

AGENDA
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
IMMEDIATELY FOLLOWING ADJOURNMENT OF THE SPECIAL RESCHEDULED
MEETING FOR THE OCTOBER 8, 2019 AGENDA - TUESDAY, NOVEMBER 12, 2019
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

ROLL CALL

PUBLIC ANNOUNCEMENTS

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

INVOCATION AND PLEDGE OF ALLEGIANCE

APPROVAL OF THE OCTOBER 8, 2019 MINUTES

PUBLIC HEARINGS:

REQUEST FOR POSTPONEMENTS

ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE

Entering the Parish Right-of-way

Request to Enter the Parish Right-of-way of Dove Park Road for the purpose of installing a sewer force main in conjunction with the construction of Dove Park Estates Subdivision

Debtor: Dove Park Estates, LLC

Parish Council District: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59 Mandeville, Louisiana. Ward 4, District 5

REVOCATION REVIEW

MINOR SUBDIVISION REVIEW

2019-1674-MSP

A minor subdivision of 1.89 acres into Parcels A & B

Owners: Jeffrey Johannsen

Surveyor: John Bonneau & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The property is located on the north side of Philip Smith Road, west of LA Highway 434, Lacombe, Louisiana. Ward 6, District 11

2019-1681-MSP

A minor subdivision of 14.20 acres identified as Parcel KS-1 into Parcels KS-1A & KS-1B
Owners: Byron A. & Myra D. Brown
Surveyor: Dading, Marques & Associates, LLC
Parish Council District Representative: Hon. Steve Stefancik
General Location: The property is located on the east side of Transmitter Road, south of East Main Street, Lacombe, Louisiana. Ward 7, District 11

RESUBDIVISION REVIEW

2019-1679-MRP

A resubdivision of lots 12-25 into Lots 13A, 15A, 19A, 21A, 23A, and 25A, Square 11, Beverly Heights Manor
Owners: VARNCO Properties, LLC – Kenneth & Bettina Varnado
Surveyor: J. V. Burkes & Associates, Inc.
Parish Council District Representative: Hon. S. Michele Blanchard
General Location: The property is located on the north side US Highway 190 East, on the west side of Northshore Lane & on the east side of Panther Street, Slidell, Louisiana, Ward 8, District 13

2019-1683-MRP

A resubdivision of lot 588A-1 into lots 587A-1 & 588A-2, Tchefunta Club Estates, Phase II
Owners: Bluebird Development & Design, LLC – Jamison Bagnell
Surveyor: Land Surveying, LLC
Parish Council District Representative: Hon. Marty Dean
General Location: The property is located on the southwest side of Hummingbird Road, north of Riverdale Drive, Covington, Louisiana. Ward 1, District 1

2019-1689-MRP

A resubdivision of lots 27-34 into Lots 28A, 30A, 32A & 34A, Sq. 322A & Lots 8-10 & 27-36 into Lots 9A, 28A, 30A, 34A & 36A Sq. 322B, Town of Mandeville
Owners: SMS Holdings Company, LLC
Surveyor: John E. Bonneau & Associates, Inc.
Parish Council District Representative: Hon. Jacob Groby
General Location: The property is located on the east & west sides of Ozone Place & on the west side of Rapatel Street, Mandeville, Louisiana. Ward 4, District 7

PETITIONS/WAIVER REQUESTS

DORMANT SUBDIVISION REVIEW

TENTATIVE SUBDIVISION REVIEW

PRELIMINARY SUBDIVISION REVIEW

2018-1105-PP

Providence Parks, Phase 1

Developer/Owner: Providence Parks, LLC

Engineer: SLD Engineering and Surveying

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side LA Highway 1077, north of U.S.

Highway 190, Covington, Louisiana. Ward 1, District 3

Postponed from the July 10, 2018 meeting

Postponed from the August 14, 2018 meeting

Postponed from the September 11, 2018 meeting

Postponed from the October 9, 2018 meeting for 2 months

Postponed from the December 11, 2018 meeting indefinitely

Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda

2019-1604-PP

River Park Estates, Phase 2

Developer/Owner: River Park Estates, LLC

Engineer/Surveyor: Deep South Design Group, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the north side of M. P. Planche Road, west of LA

Highway 25, Covington, Louisiana. Ward 3 District 3

Postponed at the September 10, 2019 meeting

Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda

2019-1638-PP

Spring Lakes, Phase 3

Developer/Owner: Lonesome Development, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side of LA Highway 1077, west of Tantela

Ranch Road, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda

FINAL SUBDIVISION REVIEW

2019-1633-FP

Grande Maison, Phase 3-C

Developer/Owner: Grande Maison Development, LLC

Engineer/Surveyor: Kelly McHugh and Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the east side of LA Highway 59, south of Interstate -

12, Mandeville, Louisiana. Ward 4 District 5

Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda

2019-1640-FP

Maison du Lac, Phase 3-B

Developer/Owner: WBB Realty, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located on the west side LA Highway 1085, north of LA Highway 21, Covington, Louisiana. Ward 1 District 1

Requesting postponement at the special rescheduled meeting for the October 8, 2019 agenda

2019-1685-FP

Spring Lakes, Phase 2

Developer/Owner: Lonesome Development, LLC

Engineer/Surveyor: Richard C. Lambert Consultants, LLC

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side of LA Highway 1077, west of Tantela Ranch Road, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

2019-1686-FP

Lakeshore Villages, Phase 4-A-3

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC/Acadia land Surveying, LLC

Parish Council District Representative: Hon. S. Michele Blanchard

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9 District 13

2019-1687-FP

Oaklawn Trace, Phase 1

Developer/Owner: J/MAC Development, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Steve Stefancik

General Location: The property is located on the south side of US Highway 190, east of Transmitter Road, west of South Tranquility Road, Lacombe, Louisiana. Ward 7 District 11

2019-1688-FP

Wingfield

Developer/Owner: Bruno Brothers Real Estate

Engineer/Surveyor: Arrow Engineering & Consulting, Inc,

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the north side of Joiner Wymer Road, west of LA Highway 1077, Covington, Louisiana. Ward 1 District 3

AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS

AMENDMENT TO DEVELOPMENTAL AGREEMENT

Notice of Intention to Consider Adoption of Amendment to Developmental Agreement

A public hearing will be held by the St. Tammany Parish Planning Commission to consider adoption of an Amendment to the Developmental Agreement between St. Tammany Parish Government and Advance Mortgage Company to remove Lots 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 of Square 31, Lots 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 of Square 21 and add Lot 1, 3, 5, 7, 9, 11, 13, 15, 17, 19, 21, 23, 25, 27, 29, 31, 33, 35, 37, 39, 41 of Square 14, Lots 2, 4, 6, 8, 10, 12, 14, 16, 18, 20, 22, 24, 26, 28, 30, 32, 34, 36, 38, 40, 42 of Square 15 of South Abita Springs Subdivision a/k/a Tammany Hills Subdivision (removing 42 lots and adding 42 lots).

Debtor: Advanced Mortgage Company

Parish Council District: Hon. David Fitzgerald

General Location: The property is located on 5th Street between Adams and Jefferson Avenue, Covington, Louisiana. Ward 3, District 2

OLD BUSINESS

NEW BUSINESS

ADJOURNMENT

THIS PAGE INTENTIONALLY LEFT BLANK

MINUTES
ST. TAMMANY PARISH PLANNING COMMISSION MEETING
6:00PM - TUESDAY, OCTOBER 8, 2019
ST. TAMMANY PARISH GOVERNMENT COMPLEX
PARISH COUNCIL CHAMBERS
21490 KOOP DRIVE, MANDEVILLE, LOUISIANA

ROLL CALL

Present: Willie, Richard, Doherty, Fitzmorris, Crawford, Drumm, Randolph

Absent: Seeger, Parker, Bagert and Lorren (Deceased)

Staff Present: Tissue, Lambert, Reynolds, Riles, McMenamin, Vorenkamp

The Planning Commission failed to achieve quorum; therefore, a special rescheduled meeting will be announced.

ADJOURNMENT

Mr. Dave Doherty
Chairman

DRAFT

THIS PAGE INTENTIONALLY LEFT BLANK

**ENTERING THE PARISH
RIGHTS-OF-WAY,
SERVITUDES AND
EASEMENTS**

THIS PAGE INTENTIONALLY LEFT BLANK

(Draft Date November 12, 2019)

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. _____

TITLE: A RESOLUTION AUTHORIZING MR. CORIE HERBERGER, TO ENTER PARISH RIGHT-OF-WAY.

SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO MR. CORIE HERBERGER, 22161 MARSHAL ROAD, MANDEVILLE. LA 70471 OR ASSIGNEES; TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY THE PORTION OF DOVE PARK ROAD LOCATED JUST WEST OF LOUISIANA HIGHWAY 59 FOR THE PURPOSE OF LAYING A SIX (6) INCH SEWER FORCE MAIN. WARD 4, DISTRICT 5.

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and/or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish releases the Performance Obligation.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right-of-way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner post a Performance Obligation in the amount of \$6,400 for a period of one (1) year.
8. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the R.O.W. by (an) individual(s) until the time that the project is satisfactorily completed and the Performance Obligation released.
9. That the petitioner submit as-built drawings certifying that the sewer force main is constructed in accordance with the approved drawing(s).

(Draft Date November 12, 2019)

RESOLUTION P.C. NO. _____

PAGE NO. 2 OF 2

10. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY _____, SECONDED BY _____; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE _____ DAY OF _____, 20____ AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

DAVE DOHERTY, JR., CHAIRMAN
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

SIDNEY FONTENOT, SECRETARY
ST. TAMMANY PARISH PLANNING COMMISSION

Revised 10/29/2019



DEEP SOUTH DESIGN GROUP
Civil/Environmental Engineering Firm

Enter R.O.W. Project
PLANS
RECEIVED
10/8/2019 - 12:14 P.M.
DEVELOPMENT
ENGINEERING

**ENGINEERING
REVIEW COPY**

October 8, 2019

St. Tammany Parish Government
Department of Engineering
P.O. Box 628
Covington, LA 70434

Attention: Mr. Chris Tissue, P.E.

Re: Dove Park Road Sewer Force Main

Mr. Tissue,

My client is requesting the right to enter St. Tammany Parish right-of-way (Dove Park Road) for the purpose of installing a new 6" sewer force main that will benefit Dove Park Estates and Tammany Utilities.

Client information:
Mr. Corie Herberger
22161 Marshall Road
Mandeville, LA 70471
985-966-0549

I've attached a conceptual plan of the proposed infrastructure for your review and use.

Please let me know if you have any questions or concerns regarding this request.

Sincerely,

Alex E. Williams, P. E.

P.O. Box 1122 Madisonville, LA 70447
PH.: (985) 705-4696
Email: alex@deepsouthdesign.com

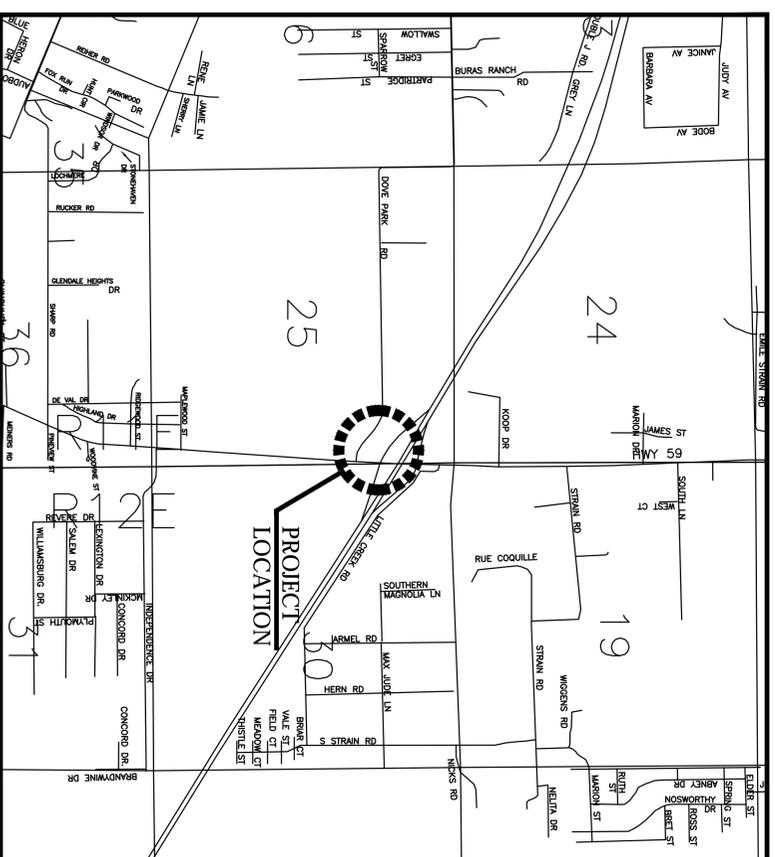
CONSTRUCTION PLANS

FOR DOVE PARK ROAD SEWER FORCE MAIN INSTALLATION ST. TAMMANY PARISH, LOUISIANA

FOR
CORIE HERBERGER

INDEX TO DRAWINGS

SHEET NO.	DESCRIPTION
C-0	TITLE SHEET
C-1	SEWER FORCE MAIN PLAN
C-2	SEWER FORCE MAIN PLAN
C-3	CONSTRUCTION DETAILS



VICINITY MAP
SCALE: N.T.S.



THESE DRAWINGS DO NOT INCLUDE COMPONENTS FOR CONSTRUCTION SAFETY.
CALL "LOUISIANA ONE-CALL" BEFORE DIGGING
PH. 1-(800)-272-3020

THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN AN APPROPRIATE MANNER ONLY. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES.

Enter R.O.W. Project
PLANS RECEIVED
10/8/2019 - 12:14 P.M.
DEVELOPMENT ENGINEERING
ENGINEERING REVIEW COPY

Prepared by:

DEEP SOUTH DESIGN GROUP

P.O. BOX 1122
Madisonville, Louisiana 70447
PH.: 985-705-4696

02/2019



Client:
CORIE HERBERGER

Project:
DOVE PARK ROAD
SEWER FORCE MAIN

General Notes

No.	Revision/Issue	Date



This drawing and design are the property of DEEP SOUTH DESIGN GROUP. They are submitted on the condition that they are not to be used, reproduced or copied in whole or part or used for any other project without the written consent of DEEP SOUTH DESIGN GROUP. All common law rights of copyright and otherwise are hereby specifically reserved.

Project NO. 14-197	Sheet C-0
Date 10.05.2019	
Scale AS SHOWN	

Client:
CORIE HERBERGER

Project:
**DOVE PARK ROAD
 SEWER FORCE MAIN**

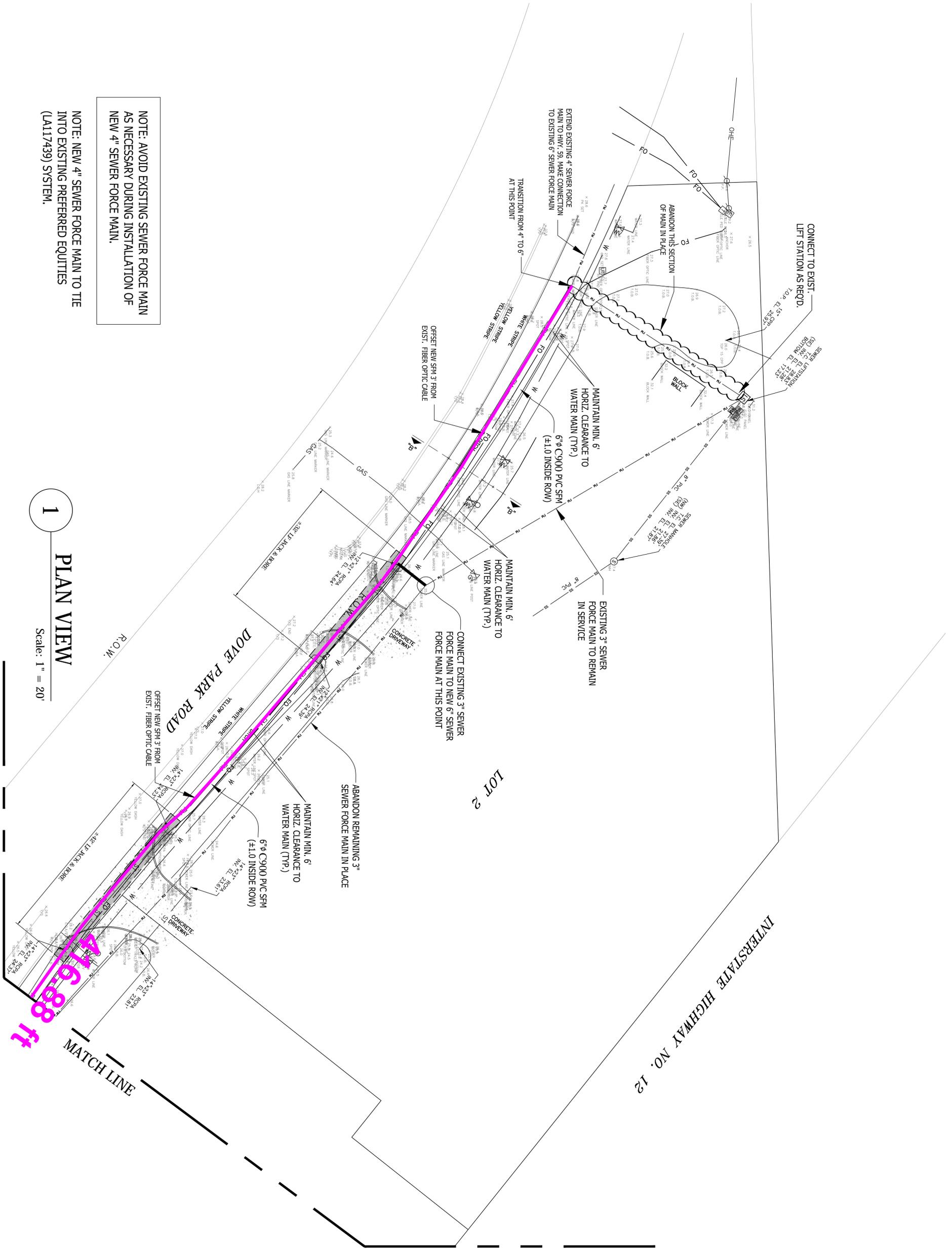
General Notes

No.	Revision/Issue	Date



This drawing and design are the property of Deep South Design Group. They are submitted on the condition that they are not to be used, reproduced or copied in whole or part or used for any other project without the written consent of Deep South Design Group. All common law rights of copyright and otherwise are hereby specifically reserved.

