

**AGENDA**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY, DECEMBER 15, 2020**  
**ST. TAMMANY PARISH GOVERNMENT COMPLEX**  
**PARISH COUNCIL CHAMBERS**  
**21490 KOOP DRIVE, MANDEVILLE, LOUISIANA**

**NOTE: This meeting will be open to the public. Seating may be restricted due to COVID19 capacity guidelines. Attendees will be required to wear a face mask or covering and will be required to submit to a temperature check before entering the Parish Council Chambers.**

A livestream will be available for viewing on regular broadcast channels (Charter Channel 710; U-verse Channel 99) or on the Parish website: [www.stpgov.org](http://www.stpgov.org). The livestream will begin at 6:00 PM on Tuesday, December 15, 2020.

Public comments regarding items on this agenda may be submitted during the meeting by calling in to an Audio Bridge Conference Call. Phone Number: 985-276-6398 (if busy, dial: 346-248-7799 or 669-900-6833) Meeting ID: 892 7301 3129 # Participant ID: # Password: 1425779 #. Please specify the case number you are calling in for.

**ROLL CALL**

**PUBLIC ANNOUNCEMENTS**

- Please silence all phones and electronic devices
- Appeals
- Speaker Cards
- Public Speaking - Ten (10) minutes each side and five (5) minutes for rebuttal
- Please exit the building

**INVOCATION AND PLEDGE OF ALLEGIANCE**

**APPROVAL OF THE NOVEMBER 10, 2020 MEETING MINUTES**

**PUBLIC HEARINGS:**

**REQUEST FOR POSTPONEMENTS**

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

Request to Enter the Parish Right of Way for Myrtle Drive for the purpose of installing parking spaces (Terra Bella Subdivision).

Debtor: Terra Bella Group, LLC

Parish Council District: Hon. Marty Dean

General Location: The property is located on the north side of Bootlegger Road (Highway 1085), west of Bricker Road, Covington, Louisiana. Ward 1, District 1 & 3

Request to Enter the Tammany Trace for the purpose of constructing a sidewalk connection in association with the Dove Park Ridge Subdivision.

Debtor: Dove Park Ridge, LLC

Parish Council District: Hon. Rykert Toledano

General Location: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

**REVOCATION REVIEW**

**MINOR SUBDIVISION REVIEW**

**2020-2110-MSP**

A minor subdivision of Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E  
Owner & Representative: Star Acquisitions, LLC - Vincent P. Centanni  
Surveyor: Kelly McHugh & Associates, Inc.  
Parish Council District Representative: Hon Cheryl Tanner  
General Location: The parcel is located on the north side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana, Ward 10, District 6  
*Postponed at the November 10, 2020 Meeting*

**2020-2149-MSP**

A minor subdivision of 4.639 acres into Lots 1 & 2  
Owner & Representative: Therone Tillison & Edward L. Tillison  
Parish Council District Representative: Hon. Thomas J. Smith  
General Location: The parcel is located on the south side of James Crosby Road, west of Bolden Road, Pearl River, Louisiana. Ward 8, District 14

**2020-2155-MSP**

A minor subdivision of Parcel 4 being 82.23 acres into Lots A1, A2, A3, A4 & A5  
Owner & Representative: Johnsen Road Partnership in Commendam  
Parish Council District Representative: Hon. David R. Fitzgerald  
General Location: The parcel is located on the north side of Johnsen Road, east of LA Highway 437, Covington, Louisiana. Ward 3, District 2

**RESUBDIVISION REVIEW**

**2020-2129-MRP**

Resubdivision of Lots 11-30 into Lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A, Square 346B, Town of Mandeville  
Owner & Representative: SMS Holdings Company, LLC - Sean Delaney  
Surveyor: John E. Bonneau & Associates, Inc.  
Parish Council District Representative: Hon. James J. Davis  
General Location: The property is located on the north side of Nelson Place, on the east side of Ozone Place and on the west side of Rapatel Street, Mandeville, Louisiana. Ward 4, District 7

**2020-2148-MRP**

Resubdivision of 11.32 acres of greenspace into Lots 16-A, 17-A & the remaining greenspace, Bushwood Estates  
Owner: Secret Cove, LLC - Deborah Hogan  
Representative: Paul J. Mayronne  
Surveyor: John Cummings & Associates  
Parish Council District Representative: Hon. Cheryl Tanner  
General Location: The property is located on the east side of Kokomo Lane, west of the Pearl River Navigation Canal, Pearl River, Louisiana. Ward 5, District 6

**PRELIMINARY SUBDIVISION REVIEW**

**2020-2151-PP**

Lakeshore Villages, Phase 12  
Developer/Owner: D.R. Horton, Inc. - Gulf Coast  
Engineer/Surveyor: Duplantis Design Group, PC  
Parish Council District Representative: Hon. Jake Airey  
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**2020-2152-PP**

Lakeshore Villages, Phase 13  
Developer/Owner: D.R. Horton, Inc. - Gulf Coast  
Engineer/Surveyor: Duplantis Design Group, PC  
Parish Council District Representative: Hon. Jake Airey  
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**FINAL SUBDIVISION REVIEW**

**2020-2122-FP**

Hunter's Haven, Phase 1  
Developer/Owner: Favret Investments, LLC  
Engineer/Surveyor: Kelly McHugh & Associates, Inc.  
Parish Council District Representative: Hon. Michael Lorino  
General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4  
*Postponed at the November 10, 2020 Meeting*

**2020-2150-FP**

Lakeshore Villages, Phase 7  
Developer/Owner: D.R. Horton, Inc. - Gulf Coast  
Engineer/Surveyor: Duplantis Design Group, PC  
Parish Council District Representative: Hon. Jake Airey  
General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

**OLD BUSINESS**

**2020-2049-MSP**

A minor subdivision of 1.872 acres & 3.818 acres into Parcels A, B, C & D  
Owner & Representative: Delmont O. & Joan M. Dapremont, Jr.  
Surveyor: J.V. Burkes & Associates, Inc.  
Parish Council District Representative: Hon. Steve Stefancik  
General Location: The parcels are located on the east side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana. Ward 9, District 11

**2018-1105-PP**

Providence Parks, Phase 1

Developer/Owner: Providence Parks, LLC

Engineer: SLD Engineering and Surveying

Parish Council District Representative: Hon. James Thompson

General Location: The property is located on the east side LA Highway 1077, north of U.S. Highway 190, Covington, Louisiana. Ward 1, District 3

*Developer requesting an extension of the Preliminary Approval*

**NEW BUSINESS**

**ADJOURNMENT**

**MINUTES**  
**ST. TAMMANY PARISH PLANNING COMMISSION MEETING**  
**6:00 PM - TUESDAY NOVEMBER 10, 2020**  
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**ROLL CALL**

Present: Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

Absent: Fitzmorris

Staff Present: Tissue, Lambert, Reynolds, Couvillon, Cleland, Vorenkamp

**PUBLIC ANNOUNCEMENTS**

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**INVOCATION AND PLEDGE OF ALLEGIANCE**

**INVOCATION** - Randolph presented the Invocation

**PLEDGE OF ALLEGIANCE** - Seeger presented the Pledge of Allegiance

**APPROVAL OF THE OCTOBER 13, 2020 MEETING MINUTES**

**Randolph moved to approve, second by Seeger.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** N/A

**PUBLIC HEARINGS:**

**REQUEST FOR POSTPONEMENTS**

**2020-2122-FP - POSTPONED**

Hunter's Haven, Phase 1

Developer/Owner: Favret Investments, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Michael Lorino

General Location: The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana. Ward 4, District 4

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Randolph moved to postpone for one month, second by Willie.**

**Yea:** Seeger, Ress, Willie, Richard, Doherty, Fitzmorris, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** McInnis (No Vote)

**OLD BUSINESS**

**SD10-08-005F - APPROVED**

Colonial Pinnacle Nord du Lac

Developer/Owner: Cypress Equities

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Marty Dean

General Location: The property is located east of LA Highway 21, north of U.S. Interstate 12, Covington, Louisiana. Ward 1, District 1

***Change in ownership***

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Richard moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2055-MRP**

Resubdivision of Part of Lots 14, 15 & 16 into lots 14-A, 14-B & 15-A, 5 Acre Farms

Owner & Representative: Brian L. Perilloux, Carla V. Smith, Frances Marullo, Anthony J. Cyprus

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert O. Toledano, Jr.

General Location: The property is located at the end of Ridgewood Drive and along the west side of Hidden Acres Road (future), Mandeville, Louisiana. Ward 4, District 5

***Waiver Request to record the approved Resubdivision for public record in the St. Tammany Clerk of Court's Office prior to construction of the private drive (Section 125-189 (d)).***

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Carla V. Smith

Opposition: None

**Ress moved to approve, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

Enter the Parish R.O.W. - 5th Street between Adams and Jefferson Avenue; Tammany Hills

Request: Entering the Parish R.O.W. for the purpose of installing water, sewer and roadway improvements.

Debtor: Advance Mortgage Company, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The property is located on 5th Street between Adams and Jefferson Avenue, Covington, Louisiana.

Ward 3, District 2

*Amend the amount for the Warranty Obligation*

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Seeger moved to approve, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**ENTERING PARISH RIGHT-OF-WAY, SERVITUDES, EASEMENTS & TAMMANY TRACE**

Request to Enter the Parish Right of Way for Ozone Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision). - **APPROVED**

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soutl Street, Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: Ms. Amanda Reyes, Mr. Armani Reyes

**Crawford moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

Request to Enter the Parish Right of Way for Rapatel Street for the purpose of extending the street and installing drainage features (Town of Mandeville Subdivision). - **APPROVED**

Debtor: SMS Holdings, LLC

Parish Council District: Hon. Jimmie Davis

General Location: The property is located on the south side of Armand Street, north of the Nelson Street right-of-way, east of Soult Street, Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Seeger moved to approve, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

### **REVOCATION REVIEW**

#### **REV20-10-009 - DENIED**

The revocation of a portion of future access Right of Way, located on the west side of Autumn Creek Dr. between Lot 89 and Lot 90 in Phase 2 of the Autumn Creek Subdivision, Madisonville, Louisiana, Ward 1, District 4

Applicant: Steven Hebert

Parish Council District Representative: Hon. Michael Lorino, Jr.

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Steven Hebert

Opposition: None

**Seeger moved to deny, second by Barcelona.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

### **MINOR SUBDIVISION REVIEW**

#### **2020-2092-MSP - APPROVED WITH A WAIVER**

A minor subdivision of 14.11 acres into Parcels A, B & C

Owner & Representative: The Vincent D. Brouillette Trust- Vincent Brouillette and Belinda Besnard

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 21 (Military Road), north of Nolan Lane, Covington, Louisiana, Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Vincent Brouillette

Opposition: None

**Willie moved to approve with the waiver, second by Seeger.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** McInnis (No Vote)

**2020-2105-MSP - APPROVED WITH A WAIVER**

A minor subdivision of Lot B & Parcels 3-A & 4-A into Lot B-1 & Parcel 3-A-1

Owner & Representative: Riverland Property Management – Brian Necaie – Manager and Sam J. Collett III

Surveyor: John E. Bonneau & Associates Inc.

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the south side of Johnsen Road, east of Dogwood Lane, Covington, Louisiana, Ward 3, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Sam J. Collett III

Opposition: None

**Seeger moved to approve with the waiver, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2106-MSP - APPROVED WITH A WAIVER**

A minor subdivision of 2 acres into Parcels A & B

Owner & Representative: Laurie A. Metevier & Vickylee Marie Clelland

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. David R. Fitzgerald

General Location: The parcel is located on the southwest corner of Jarrell Road & LA Highway 1129, Covington, Louisiana, Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Laurie A. Metevier

Opposition: None

**Seeger moved to approve with the waiver, second by McInnis.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2107-MSP - APPROVED**

A minor subdivision of Parcel A-1 & A-2-B into Parcel A-1-A

Owner & Representative: Place 1077, LLC - Tim Richardson

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Martha Cazaubon

General Location: The parcel is located on northwest corner of LA Highway 1085 & LA Highway 1077, Covington, Louisiana, Ward 1, District 3

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Richard moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2108-MSP - APPROVED WITH A WAIVER**

A minor subdivision of Parcels B-1 & B-2 into Parcels B-1A & B-2A

Owner & Representative: Marion Reiling & Ann Cerniglia

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon David R. Fitzgerald

General Location: The parcel is located on the east side of LA Highway 1081, Covington, Louisiana, Ward 2, District 2

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Ann Cerniglia

Opposition: None

**Willie moved to approve with the waiver, second by Barcelona.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2110-MSP - POSTPONED**

A minor subdivision of Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

Owner & Representative: Star Acquisitions, LLC - Vincent P. Centanni

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon Cheryl Tanner

General Location: The parcel is located on the north side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana, Ward 10, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: None

Opposition: None

**Drumm moved to postpone for one month, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2112-MSP - APPROVED**

A minor subdivision of Parcels A, B, C & 1.61 acres into Parcels A, B, C & D

Owners & Representatives: Patricia Venturella, Joyce M. Castleman & Holly D. Morales

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon. James J. Davis

General Location: The parcels are located at the end of Loretta Drive, south of LA Highway 1088 & Interstate 12, Mandeville, Louisiana, Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Holly Morales and Mr. Darrell Castleman

Opposition: None

**Crawford moved to approve with the waiver, second by Barcelona.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2113-MSP - APPROVED WITH WAIVERS**

A minor subdivision of 15.17 acres into Parcels A & B

Owner & Representative: Gary M. & Kimberly P. Greene

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Cheryl Tanner

General Location: The parcel is located on the east side of LA Highway 40, south of Kenzie Road, Covington, Louisiana, Ward 2, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Kimberly P. Greene and Mr. Matthew Greene

Opposition: None

**Seeger moved to approve with the waivers, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2114-MSP - APPROVED WITH A WAIVER**

A minor subdivision of Parcels A, B, C, BV-2 & Lot 44-A1 into Parcel ACG-1

Owner & Representative: JFS Business Park, LLC, Industrial Drive, LLC & Southeast Investments, LLC - Christopher R. Jean

Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Thomas J. Smith

General Location: The parcels are located on the west side of US Highway 11, on the south side of Fricke Road and on the south side of J.F. Smith Avenue, Slidell, Louisiana, Ward 8 & 9, District 14

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Randolph moved to approve with the waiver, second by Barcelona.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2117-MSP - APPROVED**

A minor subdivision of 9.9 acres into Parcels A & B

Owner & Representative: Allison Zinskie

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. James J. Davis

General Location: The parcel is located on the north side of N. Dixie Ranch Road, east of LA Highway 434, Lacombe, Louisiana, Ward 7, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Allison Zinskie

Opposition: None

**Crawford moved to approve, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,

**Nay:** N/A

**Abstain:** Randolph (No Vote)

**2020-2118-MSP - APPROVED**

A minor subdivision of 1.712 acres & 0.455 acres into Parcels A & B

Owner & Representative: Succession of Kent M. Chatellier - Jennifer Chatellier

Surveyor: John G. Cummings & Associates

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the south side of Harry Lemons Road, east of LA Highway 59, Mandeville, Louisiana, Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Jennifer Chatellier

Opposition: None

**Seeger moved to approve, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2120-MSP - APPROVED**

A minor subdivision of Parcel A into Parcels A-1 & A-2

Owner & Representative: Vergne Properties, Inc. - Dianne Swadling

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located on the east & west sides of Riverside Drive, Covington, Louisiana, Ward 3, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Ms. Jennifer Rice

Opposition: None

**Randolph moved to approve, second by Richard.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2124-MSP - APPROVED**

A minor subdivision of 5.1 acres & 5.35 acres into Parcel A

Owner & Representative: Paul J. & Rose L. Goodwine

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon. Rykert Toledano Jr.

General Location: The parcel is located at the southwest corner of Dove Park Road, Covington, Louisiana, Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Ress moved to approve with the waiver, second by Crawford.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**RESUBDIVISION REVIEW**

**2020-2077-MRP - APPROVED**

Resubdivision of the Recreation Area into Lots R1 & R2, Unit 3, Whisperwood Estate

Owner & Representative: Darlene D. Brown

Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon.: Chris Canulette

General Location: The property is located on the east side of Whisperwood Blvd and on the west side of Timbers Drive, Slidell, Louisiana. Ward 8, District 8

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Steve Ernst

Opposition: None

**Randolph moved to approve, second by Crawford.**

**Yea:** Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** Seeger

**Abstain:** N/A

**2020-2104-MRP - APPROVED WITH A WAIVER**

Resubdivision of Parcel 7A1-B1 into Parcels 7A1-B1A & 7A1-B1B, The Plantation

Owner & Representative: Shallow Creek Enterprises, LLC

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: Cheryl Tanner

General Location: The property is located at the end of Shiloh lane, south of Shenandoah Lane, Covington, Louisiana. Ward 5, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Seeger moved to approve with the waiver, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2109-MRP - APPROVED**

Resubdivision of Square 175 into lots 1-14, Square 175, Town of Mandeville

Owner & Representative: Black Oak Holdings, LLC - Matthew Bowers

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: James J. Davis

General Location: The property is located on the east side of Soult Street, on the south side of McNamarra Street, on the west side of Molitor Street and on the north side of Caroline Street (not constructed), Mandeville, Louisiana. Ward 4, District 7

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: Claire Ennis

**Willie moved to approve, second by Seeger.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2115-MRP - APPROVED**

Resubdivision of Lot 52 Phase 4A & lot 80 Phase 1, into lot 80-A, Phase 1, River Club

Owner & Representative: David & Lori Collier

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon.: Marty Dean

General Location: The property is located on the northeast corner of Ox Bow Lane & Ox Bow Court, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Ron Lee

Opposition: None

**Crawford moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2121-MRP - APPROVED WITH WAIVERS**

Resubdivision of Parcels 4A2 & 4A3 into Parcels 4A4, 4A5 & 4A6, The Plantation

Owner & Representative: Robert J. Jr. & Jennifer Rathe

Surveyor: John E. Bonneau & Associates, Inc.

Parish Council District Representative: Hon.: Cheryl Tanner

General Location: The property is located at the end of Shenandoah Lane, east of Shiloh Lane, Covington, Louisiana. Ward 5, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Willie moved to approve with waivers, second by Seeger.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** N/A

**2020-2123-MRP - APPROVED**

Resubdivision of Lot 376 and a Portion of Reserved Area, Square 25, Tchefuncta Club Estates  
Owner & Representative: Tchefuncta Club Estates, Inc. - Francis Ward Cashion, President and Clyde Smalley, IV & Stacey Smalley

Surveyor: Land Surveying, LLC

Parish Council District Representative: Hon.: Marty Dean

General Location: The property is located on the north side of Riverdale Drive, east of Sunny Hollow Road, Covington, Louisiana. Ward 1, District 1

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Seeger moved to approve, second by Willie.**

**Yea:** Seeger, Ress, McInnis, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** N/A

**Abstain:** N/A

**PETITIONS/WAIVER REQUESTS**

**DORMANT SUBDIVISION REVIEW**

**TENTATIVE SUBDIVISION REVIEW**

**2020-2099-TP - APPROVED WITH A WAIVER**

Lakeshore Villages, Phase 12

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Randolph moved to approve with a waiver, second by Barcelona.**

**Yea:** Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** Ress, McInnis

**Abstain:** N/A

**2020-2100-TP - APPROVED**

Lakeshore Villages, Phase 13

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Willie moved to approve, second by Randolph.**

**Yea:** Seeger, Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** McInnis

**Abstain:** N/A

**PRELIMINARY SUBDIVISION REVIEW**

**2020-2010-PP - APPROVED WITHOUT WAIVER**

Military Ridge, Phase 1

Developer/Owner: Lynn Levy Land Co., LLC

Engineer/Surveyor: J.V. Burkes & Associates, Inc.

Parish Council District Representative: Hon. Mike Smith

General Location: The property is located on the east & west sides of North Military Road/LA Highway 1090, north of Interstate-12, Slidell, Louisiana. Ward 8, District 9

*Postponed at the October 13, 2020 meeting*

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen and Mr. Sean Burkes

Opposition: None

**Ress moved to approve without the waivers, second by Drumm.**

**Mr. Schoen withdrew the waiver request.**

**Seeger moved to amend the motion to remove the waivers from the original motion, second by Randolph.**

**Yea:** Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** McInnis

**Abstain:** Ress

**Ress moved to approve, second by Drumm.**

**Yea:** Seeger, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** Ress, McInnis

**Abstain:** N/A

**2020-2102-PP - APPROVED**

Dove Park Ridge

Developer/Owner: Dove Park Ridge, LLC

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen and Mr. Kelly McHugh

Opposition: None

**Seeger moved to approve, second by Barcelona.**

**Yea:** Seeger, Ressa, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** McInnis

**Abstain:** N/A

**2020-2103-PP- APPROVED WITH A WAIVER**

The Refuge (formerly Creekstone)

Developer/Owner: Yar Construction Co.

Engineer/Surveyor: Kelly McHugh & Associates, Inc.

Parish Council District Representative: Hon. Richard Tanner

General Location: The property is located on the east of LA Highway 1129 (Lee Rd.), north of Shortcut Road, across from Highland Crest Drive, Covington, Louisiana. Ward 2, District 6

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Seeger moved to approve with a waiver, second by Willie.**

**Yea:** Seeger, Ressa, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** McInnis

**Abstain:** N/A

**FINAL SUBDIVISION REVIEW**

**2020-1977-FP - APPROVED**

Dove Park Estates (**Resubmitted**)

Developer/Owner: Dove Park Estates, LLC

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Rykert Toledano

General Location: The property is located on the north side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana. Ward 4, District 5

***Postponed at the October 13, 2020 meeting***

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Paul Mayronne

Opposition: None

**Seeger moved to approve, second by Barcelona.**

**Yea:** Seeger, Ressa, Willie, Richard, Doherty, Barcelona, Crawford, Drumm, Randolph

**Nay:** McInnis

**Abstain:** N/A

**2020-2101-FP - APPROVED**

Lakeshore Villages, Phase 8-B

Developer/Owner: D.R. Horton, Inc. - Gulf Coast

Engineer/Surveyor: Duplantis Design Group, PC

Parish Council District Representative: Hon. Jake Airey

General Location: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana. Ward 9, District 13

A Public Hearing was opened for discussion of this case and the following individual(s) provided testimony in favor of this request: Mr. Jeff Schoen

Opposition: None

**Randolph moved to approve, second by Crawford.**

**Yea:** Ress, Willie, Richard, Doherty, Barcelona, Crawford, Drumm,  
Randolph

**Nay:** N/A

**Abstain:** Seeger

**AMENDMENTS TO CHAPTER 125 - SUBDIVISION REGULATIONS**

**AMENDMENT TO DEVELOPMENTAL AGREEMENT**

**NEW BUSINESS**

**ADJOURNMENT**

**ENTERING THE PARISH  
RIGHTS-OF-WAY,  
SERVITUDES AND  
EASEMENTS**

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## ST. TAMMANY PARISH

MICHAEL B. COOPER  
PARISH PRESIDENT

December 1, 2020

St. Tammany Parish Planning Commission  
P.O. Box 628  
Covington, LA 70434

Re: Enter the Parish R.O.W. - Myrtle Drive - For the purpose of constructing parking spaces (Terra Bella Subdivision)

Honorable Commissioners,

This office is in receipt of Mr. Kelly McHugh, P.E., P.L.S.'s request, on behalf of the Terra Bella Group, LLC, to enter the Parish right-of-way for the purpose of constructing parking spaces between Terra Bella Boulevard and Bocage Court along Myrtle Drive; Terra Bella Subdivision.

This office has reviewed the request from Mr. McHugh's and has no objection.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher Tissue, P.E.  
Lead Development Engineer

*Attachments: DRAFT Enter the Parish R.O.W. Resolution dated December 1, 2020  
Request to Enter the Parish Right-of-Way from Mr. McHugh, P.E., P.L.S.'s dated  
November 16, 2020  
"Proposed New Parking Terra Bella, Phase 1A-1" Site Plan dated November 17, 2020*

xc: Honorable Michael Cooper  
Honorable Marty Dean  
Mr. Ross Liner, AICP, PTP, CFM  
Mr. Jay Watson, P.E.  
Ms. Helen Lambert  
Mr. Earl J. Magner  
Mr. Theodore Reynolds, P.E.  
Mr. Seamus Loman, Terra Bella Group, LLC  
Mr. Kelly McHugh, P.E., P.L.S., Kelly McHugh & Associates, Inc.

ST. TAMMANY PARISH PLANNING COMMISSION

RESOLUTION

RESOLUTION PLANNING COMMISSION SERIES NO. \_\_\_\_\_

**TITLE: A RESOLUTION AUTHORIZING TERRA BELLA GROUP, LLC, C/O MR. SEAMUS LOMAN, TO ENTER PARISH RIGHT-OF-WAY.**

**SUB-TITLE: A RESOLUTION GRANTING PERMISSION TO TERRA BELLA GROUP, LLC, 111 TERRA BELLA BOULEVARD, COVINGTON, LA, 70433 OR ASSIGNEES TO ENTER PARISH RIGHT-OF-WAY, SPECIFICALLY A 350 FOOT PORTION OF MYRTLE DRIVE BETWEEN TERRA BELLA BOULEVARD AND BOCAGE COURT, TERRA BELLA SUBDIVISION, FOR THE PURPOSE OF CONSTRUCTING PARKING SPACES. WARD 1, DISTRICT 1.**

NOW, THEREFORE, BE IT RESOLVED, by the St. Tammany Parish Planning Commission that it hereby grants permission to the aforementioned petitioner to enter Parish right-of-way for the aforementioned purposes, subject to the following conditions:

1. That the improvements that will be undertaken will be at the sole expense of the petitioner.
2. That the petitioner agrees to accept full responsibility, financial and all other, for the damage and /or relocation of utilities currently located within Parish right-of-way.
3. That the petitioner shall submit plans prepared by a licensed engineer to the Department of Engineering for review and approval. The drainage and road design with soil borings must meet the asphalt road standards as established under the "Subdivision Regulatory Ordinance." The Parish's engineer may require additional off-site work to minimize the potential impact of the proposed construction with special emphasis regarding drainage. The plans must include sewerage and water systems, where applicable. Upon approval of plans and specifications by the Director of Engineering, the petitioner must notify the Department of Engineering prior to the commencement of any activity.
4. That should the petitioner commence work thereon, petitioner by such act acquiesces and acknowledges thereby that he will hold this Parish, its officials, agents, servants, and employees free and harmless from any liability or responsibility whatsoever in connection with the construction of the project. Petitioner will provide copy of Liability Insurance Policy, including the naming of the Parish as an insured party. The insurance will remain in effect until the Parish takes over the maintenance.
5. That nothing herein shall be construed as a revocation of the dedication of the aforementioned right of way.
6. That no maintenance nor financial nor material nor assistance shall be provided by the Parish for the project nor the maintenance thereof, except for the inspection of the plans and specifications by the Department of Engineering to insure the construction complies with Parish specifications.
7. That the petitioner shall post a Performance Obligation prior to a work order being issued for the calculated amount based on the linear footage of proposed roadway using the formula "\$40.00 per linear foot x \_\_\_ linear feet = calculated amount" for asphalt roadways. The linear footage of construction shall be taken from the approved Preliminary plan(s). The Performance Obligation in the amount of **\$14,000.00** (\$40.00 per linear foot x **350** linear feet) shall be established for a period of one (1) year.
8. That the petitioner shall post a Warranty Obligation upon completion of the project for the calculated amount based on the linear footage of constructed roadway using the formula "\$22.00 per linear foot x \_\_\_ linear feet" for asphalt roadways. The linear footage of construction shall be taken from the approved As-Built plan(s). The Warranty Obligation shall be established for a period of two (2) years.
9. That the petitioner and any assignees submit a Hold Harmless Agreement in connection with the construction of the project and utilization of the access by (an) individual (s) until the time that the access is upgraded to Parish standards and accepted into the Parish's Selective Road Maintenance System.

