASS B TREES PROPOSED SCREENING SHRUBS SATISFY REQMT 10 TREE CREDITS USED
<b>BUFFERYARD PLANTING REQUIREMENT</b>		<b>PROPOSED BUFFERYARD PLANTINGS</b>
<b>BUFFERYARD "A" (10' LANDSCAPE BUFFER)</b>	131.69 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	131.69 LF TOTAL 5 CLASS A TREES PROPOSED 5 CLASS B TREES PROPOSED 0 TREE CREDITS USED
<b>BUFFERYARD "B" (10' LANDSCAPE BUFFER)</b>	90.69 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	90.69 LF TOTAL 1 CLASS A TREES PROPOSED 2 CLASS B TREES PROPOSED 3 TREE CREDITS USED
<b>BUFFERYARD "C" (10' LANDSCAPE BUFFER)</b>	167.24 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	167.24 LF TOTAL 4 CLASS A TREES PROPOSED 4 CLASS B TREES PROPOSED 4 TREE CREDITS USED
<b>BUFFERYARD "D" (10' LANDSCAPE BUFFER)</b>	189.87 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	189.87 LF TOTAL 6 CLASS A TREES PROPOSED 6 CLASS B TREES PROPOSED 0 TREE CREDITS USED
<b>BUFFERYARD "E" (10' LANDSCAPE BUFFER)</b>	92.48 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	92.48 LF TOTAL 3 CLASS A TREES PROPOSED 3 CLASS B TREES PROPOSED 0 TREE CREDITS USED
<b>BUFFERYARD "F" (10' LANDSCAPE BUFFER)</b>	104.20 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	104.20 LF TOTAL 4 CLASS A TREES PROPOSED 4 CLASS B TREES PROPOSED 0 TREE CREDITS USED
<b>BUFFERYARD "G" (10' LANDSCAPE BUFFER)</b>	136.46 LF TOTAL 1 CLASS "A" TREE PER 30 LF. 1 CLASS "B" TREE PER 30 LF.	136.46 LF TOTAL 5 CLASS A TREES PROPOSED 5 CLASS B TREES PROPOSED 0 TREE CREDITS USED
<b>PARKING AREA PLANTING REQUIREMENT</b>		<b>PROPOSED PARKING AREA PLANTINGS</b>
PARKING AREAS ADJACENT TO STREET PLANTING AREAS SHALL BE SCREENED WITH MIN. 36"H SHRUBS PLANTED 2' O.C.		PROVIDED
EACH LANDSCAPED ISLAND SHALL CONTAIN AT LEAST 1 CLASS "A" TREE. 10% OF INTERIOR PARKING AREA TO BE GREENSPACE. TOTAL PARKING AREA: 65,183.40 SF. 6,518.34 SF REQUIRED		PROVIDED
<b>BUILDING FACADE PLANTING REQUIREMENT</b>		<b>PROPOSED PARKING AREA PLANTINGS</b>
SHRUBS PLANTED BETWEEN BUILDING FACADE AND VEHICULAR USE AREA.		PROVIDED

**PLANTING SCHEDULE**

<p>LS CLASS "A" TREE - 9 Liquidambar styraciflua 'SLENDER SILHOUETTE' Slender Silhouette Sweetgum 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>MG CLASS "A" TREE - 13 Magnolia grandiflora 'D.D. Blanchard' DD Blanchard Magnolia 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>NS CLASS "A" TREE - 6 Nyssa sylvatica 'Wildfire' - WILDFIRE BLACK GUM 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>AR CLASS "A" TREE - 6 Acer rubrum 'drummondii' - SWAMP RED MAPLE 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>QS CLASS "A" TREE - 22 Quercus shumardii - SHUMARD OAK 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>TA CLASS "A" TREE - 27 Taxodium ascendens - POND CYPRESS 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>TD CLASS "A" TREE - 34 Taxodium distichum - BALD CYPRESS 2.5" MIN. CAL., 10'-12 HT, B&amp;B</p> <p>CV CLASS "B" TREE - 6 Chionanthus virginicus - FRINGE TREE MULTI-TRUNK: 1.5" MIN PER STEM 3-5 STEMS, 8'-10 HT, B&amp;B</p> <p>IC CLASS "B" TREE - 36 Ilex cossine - DAHOON HOLLY 1.5" MIN. CAL., 8'-10 HT, B&amp;B</p> <p>MC CLASS "B" TREE - 40 Morella cerifera - Wax Myrtle MULTI-TRUNK: 1.5" MIN PER STEM 3-5 STEMS, 8'-10 HT, B&amp;B</p> <p>ID CLASS "B" TREE - 23 Ilex decidua - POSSUMHAW (DECIDUOUS HOLLY) MULTI-TRUNK: 1.5" MIN PER STEM 3-5 STEMS, 8'-10 HT, B&amp;B</p> <p>LI CLASS "B" TREE - 28 (EXISTING AND RELOCATED ON SITE) Lagerstroemia indica - CRAPE MYRTLE CONTRACTOR TO EXCAVATE, STORE ON SITE, AND REPLANT AS SPECIFIED.</p> <p>IP EVERGREEN SHRUB - 194 Illicium parvifolium - Yellow Anise 5 GAL., 2' O.C.</p> <p>RI EVERGREEN SHRUB - 18 Rhododendron indicum 'GG Gerbing' GG GERBING AZALEA 5 GAL., 24"h MIN., 4' O.C.</p>	<p>EVERGREEN GROUNDCOVER - 396 Liriope muscari 'Super Blue' - Super Blue LIRIOPE 1 GAL., 18" O.C.</p> <p>SOLID SOD (TYP.) APPROX. 57,500 SF</p>
--	---

- BUFFERYARD "B" PLANTING AREA**
  - 04 - 15' OAK-GRADE B: 2 CREDITS
- BUFFERYARD "C" PLANTING AREA**
  - 05 - 48" DOUBLE SWEETGUM - GRADE B: 6 CREDITS
  - 06 - 24" SWEETGUM-GRADE A: 4 CREDITS
  - 07 - CRAPE MYRTLE - RELOCATE ON SITE
- BUFFERYARD "D" PLANTING AREA**
  - 09 - 24" SWEETGUM - GRADE B: 3 CREDITS
  - 10 - CRAPE MYRTLE - RELOCATE ON SITE
  - 11 - CRAPE MYRTLE - RELOCATE ON SITE
  - 12 - CRAPE MYRTLE - RELOCATE ON SITE
  - 15 - CRAPE MYRTLE - RELOCATE ON SITE
  - 16 - CRAPE MYRTLE - RELOCATE ON SITE
  - 17 - CRAPE MYRTLE - RELOCATE ON SITE
  - 18 - CRAPE MYRTLE - RELOCATE ON SITE
  - 19 - CRAPE MYRTLE - RELOCATE ON SITE
  - 21 - 30" PINE - GRADE A: 5 CREDITS
- EAST STREETYARD PLANTING AREA**
  - 22 - 24" PINE - GRADE A: 4 CREDITS
  - 23 - 30" PINE - GRADE A: 5 CREDITS
  - 24 - CRAPE MYRTLE - RELOCATE ON SITE
  - 25 - CRAPE MYRTLE - RELOCATE ON SITE
  - 27 - CRAPE MYRTLE - RELOCATE ON SITE
  - 28 - CRAPE MYRTLE - RELOCATE ON SITE
  - 30 - CRAPE MYRTLE - RELOCATE ON SITE
  - 32 - CRAPE MYRTLE - RELOCATE ON SITE
  - 33 - CRAPE MYRTLE - RELOCATE ON SITE
  - 35 - CRAPE MYRTLE - RELOCATE ON SITE
  - 37 - CRAPE MYRTLE - RELOCATE ON SITE
  - 38 - CRAPE MYRTLE - RELOCATE ON SITE
  - 39 - CRAPE MYRTLE - RELOCATE ON SITE
  - 40 - CRAPE MYRTLE - RELOCATE ON SITE
  - 41 - CRAPE MYRTLE - RELOCATE ON SITE
  - 42 - CRAPE MYRTLE - RELOCATE ON SITE
  - 43 - CRAPE MYRTLE - RELOCATE ON SITE
  - 44 - CRAPE MYRTLE - RELOCATE ON SITE
  - 45 - CRAPE MYRTLE - RELOCATE ON SITE
  - 46 - CRAPE MYRTLE - RELOCATE ON SITE
  - 47 - CRAPE MYRTLE - RELOCATE ON SITE
  - 48 - CRAPE MYRTLE - RELOCATE ON SITE
  - 51 - 8" CEDAR - GRADE A: 2 CREDITS
  - 52 - 12" PECAN - GRADE A: 2 CREDITS
- BUFFERYARD "E" PLANTING AREA**
  - NO EXISTING TREES IN BUFFER
- BUFFERYARD "F" PLANTING AREA**
  - NO EXISTING TREES IN BUFFER
- BUFFERYARD "G" PLANTING AREA**
  - NO EXISTING TREES IN BUFFER
- WEST STREETYARD PLANTING AREA**
  - 89 - 36" PINE - REMOVE
  - 61 - 24" PINE - REMOVE
  - 62 - 30" PINE - REMOVE

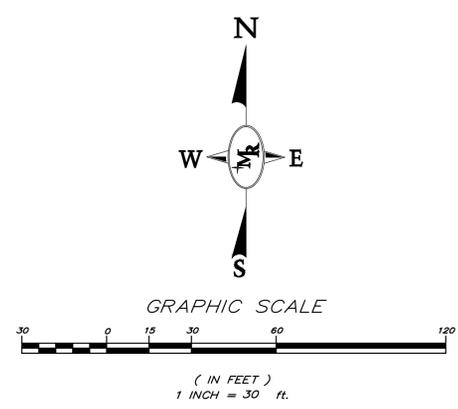


**SITE NOTES**

- SIZE: 153,602 SF (3.53 AC.)
- LOCATION: HWY 21 @ HWY 1077, ST. TAMMANY PARISH
- PROPOSED USE: COMMERCIAL
- SITE ZONING: NC-5 RETAIL & SERVICE
- TREE SURVEY PERFORMED BY: MR ENGINEERING & SURVEYING
- DATE: [REDACTED]
- UPDATED: [REDACTED]

**ADJACENT SITE ZONING:**

- NORTHEAST - NC-1
- NORTHWEST - NC-5
- SOUTHEAST - NC-4
- SOUTHWEST - NC-5



**MR ENGINEERING & SURVEYING, LLC**  
 9345 Metairie Avenue, Baton Rouge, LA 70809 225-490-9392



**Louisiana 811**  
 LA ONE CALL - CALL BEFORE YOU DIG  
 PRIOR TO WORK COMMENCEMENT, THE CONTRACTOR SHALL CALL 811 TO REPORT THE LOCATION OF ALL UTILITIES TO BE EXCAVATED. THE UTILITY COMPANIES SHALL BE RESPONSIBLE FOR FINAL VERIFICATION OF THE LOCATION OF THE UTILITIES. THE UTILITY COMPANIES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES. THE UTILITY COMPANIES SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES.

**21 AT THE POINT**  
 LA 21 @ LA 1077  
 MADISONVILLE, LA  
 ST. TAMMANY PARISH  
 LANDSCAPE PLAN

DESIGNED	J.P.	C.M.S.	10/2023
CHECKED	J.P.	C.M.S.	
DATE			
BY			

REVISION DATE	REVISION DESCRIPTION

FOR SITE PLAN SUBMITTAL ONLY  
**NOT FOR CONSTRUCTION**

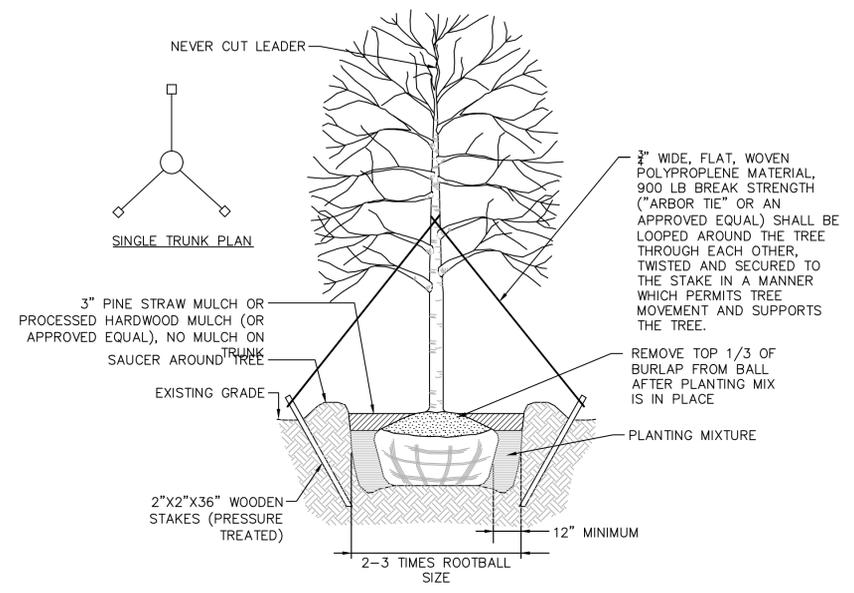




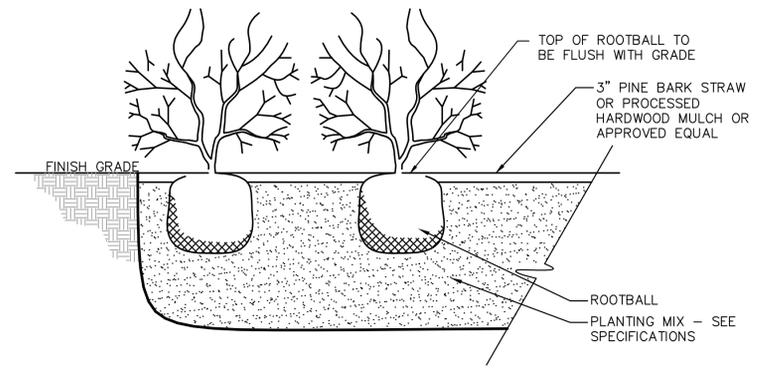
21 AT THE POINT  
 LA 21 @ LA 1077  
 MADISONVILLE, LA  
 ST TAMMANY PARISH  
 LANDSCAPE DETAILS