Project NO. 14-197	Sheet C-1
Date 10.05.2019	
Scale AS SHOWN	



NOTE: AVOID EXISTING SEWER FORCE MAIN AS NECESSARY DURING INSTALLATION OF NEW 4" SEWER FORCE MAIN.

NOTE: NEW 4" SEWER FORCE MAIN TO TIE INTO EXISTING PREFERRED EQUITIES (LA117439) SYSTEM.

1 PLAN VIEW
 Scale: 1" = 20'

Client:
CORIE HERBERGER

Project:
**DOVE PARK ROAD
 SEWER FORCE MAIN**

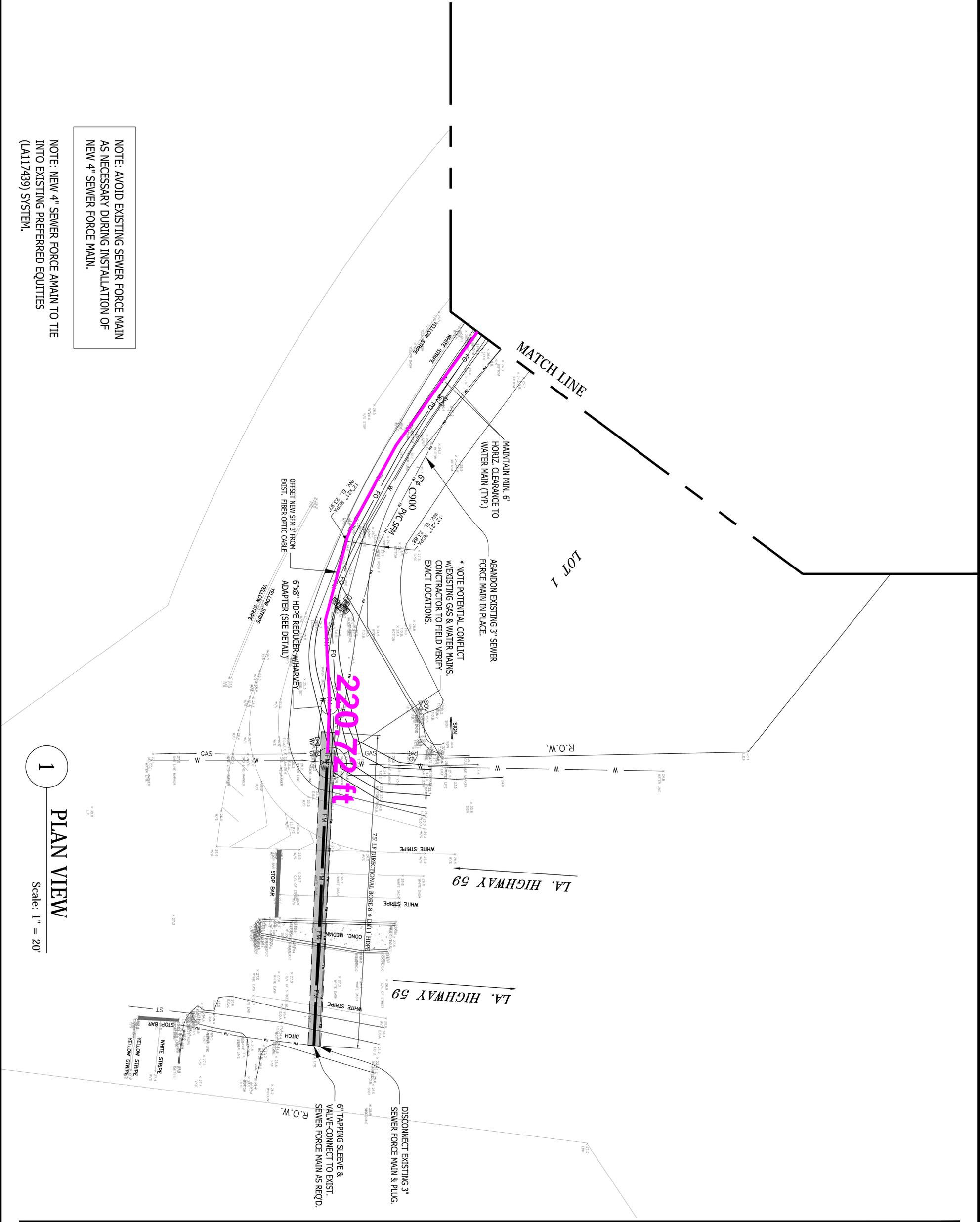
General Notes

No.	Revision/Issue	Date



This drawing and design are the property of DEEP SOUTH DESIGN GROUP. They are submitted on the condition that they are not to be used, reproduced or copied in whole or part or used for any other project without the written consent of DEEP SOUTH DESIGN GROUP. All common law rights of copyright and otherwise are hereby specifically reserved.

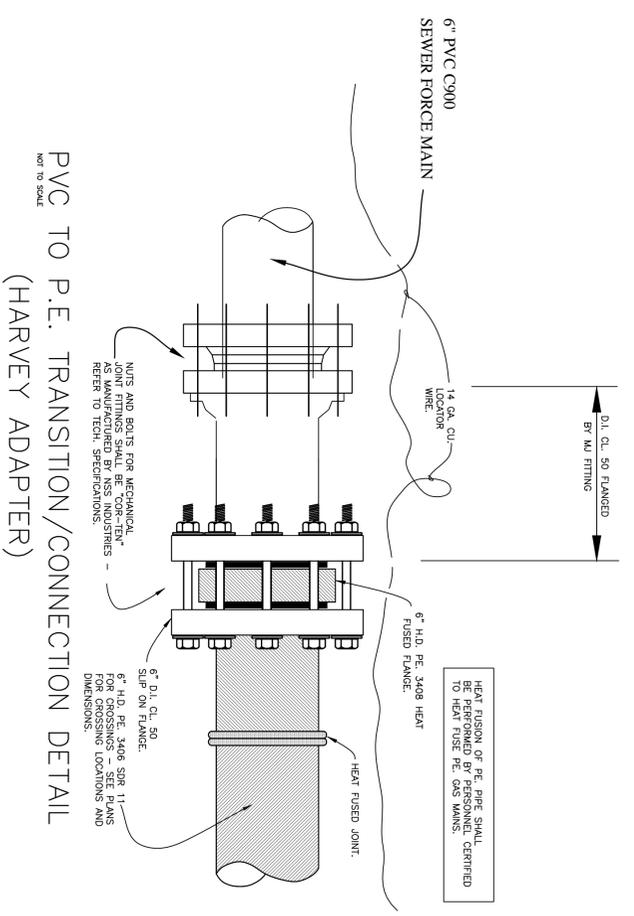
Project NO. 14-197	Sheet C-2
Date 10.05.2019	
Scale AS SHOWN	



NOTE: AVOID EXISTING SEWER FORCE MAIN AS NECESSARY DURING INSTALLATION OF NEW 4" SEWER FORCE MAIN.

NOTE: NEW 4" SEWER FORCE MAIN TO THE INTO EXISTING PREFERRED EQUITIES (LA117439) SYSTEM.

1 PLAN VIEW
 Scale: 1" = 20'



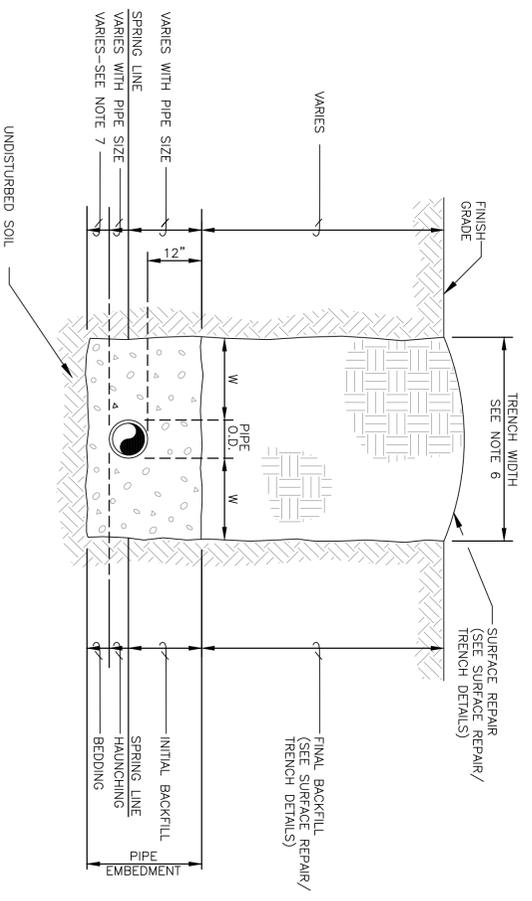
NOTES:

1. BEDDING & HAUNCHING MATERIAL SHALL BE CLASS I OR CLASS II MATERIALS PER ASTM D2922 AS SHOWN ON "DESCRIPTION OF EMBEDMENT MATERIALS". BEDDING & HAUNCHING SHALL BE PLACED IN 4" LIFTS TO A MINIMUM OF 24" BELOW THE BOTTOM OF THE PIPE AND PROCTOR WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
2. INITIAL BACKFILL MATERIAL SHALL BE CLASS I OR CLASS II MATERIALS PER ASTM D2922 AS SHOWN ON "DESCRIPTION OF EMBEDMENT MATERIALS". INITIAL BACKFILL SHALL BE PLACED IN 4" LOOSE LIFTS AND COMPACTED TO 98% STANDARD PROCTOR TO WITHIN 2% OF OPTIMUM MOISTURE CONTENT.
3. FINAL BACKFILL MATERIAL SHALL BE MATERIAL REMOVED FROM ORIGINAL EXCAVATION FREE FROM LARGE ROCKS, LIMBS OF TREES, LIMBS OF BRUSH, LIMBS OF LIMBS, SHALL BE INSTALLED AS SHOWN ON "SURFACE REPAIR TRENCH DETAILS".
4. FOUNDATION MATERIAL, IF DIRECTED BY ENGINEERS SHALL BE INSTALLED IF UNSTABLE SUBGRADE CONDITIONS ARE PRESENT WHICH WOULD PROVIDE INADEQUATE PIPE SUPPORT. STANDARD SPECIFICATIONS FOR ROADS AND BRIDGES - 1992 EDITION SECTION - 1003.08 GRAVEL, TO PREVENT MIGRATION OF MATERIALS, THE VOID RATIO OF THE BEDDING MATERIAL SHALL BE LESS THAN THE VOID RATIO OF THE FOUNDATION MATERIAL.
5. THE COST OF BEDDING, HAUNCHING AND INITIAL BACKFILL IF FIELD CONDITIONS SHOW THAT VARIOUS MATERIALS CONFORMS TO CLASS II SOIL SPECIFICATIONS, THEN THIS MATERIAL SHALL BE ACCEPTED FOR ALL REQUIRED BEDDING, HAUNCHING & BACKFILLING.
6. MAXIMUM TRENCH WIDTHS SHALL CONFORM TO THE FOLLOWING:

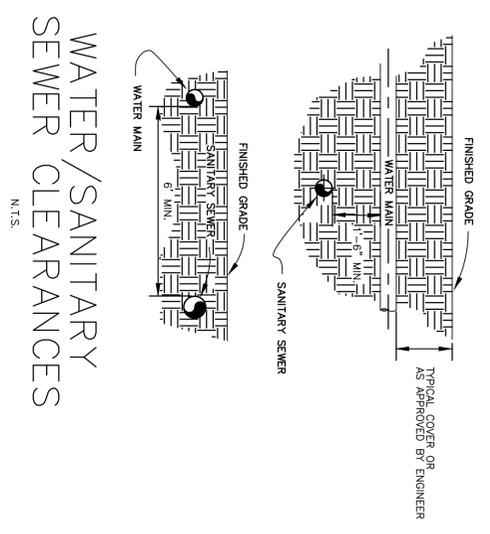
PIPE SIZES	"W"
LESS THAN 24"	10" MAX
24" TO 42"	12" MAX
GREATER THAN 42"	24" MAX
7. THE DEPTH OF BEDDING MATERIAL MEASURED FROM THE INVERT OF THE PIPE SHALL BE 4" MINIMUM FOR PIPE UP TO 24" DIAMETER & 6" MINIMUM FOR PIPE LARGER THAN 24" DIAMETER.
8. ANY SHEETING DRIVEN BELOW THE INVERT OF PIPE SHALL BE CUT OFF AT 24" BELOW FINISHED GRADE.
9. ALL PIPE SHALL BE INSTALLED WITH BELL END FACING UPSTREAM.
10. PIPE SYSTEM SHALL BE PRESSURE TESTED TO A MIN. OF 125 PSI FOR (2) HOURS w/ALLOWABLE LEAKAGE IN ACCORDANCE w/AMWA STANDARDS, C800 SECT. 5.2.

DESCRIPTION OF EMBEDMENT MATERIALS

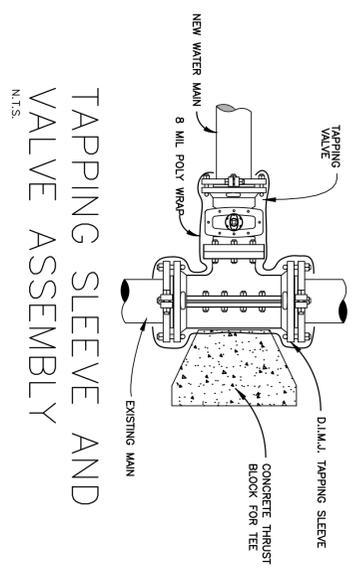
SOIL CLASS	SOIL TYPE	DESCRIPTION OF MATERIAL CLASSIFICATION
CLASS I SOILS	---	MANUFACTURED ANGULAR GRANULAR MATERIAL - 1/4" TO 1-1/2" SIZES PER ASTM D2922 AS SHOWN ON "DESCRIPTION OF EMBEDMENT MATERIALS". CORAL, CRUSHED SLATE, CONCRETE, OR CRUSHED SHELLS.
CLASS II SOILS	GW	WELL-GRADED GRAVELS AND GRAVEL - SAND MIXTURES, LITTLE OR NO FINES, 50% OR MORE RETAINED ON NO. 4 SIEVE, MORE THAN 95% RETAINED ON NO. 200 SIEVE, CLEAN.
	GP	POORLY GRADED GRAVELS AND GRAVEL - SAND MIXTURES, LITTLE OR NO FINES, 50% OR MORE RETAINED ON NO. 4 SIEVE, MORE THAN 95% RETAINED ON NO. 200 SIEVE, CLEAN.
	SW	WELL-GRADED SANDS AND GRAVELLY SANDS, LITTLE OR NO FINES, MORE THAN 50% PASSES NO. 4 SIEVE, MORE THAN 95% RETAINED ON NO. 200 SIEVE, CLEAN.
	SP	POORLY GRADED SANDS AND GRAVELLY SANDS, LITTLE OR NO FINES, MORE THAN 50% PASSES NO. 4 SIEVE, MORE THAN 95% RETAINED ON NO. 200 SIEVE, CLEAN.



