

# Summit Sky Ranch

## Design Guidelines for Homes



March 26, 2018

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# Summit Sky Ranch Design Guidelines

## INTRODUCTION

Summit Sky Ranch (SSR) has been conceived and carefully master planned as a family oriented residential / recreation neighborhood. It will include approximately 240 homes set within a mountain environment. Unless accepted by the CC&R's (defined below) or are new improvements or renovations undertaken by the Founder, all architectural design, site planning, and landscaping for new improvements and exterior alterations shall be subject to design review in order to preserve the beauty of SSR's high altitude mountain setting; to protect and conserve its alpine ecosystems; to create and maintain a pleasant and desirable living environment; to establish and preserve harmonious design within the community; and to protect and promote the value of property.

Each structure built shall be a customized structure fit to that individual building site, as designed by an Architect with significant high altitude / mountain building experience. All structures are to comply with all applicable building codes, the "Building Foundation, Site Grading, and Drainage Investigation for Home Sites" provided in the CC&R's, and are required to have a Structural Engineer licensed in the State of Colorado stamp and approve the drawings. It is recognized and acceptable that the Founder's homes may be built on more than one site, with or without custom modifications. In all cases, the Founder built homes must comply with the applicable building codes, the "building foundation, site grading, and drainage investigations for home sites" provided in the CC&R's. In addition to the Soil Report provided by the Founder, if any, each site shall have the geotechnical investigations performed by a licensed Geotechnical Engineer in accordance with the CC&R's related to soil characteristics, site grading and drainage.

The initial introductory Design Review meeting between the Owner, their selected Architect and the Design Review Committee, and subsequent design submittals, are of equal importance to the design review process as the Committee's final approval of the home.

It will not be the intention of the Architectural Design Guidelines to limit or direct the style or design of the home. The design will be driven by good architecture, sensitive to the environment and all aspects of surrounding impact on the community, including neighboring properties.

In accordance with the requirements of The Declaration of Covenants, Conditions and Restrictions for Summit Sky Ranch, as the same may be amended or supplemented from time to time (CC&R's), and the Maryland Creek Planned Unit Development Guide, recorded December 14, 2007 at Reception 876095 in the Summit County real property records, as amended by instruments recorded November 17, 2008 at Reception No. 900504 and on July 6, 2015 at Reception No. 1086016, as the same may be further amended from time to time (PUD), these Design Guidelines set forth the architectural, site planning, and landscaping guidelines for all Home Sites within Summit Sky Ranch. These Design Guidelines also describe specific design requirements and the general construction procedures for Summit Sky Ranch.

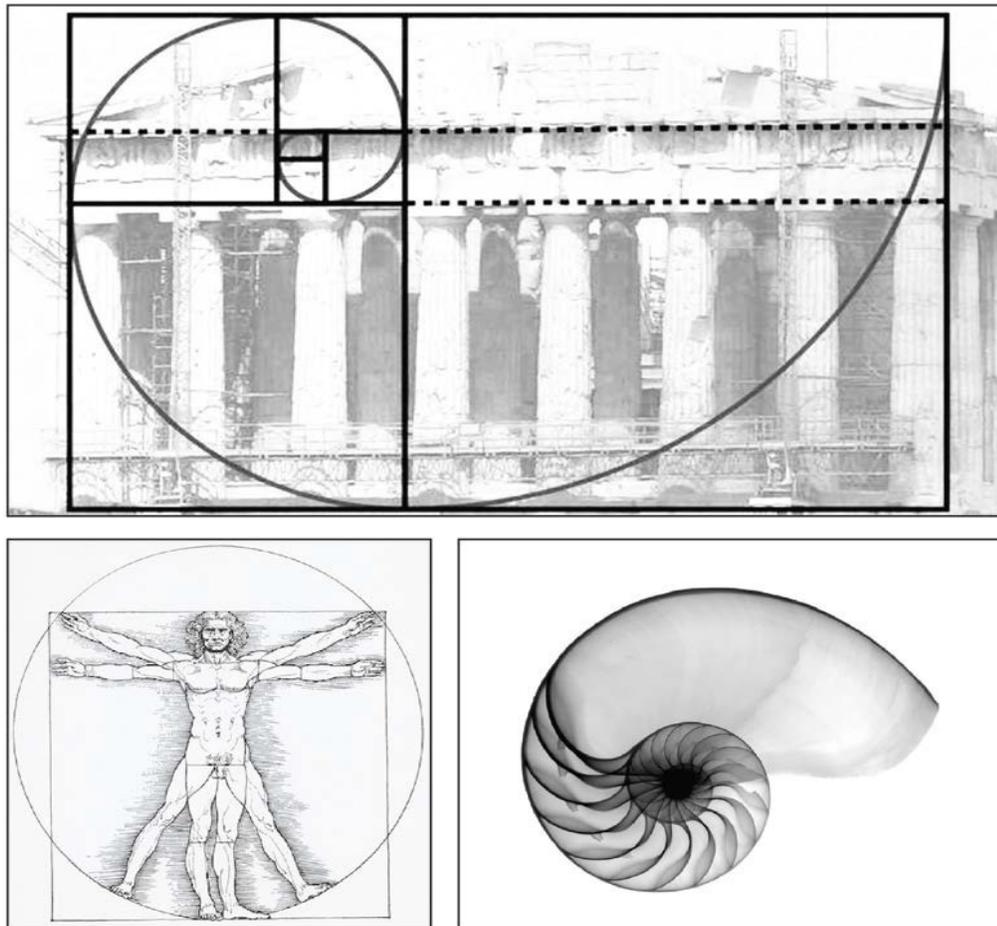
These Design Guidelines may be amended from time to time by the Summit Sky Ranch

Design Review Committee (DRC), as provided in the CC&R's. All capitalized terms used herein, and not otherwise defined, shall have the meanings ascribed to such terms in Appendix 6 to these Design Guidelines. In the event of any conflict between the terms of these Design Guidelines and the CC&R's or PUD, the CC&R's or PUD whichever is more stringent shall control.

If any applicable federal, state, or local law conflicts with the provisions of these Design Guidelines, the conflicting law shall govern regardless of the content of these Design Guidelines. If any part of any provision of these Design Guidelines shall be invalid or unenforceable under applicable law, said part shall be ineffective to the extent of such invalidity or unenforceability only, without in any way affecting the remaining parts of said provision or the remaining provisions of these Design Guidelines.

*“The best architecture is that which meets the expectations of the land.”*

- Henry David Thoreau



*“Good Architecture which relates to its context”*

- CCY Architects

# 1 VISION STATEMENT FOR SUMMIT SKY RANCH

The heritage of Summit Sky Ranch is that of a working cattle ranch in the Lower Blue Valley of Central Colorado. It enjoys the distinction of being within the Town of Silverthorne (Town), located in Summit County, Colorado...a place of extreme natural beauty, rich history, and incredible recreation.



Within this context, the vision for Summit Sky Ranch begins with a strong respect for the natural environment. Preservation of open space for wildlife, wetlands and riparian corridors, hay production, scenic vistas of hay meadows and the historic ranch facilities provide a rural conservation emphasis for approximately 240 Home Sites that have been placed carefully within the natural landscape. The rural character of Summit Sky Ranch is also one of alpine meadows opening along the edges of aspen and pine forests set against the backdrop of the Gore Range. The high elevation at 9,000 feet above sea level assures brilliant warm sunshine, cool summer evenings, deep blue skies, and an abundance of winter snow...a climate that fosters year-round recreation.

The essence of the landscape...a blend of natural forests and wetlands, coupled with the irrigated meadows and fenced pastures of ranching...will be retained through open- space conservation and a continuation of ranching operations. A mountain heritage is one of the influences which has shaped The Aspen House, a gathering place for homeowners in SSR. The Aspen House is also shaped by the recreational needs of the residents and by modern respect for environmental responsibility.

The architectural vision for the individual homes within Summit Sky Ranch (Homes) begins with a strong respect for the natural setting. Buildings are intended to become part of their context rather than to dominate the landscape. Individual residences shall be creative in their design, composed of multiple simple forms, and unpretentious in character. The architecture of the Homes within Summit Sky Ranch is intended to be a creative interpretation of thoughtful architecture, design vocabulary, and underlying principles seen in classic Colorado ‘mountain modern’ architecture, overlaid with the greater openness, lightness and variety of material and detail made possible by contemporary technologies and lifestyles. In general, good architectural provides a pleasing composition of gable and shed roofs that shelter simple underlying building forms. Materials, colors, and textures are related to the surroundings and used in honest ways. Where appropriate, newer materials may be used to enhance performance such as concrete roof tiles in place of traditional (and flammable) wood shakes. The expression of structure is direct and visible, with columns, beams, trusses, purlins and rafters establishing scale and visual interest, while communicating a sense of protection from the mountain weather and snow. Porches and decks further express this sense of protection, while also connecting homes to the land on which they sit.

Specific materials and finishes to be used in various building elements are described in their respective sections, later in this document.

Summit Sky Ranch, with its exceptional landscape setting and the picturesque lakes reclaimed from mining operations, provides the opportunity for mountain homes that are closely related to an outdoor recreational lifestyle. Owners will enjoy the potential for activities such as mountain biking, cross country skiing, hiking, canoeing, and fishing.

The overall neighborhood will be knit together by a network of pathways that connect to regional trail systems. Importantly, the vision for SSR is one of outdoor recreation complimented by rural privacy...allowing residents and guests to enjoy the exuberance of mountain recreation within a setting that retains the beauty of the natural landscape and the heritage of its ranching operations. The SSR vision is also one of responsible care for the environment and sustainability of the architecture and the community.

## **2 SUMMIT SKY RANCH DESIGN CHARACTER**

The Design Character for SSR (Design Theme) begins with the image of a high country ranch - a place where the land itself is important, a place to relax and enjoy outdoor recreation and quiet serenity of the mountains - and spices that with a personality unique to this particular community. The overriding goal is to present a balance of architecture and landscape that creatively expresses the lifestyles and values of the Owners, and provides a comfortable haven from the pressures of the wider world...a place of direct simplicity and authenticity.

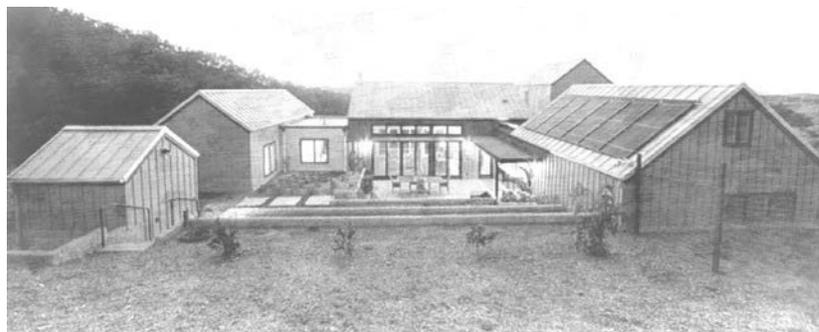
The intent of these Design Guidelines is to encourage diversity and individual expression of design while assuring that the collective result creates a visually harmonious neighborhood. To accomplish this goal, it is important that architecture and landscape work in concert and that buildings defer to the landscape by respecting the existing vegetation and terrain of the Home Site. It is also important that the design of each Home respond to the unique characteristics of its Home Site, the trees and vegetation, topography, natural drainage patterns, views, and sun orientation. While individual Homes can add richness to the neighborhood by expressing artistry and creativity in design, it is very important that each residence blend into the overall visual harmony by responding to the natural environment and expressing the Design Theme.