DESIGNED	J/P	CMS	DATE	10/2023	# OF ##
CHECKED	J/P	CMS	SHEET		
DETAILED	J/P	CMS			
CHECKED	J/P	CMS			

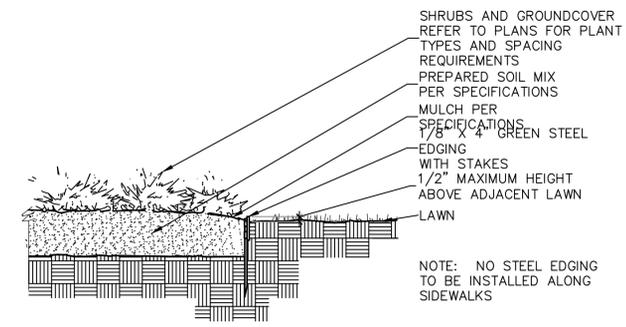
REVISION DATE	REVISION DESCRIPTION	BY



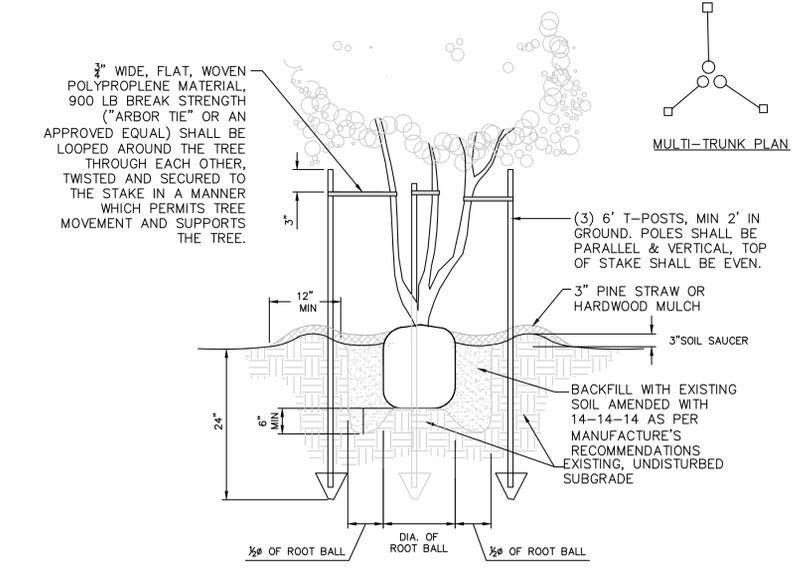
A SINGLE-TRUNK TREE PLANTING DETAIL  
 NOT TO SCALE



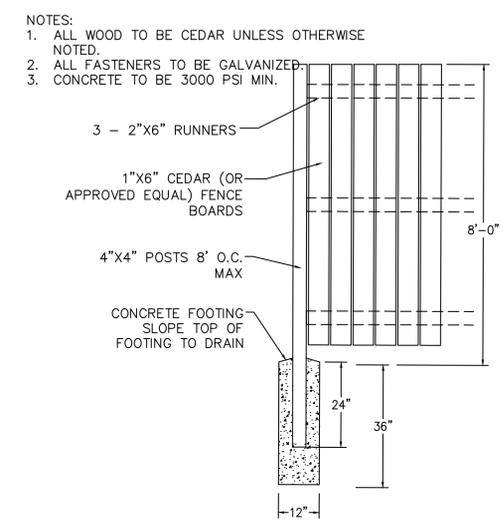
D GROUND COVER/SHRUB PLANTING  
 NOT TO SCALE



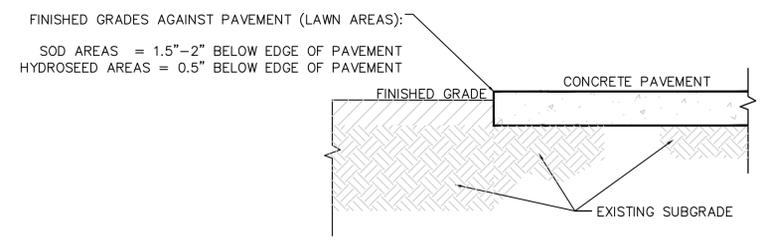
E STEEL EDGING DETAIL  
 NOT TO SCALE



B MULTI-TRUNK TREE PLANTING DETAIL  
 NOT TO SCALE



F 8' WOODEN FENCE ELEVATION  
 NOT TO SCALE

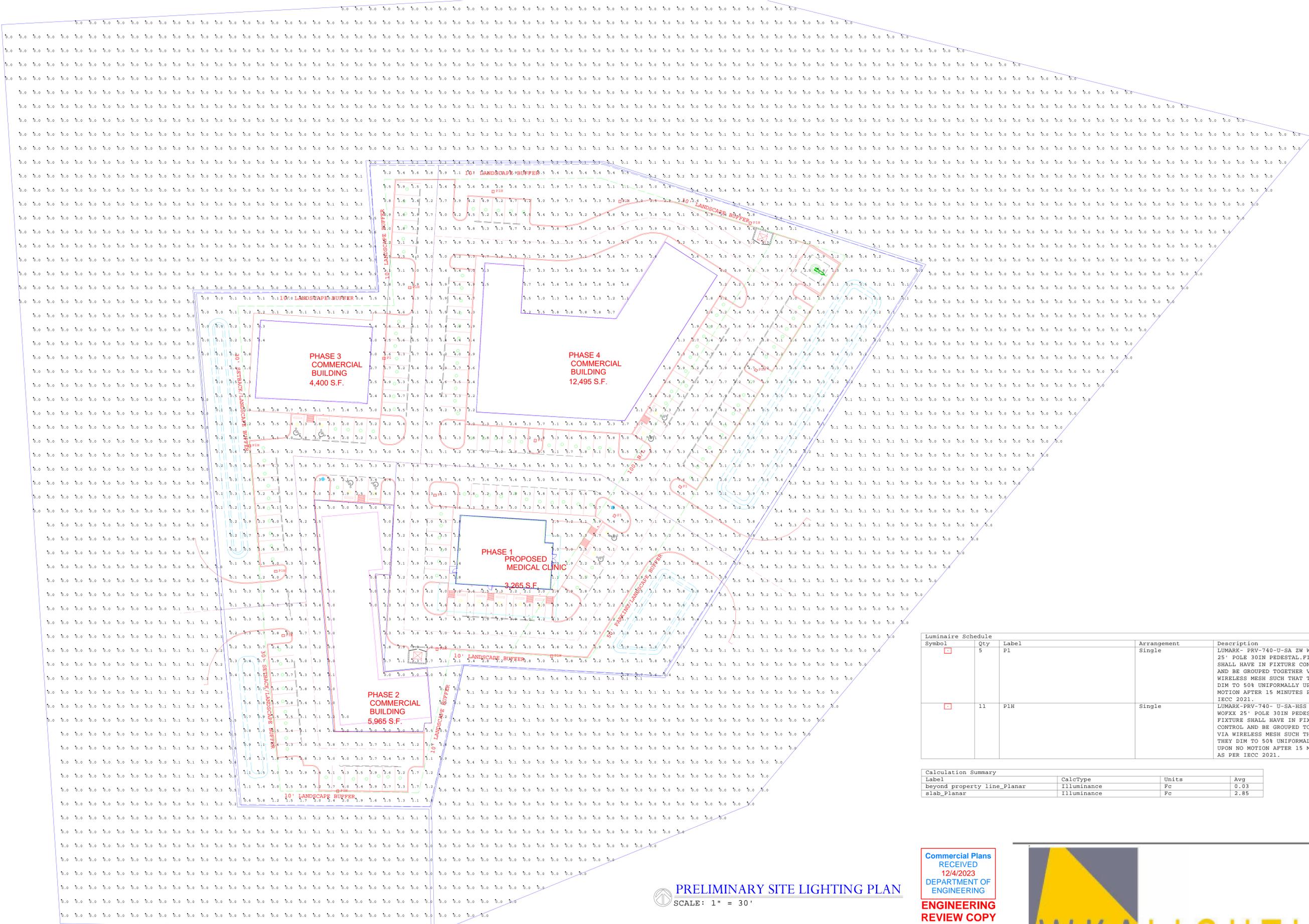


C FINISHED GRADES AGAINST PAVEMENT  
 NOT TO SCALE

- NOTES:  
 1. ALL WOOD TO BE CEDAR UNLESS OTHERWISE NOTED.  
 2. ALL FASTENERS TO BE GALVANIZED.  
 3. CONCRETE TO BE 3000 PSI MIN.

C:\USERS\CHRIS\MERCS PROJECTS\BROOKHAVEN\PROJECTS\21 AT THE POINT\DWG\2023\LP-3.LS SPECS LP-3.LS DETAILS REV 2024-01-22.DWG JAN-21-2024 CHRIS





Luminaire Schedule				
Symbol	Qty	Label	Arrangement	Description
☐	5	P1	Single	LUMARK- PRV-740-U-SA ZW WOFXX 25' POLE 30IN PEDESTAL.FIXTURE SHALL HAVE IN FIXTURE CONTROL AND BE GROUPED TOGETHER VIA WIRELESS MESH SUCH THAT THEY DIM TO 50% UNIFORMLY UPON NO MOTION AFTER 15 MINUTES PER IECC 2021.
☐	11	P1H	Single	LUMARK-PRV-740- U-SA-HSS ZW WOFXX 25' POLE 30IN PEDESTAL. FIXTURE SHALL HAVE IN FIXTURE CONTROL AND BE GROUPED TOGETHER VIA WIRELESS MESH SUCH THAT THEY DIM TO 50% UNIFORMLY UPON NO MOTION AFTER 15 MINUTES AS PER IECC 2021.

Calculation Summary			
Label	CalcType	Units	Avg
beyond property line_Planar	illumiance	Fc	0.03
slab_Planar	illumiance	Fc	2.85

**PRELIMINARY SITE LIGHTING PLAN**  
SCALE: 1" = 30'

Commercial Plans  
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ENGINEERING  
**ENGINEERING  
REVIEW COPY**





**ZONING STAFF REPORT**  
2023-3631-PR

MICHAEL B. COOPER  
PARISH PRESIDENT

**PLANNING & DEVELOPMENT**  
Ross Liner  
Director

985-898-2529

21454 Koop Drive, Suite 1B, Mandeville, LA 70471

stpgov.org/planning

**Proposed Use:** Restaurant

**Gross Area Lot Size:** 1.285 acres

**Previous/Current Use:** Undeveloped

**Use Size:** +/-5,405 sf

**Owner:** Scott. St. Romain & Cynthia Boswell St. Romain

**Council District:** 1

**Applicant:** Scott St. Romain

**Posted:** January 26, 2024

**Prior Determination:** Postponed for 1 month at January 3, 2024 meeting

**Commission Hearing:** February 6, 2024

**Determination:** Approved, Denied, Postponed

**Location:** Parcel located on the north side of LA Highway 21, Covington; S46, T7S, R11E; Ward 1, District 1



**Current Zoning**

HC-2 Highway Commercial District

**Planned Corridor Overlay**

Highway 21 Planned Corridor

**Future Land Use**

Commercial

**Flood Zone**

Preliminary: Flood Zone X

Effective Flood Zone C

**Critical Drainage:** No

**BFE:**

FFE is 12" above crown of street elevation

**Site Information:**

1. The petitioned property consists of a total of 1.285 acres located on the north side of LA Highway 21, Covington. The property is currently undeveloped.
2. The applicant is proposing to develop the site with restaurant which will consist a +/-5,405 sf building and associated parking lot.
3. Table 1: Surrounding Land Use and Zoning

Direction	Surrounding Use	Surrounding Zoning Classification
North	Residential (Timber Branch Subdivision)	A-4 Single-Family Residential District
South (across Highway 21)	Medical	City of Covington
East	Undeveloped	HC-2 Highway Commercial District
West	Commercial	HC-2 Highway Commercial District

4. Per Table 1 above, the subject site is within the Highway 21 Planned Corridor district and abuts Timber Branch Subdivision to the north, an automobile repair service station to the west, undeveloped commercial property to the east, and is across the street from a medical facility located within City Limits of Covington.



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5. The applicant has also applied to rezone the 1.285 acres to EO Entertainment Overlay to accommodate the proposed use of the property for a restaurant that will serve beverages with high alcohol content (2023-3633-ZC).

*Findings:*

6. The applicant submitted a survey, a site plan, a proposed drainage plan, tree survey, and landscape plan. Per Sec. 130-1813, Development Review Procedures, the applicant has also submitted a lighting plan for review.

**Highway 21 Street Buffer (South)**

1. Per Sec. 130-1814(1)(e)(1)(i)(B), the street planting area shall contain a minimum of one Class A tree per every 300 sq. ft. of the street planting area and one Class B tree per every 200 sq. ft. of the street planting area. Calculations will need to be revised since 1 Class A and 1 Class B per every 15 linear feet are proposed to be planted which totals 11 Class A and 22 Class B the requirements are actually 19 Class A and 29 Class B trees.
  - **The Highway 21 Planned Corridor District requires a 50' street buffer starting at the front property line.**
  - **The applicant is requesting a reduction in the 50' and is proposing a 34' street buffer (which the applicant has noted on their plan as a "parking buffer).**
  - **The reason for request to reduce the required front buffer is to "...facilitate a seamless connection with the adjoining property's existing drive by fostering ease of access through a shared parking agreement between the two proprietors."**
  - **A 75' setback from the centerline of the Highway 21 is also required for future lane expansion. Revised site plan shall be submitted showing the required 75 ft. setback from the centerline of the right of way. Buffer must start from the northernmost point of this line running south towards the Highway. The applicant has since revised their plans indicating the 75' DOTD setback.**

**North Buffer (Rear)**

1. A 30' rear yard buffer is required on the north side as the property abuts the residential Timber Branch Subdivision. Per Section 130-1977(f), one hundred percent opaque wood or masonry fence, a minimum of 8 feet high shall be required along the rear property lines when a commercial property abuts a residential property. Revise plan and show required fencing along this property line. In addition, revise calculations for the plantings in this buffer. The requirements are 1 Class A and 1 Class B per every 30 linear feet. Plan shows 1 Class A per every 10 linear feet.
  - **This calculation will require 4 Class A and 4 Class B Trees total in the rear of the property. These trees have been indicated on revised plans.**

**Side Landscape Buffers (East and West)**

2. Per Sec. 130-1977(b) & (e), the side yard and rear yard buffer planting area('s) width shall be a minimum of ten feet and provide 1 Class A tree and 1 Class B tree per every 30 ft. totaling the following amounts:
  - **13 Class A and 13 Class B Trees required on the west buffer and 14 Class A and 14 Class B Trees required on East Buffer. Revise calculation on landscape plan. This has been revised to reflect the correct tree calculations.**

**Additional Regulations**

1. Per Sec. 130-1813(e)(2), submit the following documentation:
  - a. An illustrative approved drainage plan by the Department of Engineering.
    - **A hydrological analysis has been provided in accordance with Sec. 115-111. Document appears to be a preliminary study and has been reviewed by the Department of Engineering. The drainage plan satisfies Parish requirements as per Engineering.**
    - **In addition, revised drainage plan shall be provided to confirm that any changes to elevations do not interfere with both proposed and existing trees within the buffers. The applicant has adjusted the plan to ensure no more than 1" of material shall impact the required landscape buffer(s).**



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PARISH PRESIDENT

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Ross Liner  
Director

2. Per Sec. 130-1814(1)(e)(1)(iii)(B), planting areas shall be a minimum of ten percent of the paved parking area.
  - **Applicant has revised plan indicating the correct amount of planting areas.**
3. Per Sec. 130-1814(e)(1)(iii), "...the parking area shall be screened from view when the parking area is oriented to the side or front of the structure to reduce visibility of the parking area from the highway using one of the following methods: i) 70 percent sight obscuring screen of living material. ii) 100 percent sight obscuring screen six feet in height of non-living material. iii) Earth berm with a minimum height of three feet.
  - **Parking is oriented to the sides and front of this development. Provide screening. Screening has been provided.**
4. A lighting plan in accordance with Chapter 130, Article VI, Division 4.
  - **A lighting plan has been submitted; submit revised plan since some of the lighting areas appear to conflict with plantings. A revised lighting plan has been submitted and coincides with Parish ordinance. In addition, lighting fixtures have been relocated to allocate proper room for plantings.**
5. Per Sec 130.1980, revise plan showing the proposed dumpster and required 7' tall opaque fence of wood or masonry. **Dumpster and fence have been indicated on updated plans.**

*Staff Recommendation:*

Staff has no comments.