TYPICAL EMBEDMENT (PVC PIPE)
NOT TO SCALE

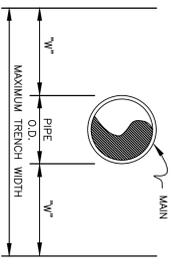


WATER/SANITARY SEWER CLEARANCES
N.T.S.

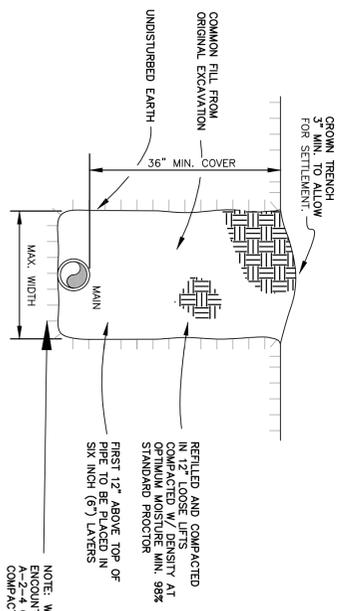


TAPPING SLEEVE AND VALVE ASSEMBLY
N.T.S.

PIPE SIZES	"W"
LESS THAN 24"	10" MAX
24" TO 42"	12" MAX
GREATER THAN 42"	24" MAX



MAXIMUM TRENCH WIDTH SCHEDULE
N.T.S.



UNIMPROVED SURFACE/TRENCH DETAIL
N.T.S.

1 PLAN VIEW
Scale: 1" = 20'

Deep South Design Group
Civil/Environmental Engineering Firm
P.O. Box 1122 | Madisonville, LA 70447
Ph: 985-705-4696

Client:
CORIE HERBERGER

Project:
DOVE PARK ROAD
SEWER FORCE MAIN

General Notes

No.	Revision/Issue	Date

STATE OF LOUISIANA
ALEX E. WILLIAMS
REG. NO. 35169
PROFESSIONAL ENGINEER

This drawing and design are the property of DEEP SOUTH DESIGN GROUP. They are submitted on the condition that they are not to be used, reproduced or copied in whole or part or used for any other project without the written consent of DEEP SOUTH DESIGN GROUP. All common law rights of copyright and otherwise are hereby specifically reserved.

Project NO. 14-197	Sheet C-3
Date 10.05.2019	
Scale AS SHOWN	

THIS PAGE INTENTIONALLY LEFT BLANK

MINOR SUBDIVISIONS

THIS PAGE INTENTIONALLY LEFT BLANK

POB IS REPORTED TO BE S89°45'E-238.9';
 THENCE S05°25'E-1113.9'; THENCE
 N89°50'W-12.82' FROM THE 1/4 SECTION CORNER
 COMMON TO SECTIONS 28 & 33 T7S, R13E.



APPROVALS:

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

COPYRIGHT © 2019
 ALL RIGHTS RESERVED
 JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:
 A Survey Map by John G. Cummings & Associates
 dated 5/7/2018, having Job No. 18112.

BASIS FOR BEARINGS/ANGLES:
 The Reference Survey.
NOTE: This is to certify that I have done an
 actual ground survey and found that no
 encroachments exist either way across any
 property lines except as shown.

BUILDING SETBACKS
 FRONT: N/A
 SIDE: N/A
 SIDE STREET: N/A
 REAR: N/A

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL,
 AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS
 OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF
 REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS OF SURVEY.

FLOODZONE NOTE: This is to certify that I have consulted the Federal
 Insurance Administration Flood Hazard Boundary Maps and found the
 property described is located in Flood Zone(s) "C" with a
 Base Flood Elevation of N/A in accordance with Community
 Panel No. 225205 0275 C; Revised: OCTOBER 17, 1989

Survey No. 2019 461 Drawn by: JCW
 Date: SEPTEMBER 27, 2019 Revised:

Scale: 1" = 40'

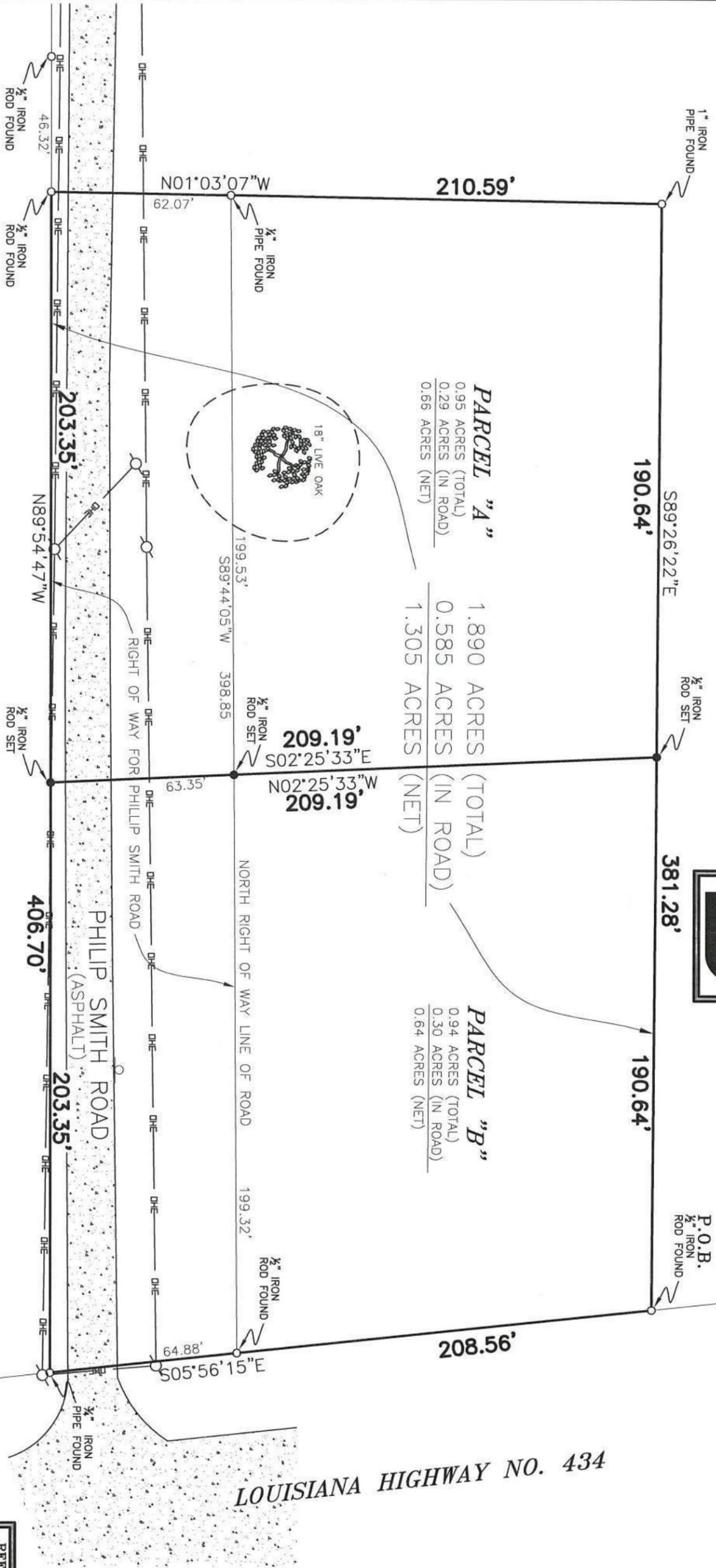
JOHN E. BONNEAU & ASSOCIATES, INC.
 Professional Land Surveyors • Planners and Consultants

1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
 (985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
 www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

This Survey is Certified
 True and Correct By

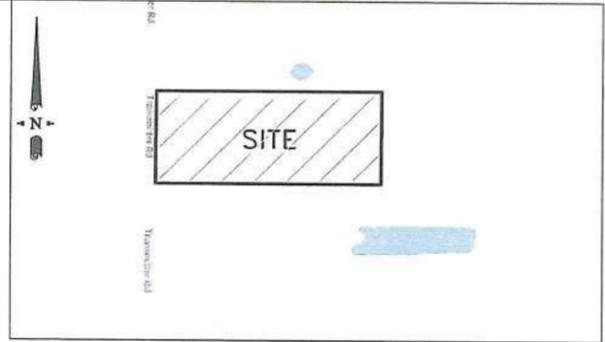
 JOHN E. BONNEAU
 LICENSE NO. 4423
 PROFESSIONAL ENGINEER
 JOHN E. BONNEAU
 Professional Land Surveyor
 Registration No. 4423

A RESUBDIVISION MAP OF
A 1.890 ACRE PARCEL OF LAND
 into
PARCEL "A" BEING 0.95 ACRES &
PARCEL "B" BEING 0.94 ACRES
 Section 33, Township 7th South, Range 13 East,
 St. Tammany Parish, Louisiana
 for
PAUL WRIGHT



34
33
T-8-S
R-13-E

RAIL FOUND 3
4
T-9-S
R-13-E



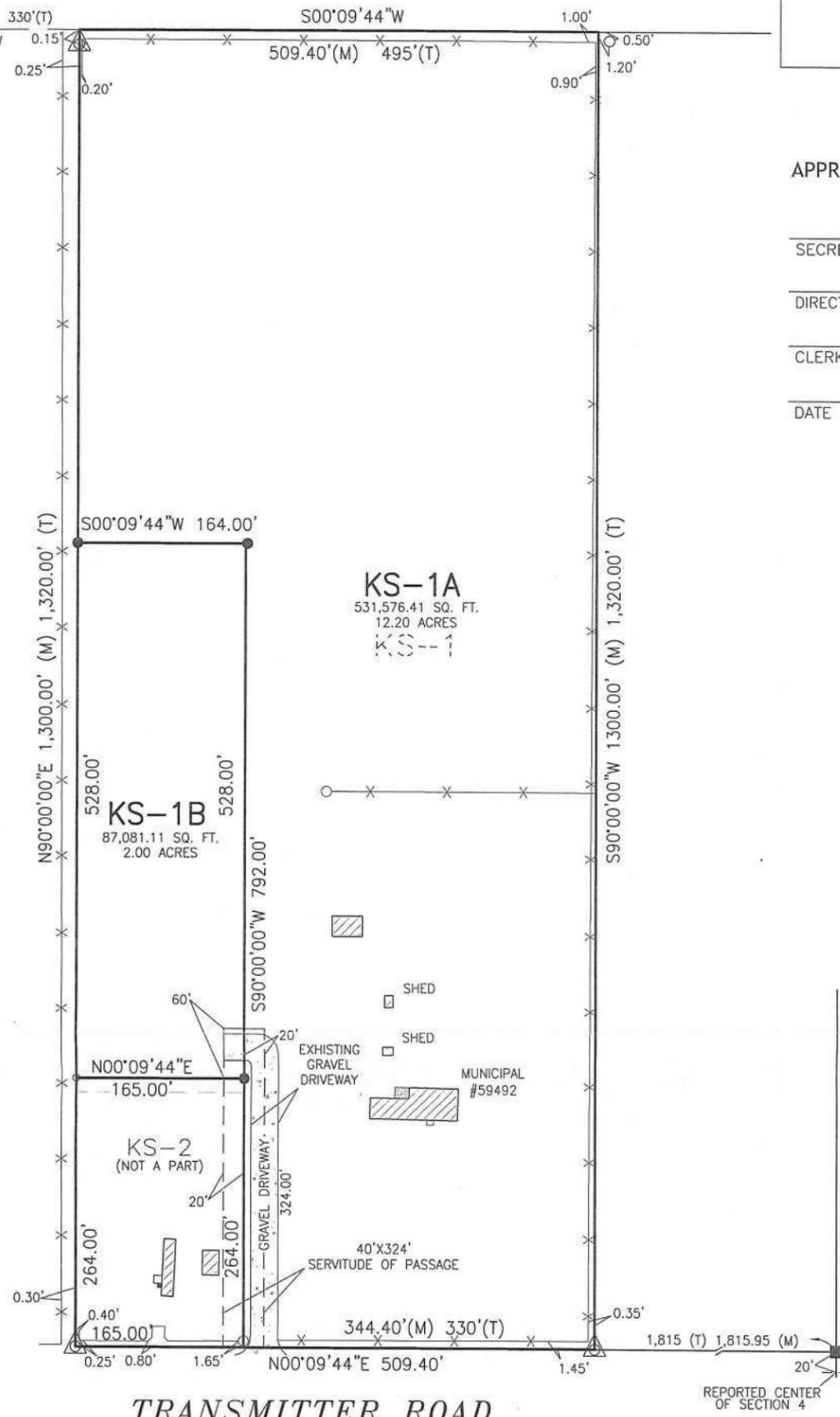
VICINITY MAP
(NOT TO SCALE)

APPROVED:

SECRETARY PARISH PLANNING COMMISSION
DIRECTOR OF THE DEPARTMENT OF ENGINEERING
CLERK OF COURT
DATE _____ FILE NO. _____

TOWNSHIP 8 SOUTH
TOWNSHIP 9 SOUTH

EAST MAIN STREET (SIDE)



SURVEY REFERENCE

- RESUBDIVISION OF TWO PORTIONS OF GROUND SITUATED IN THE WEST HALF OF THE NORTHEAST QUARTER OF SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST INTO LOTS KS-1 AND KS-2, SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST BY JOSEPH M. MARQUES, P.L.S. DATED APRIL 21, 2010.
- SURVEY OF 9.86 ACRE TRACT IN SECTION 4, T9S-R13E, ST. TAMMANY PARISH BY ROBERT A. BERLIN, DATED APRIL 1, 1965.
- PLAT OF SURVEY OF 5 ACRE LAND IN WEST 1/2 OF NORTHEAST 1/4 OF SECTION 4, T-9-2, R-13-E BY JOHN H. SOLLBERGER, C.E. DATED AUGUST 7, 1958.

TRANSMITTER ROAD

BASIS OF BEARING

TAKEN FROM REFERENCED SURVEY PLAT NO. 2.

10.02.2019: REVISED TO SHOW SERVITUDE OF PASSAGE.