- 10. That the petitioner and any assignees agrees to provide maintenance for this project at his/her own expense until such time as the Parish agrees to accept this project into the Parish’s Selective Road Maintenance System.
- 11. That the petitioner shall submit a copy of the current owner’s deed.
- 12. That the petitioner shall produce proof that the right of way is dedicated to the Parish.
- 13. That the petitioner shall submit a site plan of Petitioner’s property and parking spaces proposed improvements.
- 14. That the petitioner submit as-built drawings certifying that the project is constructed in accordance with the approved drawings.
- 15. That the petitioner submit all documentation required within ONE (1) year from date of adoption, additionally petitioner has two (2) years to complete all work on this project, if not completed within two (2) years, approval of this work will be voided and petitioner will be required to reapply for permission.

THIS RESOLUTION HAVING BEEN SUBMITTED TO A VOTE, THE VOTE THEREON WAS AS FOLLOWS:

MOVED FOR ADOPTION BY \_\_\_\_\_, SECONDED BY \_\_\_\_\_; A VOTE THEREON RESULTED IN THE FOLLOWING:

YEA:

NAY:

ABSTAIN:

ABSENT:

AND THIS RESOLUTION WAS DECLARED DULY ADOPTED ON THE 15TH DAY OF DECEMBER, 2020, AT A REGULAR MEETING OF THE PLANNING COMMISSION, A QUORUM OF THE MEMBERS BEING PRESENT.

\_\_\_\_\_  
DAVID DOHERTY, JR., CHAIRMAN  
ST. TAMMANY PARISH PLANNING COMMISSION

ATTEST:

\_\_\_\_\_  
ROSS P. LINER, AICP, PTP, CFM, SECRETARY  
ST. TAMMANY PARISH PLANNING COMMISSION



**Kelly McHugh**  
&  
Associates, Inc.

Enter R.O.W. Project  
PLANS  
RECEIVED  
11/17/2020  
DEVELOPMENT  
ENGINEERING

**ENGINEERING  
REVIEW COPY**

November 16, 2020

St. Tammany Parish  
Department of Engineering  
Attn: Chris Tissue  
PO Box 628  
Covington, LA 70434

RE: Request to Enter STP Right-Of-Ways  
Myrtle Drive, Terra Bella Subdivision  
St. Tammany Parish, Louisiana

Chris,

My client, Terra Bella Group, LLC, 111 Terra Bella Blvd Covington, La 70433, requests permission to enter Parish right-of-way, specifically Myrtle Dr. south side between Terra Bella Blvd, and Bocage Ct to install additional parking as shown on the attached Site Plan.

The length of those improvements is approximately 350'.

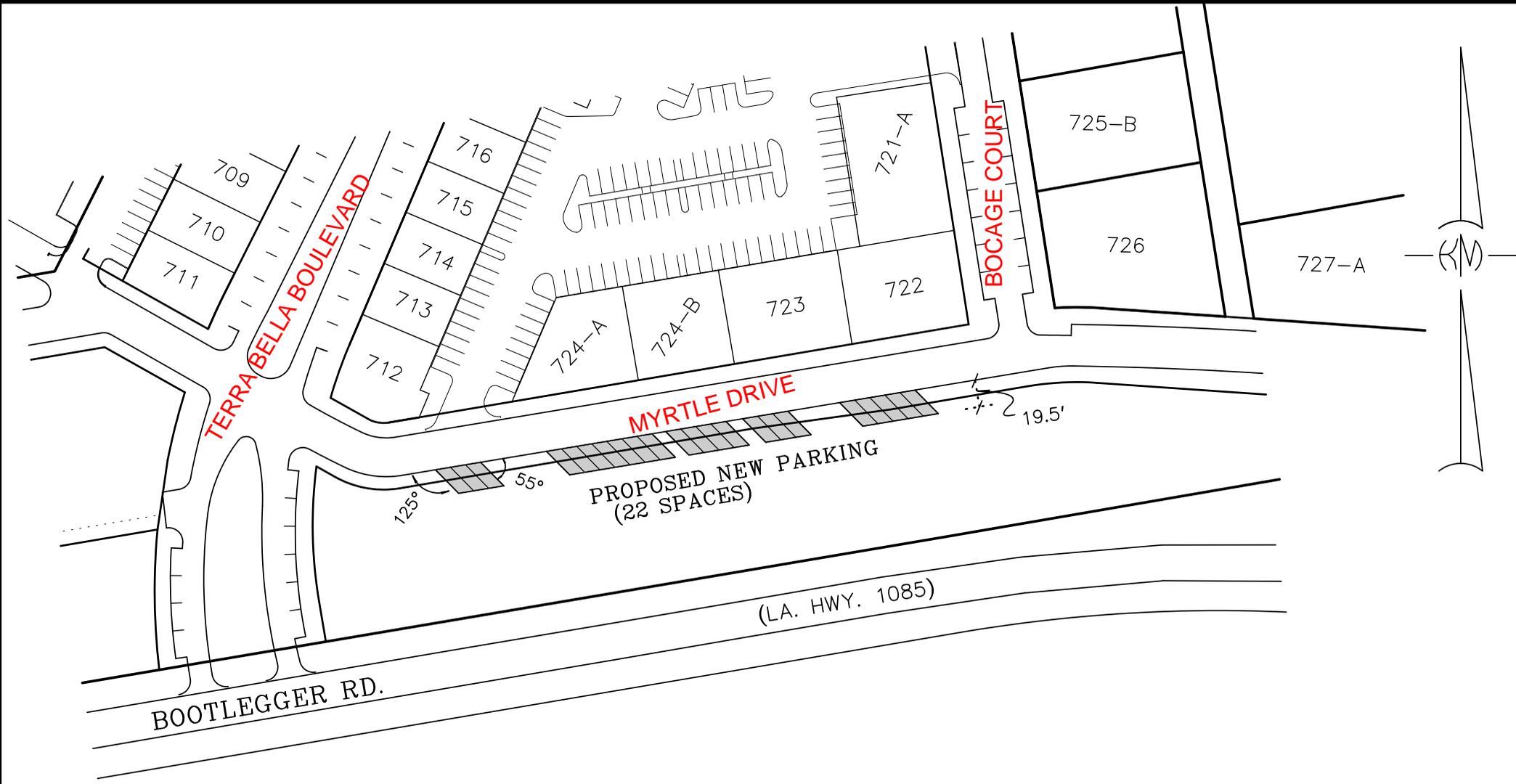
Also attached is a copy of the cash sale and Terra Bella's latest approved PUD Plan showing this parking. .

I appreciate your help in this matter.

Sincerely,

Kelly McHugh, PE, PLS

KJM/kah



/plats/TERRA BELLA MYRTLE DR PARKING SITE PLAN.scj

**SITE PLAN**

PROPOSED NEW PARKING  
 TERRA BELLA, PH., 1-A1  
 ST. TAMMANY PARISH, LA.

SCALE:	1" = 100'	DATE:	11-17-20
DRAWN:	DRJ	JOB NO.:	
REVISED:			

**KELLY J. MCHUGH & ASSOC., INC.**  
 CIVIL ENGINEERS & LAND SURVEYORS  
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

Enter R.O.W. Project  
 PLANS  
 RECEIVED  
 11/17/2020  
 DEVELOPMENT  
 ENGINEERING  
**ENGINEERING  
 REVIEW COPY**

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**ENTERING THE TAMMANY TRACE STAFF ANALYSIS REPORT**  
*(As of December 4, 2020)*

CASE NO.: TRC20-11-001

REQUEST AND PURPOSE: The petitioner is requesting to enter the Tammany Trace for the purpose of constructing a six (6) foot concrete walkway and culvert to connect to the Trace parkway at the western edge of the Tammany Trace, 1084 feet south of its intersection with Dove Park Road.

DEVELOPER: Dove Park Ridge, LLC  
845 Galvez Street  
Mandeville, LA 70448

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.  
845 Galvez Street  
Mandeville, LA 70448

WARD: 4 PARISH COUNCIL DISTRICT: 5

PROPERTY LOCATION: The property is located on the south side of Dove Park Road, west of LA Highway 59, south of Interstate 12, Covington, Louisiana.

**STAFF COMMENTARY:**

The Staff recommends approval of the access request subject to the comments listed below:

**COMMENTS:**

**Department of Planning and Development**

1. The width of the cleared area for the construction of a path to access the Trace shall not exceed ten (10) feet and the width of the pavement shall not exceed five (5) feet. A corrected request letter that is compliant with these regulations must be provided.
2. A detailed plan showing how the proposed sidewalk will connect to the Trace including elevations, drainage culverts, etc. must be provided prior to final approval.
3. No trees are to be cleared along the Tammany Trace, with the exception of the 15 foot section of the Trace buffer needed to install the concrete walkway and culvert.
4. A land clearing permit must be acquired prior to work order and a pre-land clearing site visit will be conducted to ensure proper fencing or staking is in place to ensure no adverse effects on trees or Trace Right-of-Way.
5. The applicant shall procure written approval from the Director of the Tammany Trace prior to commencing any construction and shall provide said director with a daily work schedule.
6. The Tammany Trace shall not be closed or obstructed due to construction activity for more than one hour at any time unless it is approved by the Director of the Tammany Trace.
7. Only rubber tire excavating equipment is to be used on the trace.
8. All construction activities on the Tammany Trace shall be limited to daylight hours, Monday through Friday only (no weekends).

9. The Tammany Trace must be kept clean and free of construction material and debris at all times.
10. Obtain a work order from the Parish Engineer.
11. The applicant shall provide the parish with an acknowledgement and hold harmless agreement indemnifying St Tammany Parish from any and all liability that arises in connection with the requested access subject to review and approval by the parish's legal department.

**INFORMATIONAL ITEMS:**

A Performance Obligation is required in the amount of \$10.00 per linear foot x 15 linear feet = \$150.00 for a period of one (1) year.

If the Planning Commission approves this request, an Ordinance must be drafted for approval by the St. Tammany Parish Council.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.



**Kelly McHugh**  
&  
Associates, Inc.

November 10, 2020

St. Tammany Parish  
Department of Development  
**Attn: Carl Cleland**  
PO Box 628  
Covington, LA 70434

RE: Entering Tammany Trace to connect  
Pedestrian access  
(6' concrete walkway)  
For Dove Park Ridge Subdivision

Carl,

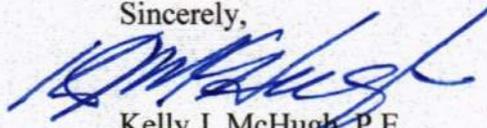
In behalf of Dove Park Ridge, LLC, 845 Galvez Street Mandeville, LA 70448, we request permission to enter Tammany Trace to construct a 6' concrete walkway and culvert to connect to the Trace parkway at the western edge of Trace 1084' South of its intersection with Dove Park Rd. See attached Vicinity Map and Dove Park Ridge Paving & Drainage Plan with walkway details.

We feel that there is an absolute need for the residents of Dove Park Ridge to be able to have a safe, pedestrian only access to use the public recreation (Trace).

This pedestrian access for recreation on the Trace is its intended use. There will only be minimal clearing (12'-15') to install the 6' wide concrete walkway. There will be minimal disruption to drainage, the entirety of Dove Park Ridge drains west and away from the Trace.

We appreciate your kind attention to this matter.

Sincerely,



Kelly J. McHugh, P.E.

KJM:kah

845 Galvez Street • Mandeville, LA 70448 • (985) 626-5611

Civil Engineers

Land Surveyors

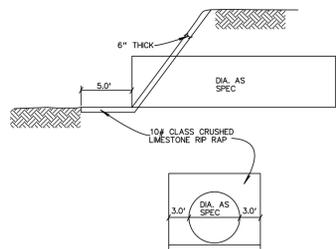


*VICINITY MAP FOR 6' WALKWAY FROM DOVE PARK RIDGE*

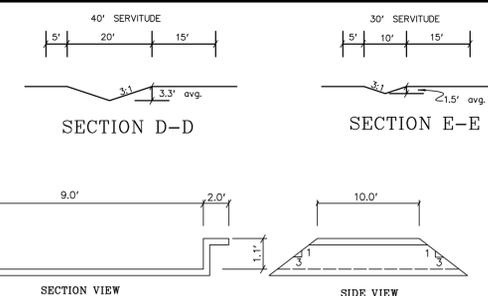
# DOVE PARK RIDGE SECTION 25, T-7-S, R-11-E, ST. TAMMANY PARISH, LA.

**CULVERT SCHEDULE**

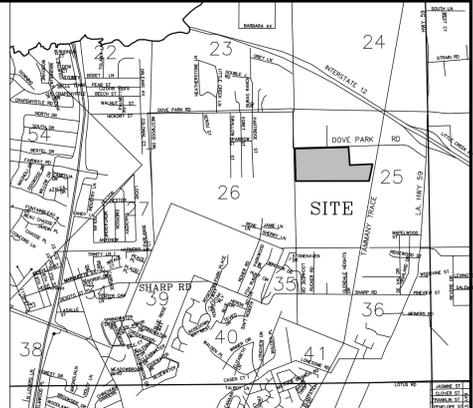
SIZE	LOT NUMBERS
15in.	ALL GARDEN HOME LOTS 1 @ BOTH STREETS, 2-10, 11 @ BOTH STREETS, 12 @ BOTH STREETS, 13-22, 23 @ FRONT STREET, 26, 27, 28 @ BOTH STREETS, 29-35 36 @ BOTH STREETS, 37-39, 41 @ FRONT STREET, 42-46, 48, 49, 51, 52, 53 @ BOTH STREETS, 54 @ BOTH STREETS, 55-60, 67 @ BOTH STREETS, 68-74, 78-80, 83-87, 88-91, 98-109.
18in.	23 @ SIDE STREET, 24, 25, 40, 41 @ SIDE STREET, 47 @ BOTH STREETS, 50, 61, 62-65, 66 @ BOTH STREETS 75 @ BOTH STREETS, 76, 77, 81, 82 @ BOTH STREETS 95-97, 110-112
21"	92 @ BOTH STREETS, 93, 94, 113-116
24"	117, 118, 119 @ BOTH STREETS



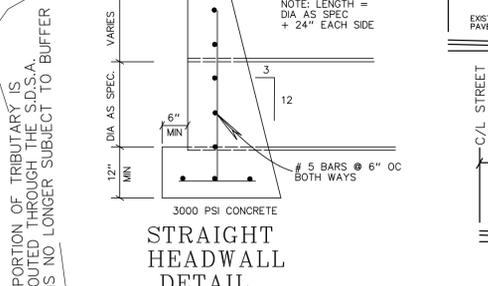
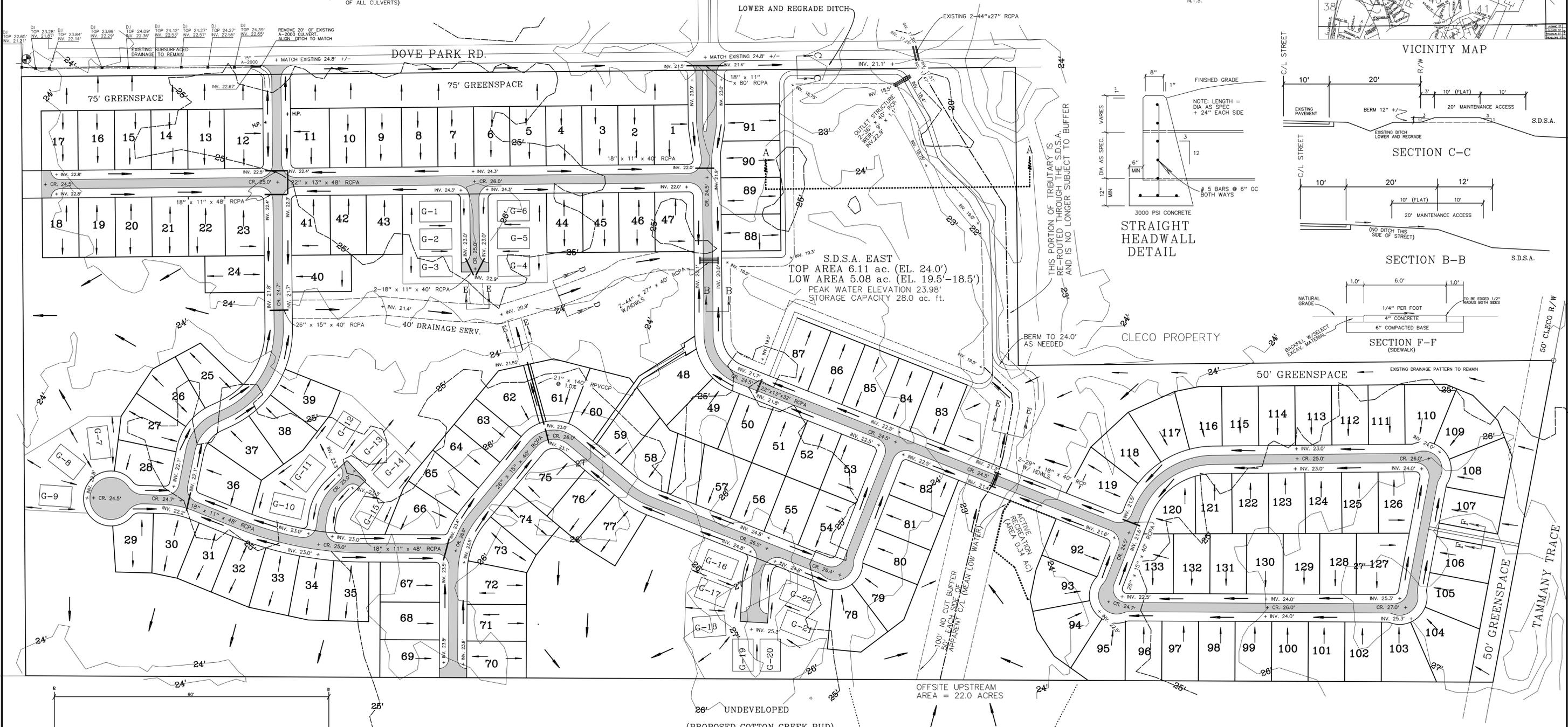
**CRUSHED LIMESTONE  
RIP-RAP DETAIL**  
(RIP-RAP AND BOTH ENDS  
OF ALL CULVERTS)



**SECTION D-D**      **SECTION E-E**

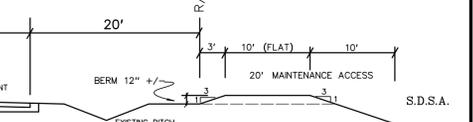


**VICINITY MAP**

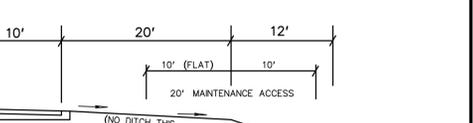


**WEIR DETAIL**  
N.T.S.

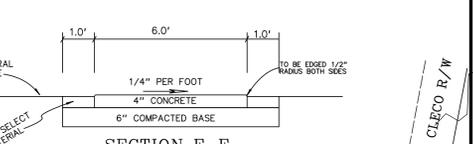
**STRAIGHT  
HEADWALL  
DETAIL**



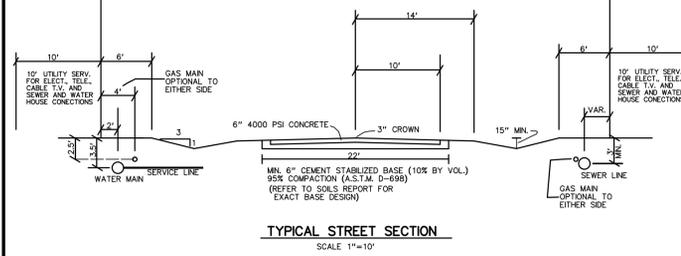
**SECTION C-C**



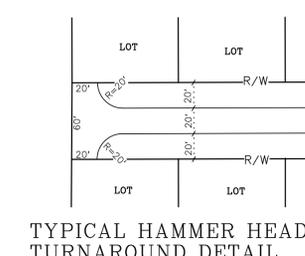
**SECTION B-B**



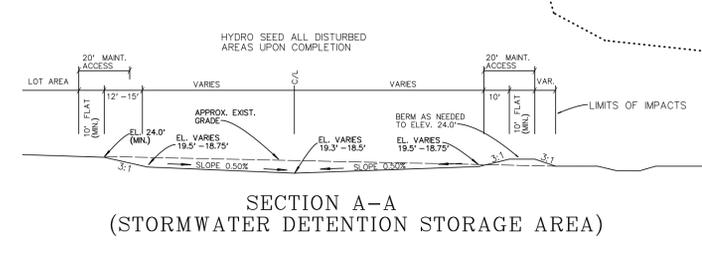
**SECTION F-F**  
(SIDEWALK)



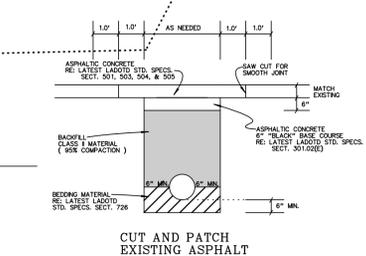
**TYPICAL STREET SECTION**  
SCALE 1"=10'



**TYPICAL HAMMER HEAD  
TURNAROUND DETAIL**



**SECTION A-A  
(STORMWATER DETENTION STORAGE AREA)**



**CUT AND PATCH  
EXISTING ASPHALT**

**PAVING AND DRAINAGE PLAN**

**DOVE PARK RIDGE  
SECTION 25, T-7-S, R-11-E  
ST. TAMMANY PARISH, LA.**

REVISIONS		DATE	
10-28-20			

**KELLY J. McHUGH & ASSOC., INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST. - MANDEVILLE, LA. 70150  
626-5611

SCALE: 1" = 100'      DATE: 10-14-20  
DRAWN: DRJ      JOB NO.: 19-164  
CHECKED:      DWG. NO.:



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# **MINOR SUBDIVISIONS**

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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of December 7, 2020)*

*Meeting Date: December 15, 2020*

CASE NO.: 2020-2110-MSP

OWNER/DEVELOPER: Star Acquisitions, LLC - Vincent P. Centanni

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.

SECTION: 30

TOWNSHIP: 6 South

RANGE: 12 East

WARD: 10

PARISH COUNCIL DISTRICT: 6

TYPE OF DEVELOPMENT:              X   SUBURBAN (Residential acreage between 1-5 acres)  
                                                        RURAL (Low density residential 5 acres or more)  
                                                        OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: North side of Prats Road, east of LA Highway 59, Abita Springs, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 7.35 acres

NUMBER OF LOTS/PARCELS: 1 parcel into 5 parcels: Parcel B-3 into Parcels B-3A, B-3B, B-3C, B-3D & B-3E

ZONING: A-2 Suburban Zoning District

**STAFF COMMENTARY:**

**Department of Development – Planning & Engineering**

The applicant is requesting to create five (5) parcels from Parcel B-3. The minor subdivision request requires a public hearing due to:

- Parcel B-3 was part of a minor subdivision approved in August 2018 (2018-1170-MSA).
- Parcels B-3B, B-3C, B-3D & B-3E do not have Parish Road Frontage and are proposed to be accessed via a private road.
- The proposed name of the access shall be depicted on the survey plat, and shall be granted approval by the Planning Commission. The proposed access name “Franco Road” has been submitted and approved by St. Tammany Parish Communication District.
- Requesting a waiver to construct the 35’ access servitude and the required drainage prior to building permit being issued instead of prior to plats being recorded.

The request shall be subject to the above and below comments:

1. Confirm that the calculation for the area of parcels B-3A, B-3B & B-3C are exclusive of the proposed private drive.
2. Survey is amended to include a reference to previously approved minor subdivision: 2018-1170-MSA & Ref: Plat of a Minor Sub by Kelly McHugh & Associates Inc, Filed 08/20/2018 as Map No. 5769D.
3. Amend survey as follow “~~Resubdivision~~ Minor Subdivision of Parcel B-3...”.
4. Approval of the proposed private access road name: “Franco Road”.

5. The proposed name of the access "Franco Road" shall be depicted on the survey plat.
6. Remove the note "25' Building setback".
7. Add arrows to show original boundaries of Lot B-3.
8. Submit plans of proposed "Franco Road" to the Department of Engineering for review and approval.
9. Franco Road is subject to Section 125-189 - Minimum construction standards for a private drive (listed below):
  - a. Perpetual servitude of access with a minimum width of 35 feet.
  - b. Driving surface of 20 feet in width with two-foot shoulders on each side of the drive and 5½ feet on each side of the shoulder devoted to ditching/drainage and or utilities.
  - c. Drive shall be constructed with suitable compacted subbase materials and overlaid with an aggregate material (i.e., shell, gravel, limestone, three-course treatment, asphalt, concrete, etc.) that is acceptable to the Department of Engineering.
  - d. Ditch or ditches shall be constructed on either one or both sides of a drive in accordance to standard practices adopted by the department of engineering in order to provide adequate drainage.
  - e. Plans for the construction of the private drive and drainage submitted to the Department of Engineering for review and approval prior to the initiation of work.
  - f. Final inspection of the work performed by the Department of Engineering, after the private drive has been constructed and drainage improvements made.
  - g. Once the private drive has been constructed and all drainage improvements completed and approved by the Department of Engineering, then, and only then can the minor subdivision be recorded for public record in the clerk of court's office and the lots sold or donated.