*Consistency with New Directions 2040*

**Commercial:** Concentrations of offices, retailers, services, and other employers that generate varying levels of traffic. They range from neighborhood-serving uses such as personal care and convenience goods, to large-scale shopping centers. May also include high intensity residential uses.

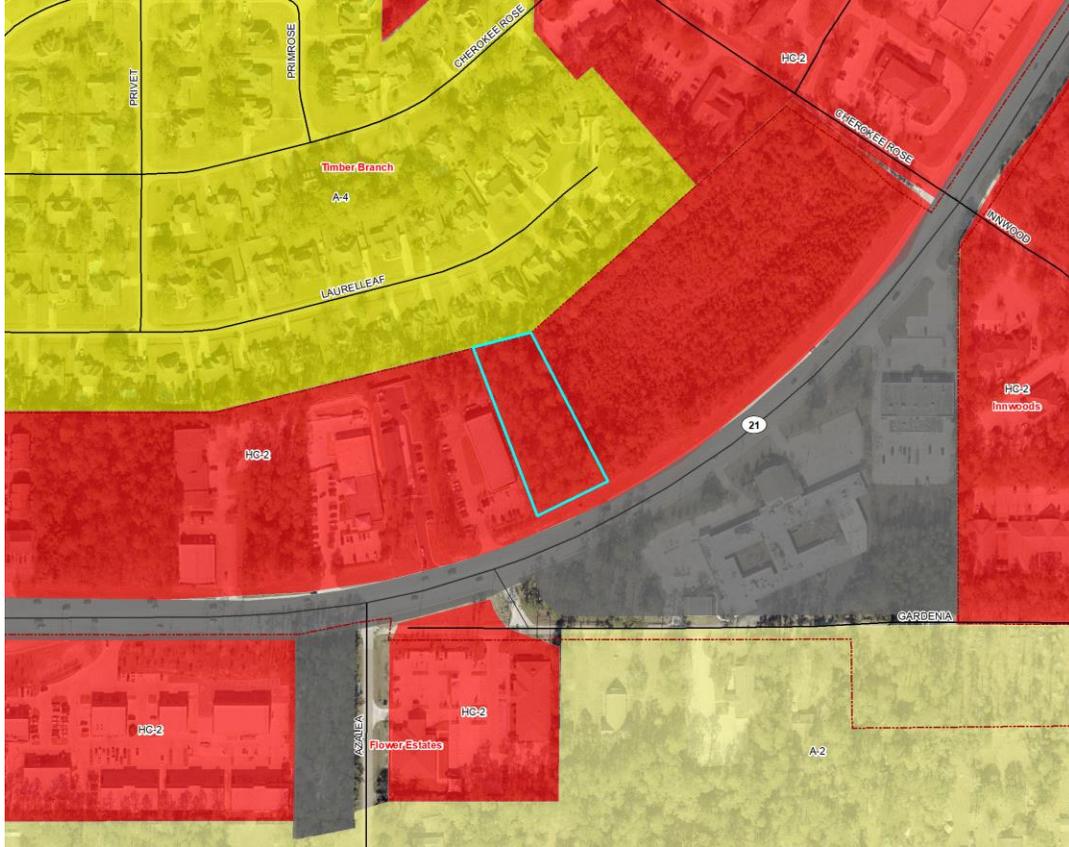
1. The proposed zoning change is consistent with the following goals, policies, and strategies of the Comprehensive Plan:
  - i. Strategy 1:9:3 Encourage redevelopment and adaptive reuse of existing, vacant buildings.
  - ii. Goal 5:1: The Parish will designate adequate land served by supporting infrastructure for use by businesses and industries seeking to begin or expand.
  - iii. Goal 5:2: St. Tammany Parish will attract and grow businesses that expand the Parish's tax base and provide living wage jobs to residents of varying skill levels.



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**GENERAL SITE PLAN NOTES**

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS FOR NEW AND/OR EXISTING WORK AT THE SITE PRIOR TO COMMENCING WORK. REPORT ANY CONDITIONS OR DISCREPANCIES NOT DOCUMENTED ON THESE DRAWINGS TO THE ARCHITECT AND OWNER PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE FOR LAYING OUT THE WORK, VERIFYING ALL MEASUREMENTS AND GRADES AND REPORTING ANY DISCREPANCIES TO THE ARCHITECT BEFORE STARTING CONSTRUCTION.
- CONTRACTOR TO PROTECT ANY AND ALL EXISTING STRUCTURES ADJACENT TO THE SITE FROM DAMAGES AND EROSION. ANY ADJACENT IMPROVEMENTS DAMAGED DURING CONSTRUCTION SHALL, AT A MINIMUM, BE RESTORED TO A STATE EQUAL TO ITS PRECONSTRUCTION STATE AT THE EXPENSE OF CONTRACTOR.
- VERIFY EXACT LOCATIONS OF ALL PROPERTY LINES, EASEMENTS, SETBACKS AND UTILITIES PRIOR TO ANY WORK.
- CONTRACTOR TO REPAIR AND/OR REPLACE ANY DAMAGED AREAS DURING CONSTRUCTION TO MEET OR EXCEED THE EXISTING CONDITIONS.
- ALL BUILDING DIMENSIONS ARE TO EXTERIOR FACE OF STUD, FACE OF MASONRY, AND CENTERLINE OF COLUMNS, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE DUST CONTROL DURING EXCAVATION, DURING CONSTRUCTION, AND WHEN COMPLETING WORK.
- CONTRACTOR TO PROTECT EXISTING OVERHEAD UTILITY LINES AND POWER POLES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATIONS AND PROTECTION OF ALL EXISTING UTILITIES SHOWN, ALL EXISTING UTILITIES NOT SHOWN, AND ALL PROPOSED UTILITIES ON THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO LOCATED EXISTING UTILITIES BEFORE EXCAVATING. VERIFY LOCATIONS OF PUBLIC RIGHT OF WAY AND ANY UTILITY EASEMENTS.
- ALL EQUIPMENT SHOWN IS IN CLOSE PROXIMITY, SIZE, TYPE, AND LOCATION. THE CONTRACTOR MUST VERIFY EXISTING CONDITIONS TO CONFIRM THE ACTUAL SIZE, TYPE, AND LOCATION OF EQUIPMENT. COORDINATE WITH MECHANICAL, ELECTRICAL, PLUMBING, AND OTHER CONSULTANTS FOR PROVIDING UTILITIES TO NEW.
- CONTRACTOR SHALL COORDINATE ANY INTERRUPTION OF UTILITY SERVICE WITH OWNER AND UTILITY COMPANY.
- CONTRACTOR TO COORDINATE WITH MEP ENGINEER AND LOCAL UTILITY COMPANY FOR THE NEW CONNECTION OF THE SITE UTILITY AND THE NEW BUILDING UTILITY. CONTRACTOR TO VERIFY LOCATION.
- CONTRACTOR TO COORDINATE AND ESTABLISH FOUNDATION WALL HEIGHTS, FOOTING ELEVATIONS, AND ALL FINISH FLOOR ELEVATIONS IN RELATION TO FINAL GRADING ELEVATION. DESIGN ELEMENTS RELATING TO FINAL GRADING SUGGESTED ON THESE DRAWINGS AND THROUGHOUT THE CONTRACT DOCUMENTS ARE FOR COORDINATION PURPOSES ONLY AND DO NOT REFLECT REQUIREMENTS OF FINAL GRADING AS ESTABLISHED IN THE FIELD BY CONTRACTOR.
- SLOPE ALL TOPOGRAPHY AWAY FROM BUILDING FOR POSITIVE DRAINAGE.
- ALL WOOD CONSTRUCTION MATERIALS SHALL BE A MINIMUM OF 8" ABOVE FINAL GRADING. COORDINATE TOP OF WALL ELEVATIONS AS REQUIRED.
- CONCRETE AND ASPHALT FLATWORK, RETAINING WALLS, AND OTHER LANDSCAPE ELEMENTS SHOWN INDICATE GENERAL SCOPE OF WORK ONLY. CONTRACTORS TO ESTABLISH AND REVIEW FINAL DESIGN ELEMENTS AND LAYOUT WITH OWNER AND CONTRACTOR PRIOR TO CONSTRUCTION, UNLESS NOTED OTHERWISE.
- CONTRACTOR TO PROVIDE AND INSTALL DETECTABLE WARNINGS IN ACCORDANCE WITH ADAAG R305 ALONG SIDEWALKS DUE TO THE HAZARDS VEHICLE TRAFFIC POSE TO PEDESTRIANS WITH VISION IMPAIRMENTS. DETECTABLE WARNINGS ARE REQUIRED AT BUT NOT LIMITED TO, CURB RAMPS AND BLENDED TRANSITIONS AT STREET CROSSINGS, CUT-THROUGH PEDESTRIAN REFUGE ISLANDS (EXCLUDING THOSE LESS THAN SIX FEET WIDE, PEDESTRIAN AT-GRADE RAIL CROSSINGS, EDGES OF BOARDING PLATFORMS NOT PROTECTED BY SCREENS OR GUARDS, AND BOARDING AND ALIGHTING AREAS OF SIDEWALK OR STREET LEVEL RAIL VEHICLE STOPS NOT PROTECTED BY SCREENS OR GUARDS ON THE SIDE FACING RAIL VEHICLES. DETECTABLE WARNING SURFACES TO BE AT LEAST TWO FEET DEEP IN THE DIRECTION OF PEDESTRIAN TRAVEL.

**PARKING CALCULATIONS**

**OFF-STREET PARKING REGULATIONS:**

**ST. TAMMANY CODE OF ORDINANCES:**  
RESTAURANTS: 1 SPACE PER EACH 3 OCCUPANTS AT MAXIMUM OCCUPANCY BASED ON MAXIMUM OCCUPANT LOAD PLUS ONE SPACE FOR EACH EMPLOYEE AT MAXIMUM SHIFT.

**REQUIRED SPACES:**

164 OCCUPANTS (CUSTOMERS) / 3	55 PARKING SPACES
20 OCCUPANTS (EMPLOYEES AT MAXIMUM SHIFT)	20 PARKING SPACES
<b>TOTAL REQUIRED:</b>	<b>75 PARKING SPACES</b>
<b>TOTAL PROVIDED:</b>	<b>75 PARKING SPACES</b>

**PROPOSED SPACES:**

STANDARD SPACES	72 PARKING SPACES
HANDICAP PARKING REQ'D	4 ADA PARKING SPACES
HANDICAP PARKING SPACES REQ'D (1/25 SPACES)	
76/25 = 4 HANDICAP PARKING SPACES (INCLUDED IN TOTAL SPACES)	

**PARKING NOTES (SPECIAL DESIGN STANDARDS)**

**PLANNED CORRIDOR DISTRICT**

**ST. TAMMANY CODE OF ORDINANCES (SEC 130-1814):**

OFF-STREET PARKING: OFF-STREET PARKING AND LOADING REQUIREMENTS. THE PARKING AREA SHALL BE LOCATED NO LESS THAN 50 FEET FROM THE PROPERTY LINE NOR SHALL IT ENCR OACH ON THE REQUIRED STREET PLANTING AREA.