LEGEND

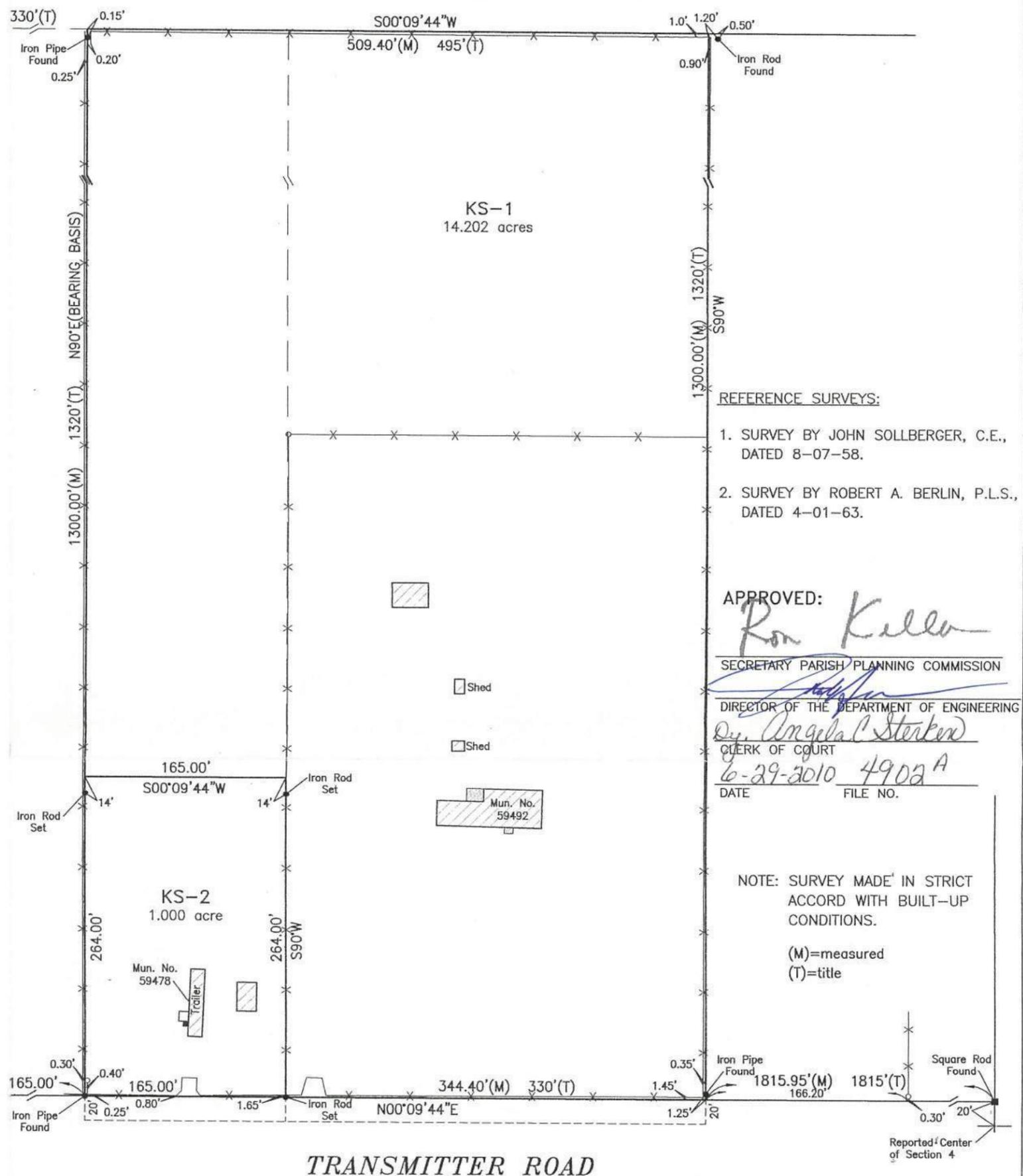
- (T) = TITLE
- (M) = MEASURED
- = SQUARE ROD FOUND (UNLESS NOTED)
- △ = IRON PIPE FOUND
- = 1/2" IRON ROD SET
- = 1/2" IRON ROD FOUND
- x = FENCE

GENERAL SURVEY NOTES

IMPROVEMENTS MAY NOT BE TO SCALE FOR CLARITY. THE DIMENSIONS SHOWN PREVAIL OVER SCALE.

RESUBDIVISION OF LOT KS-1 INTO KS-1A & KS-1B SECTION 4 TOWNSHIP-9-SOUTH, RANGE-13-EAST ST. TAMMANY PARISH, LOUISIANA		<p>DADING, MARQUES & ASSOCIATES, LLC PROFESSIONAL LAND SURVEYING</p> <p>P.O. BOX 790 METAIRIE, LA. 70004 (504) 834-0200</p>	<p>CODY A. DIMARCO License No. 5069 PROFESSIONAL LAND SURVEYOR</p> <p><i>Cody A. DiMarco</i> CODY A. DiMARCO P.L.S. LA. ST. REG NO. 5069</p>	
I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION. MADE AT THE REQUEST OF: KENNETH SCHIFFERS				
THE SERVITUDES AND RESTRICTIONS SHOWN ON THIS SURVEY ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE NO TITLE SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THE DATA FOR THIS SURVEY.		THIS PLAT IS CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE DIRECTION OF THE UNDERSIGNED AND COMPLIES WITH THE REQUIREMENTS OF LOUISIANA'S "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" FOR A CLASS "C" SURVEY		
DATE:	SCALE:	DRAWN BY:	CHECKED BY:	JOB NO.:
06-05-2019	1" = 150'	J.R.	C.A.D.	58191

34
33
T 8 S
R 13 E



- REFERENCE SURVEYS:
1. SURVEY BY JOHN SOLLBERGER, C.E., DATED 8-07-58.
 2. SURVEY BY ROBERT A. BERLIN, P.L.S., DATED 4-01-63.

APPROVED:
Ron Kello
SECRETARY PARISH PLANNING COMMISSION

Angela C. Sterben
DIRECTOR OF THE DEPARTMENT OF ENGINEERING
CLERK OF COURT
6-29-2010 4902A
DATE FILE NO.

NOTE: SURVEY MADE IN STRICT ACCORD WITH BUILT-UP CONDITIONS.
(M)=measured
(T)=title

TRANSMITTER ROAD

BEARING BASE: ASSUMED

NOTE: Improvements may not be to scale for clarity. The dimensions shown prevail over scale.

SITUATION OF THE WEST HALF OF THE NORTHEAST QUARTER SECTION 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST into LOTS KS-1 and KS-2 N 4, TOWNSHIP 9 SOUTH, RANGE 13 EAST ST. TAMMANY PARISH, LOUISIANA	DADING, MARQUES & ASSOCIATES, LLC				
	I CERTIFY THAT THIS SURVEY AND PLAT WAS PREPARED BY THOSE UNDER MY DIRECT SUPERVISION. AT THE REQUEST OF: KENNETH SCHIFFERS				
THE SEVERAL EASEMENTS AND RESTRICTIONS SHOWN ON THIS SURVEY ARE THOSE SET FORTH IN THE DESCRIPTION FURNISHED US AND NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN HEREON THE SURVEYOR HAS MADE A SEARCH OR PUBLIC RECORD SEARCH IN COMPILING THIS SURVEY.	THIS SURVEY MEETS THE MINIMUM REQUIREMENTS FOR A CLASS "C" SURVEY ACCORDING TO THE "LOUISIANA MINIMUM STANDARDS FOR PROPERTY BOUNDARY SURVEYS."				
DATE: 4-2-10	SCALE: 1" = 100'	DRAWN BY: R.J.R.	CHECKED BY: J.M.M.	JOB NO.: 1032088	PLAT No.: M-2342A

THIS PAGE INTENTIONALLY LEFT BLANK

RESUBDIVISION REVIEW

THIS PAGE INTENTIONALLY LEFT BLANK

RESUBDIVISION STAFF ANALYSIS REPORT
(As of November 4th, 2019)

CASE FILE NO: 2019-1679-MRP

NAME OF SUBDIVISION: Beverly Heights Manor

LOTS BEING DIVIDED: Resubdivision Lots 12-25 into lots 13A, 15A, 19A, 21A, 23A & 25A Square 11, Beverly Heights Manor Subdivision

SECTION: 13

WARD: 8

TOWNSHIP: 9 South

PARISH COUNCIL DISTRICT: 13

RANGE: 14 East

PROPERTY LOCATION: The property is located on the on the north side of US Highway 190 East, on the west side of Northshore Lane & on the east side of Panther Drive, Slidell, Louisiana.

ZONING: A-4A Single Family Residential District

PROPERTY OWNER: Varnco Properties LLC –Kenneth & Bettina Varnado

STAFF COMMENTARY:

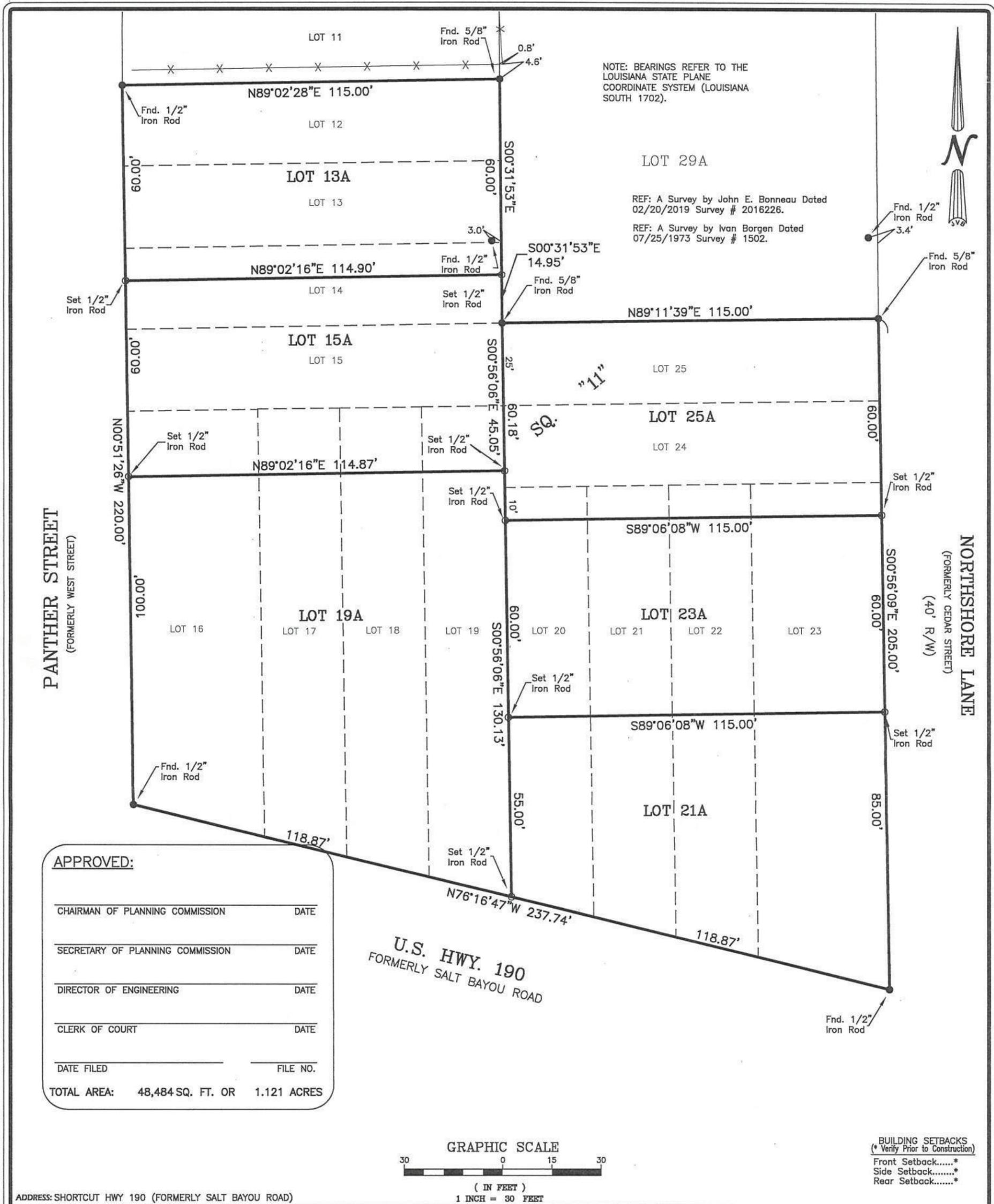
The owner is requesting to resubdivide fourteen (14) lots into six (6) buildable residential sites.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of more than five (5) lots.

Recommendation:

Staff has no objections to the resubdivision request, as shown on the attached survey, subject to the following:

1. Survey is amended as follow: “Panther Street” should be “Panther Drive (formerly West Street)” & “U.S. Hwy 190” should be “U.S Hwy 190 E”.



NOTE: BEARINGS REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).

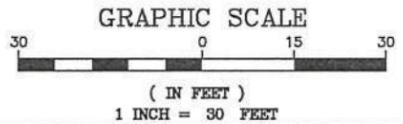
REF: A Survey by John E. Bonneau Dated 02/20/2019 Survey # 2016226.
 REF: A Survey by Ivan Borgen Dated 07/25/1973 Survey # 1502.

APPROVED:

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.

TOTAL AREA: 48,484 SQ. FT. OR 1.121 ACRES

U.S. HWY. 190
 FORMERLY SALT BAYOU ROAD



BUILDING SETBACKS
 (* Verify Prior to Construction)
 Front Setback.....*
 Side Setback.....*
 Rear Setback.....*

ADDRESS: SHORTCUT HWY 190 (FORMERLY SALT BAYOU ROAD)

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205 0440 D
 F.I.R.M. Date 04/21/1999
 ZN: C B.F.E. N/A
 * Verify prior to construction with Local Governing Body.

DRAWING NO. 20190516
 DATE: 08/19/2019

J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL
 1805 Shortcut Highway
 Slidell, Louisiana 70458
 E-mail: jvbassoc@jvburkes.com
 Phone: 985-649-0075 Fax: 985-649-0154

DRAWN BY: VLL
 CHECKED BY: JDL
 SCALE: 1" = 30'

REVISED:

A RESUBDIVISION MAP OF LOTS 12-25 INTO LOT 13A, LOT 15A, LOT 19A, LOT 21A, LOT 23A & LOT 25A, SQ. 11, BEVERLY HEIGHTS MANOR SUBDIVISION IN SECTION 13, T-9-S, R-14-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

CERTIFIED TO: TINA & AUSTIN VARNADO



RESUBDIVISION STAFF ANALYSIS REPORT
(As of November 4th, 2019)

CASE FILE NO: 2019-1683-MRP

NAME OF SUBDIVISION: Tchefuncta Club Estates

LOTS BEING DIVIDED: Resubdivision lots 588A-1 into lots 587A-1 & 588A-2, Tchefuncta Club Estates, Phase II

SECTION: 49

WARD: 1

TOWNSHIP: 7 South

PARISH COUNCIL DISTRICT: 1

RANGE: 11 East

PROPERTY LOCATION: The property is located on the southwest side of Hummingbird Road, north of Riverdale Drive, Covington, Louisiana.

ZONING: PUD Planned Unit Development Overlay

PROPERTY OWNER: Bluebird Development & Design, LLC – Jamison Bagnell

STAFF COMMENTARY:

The owner is requesting to resubdivide one (1) lot into two (2) buildable residential sites.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of lots within a subdivision that requires approval of the Planning Commission.

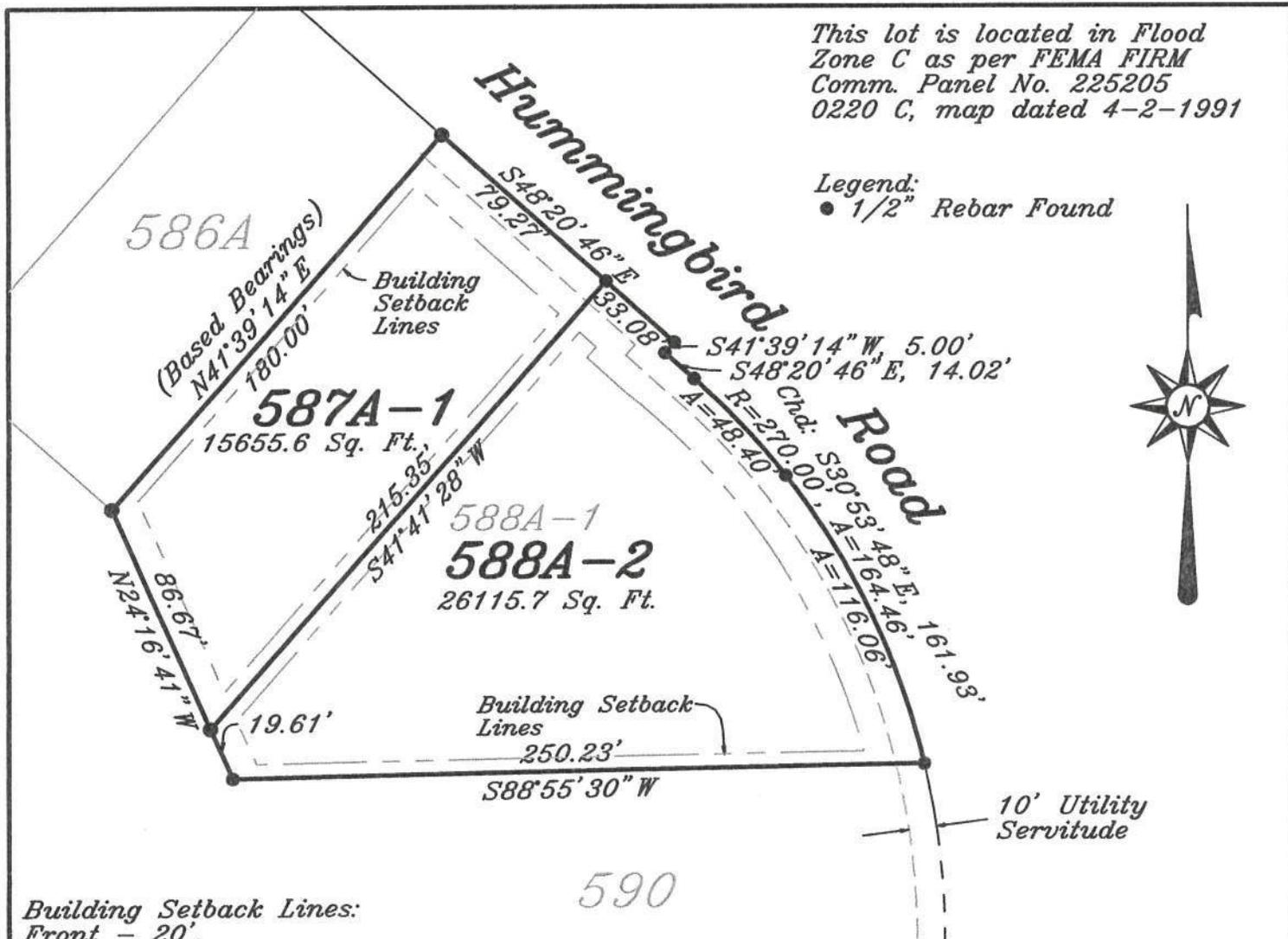
Recommendation:

Staff has no objections to the resubdivision request, as shown on the attached survey, subject to the following:

1. The survey must be amended to include a signature line for the Chairman of the Planning Commission.
2. Renumber the lots as follow: Lot 588A-2 should be lot 588A-1-A since the parent property is lot 588A-1 & Lot 587A-1 should be lot 588A-1-B.