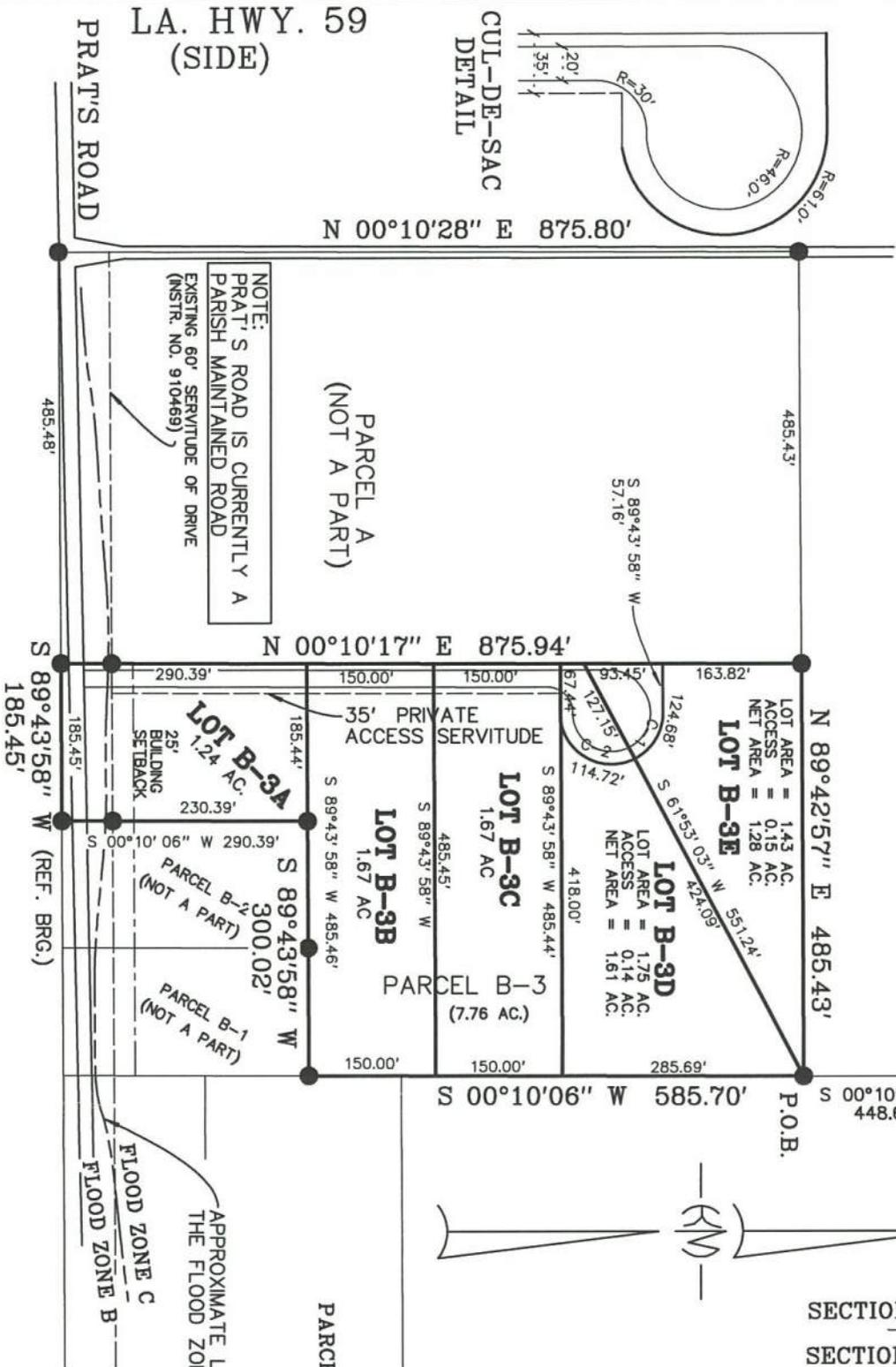
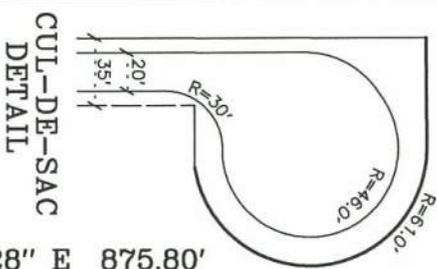
In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

**LEGEND:**

- = 1/2" IRON ROD FOUND
- = 1/2" IRON ROD SET

**CURVE DATA CHART**

C-1 - R=61.00' L=67.52' Ch=N 58°33'18" W 64.13'  
 C-2 - R=61.00' L=114.72' Ch=N 27°02'07" E 98.55'



LA. HWY. 59  
(SIDE)

PRAT'S ROAD

PARCEL A  
(NOT A PART)

NOTE:  
PRAT'S ROAD IS CURRENTLY A  
PARISH MAINTAINED ROAD  
(NSTR. NO. 910469)

LOT B-3E  
LOT AREA = 1.43 AC.  
ACCESS = 0.15 AC.  
NET AREA = 1.28 AC.

LOT B-3D  
LOT AREA = 1.75 AC.  
ACCESS = 0.14 AC.  
NET AREA = 1.61 AC.

LOT B-3C  
1.67 AC

LOT B-3B  
1.67 AC

LOT B-3A  
1.24 AC.

25' BUILDING SETBACK

PARCEL B-2 (NOT A PART)  
PARCEL B-1 (NOT A PART)

S 89°43'58" W 185.45'  
S 89°43'58" W (REF. BRG.)  
185.45'

FLOOD ZONE C  
FLOOD ZONE B

APPROXIMATE LOCATION OF THE FLOOD ZONE LINE

PARCEL B-3

SECTION 30  
SECTION 29

1/4 CORNER COMMON TO SECTIONS 29 & 30, T-6-S, R-12-E, G.L.D., ST. TAMMANY PARISH, LA.

APPROVAL:

CHAIRMAN PARISH PLANNING COMMISSION

SECRETARY PARISH PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

DATE FILED FILE NO.

CLERK OF COURT

REFERENCE: PLAT OF A RESUBDIVISION BY JOHN E. BONNEAU & ASSOCIATES, INC. FILED 09-08-2008 AS MAP NO. 4719D.

NOTE: MAP/PLAT HAS BEEN MADE BY KELLY MCHUGH & ASSOC., INC. TO VERIFY TITLE LEGAL RIGHTS OF OWNERSHIP AND RIGHTS OF WAY, DEED RESTRICTIONS, EASEMENTS, ENCUMBRANCES, AND OTHER ENCUMBRANCES ON THE PROPERTY OTHER THAN THOSE FURNISHED BY THE CLIENT.



Kelly J. McHugh, REG. NO. 4443

CERTIFIED TO BE IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND AND COMPLYING WITH THE CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS "C" SURVEY. RED STAMP SIGNIFIES CERTIFIED PLAT.

6/15/2020

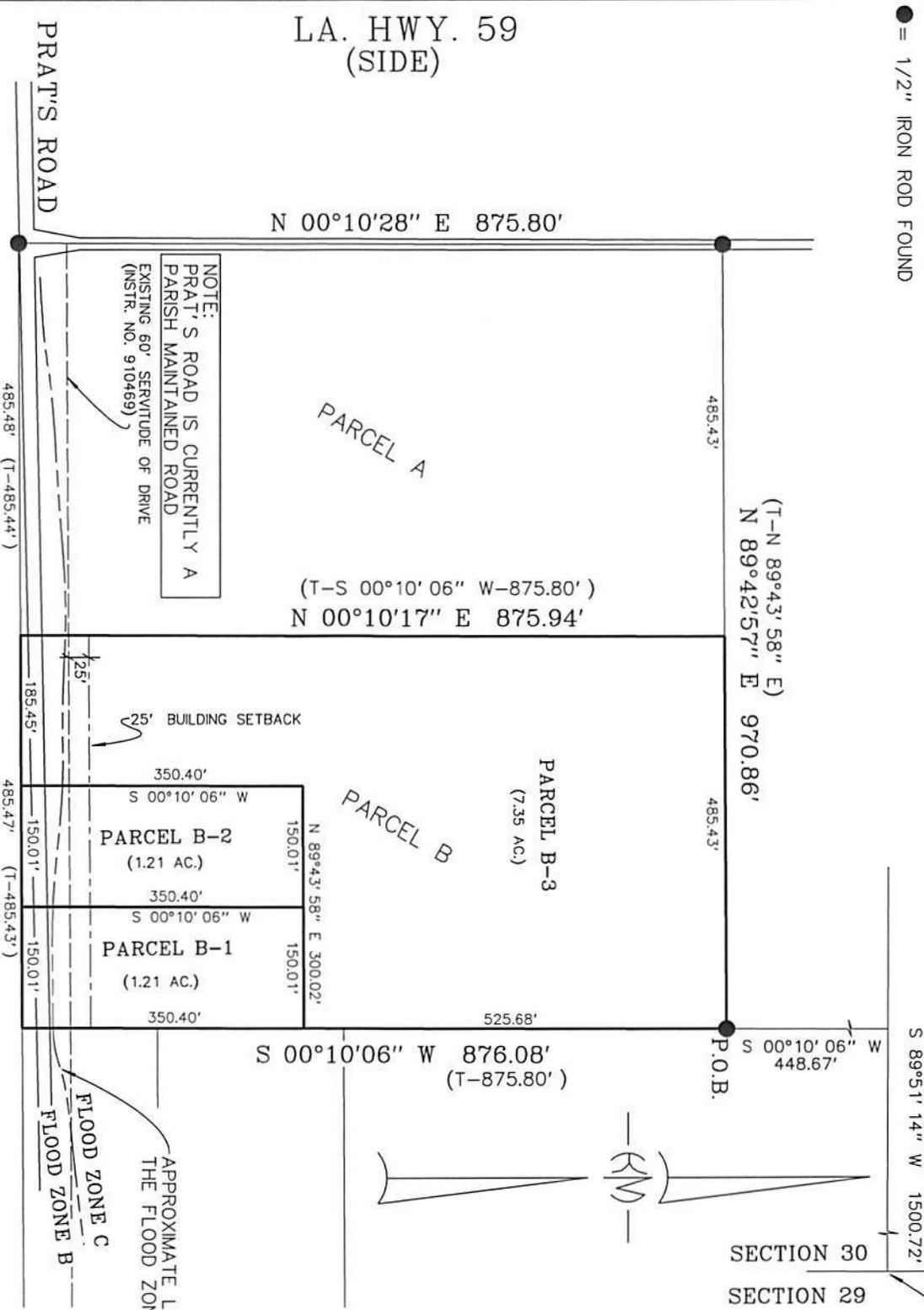
A RESUBDIVISION OF PARCEL B-3 INTO PARCELS B-3A, B-3B, B-3C, B-3D & B-3E ALL IN SECTION 30, T-6-S, R-12-E, G.L.D., ST. TAMMANY PARISH, LA.

PREPARED FOR: VINCENT CENTANNI  
 KELLY J. MCHUGH & ASSOC., INC.  
 CIVIL ENGINEERS & LAND SURVEYORS  
 845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 200'	DATE: 10-14-20
DRAWN: DRJ	JOB NO.: 18-230-B3 RESUB
REVISED:	

**LEGEND:**

● = 1/2" IRON ROD FOUND



1/4 CORNER COMMON TO  
SECTIONS 29 & 30,  
T-6-S, R-12-E, G.L.D.,  
ST. TAMMANY PARISH, LA.

APPROVAL:

SECRETARY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT  
OF ENGINEERING

08-20-2018 5769 D  
DATE FILED FILE NO.

Dry Shana Hess  
CLERK OF COURT Shana Hess, Deputy Clerk

REFERENCE: PLAT OF A RESUBDIVISION  
BY JOHN E. BONNEAU & ASSOCIATES, INC.  
FILED 09-08-2008 AS MAP NO. 4719D.

NOTE:  
NO ATTEMPT HAS BEEN MADE BY KELLY MCHUGH & ASSOC., INC. TO  
VERIFY TITLE, ACTUAL LEGAL OWNERSHIP, SERVITUDES, EASEMENTS,  
RIGHTS OF WAY, DEED RESTRICTIONS, WETLANDS OR ENVIRONMENTAL  
ISSUES OR OTHER ENCUMBRANCES ON THIS PROPERTY OTHER THAN  
THOSE FURNISHED BY THE CLIENT.



CERTIFIED CORRECT AND IN ACCORDANCE WITH A PHYSICAL  
SURVEY MADE ON THE GROUND AND COMPLYING WITH THE  
CURRENT APPLICABLE STANDARDS OF PRACTICE FOR A CLASS  
"C" SURVEY. RED STAMP SIGNIFIES CORRECT PLAT.

LA. HWY. 59  
(SIDE)

PRATT'S ROAD

N 00°10'28" E 875.80'

(T-N 89°43'58" E)  
N 89°42'57" E 970.86'

(T-S 00°10'06" W-875.80')  
N 00°10'17" E 875.94'

S 89°43'58" W 970.95'  
(REF. BRG.) (T-970.87')

25' BUILDING SETBACK

S 00°10'06" W

S 00°10'06" W

S 00°10'06" W 876.08'  
(T-875.80')

SECTION 30  
SECTION 29

- NOTES:
1. ALL NEW LOT CORNERS MARKED WITH 1/2" IRON RODS.
  2. THIS PROPERTY IS LOCATED IN FLOOD ZONES B & C, RE: FIRM PANEL NO. 225205 0235 C LAST REVISED 10-17-89

A RESUBDIVISION OF PARCEL B  
INTO PARCELS B-1, B-2, & B-3,  
ALL IN SECTION 30, T-6-S, R-12-E,  
G.L.D., ST. TAMMANY PARISH, LA.

PREPARED FOR: VINCENT CENTANNI  
KELLY J. MCHUGH & ASSOC., INC.  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST., MANDEVILLE, LA. 626-5611

SCALE: 1" = 200'	DATE: 08-03-18
DRAWN: DRJ	JOB NO.: 18-230-EAST-2
REVISED: 08-08-18	

**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of December 7, 2020)*

*Meeting Date: December 15, 2020*

CASE NO.: 2020-2149-MSP

OWNER/DEVELOPER: Therone Tillison & Edward L. Tillison

ENGINEER/SURVEYOR: J.V. Burkes & Associates, Inc.

SECTION: 11

TOWNSHIP: 8 South

RANGE: 14 East

WARD: 8

PARISH COUNCIL DISTRICT: 14

TYPE OF DEVELOPMENT:          X   SUBURBAN (Residential acreage between 1-5 acres)  
                                                RURAL (Low density residential 5 acres or more)  
                                                OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: South side of James Crosby Road, west of Bolden Road, Pearl River, Louisiana

SURROUNDING LAND USES: Undeveloped & Residential

TOTAL ACRES IN DEVELOPMENT: 4.639 acres

NUMBER OF LOTS/PARCELS: 1 parcel into 2 lots: 4.639 acres into Lots 1 & 2

ZONING: A-4-A Single Family Residential Zoning District

**STAFF COMMENTARY:**

**Department of Development – Planning & Engineering**

The applicant is requesting to create two (2) lots from 4.639 acres. The minor subdivision request requires a public hearing due to:

- Lot 2 does not have public road access and is proposed to be accessed via a 35-foot access servitude.



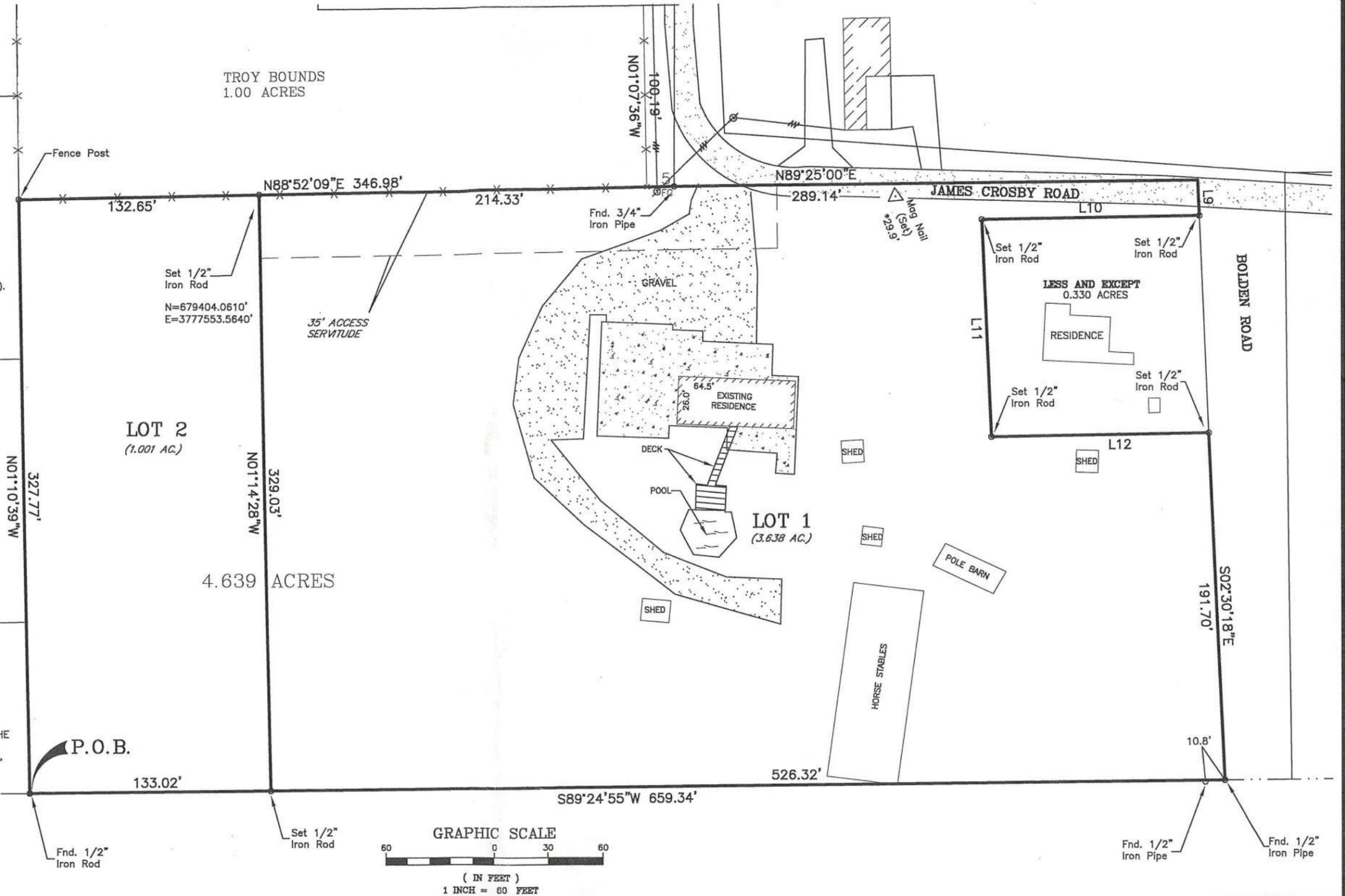
Line Table		
Line #	Length	Direction
L9	19.68'	S02°30'18"E
L10	120.00'	S89°04'42"W
L11	120.00'	S02°30'18"E
L12	120.00'	N89°04'42"E

NOTE: BEARINGS REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).  
 REF: A Survey by J.V. Burkes Dated 09/23/1991 Survey # 910366.

**APPROVED:**

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.
TOTAL AREA: 202,075 SQ. FT. OR 4.639 ACRES	

P.O.B. IS REPORTED TO BE THE SW CORNER OF LOT 4 OF SECTION 11, T-8-S, R-14-E, GLD, ST. TAMMANY PARISH, LOUISIANA



G:\SURVEYING\2018\BOUNDARY SURVEY\JOB-R14\SEC. 11\20180837\_11-8-14\_TILLISON\20180837.dwg

SCALE:	1" = 60'
DATE:	01/10/2019
DRAWN BY:	VLL
CHECKED BY:	JDL
DWG. NO:	20180837
SHEET	1 OF 1

I certify that this plat does represent an actual ground survey and that to the best of my knowledge no encroachments exist either way across any of the property lines, except as shown. Encumbrances shown hereon are not necessarily exclusive. Encumbrances of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

I have consulted the Flood Insurance Rate Maps and found this property is not in a Special Flood Hazard Area.

F.I.R.M.: 225205 0300 C  
 DATE: 10/17/1989  
 ZONE: C  
 B.F.E. = N/A

\* Verify prior to construction with local governing body

**A MINOR SUBDIVISION MAP OF A 4.639 AC. PARCEL INTO LOT 1 & LOT 2 LOCATED IN SECTION 11, T-8-S, R-14-E, GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA**

Declaration is made to original purchaser of the survey. It is not transferable to additional institutions or subsequent owners. Survey is valid only if print has original seal of surveyor. Property is surveyed in accordance with the Louisiana "Standards of Practice for Property Boundary Surveys" for a Class D survey. Bearings are based on record bearings unless noted otherwise.

**THERONE TILLISON**

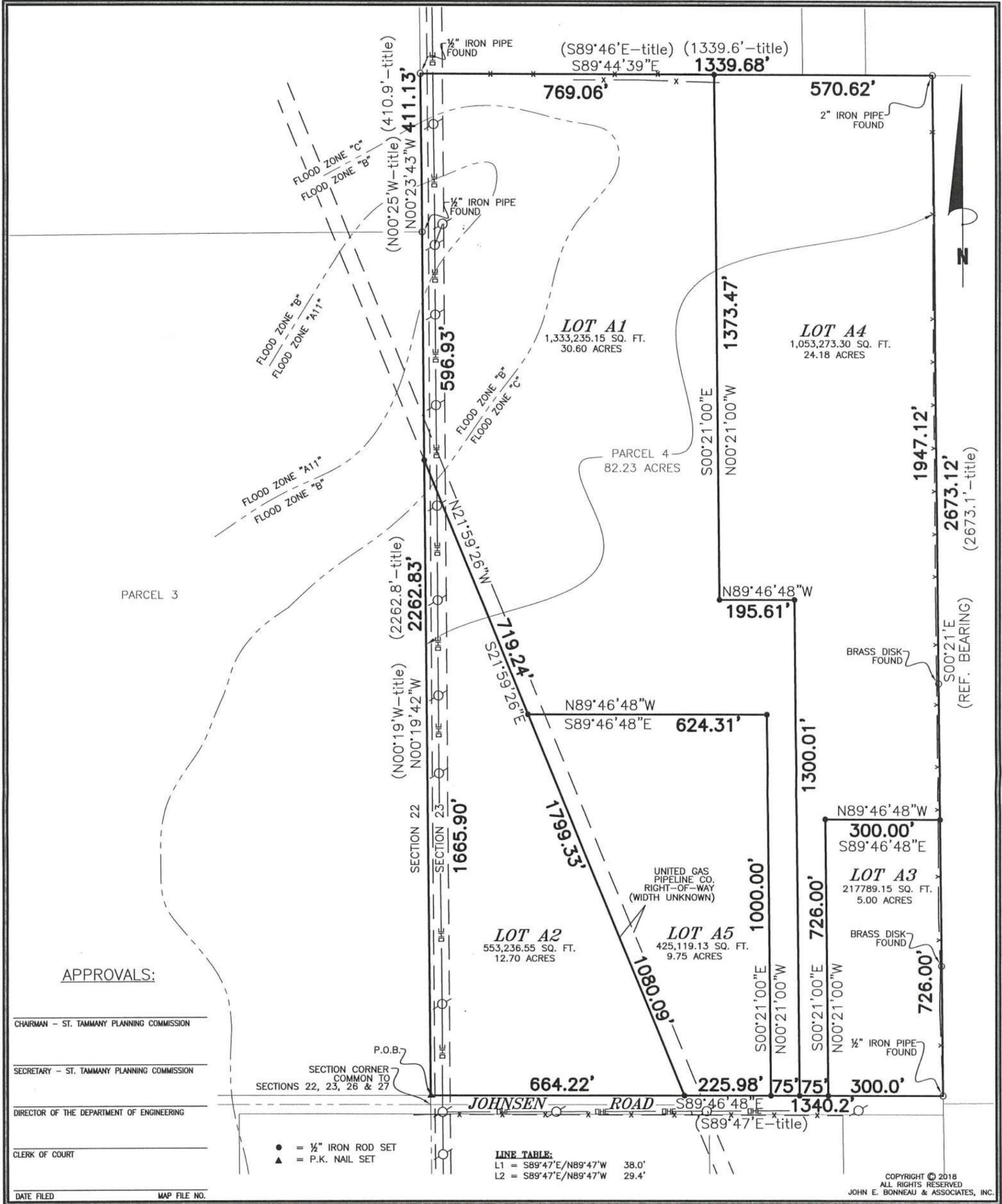
**J.V. Burkes & Associates, Inc.**  
 SURVEYING ENGINEERING • ENVIRONMENTAL

1805 Shortcut Highway  
 Slidell, Louisiana 70458  
 E-mail: jvbassoc@jvburkes.com

Phone: 985-649-0075 Fax: 985-649-0154

**SEAN M. BURKES**  
 LA REG. NO. 4785





**APPROVALS:**

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION  
 SECRETARY - ST. TAMMANY PLANNING COMMISSION  
 DIRECTOR OF THE DEPARTMENT OF ENGINEERING  
 CLERK OF COURT  
 DATE FILED \_\_\_\_\_ MAP FILE NO. \_\_\_\_\_

- = 1/2" IRON ROD SET
- ▲ = P.K. NAIL SET

**LINE TABLE:**

L1	= S89°47'E/N89°47'W	38.0'
L2	= S89°47'E/N89°47'W	29.4'

COPYRIGHT © 2018  
 ALL RIGHTS RESERVED  
 JOHN E. BONNEAU & ASSOCIATES, INC.

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL; AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE "STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS" AS ADOPTED BY THE STATE OF LOUISIANA, BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS "D" SURVEY.

**NOTE:** The P.O.B. is reported to be N00°19'W - 25' from the Section Corner common to Sections 22, 23, 26 & 27, T-6-S, R-11-E, St. Tammany Parish, Louisiana  
**REFERENCE SURVEYS:**  
 1. A survey by Land Surveying, Inc. dated December 04, 1981 with number 2538.  
 2. The recorded subdivision map of Bogue Glen, Addition one to Magnolia Gardens, Phase two.  
**BASIS FOR BEARINGS:** The Reference Survey 1.

A RESUBDIVISION MAP OF  
**PARCEL 4 BEING 82.23 ACRES AND SITUATED IN SECTION 23, T-6-S, R-11-E**  
 into  
**LOTS A1, A2, A3, A4 & A5**  
 St. Tammany Parish, Louisiana  
 for  
**JOHNSEN ROAD PARTNERSHIP IN COMMENDAM TMC REALTY, L.L.C.**

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C", "B" & "A11" with a Base Flood Elevation of 28' in accordance with Community Panel No. 225205 0150 C ; Revised: OCTOBER 17, 1989

Survey No. 2020 1238 Drawn by: SPH Scale: 1" = 250'  
 Date: JUNE 03, 2020 Revised: 10/15/20(CERT.); 11/06/20(OFFICE)

**JOHN E. BONNEAU & ASSOCIATES, INC.**  
 Professional Land Surveyors • Planners and Consultants  
 1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471  
 (985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778  
 www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.  
**NOTE:** Setback lines shall be verified by owner and/or contractor prior to any construction, as an abstract has not been performed by the undersigned.  
 Servitudes shown hereon are not necessarily exclusive. Servitudes of record as shown on title opinion or title policy will be added hereto upon request, as surveyor has not performed any title search or abstract.

This Survey is Certified True and Correct By  
**JOHN E. BONNEAU**  
 LICENSE No. 442  
 PROFESSIONAL  
 John E. Bonneau  
 Professional Land Surveyor  
 Registration No. 4423

# **RESUBDIVISION REVIEW**

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## RESUBDIVISION STAFF ANALYSIS REPORT

*(As of December 7, 2020)*

*Meeting Date: December 15, 2020*

CASE FILE NO: 2020-2129-MRP

NAME OF SUBDIVISION: Town of Mandeville

LOTS BEING DIVIDED: Resubdivision of Lots 11-30 into lots 11A, 13A, 15A, 17A, 19A, 21A, 23A, 25A, 27A & 29A square 346B

SECTION: 44

WARD: 4

TOWNSHIP: 8 South

PARISH COUNCIL DISTRICT: 7

RANGE: 12 East

PROPERTY LOCATION: The property is on the north side of Nelson Place, on the east side of Ozone Place and on the west side of Rapatel Street, Mandeville

ZONING: A-4 Single Family Residential District

PROPERTY OWNER: SMS Holdings Company, LLC - Sean Delaney

### **STAFF COMMENTARY:**

The owner is requesting to create 10 lots by combining a total of 20 lots.