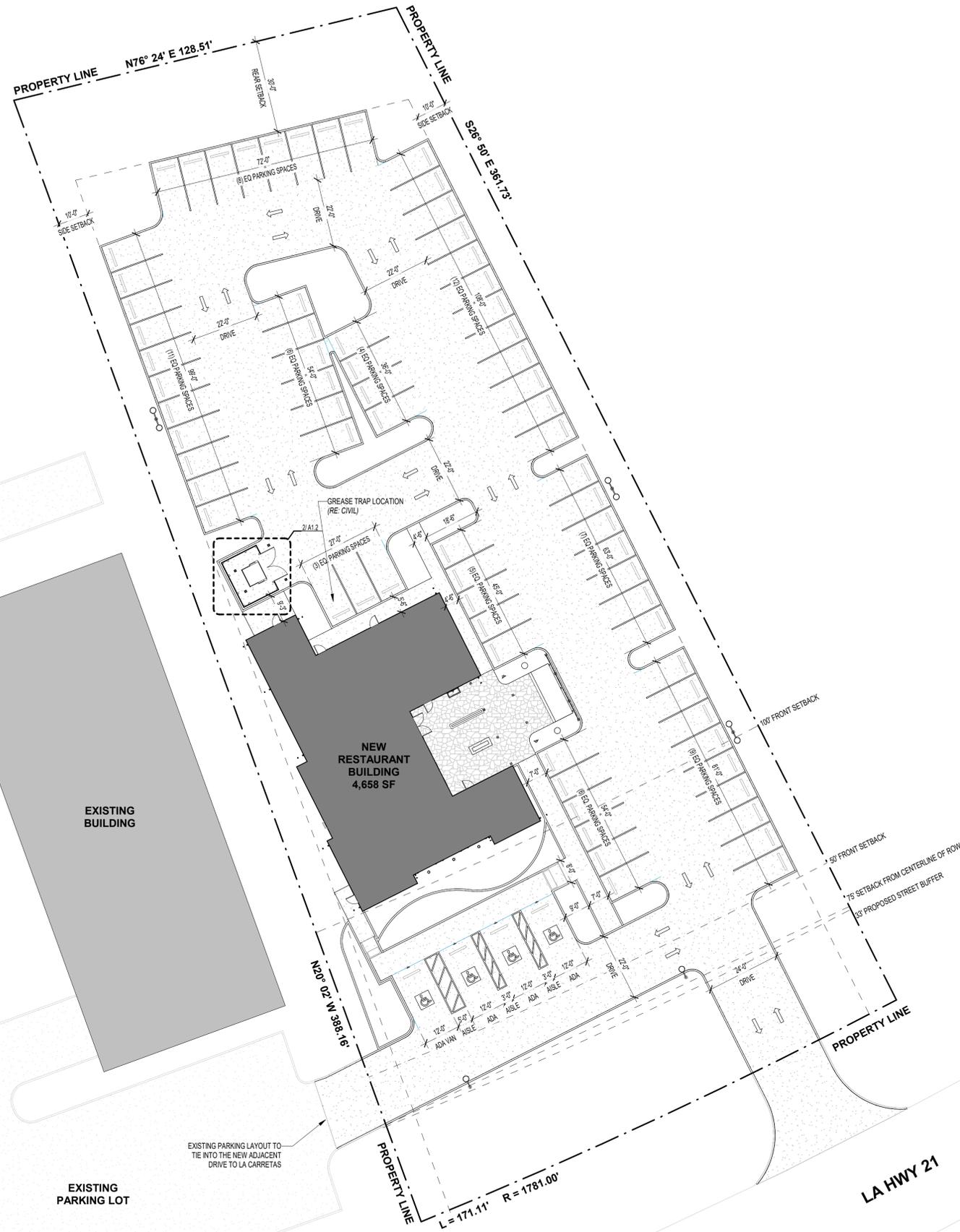
STREET PLANTING: THE STREET PLANTING AREA SHALL BE A MINIMUM OF 25 FEET IN DEPTH. FOR LOTS GREATER THAN 150 FEET IN DEPTH, THE STREET PLANTING AREA SHALL INCLUDE ONE ADDITIONAL FOOT FOR EVERY TEN FEET IN DEPTH.

REAR YARD REQUIREMENTS: A NONRESIDENTIAL PROPERTY ABUTTING A RESIDENTIAL DISTRICT SHALL HAVE A MINIMUM SIDE YARD AND REAR YARD REQUIREMENT OF 30 FEET.

SETBACK REQUIREMENTS: PRINCIPAL BUILDINGS: 100 FEET FROM THE PROPERTY LINE.

**SITE PLAN LEGEND:**

	GRASS		FENCE
	CONCRETE DRIVEWAY / SIDEWALK		EXISTING TREES TO REMAIN
	BUILDING FOOTPRINT		LIGHT POLE (RE: ELECTRICAL)
	EXISTING BUILDING FOOTPRINT		PIPE BOLLARD (RE: CIVIL)



1 SITE PLAN  
A1.1 SCALE: 1" = 20'-0"

**GREENLEAF ARCHITECTS**  
 404 E GIBSON ST STE 1 | COVINGTON LA  
 GREENLEAFARCH.COM | 985 778 2080

A NEW DEVELOPMENT FOR

**LA CARRETA RESTAURANT**

LA HWY 21  
COVINGTON, LA 70433

GA PROJECT NO. 23-36

**PRELIMINARY**  
FOR REVIEW ONLY  
NOT FOR CONSTRUCTION  
THESE DRAWINGS ARE SUBJECT TO  
REVISION, ALTERATION & DELETION.

REVISION NO.	DATE	REMARKS

**SD SET**

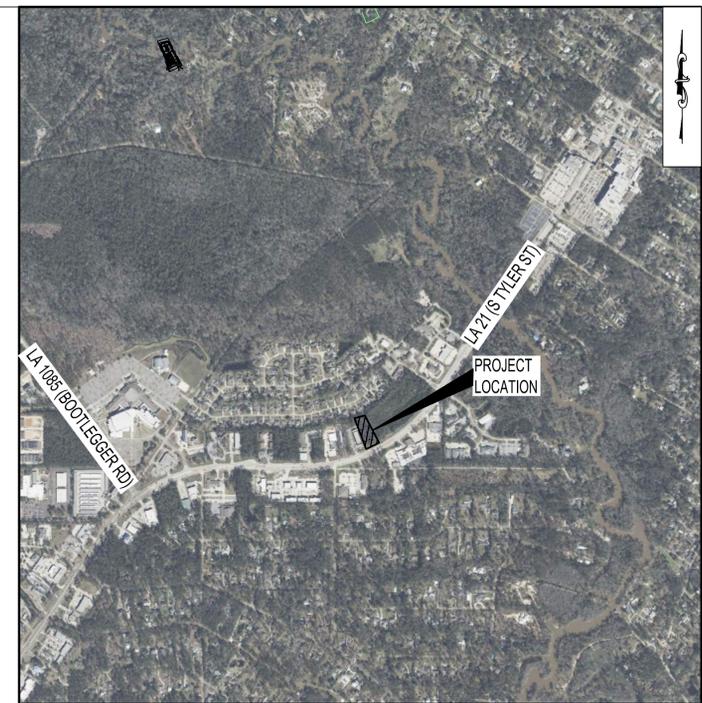
DATE 01/17/2024  
DRAWN BY CCN  
CHECKED BY SFB

SITE PLAN

**A1.1**

**SITE NOTES**

1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL ST. TAMMANY PARISH REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF VESTIBULES, SLOPE PAVING, SIDEWALKS, EXIT PORCHES, OUTDOOR SEATING AREA, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
3. ALL DISTURBED AREAS ARE TO RECEIVE FOUR INCHES OF TOPSOIL, SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
4. ALL DIMENSIONS AND RADII ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, (UNLESS OTHERWISE NOTED ON PLANS) INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES REQUIREMENTS AND PROJECT SITE WORK SCOPE AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
6. SITE BOUNDARY, TOPOGRAPHY, UTILITY AND ROAD INFORMATION TAKEN FROM A SURVEY BY RANDALL W. BROWN & ASSOCIATES, INC. (DATED 10/27/2023).
7. REFER TO ARCH. PLANS FOR SITE LIGHTING ELECTRICAL PLAN.
8. EXISTING SITE ZONING IS "HC-2 - HIGHWAY COMMERCIAL."
9. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING BENCHMARK.
10. EXISTING UTILITY LINES SHOWN ARE APPROXIMATE LOCATIONS ONLY. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITY LINE LOCATIONS PRIOR TO ANY CONSTRUCTION.
11. ALL DIMENSIONS TO BUILDING ARE TO OUTSIDE FACE OF BUILDING.
12. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL AREAS INDICATED TO REMAIN UNDISTURBED OR TO REMAIN AS BUFFERS, ALL PROPERTY CORNERS, AND REPLACING ALL PINS DAMAGED OR ELIMINATED DURING CONSTRUCTION.
13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRS OR DAMAGE TO ANY EXISTING IMPROVEMENTS DURING CONSTRUCTION SUCH AS, BUT NOT LIMITED TO, DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. REPAIRS SHALL BE EQUAL TO OR BETTER THAN EXISTING CONDITIONS.
14. THE SITE CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL UNDERGROUND UTILITIES WITH HIS WORK. ALL UNDERGROUND UTILITIES (WATER, SANITARY SEWER, STORM SEWER, ELECTRICAL CONDUIT, IRRIGATIONS SYSTEMS, AND ANY OTHER MISCELLANEOUS UTILITIES) SHALL BE IN PLACE PRIOR TO THE PLACEMENT OF BASE COURSE MATERIAL, AND THE PLACEMENT OF ANY APPROPRIATE SOIL STABILIZATION TECHNIQUE.
15. ALL STRIPING SHALL COMPLY WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
16. ANY WORK IN THE RIGHT-OF-WAY SHALL BE PERFORMED IN ACCORDANCE WITH LOUISIANA DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT'S STANDARD DRAWINGS AND SPECIFICATIONS.
17. CONTRACTOR SHALL REMOVE PAVEMENT AND CONCRETE IN ACCORDANCE WITH LOUISIANA DEPARTMENT OF TRANSPORTATION AND DEVELOPMENT STANDARD SPECIFICATIONS (LSSRB).



**PROJECT VICINITY MAP**  
N.T.S.

**LEGEND**

- PROPERTY LINE
- PROPOSED BUILDING
- 6" CONCRETE CURB
- PARKING COUNT
- SITE LIGHTING POLE
- PROPOSED WOODEN FENCE LINE
- STANDARD DUTY CONCRETE PAVEMENT
- HEAVY DUTY CONCRETE PAVEMENT
- CONCRETE SIDEWALK

REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES.

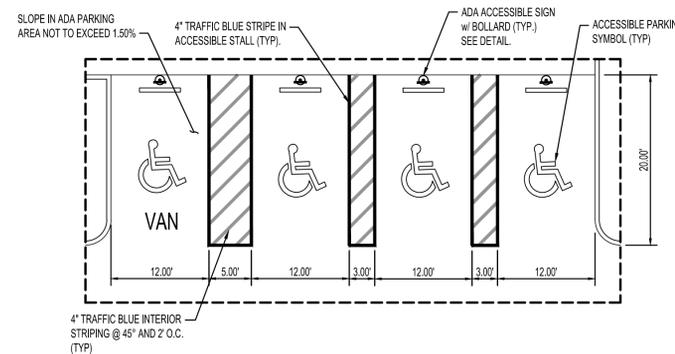
**PARKING ANALYSIS**

RESTAURANT AREA	+/- 4,744 S.F.
PARKING REQUIRED	75 SPACES
NOTE: SEE ARCH PLANS FOR MORE DETAILS.	
PARKING PROVIDED	75 SPACES

\*REQUIRED: 1 SPACE PER EACH 3 OCCUPANTS AT MAXIMUM OCCUPANCY BASED ON MAXIMUM OCCUPANT LOAD PLUS ONE SPACE FOR EACH EMPLOYEE AT MAXIMUM SHIFT

**ACREAGE ANALYSIS**

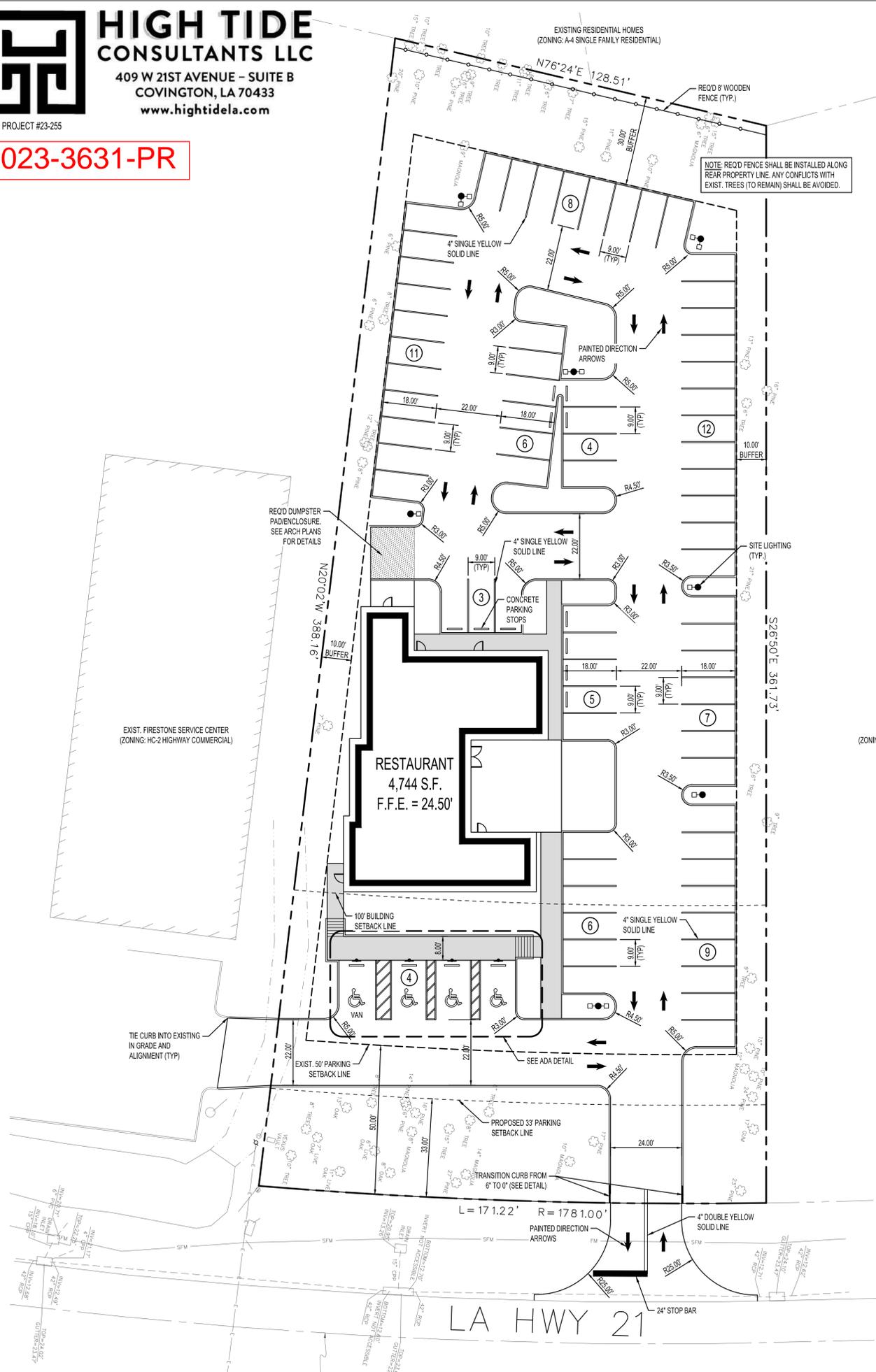
RESTAURANT LOT	+/- 1.28 AC.
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**ADA DETAIL**  
N.T.S.