This lot is located in Flood Zone C as per FEMA FIRM Comm. Panel No. 225205 0220 C, map dated 4-2-1991

Legend:
● 1/2" Rebar Found



Building Setback Lines:

- Front - 20'
- Side - 5'
- Rear - 10'

Building setback lines should be determined by owner or contractor prior to any construction

SERVITUDES SHOWN HEREON (IF ANY) ARE NOT NECESSARILY EXCLUSIVE. SERVITUDES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST AS THE UNDERSIGNED HAS PERFORMED NO ABSTRACT OR TITLE SEARCH. THE UNDERSIGNED HAS MADE NO ATTEMPT TO LOCATE ANY BURIED UTILITIES OR ASSOCIATED PEDESTALS.

THIS MAP IS IN ACCORDANCE WITH THE MINIMUM STANDARD DETAILED REQUIREMENTS PURSUANT TO THE ACCURACY STANDARDS OF A C SURVEY AND THE APPLICABLE STANDARDS OF PRACTICE CITED IN LAC 46: LXI.

THIS MAP IS IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED.

Reference Survey:
(Basis of Bearing)

1. Survey prepared by Land Surveying, Inc. of Tchefuncta Club Estates Phase II, Map File No. 4702, Clerk of Court, St. Tammany Parish, Louisiana
2. Resubdivision Survey prepared by Land Surveying, LLC dated 8-31-2012 Map File No. 5100 D, Clerk of Court, St. Tammany Parish, Louisiana
3. Resubdivision Survey prepared by Land Surveying, LLC dated 6-14-2013 Map File No. 5187C, Clerk of Court, St. Tammany Parish, Louisiana

RESUBDIVISION MAP OF LOT 588A-1 INTO LOTS 587A-1 & 588A-2 TCHEFUNCTA CLUB ESTATES PHASE II, ST. TAMMANY PARISH, LOUISIANA FOR BLUEBIRD DEVELOPMENT

FINAL APPROVAL

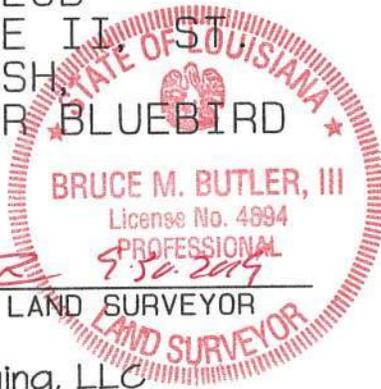
DIR. DEPT. OF ENGINEERING

SECRETARY PLANNING COMM.

CLERK OF COURT

DATE

FILE NO.



Bruce M. Butler, III
LA. PROFESSIONAL LAND SURVEYOR
LICENSE NO. 4894

LS Land Surveying, LLC
518 N. Columbia Street
Covington, LA 70433
(985) 892-6271 office (985) 898-0355 fax

SCALE: 1" = 60' DATE: Sept. 24, 2019 NUMBER: 19530



APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED MAP FILE NO.

COPYRIGHT © 2019
ALL RIGHTS RESERVED
JOHN E. BONNEAU & ASSOCIATES, INC.

REFERENCE SURVEY:
A survey by Land Surveying Inc. dated 7-14-82 with number 2715.

BASIS FOR BEARINGS/ANGLES:
The Reference Survey.
NOTE: This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

NOTE: INTERIOR LOT ANGLES = 90°.

BUILDING SETBACKS
FRONT: N/A
SIDE: N/A
SIDE STREET: N/A
REAR: N/A

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA. BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

Scale: 1" = 60'

Survey No. 2019 441
Date: 10/03/2019
Drawn by: JCW
Revised:

FLOODZONE NOTE: This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C. Revised: APRIL 2, 1991

JOHN E. BONNEAU & ASSOCIATES, INC.
Professional Land Surveyors

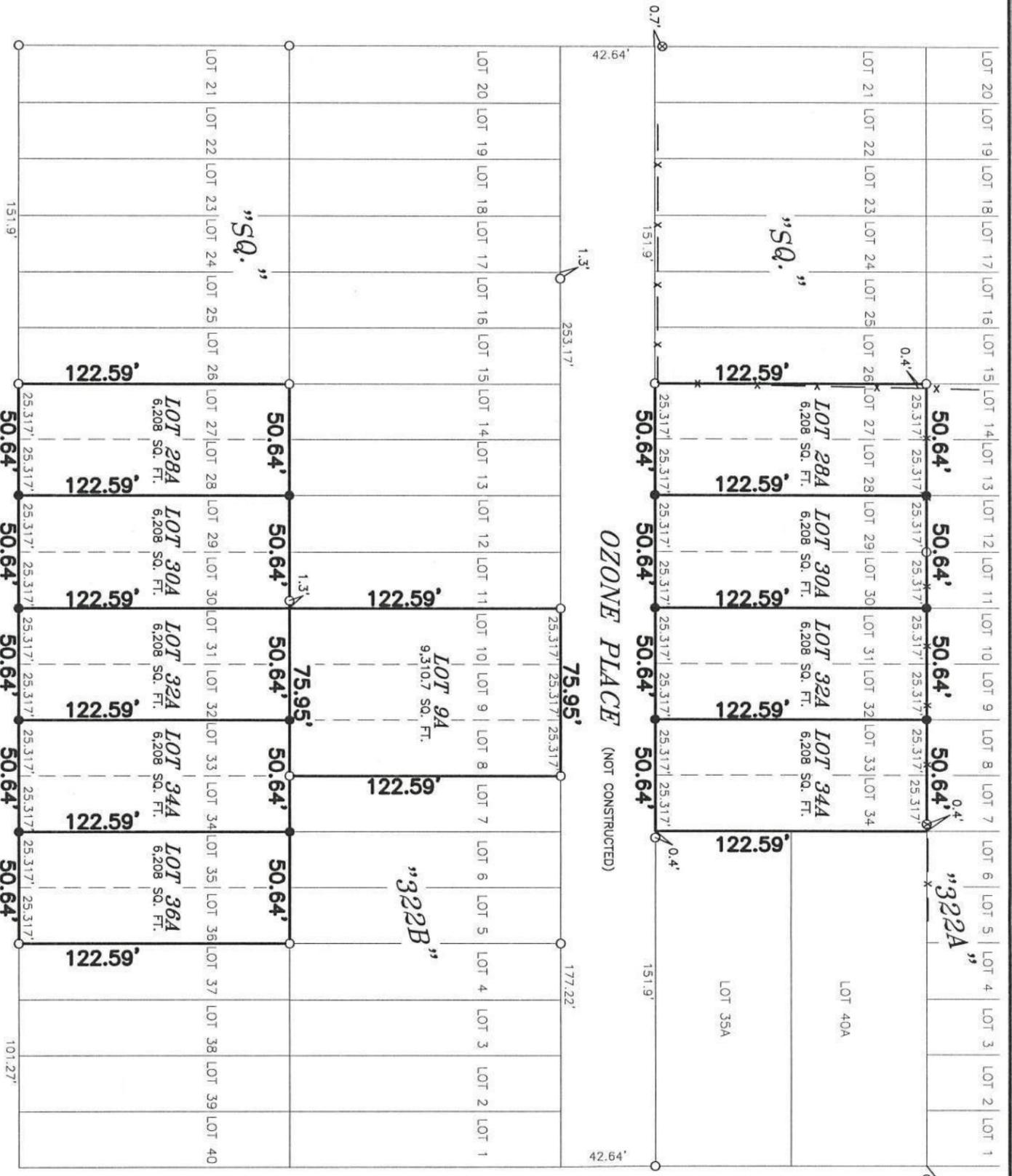
1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471
(985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778
www.jebcolandsurveying.com • e-mail: info@jebcosurvey.com

RAPATEL STREET

JOANS STREET

NELSON PLACE

OZONE PLACE (NOT CONSTRUCTED)



A RESUBDIVISION MAP OF
LOTS 27-34, SQ. 322A, TOWN OF MANDEVILLE

into
LOTS 28A, 30A, 32A & 34A, SQ. 322A, TOWN OF MANDEVILLE
and
LOTS 8-10 & 27-36, SQ. 322B, TOWN OF MANDEVILLE

into
LOTS 9A, 28A, 30A, 32A, 34A, & 36A, SQ. 322B, TOWN OF MANDEVILLE

situated in
Section 44, T-8-S, R-12-E, St. Tammany Parish, Louisiana
for
SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN
AND MICHAEL DEMORAN

- ⊗ = 1/2" CAPPED IRON ROD FOUND
- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

NOTE: Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.

NOTE: Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

Professional seal and signature of John E. Bonneau, License No. 4423, Registration No. 14423.

**PRELIMINARY SUBDIVISION
REVIEW**

THIS PAGE INTENTIONALLY LEFT BLANK

PRELIMINARY SUBDIVISION STAFF ANALYSIS REPORT
(As of November 5, 2019)

CASE NO.: 2018-1105-PP

SUBDIVISION NAME: Providence Parks, Phase 1

DEVELOPER: Providence Parks, LLC
1100 Camellia Boulevard; Suite 200
Lafayette, LA 70508

ENGINEER/SURVEYOR: SLD Engineering and Surveying Barry J. Bleichner, P.E., P.L.S, LLC
323 Florida Street, Suite 200 Civil Engineer and Land Surveyor
Baton Rouge, LA 70801 321 Richland Avenue
Lafayette, LA 70508

SECTION: 21

WARD: 1

TOWNSHIP: 6 South

PARISH COUNCIL DISTRICT: 3

RANGE: 10 East

TYPE OF DEVELOPMENT: URBAN (Residential lots less than 1 acre)
 SUBURBAN (Residential lots between 1-5 acres)
 RURAL (Residential Farm Tract lots 5 acres plus)
 OTHER (Multi family, commercial or industrial)(**PUD**)

GENERAL LOCATION: The property is located on the east side LA Highway 1077, north of U.S. Highway 190, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 54.15

NUMBER OF LOTS: 180 AVERAGE LOT SIZE: 6,402 Square Feet

SEWER AND WATER SYSTEMS: Central

PROPOSED OR EXISTING ZONING: PUD

FLOOD ZONE DESIGNATION: "A4"

PUD APPROVAL GRANTED: June 6, 2017

STAFF COMMENTARY:

Department of Planning and Development

This project was submitted for Preliminary Approval at the October 8, 2019 meeting; however, the developer has requested postponement to the November 12, 2019 meeting.

The Preliminary plans and hydrologic study have been reviewed by this office and an inspection was made of the site on September 23, 2019.

Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

General Comments:

1. Provide written consent from Gulf South Gas for the proposed work within the existing gas line Right-of-Way.
2. Provide LADOTD approval and permit(s) for the proposed driveway connection(s) and turn lane work within Highway 1077 Right-of-Way.

Preliminary Plat:

3. Revise Preliminary Plat to show 911 addresses on each lot of the plat in lieu of the provided address table.
4. Revise the metes and bounds description to agree with the footprint of phase 1 shown on the preliminary plat.

Water & Sewer Plan:

5. Provide written approval from the utility provider for the provided water and sewer plans.
6. Provide written verification from the utility provider that the existing sewer system this development is connecting to has sufficient capacity.

Informational Items:

A Letter of No Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

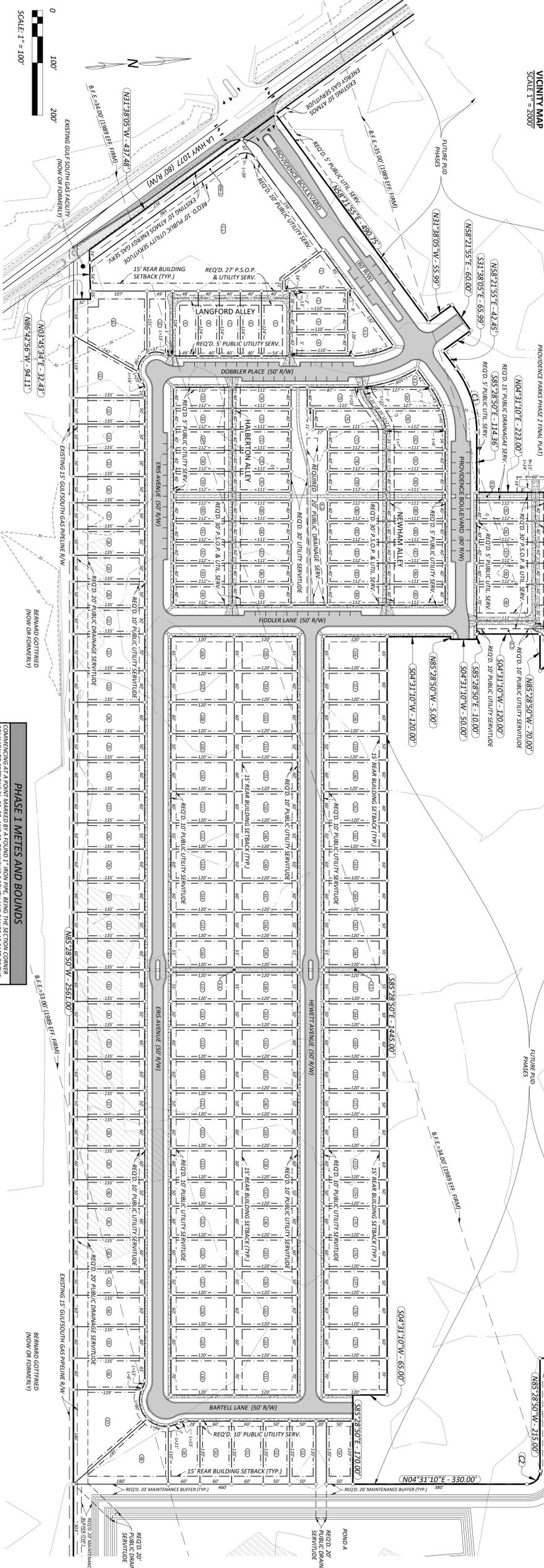
No funded Maintenance Obligation is required since this project will not connect to a Parish maintained roadway.

Mandatory Developmental fees will be required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

LEGEND:

- PHASE 1 BOUNDARY
PROPOSED RIGHT-OF-WAY
BUILDING SETBACK
UTILITY SERVITUDE
EXISTING FENCE
EXISTING PIPELINE
EXISTING CONTOURS
FOUND IRON PIN
SET 1/2" IRON PIPE
SET 1/2" HOLE IN CONC.
LOT NUMBER



PROVIDENCE PARKS PUD PHASE 1
PRELIMINARY PLAT
SECTION 21, T-6-S, R-10-E
GREENSBURG LAND DISTRICT
ST. TAMMANY PARISH, LOUISIANA

NOTE:
SEE SHEET 1 FOR POND TRACT X-8 INTERIOR DIVISIONS.
SEE SHEET 3 FOR TYPICAL SECTIONS AND LOT MUNICIPAL ADDRESSES.

PHASE 1 METES AND BOUNDS

SECTION 21, T-6-S, R-10-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA. BEING THE SOUTHWEST CORNER OF SECTION 21, T-6-S, R-10-E, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA...

Table with 4 columns: LOT #, AREA (sq ft), AREA (acres), AREA (acres). Rows 1-32.

Table with 4 columns: LOT #, AREA (sq ft), AREA (acres), AREA (acres). Rows 33-64.

Table with 4 columns: LOT #, AREA (sq ft), AREA (acres), AREA (acres). Rows 65-96.