The reason for the public hearing requirement is that the proposal involves the creation/adjustment of more than five (5) lots.

The request shall be subject to the below comments:

- As per 911 addressing, the survey should be amended to show "Nelson Street" instead of "Nelson Place".

A RESUBDIVISION MAP OF  
 LOTS 11-30, SQ. 346B, TOWN OF MANDEVILLE  
 into  
 Section 44, T-8-S, R-12-E  
 St. Tammany Parish, Louisiana  
 for  
 SMS HOLDINGS COMPANY, LLC, SEAN DELANCY, SEAN KILLEEN  
 AND MICHAEL DEMORAN

Professional Land Surveyors  
**JOHN E. BONNEAU & ASSOCIATES, INC.**  
 Planners and Consultants  
 1011 NORTH CAUSEWAY BLVD., SUITE 34 • MANDEVILLE, LA 70471  
 (985)845-1012 • (985)845-1013 • FAX NO. (985)845-1778  
 www.JEBCOLandSurveying.com • e-mail: info@jebcosurvey.com

Survey No. 2019 441 A  
 Date: FEBRUARY 05, 2020  
 Revised: 09/16/20(office)  
 Scale: 1" = 50'

**FLOODZONE NOTE:** This is to certify that I have consulted the Federal Insurance Administration Flood Hazard Boundary Maps and found the property described is located in Flood Zone(s) "C" with a Base Flood Elevation of N/A in accordance with Community Panel No. 225205 0360 C; Revised: APRIL 2, 1991

THIS IS TO CERTIFY THAT THIS SURVEY WAS DONE UNDER MY DIRECT SUPERVISION AND CONTROL AND THAT THE SURVEY WAS DONE ON THE GROUND AND IS IN ACCORDANCE WITH THE STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS AS ADOPTED BY THE STATE OF LOUISIANA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR A CLASS D SURVEY.

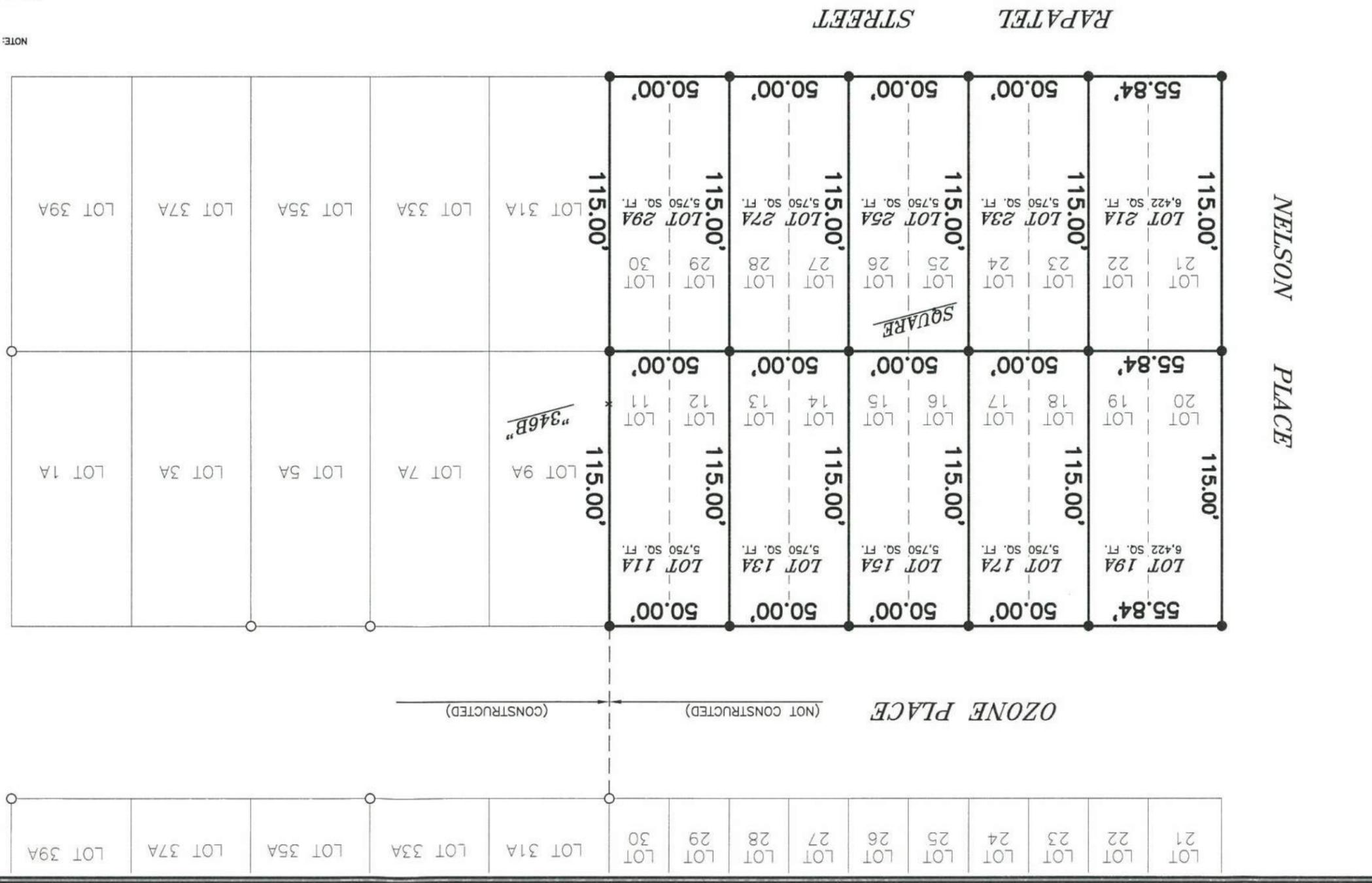
○ = 1/2" IRON ROD FOUND  
 ● = 1/2" IRON ROD SET

**BUILDING SETBACKS**  
 FRONT: N/A  
 SIDE: N/A  
 SIDE STREET: N/A  
 REAR: N/A

**NOTE:** This is to certify that I have done an actual ground survey and found that no encroachments exist either way across any property lines except as shown.

**REFERENCE SURVEY:**  
 A survey by Land Surveying Inc. dated 7-14-82 with number 2715.

**BASIS FOR BEARINGS/ANGLES:**  
 The Reference Survey.



**NOTE:** INTERIOR LOT ANGLES = 90°

APPROVALS:

CHAIRMAN - ST. TAMMANY PLANNING COMMISSION

SECRETARY - ST. TAMMANY PLANNING COMMISSION

DIRECTOR OF THE DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

MAP FILE NO.

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 JOHN E. BONNEAU & ASSOCIATES, INC.



## RESUBDIVISION STAFF ANALYSIS REPORT

*(As of December 7, 2020)*

*Meeting Date: December 15, 2020*

CASE FILE NO: 2020-2148-MRP

NAME OF SUBDIVISION: Bushwood Estates

LOTS BEING DIVIDED: 11.32 acres of greenspace into Lots 16-A, 17-A & the remaining greenspace

SECTION: 26 & Headright 47

WARD: 5

TOWNSHIP: 5 South

PARISH COUNCIL DISTRICT: 6

RANGE: 13 East

PROPERTY LOCATION: The property is located on the east side of Kokomo Lane, west of the Pearl River Navigation Canal, Bush Louisiana.

ZONING: A-2 Suburban Zoning District

PROPERTY OWNER: Secret Cove, LLC - Robert M. & Deborah Hogan III

### **STAFF COMMENTARY:**

The owner is requesting to create two (2) lots – Lot 16-A and Lot 17-A and remaining greenspace from 11.32 acres of greenspace. Considering that the subdivision will not exceed 25 lots, no minimum acreage of greenspace/recreation area is required to be set aside for the use of the residents.

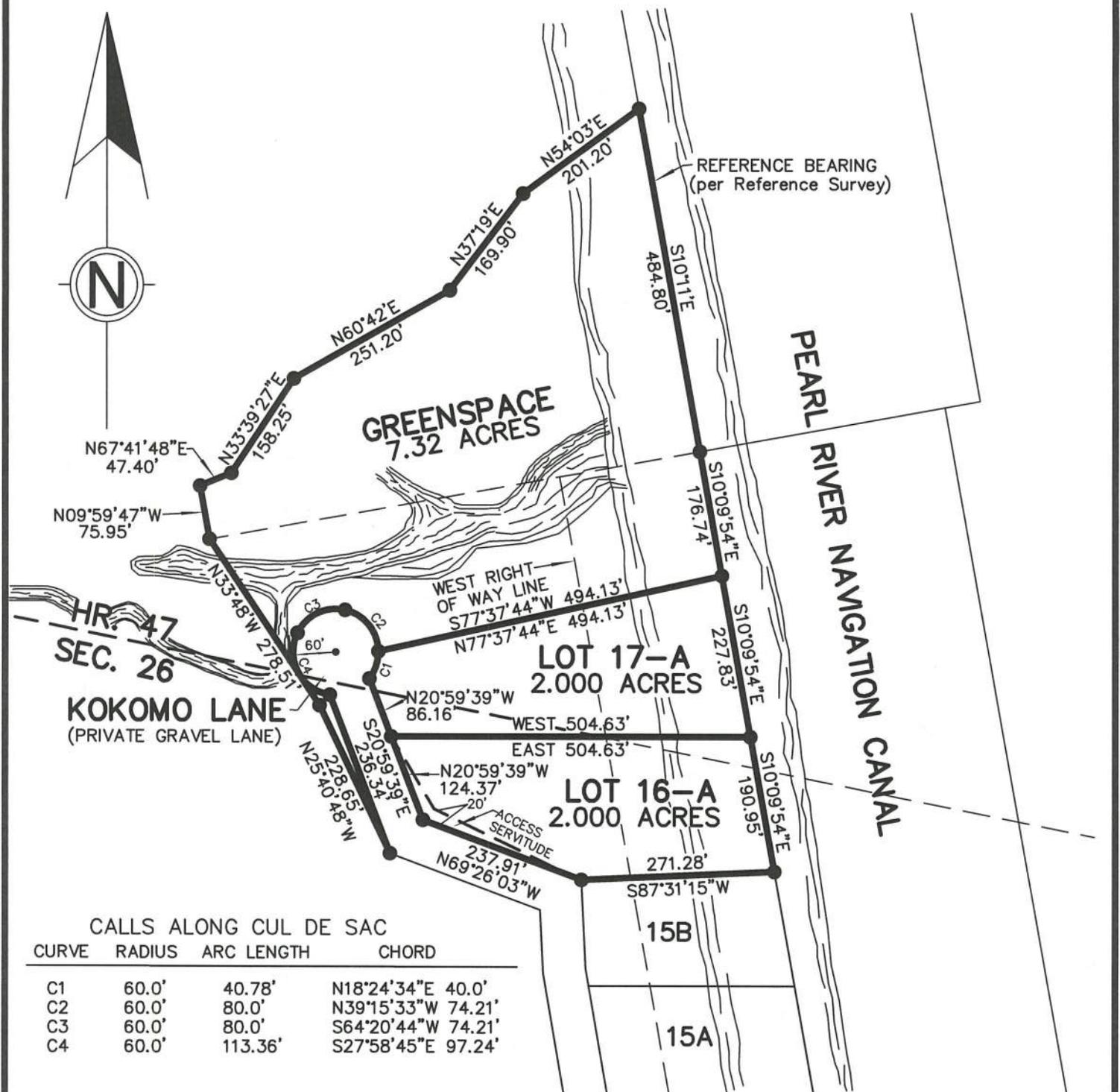
The public hearing is required considering that:

- As stated in the restrictive covenants of the approved plat, no lots shall be further resubdivided without approval from the Planning Commission.
- Lot 17-A does not meet the minimum lot width of 150 feet required under the A-2 Suburban Zoning District. The width of Parcel 17-A shall be increased to a minimum of 150 feet or requiring a waiver of the regulations by the Planning Commission.

The request shall be subject to the above & below comments:

1. Survey is amended to include a signature line for the Chairman of the Planning Commission.
2. Increase the width of proposed lot 17-A to meet the minimum lot width of 150 feet required under the A-2 Suburban Zoning District.

In order to approve the request a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.



CALLS ALONG CUL DE SAC

CURVE	RADIUS	ARC LENGTH	CHORD
C1	60.0'	40.78'	N18°24'34"E 40.0'
C2	60.0'	80.0'	N39°15'33"W 74.21'
C3	60.0'	80.0'	S64°20'44"W 74.21'
C4	60.0'	113.36'	S27°58'45"E 97.24'

**NOTE:**

This property is located in Flood Zone A, per F.E.M.A. Map No. 225205 0180 B, dated March 1, 1984.

**REFERENCE SURVEY:**

Plat of Bushwood Estates (a re-plat) by John G. Cummings, Surveyor, dated March 21, 2016, Job No. 9709-PD, filed St. Tammany Parish Clerk of Court Map File No. 5537.

THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES AND/OR RESTRICTIONS HAVE BEEN SHOWN HEREON. ANY SERVITUDES AND/OR RESTRICTIONS SHOWN ON THIS PLAT ARE LIMITED TO THOSE SET FORTH IN THE DESCRIPTION AND/OR INFORMATION FURNISHED THE UNDERSIGNED. A TITLE OR PUBLIC RECORD SEARCH FOR SUCH INFORMATION WAS NOT MADE BY THE UNDERSIGNED IN COMPILING DATA FOR THIS SURVEY.

**APPROVAL:**

\_\_\_\_\_  
 DIRECTOR OF THE DEPARTMENT OF ENGINEERING

\_\_\_\_\_  
 SECRETARY OF THE PARISH PLANNING COMMISSION

\_\_\_\_\_  
 CLERK OF COURT

\_\_\_\_\_  
 DATE FILED

\_\_\_\_\_  
 FILE NO.

(985) 892-1549

**John G. Cummings and Associates**  
 PROFESSIONAL LAND SURVEYORS

FAX (985) 892-9250

503 N. JEFFERSON AVENUE

COVINGTON, LA 70433

PLAT PREPARED FOR: *Secret Cove, LLC*

SHOWING A SURVEY OF: A RESUBDIVISION OF 11.32 ACRES OF GREENSPACE INTO LOTS 16-A, 17-A, & THE REMAINING GREENSPACE, BUSHWOOD ESTATES (RE-PLAT), LOCATED IN SECTION 26 & HEADRIGHT 47, TOWNSHIP 5 SOUTH, RANGE 13 EAST, ST. TAMMANY PARISH, LOUISIANA.

THIS PLAT REPRESENTS A PHYSICAL SURVEY MADE ON THE GROUND BY ME, OR THOSE UNDER MY DIRECTION, AND IS IN ACCORDANCE WITH THE APPLICABLE STANDARDS OF PRACTICE AND BEARS A CLASS C SURVEY.

*John G. Cummings*  
 PROFESSIONAL LAND SURVEYOR



SCALE: 1" = 200'

JOB NO. 9709-2GS-RSB

DATE: 10/9/2019

REVISED:

**PRELIMINARY SUBDIVISION  
REVIEW**

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**Preliminary Plat:**

1. Provide dimensions for the revised drainage servitude to the east of Lot #2488.

**Water and Sewer Plan:**

2. Provide written plan approval from Oak Harbor East Utilities for this phase of Lakeshore Villages.
3. Provide a water and sewer letter of capacity for this phase of Lakeshore Villages from Oak Harbor East Utilities.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Lakeshore Villages.

The Traffic Impact Analysis for the Lakeshore Villages Development has been updated to include Phase 12 of the development. The updated study needs to be reviewed and approved by STP and LADOTD once LADOTD roadway construction in this area has been completed.

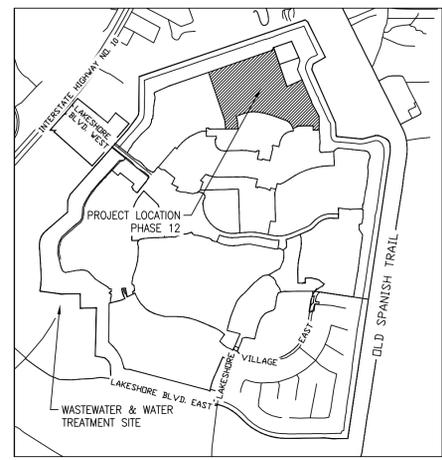
A St. Tammany Parish stormwater agreement signed and completed by the owner or contractor will need to be submitted for this phase of Lakeshore Villages.

No funded **Maintenance Obligation** is required since this a Community Development District owned and maintained subdivision.

**No Mandatory Developmental fees** are required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

**PLAT SHOWING PRELIMINARY  
SUBDIVISION  
OF  
LAKESHORE VILLAGES (PHASE 12)**  
LOCATED IN SECTIONS 25 & 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA



**VICINITY MAP**

**PRELIMINARY PLANS  
RECEIVED  
11/24/2020 - 10:00 A.M.  
DEVELOPMENT  
ENGINEERING**  
**ENGINEERING  
REVIEW COPY**

**OPEN GREEN SPACE CALCULATIONS (PHASE 12)**

OPEN/GREEN SPACE REQUIRED	
67.65 ACRES	X 0.25 S.F. OPEN/GREEN SPACE
<b>16.912 ACRES REQUIRED</b> (=736,696± S.F.)	

OPEN/GREEN SPACE REQUIRED	OPEN/GREEN SPACE PROVIDED
3.062 ACRES (PHASE 3A)	3.316 ACRES (PHASE 3A)
2.606 ACRES (PHASE 3B)	0.770 ACRES (PHASE 3B)
36.493 ACRES (PHASE 4A)	439.779 ACRES (PHASE 4A)
1.779 ACRES (PHASE 4B)	1.289 ACRES (PHASE 4B)
3.863 ACRES (PHASE 5)	0.657 ACRES (PHASE 5)
4.109 ACRES (PHASE 6)	4.109 ACRES (PHASE 6)
5.851 ACRES (PHASE 7)	5.777 ACRES (PHASE 7)
16.449 ACRES (PHASE 8)	2.226 ACRES (PHASE 8)
20.285 ACRES (PHASE 9)	6.040 ACRES (PHASE 9)
8.681 ACRES (PHASE 10)	0.000 ACRES (PHASE 10)
6.650 ACRES (PHASE 11)	5.335 ACRES (PHASE 11)
5.715 ACRES (PHASE 12)	5.715 ACRES (PHASE 12)
<b>144.677 ACRES TOTAL OPEN/GREEN SPACE REQUIRED</b>	<b>475.015 ACRES TOTAL PROVIDED</b>

**DEDICATION:**  
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

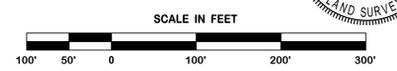
**APPROVALS:**

CHAIRMAN - PARISH PLANNING COMMISSION	_____
SECRETARY - PARISH PLANNING COMMISSION	_____
DIRECTOR OF DEPARTMENT OF ENGINEERING	_____
CLERK OF COURT	_____
DATE FILED	FILE NO. _____

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 11/24/2020  
DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



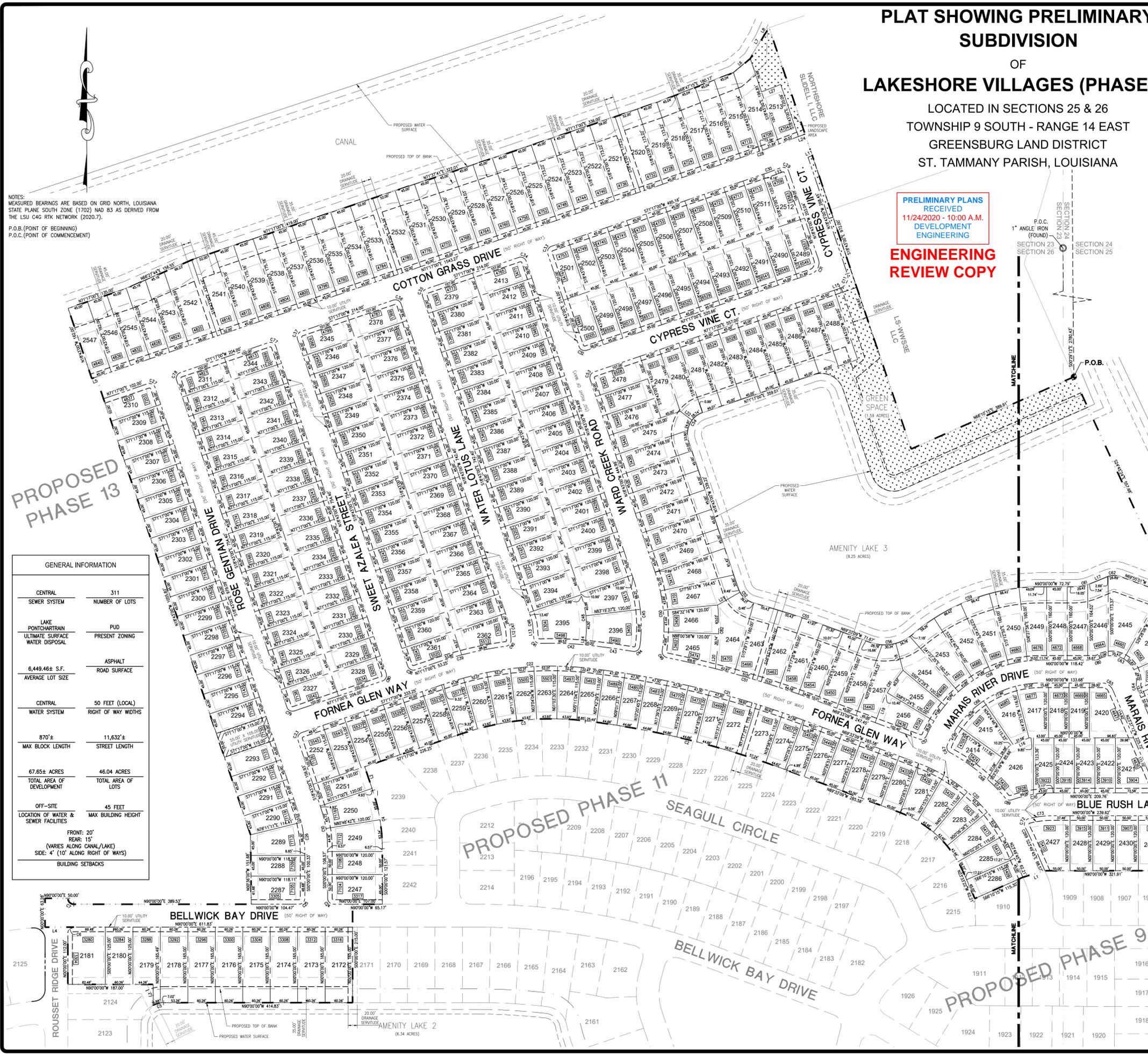
NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) MAD 83 AS DERIVED FROM THE LSU CAG RTK NETWORK (2020.7).  
P.O.B. (POINT OF BEGINNING)  
P.O.C. (POINT OF COMMENCEMENT)

**GENERAL INFORMATION**

CENTRAL SEWER SYSTEM	311 NUMBER OF LOTS
LAKE PONCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
6,449.46± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
870'± MAX BLOCK LENGTH	11,632'± STREET LENGTH
67.65± ACRES TOTAL AREA OF DEVELOPMENT	46.04 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	

**BUILDING SETBACKS**

FRONT: 20'
REAR: 15'
(VARIES ALONG CANAL/LAKE)
SIDE: 4' (10' ALONG RIGHT OF WAYS)



REVISION	BY
PER COMMENTS	
11/20/2020	BPV

**DUPLANTIS DESIGN GROUP, PC**  
SURVEY

16564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190

1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
[www.ddgpc.com](http://www.ddgpc.com)

**SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH**

FOR:  
**DR HORTON, INC. - GULF COAST**

**DRAWN**  
BPV

**CHECKED**  
DLG

**PROJECT NO.**  
20-398

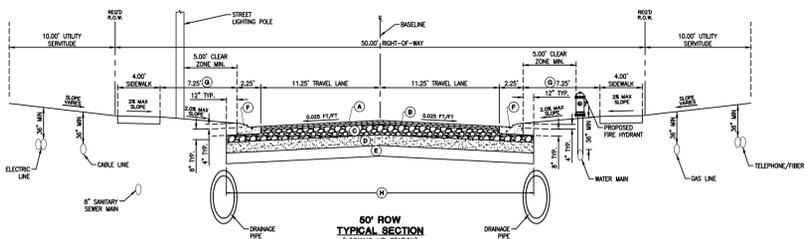
**FILE**  
20-398 PHASE 12  
PRELIMINARY REV1

**SHEET**  
1-2

# PLAT SHOWING PRELIMINARY SUBDIVISION

## OF LAKESHORE VILLAGES (PHASE 12)

LOCATED IN SECTIONS 25 & 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA



### LEGEND

- (A) 1-1/2" LEVEL 1 (PC-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL 1 (PC-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
- (G) HYDROSEED WITH STRAW OR SOO DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION

### NOTES

1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
2. CONTRACTOR MAY UTILIZE AN ALTERNATIVE CLASS II BASE COURSE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
3. BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
  - LIQUID LIMIT: 40 MAXIMUM
  - PLASTICITY INDEX: 20 MAXIMUM
  - INERT MATERIAL (NON-EXPANSIVE)
  - FREE OF ORGANICS
  - MAXIMUM PARTICLE SIZE: 2-INCHES
4. EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
5. THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
6. CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.



NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM THE LSU C4G RTK NETWORK (2020.8).  
P.O.B. (POINT OF BEGINNING)  
P.O.C. (POINT OF COMMENCEMENT)

PARCEL CURVE DATA					PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE	CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	045°43'24"	245.00'	195.52'	N46°41'27"W - 190.37'	C31	090°00'00"	25.00'	39.27'	N28°17'00"E - 35.36'
C2	013°29'32"	1940.00'	456.84'	N76°17'55"W - 455.78'	C32	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C3	025°40'19"	610.00'	273.32'	S84°07'09"W - 271.04'	C33	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C4	018°43'00"	395.00'	129.03'	S09°21'30"E - 128.46'	C34	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C5	027°23'14"	50.00'	23.90'	S76°18'23"W - 23.67'	C35	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C6	090°00'00"	13.00'	20.42'	N45°00'00"E - 18.38'	C36	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C7	090°00'02"	13.00'	20.42'	S44°59'59"E - 18.38'	C37	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C10	018°43'00"	275.00'	89.83'	S09°21'30"E - 89.43'	C38	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C11	090°00'00"	25.00'	39.27'	N28°17'00"E - 35.36'	C39	011°17'32"	775.00'	152.74'	N76°55'46"E - 152.49'
C20	045°43'24"	360.00'	287.29'	N46°41'27"W - 279.73'	C40	087°14'09"	13.00'	19.79'	N38°57'27"E - 17.94'
C21	013°29'32"	2055.00'	483.92'	N76°17'55"W - 482.80'	C41	087°14'09"	13.00'	19.79'	S48°16'42"E - 17.94'
C22	025°40'19"	725.00'	324.84'	S84°07'09"W - 322.13'	C42	080°51'06"	775.00'	119.73'	S87°28'14"E - 119.61'
C23	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'	C43	002°20'00"	2105.00'	85.72'	S81°52'41"E - 85.72'
C24	090°00'00"	13.00'	20.42'	S45°00'00"E - 18.38'	C44	091°12'44"	13.00'	20.70'	N53°40'57"E - 18.58'
C25	090°00'00"	13.00'	20.42'	S45°00'00"W - 18.38'	C45	026°47'35"	315.00'	147.30'	N05°19'13"W - 145.96'
C26	018°43'00"	275.00'	89.83'	S09°21'30"E - 89.43'	C46	014°03'22"	75.00'	18.40'	S11°41'19"E - 18.35'
C27	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'	C47	014°03'22"	25.00'	6.13'	N11°41'19"W - 6.12'
C28	002°11'07"	475.00'	18.12'	N70°11'27"E - 18.12'	C48	024°10'43"	195.00'	82.29'	N06°37'38"W - 81.68'
C29	092°11'07"	13.00'	20.92'	N64°48'33"W - 18.73'	C49	087°10'53"	13.00'	19.78'	N35°03'49"W - 17.93'
C30	002°11'07"	525.00'	20.02'	S70°11'27"W - 20.02'	C50	027°14'37"	365.00'	173.55'	N05°05'41"W - 171.92'

PARCEL CURVE DATA					PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE	CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C51	009°06'06"	2105.00'	334.39'	N74°06'12"W - 334.03'	C71	113°37'12"	13.00'	25.78'	N33°11'24"E - 21.76'
C52	055°48'32"	50.00'	48.70'	N46°37'16"W - 46.80'	C72	105°15'54"	13.00'	23.88'	S23°47'52"W - 20.66'
C53	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'	C73	013°34'11"	225.00'	53.29'	S83°12'55"W - 53.16'
C54	090°00'00"	50.00'	78.54'	N26°17'00"E - 70.71'	C74	079°52'27"	13.00'	18.12'	N50°03'47"W - 16.69'
C55	004°58'23"	2265.00'	196.59'	N72°02'21"W - 196.53'	C75	010°07'33"	125.00'	22.09'	N05°03'47"W - 22.06'
C56	06°57'48"	95.00'	101.08'	S79°57'56"W - 96.38'	C76	023°37'12"	175.00'	72.14'	N11°48'36"W - 71.63'
C57	086°57'56"	13.00'	19.73'	S66°57'52"W - 17.89'	C77	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C58	066°31'06"	275.00'	319.26'	S56°44'27"W - 301.63'	C78	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C59	040°30'58"	435.00'	307.60'	S69°44'31"W - 301.24'	C79	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C60	030°25'16"	15.00'	7.96'	S74°47'22"W - 7.87'	C80	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C61	022°17'22"	95.00'	36.96'	S78°51'19"W - 36.72'	C81	010°15'26"	395.00'	70.71'	S34°39'48"W - 70.62'
C62	042°22'21"	40.00'	29.58'	S85°53'49"W - 28.91'	C82	01°10'44"	485.00'	93.77'	N00°04'36"E - 93.63'
C63	128°22'55"	55.00'	123.24'	N56°13'49"W - 99.03'	C269	005°00'20"	410.00'	35.82'	S26°19'55"E - 35.81'
C64	031°34'51"	15.00'	8.27'	N07°49'46"W - 8.16'					
C65	066°22'48"	25.00'	28.96'	N56°48'36"W - 27.37'					
C66	066°30'08"	225.00'	261.15'	S56°44'56"W - 246.74'					
C67	085°12'01"	13.00'	19.33'	S19°06'09"E - 17.60'					
C68	022°02'55"	410.00'	157.78'	S50°40'41"E - 156.81'					
C69	069°31'37"	13.00'	15.78'	S74°25'02"E - 14.82'					
C70	008°57'33"	275.00'	43.00'	N85°31'14"E - 42.96'					

LINE TABLE			LINE TABLE		
LINE	BEARING	LENGTH	LINE	BEARING	LENGTH
L1	S73°25'12"W	50.40'	L14	N05°27'43"E	22.51'
L2	S18°43'00"E	54.93'	L15	N71°17'00"E	13.66'
L3	N00°00'00"E	45.60'	L16	S67°15'28"W	47.82'
L4	S89°44'34"W	63.00'	L17	S67°42'38"W	38.25'
L5	S71°17'00"W	10.10'	L18	N15°12'33"W	60.57'
L6	N50°15'09"E	48.21'	L19	S20°26'51"W	60.14'
L7	N30°49'51"E	59.14'	L20	N06°15'12"E	45.85'
L8	N32°56'20"E	20.09'	L21	N60°24'19"E	55.81'
L10	N48°03'59"W	55.03'	L22	S52°47'18"E	32.09'
L11	N69°05'53"E	10.01'	L23	S69°05'53"W	16.99'
L12	N04°39'38"W	25.09'	L24	N71°17'00"E	15.76'
L13	S04°39'38"E	25.09'	L27	N69°09'18"E	45.03'

### DESCRIPTION PHASE 12:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 12, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST; THENCE S00°29'38"E A DISTANCE OF 2780.43 FEET FOR A POINT OF BEGINNING; THENCE S24°45'24"E A DISTANCE OF 557.68 FEET TO A POINT; THENCE S26°53'02"E A DISTANCE OF 81.53 FEET TO A POINT; THENCE S22°44'10"E A DISTANCE OF 149.02 FEET TO A POINT; THENCE S27°58'43"E A DISTANCE OF 201.84 FEET TO A POINT; THENCE S05°58'40"W A DISTANCE OF 134.30 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 135.00 FEET TO A POINT; THENCE N00°00'00"W A DISTANCE OF 150.00 FEET TO A POINT; THENCE N00°00'00"W A DISTANCE OF 84.52 FEET TO A POINT; THENCE N90°00'00"W A DISTANCE OF 321.91 FEET TO A POINT; THENCE S73°25'12"W A DISTANCE OF 50.40 FEET TO A POINT; THENCE S66°10'15"W A DISTANCE OF 115.30 FEET TO A POINT; THENCE N23°33'22"W A DISTANCE OF 62.21 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 195.52 FEET, SAID CURVE HAVING A RADIUS OF 245.00 FEET, AND A CHORD WITH A BEARING OF N44°12'27"W AND A LENGTH OF 190.37 FEET TO A POINT; THENCE N69°33'09"W A DISTANCE OF 265.58 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 456.84 FEET, SAID CURVE HAVING A RADIUS OF 1940.00 FEET, AND A CHORD WITH A BEARING OF N76°17'55"W AND A LENGTH OF 455.78 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 273.32 FEET, SAID CURVE HAVING A RADIUS OF 610.00 FEET, AND A CHORD WITH A BEARING OF N76°17'55"W AND A LENGTH OF 271.04 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 112.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 204.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF N45°00'00"E AND A LENGTH OF 18.38 FEET TO A POINT; THENCE S71°17'00"W A DISTANCE OF 226.25 FEET TO A POINT; THENCE S18°43'00"E A DISTANCE OF 54.93 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 129.03 FEET, SAID CURVE HAVING A RADIUS OF 395.00 FEET, AND A CHORD WITH A BEARING OF S09°21'30"E AND A LENGTH OF 128.46 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 121.57 FEET TO A POINT; THENCE N90°00'00"W A DISTANCE OF 65.17 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 215.00 FEET TO A POINT; THENCE N90°00'00"W A DISTANCE OF 414.83 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 23.90 FEET, SAID CURVE HAVING A RADIUS OF 50.00 FEET, AND A CHORD WITH A BEARING OF S76°18'23"W AND A LENGTH OF 23.67 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 45.60 FEET TO A POINT; THENCE N90°00'00"W A DISTANCE OF 187.00 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 112.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 20.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF N45°00'00"E AND A LENGTH OF 18.38 FEET TO A POINT; THENCE S89°44'34"W A DISTANCE OF 63.00 FEET TO A POINT; THENCE N00°00'00"E A DISTANCE OF 63.28 FEET TO A POINT; THENCE N90°00'00"E A DISTANCE OF 50.00 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 20.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF S44°59'59"E AND A LENGTH OF 18.38 FEET TO A POINT; THENCE N90°00'00"E A DISTANCE OF 389.53 FEET TO A POINT; THENCE N00°36'00"W A DISTANCE OF 151.68 FEET TO A POINT; THENCE N18°43'00"W A DISTANCE OF 1055.82 FEET TO A POINT; THENCE S71°17'00"W A DISTANCE OF 10.10 FEET TO A POINT; THENCE N18°43'00"W A DISTANCE OF 162.00 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 135.00 FEET TO A POINT; THENCE N66°27'44"E A DISTANCE OF 156.55 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 419.00 FEET TO A POINT; THENCE N71°37'41"E A DISTANCE OF 322.01 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 336.00 FEET TO A POINT; THENCE N68°47'15"E A DISTANCE OF 180.17 FEET TO A POINT; THENCE N50°15'09"E A DISTANCE OF 48.21 FEET TO A POINT; THENCE N30°49'51"E A DISTANCE OF 59.14 FEET TO A POINT; THENCE N32°56'20"E A DISTANCE OF 20.09 FEET TO A POINT; THENCE S18°43'00"E A DISTANCE OF 972.00 FEET TO A POINT; THENCE N66°10'15"E A DISTANCE OF 389.91 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 67.649 ACRES AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OR RECORD.

### RESTRICTIVE COVENANTS:

1. NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND NO DRAINAGE OR CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
2. CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
3. LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
4. THE MINIMUM FINISHED FLOOR ELEVATION FOR ALL RESIDENTIAL HOMES SHALL MEET THE LATEST ADOPTED F.I.R.M. MAP OR 1 FOOT ABOVE THE CENTERLINE OF THE ROAD, WHICHEVER IS GREATER.
5. NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
6. DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE LOADED. LOT 2428 IS TO BE FRONT LOADED WITH A MINIMUM DISTANCE OF 47 FEET BETWEEN THE EDGE OF DRIVEWAY AND PROPERTY CORNER WHERE THE TWO STREET RIGHTS-OF-WAY INTERSECT.
7. IT SHALL BE PROHIBITED FOR ANY LOT WITHIN AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
8. THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
9. THE RESIDENTS WITHIN PHASE 12 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATED WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSES.
10. THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
11. THE FOREMENTIONED RESTRICTIONS SHALL BE RECITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

APPROVALS:

CLERK OF COURT

DATE FILED \_\_\_\_\_ FILE NO. \_\_\_\_\_

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 11/24/2020

*Dennis L. Gowin*  
DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



REVISION	BY
PER COMMENTS	
11/20/2020	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
16564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.243.6180 \ FAX: 985.249.6190  
1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12)  
SLIDELL, LOUISIANA  
(PRELIMINARY)  
ST. TAMMANY PARISH  
FOR:  
DR HORTON, INC. - GULF COAST

DRAWN  
BPV  
CHECKED  
DLG  
PROJECT NO.  
20-398  
FILE  
20-398 PHASE 12  
PRELIMINARY REV1  
SHEET  
2-2



**Water and Sewer Plan:**

1. Provide written plan approval from Oak Harbor East Utilities for this phase of Lakeshore Villages.
2. Provide a water and sewer letter of capacity for this phase of Lakeshore Villages from Oak Harbor East Utilities.
3. Add a fire hydrant along Sea Breeze Drive so that the required fire hydrant spacing (maximum 500') is met.

**Striping and Signage Plan:**

4. Revise plans to include the required blue reflectors call-out at all fire hydrant locations as shown on the water and sewer plans.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

A Letter of No Objection regarding the water and sewer improvements needs to be issued on behalf of The Department of Environmental Services for this phase of Lakeshore Villages.

The Traffic Impact Analysis for the Lakeshore Villages Development has been updated to include Phase 13 of the development. The updated study needs to be reviewed and approved by STP and LADOTD once LADOTD roadway construction in this area has been completed.

A St. Tammany Parish stormwater agreement signed and completed by the owner or contractor will need to be submitted for this phase of Lakeshore Villages.

No funded **Maintenance Obligation** is required since this a Community Development District owned and maintained subdivision.

**No Mandatory Developmental fees** are required at Final Submittal in accordance with St. Tammany Code of Ordinances, Part II "Land Development Code," Chapter 125 "Subdivision Regulations," since a public hearing was held prior to January 1, 2005.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

# PLAT SHOWING PRELIMINARY SUBDIVISION

## OF LAKESHORE VILLAGES (PHASE 13)

LOCATED IN SECTION 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

### RESTRICTIVE COVENANTS:

- NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH. WHENEVER A SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY), NO PRIVATE WATER SUPPLY MAY BE DRILLED OR OTHERWISE CONSTRUCTED ON ANY LOT FOR THE PURPOSE OF SUPPLYING POTABLE WATER TO ANY BUILDING OR STRUCTURE, EXCEPT FOR THE PURPOSE OF IRRIGATION, AND IN NO EVENT SHALL THERE BE A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF THE COMMUNITY (CENTRAL) WATER SYSTEM (SUPPLY).
- CONSTRUCTION OF ANY NATURE IS PROHIBITED IN DRAINAGE OR STREET EASEMENTS.
- LOTS MAY NOT BE USED FOR THE STORAGE OF TRASH OR JUNK VEHICLES.
- THE MINIMUM FINISHED FLOOR ELEVATION FOR ALL RESIDENTIAL HOMES SHALL MEET THE LATEST ADOPTED F.I.R.M. MAP OR 1 FOOT ABOVE THE CENTERLINE OF THE ROAD, WHICHEVER IS GREATER.
- NO LOT WILL BE FURTHER SUBDIVIDED WITHOUT APPROVAL OF THE PLANNING COMMISSION AND THE DEPARTMENT OF ENVIRONMENTAL SERVICES OF THE PARISH.
- DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN 60 FEET FROM A CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE PROPERTY LINES ON THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHTS-OF-WAY INTERSECT. IF THERE ARE LOTS THAT DO NOT COMPLY WITH THIS AS FRONT-LOADED LOTS, THEY ARE TO BE SIDE-LOADED.
- IT SHALL BE PROHIBITED FOR ANY LOT WITH AN APPROVED SUBDIVISION TO HAVE REAR ACCESS VIA A DRIVEWAY TO OR FROM ANY STREET OR ROAD THAT IS NOT DEDICATED WITHIN THE BOUNDARIES OF THE APPROVED SUBDIVISION PLAT.
- THE HOME BUILDER IS RESPONSIBLE FOR THE CONSTRUCTION OF THE SIDEWALK ALONG THE LOTS.
- THE RESIDENTS WITHIN PHASE 13 WILL HAVE THE RIGHT TO UTILIZE THE EXISTING CENTRAL LAKE LOCATED WITHIN THE LAKESHORE VILLAGES DEVELOPMENT FOR RECREATIONAL PURPOSE.
- THE EXISTING STORMWATER DETENTION SYSTEM, INCLUDING THE CANALS, LAKES, AND PUMP STATION, ARE TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT.
- THE AFORESAID RESTRICTIONS SHALL BE REITED IN EACH TITLE OR DEED IN ADDITION TO THE REQUIRED LISTING ON THE FINAL SUBDIVISION PLAT.

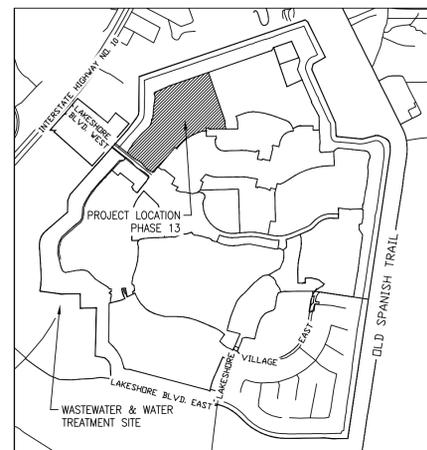
NOTES:  
MEASURED BEARINGS ARE BASED ON GRID NORTH, LOUISIANA  
STATE PLANE SOUTH ZONE (1702) NAD 83 AS DERIVED FROM  
THE LSU C4G RTK NETWORK (2020.7).

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	090°00'02"	13.00'	20.42'	N44°59'59"W - 18.38'
C2	019°37'00"	625.00'	213.98'	S76°00'20"W - 212.94'
C3	027°19'41"	935.00'	445.96'	S52°32'00"W - 441.75'
C6	036°56'21"	176.35'	113.70'	N10°20'27"E - 111.74'
C8	021°08'37"	162.39'	59.93'	N24°40'53"E - 59.59'
C10	051°44'48"	36.94'	33.36'	N15°53'57"E - 32.24'
C11	056°38'23"	44.56'	44.05'	S75°49'17"W - 42.28'
C12	041°54'50"	43.19'	31.60'	N56°37'53"W - 30.90'
C13	078°56'30"	52.65'	72.53'	S86°59'11"W - 66.93'
C17	077°47'47"	50.37'	68.39'	S20°35'16"W - 63.25'
C195	092°37'20"	25.00'	40.41'	S04°49'20"E - 36.16'
C196	083°42'05"	25.00'	36.52'	N87°00'57"E - 33.36'
C197	096°17'55"	13.00'	21.85'	N02°59'03"W - 19.37'
C198	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C199	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C200	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C201	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C202	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C216	090°00'09"	13.00'	20.42'	N06°07'55"W - 18.39'
C217	087°22'40"	13.00'	19.83'	S85°10'40"W - 17.96'
C218	028°57'18"	25.00'	12.63'	S30°41'16"W - 12.50'
C223	041°24'35"	25.00'	18.07'	N03°25'43"W - 17.68'
C224	041°24'35"	25.00'	18.07'	N71°50'17"W - 17.68'
C229	020°21'51"	25.00'	8.89'	N51°40'16"E - 8.84'
C234	028°57'18"	25.00'	12.63'	N02°29'09"E - 12.50'
C239	028°57'18"	25.00'	12.63'	S36°39'21"E - 12.50'
C240	080°40'08"	13.00'	18.30'	N88°31'56"E - 16.83'
C246	084°54'50"	13.00'	19.27'	N23°44'25"E - 17.55'
C247	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C251	144°19'12"	75.00'	188.91'	N00°52'36"W - 142.79'
C254	005°38'55"	1170.00'	115.35'	N41°39'37"E - 115.30'
C256	095°37'05"	13.00'	21.70'	N03°19'28"W - 19.26'
C263	111°54'12"	25.00'	48.83'	S72°54'54"W - 41.43'
C268	092°37'20"	13.00'	21.02'	S04°49'20"E - 18.80'
C273	090°01'51"	13.00'	20.43'	N83°51'05"E - 18.39'
C277	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C278	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C279	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C455	090°00'00"	13.00'	20.42'	N63°43'00"W - 18.38'
C458	090°00'00"	13.00'	20.42'	S26°17'00"W - 18.38'
C475	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C478	087°21'03"	13.00'	19.82'	S43°40'32"W - 17.95'
C498	089°59'51"	13.00'	20.42'	S83°52'05"W - 18.38'
C500	089°58'09"	13.00'	20.41'	N06°08'55"W - 18.38'
C521	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C523	016°41'53"	300.00'	87.43'	S10°22'03"E - 87.12'
C524	002°01'07"	300.00'	10.57'	S01°00'33"E - 10.57'
C526	144°19'12"	36.25'	91.31'	S00°52'36"E - 69.01'
C528	090°00'00"	13.00'	20.42'	N45°00'00"W - 18.38'
C534	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C538	090°00'00"	13.00'	20.42'	N26°17'00"E - 18.38'
C539	090°00'00"	13.00'	20.42'	S63°43'00"E - 18.38'
C544	090°00'00"	13.00'	20.42'	S45°00'00"W - 18.38'
C546	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C547	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C548	018°43'00"	505.00'	164.97'	S09°21'30"E - 164.23'
C549	018°43'00"	555.00'	181.30'	N09°21'30"W - 180.50'
C551	018°43'00"	350.00'	114.33'	N09°21'30"W - 113.83'
C555	035°40'48"	125.00'	77.84'	N89°07'24"E - 76.59'
C561	035°40'48"	175.00'	108.98'	S89°07'24"W - 107.23'

PARCEL CURVE DATA				
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C562	051°04'27"	50.68'	45.18'	S47°02'58"E - 43.70'
C565	017°59'58"	1170.00'	367.56'	N57°11'51"E - 366.05'
C567	169°48'48"	55.00'	163.01'	N72°54'54"E - 109.57'
C568	024°31'33"	325.00'	139.12'	N29°13'34"E - 138.06'
C569	154°23'46"	55.00'	148.21'	N15°20'42"W - 107.27'
C570	154°03'58"	55.00'	147.89'	N86°45'24"W - 107.19'
C572	024°31'33"	375.00'	160.52'	S29°13'34"W - 159.30'
C574	027°19'41"	985.00'	469.81'	S52°32'00"W - 465.37'
C576	021°09'13"	675.00'	249.21'	S76°46'27"W - 247.80'
C578	005°05'10"	810.00'	71.90'	N68°44'25"E - 71.88'
C580	020°40'52"	1120.00'	404.27'	N55°51'24"E - 402.07'

GENERAL INFORMATION	
CENTRAL SEWER SYSTEM	244 NUMBER OF LOTS
LAKE PONCHARTRAIN ULTIMATE SURFACE WATER DISPOSAL	PUD PRESENT ZONING
7912.08± S.F. AVERAGE LOT SIZE	ASPHALT ROAD SURFACE
CENTRAL WATER SYSTEM	50 FEET (LOCAL) RIGHT OF WAY WIDTHS
1,159± MAX BLOCK LENGTH	10,131± STREET LENGTH
60.43± ACRES TOTAL AREA OF DEVELOPMENT	44.32 ACRES TOTAL AREA OF LOTS
OFF-SITE LOCATION OF WATER & SEWER FACILITIES	45 FEET MAX BUILDING HEIGHT
FRONT: 20' REAR: 15' (VARIES ALONG CANAL/LAKE) SIDE: 4' (10' ALONG RIGHT OF WAYS)	BUILDING SETBACKS

LINE TABLE		
LINE	BEARING	LENGTH
L1	N71°17'00"E	10.10'
L2	N90°00'00"W	50.00'
L3	S00°00'00"E	63.28'
L4	N51°08'09"W	50.00'
L5	N51°05'35"W	20.71'
L10	N66°13'19"E	89.05'
L15	S12°02'53"W	41.50'
L16	N39°33'39"E	42.37'
L17	S58°30'19"W	13.50'
L18	N39°55'20"E	49.39'
L19	S16°21'28"E	45.32'
L20	S09°17'11"E	38.08'
L21	S00°32'35"E	16.13'
L22	S00°00'00"E	52.62'
L23	N00°00'00"E	45.80'
L24	S00°00'00"E	45.80'
L25	N00°00'00"E	33.44'
L26	S40°24'53"E	21.16'
L27	S74°55'20"E	36.42'
L28	N86°51'58"E	51.91'
L30	S83°35'48"E	14.30'
L31	N16°57'48"E	34.00'
L32	N68°34'34"W	47.43'
L33	N08°40'40"W	29.55'
L35	N34°27'10"E	50.36'
L92	N16°57'48"E	22.93'
L104	S41°29'20"W	19.04'
L105	S16°57'48"W	17.26'
L106	S00°00'00"E	34.17'
L107	S18°43'00"E	11.41'
L108	N66°11'50"E	65.34'



VICINITY MAP

### OPEN GREEN SPACE CALCULATIONS (PHASE 13)

OPEN GREEN SPACE REQUIRED	
60.385 ACRES	X 0.25 S.F. OPEN/GREEN SPACE
15.096 ACRES REQUIRED	(=657,593± S.F.)
OPEN/GREEN SPACE REQUIRED	OPEN/GREEN SPACE PROVIDED
3.062 ACRES (PHASE 3A)	3.318 ACRES (PHASE 3A)
2.606 ACRES (PHASE 3B)	0.770 ACRES (PHASE 3B)
36.493 ACRES (PHASE 4A)	439.779 ACRES (PHASE 4A)
1.779 ACRES (PHASE 4B)	1.289 ACRES (PHASE 4B)
3.863 ACRES (PHASE 5)	0.657 ACRES (PHASE 5)
22.246 ACRES (PHASE 6)	4.109 ACRES (PHASE 6)
5.651 ACRES (PHASE 7)	5.777 ACRES (PHASE 7)
15.449 ACRES (PHASE 8)	2.228 ACRES (PHASE 8)
20.285 ACRES (PHASE 9)	6.040 ACRES (PHASE 9)
6.881 ACRES (PHASE 10)	0.000 ACRES (PHASE 10)
6.650 ACRES (PHASE 11)	5.335 ACRES (PHASE 11)
16.912 ACRES (PHASE 12)	5.715 ACRES (PHASE 12)
15.096 ACRES (PHASE 13)	2.874 ACRES (PHASE 13)
159.674 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	477.689 ACRES TOTAL PROVIDED

DEDICATION:  
ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVICES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

### APPROVALS:

CHAIRMAN - PARISH PLANNING COMMISSION

SECRETARY - PARISH PLANNING COMMISSION

DIRECTOR OF DEPARTMENT OF ENGINEERING

CLERK OF COURT

DATE FILED

FILE NO.

(OWNER/OWNER REPRESENTATIVE)  
DR HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS: 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

DATE OF PLAT: 11/24/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



PRELIMINARY PLANS  
RECEIVED  
11/24/2020  
DEVELOPMENT  
ENGINEERING

ENGINEERING  
REVIEW COPY

REVISION	BY
PER COMMENTS	
11/20/2020	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
16564 Brewster Road, Suite 101  
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1308 Camellia Blvd, Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13)  
SLIDELL, LOUISIANA  
(PRELIMINARY)  
ST. TAMMANY PARISH  
FOR:  
DR HORTON, INC. - GULF COAST

DRAWN  
BPV  
CHECKED  
DLG  
PROJECT NO.  
20-399  
FILE  
20-399 PHASE 13  
PRELIMINARY REV1  
SHEET  
1-2

# PLAT SHOWING PRELIMINARY SUBDIVISION

## OF LAKESHORE VILLAGES (PHASE 13)

LOCATED IN SECTION 26  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
GREENSBURG LAND DISTRICT  
ST. TAMMANY PARISH, LOUISIANA

### BENCHMARK:

ELEVATIONS SHOWN ARE NAVD 1988 (GEOID 12B) AS DERIVED FROM GPS OBSERVATIONS USING THE LSU C4G NETWORK (2020.8).

SITE BENCHMARK #1: 600 NAIL SET IN POWER POLE LOCATED AT NORTH 632550 AND EAST 3776515, LOUISIANA STATE PLANE SOUTH ZONE.  
ELEVATION: 2.53

SITE BENCHMARK #1: 600 NAIL SET IN POWER POLE LOCATED AT GRID NORTH 633409 AND EAST 3776895 OF LOUISIANA STATE PLANE SOUTH ZONE.  
ELEVATION: 2.53

### NOTES:

1) ZONING:  
THE SUBJECT PROPERTY IS PART OF LAKESHORE VILLAGE PUD "Y" (PLANNED UNIT DEVELOPMENT), USE AREA LV-3 (SINGLE AND MULTI-FAMILY RESIDENTIAL).