**SITE PLAN**



A NEW BUILDING FOR

**LA CARRETA RESTAURANT**

LA HWY 21,  
COVINGTON, LA 70433

RUBIO HOSPITALITY GROUP  
108 N CATE STREET  
HAMMOND, LA 70401

GA PROJECT NO. 23-36



REVISION NO.	DATE	REMARKS

**SITE PLAN REVIEW**

DATE	1/22/2024
DRAWN BY	KRG
CHECKED BY	RCG
SHEET NAME	

A NEW BUILDING FOR

**LA CARRETA RESTAURANT**

LA HWY 21,  
 COVINGTON, LA 70433

RUBIO HOSPITALITY GROUP  
 108 N CATE STREET  
 HAMMOND, LA 70401

GA PROJECT NO. 23-36



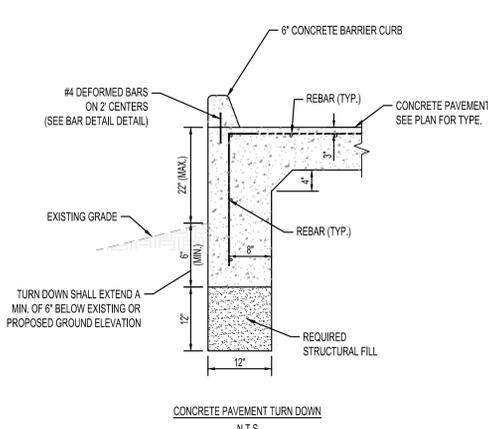
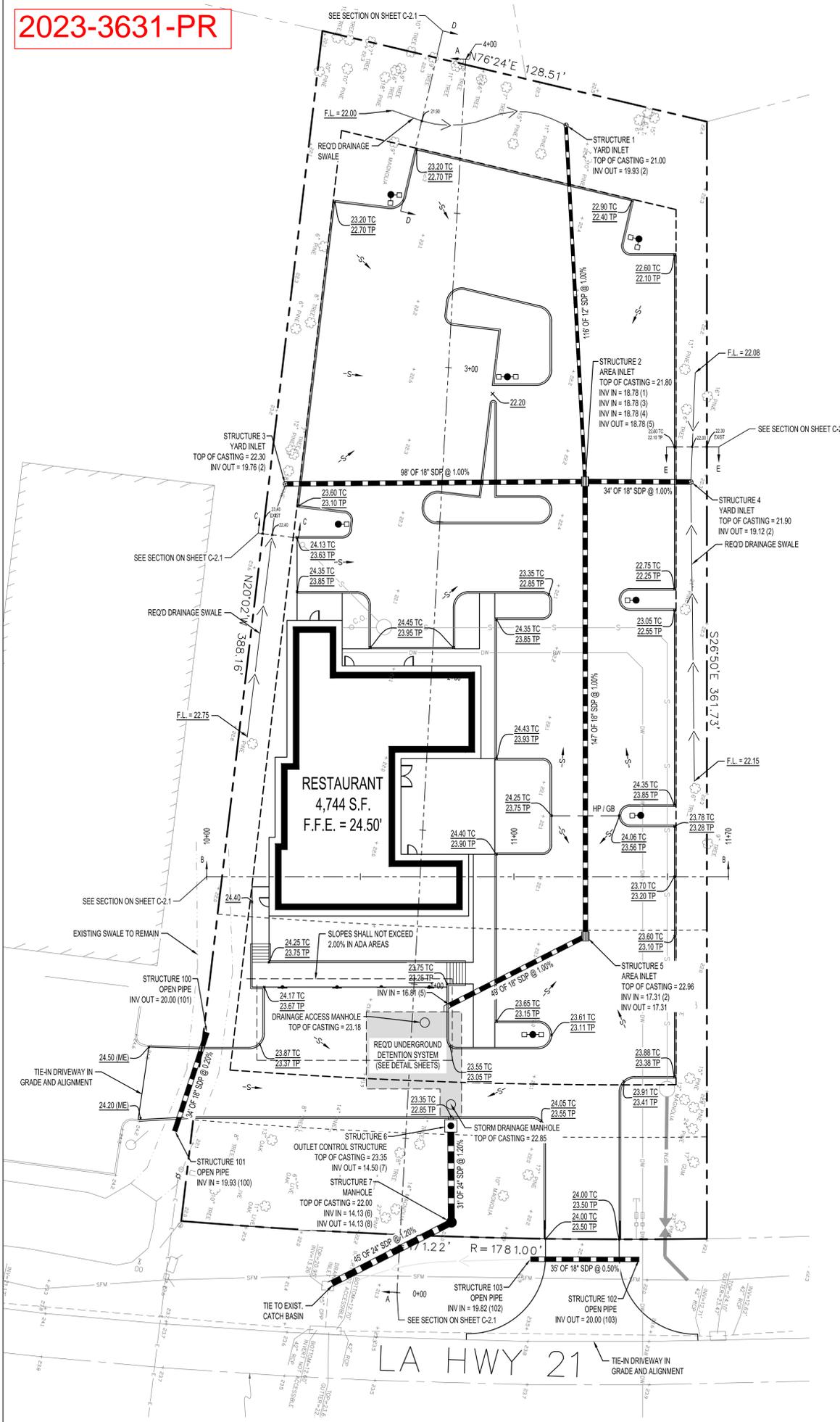
*Richard Galloway*  
 CIVIL ENGINEER

JANUARY 22, 2024

REVISION NO.	DATE	REMARKS

**SITE PLAN REVIEW**

DATE	1/22/2024
DRAWN BY	KRG
CHECKED BY	RCG
SHEET NAME	



- POINT DESCRIPTIONS:**
- TC - DENOTES TOP OF CURB
  - TP - DENOTES TOP OF PAVEMENT
  - TOC - DENOTES TOP OF CASTING
  - INV - DENOTES INVERT
  - FL - DENOTES FLOW LINE

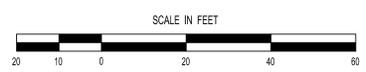
- PIPE NOTES:**  
 \*INDICATES THE FOLLOWING PIPE TYPES MAY BE USED:
- PVC - CONTECH-2000 OR EQUIVALENT
  - RCP - REINFORCED CONCRETE PIPE
  - RCPA - REINFORCED CONCRETE PIPE ARCH
  - CONTECH ULTRAFLOW OR EQUIVALENT
  - IF BCCMP - BITUMINOUS COATED CORRUGATED METAL PIPE (MIN 14 GAUGE)

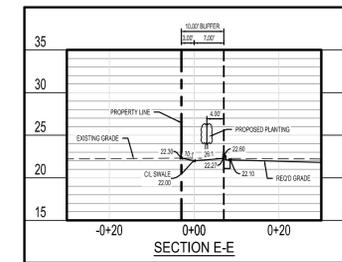
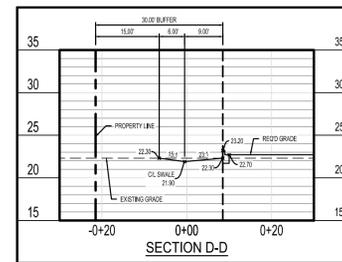
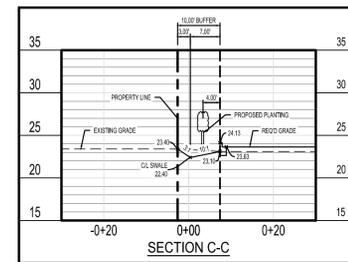
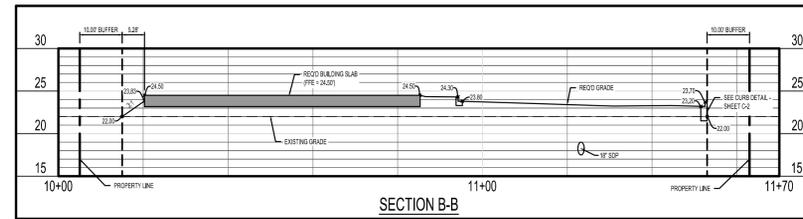
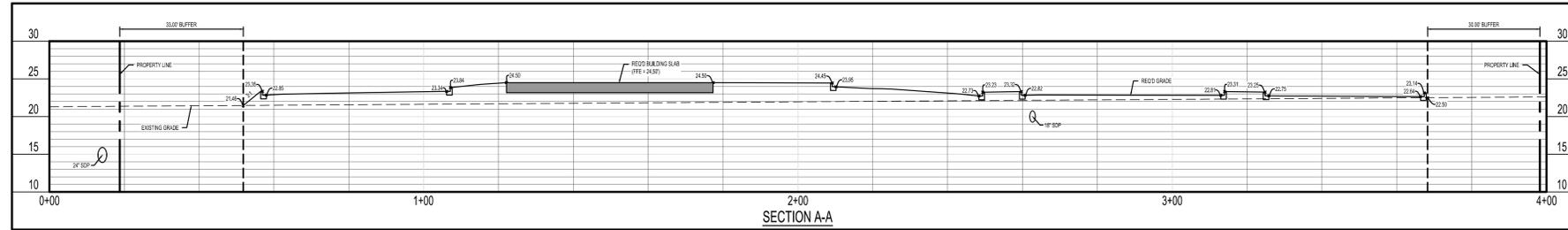
**LEGEND - PROPOSED IMPROVEMENTS**

	PROPERTY LINE		CONTOUR
	PROPOSED BUILDING		DITCH CENTER LINE
	6" CONCRETE CURB		SPOT ELEVATION
	STORM DRAIN PIPE (SDP)		HIGH POINT / GRADE BREAK
	STORM DRAIN INLET (NYCPLAST IN-LINE DRAIN OR DRAIN BASIN)		HP/GB
	STORM DRAIN CATCH BASIN (CB-01)		SLOPE ARROW



**GRADING PLAN**





A NEW BUILDING FOR

**LA CARRETA RESTAURANT**

LA HWY 21,  
 COVINGTON, LA 70433

RUBIO HOSPITALITY GROUP  
 108 N CATE STREET  
 HAMMOND, LA 70401

GA PROJECT NO. 23-36



REVISION NO.	DATE	REMARKS

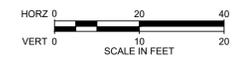
**SITE PLAN REVIEW**

DATE: 1/22/2024  
 DRAWN BY: KRG  
 CHECKED BY: RCG

SHEET NAME

**C-2.1**

**SECTIONS**



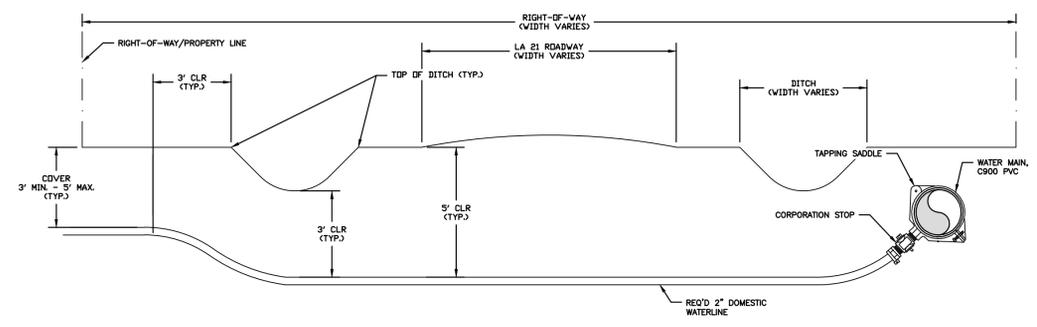
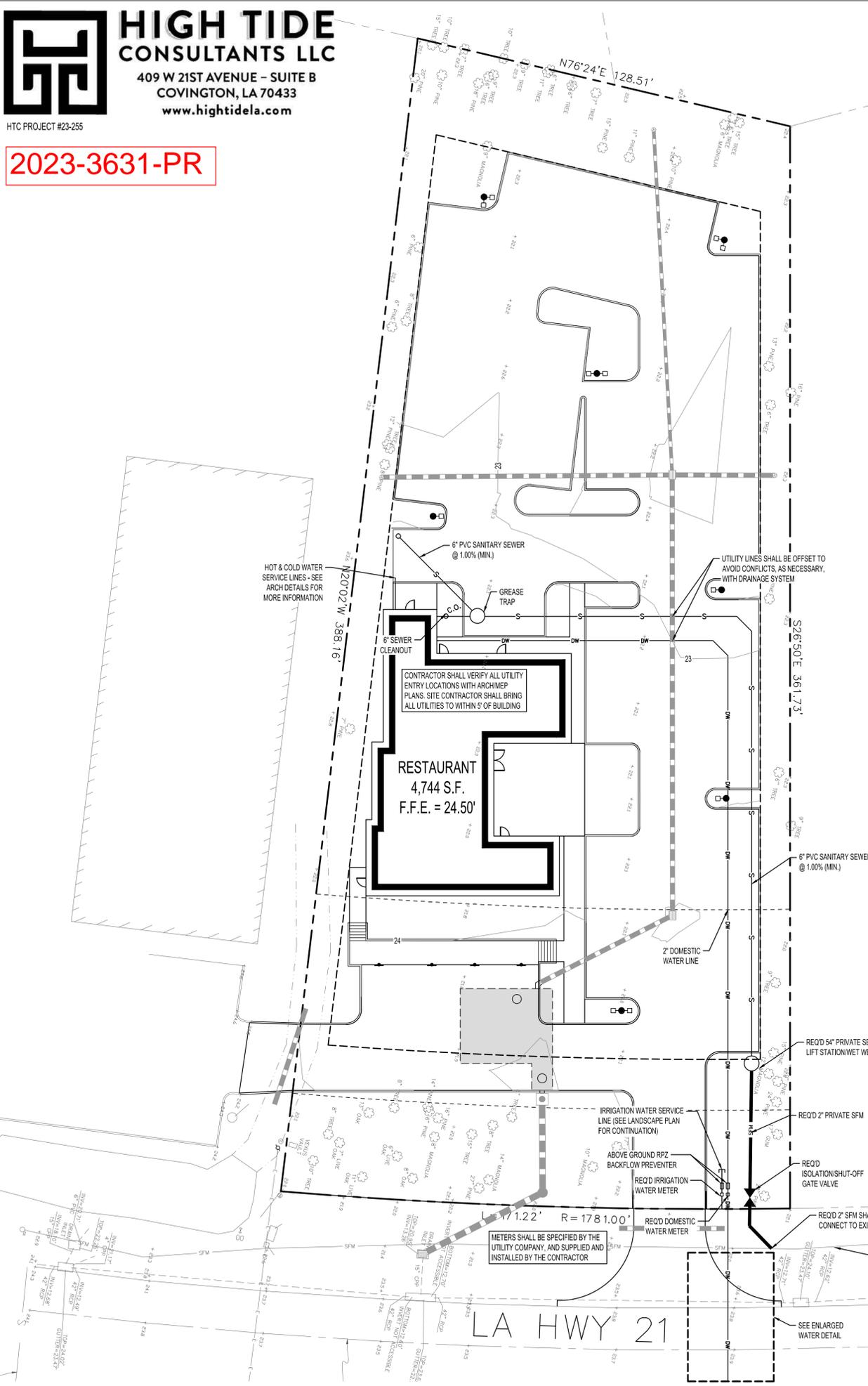