RESTRICTIVE COVENANTS

- 1. NO OFF-STREET PARKING OR STORAGE OF VEHICLES...
2. NO SIGNAGE OR ADVERTISING...
3. FUTURE PUD PHASES...
4. CONSTRUCTION OF ANY NATURE INCLUDING FENCES...
5. MAINTENANCE OF COMMON AREAS...
6. UTILITIES...
7. EROSION CONTROL...
8. LANDSCAPING...
9. LIGHTING...
10. TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT...
11. THE ARCHITECTURAL DESIGN CODE...
12. FURTHER RESTRICTIONS...
13. THE PUBLIC STREETS AND HIGHWAYS...
14. THE PUBLIC STREETS AND HIGHWAYS...
15. THE PUBLIC STREETS AND HIGHWAYS...

GREENSPACE POND TRACT NOTE

THE PUBLIC STREETS AND HIGHWAYS... THE PUBLIC STREETS AND HIGHWAYS... THE PUBLIC STREETS AND HIGHWAYS...

SEWAGE NOTE

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL OR ACCEPT CONNECTION TO AN APPROVED SANITARY SYSTEM... THE METHOD OF SEWAGE TREATMENT OR DISPOSAL HAS BEEN APPROVED BY THE STATE BOARD OF HEALTH FOR THIS SUBDIVISION.

SURFACE DRAINAGE NOTE

NO SURFACE DRAINAGE WILL FLOW TO THE PROPOSED POND ON SITE AND OUTFALL TO THE SOUTH INTO A POND WHICH FLOWS EAST INTO THE TANGIPAH RIVER... SEE DRAINAGE IMPACT ANALYSIS DATED 7/26/2019 BY SHD ENGINEERING AND SURVEYING, LLC FOR DAMAGE TO THE RIVER.

FLOODZONE NOTE

ACCORDING TO THE EFFECTIVE WAP-1000 INSURANCE RATE MAP PANEL NO. 230-001-01-01 DATED OCTOBER 17, 1989 THE PROPERTY IS WITHIN FLOOD ZONE X-8 CHARACTERIZED AS AREAS OF FLOOD RISK DUE TO PROXIMITY TO A BODY OF WATER... THE PROPERTY IS LOCATED IN FLOOD ZONE X-8 & E.

BASIS OF BEARING

THE BASIS OF BEARING AS SHOWN HEREON IS REFERENCED TO THE ORIGINAL STATE PLANE COORDINATE SYSTEM (NAD 83) DATA (NAD 83) COORDINATES BY THE SURVEYOR.

REFERENCE MAPS

RISIDUATION MAP OF A 177.53 ACRES PARCEL OF LAND LOCATED IN SECTION 21, T-6-S, R-10-E, W/10 PARKETS 1 & 2, ST. TAMMANY PARISH, LOUISIANA FOR 285 LLC BY JOHN E. BONNELL, PLS DATED 02/26/2019 BY MIDDLEBY SURVEYING AND CONSULTING ENGINEERS AS SHOWN THE NO. 48002.

LOCATED IN

SECTION 21, T-6-S, R-10-E, G.L.D.
ST. TAMMANY PARISH, LOUISIANA
DATE OF PLAT: OCTOBER 25, 2019

PREPARED BY:

BARRY J. BLEICHNER, PLS, S.I.C.
CITIZEN SURVEYOR & LAND DEVELOPER
321 RICHFIELD, LA 70058
PHONE: (504) 849-7699

FOR:

PROVIDENCE PARKS, LLC
C/O ROBERT DUBOIS
1100 CANFIELD BLVD, SUITE 200
LA 70008
PHONE: (504) 216-0259 FAX: (504) 216-0550

MAP SHOWING THE PRELIMINARY PLAT OF PROVIDENCE PARKS - PHASE 1 "A" PLANNED UNIT DEVELOPMENT

STATE OF LOUISIANA
COUNTY OF ST. TAMMANY PARISH
BARRY J. BLEICHNER
REGISTERED SURVEYOR
NO. 4422

DEP. OF REVENUE, PLS

I, DEP. OF REVENUE, PLS, CERTIFY THAT THIS REPRESENTS AN ACTUAL REINSURANCE MADE UNDER MY DIRECT SUPERVISION AND IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS ADOPTED BY LA 678 IN 2016.

DATE OF PLAT: OCTOBER 25, 2019

LOCATED IN

SECTION 21, T-6-S, R-10-E, G.L.D.
ST. TAMMANY PARISH, LOUISIANA
DATE OF PLAT: OCTOBER 25, 2019

PREPARED BY:

BARRY J. BLEICHNER, PLS, S.I.C.
CITIZEN SURVEYOR & LAND DEVELOPER
321 RICHFIELD, LA 70058
PHONE: (504) 849-7699

FOR:

PROVIDENCE PARKS, LLC
C/O ROBERT DUBOIS
1100 CANFIELD BLVD, SUITE 200
LA 70008
PHONE: (504) 216-0259 FAX: (504) 216-0550

THIS PAGE INTENTIONALLY LEFT BLANK

made of the site on August 27, 2019.

Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

General Comments:

1. The T.I.A. review for the development is currently under review by LADOTD and St. Tammany Parish. Approval of this T.I.A. is required from LADOTD and St. Tammany Parish.
2. Provide updated LADOTD permit or written verification that an updated LADOTD permit is not required.

Paving & Drainage Plan:

3. Revise M.P. Planche roadway improvement design to include milling and overlay of the northern half of existing road in conjunction with the required roadway widening.
4. Revise plans and details to extend all four (4) existing cross-culverts under M.P. Planche Road and construct a headwall.

Water & Sewer Plan:

5. Provide written approval from H2O Systems for the proposed water and sewer plans.
6. Provide written verification from H2O Systems that the existing water and sewer systems this development is connecting to have sufficient capacity.

Informational Items:

A Letter of Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

A funded **Maintenance Obligation** in the amount of **\$10,000** is required in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," funded letters of credit for existing Parish roads to ensure the repair of any damage to the Parish roads resulting from construction in connection with the subdivision.

No Mandatory Developmental fee is required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

THIS PAGE INTENTIONALLY LEFT BLANK

Staff has no objection to the preliminary subdivision submittal subject to the following items being addressed:

Water & Sewer Plan:

1. Provide written approval from the utility provider for these plans.
2. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.

Informational Items:

A Letter of No Objection from St. Tammany Parish and L.D.H. approval regarding the water and sewer infrastructure is required for this development.

This phase of Spring Lakes Subdivision received PUD approval in 2016, as such is subject to all current St. Tammany Parish ordinances.

No funded Maintenance Obligation is required since it is an extension of roads in a private subdivision and the developer is prohibited from using Tantela Ranch Road.

Mandatory Developmental fees will be required at Final Submittal for 33 **lots** in accordance with St. Tammany Code of Ordinances, Part II “Land Development Code,” Chapter 125 “Subdivision Regulations,” since no public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

THIS PAGE INTENTIONALLY LEFT BLANK

FINAL SUBDIVISION REVIEW

THIS PAGE INTENTIONALLY LEFT BLANK

General Information:

1. Roadways need to be cleaned so a meaningful inspection can be made.
2. Road shoulders need a mature stand of grass to avoid further erosion and siltation of roadside ditches.
3. Reseal all roadway joints to top of pavement with joint sealant, where needed.
4. The perimeter of pond SDSA #8 needs to be cleared and graded to provide the required 10ft flat area along the top of the bank.
5. A waiver of the minimum access servitude width is being requested for pond SDSA #8, staff has no objection to this request. In order to approve the waiver request a 2/3rds majority vote of the full membership of the commission (8members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 – Subdivision Regulations.

Final Plat:

6. Revise the dedication statement to state who will be responsible to own and maintain all street name and traffic control signage and posts.
7. Revise restrictive covenant #3 to include the required 10' side setbacks for lots #179 and #18, to eliminate the conflict with the revised drainage servitude.
8. Update the fill and grading statement to accurately reflect the drainage design and revise the Final Plat and Drainage Plan to reflect the information required by the updated fill and grading statement for this phase of Grande Maison, including required elevations at all lot corners.

Paving & Drainage Plan:

9. Rear drainage swale from lot #167- #179 cannot completely be eliminated as requested due to lots #164-#166 of previously approved Phase 3-B requiring the rear swale to drain to pond. Construct drainage swale in field and show on As-Built plans.
10. Provide As-Built elevations for pond SDSA #8 showing mean water level, top of bank, and bottom of pond elevations verifying required storage capacity and the minimum depth required for a wet pond is provided.
11. Revise cross-section for pond SDSA #8 to show the required 15' drainage and access servitude with 10' flat area.

Water & Sewer Plan:

12. The sewer manhole in front of lot #183 is cracked and needs to be repaired.

Signage Plan:

13. "All-Way" plaques are required at the intersections of Chateau Fleuri and Chateau Papillon. Revise the As-

Built Signage Plan and legend to reflect this information.

Informational Items:

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,788 linear feet x \$25.00 per linear foot = \$44,700 for a period of five (5) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

Informational Items:

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 1,140 linear feet x \$25.00 per linear foot = \$28,500.00 for a period of two (2) years.

The staff has no objection to the proposed final subdivision request.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 11 lots = \$11,847.00

Drainage Impact Fee = \$1,114.00 per lot x 11 lots = \$12,254.00

Fees are due before subdivision plats can be signed.

This subdivision **is** within the “Urban Growth Boundary Line”.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

THIS PAGE INTENTIONALLY LEFT BLANK

FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As November 5, 2019)

CASE NO.: 2019-1685-FP

SUBDIVISION NAME: Spring Lakes, Phase 2

DEVELOPER: Lonesome Development, LLC
381 LA - 21
Madisonville, LA 70447

ENGINEER/SURVEYOR:	Richard C. Lambert, LLC 900 West Causeway Approach Mandeville, LA 70471	Randall W. Brown and Associates, Inc. 228 W. Causeway Approach Mandeville, LA 70448
--------------------	---	---

SECTION: 17

WARD: 1

TOWNSHIP: 6 SOUTH

PARISH COUNCIL DISTRICT: 3

RANGE: 10 EAST

TYPE OF DEVELOPMENT: URBAN (Residential lots less than 1 acre)
 SUBURBAN (Residential lots between 1-5 acres)
 RURAL (Residential Farm Tract lots 5 acres plus)
 OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located on the east side of LA Highway 1077, west of
Tantela Ranch Road, north of U.S. Highway 190, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 44.54

NUMBER OF LOTS: 56 AVERAGE LOT SIZE: 15,000 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "C"

STAFF COMMENTARY:

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final inspection was made on October 21, 2019. The inspection disclosed that all of the asphalt roads are constructed, the road shoulders need to be reconstructed and the roadside ditches need final grading.

Postponement of this submittal is advised due to the following uncompleted items that existed at the time of the final inspection and review of the provided plans. These items will need to be completed before the plats are signed:

General Information:

1. Repair roadside ditch shoulders and slopes that have washed out in several locations of this phase.
2. Regrade ditch and shoulder to provide required cover on the cross-culvert and catch basin at the corner of Elk Ridge and Lot #242.
3. Clean out silt from the cross-culvert under Elk Ridge.
4. A utility pipe is exposed at the corner of Elk Ridge and Lot #251. Modify the roadside ditch to provide required cover for this pipe and positive drainage for this ditch.
5. Install 10'x10' rip-rap pads at all pipes discharging into "Pond B".
6. Slopes near the subsurface pipe openings are washing out and need to be reestablished with erosion control measures implemented.
7. Remove the beds of silt that accumulated in the pond near the pipe outfalls discharging into "Pond B".

Final Plat:

8. Provide required fill and grading information on the plat according to the signed and completed fill and grading statement for this phase.
9. Revise restrictive covenant #13 to indicate the drainage system and detention will be privately maintained.

Paving & Drainage Plan:

10. Provide as-built elevation information for the bottom of "Pond B".
11. Provide design documentation for the subsurface drainage installed along Deer Fork Crossing.

Water & Sewer Plan:

12. Provide as-built information for sewer manhole #26.
13. Provide a clear water test for the new water lines within this phase of Spring Lakes.
14. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer system from the utility provider.
15. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.
16. Provide sewer velocity calculations for all sewer lines that do not meet the minimum proposed design slopes.

Informational Items:

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 4,358 linear feet x \$12.00 per linear foot = \$52,300.00 for a period of one (1) year.

No Mandatory Developmental fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

General Information:

1. Roadways and sidewalks need to be cleaned so a meaningful inspection can be made.
2. Blue reflectors need to be replaced where needed.
3. Roadside shoulders and medians need to be vegetated and a mature stand of grass established.
4. Provide asphalt roadway testing results.
5. Clearly delineate the phase limit for this phase on all as-built plan sheets.

Final Plat:

6. Revise the addresses for lots #672, #673, #846, #847 & #882 to reflect the addresses provided by 911 addressing.
7. The 65'x70' utility servitude on the north side of Lakeshore Village West needs to be included in this phase. Revise the plat and description to include this area.

Paving & Drainage Plan:

8. Revise the As-Built plans to include As-Built information for the new roundabout on East Howze Beach Road.

Water & Sewer Plan:

9. Include the PWS ID # and DEQ ID # for the water and sewer systems this development is connected to.
10. Provide a clear water test for the new water lines along Hook Island Lane.
11. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from the utility provider.
12. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.

Informational Items:

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 11,191 linear feet x \$22.00 per linear foot = \$246,200.00 for a period of two (2) years.

The staff has no objection of the proposed final subdivision request subject to the developer complying

with all comments and no plats to be signed until all items are satisfactorily completed.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

Phase 4-A-2 of Lakeshore Villages needs to be recorded before this phase of Lakeshore Villages can be recorded.

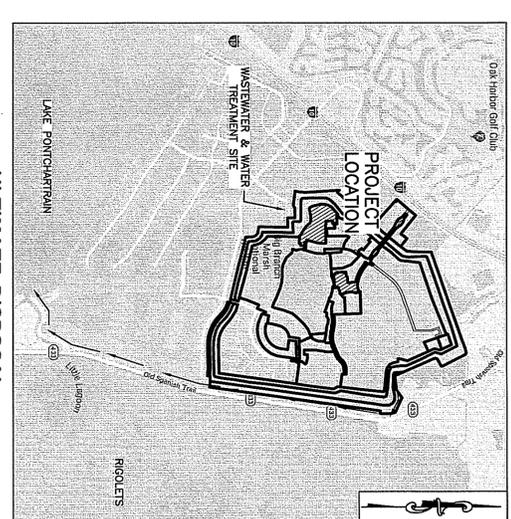
This subdivision **is** within the “Urban Growth Boundary Line”.