The Design Character of Summit Sky Ranch calls for Homes that are comprised of simple, additive parts that express the functions they enclose. Large, monolithic forms of harsh geometric shape are to be avoided in favor of building compositions of smaller- scaled components that recall traditions of earlier high country ranch architecture.

Simple geometry of underlying forms, enhanced by additive elements such as porches, bay windows, dormers, balconies, doorways, and other detail elements results in a rich and varied architecture.



*MONOLITHIC FORMS ARE NOT APPROPRIATE TO  
SUMMIT SKY RANCH*



*ADDITIVE ASSEMBLAGE OF MULTIPLE SMALLER  
FORMS IS APPROPRIATE TO SUMMIT SKY RANCH*

The architectural expression for SSR Ranch includes the direct and authentic use of “mountain modern” materials, including stone, wood, and patina metals. Through creative interpretations that avoid pretensions, the architecture can present a timeless quality and an honest simplicity of materials, yet be detailed and assembled in a manner that offers individual expression and identity.

The high mountain rural heritage of Summit Sky Ranch includes the expression of artistry and craftsmanship in detailing. Wood used in a variety of creative ways can add to the tradition of mountain architecture. Shingle, board-and-batten siding, heavy planks, chinked timbers, and siding with varied sizes and profiles offer an abundance of design opportunities to personalize individual Homes. Timber trusses, beams, rafters, and corbel braces with expressed connection details can express the reality of structures that have been built to withstand the snow and other weather of the mountains. Carefully proportioned wood trim can be stained in natural hues or painted in muted, weathered, light-reflecting colors to enhance the play of sunlight and emphasize important features like porches, bay windows, and dormers.

The architectural image of SSR will be reinforced through wood structures and detailing that have a direct authenticity and simplicity rather than an overtly heavy, rustic look. Details and structural elements that are assembled from lighter, hewn profiles are favored over the rough, primitive, oversized assemblies often referred to as “parkitecture”. The climate and sun also encourage the emphasis of light, shade, and shadow as dynamic, changing patterns within the architecture. The play of sunlight and shadows from columns, beams, and trellises against wall surfaces will extend the visual richness of the architecture.

The Design Character also evolves from the influence of weather, and the dynamic conditions in the mountains throughout the year. In this respect, the architecture shall address the psychological need for shelter as well as its technical function. Roofs play an important role in this relationship by providing welcome shade for a summer afternoon on the porch and a protected entryway during the typically extensive winter snowfalls.

Protective pitched roofs with simple forms, extended overhangs, and sheltering images are central to the Design Character. The durability of stone can be used to express the notion of “home and hearth” through interior fireplaces and exterior chimneys, supporting the image of a comfortable and protective mountain retreat. Stone can also convey a visual image of the Home merging into its Home Site by anchoring buildings into the ground while withstanding the exposure of moisture and climate.

The overall emphasis on conservation and stewardship of the land ties to environmental responsibility and the importance of sustainable, “green” buildings. The Design Character of embraces this philosophy. From site planning to architecture, the principles of sustainable design shall be included. Owners and Architects are encouraged to research and implement sustainable design strategies whenever possible, creating homes which are environmentally sensitive and meet current “green” building design and construction guidelines.

### **3 ENVIRONMENTAL SUSTAINABILITY SUMMARY**

Summit Sky Ranch was conceived as a conservation-based, rural residential neighborhood, set within the natural mountain environment of Colorado. In order to promote environmentally responsible design, all building architecture, site improvements, and landscaping within SSR must address the issues of sustainability and “green design.”

This Environmental Sustainability Summary is included as part of these Design Guidelines in order to reinforce the commitment to environmentally responsible design. In addition to the information contained in this section, other helpful guidelines and publications can be obtained from organizations such as Energy Star and the U.S. Green Building Council, which administers the Leadership in Energy and Environmental Design (LEED) system for “green” building. Owners, Architects, and contractors shall strive to meet these requirements of these organizations in an effort to make conservation a top priority within SSR. We at SSR are committed to sustainable design within SSR, and strongly encourages the implementation of the programs established by these organizations, along with the following “Ten Sustainability Strategies” for green design:

#### **3.1 Site Design**

Homes shall be designed in careful response to solar orientation and prevailing breezes. Solar orientation and roof profiles can be used effectively to help offset heating costs in winter and minimize cooling costs in summer. In addition, proper solar orientation can reduce utility costs associated with lighting the Home by using natural “daylighting”, introducing natural light wherever practical. Shading devices or roof overhangs are often needed to shade the intense summer sun at the high altitude of the Home Site, but when properly designed they can also allow the low winter sun to help warm the Home. Natural ventilation shall be carefully considered with respect to which windows operate and how they are oriented to sun and breezes.

Careful planning with respect to topography and natural site features will help minimize site impacts and will also reduce construction costs. In addition, potential impacts to natural vegetation and drainage patterns can be reduced. Site work shall be designed to reuse topsoil and other native materials as much as possible to reduce the export of materials off-site.

Adequate space for recycling containers within kitchen and garage areas shall be included when designing floor plans.

#### **3.2 Appliances**

Energy Star certified appliances shall be specified whenever possible. These appliances are significantly more efficient with their use of water and electricity, and are now available in various models, finishes, and colors that fit a range of budgets and nearly any décor. The use of these appliances will help reduce utility bills, which in turn will help to reduce the impact on the regional environment. In addition, many utility companies offer rebates on the purchase of certified appliances. At a minimum, dishwashers, refrigerators, and clothes washers shall be specified as Energy Star rated. Refrigerators are especially important, as they typically represent

the single largest power consumer within a Home.

Other appliances that can be specified as Energy Star certified include air conditioners, furnaces, boilers, heat pumps, and thermostats. In addition to specifying Energy Star certified appliances, the use of natural gas-operated appliances in lieu of electrical appliances will also have a positive effect on the environment, since the burning of natural gas is much cleaner and more efficient than the burning of fossil fuels required to produce electricity. Appliances that can operate with natural gas include clothes dryers, cooktops, ovens, furnaces, water heaters, and boilers.

### **3.3 Wood**

The use of reclaimed wood will help reduce the number of trees harvested to build a Home. An added benefit is that this wood is usually very rustic in nature, with enhanced character that is often highly coveted. When new wood must be used for construction, such as for rough framing members, specify wood that has been certified by the Forest Stewardship Council (FSC). The FSC oversees lumber harvesting from source to final destination, and will certify that the lumber used has been harvested from a well-managed forest in terms of reduction of soil erosion, care for biodiversity, maintenance of existing ecosystems, and similar environmental impact issues.

### **3.4 Windows**

Windows represent the largest source of heat loss through the exterior building facades of a Home. By specifying Energy Star rated window units Architects and Owners can reduce energy costs and increase the comfort levels of the Home. Energy Star certified windows are designed to reduce heat loss in winter and decrease solar heat gain in summer, helping to reduce both heating and cooling loads. In addition, windows constructed of wood from forests accredited by the FSC ensure that the window units have been manufactured using materials from well-managed forests (see Item 3.3 above). State-of-the-art “super windows,” or window units designed to meet all of the previously listed criteria, are also available.

### **3.5 Insulation**

Insulation enclosing the exterior of a Home is a primary barrier against heat loss. While local building codes and regulations set minimum R-values for floors, walls, and roofs, Architects and Owners shall strive to exceed those minimums. These Design Guidelines go beyond the minimum standards, setting higher R-value guidelines and also recommending different types of insulating materials that are “green” products and are more efficient at resisting heat loss. The climate of Silverthorne, Colorado is represented by significantly more heating days than cooling days, so the use of proper insulation is critical for buildings within Summit Sky Ranch.

Spray-applied cellulose insulation is an excellent choice for exterior walls. It is typically manufactured from recycled or other green materials, has relatively high R-values per inch, and helps to act as a barrier against air infiltration as well. In addition, cellulose insulation typically contains less toxic binders than other types of

spray insulation, and is formaldehyde-free, which helps to preserve indoor air quality. Since some types of cellulose insulation are not appropriate for sloped conditions, such as within cathedral ceiling spaces, manufacturers or installers shall be consulted as part of the design process. The use of spray insulations without CFC's or HCFC's is highly encouraged. All types of spray-applied insulation help to eliminate air movement within wall and ceiling cavities, which in turn reduces heat loss and lowers utility bills.

If batt insulation products are specified in lieu of spray-applied products, cotton batts are a good choice. This type of insulation usually consists of recycled cotton material, and generally does not contain harmful chemicals or other elements that may impact indoor air quality. When using batt insulation, sealant or caulk shall be applied around all penetrations within exterior walls, including openings for receptacles, lights, plumbing, ductwork, doors, and windows. Wood plates for framed walls at floor lines shall also be sealed, either with sealant or sill seal. Fiberglass batt insulation shall be avoided whenever possible. However, there are some fiberglass products that contain recycled glass and formaldehyde-free binders and are therefore more desirable than standard fiberglass batts.

### **3.6 Paints, Stains, and Sealers**

When possible, architects shall specify the use of Green Seal products for paints, stains, and sealers. Green Seal is an independent, non-profit organization that strives to achieve a healthier and cleaner environment. This organization identifies and promotes products that contain less toxic materials, thereby reducing air pollutants and toxic waste. Many of these products are water-based (natural), rather than solvent-based (toxic chemical), which makes them healthier to work with and easier to clean up. When Green Seal products are not practical or available, paints or stains with low volatile organic compounds (VOC's) shall be specified. VOC's provide buildings and cars with the "brand-new" smell, but are major negative contributors to indoor air quality.

### **3.7 Flooring Materials**

Wood floors represent an excellent opportunity to use sustainable building materials. Reclaimed or salvaged wood shall be used for flooring, which can add character to the interior environment. Where these materials are not practical, wood certified by the Forest Stewardship Council shall be specified. From an environmental health standpoint, solid wood floors are generally preferred over engineered wood products. This is because solid wood floors can be refinished numerous times, require lower amounts of energy and fuel to produce, and are not manufactured with volatile compounds that may impact indoor air quality. Several suppliers and distributors of sustainable wood flooring products are provided at the back of this Appendix 3.

When carpeting is used, designers shall strive to use products that are Green Seal certified. These products contain fewer harmful chemicals and can usually be recycled after their useful life has expired. "Green" lines of carpet, backing, and padding are now available from many manufacturers, and can look as attractive as

traditionally manufactured material.

Tile floors also represent an opportunity for sustainable design. Local, natural stone such as sandstone is a great choice for flooring, both from an aesthetic standpoint and from an environmental standpoint. For ceramic tile products on floors, walls, and countertops, brands that contain high amounts of recycled material shall be considered.