**HIGH TIDE CONSULTANTS LLC**

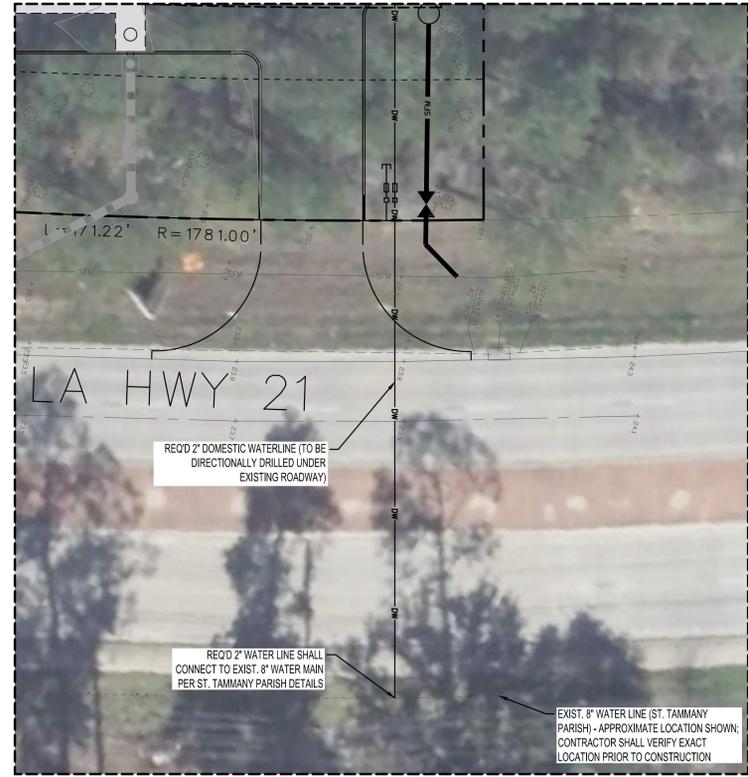
409 W 21ST AVENUE - SUITE B  
COVINGTON, LA 70433  
www.hightidela.com

HTC PROJECT #23-255

**2023-3631-PR**



TYPICAL WATERLINE CROSS SECTION  
(NOT TO SCALE)



ENLARGED OFFSITE WATER DETAIL  
N.T.S.

**LEGEND - PROPOSED IMPROVEMENTS**

- PROPERTY LINE
- PROPOSED BUILDING
- PIN-ON CURB
- STORM DRAIN PIPE
- DOMESTIC WATER LINE
- IRRIGATION WATER LINE
- SANITARY SEWER LINE
- SEWER FORCE MAIN
- C.O.
- GATE VALVE

**WATER AND SEWER SERVICE PROVIDED BY ST. TAMMANY PARISH - DEPT. OF UTILITIES**

NOTE: ALL ABOVE GROUND PIPING, VALVES, BACK FLOW PREVENTORS, ETC. SHALL BE PROTECTED FROM FREEZE BY APPROVED INSULATION HEAT TAPE OR HOT BOX.



**UTILITY PLAN**



**GREENLEAF ARCHITECTS**  
404 E GIBSON ST STE 1 | COVINGTON LA

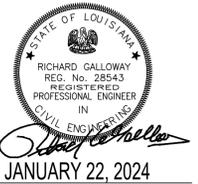
**GREENLEAF ARCHITECTS**  
GREENLEAFARCH.COM | 985.778.2080

A NEW BUILDING FOR

**LA CARRETA RESTAURANT**  
LA HWY 21,  
COVINGTON, LA 70433

RUBIO HOSPITALITY GROUP  
108 N CATE STREET  
HAMMOND, LA 70401

GA PROJECT NO. 23-36

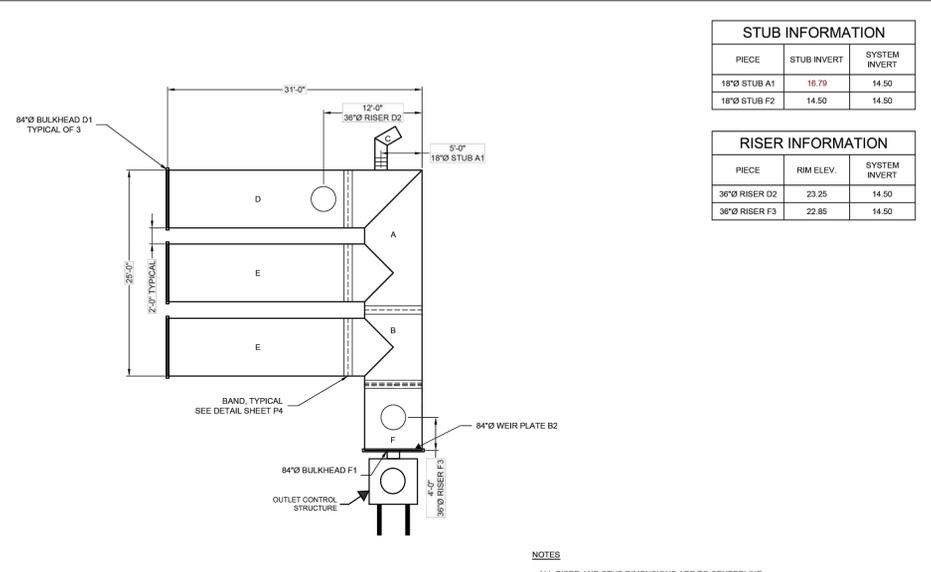
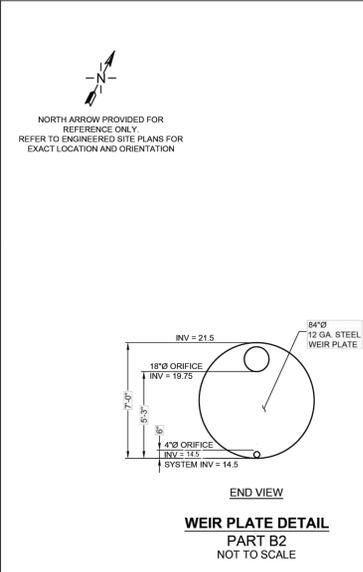


REVISION NO.	DATE	REMARKS

**SITE PLAN REVIEW**

DATE	1/22/2024
DRAWN BY	CRG
CHECKED BY	RCG
SHEET NAME	

**C-3**



**STUB INFORMATION**

PIECE	STUB INVERT	SYSTEM INVERT
18"Ø STUB A1	16.70	14.50
18"Ø STUB F2	14.50	14.50

**RISER INFORMATION**

PIECE	RIM ELEV.	SYSTEM INVERT
36"Ø RISER D2	23.25	14.50
36"Ø RISER F3	22.85	14.50

THE UNDERSIGNED HEREBY APPROVES THE ATTACHED (S) PAGES INCLUDING THE FOLLOWING:

- PIPE STORAGE = 4,090 CF
- MAINLINE PIPE GAGE = 16
- WALL TYPE = SOLID
- DIAMETER = 84, 18"
- FINISH = ALT2
- CORRUGATION = 5x1

CUSTOMER \_\_\_\_\_ DATE \_\_\_\_\_

- NOTES**
- ALL RISER AND STUB DIMENSIONS ARE TO CENTERLINE.
  - ALL ELEVATIONS, DIMENSIONS, AND LOCATIONS OF RISERS AND INLETS, SHALL BE VERIFIED BY THE ENGINEER OF RECORD (EOR) PRIOR TO RELEASING FOR FABRICATION.
  - ALL FITTINGS AND REINFORCEMENT COMPLY WITH ASTM A998.
  - ALL RISERS AND STUBS ARE 29" x 7/8" CORRUGATION AND 16 GAGE UNLESS OTHERWISE NOTED.
  - RISERS TO BE FIELD TRIMMED TO GRADE AS REQUIRED, BY CONTRACTOR.
  - QUANTITY OF PIPE SHOWN DOES NOT PROVIDE EXTRA PIPE FOR CONNECTING THE SYSTEM TO EXISTING PIPE OR DRAINAGE STRUCTURES. OUR SYSTEM AS DETAILED PROVIDES NOMINAL INLET AND/OR OUTLET PIPE STUBS FOR CONNECTION TO EXISTING DRAINAGE FACILITIES. IF ADDITIONAL PIPE IS NEEDED IT IS THE RESPONSIBILITY OF THE CONTRACTOR.
  - ALL ACCESS CASTINGS ARE THE RESPONSIBILITY OF THE CONTRACTOR AND ARE NOT SUPPLIED BY CONTECH.

MARK	DATE	REVISION DESCRIPTION	BY

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com

3100 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
900-338-1122 513-645-7000 513-645-7993 FAX

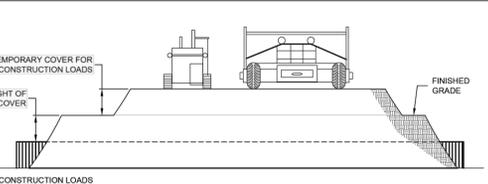
84"Ø UNDERGROUND DETENTION SYSTEM - 784607-010  
LA CARRETA RESTAURANT  
COVINGTON, LA  
SITE DESIGNATION: UDS

PROJECT NO: 784607 REG. NO: 010 DATE: 12/27/2023  
DESIGNED: PNK DRAWN: PNK  
CHECKED: LJK APPROVED: PNK  
SHEET NO: P1 OF 5

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com

3100 Centre Pointe Dr., Suite 400, West Chester, OH 45069  
900-338-1122 513-645-7000 513-645-7993 FAX

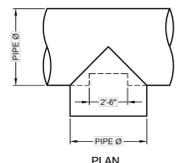
**CONTECH**  
CMP DETENTION SYSTEMS  
CONTECH PROPOSAL DRAWING



PIPE SPAN, INCHES	AXLE LOADS (kips)				
	18-50	50-75	75-110	110-150	MINIMUM COVER (FT)
12-42	2.0	2.5	3.0	3.0	3.0
48-72	3.0	3.0	3.5	4.0	4.0
78-120	3.0	3.5	4.0	4.0	4.0
126-144	3.5	4.0	4.5	4.5	4.5

\*MINIMUM COVER MAY VARY, DEPENDING ON LOCAL CONDITIONS. THE CONTRACTOR MUST PROVIDE THE ADDITIONAL COVER REQUIRED TO AVOID DAMAGE TO THE PIPE. MINIMUM COVER IS MEASURED FROM THE TOP OF THE PIPE TO THE TOP OF THE MAINTAINED CONSTRUCTION ROADWAY SURFACE.

**CONSTRUCTION LOADING DIAGRAM**  
NOT TO SCALE



**TYPICAL MANWAY DETAIL**  
NOT TO SCALE

**SPECIFICATION FOR CORRUGATED STEEL PIPE-ALUMINIZED TYPE 2 STEEL**

**SCOPE**  
THIS SPECIFICATION COVERS THE MANUFACTURE AND INSTALLATION OF THE CORRUGATED STEEL PIPE (CSP) DETAILED IN THE PROJECT PLANS.

**MATERIAL**  
THE ALUMINIZED TYPE 2 STEEL COILS SHALL CONFORM TO THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A892.

**PIPE**  
THE CSP SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS OF AASHTO M274 OR ASTM A892. THE PIPE SIZES, GAGES AND CORRUGATIONS SHALL BE AS SHOWN ON THE PROJECT PLANS.

ALL FABRICATION OF THE PRODUCT SHALL OCCUR WITHIN THE UNITED STATES.

**HANDLING AND ASSEMBLY**  
SHALL BE IN ACCORDANCE WITH RECOMMENDATIONS OF THE NATIONAL CORRUGATED STEEL PIPE ASSOCIATION (NCSIPA).

**INSTALLATION**  
SHALL BE IN ACCORDANCE WITH AASHTO STANDARD SPECIFICATIONS FOR HIGHWAY BRIDGES, SECTION 26, DIVISION II OR ASTM A708 AND IN CONFORMANCE WITH THE PROJECT PLANS AND SPECIFICATIONS. IF THERE ARE ANY INCONSISTENCIES OR CONFLICTS THE CONTRACTOR SHOULD DISCUSS AND RESOLVE WITH THE SITE ENGINEER.

IT IS ALWAYS THE RESPONSIBILITY OF THE CONTRACTOR TO FOLLOW OSHA GUIDELINES FOR SAFE PRACTICES.

ANTI-FLOTTATION PROVISIONS DUE TO HIGH GROUNDWATER OR OTHER FLOTTATION CONCERNS ARE SITE SPECIFIC DESIGN CONSIDERATIONS AND SHALL BE SPECIFIED BY ENGINEER OF RECORD.

**MATERIAL SPECIFICATION**  
NOT TO SCALE

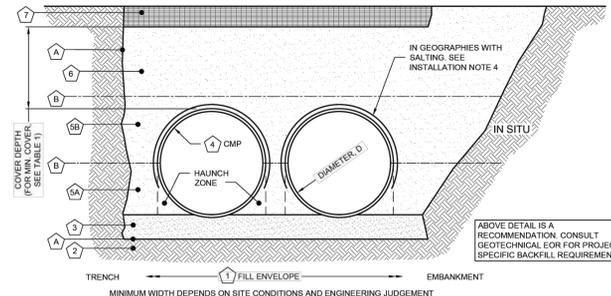
84"Ø UNDERGROUND DETENTION SYSTEM - 784607-010  
LA CARRETA RESTAURANT  
COVINGTON, LA  
SITE DESIGNATION: UDS

PROJECT NO: 784607 REG. NO: 010 DATE: 12/27/2023  
DESIGNED: PNK DRAWN: PNK  
CHECKED: LJK APPROVED: PNK  
SHEET NO: P2 OF 5

TABLE 1:

DIAMETER, D	MIN. COVER	CORR. PROFILE
6"-10"	12"	1 1/2" x 1/4"
12"-48"	12"	2 2/3" x 1/2"
>48"-96"	12"	3" x 1", 5" x 1"
>96"	DNB	3" x 1", 5" x 1"

- STRUCTURAL BACKFILL MUST EXTEND TO LIMITS OF THE TABLE.
- TOTAL HEIGHT OF COMPACTED COVER FOR CONVENTIONAL HIGHWAY LOADS IS MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TOP OF RIGID PAVEMENT.
- ULTRAFLO ALSO AVAILABLE FOR SIZES 18" - 120" WITH 3/4" x 3/4" x 7 1/2" CORRUGATION.