2) PLATTED BUILDING SETBACKS:  
FRONT: 20'  
REAR: 15' (VARIES ALONG CANAL/LAKE)  
SIDE: 4' (10' ALONG STREET RIGHTS OF WAY)

### REFERENCES:

A) PLAT SHOWING PRELIMINARY SUBDIVISION OF LAKESHORE VILLAGES (PHASE 9) LOCATED IN SECTIONS 25, 26, & 35, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.

B) PLAT SHOWING TENTATIVE SUBDIVISION OF LAKESHORE VILLAGES (PHASE 12) LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH-RANGE 14 EAST GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA.

### FLOOD ZONE NOTE:

SURVEYOR HAS CONSULTED THE FEMA FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THIS LOCATION AND FOUND THAT THE SUBJECT PROPERTY IS IN A SPECIAL FLOOD HAZARD AREA: FLOOD ZONE: AH & X (SHADED)

BASE FLOOD ELEVATION: -3'  
COMMUNITY PANEL NO. 225205 0635 D  
MAP REVISED: APRIL 16, 2020

### NOTES:

MAP REVISION IS FROM LETTER OF MAP REVISION, CASE NO. 19-06-185P, EFFECTIVE DATE APRIL 16, 2020.

CONTACT ST. TAMMANY PARISH FOR ANY ADDITIONAL ELEVATION REQUIREMENTS.

### WETLANDS:

WETLANDS HAVE BEEN PERMITTED BY PERMIT NO. MWN 2002-1717, DATED MAY 7, 2004, MODIFIED JUNE 27, 2005 AND FEBRUARY 3, 2011.

### LANDFILL:

SURVEYOR HAS NO KNOWLEDGE OF OR HAS OBSERVED ANY LANDFILLS ON THE SUBJECT PROPERTY.

### GREENSPACES:

GREEN SPACES SHOWN ARE TO BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.

### UTILITY LOCATIONS:

UTILITIES SHOWN HAVE BEEN LOCATED FROM VISIBLE UTILITY FEATURES. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, EXCEPT FOR ABOVE GROUND VISIBLE UTILITY FEATURES, NO EXCAVATIONS WERE MADE DURING THE PROCESS OF THIS SURVEY TO LOCATE BURIED UTILITIES/STRUCTURES.

### TITLE:

THE SERVITUDES AND RESTRICTIONS SHOWN HEREON ARE LIMITED TO THOSE SET FORTH IN THE INFORMATION PROVIDED TO US. THERE IS NO REPRESENTATION MADE BY THIS SURVEYOR THAT ALL APPLICABLE SERVITUDES AND RESTRICTIONS ARE SHOWN. TITLE WAS NOT RESEARCHED IN PREPARATION OF THIS SURVEY.

### DEDICATION:

ALL STREET RIGHTS-OF-WAY SHOWN HEREON ARE NOT DEDICATED TO THE PARISH OF ST. TAMMANY BUT ARE DEDICATED TO THE PERPETUAL USE OF THE COMMUNITY DEVELOPMENT DISTRICT AND IS TO BE OWNED AND MAINTAINED BY THE COMMUNITY DEVELOPMENT DISTRICT. EASEMENTS SHALL BE RESERVED FOR DRAINAGE AND UTILITIES AS INDICATED HEREON AND NO OBSTRUCTIONS OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR INTENDED USE. THE DEVELOPER OR HOMEOWNERS ASSOCIATION IS RESPONSIBLE FOR MAINTENANCE OF ALL GREEN SPACES, DRAINAGE SERVITUDES, STREET SIGNS, AND TRAFFIC CONTROL SIGNS.

### APPROVALS:

CLERK OF COURT	FILE NO.
DATE FILED	

(OWNER/OWNER REPRESENTATIVE)  
DR. HORTON, INC. - GULF COAST  
7696 VINCENT ROAD  
DENHAM SPRINGS, LA 70726

I CERTIFY THAT THIS PRELIMINARY PLAT REPRESENTS AN ACTUAL GROUND SURVEY MADE BY ME OR UNDER MY DIRECT SUPERVISION, AND IS NOT IN FULL COMPLIANCE WITH LA RS. 33:5051 AND THE REQUIREMENTS OF THE CURRENT LOUISIANA STANDARDS OF PRACTICE FOR BOUNDARY SURVEYS FOR A CLASS "C" SURVEY, SINCE ALL CORNERS ARE NOT SET.

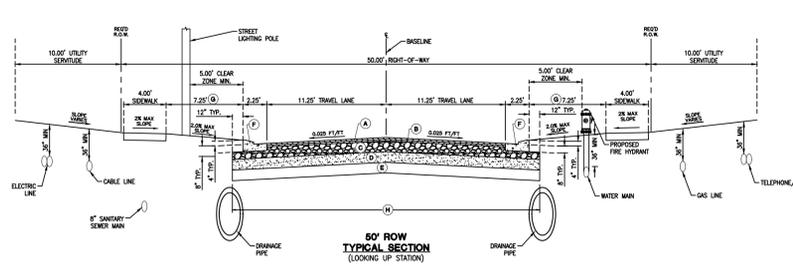
DATE OF PLAT: 11/24/2020

DENNIS L. GOWIN, P.L.S.: LA REG. NO. 4846  
REGISTERED PROFESSIONAL LAND SURVEYOR



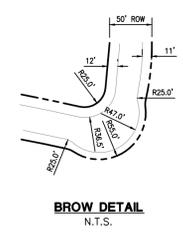
### LEGEND:

- (A) 1-1/2" LEVEL 1 (PG-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE WEARING COURSE
- (B) 1-1/2" LEVEL 1 (PG-22M, 0.5" NOMINAL MIX) ASPHALTIC CONCRETE BINDER COURSE
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) 4" HIGH MOUNTABLE CONCRETE CURB AND GUTTER WITH 12" GUTTER AND 15" MOUNTABLE CURB
- (G) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (H) GENERAL EXCAVATION



### NOTES:

- ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
- CONTRACTOR MAY UTILIZE AN ALTERNATIVE CLASS II BASE COURSE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 1003 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
- BASED ON THE PAVEMENT SECTION DESIGN RECOMMENDATION LETTERS PREPARED BY PREMIER GEOTECH AND TESTING, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
  - LIQUID LIMIT: 40 MAXIMUM
  - PLASTICITY INDEX: 20 MAXIMUM
  - INERT MATERIAL (NON-EXPANSIVE)
  - FREE OF ORGANICS
  - MAXIMUM PARTICLE SIZE: 2-INCHES
- EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.
- THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.
- CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

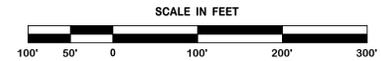


### DESCRIPTION PHASE 13:

THAT CERTAIN PIECE OR PARCEL OF LAND DESIGNATED AS LAKESHORE VILLAGES, PHASE 13, A SUBDIVISION OF A PORTION OF LOT A-1-A, LOCATED IN SECTIONS 25 & 26, TOWNSHIP 9 SOUTH, RANGE 14 EAST, GREENSBURG LAND DISTRICT, PARISH OF ST. TAMMANY, STATE OF LOUISIANA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A 1" ANGLE IRON FOUND AT THE CORNER COMMON TO SECTIONS 23, 24, 25 AND 26, SAID TOWNSHIP 9 SOUTH, RANGE 14 EAST; THENCE S39°41'31"E A DISTANCE OF 3418.54 FEET FOR A POINT OF BEGINNING; THENCE S18°43'00"E A DISTANCE OF 162.00 FEET TO A POINT; THENCE N71°17'00"E A DISTANCE OF 10.10 FEET TO A POINT; THENCE S18°43'00"E A DISTANCE OF 1055.82 FEET TO A POINT; THENCE S00°36'00"E A DISTANCE OF 151.68 FEET TO A POINT; THENCE N9°00'00"W A DISTANCE OF 389.53 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 20.42 FEET, SAID CURVE HAVING A RADIUS OF 13.00 FEET, AND A CHORD WITH A BEARING OF N44°59'59"W AND A LENGTH OF 18.38 FEET TO A POINT; THENCE N60°00'00"W A DISTANCE OF 50.00 FEET TO A POINT; THENCE S00°00'00"E A DISTANCE OF 63.28 FEET TO A POINT; THENCE S87°02'42"W A DISTANCE OF 26.86 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 213.98 FEET, SAID CURVE HAVING A RADIUS OF 625.00 FEET, AND A CHORD WITH A BEARING OF S76°00'20"W AND A LENGTH OF 212.94 FEET TO A POINT; THENCE S66°11'50"W A DISTANCE OF 100.10 FEET TO A POINT; THENCE S38°54'25"W A DISTANCE OF 125.45 FEET TO A POINT; THENCE S75°32'58"W A DISTANCE OF 43.21 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 445.96 FEET, SAID CURVE HAVING A RADIUS OF 935.00 FEET, AND A CHORD WITH A BEARING OF S52°32'00"W AND A LENGTH OF 441.75 FEET TO A POINT; THENCE S38°52'09"W A DISTANCE OF 57.08 FEET TO A POINT; THENCE N51°08'09"W A DISTANCE OF 50.00 FEET TO A POINT; THENCE S38°52'09"W A DISTANCE OF 532.71 FEET TO A POINT; THENCE S41°38'48"W A DISTANCE OF 100.10 FEET TO A POINT; THENCE S38°54'25"W A DISTANCE OF 125.45 FEET TO A POINT; THENCE S75°32'58"W A DISTANCE OF 43.21 FEET TO A POINT; THENCE N63°04'32"W A DISTANCE OF 133.49 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 20.71 FEET TO A POINT; THENCE N41°19'08"W A DISTANCE OF 176.71 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 82.47 FEET TO A POINT; THENCE N63°15'22"W A DISTANCE OF 142.31 FEET TO A POINT; THENCE N51°05'35"W A DISTANCE OF 204.36 FEET TO A POINT; THENCE N30°08'57"E A DISTANCE OF 190.30 FEET TO A POINT; THENCE N39°33'39"E A DISTANCE OF 42.37 FEET TO A POINT; THENCE N58°30'19"E A DISTANCE OF 13.50 FEET TO A POINT; THENCE N39°55'20"E A DISTANCE OF 49.39 FEET TO A POINT; THENCE N41°29'20"E A DISTANCE OF 289.68 FEET TO A POINT; THENCE N41°18'32"E A DISTANCE OF 250.00 FEET TO A POINT; THENCE N34°27'10"E A DISTANCE OF 50.36 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 113.70 FEET, SAID CURVE HAVING A RADIUS OF 176.35 FEET, AND A CHORD WITH A BEARING OF N10°20'27"E AND A LENGTH OF 111.74 FEET TO A POINT; THENCE ALONG A CURVE TO THE LEFT AN ARC DISTANCE OF 59.93 FEET, SAID CURVE HAVING A RADIUS OF 162.39 FEET, AND A CHORD WITH A BEARING OF N24°40'53"E AND A LENGTH OF 59.59 FEET TO A POINT; THENCE ALONG A CURVE TO THE RIGHT AN ARC DISTANCE OF 33.36 FEET, SAID CURVE HAVING A RADIUS OF 36.94 FEET, AND A CHORD WITH A BEARING OF N15°53'57"E AND A LENGTH OF 32.24 FEET TO A POINT; THENCE N04°34'19"E A DISTANCE OF 408.65 FEET TO A POINT; THENCE N08°56'17"E A DISTANCE OF 125.69 FEET TO A POINT; THENCE N55°11'24"E A DISTANCE OF 76.82 FEET TO A POINT; THENCE N66°55'47"E A DISTANCE OF 309.77 FEET TO A POINT; THENCE N73°56'36"E A DISTANCE OF 112.94 FEET TO A POINT; THENCE N71°40'39"E A DISTANCE OF 168.53 FEET TO A POINT; THENCE N72°53'07"E A DISTANCE OF 150.63 FEET TO A POINT; THENCE N71°23'56"E A DISTANCE OF 138.71 FEET TO A POINT; THENCE N73°13'10"E A DISTANCE OF 117.48 FEET TO A POINT; THENCE N72°42'25"E A DISTANCE OF 269.28 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL CONTAINS 60.385 ACRES AND IS SUBJECT TO ANY SERVITUDES OR RESTRICTIONS OF RECORD.



REVISION	BY
PER COMMENTS	
11/20/2020	BPV

DUPLANTIS DESIGN GROUP, PC  
SURVEY  
16564 Brewster Road, Suite 101  
Covington, LA 70433  
Phone: 985.249.6180 \ FAX: 985.249.6190  
1308 Camellia Blvd., Suite 200  
Lafayette, LA 70508  
WWW.ddgpc.com



SUBDIVISION OF LAKESHORE VILLAGES (PHASE 13)  
SLIDELL, LOUISIANA  
ST. TAMMANY PARISH  
FOR:  
DR. HORTON, INC. - GULF COAST

DRAWN BPV
CHECKED DLG
PROJECT NO. 20-399
FILE 20-399 PHASE 13 PRELIMINARY REV1
SHEET 2-2

**FINAL SUBDIVISION REVIEW**

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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of November 30, 2020)*

CASE NO.: 2020-2122-FP

SUBDIVISION NAME: Hunter's Haven, Phase 1

DEVELOPER: Favret Investments, LLC  
68359 Taulla Drive  
Covington, LA 70433

ENGINEER/SURVEYOR: Kelly McHugh & Associates, Inc.  
845 Galvez Street  
Mandeville, LA 70448

SECTION: 54  
TOWNSHIP: 7 SOUTH  
RANGE: 11 EAST

WARD: 4  
PARISH COUNCIL DISTRICT: 4

TYPE OF DEVELOPMENT:                     URBAN (Residential lots less than 1 acre)  
                                                  SUBURBAN (Residential lots between 1-5 acres)  
                                                  RURAL (Residential Farm Tract lots 5 acres plus)  
                                                  OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION:            The property is located on the west side of Penn's Chapel Road, south of LA Highway 22, Mandeville, Louisiana

TOTAL ACRES IN DEVELOPMENT: 14.512 Acres

NUMBER OF LOTS: 32                    AVERAGE LOT SIZE: Varies

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "A13"

**STAFF COMMENTARY:**

This project was postponed for one month at the November 10, 2020 Planning Commission meeting.

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and a confirmation final inspection was made on November 24, 2020. The inspection disclosed that all of the asphalt roads are constructed, but the roadside ditches need final grading.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

**General Comments:**

1. Provide a recreation/amenity plan for the “Park Area”, including a schedule on when the amenities will be installed.
2. The roadside ditch front slopes need to be reworked to provide the required slide slope. (Typical Comment)
3. The roadway cross culvert near Lots #15 & #16 needs to have erosion control measures installed on the upstream and downstream side of the culvert.

**Final Plat:**

4. The developer will need to contact the 911 Addressing Office to have road names and addresses verified and approved for this development.
5. Revise restrictive covenant #14 to state that the H.O.A. will be responsible to maintain the greenspace area, the park area, and all associated amenities within this phase of Hunter’s Haven.

**Water & Sewer Plan:**

6. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Tammany Utilities.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for final approval, a Warranty Obligation will be required for the infrastructure in the amount of 2,000 linear feet x \$22.00 per linear foot = \$44,000.00 for a period of two (2) years.

Mandatory Developmental Fees are required as follows:

Road Impact Fee = \$1,077.00 per lot x 32 lots = \$34,464.00

Drainage Impact Fee = \$1,114.00 per lot x 32 lots = \$35,648.00

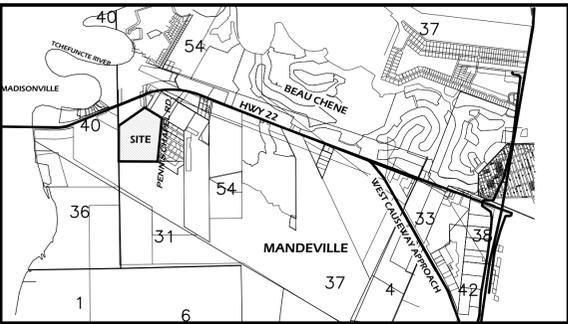
Fees are due before subdivision plats can be signed.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

# HUNTER'S HAVEN SUBDIVISION, PHASE 1

(FORMERLY KNOWN AS HOULTONVILLE ESTATES)  
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,  
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA

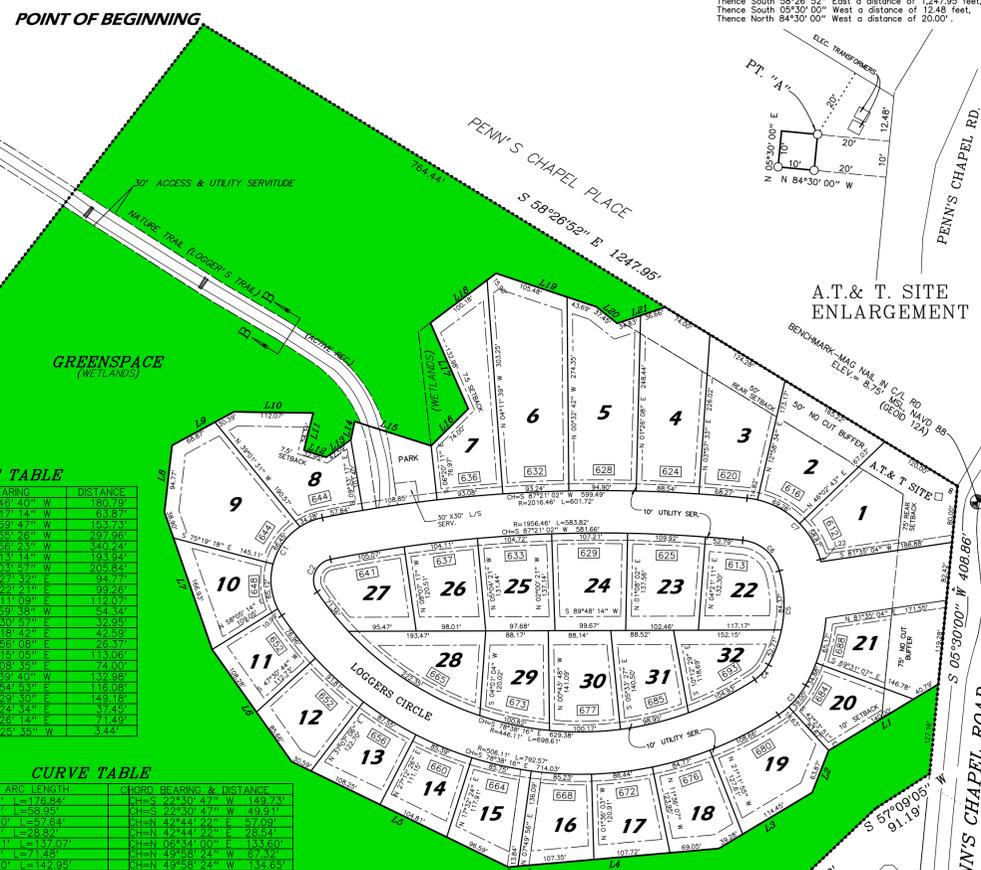
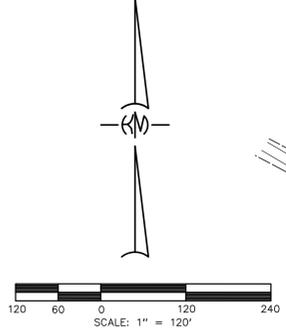


VICINITY MAP

Legal Description  
A PARCEL OF LAND LOCATED IN SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST, GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LOUISIANA, MORE FULLY DESCRIBED AS FOLLOWS, TO-WIT:  
COMMENCE AT A POINT HERETOFORE DESCRIBED AS BEING SOUTH 1,986.17 FEET, OF THE ONE-HALF (1/2) MILE POST NORTH OF THE FIFTH MILE POST BETWEEN TOWNSHIP 7 SOUTH, RANGE 10 EAST AND TOWNSHIP 7 SOUTH, RANGE 11 EAST; THENCE NORTH 37 DEGREES 39 MINUTES 07 SECONDS EAST A DISTANCE OF 1401.95 TO THE POINT OF BEGINNING.

FROM THE POINT OF BEGINNING measure  
South 58°26'52" East a distance of 1247.95 feet to a point;  
Thence South 05°30'00" West a distance of 408.86 feet to a point;  
Thence South 57°09'05" West a distance of 91.19 feet to a point;  
Thence South 48°24'16" West a distance of 452.28 feet to a point;  
Thence South 02°11'19" West a distance of 53.38 feet to a point;  
Thence South 67°02'50" West a distance of 99.70 feet to a point;  
Thence North 80°26'37" West a distance of 582.87 feet to a point;  
Thence North 89°23'40" West a distance of 156.56 feet to a point;  
Thence North 73°59'07" East a distance of 1,375.87 feet to the POINT OF BEGINNING, and containing 39.6190 acre(s) of land, more or less.

Point "A" is described as being South a distance of 1,986.17 feet, of the one-half (1/2) mile post North of the Fifth mile post between Township 7 South, Range 10 East and Township 7 South, Range 11 East; Thence North 37°39'07" East a distance of 1401.95 feet, Thence South 58°26'52" East a distance of 1247.95 feet, Thence South 05°30'00" West a distance of 408.86 feet, Thence North 84°30'00" West a distance of 20.00'.



**LINE TABLE**

LINE	BEARING	DISTANCE
1	S 89°46' 40" W	80.79
2	S 71°17' 18" W	53.97
3	S 58°50' 42" W	49.71
4	S 84°55' 26" W	49.95
5	N 83°58' 23" W	130.92
6	N 55°13' 14" W	13.94
7	N 19°03' 57" W	205.84
8	N 08°29' 34" E	94.77
9	N 08°29' 34" E	39.26
10	S 89°11' 09" W	17.07
11	S 73°59' 07" W	54.34
12	S 73°59' 07" W	32.95
13	N 84°18' 42" E	42.59
14	N 11°55' 08" E	26.37
15	N 52°54' 33" E	113.06
16	N 45°08' 38" E	74.00
17	N 23°39' 40" W	152.95
18	N 89°23' 40" W	156.56
19	S 71°29' 30" E	44.18
20	S 81°24' 34" E	37.45
21	N 71°29' 30" E	71.45
22	N 14°29' 35" W	1.44

**CURVE TABLE**

CURVE	RADIUS & ARC LENGTH	CHORD BEARING & DISTANCE
C1	R=90.00' L=178.84'	CH=222.07' B=153.71'
C2	R=30.00' L=58.95'	CH=59.30' B=27.77'
C3	R=120.00' L=57.64'	CH=22.44' B=27.09'
C4	R=60.00' L=28.82'	CH=11.22' B=13.54'
C5	R=175.31' L=137.07'	CH=35.41' B=133.50'
C6	R=60.00' L=71.48'	CH=19.58' B=72.79'
C7	R=120.00' L=142.95'	CH=39.16' B=144.55'

- MINIMUM RESTRICTIVE COVENANTS
- EACH LOT WILL NOT HAVE MORE THAN ONE DWELLING.
  - NO CERTIFICATE OF OCCUPANCY SHALL BE ISSUED BEFORE THE SEWERAGE AND WATER SYSTEMS ARE INSTALLED AND OPERABLE OR OTHERWISE CONNECTED TO A COMMUNITY (CENTRAL) SEWERAGE AND/OR WATER SYSTEMS, ALL AS APPROVED BY THE ST. TAMMANY PARISH ENGINEERING DEPARTMENT.
  - THE SEWERAGE AND WATER SYSTEMS FOR THIS SUBDIVISION IS SERVED BY A COMMUNITY (CENTRAL) WATER SYSTEM (CWP) IN ANY STATE OR FEDERAL JURISDICTION. THE PURPOSE OF THIS RESTRICTION IS TO ENSURE THAT THERE IS A PHYSICAL CONNECTION BETWEEN ANY SUCH SOURCE AND ANY ELEMENT OF CONSTRUCTION OF ANY NATURE, INCLUDING FENCES, IS PROHIBITED IN PARISH DRAINAGE OR STREET EASEMENTS.
  - NO NOISY OR OFFENSIVE ACTIVITY SHALL BE CARRIED ON UPON ANY LOT.
  - NO STRUCTURE OR DWELLING SHALL BE LOCATED ON ANY LOT WHICH MAY BE AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD, PARTICULARLY THE USE OF A DRIVEWAY ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT.
  - NO LOT WILL BE FURTHER RESUBDIVIDED WITHOUT THE PRIOR APPROVAL OF ST. TAMMANY PARISH.
  - EACH RESIDENCE OR ESTABLISHMENT WITHIN THE SUBDIVISION SHALL SUBSCRIBE AND BE SUBJECT TO THE WATER AND SEWERAGE SERVICES PROVIDED.
  - DRIVEWAYS ON CORNER LOTS SHALL NOT BE LOCATED ANY CLOSER THAN SIXTY (60') FEET FROM THE CORNER OF SAID PROPERTY CLOSEST TO THE INTERSECTION AS MEASURED FROM THE CORNER OF THE PROPERTY WHERE THE SAID TWO STREET RIGHT-OF-WAYS INTERSECT.
  - THE MINIMUM ELEVATION FOR THE LOWEST FLOOR OF ALL RESIDENCES SHALL BE 12" ABOVE THE CROWN OF THE STREET OR 12" ABOVE CURRENT BASE FLOOD ELEVATION WHERE THE BFE IS MORE THAN 12" BELOW THE STREET CROWN.
  - NO BUILDING OR DWELLING FOR RESIDENTIAL OR BUSINESS PURPOSES SHALL EXCEED THIRTY-FIVE (35) FEET IN HEIGHT ABOVE THE NATURAL GRADE OF THE PROPERTY AT THE LOCATION OF THE STRUCTURE OR BASE FLOOD ELEVATION WHICH EVER IS HIGHER.
  - SETBACKS FOR ACCESSORY STRUCTURE, AND MAXIMUM SIZE, WHICH CAN BE 10' FROM SIDE & REAR PROPERTY LINES OR AS FOLLOWS FOR THE SMALLER LOTS: ACCESSORY BUILDINGS WITH A SIZE OF LESS THAN SIX (6) OF THE AREA OF THE LOT ON WHICH THE MAIN BUILDING IS SITUATED MAY BE LOCATED FIVE (5) FEET FROM THE NEAREST INTERIOR SIDE & REAR LOT LINES & 25' FROM THE FRONT PROPERTY LINE, PROVIDED THE BUILDING LENGTH DOES NOT EXCEED THIRTY (30) FEET, THE BUILDING HEIGHT DOES NOT EXCEED TWENTY (20) FEET AND THE REMAINING REQUIREMENTS OF THIS SUBSECTION ARE MET. IN NO CASE CAN ACCESSORY BUILDINGS BE LESS THAN 5' FROM ANY NO CUT BUFFER.
  - THE APPOINTED RESTRICTIONS SHALL BE RECYCLED IN EACH TITLE DEED TO BE MADE BY THE HOME OWNERS ASSOCIATION.
  - THE APPOINTED RESTRICTIONS SHALL BE RECYCLED IN EACH TITLE DEED TO BE MADE BY THE HOME OWNERS ASSOCIATION.

DEDICATION  
ALL STREET RIGHTS-OF-WAY, DRAINAGE SERVICEDS AND STREET SIGNS AS SHOWN HEREON ARE HEREBY DEDICATED TO THE PUBLIC USE OF THE PUBLIC FOR PROPER USE. EASEMENTS SHALL BE RESERVED FOR DRAINAGE & UTILITIES AS INDICATED HEREON AND NO OBSTRUCTION OR IMPROVEMENTS SHALL BE ALLOWED THAT WOULD PREVENT THEM FROM BEING USED FOR THEIR INTENDED PURPOSE.