### **3.8 Concrete and Asphalt**

The foundations, floors, basement walls, driveways, walkways, patios, and other flatwork within and around a building can easily be constructed using sustainable materials. Concrete and asphalt can contain a high percentage of recycled material, as much as 35% to 50%, including reground concrete and asphalt, fly ash (a byproduct of coal-burning), and discarded tires. In addition, the use of locally produced materials reduces the energy required to transport concrete and asphalt.

### **3.9 Landscaping**

The use of native plant species helps to reduce the amount of energy expended to transport plant material to the Home Site, and also helps to ensure the survival of the plantings, which helps reduce environmental waste. Furthermore, certain native species require less irrigation than other species and shall be used as much as possible to reduce water demand. Trees, shrubs, flowers, and groundcover can be efficiently irrigated using low-volume drip irrigation systems that use much less water than their spray counterparts. Turf lawns and sod are enormous consumers of water and shall therefore be limited as much as possible.

### **3.10 Lighting**

Economics, health, and aesthetics favor the maximum use of daylighting in buildings. Sunlight is free and uses no electricity, so long as solar gain that requires cooling is kept in check. Recent developments in glazing technology have made windows much more energy-efficient, so that optimization of daylighting can be achieved with less concern about costly heat loss in winter and solar gain in summer.

In addition to using traditional windows for daylighting, other methods for introducing natural light, such as clerestories, skylights, light shelves, and atria are encouraged. The careful detailing of simple architectural details such as wide window sills, louvers, walls, and other methods of bouncing light deep into a building can help ensure the most efficient use of natural light. In general, architects and engineers shall use daylighting wherever practical before resorting to electric lighting.

When artificial lighting is required, fixtures that can use compact fluorescent bulbs (CFBs) shall be specified. A CFB uses approximately one quarter of the electricity of incandescent bulbs and lasts up to 10 years. Many recessed lighting systems are now available in CFB, including the dimmable options. Designers shall look for recessed fixtures that are designed to hold the CFB horizontally to maximize

the lighting effectiveness. CFBs are also available for use in traditional table lamps, floor lamps, and floodlights.

## 4 SITE PLANNING GUIDELINES

**These Design Guidelines are to be read in conjunction with the development processes, requirements and standards in the PUD, the CC&R's, and any specific Home Site Guidelines promulgated by the DRC. All Owners are strongly encouraged to familiarize themselves with these documents in advance of any Submittal under the design review processes set forth in these Design Guidelines. All Owners must comply with these Design Guidelines, the PUD, the CC&R's, and any specific Home Site Guidelines in the development of their Home Site in addition to any Town or other applicable governmental entity regulations.**

Subject to exceptions contained in the CC&R's, the following shall be subject to the review and approval of the DRC in accordance with the CC&R's and these Design Guidelines:

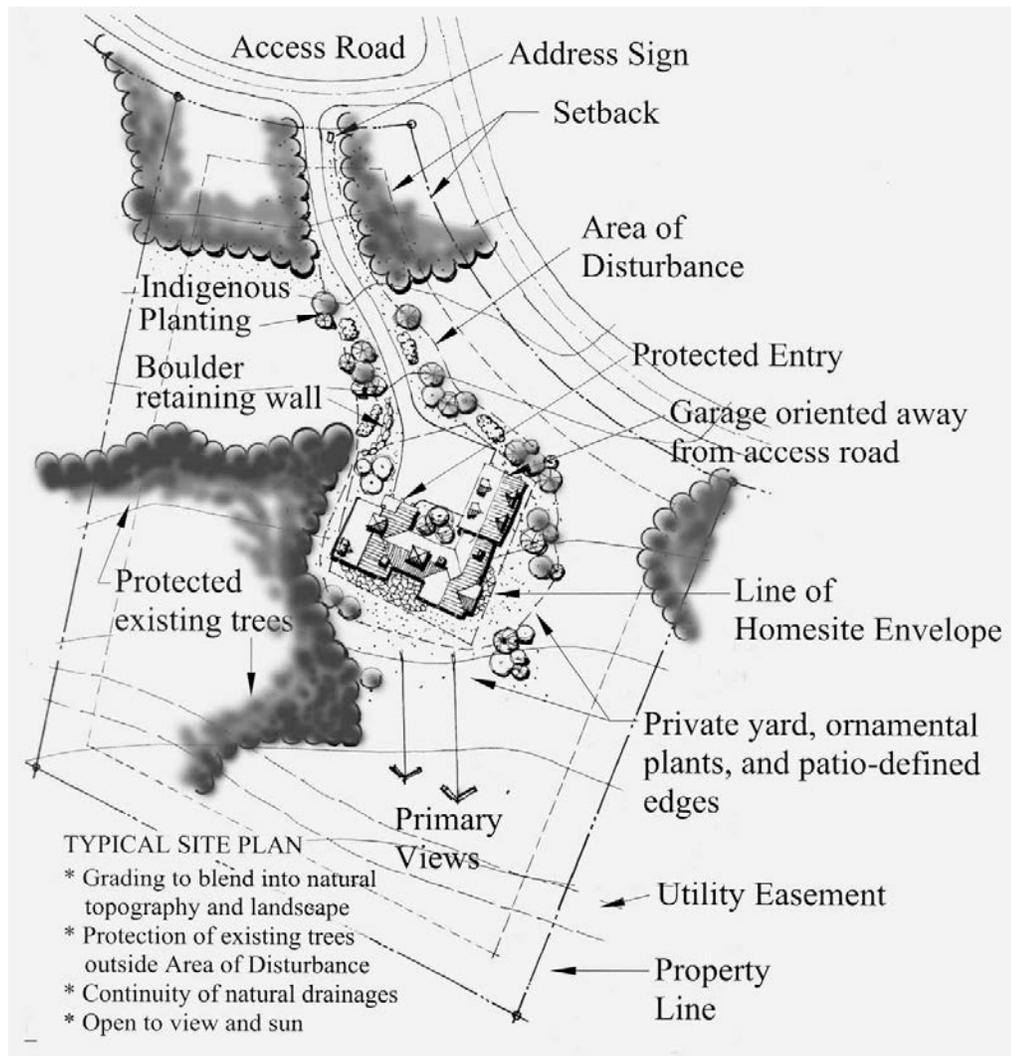
- the location, design, construction, and use of all new improvements and structures
- the renovation, expansion, change, or alteration of any existing Improvement or structure
- the Building Height of any new Improvement or structure
- overall landscaping
- site disturbances, encroachments into No-Disturbance Zones, and any alterations to natural drainage
- exterior lighting and lighting interior to any building or structure to the extent visible from the exterior of such building or structure
- associated structures
- tree removal and Tree Conservation Plans
- signs or advertising devices of any nature, including, but not limited to, construction signs, except signs required by applicable laws or regulations and temporary signs to caution or warn of danger
- the designation, modification, and application of Building Envelopes

Alterations or remodeling which are completely within a building or structure, and which do not change the exterior appearance, and are not visible from the outside of the building or structure, may be undertaken without DRC approval. No alterations or remodeling to create or install interior lighting in any building or structure, such that illumination from such interior lighting would be visible from the exterior of such building or structure, or to install or construct associated buildings, may be undertaken

without DRC approval.

#### 4.1 Building Envelopes and Setbacks

In order to maintain a balance between buildings and the natural setting, while still providing some flexibility in building configuration and location, Building Envelopes have been established by the building setbacks, No-Disturbance Zones and allowed lot coverage for each home site and footprint lot. The building envelopes in Summit Sky Ranch will range in size given their carefully selected locations within the 400+ acre development.



Typical Home Site Diagram

No structures on any Home Site, or architectural features on such structures, shall be permitted outside of the Building Envelope for that Home Site. Portions of Home Sites outside of Building Envelopes, including features of the natural landscape such as wetlands, significant trees, and steep slopes are to be maintained in their natural, pre-construction state, and the Home Site is to remain in an essentially natural condition, to blend in with adjoining natural areas. Driveways, culverts, crossings, bridges for

access, address markers, utilities, improvements other than structures, walls, limited tree removal, clearing and removal of deadfall, planting indigenous landscape materials, and removal of noxious weeds are permitted outside of Building Envelopes. Walls necessary for roads, driveways, other infrastructure improvements and landscaping walls, steps and walkways under four (4) feet in height shall also be permitted outside of Building Envelopes. Walls may be terraced. Walls over four (4) feet may be permitted for shared driveways as long as engineering and Design Guideline requirements are met. Whenever such improvements are included outside the Building Envelope, care must be taken to minimize the disturbance to the natural site. Such disturbance must be identified and included in the Area of Disturbance, and landscape mitigation measures must be taken to restore the site in a manner that is compatible with the existing landscape.

The initial configuration and location of the Building Envelope for each Home Site has been established. An Owner may submit a request to the DRC to modify the initial Building Envelope for its Home Site, accompanied by the review fee set forth in these Design Guidelines. No Building Envelope shall be considered modified until so determined thru official and recorded action of the DRC and in compliance with the CC&Rs and PUD.

Although the DRC has sole discretion to approve or reject any request to modify any Building Envelope, in considering any such request, the DRC will include in its consideration whether such modification:

- will cause greater impact to views from Highway 9
- will impact or protect primary views from other Home Sites and property in Summit Sky Ranch
- will impact or protect historic resources
- is sensitive to the visual aspects of the natural features of the Home Site and the overall “conservation-based residential” and ranch character of the neighborhood

In any case, the DRC will not approve any modification to any Building Envelope if doing so would: (A) increase the size of such Building Envelope by greater than twenty percent (20%); (B) cause the size of such Building Envelope to exceed permitted lot coverage, (C) cause any portion of the Building Envelope to encroach into any No- Disturbance Zone, or (D) cause any portion of the Building Envelope to encroach into any applicable setback.

Even if the DRC approves a modification to a Building Envelope, such modification may also require approval of the Town of Silverthorne Community Development Department (CDD). Building envelope exhibits have been approved by the CDD through the Final Platting process for all estate lots located in Planning Area 1 and Lots 14, 109, 114, 115, 126, 127, 145, 146 and 148 [reference Preliminary Plat].

## **4.2 Area of Disturbance**

The area within the Home Site that will be impacted by construction activity (Area of Disturbance) shall be limited to the immediate area around the Improvements to be constructed, with reasonable allowances made for practicality of construction and safety requirements. The Area of Disturbance must be shown on site plans submitted to the DRC at Final Plan review, and the DRC may, at its sole discretion, require that the Area of Disturbance be reduced in an effort to lessen impacts on existing vegetation, particularly large trees.

## **4.3 Tree Removal**

Trees may only be removed with the approval of the DRC as set forth in the CC&R's. Any existing dead trees on a Site must be removed by the Owner before a home is occupied. Live trees may only be removed with the approval of the DRC as set forth in the CC&R's. When any trees are removed, care shall be taken to prevent damage to adjacent vegetation, and to keep the Area of Disturbance as small as possible. Any tree removal must comply with the PUD and these Design Guidelines. Also refer to Section 6, Landscape Guidelines relative to the disposition of beetle-kill trees.