- INSTALLATION NOTES**
- WHEN PLACING THE FIRST LIFTS OF BACKFILL IT IS IMPORTANT TO MAKE SURE THAT THE BACKFILL IS PROPERLY COMPACTED UNDER AND AROUND THE PIPE HAUNCHES.
  - OTHER ALTERNATE BACKFILL MATERIAL MAY BE ALLOWED DEPENDING ON SITE SPECIFIC CONDITIONS, AS APPROVED BY SITE ENGINEER.
  - BACKFILL USING CONTROLLED LOW-STRENGTH MATERIAL (CLSM, "FLASH FILL" OR "FLOWABLE FILL") MAY BE USED WHEN THE SPACING BETWEEN THE PIPES WILL NOT ALLOW FOR PLACEMENT AND ADEQUATE COMPACTION OF THE BACKFILL. CONTACT CONTECH FOR FURTHER EVALUATION.
  - IF SALTING AGENTS FOR SNOW AND ICE REMOVAL ARE USED ON OR NEAR THE PROJECT, A GEOMEMBRANE BARRIER IS RECOMMENDED OVER THE UPPER HALF OF THE PIPE. THE GEOMEMBRANE LINER IS INTENDED TO HELP PROTECT THE SYSTEM FROM THE POTENTIAL ADVERSE EFFECTS THAT MAY RESULT FROM A CHANGE IN THE SURROUNDING ENVIRONMENT OVER A PERIOD OF TIME. PLEASE REFER TO THE CORRUGATED METAL PIPE DETENTION DESIGN GUIDE FOR ADDITIONAL INFORMATION.

**TABLE 2: CMP DETENTION AND CMP DRAINAGE STANDARD BACKFILL SPECIFICATIONS**

MATERIAL LOCATION	MATERIAL SPECIFICATION	DESCRIPTION
1 FILL ENVELOPE WIDTH	PER ENGINEER OF RECORD	MINIMUM TRENCH WIDTH MUST ALLOW ROOM FOR PROPER COMPACTION OF HAUNCH MATERIALS UNDER THE PIPE. THE SUGGESTED MINIMUM TRENCH WIDTH, OR EOR RECOMMENDATION: PIPE < 24" : 3:00 PIPE 24" - 144" : D + 40" PIPE > 144" : D + 100"
2 FOUNDATION	AASHTO 28.6.2 OR PER ENGINEER OF RECORD	PRIOR TO PLACING THE BEDDING, THE FOUNDATION MUST BE CONSTRUCTED TO A UNIFORM AND STABLE GRADE. IN THE EVENT THAT UNSUITABLE FOUNDATION MATERIALS ARE ENCOUNTERED DURING EXCAVATION, THEY SHALL BE REMOVED AND FOUNDATION BROUGHT BACK TO GRADE WITH A FILL MATERIAL APPROVED BY THE ENGINEER OF RECORD.
3 BEDDING	AASHTO M 43: 3, 357, 4, 467, 5, 56, 57 (APPROVED REGIONAL EQUIVALENTS INCLUDE CA-7)	ENGINEER OF RECORD TO DETERMINE IF BEDDING IS REQUIRED. PIPE MAY BE PLACED ON THE TRENCH BOTTOM OF A RELATIVELY LOOSE, NATIVE SUITABLE WELL GRADED GRANULAR MATERIAL THAT IS ROUGHLY SHAPED TO FIT THE BOTTOM OF THE PIPE, 2" MIN DEPTH. THE BEDDING MATERIAL, MAY BE SUITABLE FOUNDATION SOILS CONFORMING TO AASHTO SOIL CLASSIFICATIONS A-1, A-2, OR A-3 WITH MAXIMUM PARTICLE SIZE OF 3" (PER AASHTO 28.3.1.1 AND 12.4.1.3).
4		CORRUGATED METAL PIPE
5A CRITICAL BACKFILL	AASHTO M 145: A-1, A-2, A-3 *	HAUNCH ZONE MATERIAL SHALL BE HAND SHOVELED OR SHOVEL SLICED INTO PLACE TO ALLOW FOR PROPER COMPACTION WITHOUT SOFT SPOTS. BACKFILL SHALL BE PLACED IN 8" ± LOOSE LIFTS AND COMPACTED TO 90% STANDARD PROCTOR PER AASHTO T 99. BACKFILL SHALL BE PLACED SUCH THAT THERE IS NO MORE THAN A THREE LIFT (24") DIFFERENTIAL BETWEEN ANY OF THE PIPES AT ANY TIME DURING THE BACKFILL PROCESS. THE BACKFILL SHOULD BE ADVANCED ALONG THE LENGTH OF THE SYSTEM TO AVOID DIFFERENTIAL LOADING.
5B BACKFILL	AASHTO M 145: A-1, A-2, A-3	WELL GRADED GRANULAR MATERIAL WHICH MAY CONTAIN SMALL AMOUNTS OF SILT OR CLAY AND MAXIMUM PARTICLE SIZE OF 3" (PER AASHTO 28.3.8.1 AND 12.4.1.3).
6 COVER MATERIAL	UP TO MIN. COVER - SEE 5A AND 5B ABOVE ABOVE MIN. COVER - PER ENGINEER OF RECORD	COVER MATERIAL MAY INCLUDE NON-BITUMINOUS, GRANULAR ROAD BASE MATERIAL WITHIN MIN COVER LIMITS
7 RIGID OR FLEXIBLE PAVEMENT (IF APPLICABLE)	PER ENGINEER OF RECORD	FLEXIBLE PAVEMENT SHOULD NOT BE COUNTED AS PART OF THE FILL HEIGHT OVER THE CMP. FINAL BACKFILL MATERIAL SELECTION AND COMPACTION REQUIREMENTS SHALL FOLLOW THE PROJECT PLANS AND SPECIFICATIONS PER THE ENGINEER OF RECORD.
8 OPTIONAL SIDE GEOTEXTILE	NONE	GEOTEXTILE LAYER IS RECOMMENDED ON SIDES OF EXCAVATION TO PREVENT SOIL MIGRATION.
9 OPTIONAL GEOTEXTILE BETWEEN LAYERS	NONE	IF SOIL TYPES DIFFER AT ANY POINT ABOVE PIPE INVERT, A GEOTEXTILE LAYER IS RECOMMENDED TO BE PLACED BETWEEN THE LAYERS TO PREVENT SOIL MIGRATION.

- NOTES**
- FOR MULTIPLE BARREL INSTALLATIONS, THE RECOMMENDED STANDARD SPACING BETWEEN PARALLEL PIPE RUNS SHALL BE THE PIPE DIAMETER D BUT NO LESS THAN 12" FOR DIAMETERS < 22", FOR 22" AND LARGER DIAMETERS, THE MINIMUM SPACING IS 36". CONTACT YOUR CONTECH REPRESENTATIVE FOR NONSTANDARD SPACING.
  - APPROVED REGIONAL EQUIVALENTS FOR SECTION 5A INCLUDE CA-7, MIDOT 20, 34G, OR 21A4 STONE OR GRAVEL, #6, #57, MIDOT 6A, 2G, 3G, 34G.

**MANUFACTURER RECOMMENDED BACKFILL**  
NOT TO SCALE

**CONTECH**  
ENGINEERED SOLUTIONS LLC  
www.contechES.com

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900-338-1122 513-645-7000 513-645-7993 FAX

**CONTECH**  
CMP DETENTION SYSTEMS  
CONTECH PROPOSAL DRAWING

84"Ø UNDERGROUND DETENTION SYSTEM - 784607-010  
LA CARRETA RESTAURANT  
COVINGTON, LA  
SITE DESIGNATION: UDS

PROJECT NO: 784607 REG. NO: 010 DATE: 12/27/2023  
DESIGNED: PNK DRAWN: PNK  
CHECKED: LJK APPROVED: PNK  
SHEET NO: P3 OF 5

**DRAINAGE  
DETAIL SHEET**

A NEW BUILDING FOR  
**LA CARRETA RESTAURANT**  
LA HWY 21,  
COVINGTON, LA 70433  
RUBIO HOSPITALITY GROUP  
108 N CATE STREET  
HAMMOND, LA 70401

GA PROJECT NO. 23-36

STATE OF LOUISIANA  
RICHARD GALLOWAY  
REG. NO. 28543  
REGISTERED PROFESSIONAL ENGINEER  
IN  
CIVIL ENGINEERING  
JANUARY 22, 2024

REVISION NO.	DATE	REMARKS

**SITE PLAN REVIEW**

DATE	1/22/2024
DRAWN BY	KRG
CHECKED BY	RCG

SHEET NAME

**C-4**

**PLAIN END CMP RISER PIPE**

CONNECTION DETAIL  
7 1/2" TECHCO SHOWN - MAY VARY

ELEVATION VIEW OF CMP AND RISER

12" RISER BAND DETAIL  
NOT TO SCALE

GENERAL NOTES:

- DELIVERED BAND STYLE AND FASTENER TYPE MAY VARY BY FABRICATION PLANT.
- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
- BAND MATERIAL AND GAGE TO BE SAME AS RISER MATERIAL.
- IF RISER HAS A HEIGHT OF 10' OR MORE, USE A SLIP JOINT.
- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" THRU 84" 2-PIECES
  - 102" THRU 144" 3-PIECES
- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
- ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2 23/32"
- DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

**H-12 HUGGER BAND DETAIL**  
NOT TO SCALE

GENERAL NOTES:

- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
- BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
- BANDS ARE SHAPED TO MATCH THE PIPE ARCH WHEN APPLICABLE.
- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" THRU 84" 2-PIECES
  - 102" THRU 144" 3-PIECES
- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
- ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2 23/32"
- DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

**2 2/3"x1/2" RE-ROLLED END HEL-COR PIPE**

GENERAL NOTES:

- JOINT IS TO BE ASSEMBLED PER AASHTO BRIDGE CONSTRUCTION SPECIFICATION SEC 26.4.2.4.
- BAND MATERIALS AND/OR COATING CAN VARY BY LOCATION. CONTACT YOUR CONTECH REPRESENTATIVE FOR AVAILABILITY.
- BANDS ARE SHAPED TO MATCH THE PIPE ARCH WHEN APPLICABLE.
- BANDS ARE NORMALLY FURNISHED AS FOLLOWS:
  - 12" THRU 48" 1-PIECE
  - 54" THRU 84" 2-PIECES
  - 102" THRU 144" 3-PIECES
- BAND FASTENERS ARE ATTACHED WITH SPOT WELDS, RIVETS OR HAND WELDS.
- ALL CMP IS REROLLED TO HAVE ANNULAR END CORRUGATIONS OF 2 23/32"
- DIMENSIONS ARE SUBJECT TO MANUFACTURING TOLERANCES.
- ORDER SHALL DESIGNATE GASKET OPTION, IF REQUIRED (SEE DETAILS ABOVE).

ACCESS CASTING SUPPLIED BY CONTECH IN SELECT MARKETS UNDER SEPARATE SUBMITTAL

SECTION VIEW

REINFORCING TABLE

Ø CMP RISER	A	B Ø	REINFORCING	**BEARING PRESSURE (PSF)
24"	4'0"	26"	#5 @ 10" OCEW #5 @ 10" OCEW	2,540 1,900
30"	4'6"Ø 4'6" x 4'6"	32"	#5 @ 10" OCEW #5 @ 9" OCEW	2,260 1,670
36"	5'0"Ø 5'0" x 5'0"	38"	#5 @ 9" OCEW #5 @ 8" OCEW	2,060 1,500
42"	5'6"Ø 5'6" x 5'6"	44"	#5 @ 8" OCEW #5 @ 8" OCEW	1,490 1,370
48"	6'0"Ø 6'0" x 6'0"	50"	#5 @ 7" OCEW #5 @ 7" OCEW	1,210 1,270

\*\* ASSUMED SOIL BEARING CAPACITY

ROUND OPTION PLAN VIEW

SQUARE OPTION PLAN VIEW

MANHOLE CAP DETAIL  
NOT TO SCALE

GENERAL NOTES:

- DESIGN IN ACCORDANCE WITH AASHTO, 17TH EDITION AND AASHTO 350.
- DESIGN LOAD HS20.
- EARTH COVER = 1' MAX.
- CONCRETE STRENGTH = 4,000 psi
- REINFORCING STEEL = ASTM A615, GRADE 60.
- PROVIDE ADDITIONAL REINFORCING AROUND OPENINGS EQUAL TO THE BARS INTERRUPTED, HALF EACH SIDE. ADDITIONAL BARS TO BE IN THE SAME PLANE.
- TRIM OPENING WITH DIAGONAL #4 BARS, EXTEND BARS A MINIMUM OF 12" BEYOND OPENING, BEND BARS AS REQUIRED TO MAINTAIN BAR COVER.
- PROTECTION SLAB AND ALL MATERIALS TO BE PROVIDED AND INSTALLED BY CONTRACTOR.
- DETAIL DESIGN BY DELTA ENGINEERS, ARCHITECTS AND LAND SURVEYORS, ENDWELL, NY.