OWNER	DATE

THIS PLAN IS CERTIFIED TO CONFORM TO THE STATE OF LOUISIANA RS-33-5051 AND THE LAWS AND ORDINANCES OF ST. TAMMANY PARISH AND CERTIFIED TO BE CORRECT AND IN ACCORDANCE WITH A PHYSICAL SURVEY MADE ON THE GROUND UNDER THE SUPERVISION OF THE UNDERSIGNED SURVEYOR.

**KELLY McHUGH**  
License No. 18940  
PROFESSIONAL ENGINEER

**KELLY McHUGH**  
License No. 4443  
PROFESSIONAL SURVEYOR

11-18-20

14.512 ACRES	32	2000'	CENTRAL
AREA	NO. OF LOTS	LENGTH OF STREETS	SEWER SYSTEM
VARIABLES	VARIABLES	60' / 20'	CENTRAL
AVG. LOT SIZE	LOT FRONTAGE	STREET WIDTH	WATER SYSTEM
ASPHALT	VARIABLES	700'	MAX. B/LK LENGTH
ROAD SURFACE	LOT DEPTH	ZONING	

LAKE PONCHARTRAIN  
ULTIMATE SURFACE WATER DISPOSAL

FOR: APPROVAL:

FAVRET INVESTMENTS, LLC  
OWNER  
68359 TAULLA DR.  
COVINGTON LA., 70433  
ADDRESS

CHARMAN PARISH PLANNING COMMISSION  
SECRETARY PARISH PLANNING COMMISSION  
DIRECTOR OF ST. TAMMANY PARISH ENGINEERING

DATE FILED: FILE NO.  
CLERK OF COURT

- NOTES:
- ALL LOT CORNERS MARKED WITH 1/2" IRON RODS
  - THERE IS A 10' UTILITY SERVICED ADJACENT TO AND ON THE OUTSIDE OF ALL R.O.W. LINES.
  - INDICATES MUNICIPAL ADDRESS
  - BENCHMARK = MAG NAIL SET IN C/L OF PENN'S CHAPEL RD. ELEV. = 8.76, MSL, NAVD 88, GEOD 12A
  - THIS PROPERTY IS LOCATED IN FLOOD ZONE: A13  
BASE FLOOD ELEV.: 11.0'. RE: FIRM PANEL NO.: 225205 0220 C  
REVISED: APRIL 2, 1991
  - NO STRUCTURES SHALL BE INSTALLED NOR IMPROVEMENTS MADE WITHIN THE GREENSPACE IDENTIFIED ON THIS PLAN. THE GREENSPACE SHALL REMAIN IN ITS CURRENT CONDITION EXCEPT FOR THE REMOVAL OF DAMAGED OR DISEASED TREES AND UNDERBRUSHING
  - THE INDIVIDUAL HOME BUILDERS ARE RESPONSIBLE FOR GRADING THE LOTS TO DRAIN IN ACCORDANCE WITH THE AS BUILT DRAINAGE PLAN.

AREA BREAKDOWN

ACRES	PERCENT
TOTAL AREA PHASE 1 = 39.618 ACRES	100%
TOTAL GREENSPACE PHASE 1 = 25.106 ACRES	63%
TOTAL DEVELOPED AREA PHASES 1 = 14.512 ACRES	37%

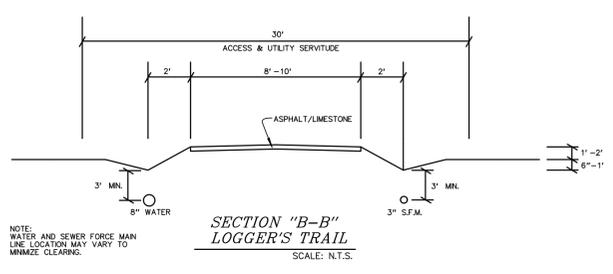
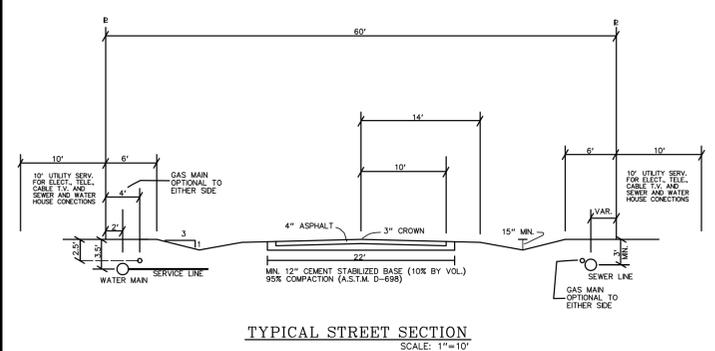
**BUILDING SETBACKS**

FRONT: 15' MIN.  
SIDE: 7.5' MIN.  
REAR: 20' MIN.  
LOT 1 REAR= 50' & 75'  
LOTS 2-4 REAR= 50'  
LOT 8 REAR= 7.5' & 20'  
LOTS 15 & 16 SIDE= 15'  
LOT 20 REAR= 10' & 75'  
LOT 21 REAR= 75'

OR AS SHOWN ON PLAN

SEE MINIMUM RESTRICTIVE COVENANTS NO. 13 FOR ACCESSORY BUILDINGS

**FINAL PLANS RECEIVED**  
11/20/2020 - 8:00 A.M.  
DEVELOPMENT ENGINEERING



**FINAL PLAN**

HUNTER'S HAVEN SUBDIVISION, PHASE 1  
(FORMERLY KNOWN AS HOULTONVILLE ESTATES)  
SECTION 54, TOWNSHIP 7 SOUTH, RANGE 11 EAST,  
GREENSBURG LAND DISTRICT, ST. TAMMANY PARISH, LA.

REVISIONS	DATE	DATE
11-21-17	09-10-20	
02-02-18	11-18-20	
07-30-18		
08-24-18		
03-28-19		
10-23-19		
11-07-19		

**KELLY J. McHUGH & ASSOC., INC.**  
CIVIL ENGINEERS & LAND SURVEYORS  
845 GALVEZ ST. - MANDEVILLE, LA.  
628-5611

SCALE: 1" = 120' DATE: 10/05/2017  
DRAWN: ATB JOB NO.: 16-020  
CHECKED: KJM DWG. NO.: 16-020-SUBD  
11-07-19

E:\SDATA\plots\HUNTERS HAVEN (HOULTONVILLE ESTATES) FINAL PLAN

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**FINAL SUBDIVISION STAFF ANALYSIS REPORT**  
*(As of November 30, 2020)*

CASE NO.: 2020-2150-FP

SUBDIVISION NAME: Lakeshore Villages, Phase 7

DEVELOPER: D.R. Horton, Inc. Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

ENGINEER/SURVEYOR: Duplantis Design Group, LLC  
16564 East Brewster Road  
Covington, LA 70433

SECTION: 25, 26, 35 & 36  
TOWNSHIP: 9 SOUTH  
RANGE: 14 EAST

WARD: 9  
PARISH COUNCIL DISTRICT: 13

TYPE OF DEVELOPMENT:                     URBAN (Residential lots less than 1 acre)  
                                                  SUBURBAN (Residential lots between 1-5 acres)  
                                                  RURAL (Residential Farm Tract lots 5 acres plus)  
                                                  OTHER (Multi family, commercial or industrial) (PUD)

GENERAL LOCATION: The property is located north of Oak Harbor Blvd., west of LA Highway 433, east of Interstate-10, Slidell, Louisiana

TOTAL ACRES IN DEVELOPMENT: 22.642 Acres

NUMBER OF LOTS: 81                    AVERAGE LOT SIZE: 10,034 Square Feet

SEWER AND WATER SYSTEMS: Central

ZONING: PUD

FLOOD ZONE DESIGNATION: "AH- EL 1.0"

**STAFF COMMENTARY:**

**Department of Planning and Development**

Periodic inspections have been made by this office during construction and the final inspection was made on November 24, 2020. The inspection disclosed that all of the asphalt roads are constructed, and the subsurface drainage is functioning.

The following uncompleted items existed at the time of the final inspection and will be completed before the plats are signed:

**General Comments:**

1. Silt fencing needs to be installed between the pond bank and the rear of the lots in accordance with the Erosion Control Plan until a mature stand of vegetation is established along all pond banks.
2. Blue reflectors need to be installed in the vicinity of all fire hydrants.
3. Pond bank erosion and pond siltation is occurring at the subsurface pipe located between Lot #1582 and Lot #1583. The erosion issues need to be corrected and the siltation removed.
4. Erosion is occurring at the subsurface outfall pipe located within the greenspace area between Lot #1608 and Lot #1609. The erosion issues need to be corrected and erosion control measures installed.
5. Remove all references to "Preliminary Plans" from the plan set. (Typical Comment)

**Final Plat:**

6. The dedication statement on page 1 and page 2 of the Final Plats differ, revise the statements to be consistent and include verbal regarding the CDD owning and maintaining the auxiliary structures, drainage servitudes, greenspaces, signage, etc.
7. The as-builts provided show a section of the pond goes outside of the drainage servitude on Lots #1604 through #1607. Revise the pond bank or drainage servitude accordingly to correct this conflict.

**Water & Sewer Plan:**

8. Provide a water and sewer Letter of Capacity for this development from Oak Harbor East Utilities.
9. Provide a letter of acceptance and responsibility for the perpetual maintenance and operation of the water and sewer systems from Oak Harbor East Utilities.
10. Remove the fire hydrant call-out from the intersection of Lakeshore Village South and Lakeshore Village East.

**Informational Items:**

The developer is responsible for contacting the USPS Regional Growth Management Coordinator to verify the appropriate mail delivery location for this development.

Should the Planning Commission approve the request for Final Approval, a Warranty Obligation will be required for the infrastructure in the amount of 3,360 linear feet x \$22.00 per linear foot = \$73,920.00 for a period of two (2) years.

No Mandatory Development fees are required since a public hearing was held prior to January 1, 2005.

This subdivision **is** within the Urban Growth Boundary Line.

Revised drawings will not be accepted for review or placement in the packet prior to the December 15, 2020 Planning Commission Meeting to ensure that any additional comments at the meeting can be incorporated into the revised plans.

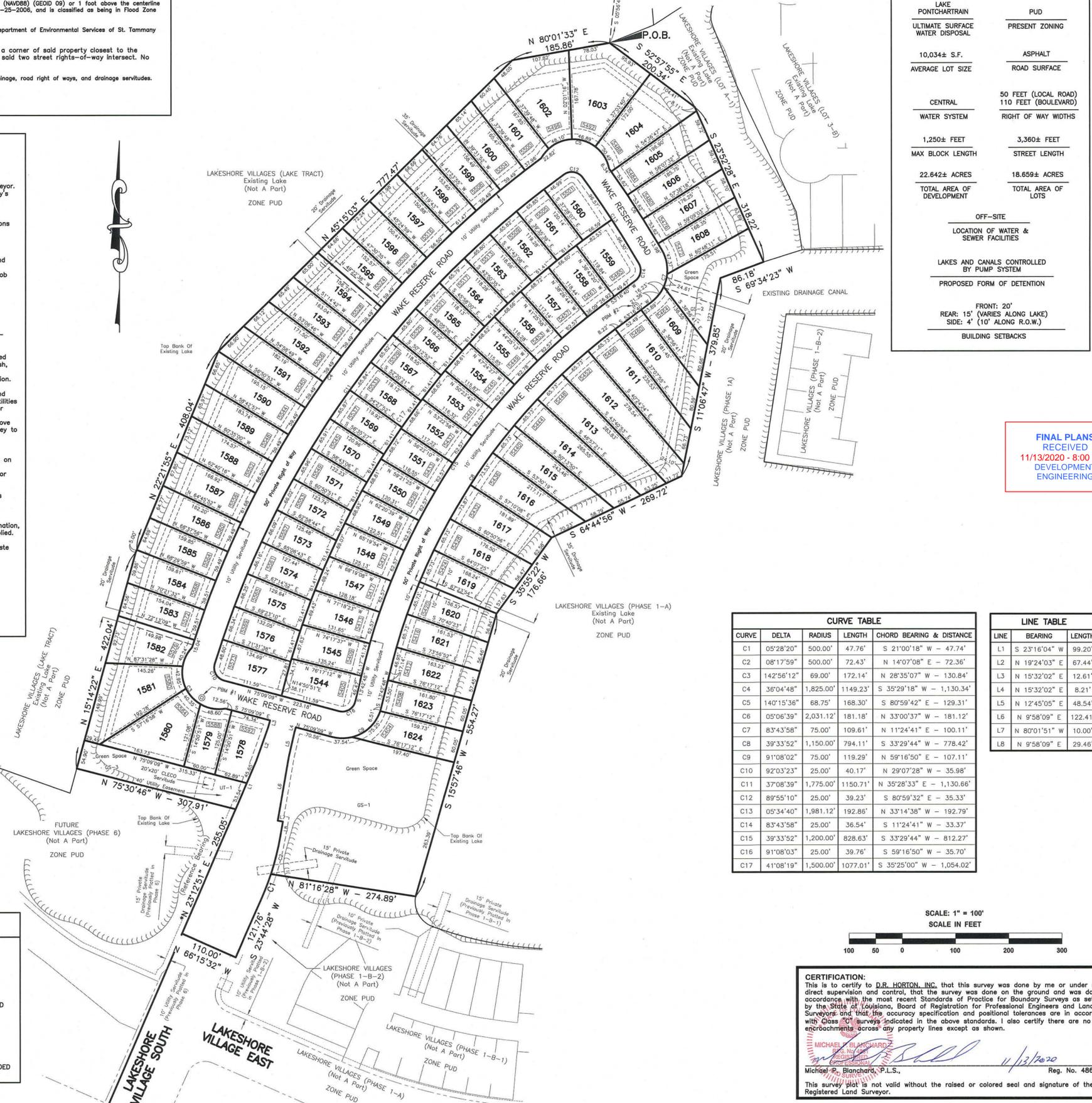
**RESTRICTIVE COVENANTS:**

- No certificate of occupancy shall be issued before the sewerage and water systems are installed and operable or otherwise connected to a community (central) sewerage and/or water system(s), all as approved by the Department of Environmental Services of St. Tammany Parish. Whenever a subdivision is served by a community (central) water system (supply), no private water supply may be drilled or otherwise constructed on any lot for the purpose of supplying potable water to any building or structure, except for the purpose of irrigation, and in no event shall there be a physical connection between any such source and any element of the community (central) water system (supply).
- Construction of any nature is prohibited in all drainage easements/servitudes, excepting auxiliary structures that are to be owned and maintained by the Community Development District.
- No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done there on which may not become an annoyance or nuisance to the neighborhood, particularly the use of lots as trash or junk vehicle storage.
- The minimum elevation for the lowest floor of all residential homes shall be a minimum of 1.0' M.S.L. (NAVD88) (GEOD 09) or 1 foot above the centerline of the road, whichever is greater. This subdivision is in F.I.R.M. community panel 2252050535D, Rev. 8-25-2006, and is classified as being in Flood Zone AH.
- No lot will be further subdivided without approval of the St. Tammany Planning Commission and the Department of Environmental Services of St. Tammany Parish.
- Driveways on corner lots shall not be located any closer than forty-seven (47') feet from a corner of said property closest to the intersection as measured from the property lines on the corner of the property where the said two street rights-of-way intersect. No driveway is to be allowed to directly connect to Lakeshore Village South Boulevard.
- The Community Development District will own and maintain all levees and pumps, lakes, subsurface drainage, road right of ways, and drainage servitudes.
- Only one dwelling unit per lot will be allowed.
- The maximum building height is 45 feet for single family and multi-family unit residential parcels.

**NOTES:**

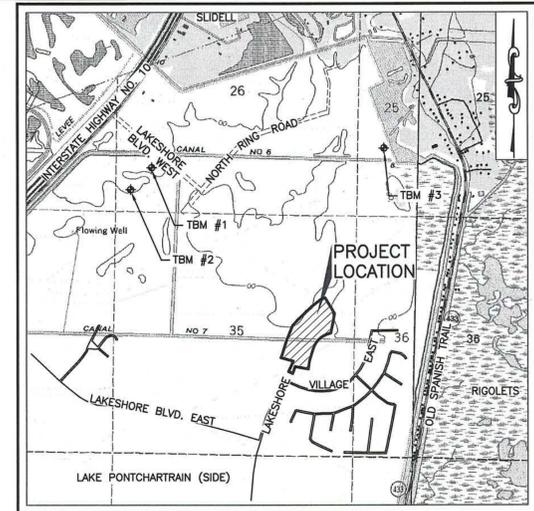
- Zoning: (PUD Planned Unit Development)  
Zoning information acquired from <http://stpgov.org/departments/planning> accessed on August 1, 2017.  
Setback lines and zoning information shall be verified by the owner, developer and contractor prior to any construction, as an abstract has not been performed by the surveyor. Zoning and setbacks are subject to change and should be verified with the local authority's Zoning Department before any design or construction.
- Reference Maps:  
A.) Survey Map Of Portions Of Sections 1, 2, 3 & 4, T10S-R14E And Portions Of Sections 25, 26, 27, 34 & 36, T9S-R14E, And All Of Sections 35, T9S-R14E, St. Tammany Parish, Louisiana. Prepared By: J.J. Krebs & Sons, Inc. Dated: February 1, 1994. Map No. E2287 - St. Tammany Parish Clerk Of Court.  
B.) Final Subdivision Plan Phase 1A, Lakeshore Villages, Sections 35 & 36, T9S-R14E and Sections 1 & 2, T10S-R14E, District 13, Ward 9, St. Tammany Parish, Louisiana Prepared By: Krebs, LaSalle, LeMieux Consultants, Inc. Dated: December 12, 2006. Job No. 406-0039
- Basis of Bearings:  
Bearings are based on Reference Map "A"  
(\*) Represents the Basis of Bearings. Distances shown are U.S. Survey feet.
- Basis of Elevations:  
The elevations shown hereon are based on the "North American Vertical Datum of 1988 - NAVD 88" (Geoid 12a) using GPS C4Gnet-RTN System accessed on September 14, 2016.
- Flood Note: The property hereon is located in Flood Zone "AH-EL 1" per FEMA LOMR dated August 25, 2006, for Map Community Panel Number 2252050535D for St. Tammany Parish, Louisiana dated April 2, 1991. Base Flood Elevation is subject to change and should be verified with the local authority's Flood Plain Administrator before any design or construction.
- Utilities: The underground utilities shown have been located from visible utility features, and previous construction drawings. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either in service or abandoned. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated. The surveyor has not physically located the underground utilities, except for above ground visible utility features. No excavations were made during the progress of this survey to locate buried utilities/structures.
- No attempt has been made by Acadia Land Surveying, L.L.C. to verify title, actual legal ownership, dead restrictions servitudes, easements, liens, right-of-ways or other burdens on the property, other than that furnished by the client or his representative. There is no representation that all applicable servitudes and restrictions are shown hereon. The surveyor has made no title search or public record search in compiling the data for this survey.
- All wetlands have been permitted through MWN 2002-1717 dated May 7, 2004, which was most recently modified on February 3, 2011, and June 27, 2005.
- The words "Certify," "Certifies" or "Certification" as used herein is understood to be an expression of professional opinion by the surveyor, based upon his best knowledge, information, and belief, as such, it does not constitute a guarantee nor a warranty, expressed or implied.
- The surveyor has no knowledge or observed any evidence of the site used as a solid waste dump, sump or sanitary landfill.
- The community Development District will own and maintain all green spaces, street lights, traffic control signs, and signage posts.
- Site P.B.M.'s (Permanent Bench Marks):  
#1 - Set Square Mark On Road Curbing As Shown.  
Elevation = -1.87 feet; N.A.V.D.88; N: 628,050.515 & E: 3,777,878.891  
#2 - Set Square Mark On Road Curbing As Shown.  
Elevation = -2.55 feet; N.A.V.D.88; N: 628,788.206 & E: 3,778,694.596

**PLAT SHOWING FINAL SUBDIVISION**  
OF  
**REVISED LAKESHORE VILLAGES (PHASE 7)**  
LOCATED IN SECTION 35,  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
SLIDELL, ST. TAMMANY PARISH, LOUISIANA



**GENERAL INFORMATION**

CENTRAL	81
SEWER SYSTEM	NUMBER OF LOTS
LAKE PONTCHARTRAIN	PUD
ULTIMATE SURFACE WATER DISPOSAL	PRESENT ZONING
10,034± S.F.	ASPHALT
AVERAGE LOT SIZE	ROAD SURFACE
CENTRAL	50 FEET (LOCAL ROAD)
WATER SYSTEM	110 FEET (BOULEVARD)
1,250± FEET	RIGHT OF WAY WIDTHS
MAX BLOCK LENGTH	3,360± FEET
22.642± ACRES	STREET LENGTH
TOTAL AREA OF DEVELOPMENT	18.659± ACRES
TOTAL AREA OF LOTS	
OFF-SITE	
LOCATION OF WATER & SEWER FACILITIES	
LAKES AND CANALS CONTROLLED BY PUMP SYSTEM	
PROPOSED FORM OF DETENTION	
FRONT: 20'	
REAR: 15' (VARIES ALONG LAKE)	
SIDE: 4' (10' ALONG R.O.W.)	
BUILDING SETBACKS	



**VICINITY MAP**  
SCALE 1" = 2000'

**FINAL PLANS RECEIVED**  
11/13/2020 - 8:00 A.M.  
DEVELOPMENT ENGINEERING

**DEDICATION:**  
All street rights-of-way, signage, and sign posts as shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed (excepting auxiliary structures to be owned, and maintained by the Community Development District) that would prevent them from being used for intended use.

**APPROVALS:**

Chairman - Parish Planning Commission

Secretary - Parish Planning Commission

Director of Department of Engineering

Clerk of Court

Date Filed \_\_\_\_\_ File No. \_\_\_\_\_

Dedication - Developer  
D.R. Horton, Inc. - Gulf Coast  
7696 Vincent Road  
Denham Springs, LA 70726

**CURVE TABLE**

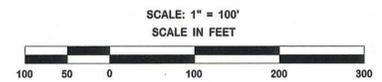
CURVE	DELTA	RADIUS	LENGTH	CHORD BEARING & DISTANCE
C1	05°28'20"	500.00'	47.76'	S 21°00'18" W - 47.74'
C2	08°17'59"	500.00'	72.43'	N 14°07'08" E - 72.36'
C3	14°25'12"	69.00'	172.14'	N 28°35'07" W - 130.84'
C4	36°04'48"	1,825.00'	1,149.23'	S 35°29'18" W - 1,130.34'
C5	14°05'36"	68.75'	168.30'	S 80°59'42" E - 129.31'
C6	05°06'39"	2,031.12'	181.18'	N 33°00'37" W - 181.12'
C7	83°43'58"	75.00'	109.61'	N 11°24'41" E - 100.11'
C8	39°33'52"	1,150.00'	794.11'	S 33°28'44" W - 778.42'
C9	91°08'02"	75.00'	119.29'	N 59°16'50" E - 107.11'
C10	92°03'23"	25.00'	40.17'	N 29°07'28" W - 35.98'
C11	37°08'39"	1,775.00'	1,150.71'	N 35°28'33" E - 1,130.66'
C12	89°55'10"	25.00'	39.23'	S 80°59'32" E - 35.33'
C13	05°34'40"	1,981.12'	192.86'	N 33°14'38" W - 192.79'
C14	83°43'58"	25.00'	36.54'	S 11°24'41" W - 33.37'
C15	39°33'52"	1,200.00'	828.63'	S 33°29'44" W - 812.27'
C16	91°08'03"	25.00'	39.76'	S 59°16'50" W - 35.70'
C17	41°08'19"	1,500.00'	1,077.01'	S 35°25'00" W - 1,054.02'

**LINE TABLE**

LINE	BEARING	LENGTH
L1	S 23°16'04" W	99.20'
L2	N 19°24'03" E	67.44'
L3	N 15°32'02" E	12.61'
L4	N 15°32'02" E	8.21'
L5	N 12°45'05" E	48.54'
L6	N 9°58'09" E	122.41'
L7	N 80°01'51" W	10.00'
L8	N 9°58'09" E	29.46'

**OPEN/GREEN SPACE CALCULATIONS (PHASE 7)**

OPEN/GREEN SPACE REQUIRED	22.642 ACRES
X 0.25 S.F. OPEN/GREEN SPACE	
5.661 ACRES REQUIRED	(= 246,571 ± S.F.)
OPEN/GREEN SPACE PROVIDED	3.318 ACRES (PHASE 3A)
3.062 ACRES (PHASE 3A)	0.770 ACRES (PHASE 3B)
2.606 ACRES (PHASE 3B)	439.779 ACRES (PHASE 4A)
38.493 ACRES (PHASE 4A)	1.289 ACRES (PHASE 4B)
1.779 ACRES (PHASE 4B)	0.657 ACRES (PHASE 5)
3.863 ACRES (PHASE 5)	13.334 ACRES (PHASE 6)
21.751 ACRES (PHASE 6)	2.856 ACRES (PHASE 7)
5.681 ACRES (PHASE 7)	461.703 ACRES TOTAL PROVIDED
77.215 ACRES TOTAL OPEN/GREEN SPACE REQUIRED	



**CERTIFICATION:**  
This is to certify to D.R. HORTON, INC. that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practice for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with Class 20' surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

Michael P. Blanchard, P.L.S., Reg. No. 4861  
11/13/2020

This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

**ACADIA LAND SURVEYING, LLC**  
LOUISIANA • MISSISSIPPI • TEXAS

206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301  
Phone • (985) 449-0094 Fax • (985) 449-0085  
EMAIL • ACADIA@ACADIALANDSURVEYING.COM

**SHEET 1 OF 2**  
(SEE SHEET 2 FOR TYPICAL SECTIONS & LEGAL DESCRIPTION)

DATE	REVISION DESCRIPTION	APPROVED BY: MPB	INT.
DRAWN BY: APR	CHECKED BY: APR	APPROVED BY: MPB	
FIELD BOOK: 350	FIELD WORK COMPLETED ON: TBD	ALS FILE: 2017/17-1846/17-1847 P7 Final.dwg	

\*Typical Cross Sections & Details Provided By Duplantis Design Group, P.C.