## **4.4 Driveways and Parking**

Of particular importance to the visual quality of Summit Sky Ranch is the design of driveways and garages. Careful design consideration in site planning and overall building configuration can enhance the neighborhood streetscape as well as the design of the individual Homes. Driveways are to enter each Home Site in a discreet manner, responding to topography and trees while avoiding extensive paved or graded areas.

In general, garages are to be located and configured so that when seen from the roadway they become subordinate to the Home itself.

The primary image from the roadway frontage shall be the residence, rather than the garage door elevation.

All driveways must enter their Home Sites as single lanes of no more than 14 feet in width, with widened pavement areas permitted at the garage entry and for parking, and shall be located in response to existing trees and topography. Formal entryways and gates are not in keeping with the rural character of SSR. Given the high snowfall levels in the mountain region, driveways shall also be designed with snow removal and storage in mind.

Asphalt with a dark tan colored aggregate is the preferred material for use on driveways, as it is non-reflective and presents a more "rural" character than concrete or pavers when tied to the roadways of SSR.

Concrete, concrete pavers, and natural stone are discouraged for driveways, but may be used in a limited manner away from streets for auto courts or turn around areas within Home Sites. When used, concrete and pavers shall be integrally colored in muted dark tan and gray tones that blend with the landscape.

Driveway configurations shall be efficient while providing for convenient access, garage entry, and turning movements. While homes may be configured to create a sheltered arrival area, extensive paved courts shall be avoided in order to preserve the natural Home Site and maintain an informal and understated community image. In general, site disturbance shall be kept to a minimum whenever possible.

Each Home shall have at least two interior/enclosed parking spaces and two guest parking spaces (including garage spaces and stacked spacing in the driveway). Any Home containing a “Casita” shall have one additional enclosed parking space. All driveways and parking shall be designed with snow shed and snow storage in mind. Campers, Trailers, RV’s and boats are not allowed to be parked outside at SSR, they must be stored inside a garage or off site.

The intent of the off-street parking space requirements is to encourage visitor parking within property boundaries. It is not the intent of these Design Guidelines to increase the overall number of motorized vehicles exposed to view within the SSR. All recreational vehicles, including ATV’s, motorcycles, waverunners and other small watercraft, boats, and snowmobiles, must be parked within enclosed garages. Outdoor parking of these vehicles is not permitted.

#### **4.5 Site Grading**

Grading of each Home Site with cuts, fills, and retaining walls shall be used to blend Improvements into the natural landforms and to protect stands of existing trees and wetlands areas. Slopes are not to exceed the recommended slope as provided by the Geotechnical Engineering Studies performed in accordance with the “Building Foundation, Site Grading, and Drainage Investigation for Home Sites” provided in CC&R’s. In addition to the recommendations provided by the Geotechnical Engineer, slopes shall not exceed 4:1 unless measures are taken to prevent erosion and it is demonstrated that there is significant benefit to creating a steeper slope. Cut and fill slopes are to be re-vegetated with native plant materials that relate to the surrounding environment.

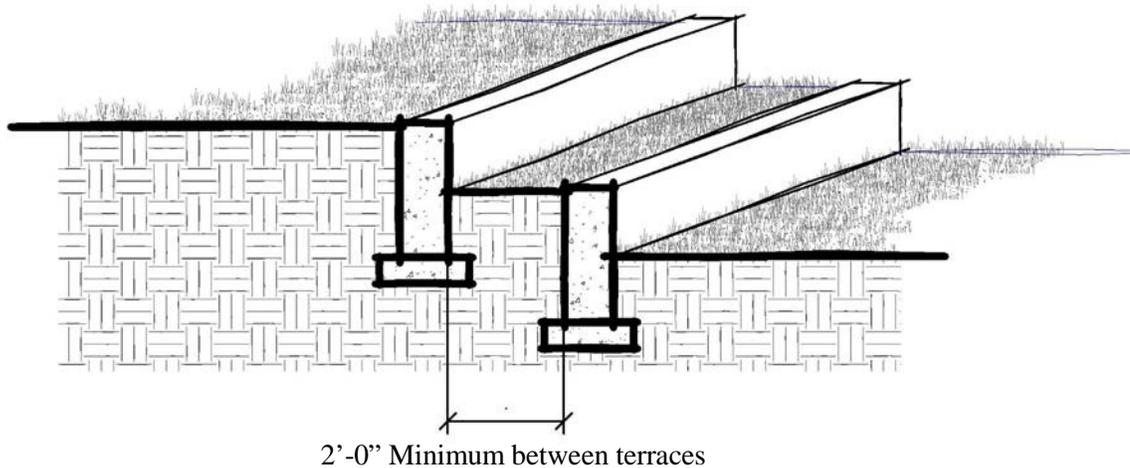
#### **4.6 Drainage**

Natural drainage courses are to be protected, and flows onto and off a Home Site must enter and depart at their existing location unless either: (a) the Geotechnical Engineering Studies required by the CC&R’s recommend the drainage to be altered from the natural course or (b) there is a significant benefit to the relocation and the natural drainage course and the change is fully coordinated with the neighboring Owner. New drainage courses are to be designed so they appear natural and function like a natural drainage way by slowing the flow of water and following an informal alignment. At the sole discretion of the DRC, ponds and artificial water features may also be approved outside the Building Envelope, but within the Setbacks, if they relate to the natural topography and natural drainages and are permitted by the CC&R’s and PUD. In no situation shall an Owner interfere with established drainage patterns that have been established as defined in the CC&R’s. All ponds and artificial water features must be approved by a licensed Geotechnical engineer in accordance with the CC&R’s. Also refer to Section 6.12, Landscape Guidelines regarding fountains and water features.

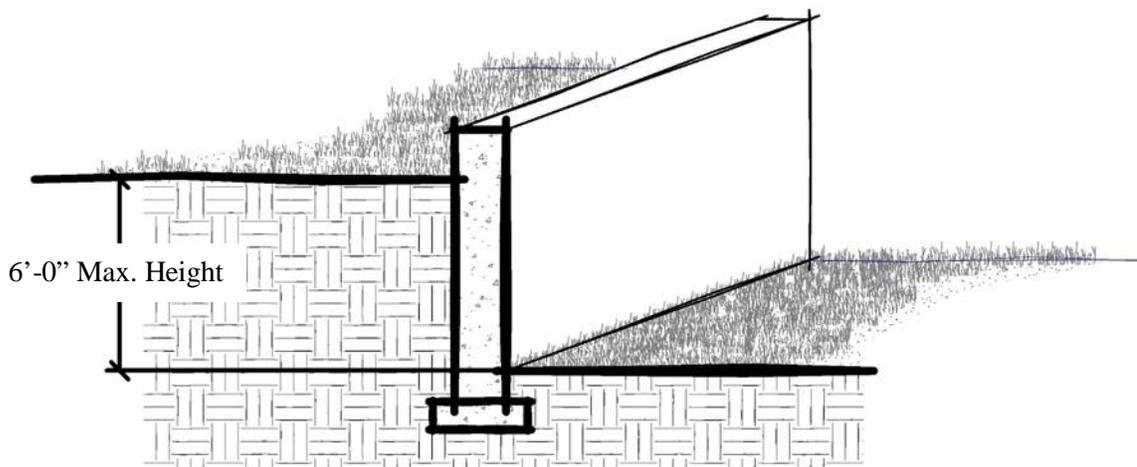
## 4.7 Retaining Walls

Where site grading requires a retaining wall, the wall is to be built of stone native to the general SSR area and laid in a stepped manner or constructed of concrete and faced with such stone. All retaining walls must comply with the “ Building Foundation, Site Grading, and Drainage Investigation for Home Sites” provided in the CC&R’s. If walls exceed 6’ in height, they are to be terraced with a planting area at least 2’ wide between terraces.

The tops of retaining walls are to blend with the contours of the Home Site. The ends of walls shall have a natural-looking transition to the adjacent topography and landscaping, returning into grade or tapering down; they shall not end in an abrupt vertical manner.



*STEPPED RETAINING WALL*



*LIMIT HEIGHT OF A SINGLE RETAINING WALL*

Any retaining wall in excess of four feet in height, either individually or the collective height of a series of stepped walls, must be designed by an Engineer licensed in the State of Colorado in accordance with the CC&R’s.

## **4.8 Privacy Fences and Walls**

In order to maintain the visual quality of an open and natural wooded landscape, fences and above grade walls within SSR shall only be used in limited locations within the Building Envelope. Privacy fences and walls are permitted to enclose small private gardens and terraces, service areas and trash receptacles, and to enclose hot tubs and pools for safety reasons. Fences and walls are not to be used to define or enclose property boundaries or Building Envelopes. All fencing must be designed following wildlife friendly guidelines.

Chain link, wrought iron and other metal fences are not permitted. Wire mesh may be used between members of a wooden fence to prevent passage of small animals.

Wood fences shall be left natural to weather or shall be treated and stained to match adjacent buildings. They shall be constructed of high-quality materials.

Stone privacy walls are to be constructed of material that is consistent with stone used on the architecture of the house or from material that is compatible with the indigenous stone found in the general area of SSR. Privacy fences and walls shall be limited to 42” in height.

## **4.9 Site Utilities**

Site utilities shall be located on each Home Site with great sensitivity, taking care to limit the Area of Disturbance and keeping future maintenance of the utilities in mind. In general, locating utilities under or immediately adjacent to driveways helps to accomplish these goals. Septic systems are not permitted within SSR. Propane tanks are also not permitted, with the exception of small units (30 lb. size, max. 24 “tall), associated with barbecue grills.

## **4.10 Dog Runs**

Dog runs are permitted within SSR, provided they are constructed of high-quality materials as allowed for buildings, fences and walls (see above Section 4.8) and in colors to complement their associated residences. All dog runs must be primarily made up of a transparent material, i.e. hog wire, wove, wire, etc. Electric or “invisible fences” are strongly preferred as the primary fence but should be considered also as a supplement to the ‘physical’ fence. A securable access point into the dog run is allowed given it is consistent with the design of the dog run. Dog runs shall not project or extend beyond the front of the home and must be screened from the roadway and neighboring properties with an appropriate amount of landscaping. Dog runs are not permitted to exceed 42” in height and are not permitted to be enclosed from the top. Dog run walking surfaces must be of a natural material such as rock, wood mulch, or grass and must be kept clean and free of dog toys, excrement, dog houses, debris, odors, etc. Dirt is not an acceptable walking surface for the dog run. Dog runs shall limited to an area of 200 square feet. General massing and composition as it relates to the main residence as well as impact on neighbors will be taken into consideration during review.

#### 4.11 Wildfire Mitigation

Summit County, like all other rural mountain areas, is susceptible to wildfires. In order to mitigate this risk, the design of all improvements within SSR must use wildfire mitigation techniques that are acceptable to the town of Silverthorne. A property owner may remove all trees or shrubs within ten feet of structures on site. Tree branches of larger trees shall be trimmed to a minimum of six feet from the ground. Cut or piled combustible materials shall be a minimum of 10 feet from the property line and/or ten feet from any structure.