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

PLAT SHOWING FINAL SUBDIVISION

LAKESHORE VILLAGES (PHASE 4-A-3)

LOCATED IN SECTIONS 26, 27, 34 & 35
TOWNSHIP 9 SOUTH - RANGE 14 EAST
SUIDELL, ST. TAMMANY PARISH, LOUISIANA



ULTIMATE DISPOSAL
NOT TO SCALE

CURVE	BEHA	ROADS	LENGTH	CHORD BEARING & DISTANCE
C1	285.59'	1.353.00'	89.54'	S 69.34°05' E - 677.38'
C2	285.59'	1.353.00'	89.54'	S 69.34°05' E - 677.38'
C3	134.5143'	60.00'	21.84'	S 141.45°33' E - 186.22'
C4	342.227'	380.00'	228.00'	S 69.28°55' E - 224.89'
C5	282.237'	718.81'	331.19'	S 21.98°02' E - 386.27'
C6	18.2023'	1.353.00'	386.44'	S 88.55°42' E - 386.13'
C7	33.3818'	746.00'	430.69'	S 84.20°51' E - 431.14'
C8	289.934'	448.00'	208.69'	S 43.06°15' E - 207.72'
C9	52.2920'	565.00'	509.39'	S 65.50°49' E - 480.80'
C10	52.2920'	565.00'	509.39'	S 65.50°49' E - 480.80'
C11	289.934'	535.00'	293.10'	S 54.08°14' W - 249.77'
C12	33.3820'	635.00'	486.24'	S 84.20°51' E - 483.23'
C13	18.2023'	1.285.00'	386.77'	S 86.95°42' W - 389.55'
C14	27.5118'	808.81'	393.20'	S 81.07°32' W - 389.34'
C15	24.2432'	871.31'	379.43'	S 13.02°34' W - 379.50'
C16	31.9914'	948.00'	523.58'	S 11.22°35' E - 520.79'
C17	22.4126'	1.035.00'	408.89'	S 16.04°54' W - 407.21'
C18	02.7320'	1.684.16'	516.94'	N 40.23°00' E - 516.89'
C19	90.0000'	25.00'	38.27'	S 83.62°00' E - 35.86'
C20	66.2200'	25.00'	38.27'	S 83.62°00' E - 35.86'
C21	23.3800'	25.00'	10.31'	S 82.97°00' E - 10.24'
C22	90.0000'	25.00'	38.27'	S 83.62°00' E - 35.86'
C23	18.7084°34'	55.00'	16.64°34'	N 54.23°49' E - 42.88'
C24	48.9300°00'	55.00'	16.64°34'	N 54.23°49' E - 42.88'
C25	44.1500°00'	55.00'	42.48'	N 09.25°44' E - 41.43'
C26	44.1500°00'	55.00'	42.48'	N 09.25°44' E - 41.43'
C27	44.1500°00'	55.00'	31.45'	N 73.19°38' W - 31.02'
C28	18.4480°00'	55.00'	18.47'	S 82.03°19' W - 109.03'
C29	38.2715°00'	55.00'	38.81'	N 31.71°15' W - 38.22'
C30	44.8400°00'	55.00'	42.80'	N 32.01°15' W - 41.82'
C31	58.0729°00'	55.00'	55.79'	S 59.18°44' W - 53.43'
C32	23.3244°00'	55.00'	10.31'	S 14.28°39' W - 22.44'
C33	18.6117°00'	55.00'	19.63°00'	S 09.30°03' W - 109.20'
C34	7.9144°00'	55.00'	78.07'	S 52.07°28' W - 70.15'
C35	44.2810°00'	55.00'	42.81'	S 09.42°00' E - 41.88'
C36	42.3142°00'	55.00'	40.82'	S 53.10°55' E - 38.89'
C37	90.0000'	25.00'	38.27'	S 83.62°00' E - 35.86'
C38	90.0000'	25.00'	38.27'	S 83.62°00' E - 35.86'
C39	18.6117°00'	55.00'	16.61°00'	S 34.40°45' W - 35.84'
C40	38.0819°00'	55.00'	16.17°00'	S 80.97°45' W - 109.28'
C41	44.8428°00'	55.00'	42.83'	N 34.40°45' W - 35.84'
C42	45.4133°00'	55.00'	43.88'	S 59.40°39' W - 42.71'
C43	38.1816°00'	55.00'	38.77'	S 18.40°55' W - 38.09'
C44	41.5525°00'	55.00'	38.41°00'	S 21.02°36' W - 37.53'
C45	08.1940°00'	55.00'	57.88'	S 35.56°18' W - 57.85'
C46	08.1940°00'	55.00'	57.88'	S 35.56°18' W - 57.85'
C47	07.4248°00'	55.00'	71.66'	S 55.04°01' W - 57.17'
C48	08.1805°00'	55.00'	57.74'	S 29.37°26' W - 57.71'
C49	08.1805°00'	55.00'	57.74'	S 29.37°26' W - 57.71'
C50	08.1805°00'	55.00'	57.74'	S 29.37°26' W - 57.71'
C51	08.1805°00'	55.00'	57.74'	S 29.37°26' W - 57.71'
C52	08.1805°00'	55.00'	57.74'	S 29.37°26' W - 57.71'
C53	04.0719°00'	425.00'	30.88'	S 88.01°14' W - 30.87'
C54	07.4248°00'	425.00'	57.22'	S 82.06°10' W - 57.17'
C55	08.2938°00'	425.00'	71.66'	S 72.24°56' W - 71.84'
C56	08.2938°00'	425.00'	71.66'	S 72.24°56' W - 71.84'
C57	07.4248°00'	425.00'	71.66'	S 55.04°01' W - 57.17'
C58	01.1217°00'	425.00'	8.94'	S 50.38°28' W - 8.84'
C59	48.9528°00'	75.00'	65.35'	S 29.02°36' W - 63.30'
C60	08.2938°00'	75.00'	10.71'	S 45.54°56' W - 10.70'
C61	30.0304°00'	75.00'	48.88'	S 24.18°00' W - 45.17'
C62	08.2938°00'	75.00'	38.27'	S 45.04°53' E - 35.86'
C63	08.2938°00'	75.00'	38.27'	S 45.04°53' E - 35.86'
C64	04.0719°00'	425.00'	30.88'	S 88.01°14' W - 30.87'
C65	07.4248°00'	425.00'	57.22'	S 82.06°10' W - 57.17'
C66	08.2938°00'	425.00'	71.66'	S 72.24°56' W - 71.84'
C67	08.2938°00'	425.00'	71.66'	S 72.24°56' W - 71.84'
C68	07.4248°00'	425.00'	71.66'	S 55.04°01' W - 57.17'
C69	08.2938°00'	425.00'	71.66'	S 29.02°36' W - 63.30'
C70	7.9144°00'	25.00'	38.41°00'	S 21.02°36' W - 37.53'
C71	24.4832°00'	32.00'	14.82°00'	S 37.36°18' E - 13.92°00'
C72	15.4710°00'	32.00'	88.54'	S 33.05°04' E - 88.66'
C73	08.0224°00'	425.00'	51.28'	S 49.29°00' E - 51.23'
C74	33.5312°00'	425.00'	293.38°00'	S 66.97°38' E - 247.71'
C75	08.1359°00'	425.00'	48.23'	S 53.08°02' E - 48.21'
C76	07.4248°00'	425.00'	57.22'	S 82.06°10' E - 57.17'
C77	07.4248°00'	425.00'	57.22'	S 82.06°10' E - 57.17'
C78	07.4248°00'	425.00'	57.22'	S 82.06°10' E - 57.17'
C79	04.0719°00'	425.00'	33.48°00'	S 81.38°51' E - 33.47'
C80	04.0719°00'	425.00'	33.48°00'	S 81.38°51' E - 33.47'
C81	08.0750°00'	25.00'	3.89'	N 79.20°19' W - 3.88'
C82	7.9144°00'	25.00'	33.00'	N 36.54°47' W - 30.70'
C83	28.2432°00'	1.035.00'	515.16'	S 1.31°32' E - 507.92'
C84	07.2329°00'	1.035.00'	138.38'	S 02.47°39' E - 138.28'
C85	8.9421°00'	25.00'	39.14'	N 51.14°40' E - 35.83'
C86	26.3011°00'	375.00'	173.48'	S 70.39°09' E - 171.82'
C87	07.0148°00'	375.00'	48.01'	S 80.23°00' E - 45.88'
C88	18.2822°00'	375.00'	127.45'	S 80.23°00' E - 128.84'
C89	18.2822°00'	375.00'	127.45'	S 80.23°00' E - 128.84'
C90	17.2030°00'	425.00'	128.87'	N 24.61°57' E - 128.18'
C91	05.2713°00'	425.00'	40.52'	N 30.48°29' E - 40.51'
C92	07.4813°00'	425.00'	57.88'	N 24.10°28' E - 57.84'
C93	04.0414°00'	425.00'	30.27'	N 18.13°57' E - 30.26'
C94	16.0639°00'	1.255.00'	344.48'	N 08.08°13' E - 343.32'
C95	00.3070°00'	1.255.00'	10.74'	N 15.61°28' E - 10.74'
C96	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C97	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C98	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C99	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'

CURVE	BEHA	ROADS	LENGTH	CHORD BEARING & DISTANCE
C100	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C101	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C102	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C103	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C104	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C105	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C106	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C107	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C108	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C109	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C110	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C111	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C112	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C113	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C114	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C115	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C116	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C117	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C118	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C119	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C120	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C121	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C122	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C123	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C124	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C125	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C126	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C127	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C128	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C129	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C130	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C131	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C132	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C133	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C134	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C135	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C136	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C137	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C138	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C139	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C140	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C141	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C142	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C143	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C144	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C145	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C146	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C147	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C148	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C149	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C150	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'

CURVE	BEHA	ROADS	LENGTH	CHORD BEARING & DISTANCE
C151	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C152	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C153	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C154	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C155	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C156	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C157	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C158	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C159	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C160	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C161	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C162	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C163	02.9232°00'	1.255.00'	61.48'	N 14.15°08' E - 61.48'
C164	02.923			

FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As November 5, 2019)

CASE NO.: 2019-1687-FP

SUBDIVISION NAME: Oaklawn Trace, Phase 1

DEVELOPER: J/Mac Development, LLC
310 Howze Beach Road
Slidell, LA 71461

ENGINEER/SURVEYOR: Kelly McHugh & Associates
845 Galvez Street
Mandeville, LA 70448

SECTION: 33
TOWNSHIP: 8 SOUTH
RANGE: 13 EAST

WARD: 7
PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT: URBAN (Residential lots less than 1 acre)
 SUBURBAN (Residential lots between 1-5 acres)
 RURAL (Residential Farm Tract lots 5 acres plus)
 OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located on the south side of US Highway 190, east of Transmitter Road, west of South Tranquility Road, Lacombe, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 30.65

NUMBER OF LOTS: 65 AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AE-EL 10"

STAFF COMMENTARY:

Department of Planning and Development

This project was submitted for Final Approval at the November 12, 2019 Planning Commission meeting; however, the developer has requested postponement to the December 10, 2019 Planning Commission meeting.

FINAL SUBDIVISION STAFF ANALYSIS REPORT
(As November 5, 2019)

CASE NO.: 2019-1688-FP

SUBDIVISION NAME: Wingfield

DEVELOPER: Bruno Brothers Real Estate
70325 Highway 1077
Covington, LA 70433

ENGINEER/SURVEYOR: Arrow Engineering & Consulting, Inc.
P.O. Box 881
Madisonville, LA 70447

SECTION: 33
TOWNSHIP: 6 SOUTH
RANGE: 10 EAST

WARD: 1
PARISH COUNCIL DISTRICT: 3

TYPE OF DEVELOPMENT: URBAN (Residential lots less than 1 acre)
 SUBURBAN (Residential lots between 1-5 acres)
 RURAL (Residential Farm Tract lots 5 acres plus)
 OTHER (Multi family, commercial or industrial)(PUD)

GENERAL LOCATION: The property is located on the north side of Joiner Wymer Road, west of LA Highway 1077, Covington, Louisiana.

TOTAL ACRES IN DEVELOPMENT: 163.45

NUMBER OF LOTS: 47 AVERAGE LOT SIZE: 1.87 Acres

SEWER AND WATER SYSTEMS: Community

ZONING: A-1A

FLOOD ZONE DESIGNATION: "A"

STAFF COMMENTARY:

Department of Planning and Development

Periodic inspections have been made by this office during construction and the final inspection was made on October 24, 2019. The inspection disclosed that all of the asphalt roads are constructed, the road shoulders need to be reconstructed and the roadside ditches need final grading.

Postponement of this submittal is advised due to the following uncompleted items that existed at the time of the final inspection and review of the provided plans. These items will need to be completed before the

plats are signed:

General Information:

1. A signed and completed fill and grading statement needs to be submitted for this development.
2. Provide an as-built signage plan for this development.
3. A recreational facilities plan needs to be submitted and approved for this development. Once approved the required facilities need to be constructed before the Final Plats can be recorded.
4. Provide roadway base testing results.
5. Provide asphalt roadway testing results.
6. Provide utility trench bedding testing results.
7. Provide utility trench backfill testing results.
8. Shoulders along Crossvine Drive need to be regraded.
9. Ditches along Crossvine Drive need to be regraded.
10. Blue reflectors needs to be installed at all fire hydrants.
11. Fire hydrant near lot #45 needs to be straightened and raised to the proper grade.
12. Detention Pond #2 top of bank and slopes needs to be vegetated and a mature stand of grass established.
13. Establish and regrade roadside ditches and shoulders along Joiner-Wymer Road.
14. Top of pond needs to be regraded to provide the required flat maintenance area.
15. Pond #2's outfall pipe needs to be backfilled to provide required pipe cover.
16. Grade and vegetate the back slope for Pond #2.
17. Install erosion control measures where vegetation is not established to avoid further erosion.
18. Ditches along Silverthorn Street need to be regraded to provide positive flow.
19. The cross-culvert under Plumegrass Drive needs to be cleaned of silt.
20. The 30' drainage servitude between lots #9 and #10 needs to be regraded to provided positive flow.

Final Plat:

21. Provide information on the Final Plat stating who will be responsible to own and maintain the 60' driveway access to lot # 30.
22. The greenspace behind lot #30 does not have an access servitude in order for it to be maintained by the HOA, revise the plans to provide this greenspace with an access servitude for maintenance
23. Provide information on the Final Plat stating who will be responsible to own and maintain the 35' driveway access to lot # 37.
24. Provide verification and need for the ten (10) foot drainage servitude required in restrictive covenant #15.
25. Delineations and call-outs are unclear in relation to the buffer and servitudes along Bedico Creek. Revise this information to more clearly delineate this information.
26. Setbacks from the property line along Bedico Creek need to be more clearly labeled on the Final Plat. Revise.
27. Revise the dedication statement to state who will be responsible to own and maintain all street name and traffic control signage and posts.
28. The 50' buffer located along Bedico Creek is not owned by the HOA. Restrictive covenant #5 needs to be revised or a servitude needs to be established in favor of the HOA.
29. The developer needs to contact the 911 addressing office to have the addressing completed. Once the addressing is completed these addresses need to be added to the Final Plat.

Paving & Drainage Plan:

30. The inverts shown along Buttonbush Drive do not provide positive flow. The roadside ditch needs to be regraded or the As-Built need to be verify to ensure this ditch has positive flow.
31. The invert shown along Silverthorn Street do not provide positive flow. The roadside ditch needs to be regraded or the As-Built need to be verify to ensure this ditch has positive flow.
32. Provide pipe material, size and invert elevations on all drainage structures. (Typical)
33. The Bedico Creek cross-section needs to be revised to show the correct width, and the 50' foot "No Cut Buffers" from the mean top bank.
34. Revise the pond cross-sections to accurately reflect as-built widths, conditions and elevations.
35. Revise the As-Built Drainage plan to accurately reflect the pipe material and size call-outs for pipes A, B, and C.

36. Provide information regarding the “future widening” call-out shown of the Bedico Creek cross-section including, who is performing this work and when is it supposed to be widened.

Water & Sewer Plan:

37. Revise the Lift Station Schedule to reflect the As-Built elevations for t lift stations #1 and #2 as shown in the As-Built Sewer plan call-outs.
38. Provide clear water tests for the new water lines installed in association with Wingfield Subdivision.
39. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from the utility provider.
40. Provide written verification from the utility provider that the existing water and sewer systems this development is connecting to have sufficient capacity.
41. Provide an As-Built plan for the sewer force main extension required from Wingfield Subdivision to Tuscany Subdivision. Include a cross-section or call-outs on this plan showing the as-built location and depth for the sewer force main within the Joiner-Wymer Road right-of-way.
42. Revise the sewer force main call-out to clearly identify the correct sewer line.
43. Revise conflicts with the fire hydrant call-outs and legend. (Typical)
44. Revise the As-Built plan to show the newly constructed water line along the south side of Joiner-Wymer Road.

Water Line Extension Plan:

45. Revise the “As-Built Water Line Extension Plan” sheet number to “C4”.
46. Update the Bunny Lane cross-section to show the As-Built location of the water line including the depth and location of the new water line within the Bunny Lane right-of-way.

Informational Items:

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 8,736 linear feet x \$22.00 per linear foot = \$192,200.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

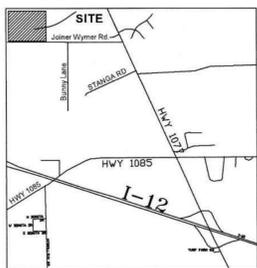
Road Impact Fee = \$1077.00 per lot x 47 lots = \$50,619.00

Drainage Impact Fee = \$1114 per lot x 47 lots = \$52,358.00

Fees are due before subdivision plats can be signed.

This subdivision is within the "Urban Growth Boundary Line".