84"Ø UNDERGROUND DETENTION SYSTEM - 784607-010  
LA CARRETA RESTAURANT  
COVINGTON, LA  
SITE DESIGNATION: UDS

CONTECH ENGINEERED SOLUTIONS LLC  
9100 Centre Pointe Dr., Suite 400, West Chester, OH 45392  
800-338-1122 513-645-7000 513-645-7993 FAX

CONTECH CMP DETENTION SYSTEMS  
CONTECH PROPOSAL DRAWING

PROJECT NO. 784607-010 DATE 12/27/2023  
SHEET NO. P4 OF 5

STORM DRAIN TRENCH AND BEDDING DETAIL

GENERAL NOTES:

- BEDDING SHALL BE CLASS I-A WORKED BY HAND. IF GROUNDWATER IS ANTICIPATED, THEN BEDDING SHALL BE CLASS I-B COMPACTED TO 95% STANDARD PROCTOR.
- HAUNCHING SHALL BE WORKED AROUND THE PIPE BY HAND TO ELIMINATE VOIDS AND SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% PROCTOR.
- INITIAL BACKFILL UNDER PAVED AREAS SHALL BE CLASS I-A WORKED BY HAND, OR CLASS I-B OR CLASS II COMPACTED TO 90% STANDARD PROCTOR.
- FINAL BACKFILL UNDER PAVED AREAS SHALL BE CLASS I-A OR CLASS I-B OR CLASS II COMPACTED TO 95% STANDARD PROCTOR.
- HAUNCHING FOR FLEXIBLE PIPE SHALL BE WORKED A MINIMUM OF 6" ABOVE THE TOP OF PIPE OR PER THE MANUFACTURER'S RECOMMENDATION, WHICHEVER IS MORE STRINGENT.
- ALL MATERIALS SHALL BE INSTALLED IN MAXIMUM 8" LOOSE LIFTS IN ACCORDANCE WITH ASTM D 698. CLASS III AND IV-A MATERIALS SHALL BE COMPACTED NEAR OPTIMUM MOISTURE CONTENT.
- FILL SALVAGED FROM EXCAVATION SHALL BE FREE OF DEBRIS, ORGANICS AND ROCKS LARGER THAN 3".
- ALL TRENCH EXCAVATIONS SHALL BE SLOPED, SHORED, SHIELDED, BRACED OR OTHERWISE SUPPORTED IN COMPLIANCE WITH OSHA REGULATIONS AND LOCAL ORDINANCES.
- GETECH FABRIC TO BE USED UNDER BEDDING MATERIAL WHEN UNSUITABLE SOILS ARE ENCOUNTERED OR A STABLE NON-YIELDING FOUNDATION CANNOT BE OBTAINED.
- HAUNCHING FOR FLEXIBLE PIPE SHALL BE WORKED A MINIMUM OF 6" ABOVE THE TOP OF PIPE OR PER THE MANUFACTURER'S RECOMMENDATION, WHICHEVER IS MORE STRINGENT.

GENERAL SOIL CLASSIFICATION CHART

CLASS	TYPE	SOIL GROUP SYMBOL	DESCRIPTION
1A	MANUFACTURED AGGREGATES; OPEN-GRADED, CLEAN	NONE	ANGULAR CRUSHED STONE OR ROCK, CRUSHED GRAVEL, BROKEN CORN, CRUSHED SLAG, CINDERS OR SHELLS, LARGE VOID CONTENT, CONTAIN LITTLE OR NO FINES
1B	MANUFACTURED, PROCESSED AGGREGATES; DENSE-GRADED, CLEAN	NONE	ANGULAR CRUSHED STONE (OR OTHER CLASS 1A MATERIALS) AND STONE/SAND MIXTURES WITH GRADATIONS SELECTED TO MINIMIZE MIGRATION OF ADJACENT SOILS; CONTAIN LITTLE OR NO FINES (SEE 1.8)
II	COARSE-GRAINED SOILS CLEAN	GW	WELL-GRADED GRAVELS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
		GP	POORLY-GRADED GRAVELS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
		SW	WELL-GRADED SANDS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
		SP	POORLY-GRADED SANDS AND GRAVEL-SAND MIXTURES; LITTLE OR NO FINES
COARSE-GRAINED SOILS BORDERLINE CLEAN TO IV; FINES		G-S, GW-GC, SP-SM	SANDS AND GRAVELS WHICH ARE BORDERLINE BETWEEN CLEAN AND WITH FINES
III	COARSE-GRAINED SOILS WITH FINES	GM	SILT GRAVELS, GRAVEL-SAND-SILT MIXTURES
		GC	CLAYEY GRAVELS, GRAVEL-SAND-CLAY MIXTURES
		SM	SILT SANDS, SAND-SILT MIXTURES
		SC	CLAYEY SANDS, SAND-CLAY MIXTURES
IV-A	FINE-GRAINED SOILS (INORGANIC)	ML	INORGANIC SILTS AND VERY FINE SANDS, ROCK FLOUR, SILTY OR CLAYEY FINE SANDS, SILTS WITH SLIGHT PLASTICITY
		CL	INORGANIC CLAYS OF LOW TO MEDIUM PLASTICITY, GRAVELY CLAYS, SANDY CLAYS, SILTY CLAYS, LEAN CLAYS
IV-B	FINE-GRAINED SOILS (INORGANIC)	MH	INORGANIC SILTS, MEDIUM OR HIGH PLASTICITY FINE SANDY OR SILTY SOILS, ELASTIC SILTS
		CH	INORGANIC CLAYS OF HIGH PLASTICITY, FAT CLAYS
V	ORGANIC SOILS	OL	ORGANIC SILTS AND ORGANIC SILTY CLAYS OF LOW PLASTICITY
		OH	ORGANIC CLAYS OF MEDIUM TO HIGH PLASTICITY, ORGANIC SILTS
	HIGHLY ORGANIC	PT	PEAT AND OTHER HIGH ORGANIC SOILS

SECTION "A-A" OUTLET CONTROL STRUCTURE

STANDARD MH-06 TYPE "K" COVER

BRICK AND MORTAR 8" MASONRY WALL OR CONCRETE RINGS

6" (TYP. ALL SIDES)

WALL REINFORCEMENT #4 @ 12" EA. WAY

24" Ø OUTFALL PIPE

DETENTION POND FINISH GRADE ELEV. 14.50'

BASE REINFORCEMENT #4 @ 12" EA. WAY

18" Ø ORIFICE

4" Ø ORIFICE

DETENTION POND FINISH GRADE ELEV. 14.50'

BASE REINFORCEMENT #4 @ 12" EA. WAY

HEIGHT OF BOX = 9.35'

TOP OF BOX ELEV. 23.35'

1.00' (MAX.)

3.00' (MAX.)

2.00'

6"

4.00'

ELEV. 19.75'

6" (TYP. ALL SIDES)

WALL REINFORCEMENT #4 @ 12" EA. WAY

24" Ø OUTFALL @ 1.20% SLOPE

DETENTION POND FINISH GRADE ELEV. 14.50'

BASE REINFORCEMENT #4 @ 12" EA. WAY

1.00'

STORM AND SANITARY SEWER MANHOLE BEDDING DETAIL

MANHOLE TO BE BEDDED ON #7 LIMESTONE AS PER LA DOTD SPECIFICATIONS SECTION 1003 COMPACTED TO 95% STANDARD PROCTOR, IN 6" LIFTS

GEOTEXTILE FABRIC AT NATIVE SOIL/LIMESTONE INTERFACE

TYPICAL MANHOLE SEE DETAIL

MIN. 12"

1.5'

1.5'

N.T.S.

GREENLEAF ARCHITECTS  
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A NEW BUILDING FOR  
**LA CARRETA RESTAURANT**  
LA HWY 21,  
COVINGTON, LA 70433

RUBIO HOSPITALITY GROUP  
108 N CATE STREET  
HAMMOND, LA 70401

GA PROJECT NO. 23-36

STATE OF LOUISIANA  
RICHARD GALLOWAY  
REG. NO. 28543  
REGISTERED PROFESSIONAL ENGINEER  
IN CIVIL ENGINEERING  
JANUARY 22, 2024

REVISION NO. DATE REMARKS

SITE PLAN REVIEW

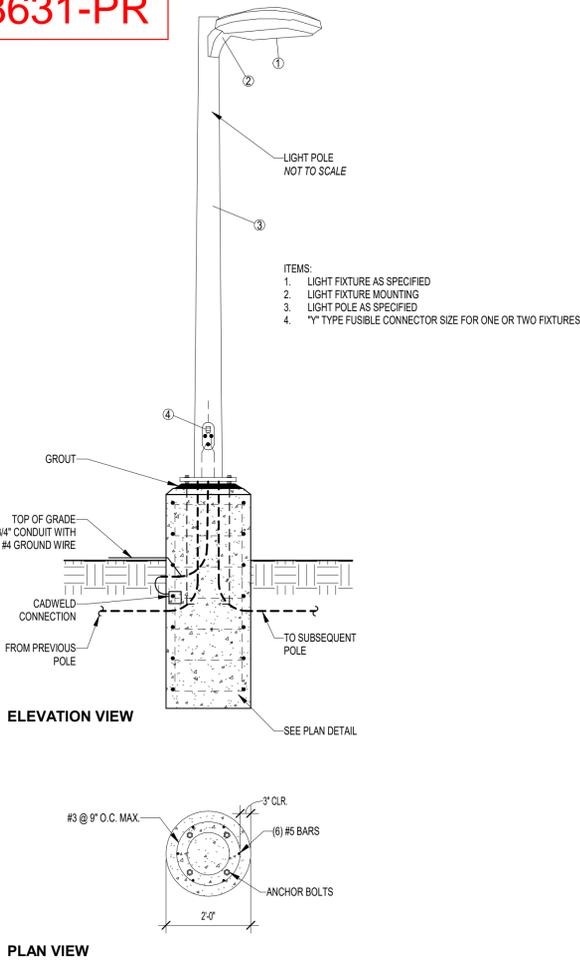
DATE 1/22/2024  
DRAWN BY KRG  
CHECKED BY RCG

SHEET NAME  
**C-4.1**

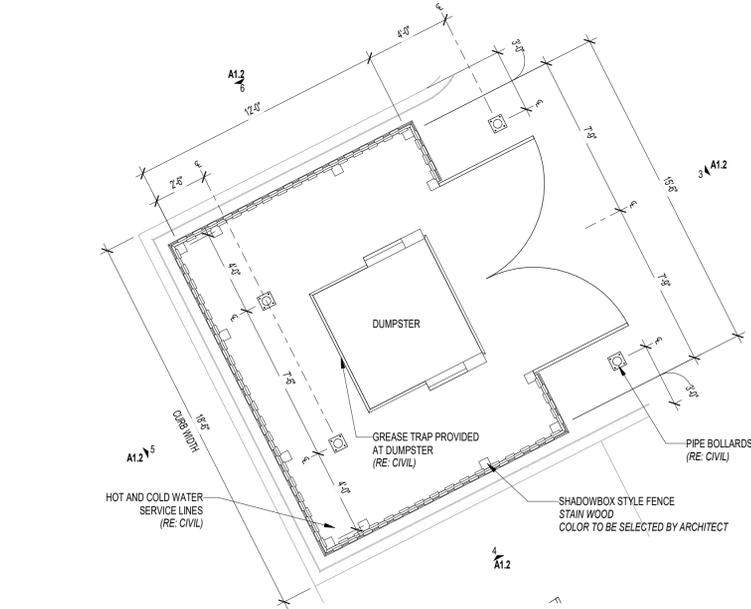
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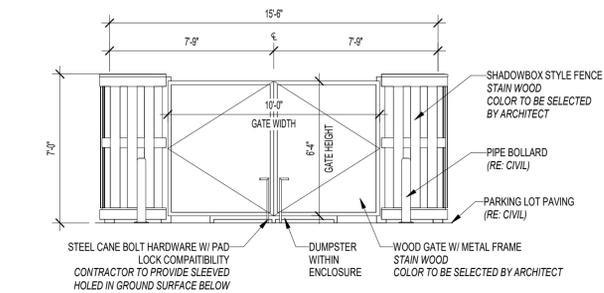




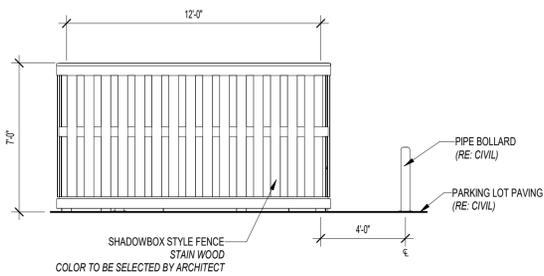
1 SITE POLE DETAIL  
 A1.2 SCALE: N.T.S.



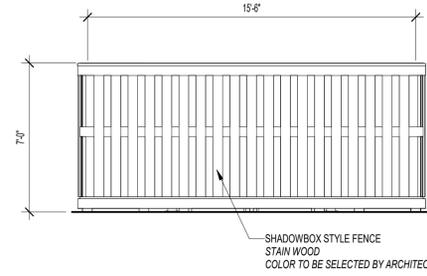
2 ENLARGED PLAN - DUMPSTER ENCLOSURE  
 A1.1/A1.2 SCALE: 1/4" = 1'-0"



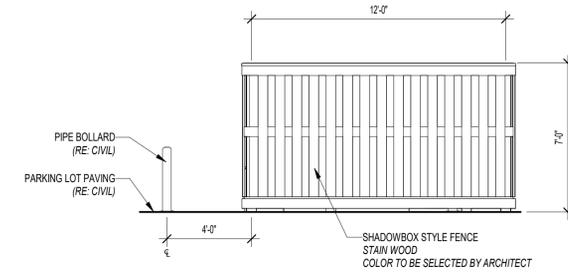
3 DUMPSTER ENCLOSURE - ELEVATION  
 A1.2/A1.2 SCALE: 1/4" = 1'-0"



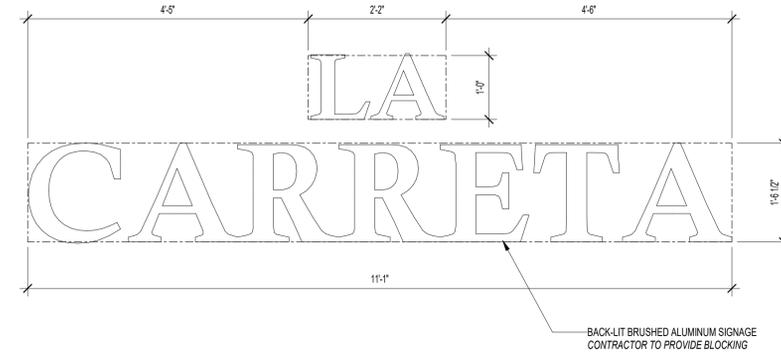
4 DUMPSTER ENCLOSURE - ELEVATION  
 A1.2/A1.2 SCALE: 1/4" = 1'-0"



5 DUMPSTER ENCLOSURE - ELEVATION  
 A1.2/A1.2 SCALE: 1/4" = 1'-0"



6 DUMPSTER ENCLOSURE - ELEVATION  
 A1.2/A1.2 SCALE: 1/4" = 1'-0"



7 BUILDING SIGN - SIGNAGE ELEVATION  
 A4.1/A1.2 SCALE: 3/4" = 1'-0"

A NEW DEVELOPMENT FOR

LA CARRETA RESTAURANT

LA HWY 21 COVINGTON, LA 70433

GA PROJECT NO. 23-36

PRELIMINARY FOR REVIEW ONLY NOT FOR CONSTRUCTION THESE DRAWINGS ARE SUBJECT TO REVISION, ALTERATION & DELETION.

REVISION NO.	DATE	REMARKS

SD SET

DATE 01/17/2024  
 DRAWN BY CCN  
 CHECKED BY SFB

SITE DETAILS

A1.2