#### 4.12 Address Markers

Each Home Site is to have an address marker that is located within 20 feet of the driveway intersection. Address markers are not permitted within Town rights-of-way. The sign is to have the street number on a face area between one square foot and three square feet in size, shall be lighted with a concealed light source, shall be visible from the roadway, and shall be mounted at a height that will not be buried in snow.

Materials for the address marker are to be the SSR Design Review Committee approved address markers.

*Placeholder Left Blank on Purpose*

## 5 ARCHITECTURAL GUIDELINES

### 5.1 Form and Massing

The overall form and massing for Homes in Summit Sky Ranch shall be based upon a composition of additive forms whereby one or more central forms of simple geometry are enhanced with secondary elements added to them.



The intended result is to achieve creative interest in massing while maintaining a pleasing human scale. This approach can lead to a simple order and an honest and direct structure. The forms shall also respond to the topography and follow the natural landforms. Secondary components, such as garages, “Casitas,” and porches can help enhance the additive nature of the architectural forms while adding to the overall visual interest.

Form and massing shall avoid rigid symmetry and allow a casual composition of

forms to evolve. While individual components of the Home may express repetition or symmetry, the overall composition shall be informal, yet balanced and well proportioned.

## **5.2 Scale**

Sensitivity to scale is a very significant factor in presenting a rural residential character at SSR. The scale of buildings is an important aspect of settling Homes into the natural setting and enhancing visual relationships between neighboring properties. To assure this attention to scale is accomplished, buildings that have two stories shall include significant portions that are only one story in height. In no case may Eave Heights exceed two stories.

## **5.3 Building Height**

All Homes within SSR shall be limited to 35 feet in height as calculated by the Code. *Building Height* means the vertical distance from the average (pre-development prior to excavating or filling) grade level at the four (4) points of the structure which most nearly approximate geographic north, south, east and west to the highest point of the roof surface per CC&R's and Town of Silverthorne codes.

Chimneys, cupolas, skylights, vents, mechanical equipment, and other roof appendages may exceed the maximum height otherwise allowed by an amount not to exceed 10 feet with the specific approval of the DRC.

## **5.4 Building Size**

All Estate Lots, as defined by the DRC shall be a minimum of 2,000 square feet; with a minimum 2 car attached garage.

## **5.5 Garages and Parking**

Strong consideration shall be given to the location and orientation of the garage so that garage doors avoid fronting directly onto the adjacent roadway. Various techniques shall be considered such as rotating the garage relative to the main mass of the Home, separating the garage from the Home with a connecting link, or providing a detached garage. Covered carports are permitted within SSR so long as they are screened from the roadway.

Garage location, access, and automobile turning movements must consider existing trees in the site layout to minimize tree removal. Garages and parking areas shall also consider snow shed and snow storage to prevent injury to residents and damage to automobiles.

Porches, entryways, and other secondary components on a Home's street elevation can be used as effective elements to lessen the visual impact of garage doors from the roadway by providing visual interest that removes the focus from the garage doors. The same effect may be accomplished by locating the garage deeper into the Home Site than the primary front elevation of the Home.

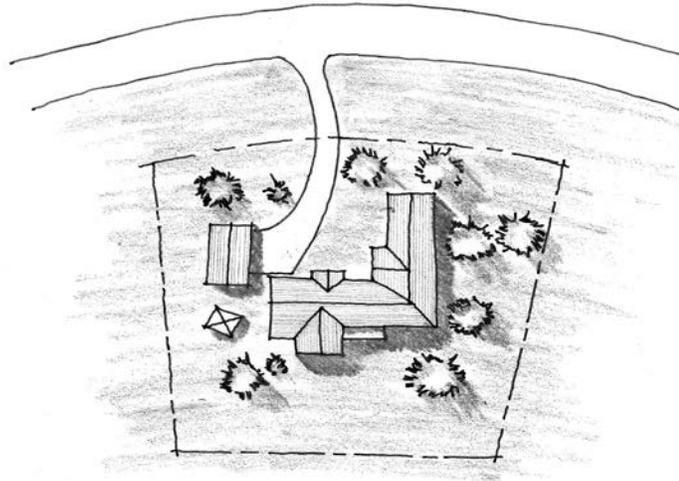
## **5.6 Porches**

Porches provide a means of transitioning from the public areas of the neighborhood to the privacy of the Home. They also extend the opportunity for outdoor living in the receptive climate of SSR. As such, the design of Homes can benefit by providing porches, terraces, and “outdoor rooms” that orient toward the roadway and neighborhood walkways to make the neighborhood look lively and inhabited. These semi-private places can extend the livability of the Home while allowing friendly interaction with neighbors.

The design of porches, in terms of column and railing detail, configuration, and color, provides a great opportunity for individual expression. When properly designed with protective roofs, porches also act as effective buffers against snow shed from high roofs at entries and egress points around the Home.

## **5.7 Accessory Buildings**

Accessory or secondary buildings (Accessory Buildings) such as detached garages, Casitas (subject to Section 8.9 of these Design Guidelines), gazebos, and picnic shelters are permitted for Homes on lots greater than 0.5 acres within Summit Sky Ranch as long as the DRC rules the design of the those Accessory Buildings is compatible and expresses equal value and attention to detail with the Home, and they are clustered on the Home Site to create the sense of a homestead.



Casita Buildings must be attached to the primary structure per requirements set for in Section 8.9.

Accessory Buildings shall not be the main focus of the Home Site and shall blend in with the primary structure on the Home Site. Accessory Buildings must be constructed in accordance with these Design Guidelines and approved by the DRC. The accessory unit shall be located entirely within the building envelope, be provided at least one additional off-street parking space, and shall not have utility meters separate from the primary residence.

## **5.8 Structural Expression and Integrity**

An important aspect of the mountain modern architectural theme for SSR is the honest and direct expression of building structure. This visual confirmation of the structural system will contribute to a sense of protective shelter and will recall the direct and honest tradition of wood and stone construction in Colorado mountain construction. In order to reinforce this important aspect of the Design Theme, the following design principles shall be incorporated:

- *Building foundations, where more than minimally exposed, due to grade, shall appear to grow out of the Home Site, merge with the topography, and carry the weight of the structure. Where more than 12” of wall height is exposed, the wall shall be made of colored concrete or clad in stone veneer, metal siding, or other material durable with water splashing on and snow sitting against it. This visual support for the building can be enhanced through graduated or battered / sloped stonewalls. It can also be furthered by the partial engagement of large, anchoring boulders set into the corners and lower portions of the foundation walls.*
- *Wood, timber and steel walls shall reflect the horizontal and vertical support of the structure as seen in the scale, proportion, and continuity of the column and beam systems. Trusses and other wood systems that span spaces or transfer loads shall express their structural order. Load-bearing systems shall be rationally expressed with members sized to accept their true or visually represented loading.*
- *An authentic visual logic will be achieved if *column, beam, and connection systems* are designed to provide a continuous transfer of loading in a logical and ordered manner from roof to foundation. Illogical visual representations, such as beams landing above large window openings without an expressed header, shall be avoided.*
- *Roof framing offers a visually prominent mean to express the structural integrity of the building while adding interest, character, and individual identity to the house. Beams, rafters, purlins, and supporting brackets can establish scale, detail, and visual harmony. These building components will be supportive of the architectural theme if they portray an honest and direct expression of the structural system.*



*TIMBERS W/O STRUCTURAL LOGIC. HEAVY OVERHANG WITH NO APPEARANCE OF SUPPORT.*



*TIMBER ELEMENTS USED WITH STRUCTURAL LOGIC – STILL ALLOWING FOR CREATIVE VARIETY.*

## 5.9 Exterior Walls

There are a limited number of materials to be used on exterior walls at Summit Sky Ranch but a vast number of assemblies and details for their application. Creative use of the materials can add architectural interest and personal identity while maintaining a quiet order and visual harmony within the neighborhood. In general, there are three categories of materials that may be used on exterior walls: wood (including various types of siding, timbers, logs and split logs, but not railroad ties), stone, and metals with a natural patina. While these materials may be used in any combination that expresses structural order, the use of different materials on the walls of different masses can add emphasis to the composition of additive forms. The use of a single exterior material or pattern over an entire large Home is inconsistent with the intent to break homes down to a human and historic scale. An on-site mockup exhibiting all exterior finish materials and typical details will be required for all projects within SSR.

The following wall materials may be used:

- **Stone:** Stone indigenous to the Colorado Mountains or the western US region such as weathered granite or basaltic rock, “river rock,” sandstone, and “moss rock” may be used to merge buildings to their Home Sites and to express structural mass, walls, and chimneys. Stone shall be of a type and color which will blend with other materials on the site and in the residence. Where used, stone shall form, or appear to form, a mass with depth proportional to width as opposed to appearing as a veneer applied to one face of a building element or mass. Size, coursing, and mortar joint detail shall be chosen to give the appearance of solid, load-bearing stonework as is typical of vernacular and historic buildings rather than an applied thin veneer. No artificial stone is allowed.

To tie buildings into the Home Site, large boulders may be integrated with foundation and site walls, especially at corners. The battering / sloping of stonewalls is encouraged.

- **Wood Board and Batten:** Vertical board and batten, as well as reversed wide battens over boards, may be used in varied sizes and widths.
- **Timber with Chinking:** The western ranch influence of hewn timber (flat face) may be used as a stacked timber wall. Corners may be interlocked or timbers may die into a vertical corner post.
- **Round Logs:** Logs may be used as structural components of post and beam or truss construction for accents only. Round logs must be in scale with the other components of the Home. Excessively large logs as typically seen in “parkitecture” are discouraged.
- **Timber Frame and Glass:** A structural frame of timber may be infilled with glass to create an exterior wall. The individual members of the frame shall be sized to represent their apparent structural loading. When large areas of glass are used, it is very important that extended roof overhangs be used to cast a shadow on the glass and reduce reflectivity and glare.
- **Wood Siding:** Various sizes and profiles of wood siding may be used in horizontal or vertical patterns.

- ***Metal Siding:*** Metal siding may be used in a limited manner to express building forms. When used, metal siding shall be a naturally-patina material in colors that blend with the subtle earth tones of the Home Site such as corten steel, terne metal, copper, and similar metals that age to a dull luster or non-reflective surface.
- ***Ornamental and Structural Steel:*** These materials may be used as accent elements to reinforce the structural expression and crafted nature of SSR Homes. Appropriate uses include beams, columns, bases, metal banding at column bases, steel cross-ties, and steel connectors at timber connections.

## **5.10 Doors, Windows, and Window Coverings**

The Home Sites at SSR enjoy a variety of excellent views of the surrounding mountains, woodlands, and meadows. It is anticipated that the design of Homes will place a high priority on capturing these views in a dramatic fashion. It is important that the design of major view windows be in balance with the other portions of the architecture and that expressed structure in window walls, secondary mullions, and extensive roof overhangs be used to cast shadows and sub-divide window surfaces to reduce glare and reflectivity from large expanses of glass.

Location, size, and overhang protection for windows are crucial elements of energy efficiency and passive solar design, which shall be taken into account early in the design process. North facing glass shall be minimized, east and west windows used appropriately, and properly protected south facing windows encouraged.