**PLAT SHOWING FINAL SUBDIVISION  
OF  
REVISED LAKESHORE VILLAGES (PHASE 7)  
LOCATED IN SECTION 35,  
TOWNSHIP 9 SOUTH - RANGE 14 EAST  
SLIDELL, ST. TAMMANY PARISH, LOUISIANA**

**NOTES:**

1. ALL PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH LADOTD STANDARD SPECIFICATIONS 2016 EDITION AND/OR ST. TAMMANY PARISH SUBDIVISION REGULATION CHAPTER 125 SPECIFICATIONS; THE MORE STRINGENT STANDARD SHALL BE USED.
2. CONTRACTOR MAY UTILIZE 12" A-4 SUB-BASE IN LIEU OF SOIL CEMENT IN AREAS WHERE SOIL CEMENT CANNOT MEET PROJECT SPECIFICATIONS. A-4 SUB-BASE SHALL BE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, ST. TAMMANY PARISH CODE OF ORDINANCES, AND SUB-SECTION 100.3 OF THE LSSRB. THE BASE SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698.
3. BASED ON THE GEOTECHNICAL REPORT PREPARED BY PREMIER GEOTECH AND TESTING DATED JULY 10, 2019 AND PAVEMENT SECTION DESIGN RECOMMENDATION LETTER DATED JANUARY 29, 2020, THE BASE AND SUBGRADE SHALL CONSIST OF LEAN CLAYS AND SANDY LEAN CLAYS (CL) OR CLAYEY SANDS (SC) HAVING THE FOLLOWING RECOMMENDED MATERIAL PROPERTIES AND PLOTS ABOVE THE "A-LINE" ON THE PLASTICITY CHART:
  - LIQUID LIMIT: 40 MAXIMUM
  - PLASTICITY INDEX: 20 MAXIMUM
  - INERT MATERIAL (NON-EXPANSIVE)
  - FREE OF ORGANICS
  - MAXIMUM PARTICLE SIZE: 2-INCHES

EACH LIFT SHALL BE PLACED IN MAXIMUM LIFTS OF 8" OF LOOSE MATERIAL AND COMPACTED TO 95% STANDARD PROCTOR PER ASTM D-698.

THIS MATERIAL MUST BE CERTIFIED AND APPROVED BY THE OWNER'S INDEPENDENT TESTING LABORATORY AND/OR THE GEOTECHNICAL ENGINEER OF RECORD PRIOR TO ITS USE.

4. CONTRACTOR TO ENSURE ALL STREET LIGHT POLES AND FIRE HYDRANTS ARE LOCATED 5' MINIMUM BEHIND BACK OF CURB FOR LOCAL ROADS.

**LEGEND:**

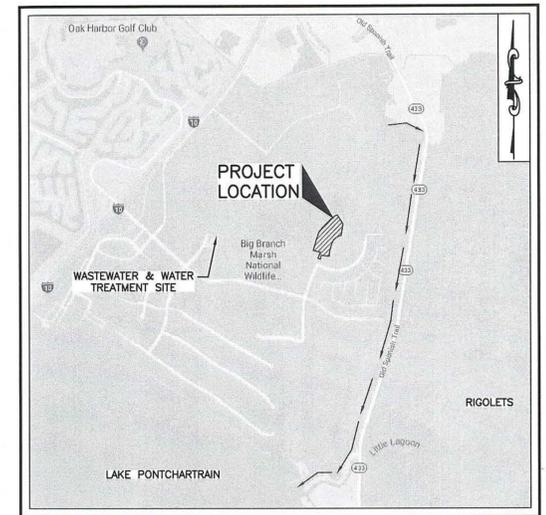
- (A) 1-1/2" ASPHALTIC CONCRETE WEARING COURSE (TYPE III)
- (B) 1-1/2" ASPHALTIC CONCRETE BINDER COURSE (TYPE III)
- (C) 12" CEMENT STABILIZED BASE (10% BY VOLUME) 95% COMPACTION PER ASTM D-698 (REF. NOTE 2)
- (D) 12" COMPACTED STRUCTURAL FILL SUBBASE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT. SUBBASE IS TO BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY NEAR THE OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D-698. (REF. NOTE 3)
- (E) PROOF ROLLED AND STABLE SUBGRADE IN ACCORDANCE WITH THE GEOTECHNICAL REPORT.
- (F) CONCRETE BARRIER CURB AND GUTTER (REF. DETAILS)
- (G) CONCRETE MOUNTABLE CURB AND GUTTER (REF. DETAILS)
- (H) HYDROSEED WITH STRAW OR SOD DISTURBED AREAS (WITHIN LIMITS OF CONSTRUCTION)
- (I) GENERAL EXCAVATION

**LEGAL DESCRIPTION - LAKESHORE VILLAGES (PHASE 7)**

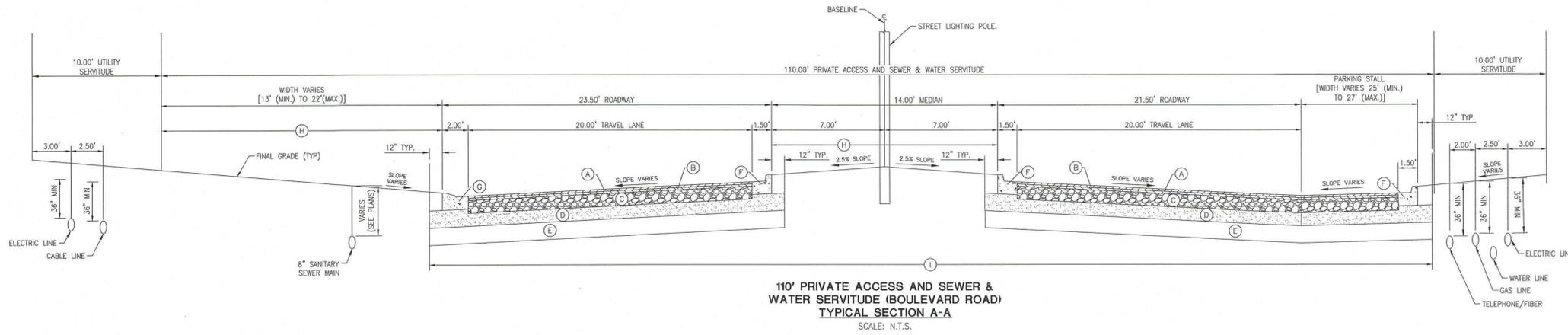
A certain tract or parcel of land designated as the LAKESHORE VILLAGES (PHASE 7) containing 22,642 Acres or 986,305 sq. ft. located in Section 35, Township 9 South - Range 14 East, St. Tammany Parish, State of Louisiana, being more particularly described as follows:

Commencing at a point being the intersection common to Sections 23, 24, 25 & 26, said point being the "POINT OF COMMENCEMENT" and labeled "P.O.C.;" Then, South 06 degrees 11 minutes 50 seconds West a distance of 7,398.81 feet to a point, said point being the "POINT OF BEGINNING" and labeled "P.O.B.;"

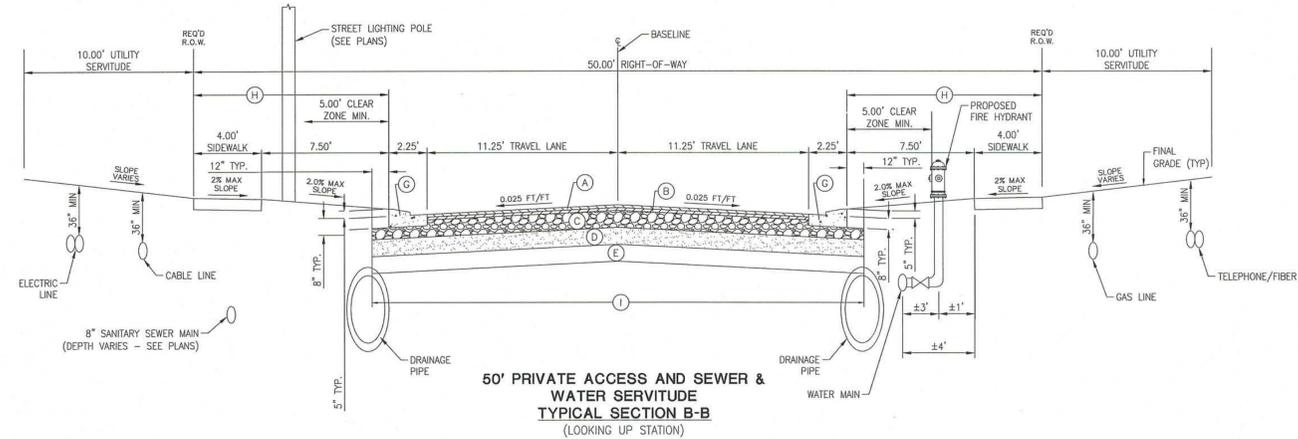
Then, South 32 degrees 15 minutes 34 seconds East a distance of 405.44 feet to a point;  
 Then, South 08 degrees 28 minutes 45 seconds West a distance of 451.18 feet to a point;  
 Then, along a curve to the left having a delta of 63 degrees 04 minutes 08 seconds, a radius of 500.00 feet, an arc length of 550.38 feet and a chord bearing of South 47 degrees 04 minutes 06 seconds West a distance of 523.01 feet to a point;  
 Then, South 15 degrees 32 minutes 02 seconds West a distance of 253.11 feet to a point;  
 Then, along a curve to the left having a delta of 11 degrees 30 minutes 15 seconds, a radius of 405.00 feet, an arc length of 81.32 feet and a chord bearing of South 09 degrees 46 minutes 54 seconds West a distance of 81.18 feet to a point;  
 Then, along a curve to the right having a delta of 07 degrees 00 minutes 55 seconds, a radius of 1,093.00 feet, an arc length of 134.07 feet and a chord bearing of South 07 degrees 32 minutes 14 seconds West a distance of 133.99 feet to a point;  
 Then, North 81 degrees 16 minutes 28 seconds West a distance of 274.89 feet to a point;  
 Then, along a curve to the right having a delta of 05 degrees 28 minutes 20 seconds, a radius of 500.00 feet, an arc length of 47.76 feet and a chord bearing of South 21 degrees 00 minutes 18 seconds West a distance of 47.74 feet to a point;  
 Then, South 23 degrees 44 minutes 28 seconds West a distance of 121.76 feet to a point;  
 Then, North 66 degrees 15 minutes 32 seconds West a distance of 110.00 feet to a point;  
 Then, North 23 degrees 44 minutes 28 seconds East a distance of 128.04 feet to a point;  
 Then, along a curve to the left having a delta of 03 degrees 00 minutes 44 seconds, a radius of 850.00 feet, an arc length of 44.69 feet and a chord bearing of North 22 degrees 14 minutes 06 seconds East a distance of 44.68 feet to a point;  
 Then, along a curve to the right having a delta of 02 degrees 32 minutes 20 seconds, a radius of 500.00 feet, an arc length of 22.16 feet and a chord bearing of North 21 degrees 59 minutes 54 seconds East a distance of 22.15 feet to a point;  
 Then, North 16 degrees 00 minutes 25 seconds East a distance of 60.19 feet to a point;  
 Then, North 75 degrees 30 minutes 46 seconds West a distance of 288.73 feet to a point;  
 Then, North 29 degrees 41 minutes 08 seconds East a distance of 31.21 feet to a point;  
 Then, North 15 degrees 24 minutes 16 seconds East a distance of 385.68 feet to a point;  
 Then, North 20 degrees 33 minutes 15 seconds East a distance of 346.03 feet to a point;  
 Then, North 39 degrees 27 minutes 20 seconds East a distance of 158.84 feet to a point;  
 Then, North 44 degrees 50 minutes 59 seconds East a distance of 441.83 feet to a point;  
 Then, North 50 degrees 19 minutes 44 seconds East a distance of 252.16 feet to a point;  
 Then, North 64 degrees 21 minutes 30 seconds East a distance of 86.67 feet to a point;  
 Then, North 72 degrees 22 minutes 03 seconds East a distance of 26.84 feet to the "POINT OF BEGINNING".



**ULTIMATE DISPOSAL**  
NOT TO SCALE



**10' PRIVATE ACCESS AND SEWER & WATER SERVITUDE (BOULEVARD ROAD)  
TYPICAL SECTION A-A  
SCALE: N.T.S.**



**50' PRIVATE ACCESS AND SEWER & WATER SERVITUDE  
TYPICAL SECTION B-B  
(LOOKING UP STATION)**

**DEDICATION:**  
All street rights-of-way as shown hereon are not dedicated to the Parish of St. Tammany but are dedicated to the perpetual use of the Community Development District and is to be owned and maintained by the Community Development District. Easements shall be reserved for drainage and utilities as indicated hereon and no obstructions or improvements shall be allowed that would prevent them from being used for intended use. The developer or homeowners association is responsible for maintenance of all green spaces, drainage servitudes, street signs, and traffic control signs.

**APPROVALS:**

Clerk of Court \_\_\_\_\_

Date Filed \_\_\_\_\_ File No. \_\_\_\_\_

(Owner/Owner Representative) \_\_\_\_\_ Date \_\_\_\_\_  
D.R. Horton, Inc. - Gulf Coast  
7885 Vincent Road  
Denham Springs, LA 70726

**SHEET 2 OF 2  
(SEE SHEET 1 FOR SURVEY PLAT,  
RESTRICTIVE COVENANTS, &  
GENERAL NOTES)**

**ACADIA**   
**LAND SURVEYING, LLC**  
LOUISIANA • MISSISSIPPI • TEXAS  
206 EAST 2ND STREET, THIBODAUX, LOUISIANA 70301  
Phone • (985) 449-0094 Fax • (985) 449-0085  
EMAIL • ACADIA@ACADIALANDSURVEYING.COM

**CERTIFICATION:**  
This is to certify to D.R. HORTON, INC. that this survey was done by me or under my direct supervision and control, that the survey was done on the ground and was done in accordance with the most recent Standards of Practices for Boundary Surveys as set forth by the State of Louisiana, Board of Registration for Professional Engineers and Land Surveyors and that the accuracy specification and positional tolerances are in accordance with "Class 70" surveys indicated in the above standards. I also certify there are no visible encroachments across any property lines except as shown.

  
Michael P. Blanchard, P.L.S., Reg. No. 4861  
Date: 11/13/2020

This survey plat is not valid without the raised or colored seal and signature of the Registered Land Surveyor.

DATE	REVISION DESCRIPTION	INT.
DRAWN BY: APR	CHECKED BY: APR	APPROVED BY: MPB
FIELD BOOK: 350	FIELD WORK COMPLETED ON: TBD	ALS FILE: 2017/17-1844/17-18447 P7 Final.dwg

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# **OLD BUSINESS**

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**MINOR SUBDIVISION STAFF ANALYSIS REPORT**

*(As of December 7, 2020)*

*Meeting Date: December 15, 2020*

CASE NO.: 2020-2049-MSP

OWNER/DEVELOPER: Delmont O. & Joan M. Dapremont, Jr.

ENGINEER/SURVEYOR: Surveyor: J.V. Burkes & Associates, Inc.

SECTION: 42 TOWNSHIP: 9 South RANGE: 13 East

WARD: 9 PARISH COUNCIL DISTRICT: 11

TYPE OF DEVELOPMENT:  X  SUBURBAN (Residential acreage between 1-5 acres)  
      RURAL (Low density residential 5 acres or more)  
      OTHER (PUD, Multi-family, commercial or industrial)

GENERAL LOCATION: East side of Horace Page Road & Bayou Oak Road (future), Slidell, Louisiana.

SURROUNDING LAND USES: Undeveloped & Single family residential

TOTAL ACRES IN DEVELOPMENT: 5.19 acres

NUMBER OF LOTS/PARCELS: 2 parcels; 1.872 acres & 3.818 acres into Parcels A & B

ZONING: A-2 Suburban Residential District

**STAFF COMMENTARY:**

**Department of Development – Planning & Engineering**

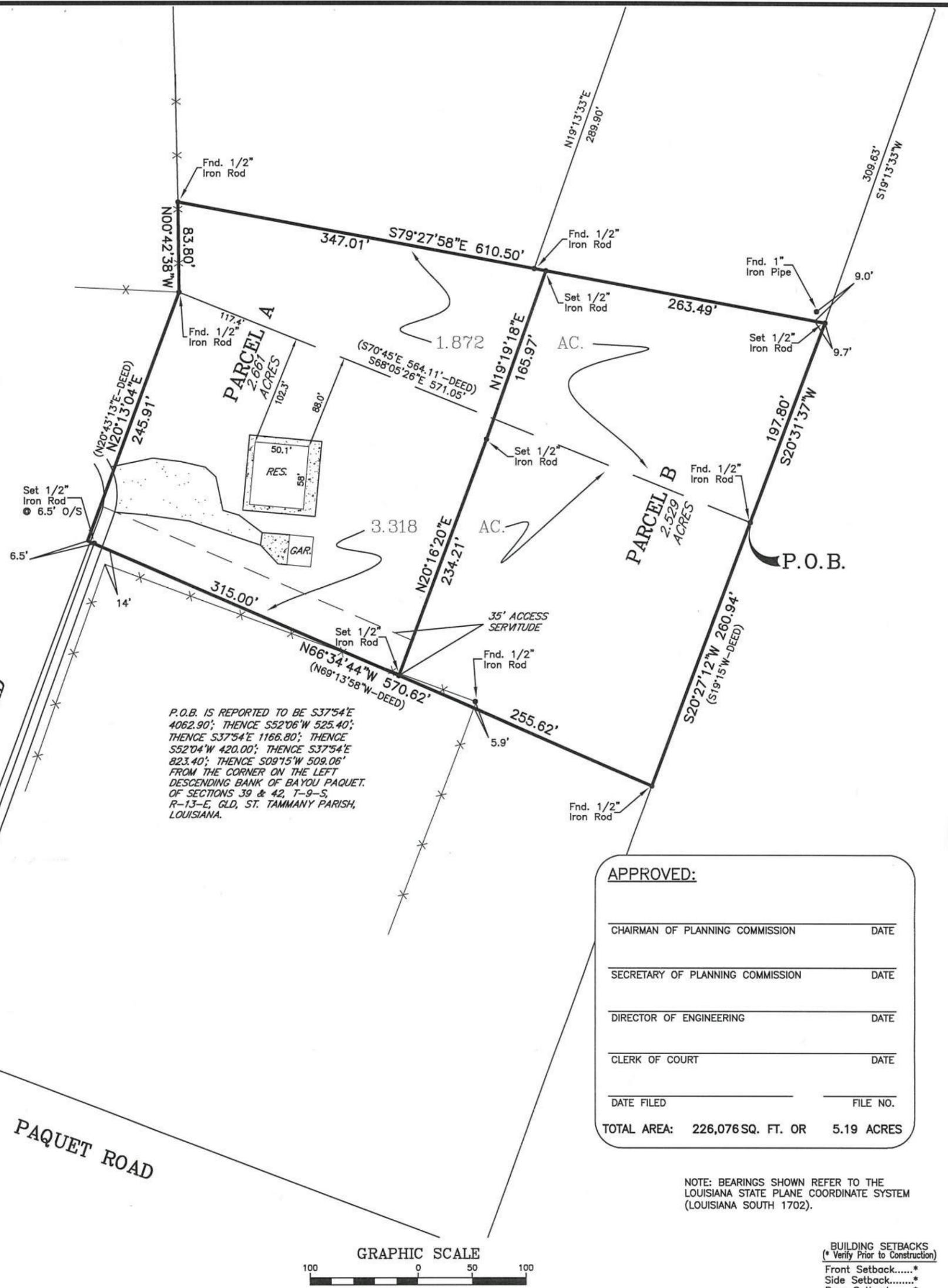
The applicant is requesting to create two (2) parcels from a 1.872 acre parcel & 3.818 acre parcel. The minor subdivision request requires a public hearing due to:

- Parcel B is proposed to be access via a 35 foot access servitude.
- The proposed name of the access depicted on the survey plat, shall be granted approval by the Planning Commission. The proposed access name “Bayou Oak Road” has been submitted and approved by St. Tammany Parish Communication District.

The request shall be subject to the above & below comments:

1. Approval of the proposed private access road name: “Bayou Oak Road”
2. Provide amended survey showing “Bayou Oak Road”.
3. As per St. Tammany Parish Communication District, the survey should show Bayou Paquet Road.

In order to approve the waivers a 2/3rds majority vote of the full membership of the commission (8 members) is needed, pursuant to Section 125-224 Waiver of Regulations, of Chapter 125 - Subdivision Regulations.

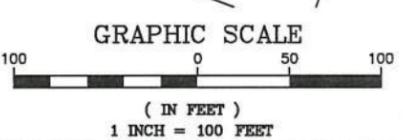


P.O.B. IS REPORTED TO BE S37°54'E 4062.90'; THENCE S52°06'W 525.40'; THENCE S37°54'E 1166.80'; THENCE S52°04'W 420.00'; THENCE S37°54'E 823.40'; THENCE S09°15'W 509.06' FROM THE CORNER ON THE LEFT DESCENDING BANK OF BAYOU PAQUET. OF SECTIONS 39 & 42, T-9-S, R-13-E, GLD, ST. TAMMANY PARISH, LOUISIANA.

**APPROVED:**

CHAIRMAN OF PLANNING COMMISSION	DATE
SECRETARY OF PLANNING COMMISSION	DATE
DIRECTOR OF ENGINEERING	DATE
CLERK OF COURT	DATE
DATE FILED	FILE NO.
TOTAL AREA: 226,076 SQ. FT. OR 5.19 ACRES	

NOTE: BEARINGS SHOWN REFER TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (LOUISIANA SOUTH 1702).



BUILDING SETBACKS (\* Verify Prior to Construction)  
Front Setback.....\*  
Side Setback.....\*  
Rear Setback.....\*

ADDRESS: 58058 HORACE PAGE ROAD

I CERTIFY THAT THIS PLAT DOES REPRESENT AN ACTUAL GROUND SURVEY AND THAT TO THE BEST OF MY KNOWLEDGE NO ENCROACHMENTS EXIST EITHER WAY ACROSS ANY OF THE PROPERTY LINES, EXCEPT AS SHOWN.

PROPERTY IS SURVEYED IN ACCORDANCE WITH THE LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS FOR A CLASS C SURVEY. BEARINGS ARE BASED ON RECORD BEARINGS UNLESS NOTED OTHERWISE.

ENCUMBRANCES SHOWN HEREON ARE NOT NECESSARILY EXCLUSIVE. ENCUMBRANCES OF RECORD AS SHOWN ON TITLE OPINION OR TITLE POLICY WILL BE ADDED HERETO UPON REQUEST, AS SURVEYOR HAS NOT PERFORMED ANY TITLE SEARCH OR ABSTRACT.

F.I.R.M. No. 225205 415 C  
F.I.R.M. Date 4/2/91  
ZN: A10 B.F.E. 10'  
\* Verify prior to construction with Local Governing Body.

DRAWING NO. 20180475  
DATE: 7/31/18

### J.V. Burkes & Associates, Inc.

SURVEYING ENGINEERING • ENVIRONMENTAL  
1805 Shortcut Highway  
Slidell, Louisiana 70458  
E-mail: jvbassoc@jvburkes.com  
Phone: 985-649-0075 Fax: 985-649-0154

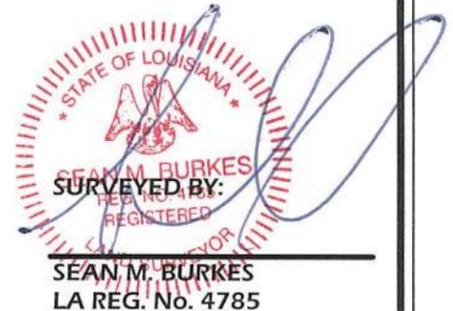
DRAWN BY: JDL  
CHECKED BY: RMK  
SCALE: 1" = 100'

REVISED: 6/8/16 MINOR SUBDIVISION  
6/15/2020 MINOR SUB. SET CORNERS & STAKING  
9/3/20 ADD ROAD NAME PER PARISH  
10/21/20 MISC. PER PARISH  
11/17/2020 MODIFY PARCELS INTO A & B

DECLARATION IS MADE TO ORIGINAL PURCHASER OF THE SURVEY. IT IS NOT TRANSFERABLE TO ADDITIONAL INSTITUTIONS OR SUBSEQUENT OWNERS. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL OF SURVEYOR.

**A MINOR SUBDIVISION MAP OF A 1.872 AC. & A 3.318 AC. PARCEL OF LAND INTO PARCELS A & B IN SECTION 42, T-9-S, R-13-E, GREENSBURG LAND DISTRICT ST. TAMMANY PARISH, LOUISIANA**

CERTIFIED TO: CIVICSOURCE & DELMONT DAPREMONT





## ST. TAMMANY PARISH

MICHAEL B. COOPER  
PARISH PRESIDENT

December 1, 2020

St. Tammany Parish Planning Commission  
P.O. Box 628  
Covington, LA 70434

OLD BUSINESS  
*December 15, 2020 Agenda*

Re: 2018-1105-PP - Providence Parks Subdivision, Phase 1  
Developer requesting an extension of the Preliminary Approval

Honorable Commissioners,

This office is in receipt of Mr. Rodney Savoy, Providence Parks, LLC's request to extend the Preliminary approval date for Providence Parks Subdivision, Phase 1.

The developer is actively pursuing the required state and/or federal authorizations for this development.

This office has reviewed Mr. Savoy's request and has no objection to a one year extension of the Preliminary Approval.

Sincerely,

A handwritten signature in blue ink that reads "Christopher Tissue".

Christopher P. Tissue, P.E.  
Lead Development Engineer

*Attached: Request for an extension of time from Mr. Savoy dated November 2, 2020*

xc: Honorable Michael Cooper  
Honorable Martha Cazaubon  
Mr. Ross Liner, AICP, PTP, CFM  
Mr. Jay Watson, P.E.  
Ms. Helen Lambert  
Mr. Earl J. Magner  
Mr. Chris Tissue, P.E.  
Mr. Theodore Reynolds, P.E.  
Mr. Rodney Savoy, Providence Parks, LLC  
Mr. Paul Mayronne, Jones Fussell, LLP  
Mr. Chris Ventre, RR Company of America, LLC/Southern Livestyle Development

## Theodore C. Reynolds

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**From:** pjm@jonesfussell.com  
**Sent:** Tuesday, November 03, 2020 10:50 AM  
**To:** Christopher P. Tissue  
**Cc:** Theodore C. Reynolds; Jay Watson  
**Subject:** Providence Parks  
**Attachments:** Tissue 20 1103.pdf

Chris,

Please find attached my client's letter requesting the extension of preliminary approval for the above referenced project. A hard copy is being placed in the mail today.

Let me know if you should have any questions.

Thanks

### **Paul J. Mayronne**

*Jones Fussell, L.L.P.*

Office: (985) 892-4801

Cell: (985) 630-3071

Fax: (985) 892-4925

Northlake Corporate Park, Suite 103

1001 Service Road East, Highway 190

P.O. Box 1810

Covington, Louisiana 70434-1810

Providence Parks Development, L.L.C.  
1100 Camellia Boulevard, Suite 201  
Lafayette, LA 70508

November 2, 2020

**VIA EMAIL AND U.S. MAIL**

Mr. Chris Tissue, P.E.  
Lead Development Engineer, St. Tammany Parish  
21545 Koop Drive, Suite 1B  
Mandeville, LA 70471

**Re: Providence Parks**

Dear Mr. Tissue:

On behalf of Providence Parks Development, L.L.C., the owner and developer of the above-referenced project, please allow this letter to serve as our request for an extension of the preliminary approval for Providence Parks. At present, we are still waiting on our final 404 Wetlands Permit, certain approvals from the Louisiana Department of Transportation and Development and confirmation from Tammany Utilities regarding the expansion of the sewer treatment plant servicing the project. We would ask that our request be placed under old business on the December agenda for the St. Tammany Parish Planning Commission.

Thank you for processing our request. Should you need anything further, please contact Chris Ventre at [chris@rrcoa.com](mailto:chris@rrcoa.com) or (337) 216-6682.

Sincerely,

Providence Parks Development, L.L.C.

  
Rodney L. Savoy, Manager

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