Revised drawings will not be accepted for review or placement in the packet prior to the November 12, 2019 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



VICINITY MAP
NOT TO SCALE

REFERENCE BEARING:
IRON PIPE A TO CONCRETE CORNER B
S89°58'22"W
(PER REFERENCE SURVEY)

FINAL PLANS
RECEIVED
10/11/2019 - 10:00 A.M.
DEVELOPMENT
ENGINEERING

ENGINEERING
REVIEW COPY

WINGFIELD SUBDIVISION

SECTION 33, TOWNSHIP 6 SOUTH, RANGE 10 EAST

163.45 ACRES	47	8736 FT.
AREA	NO. OF LOTS	LGTH. OF STREETS
1.87 ACRES	Community	A-1A
AVG. LOT SIZE	SEWER SYSTEM	ZONING
ASPHALT	60"	Community
ROAD SURFACING	STREET WIDTH R.O.W.	WATER SYSTEM

RESTRICTIVE COVENANTS:

- RESIDENCES IN THIS SUBDIVISION SHALL BE SINGLE FAMILY DWELLINGS.
- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEM(S). ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF ST. TAMMANY. WHENEVER A SUBDIVISION IS SERVICED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE. EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM.
- THE BUILDING SETBACK LINES ARE FRONT YARD 50'; SIDE YARD 15'; STREET SIDE YARD 20'; REAR YARD 25' FROM THE PROPERTY LINES. THERE WILL BE A 20' SETBACK FROM THE TOP BANK OF LATERAL DITCHES PROHIBITING CONSTRUCTION OF ANY NATURE INCLUDING FENCES OR DRIVEWAY.
- NO NOXIOUS AND/OR OFFENSIVE ACTIVITY SHALL BE ALLOWED UPON ANY LOT, NOR ANY USE THEREON THAT MAY BECOME A NUISANCE TO THE NEIGHBORHOOD. PARTICULARLY THE USE OF LOTS AS DUMPS OR JUNK CAR STORAGE.
- DETENTION POND, 50' NO CUT BUFFER FOR BEDICO CREEK, AND GREENSPACE ARE TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.
- MOBILE HOMES WILL NOT BE PERMITTED TO OCCUPY LOTS IN THE SUBDIVISION EITHER TEMPORARY OR PERMANENTLY.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE ST. TAMMANY PARISH PLANNING COMMISSION.
- CONSTRUCTION OF ANY NATURE IS PROHIBITED IN ANY OF THE DRAINAGE OR STREET EASEMENTS. ADDITIONAL RESTRICTIONS MAY RUN WITH EACH TITLE.
- THE RESTRICTIVE COVENANTS RECITED ABOVE TOGETHER WITH THOSE RECORDED AT INSTRUMENT NO. 1870055477 SHALL BE RECITED IN AND BE A PART OF EACH TITLE OR DEED. THE FOREGOING SHALL BE A COVENANT RUNNING WITH EACH TITLE AND REFERENCE SHALL BE MADE THEREIN TO EACH TITLE.
- THIS SUBDIVISION IS LOCATED IN FLOOD ZONE A PER F.E.M.A. MAP NO. 225205 0205 C, DATED OCTOBER 17, 1989. THE MINIMUM FINISHED FLOOR ELEVATION OR LOWEST HORIZONTAL MEMBER FOR RAISED HOUSES OF ALL RESIDENCES SHALL MEET THE PROPOSED ELEVATION OF THE LATEST ADOPTED FIRM UNTIL A NEW DFRM IS PUBLISHED AND ADOPTED BY ST. TAMMANY PARISH OR ONE (1) FOOT ABOVE THE CROWN OF THE STREET WHICH EVER IS HIGHER.
- FILL WILL ONLY BE ALLOWED FOR THE FOUNDATION ON EACH LOT AS CALCULATED IN THE NO NET FILL CALCULATIONS. THE FILL WILL BE LIMITED TO WHAT CAN BE MITIGATED.
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE CLOSER THAN SIXTY (60) FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT.
- THE FRONT OF EACH LOT SHALL BE SUBJECT TO A 10' DRAINAGE AND UTILITY EASEMENT ALONG ALL STREETS.
- THERE IS A FIFTY (50) FEET NO CUT BUFFER ON EACH SIDE OF BEDICO CREEK FROM THE MEAN TOP BANK.
- THERE IS A TEN (10) FEET DRAINAGE SERVIDUTE RUNNING ALONG THE FIFTY (50) FEET NO CUT BUFFER ALONG BEDICO CREEK.
- CENTRAL SEWER SYSTEM TO BE PROVIDED OFFSITE (TIE INTO EXISTING ST. TAMMANY UTILITIES STU).

DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE NORTHWEST QUARTER OF SECTION 33, TOWNSHIP 6 SOUTH, RANGE 10 EAST, ST. TAMMANY PARISH, LOUISIANA AND MORE FULLY DESCRIBED AS FOLLOWS:

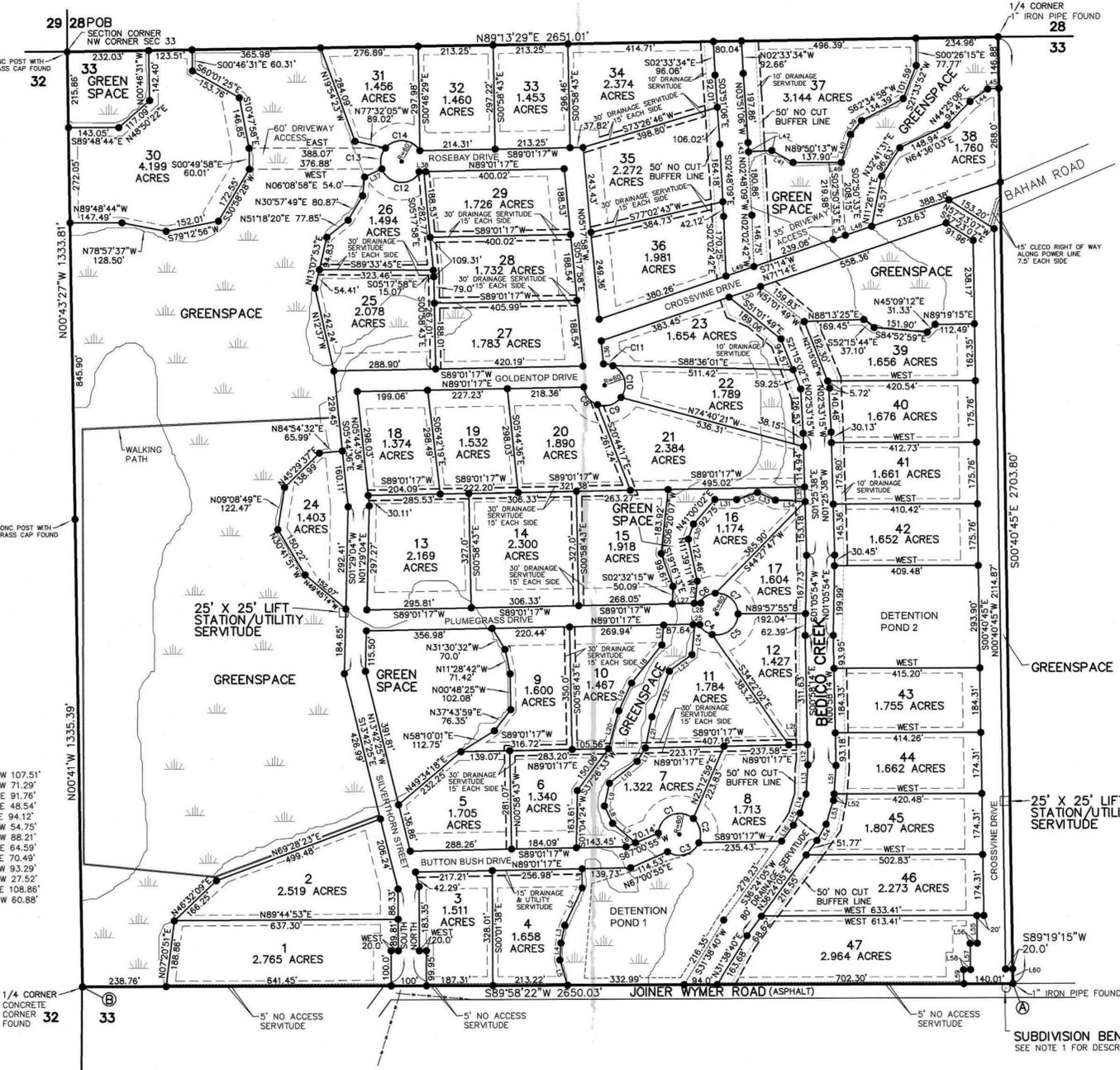
COMMENCING FROM A CONCRETE POST WITH A BRASS CAP FOUND AT THE SECTION CORNER COMMON TO SECTIONS, 28, 29, 32 AND 33, BEING THE NORTHWEST CORNER OF SECTION 33, OF SAID TOWNSHIP AND RANGE AND THE POINT OF BEGINNING,
THENCE N89°13'29"E 2651.01 FEET TO A ONE INCH IRON PIPE FOUND, THENCE S00°40'45"E 2703.80 FEET TO A ONE INCH IRON PIPE FOUND ON THE NORTH SIDE OF JOINER WYMER ROAD, THENCE S89°58'22"W 2650.03 FEET TO A CONCRETE CORNER FOUND, THENCE N00°41'00"W 1335.39 FEET TO A CONCRETE POST WITH BRASS CAP FOUND, THENCE N00°43'27"W 1333.81 FEET TO THE POINT OF BEGINNING, CONTAINING 163.45 ACRES.

CALLS ALONG PROPERTY LINES

- LINE BEARING & DISTANCE
- L1 S00°01'38"E 54.76'
 - L2 S25°36'48"W 118.10'
 - L3 S12°23'59"W 51.61'
 - L4 S03°42'28"W 48.58'
 - L5 S16°43'26"E 75.35'
 - L6 S67°00'55"W 29.23'
 - L7 N49°27'36"W 85.73'
 - L8 N24°42'28"W 54.71'
 - L9 N12°36'54"E 66.64'
 - L10 N51°58'24"E 100.42'
 - L11 N31°14'01"E 44.84'
 - L12 S00°58'14"E 57.77'
 - L13 S04°02'19"W 63.72'
 - L14 S17°20'23"W 56.70'
 - L15 S29°34'58"W 39.83'
 - L16 S36°24'05"W 56.27'
 - L17 S05°22'45"W 56.66'
 - L18 S38°32'37"W 139.10'
 - L19 S24°50'17"W 86.64'
 - L20 S15°23'45"W 112.96'
 - L21 N12°03'33"E 91.35'
 - L22 N20°59'47"E 139.18'
 - L23 N63°32'50"E 79.60'
 - L24 N05°22'45"E 66.28'
 - L25 N89°01'18"E 11.0'
 - L26 S89°01'17"W 53.60'
 - L27 S89°01'17"W 63.95'
 - L28 S89°01'17"W 11.41'
 - L29 N05°55'52"E 64.15'
 - L30 N81°51'32"E 55.85'
 - L31 S89°33'52"E 62.08'
 - L32 N70°57'08"E 63.05'
 - L33 S86°11'40"E 55.33'
 - L34 S86°59'11"E 84.59'
 - L35 N01°25'38"W 42.24'
 - L36 N05°17'58"W 65.96'
 - L37 N65°15'12"E 54.33'
 - L38 N89°01'17"E 9.72'
 - L39 S38°21'56"W 50.35'
 - L40 S17°43'59"W 84.56'
 - L41 N60°28'27"W 69.55'
 - L42 S86°38'36"W 66.26'
 - L43 N02°48'08"W 26.70'
 - L44 N55°00'29"E 62.04'
 - L45 N86°22'02"E 32.12'
 - L46 S89°01'31"E 35.05'
 - L47 S71°14'W 36.40'
 - L48 S71°14'W 79.04'
 - L49 S71°14'W 63.53'
 - L50 N71°14'E 94.91'
 - L51 N04°02'19"E 81.34'
 - L52 N04°02'19"E 15.21'
 - L53 N17°20'23"E 74.60'
 - L54 N29°34'58"E 53.18'
 - L55 S00°40'45"E 78.77'
 - L56 S89°19'15"W 20.0'
 - L57 S00°40'45"E 75.0'
 - L58 S89°19'15"W 20.0'
 - L59 S00°40'45"E 40.0'
 - L60 S00°40'45"E 41.59'

CALLS ALONG CURVES

CURVE	RADIUS	ARC LENGTH	CHORD
C1	60.0'	133.26'	S67°22'02"W 107.51'
C2	60.0'	76.33'	N12°33'46"W 71.29'
C3	60.0'	104.46'	N73°45'25"E 91.76'
C4	60.0'	49.97'	S52°49'43"E 48.54'
C5	60.0'	108.19'	N51°39'21"E 94.12'
C6	60.0'	56.86'	S58°13'09"W 54.75'
C7	60.0'	99.10'	N47°19'02"W 88.21'
C8	60.0'	68.20'	S30°37'45"E 64.59'
C9	60.0'	75.35'	N72°50'03"E 70.49'
C10	60.0'	106.87'	N14°05'05"W 93.29'
C11	60.0'	27.77'	N78°27'18"W 27.52'
C12	60.0'	136.39'	S85°51'25"E 108.86'
C13	60.0'	63.85'	S09°45'03"W 60.68'



NOTES:

- SUBDIVISION BENCHMARK IS A 60-D NAIL SET 1.5' ABOVE GRADE IN THE WEST FACE OF A 24" PINE TREE 20' WEST OF THE SOUTHEAST SUBDIVISION CORNER. ELEVATION = 28.0' M.S.L.
- REFERENCE BENCHMARK IS A LOUISIANA HEIGHT MODERNIZATION SURVEY STATION 52 H 057 ELEVATION = 18.54' M.S.L., NAVD 1988, AND GEOID12A.
- REFERENCE SURVEY: SURVEY FOR TAMMANY NORTH PROPERTIES, LLC BY JOHN G. CUMMINGS, SURVEYOR, DATED FEBRUARY 16, 2015.

DEDICATION:

BE IT RESOLVED BY THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN HEREON THAT THIS IS A TRUE AND ACCURATE PLAT OF:

WINGFIELD SUBDIVISION

THE INDICATION OF THE STREETS AND ROADWAYS ON THIS PLAT IS NOT INTENDED AS A DEDICATION TO THE PARISH OF ST. TAMMANY, THE STATE OF LOUISIANA OR THE PUBLIC IN GENERAL OF STREETS AND ROADWAYS; THE AREA SHOWN AS STREETS AND ROADWAYS SHALL BE DEFINED TO CONSTITUTE ONLY A SERVIDUTE OF PASSAGE FOR OWNERS OF LOTS IN THIS SUBDIVISION, THE FEE TITLE TO SUCH AREA BELONGING TO THE HOMEOWNERS ASSOCIATION OR THE DEVELOPER. THE DRAINAGE SERVIDUTES FOR THE SUBDIVISION SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

OWNER _____ DATED _____

DEVELOPER:
TAMMANY NORTH PROPERTIES, LLC.
70325 HIGHWAY 1077
SUITE
COWINGTON, LA 70433

APPROVAL

CHAIRMAN, ST. TAMMANY PARISH PLANNING COMMISSION _____

SECRETARY, ST. TAMMANY PARISH PLANNING COMMISSION _____

DIRECTOR OF THE DEPARTMENT OF ENGINEERING _____

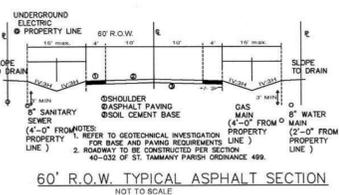
CLERK OF COURT _____

DATE FILED _____ FILE NO. _____

John G. Cummings, & Associates
PROFESSIONAL LAND SURVEYORS

503 N. JEFFERSON AVE. (985) 892-1549
COWINGTON, LOUISIANA 70433 JOHN.CUMMINGS@GMAIL.COM

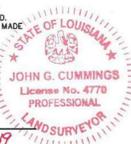
SCALE: DATE: JOB NO. REVISED:
1" = 200' 09-30-2019 15045FINAL



SCALE 1" = 200'

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVIDUTES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVIDUTES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED BY THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPLYING DATA FOR THIS SURVEY.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE FOR THE STATE OF LOUISIANA, AND THE SUBDIVISION ORDINANCE NO. 33-2051 AND BEARS A CLASS C SURVEY.



JOHN G. CUMMINGS, P.L.S. 10-10-19

**AMENDMENTS TO
DEVELOPMENTAL
AGREEMENTS**

THIS PAGE INTENTIONALLY LEFT BLANK



ST. TAMMANY PARISH

PATRICIA P. BRISTER
PARISH PRESIDENT

ADMINISTRATIVE COMMENT

The developer has requested an amendment to the Developmental Agreement between St. Tammany Parish Government and Advance Mortgage Company to remove lots in Square 31 and Square 21 and add lots in Square 14 and Square 15 of South Abita Springs Subdivision a/k/a Tammany Hills Subdivision. The amendment would remove 42 lots and add 42 lots.

This amendment was submitted for approval at the November 12, 2019 Planning Commission meeting. However, as the lot numbers originally provided by the developer were incorrect, the proposal must be postponed to the December 10, 2019 Planning Commission in order to amend the draft agreement and re-advertise in accordance with LA R.S. 33:4780.30.