In contrast to large view windows, secondary windows can provide a statement of character and intimate scale when carefully proportioned and placed in stone or wood exterior walls. When set within stone walls, windows shall be recessed and include headers to express structural support.

Individual windows and lights shall have square or vertical proportions as opposed to horizontal shapes. Sizes of window components in multi-pane assemblies can add a human scale and proportion to the Home. When used, divided lights must be authentic or simulated to appear authentic, using internal spacer bars to simulate true divided lights. Highly reflective or mirrored glass is not permitted within SSR. Stained glass and glass block may be used if not visible from the roadway.

Doors provide the opportunity to create scale, proportion, and detail to exterior elevations, while responding to identity and privacy considerations. Doors can be the hallmark of the Home, expressing creative design in terms of artistry and materials. Color material and detailing of doors shall be compatible with those of the rest of the house, though appropriate stronger accent color may be used to enhance the importance of an entry.

Window coverings must, from the exterior of the home, appear as a natural color in substance.

## **5.11 Roofs**

Roofs play a very significant role in the architecture of SSR...both functionally and aesthetically. Within the mountain modern design theme, roofs shall convey a sense of shelter and protection for the Home. They can also establish scale and interest through a

successful composition of varied pitches and forms. Both practically and visually, it is important to keep basic roof forms simple with classic forms such as gable, hip, vault, and shed that form a quiet profile. Flat roofs (less than 2:12 slope) are not allowed unless substantially surrounded by higher forms and concealed from most public view or used as occupied decks.

Roofs shall be designed to efficiently deal with the significant snowfall of the Summit County region. Simple forms will help achieve this goal, both in terms of holding snow efficiently during the colder months and directing run-off as the weather warms and the snow melts from the roof.

Roof materials for primary roofs may be metal roofing and concrete shakes, architectural-grade composition shingles, or natural slate.



Secondary roof materials may be the same as the primary roof, or a metal pre-finished in weathered tones (such as weathered galvalume color), or natural patina (such as copper, zinc, corten steel, or terne metal). For secondary roofs, metal roofs shall have a textured surface such as metal shingles, standing seam, or corrugated panels to reduce glare and hold snow more effectively, thereby reducing the potential for snow avalanching problems.

Snow and rain shedding that avoids potential for personal injury and property damage shall be considered in the design of roof forms. The roof plan shall be designed in concert with the site and landscape plans to avoid conflicts with drainage and safety issues.

The technical design of roofs, such as detailing for ventilation, insulation, and snow retention, shall consider the factor of significant snowfall and the potential for associated ice dams. When using slate, care shall be taken to avoid placing slate tiles in areas where impact due to snow shed from adjacent, higher roofs will damage the tiles. Snow guards, snow fencing, heated gutters, and downspouts may be used as effective measures to control the avalanching of snow and the removal of moisture from roofs.

The on-site mock-up of exterior materials must include roof materials, including flashing.

## **5.12 Dormers**

Dormers are appropriate as both functional and aesthetic elements of SSR architecture. Placement, shape, and size of dormers shall take into consideration the scale and proportions of the primary building as well as interior spaces and functions. Dormer materials may be selected from the exterior wall materials and roofing materials used on the building or may employ other permitted materials in order to act as contrasting secondary elements.

## **5.13 Chimneys, Flues, and Roof Vents**

Chimneys may be finished with stone to match the material used on the foundation of the building, or they may be finished with a type of siding allowed for exterior walls. Chimney caps offer an opportunity for individual artistic expression whether done in stone or metal.

Large flues and vents are to be consolidated when feasible and enclosed within a chimney-type enclosure. Small flues such as plumbing vents may be exposed if painted to match the adjacent roof. Chimneys, flues, and roof vents shall be designed with stout upslope diverters to prevent damage due to snow shed.

## **5.14 Gutters, Downspouts, and Snow Shedding**

Long-term enjoyment of property and the safety of Owners and guests at SSR will be enhanced if the effects of rain and snow are thoughtfully addressed. This can be accomplished through the careful design of roofs and their secondary systems such as gutters, downspouts, flashing, and snow guards.

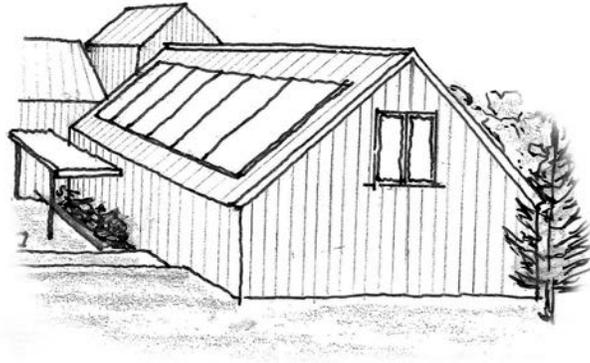
While the overall design and strategic placement of roof forms shall be the primary way to effectively manage water run-off and snow-shedding, additional gutters, downspouts, and snow fences / guards may also be needed to properly design the roof system. These devices can be used effectively to divert water away from entries and patios and toward surface drainage on the Home Site, which shall be carefully planned to integrate with the landscape for the home. Properly placed snow guards can help retain snow on the roof and avoid or slow potentially dangerous avalanching of snow from the roof.

Gutters, downspouts, and flashing will ideally be fabricated from copper and allowed to reach a natural patina. In lieu of copper, metal with an applied coating in a subdued or weathered tone to relate to or match the primary or secondary roof color may be used. Snow guard braces and rails made of steel are to be painted to match or relate to the primary or secondary roof color. Snow guard rails may also be made of timber.

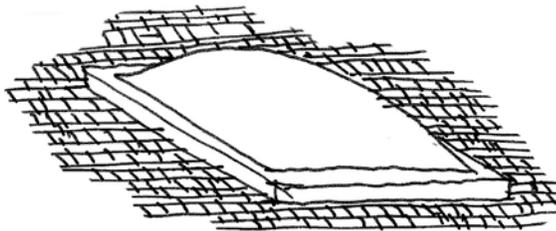
## **5.15 Skylights and Solar Panels**

The considerable year-round sunshine at SSR, and the goal of environmental sustainability in buildings support the use of natural daylighting and solar heating. Devices such as skylights and solar panels offer energy savings opportunities. Layout, location, size, and configuration of skylights and solar panels are to be integrated with the design and proportions of the overall building and roof forms. “Bubble” skylights and panels mounted on secondary frames, for instance, are not permitted. They are to be designed in

a manner that avoids random patterns and does not interrupt the visual continuity of the roof. Solar panels are to be mounted in the same plane and angle as the associated roof.



*SOLAR PANELS IN THE PLANE OF THE ROOF ARE ACCEPTABLE*



*BUBBLE SKYLIGHTS ARE NOT ACCEPTABLE*

## **5.16 Colors**

There are two important aspects to building color within Summit Sky Ranch. The first aspect is the predominant color palette of major building forms, including the major exterior exposures of walls and roofs. The second aspect of color is the accent found on details and trim.

### *Color of Major Building Forms*

The primary goal for major building forms is to blend into the colors and textures of the native landscape, including the trees, soils, and rocks of the Home Site.



Stone shall relate to outcroppings in the general area...typically in the gray, brownish-gray, and brownish-red colors. Bright reflective stone, such as white or buff limestone, shall be avoided.



Major wood wall materials, including siding, shingles, timbers, and logs, shall be treated or stained in low pigment finishes to enhance the natural colors and qualities of the wood.

Roof color, when roofing is made of architectural-grade composite shingles, shall be in green to brown-green, brown, gray, or gray-green colors with rich shading and variation in the composite mix to avoid a uniform hue. When using natural or simulated slate, roofing color shall be gray to green-gray with highlights of purple. Metal roofing shall be pre-weathered and of color(s) which simulate weathered materials.

### *Details and Trim*

The colors of detail and trim offer the opportunity to establish individual identity and interest for the individual Home. The colors of small details can either be the same as the primary wall materials or may be from a broad range of colors that are found on the Home Site in soils and plant materials, including flowers, sage, and other foliage. However, these colors are to be subtle and are to avoid bright, vivid, or intense primary colors.

Trim around windows and doors and at porches can either be the same as the primary wall material or a lighter color such as cream, warm gray, sage gray / green, beige, and other such subtle colors that reflect light and enhance shadow patterns. Colors for pre-finished window frames, mullions, and divided lights shall complement colors found naturally on-site such as pine and sage greens, reddish-browns, tans, and grays.

## **5.17 Exterior Equipment and Satellite Dishes**

### *Exterior Equipment*

All exterior mechanical, electrical, and other utility equipment such as air conditioning units, metering devices, transformers, and natural gas service lines, shall be substantially screened from public view and adjacent Homes. Wall-mounted utilities shall be screened using landscaping or materials similar to the exterior walls with exposure only as required by utility companies for meter reading. Propane tanks, with the exception of small units (30 lb size, 24" max ht.) associated with barbecue grills, heaters or other outdoor accessories, are not permitted within SSR.

### *Satellite Dishes*

Satellite dishes are permitted if 24" or less in diameter. All satellite dishes shall be painted to match adjacent exterior wall or roof colors and located in inconspicuous areas to the fullest extent practical. Dish locations shall be shown on documents submitted to the DRC for approval.

## **5.18 Exterior Flags and Banners**

Exterior flags and banners are prohibited except as permitted by C.R.S. §38-33.3-106.5(1).

## **5.19 Basements**

No basements shall be permitted except for the Planning Area 1A: Estate referred to in the PUD.

## 6 LANDSCAPE GUIDELINES

The existing landscape composition of SSR is comprised of four major plant communities: Aspen, Spruce and Fir, Meadow, and Riparian. The range and size of these landscape types varies according to the topography, aspect, moisture, and level of historic ranch and agricultural use. Each of these landscape identities is crucial to maintaining the character of SSR and shall be preserved and enhanced where possible. Reference Appendix 2 for plant lists.

The proposed landscape for each Home Site shall blend with the existing natural landscape character of SSR. These additive plantings will be used to re-vegetate disturbed areas, enhance existing desirable landscape patterns, and merge new improvements with the natural landforms of the site. New plantings will also be used to reduce visual impact between adjacent home sites, define desirable views, and finally to delineate and screen outdoor spaces integral to a particular home design. All landscape improvements shall draw from the character of the existing landscape, using indigenous species and limiting the need for large irrigated areas. The guidelines outlined below apply to all new landscape improvements:

### 6.1 Planting Design

The following are general considerations for planting design at SSR.

- Avoid rigid or uniform placement of plant material
- Group or cluster shrubs of the same species, rather than scattering or mixing them throughout the site.
- Consider and utilize size, but space materials to fill-in within three growing seasons.
- Avoid formal or pruned plantings, such as clipped hedges.
- Use plant material to help spatially define outdoor spaces without creating solid screens or visual barriers.

### 6.2 Trees and Shrubs

New trees and shrubs shall be in a mix of sizes that will blend naturally into the surrounding vegetation. The following are requirements per Home Site:

**Deciduous Trees** – No more than 50% of trees planted to be the same height

- Estate: Minimum of 12 trees at a caliper or 1.5” and greater
- Low Density: Minimum of 9 trees at a caliper of 1.5” and greater

**Coniferous Trees** – No more than 75% of trees to be the same height

- Estate: Minimum of 5 trees at a height of 6’
- Low Density: Minimum of 3 trees at a height of 6’

**Shrubs**

- Estate: Minimum of 10 shrubs in 5 gallon container
- Low Density: Minimum of 10 shrubs in 5 gallon container

**Specimen Trees:** Large specimen trees and shrubs shall be incorporated into areas adjacent to homes to help blend building with the natural landscape.

**Ground Covers and Wildflowers:** Ground covers and wildflowers shall be installed using a native plant palette in an informal manner to support the natural character of the site.

**Native Mulch:** Mulch must not be artificially colored and comprised of native materials such as bark chips and pine needles which may be uniformly spread out around the base of new trees and in planting beds.

**Turf Areas:** Irrigated turf, whether seed or sod, shall be used sparingly and only in areas near homes that are not readily visible from off-site. Turf areas shall be associated with usable outdoor spaces adjacent to the primary structure on the site.

**Native Seed Areas:** Native seed areas that supplement or blend new improvements with the existing landscape shall be encouraged.

**Non-Native Plantings:** Non-Native plantings shall only be allowed within Building Envelopes adjacent to proposed structures. Opportunities for introduced non-native varieties include raised planters, pots, and planted beds to introduce seasonal color and interest.

**Existing Mature Trees:** All building improvements on the home site shall be designed to avoid existing healthy trees. Measures, such as root protection and fertilization, shall be undertaken during construction and overseen by a certified professional arborist. These protection measures shall be applied to all existing healthy trees (6" caliper or more) within 30' of construction activity. Preservation of existing healthy trees is very important to maintaining the natural landscape character of the site. In some cases, where existing healthy trees are located within disturbance areas, a stone tree well may be placed to insure protection of the tree.

### 6.3 Irrigation

Irrigation within SSR whether in the form of temporary irrigation, drip irrigation, or spray irrigation, shall be designed to minimize impact on the site, yet provide enough moisture to ensure healthy plantings. To reduce water consumption and promote a natural landscape palette, irrigated turf shall be limited as stated in the PUD Guide for SSR. Irrigated turf areas shall not exceed the following amounts:

- Estate: 1,000 square feet per dwelling unit
- Low Density: 800 square feet per dwelling unit

Spray irrigation shall be contained to turf and perennial areas only. All other irrigated areas shall be drip irrigation. All irrigation shall adhere to local water conservation programs and guidelines.

#### **6.4 Tree Inventory and Removal**

Existing healthy trees are to be identified and protected to the greatest extent possible. A mandatory site survey will document the location, type, and size of significant (6 inch caliper or more) mature trees on a Home Site.

Tree removal on an individual Home Site is only permitted within the designated Building Envelope, within the approved access route to the home site or in areas that have been defined by a certified professional arborist as being diseased or dying. Approval to remove other trees within a home site shall be presented to the DRC or HOA in writing for authorization. Removal of trees outside the Building Envelope without approval may result in up to a \$10,000.00 fine per tree.

#### **6.5 Erosion Control and Re-Vegetation**

Plant materials for erosion control and re-vegetation shall be used to stabilize sloped areas and to control the onset of invasive species. The HOA may also require other stabilization or weed control measures to be instituted.

#### **6.6 Boulders and Native Stone**

Boulders or natural stone added to the site shall be integrated into the landscape to maintain the existing natural character. The following guidelines shall be considered when using boulders or natural stone:

- When used in boulder retaining walls, stones shall appear naturally dry stacked with large, substantial boulders on the bottoms of walls and smaller stone at the tops.
- All boulders placed in the landscape shall be set into the ground at least 1/3 of its total diameter, and laid horizontally.
- Boulders shall be placed with most attractive and interesting side visible. Any damaged or unattractive feature shall be hidden.
- Avoid scattered placements of stone where it may look unnatural.

#### **6.7 Riparian and Wetland Areas**

All Home Sites have been carefully located to avoid documented wetlands, however sensitive riparian and wetland soils may exist within a lot. No construction activity may take place within established 25' wetland setbacks. No construction activity, including site grading or landscaping, may take place in a wetland setback. Protective measures, such as fencing, shall be instituted during construction.

## **6.8 Fire Protection**

A number of areas within SSR may be considered at risk for wildfire. Many measures shall be taken to reduce the risk of a potential wildfire. A 10' zone will be established around the structures where safety measures shall be implemented.

These measures include planting low fuel type landscape, clearing natural debris, and providing storage areas (i.e. firewood storage) away from main structure. Irrigated areas adjacent to the main structure will also help remedy potential wildfire conditions.

## **6.9 Hardscape Areas**

Exterior hardscape areas within the Building Envelope and adjacent to the structures may include the following materials: natural stone, concrete pavers and cast-in-place colored concrete. Design that blends these hardscape spaces with the adjacent natural landscape is encouraged.

## **6.10 Fire Pits**

Outdoor fire pits and fireplaces shall be gas operated and integrated into the design of the exterior hardscape areas.

## **6.11 Hot Tubs**

Exterior Spa or Hot Tub areas shall be permitted if they are integrated into the design of the hardscape / landscape areas and are screened from view by adjacent properties or roadways.

## **6.12 Pools and Fountains**

In-ground pools shall be permitted within SSR in a manner that is integral to the landscape design and minimizes site disturbance. No above-ground pools shall be allowed. No pool enclosure or roof shall be allowed except as part of a house, complying with all area, material, and other requirements as such. Any in ground pools shall be located within the Building Envelope.

Recirculating fountains or water features integrated into the landscape are permitted so long as they are unobtrusive. Any water features proposed to be located outside of the Building Envelope must be approved by the DRC.

## **6.13 Art / Sculpture**

Art or Sculpture integrated into the landscape design is permitted. All pieces shall be in earth tones or dark muted colors if visible from adjacent properties or the roadways. Any sculpture visible from adjacent properties or roadways shall be less than 72" in height.

## 6.14 Landscape Lighting

A “Dark Sky” lighting approach shall be applied at Summit Sky Ranch employing low-level, concealed source lighting sources in order to protect the night sky above the community from light pollution. Landscape Lighting shall be applied at walkways or grade changes, and fixtures shall not exceed 24” in height. Lighting may be motion activated or controlled by a timer. Tree up-lighting or tree mounted lighting is not allowed. *Refer to following Section 7.*

# 7 Exterior Lighting Guidelines

## 7.1 Lighting Philosophy

Lighting provides a welcome dusk and nighttime atmosphere where entrances and destination points are highlighted. Dark Sky lighting is required. Specifically, these guidelines address the basic objectives of site lighting:

- Safety and security
- Identity and image
- Nighttime visibility and function
- Environmentally sensitive lighting
- Energy conservation.

The key to quality exterior lighting is to place light only where it is needed without causing glare. By not wasting light, smaller lamp wattages can be utilized to achieve superior effects. The most important result is improved visibility. Another by-product is reduced energy usage and improved maintenance. Design criteria includes basics such as lighting levels (illuminance), uniformity, and brightness balance (luminance) as well as recommendations for reducing glare, light trespass, and light pollution.

### 7.1.1 Exterior Building Lighting (Dark Skies)

The overriding goal for exterior building lighting within Summit Sky Ranch is to maintain the night sky while providing adequate illumination for safety and Code compliance. To accomplish this goal, criteria shall be complied with:

- Lighting may be used to illuminate walking surfaces of decks, terraces, and walkways and not the architecture itself. The number of fixtures shall be kept to the minimum needed to assure safety and Code compliance and not to light exterior walls, architectural features, or landscaping.
- Exterior light sources are to be directed downward and away from adjoining properties and public areas.
- All exterior light sources must be fully concealed or recessed so that the light source is not visible from outside the Home Site.
- Control systems are recommended, so that exterior lights may be automatically minimized, turned off, or significantly dimmed when the Home is not occupied.

- All exterior lighting shall utilize energy saving lamps (not incandescent) or shall be solar powered.

### **7.1.2 Safety and Security**

Safety involves providing light on hazards so that they are detected with sufficient reaction time. Hazards may include pedestrian path and vehicle intersections, crosswalks, stairs, and ramps. The lighting system, along with other site design elements, must provide visual information to assist users in avoiding such things as a collision or loss of bearings.

Security is often referred to as the perception of safety. Providing for security involves lighting potentially hazardous locations and situations. Lighting can also act as a deterrent by increasing the visibility in an area of concern. Lighting is required in many secured areas to ensure that no encroachment goes unnoticed. However, it shall be noted that an increase in the number of people in an area will be a more effective deterrent of crime than an increase in light level.

### **7.1.3 Identity and Image**

SSR responds to its mountain setting and treads lightly on the environment. SSR is timeless in character while using materials that are reminiscent of a simple mountain lifestyle. Luminaire selections shall not only be based on photometric performance but also on the aesthetic character of SSR.

### **7.1.4 Open Space and Natural Areas**

Open Space and Natural Areas will not be lighted at night. The intent is to leave these areas dark to protect the natural environment so that animals and plants will not be disturbed. Also, people will be able to walk into these areas under moonlight and be able to observe the skies. Summit Sky Ranch is dedicated to preserving the natural environment and minimizing light pollution.

### **7.2.1 Pedestrian Walkways and Paths**

Lighting for residential walkways will be allowed only as appropriate to provide a safe path for residents and visitors to the homes' front entries. The following lighting criteria will be used for lighted residential walkways:

- Lighting will be provided by low voltage landscape lighting or incorporated into the building.
- Key signage will be lighted to provide visual cues for navigation.
- White light sources similar to incandescent lamps will be used with a maximum initial lamp lumen rating of 600 lumens (equivalent to 40W incandescent).

Stairs may have integrated lighting in order to provide well-defined shallows of the tread and risers for easier stair and ramp navigation.

- Recessed step lights will be incorporated into the stair sidewalls.
- An alternate lighting solution may be to install low voltage landscape lighting at the stair landings.
- White light sources similar to compact fluorescents, and LED lamps will be used.
- Stair specific lighting shall have louvers and/or be fully shielded.
- Lamp maximum initial lumens shall be 600 lumens.

### **7.2.2 Feature and Landscape Lighting**

Feature and landscape lighting strengthens individual areas and relationships from area to area. The timeless element adds to the unique identity and security between areas. The goal of landscape lighting is to only light selected items and not to light large landscaped areas.

- Areas are established as appearing dramatic or natural in appearance by determining areas of importance and the corresponding amount of light required. How the light falls on the object (from front, back, overhead, and below) will change its appearance.
- Selective walls, features, or other key elements may be highlighted throughout SSR. All features shall be treated in a similar fashion. Adjustable shielded luminaires that are recessed into the ground provide an even, warm wash of light across the surface and pull out the texture of the rough stone.
- Luminaires shall be concealed from public view where possible (i.e. implanting beds, by landscape, behind rocks, or mounted on the elements). Luminaires shall be mounted to be completely protected from lawn mowers, weed eaters, and snow blowers.
- Luminaires shall be supplied with internal louvers, shields to control glare and to prevent excess light from going up into the atmosphere.
- Lamp sources for uplights shall be limited to maximum initial lumens of 2400 lumens or a 35 watt PAR metal halide.
- Luminaires with high quality optics shall be utilized.
- Uplighting of flags is not permitted.
- Special amenity lighting such as water features or other unusual lighting needs to be reviewed and approved by SSR Design Review Committee.

### **7.2.3 Holiday and Temporary Lighting**

During the winter holiday season (November 1 to January 31), holiday lighting may be used. The intent for holiday lighting is a tasteful display using traditional lighting techniques such as strings of Christmas lights in trees. Any lighting that is temporary in nature by means of cord and plug connection and / or not installed by the National Electric Code is defined as Holiday and Temporary Lighting.

- Low wattage string tree lights are permitted.
- Dynamic displays such as “chasers” are not permitted in nonresidential areas.
- Searchlights or other lights designed to attract attention are not permitted.
- Holiday lighting may only be installed and energized from November 1 to January 31.
- Other holiday lighting techniques must be approved by SSR Design Review Committee on a yearly basis.

#### **7.2.4 Lighting Controls**

The goal is to provide exterior lighting when people are present. As activity decreases during the night, lighting can be prioritized to turn off and/or activated with occupancy sensing.

- Determine control zones and methods for the pedestrian and parking lot lighting in order to determine if areas can be turned off during extremely low activity levels.
- Turn off art, feature, and other nonessential safety lighting during low activity periods.
- Activate non-metal halide parking lot lighting during low activity periods with occupancy sensors or timeclocks.
- Activate low use area, non-metal halide pedestrian lighting during low activity periods with occupancy sensors or timeclocks.

## **8 DESIGN REVIEW COMMITTEE AND PROCEDURES**

### **8.1 Design Review Committee**

The DRC shall be initially comprised of five members, per the CC&R’s. A quorum for conducting DRC business will consist of three members. At least one member of the DRC must be an Architect, one member shall be a Qualified Builder and the DRC cannot have a quorum without at least one Architect member being present. A simple majority vote of the DRC members in attendance with a quorum will be required to approve, table, or deny a development proposal. All business of the DRC shall be conducted at meetings which are open to all Members of the Association; meetings shall be held at least once in each calendar month or more often upon call of the chairperson of the DRC; all meetings shall be held at the offices of Summit Sky Ranch, unless changed to another location by the members of the DRC.

Members of the DRC will evaluate all development proposals in accordance with these Design Guidelines and the CC&R’s. The DRC members will use their knowledge of design and building in a mountain environment to interpret the merits of each proposal and its compliance with these Design Guidelines.

These Design Guidelines contain both absolute requirements and relatively general goals or suggested design principles. Typically, the absolute requirements are used for issues such as Building Height and Setbacks. The interpretation and application of the more general requirements will be left to the discretion of the DRC. This process will allow judgment, discretion, and flexibility to address the unique characteristics of each Home Site.

The goal of the DRC is to encourage Good Architecture to always prevail at SSR.

It shall be understood, however, that the overall goal of the DRC is to apply these Design Guidelines in a fair and impartial manner to all properties in SSR. Any variance or deviation from these Design Guidelines will be limited to situations where strict application would be unreasonable or unduly harsh under the circumstances. Approval of such variances or deviations will take into consideration the special merit and design creativity, while retaining an overall consistency with the Design Theme.

Plans for a new building, site, or landscape construction as well as plans for exterior alterations, expansion, or exterior refurbishing of existing buildings and landscape must receive a Certificate of Plan Compliance from the DRC and be stamped "Approved by the Summit Sky Ranch DRC" on each sheet prior to applying for a building permit from the Town or commencing construction. Individual applicants are responsible for ensuring they are in possession of, and in compliance with, the latest version of these Design Guidelines.

## 8.2 Design Review Process

This portion of these Design Guidelines describes a “roadmap” to the Design Review Process. In order to help assure that the process is both positive and productive, there are a series of steps that begin prior to the start of design and carry through to the completion of construction.

Any information to be submitted or notice to be given to the DRC shall be submitted at the offices of the Association, or at such other location as the DRC may designate from time to time.

The following steps are to be followed for all Home Sites within Summit Sky Ranch:

Step	Responsibility	Timing
<p><b>1. Pre-Application Conference (Owner must have completed the closing process on their lot prior to the pre-application process.)</b></p> <p>The purpose of this meeting is to provide the Owner and the Architect with the necessary introductory information to initiate the design process. It will also allow discussion of the Owner’s objectives and goals in the context of the Design Theme. Specific issues such as site configuration, Building</p>	<p>Applicant/ DRC</p>	<p>Within approximately two weeks of Applicant’s request</p>



<p>exterior walls below (dashed) (1/8" = 1'-0" minimum scale, with north indicated).</p> <ul style="list-style-type: none"> <li>e. <b>Schematic Building Exterior Elevations</b> with exterior materials graphically called out and described (1/8" = 1'-0" minimum scale).</li> <li>f. <b>Building Height Calculations</b> illustrating compliance with the Code (1/8" = 1'-0" minimum scale).</li> <li>g. <b>Schematic Landscape Plan</b> showing location, type, and drip-lines of trees to remain, trees and vegetation to be removed, and new proposed vegetation; all on-grade patio and terrace areas; pools and spas; areas of disturbance; and erosion control measures (1" = 20' minimum scale, with north indicated).</li> <li>h. <b>Perspective, Model, or Computer 3-D Illustrations</b> showing the Home in a manner that adequately conveys the three-dimensional massing (1" = 10' minimum scale for models).</li> <li>i. <b>Exterior Material Samples</b> showing quality and color of the proposed roofing and wall materials.</li> <li>j. <b>Application and Fees</b> with Application stamped by the Architect or Engineer who prepared the Submittal.</li> </ul> <p>The Applicant <b>is required to</b> stake the location of the corners of the proposed building(s), <b>the center point of the driveway at the access point</b> and all other Improvements <b>prior to</b> submittal of Sketch Plan review documents to the DRC. Additionally, trees to be removed and/or protected will be appropriately tagged in accordance with the designations set forth in these Design Guidelines. In some instances, the DRC may require that ridgeline flagging be erected to indicate proposed heights of buildings. The DRC may perform a site visit to review the Sketch Plan staking prior to Sketch Plan review.</p>		
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<p>c. <b>Roof Plan</b> indicating roof pitch and direction of slope, materials, chimneys, typical note for painted flues, ridges, valleys, hips and pitch breaks, ridge vents (if used), snow guards and clips, gutters, and exterior walls below (dashed) (1/4" = 1'-0" minimum scale, with north indicated).</p> <p>d. <b>Exterior Building Elevations</b> indicating Building Height (with natural grade shown dashed); exterior materials indicated and described for walls, stairs, railings, flashings, chimney and sill caps, etc; window and door locations and configurations; all exterior trim with sizes indicated; exterior expressed structural components; exterior building lighting systems (locations and cut sheets), meters and utility connections, satellite dish location(s), and Finished Grade (1/4" = 1'-0" minimum scale).</p> <p>e. <b>Building Sections</b> indicating roof, walls, floors, porches, terraces, patios, decks, exposed structures, room names, Casitas Facilities, if applicable, and Finished Grade (1/4" = 1'-0" minimum scale).</p> <p>f. <b>Exterior Building Details</b> indicating the visual expression of materials, structure, finishes, trim, soffit and fascia, railings, chimney caps, and other such detail components that describe the building.</p> <p>g. <b>Landscape Plan</b> indicating existing trees to be saved and removed (show drip-lines); Areas of Disturbance, No-Disturbance Zones, planting plan by species and size of all proposed trees, shrubs, and ground cover; all "hardscape" paved areas, garden areas, and deck areas; driveway, maneuvering, and parking areas; retaining walls; fences and privacy walls; areas of irrigation; exterior site lighting (and cut</p>		
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<p>sheets) (1" = 20' minimum scale, with north indicated).</p> <p>h. <b>Material and Color Board</b> describing, through actual samples, all the exterior materials and colors of the project.</p> <p>i. <b>Construction Management Plan (CMP)</b> illustrating the proposed strategy for managing the jobsite. The CMP shall include the location of all construction fencing around the Areas of Disturbance, all other protective fencing, silt fence locations and other erosion protection devices, location of construction trailer, construction parking areas, snow storage areas, waste receptacle locations, sanitary facility locations, and concrete washout areas (1' = 20' Minimum scale, with north indicated).</p> <p>j. <b>Revised Perspective, Model or Computer 3-D Illustrations</b> are required only if requested by the DRC due to significant changes (as deemed by the DRC) made to Applicant's Submittal for Sketch Plan review (1" = 10' minimum scale for models).</p> <p>k. <b>Tree Conservation Plan</b> indicating existing trees to be saved and those to be removed.</p> <p>l. <b>Application and Fees</b> with Application stamped by the Architect or Engineer who prepared the Submittal.</p> <p>DRC reviews the Final Plan and notifies Applicant of the results in writing.</p> <p>If Final Plans are approved, Applicant submits the Compliance Deposit to the DRC, and the DRC issues a Certificate of Plan Compliance.</p> <p>Upon approval of Final Plans, the Applicant shall prepare and submit Final Working Drawings to the DRC. The contents of the Final Working Drawings submittal shall be substantially consistent with the</p>	<p>DRC</p> <p>Applicant/ DRC</p> <p>Applicant</p>	<p>Within approximately three weeks of submission</p>
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<p>approved Final Plans, while responding to any conditions or revisions imposed by the DRC at Final Plan review. The Final Working Drawings must be stamped "Approved by the Summit Sky Ranch DRC" prior to submittal of the Final Working Drawings to the Town for its plan check process in order to obtain a building permit. Concurrent with the submission of the Final Working Drawings to the DRC, the Applicant shall stake the footprints of all Improvements to be constructed on the Home Site and all parking, storage and laydown areas, as well as flag all trees to be removed and/or saved according to the Tree Conservation Plan.</p> <p>Applicant submits the Final Working Drawings to the Town building permit approval in accordance with the Code. Each application for a building permit on a Home Site that is submitted to the Town shall: (i) contain a map showing the Building Envelope for such Home Site, (ii) contain a certification that such Building Envelope is currently staked and the Applicant's agreement to maintain such stakes until after the Town approves or denies such building permit application, and (iii) contain a written certification from the DRC certifying that the location of such Building Envelope has been approved by the DRC.</p>	<p>Applicant/ Town</p>	
<p><b>4. Pre-Construction Meeting</b></p> <p>The purpose of this meeting is to provide the Applicant's contractor with the necessary introductory information to initiate the staging and construction processes. It will also allow discussion of the DRC's objectives and goals with respect to Summit Sky Ranch construction procedures. Specific issues such as on-site mockups, discussion of the Final Plans, the required Compliance Deposit, site staking, building permit, and review of the DRC's Certificate of Plan Compliance will be addressed at this time, along with secondary issues such as Areas of Disturbance, No-Disturbance Zones, protective fencing for existing vegetation, erosion</p>	<p>Applicant/ DRC</p>	<p>Prior to any staging or work on the Home Site</p>

control, staging requirements, parking, etc.		
<p><b>5. On-Site Mockups</b></p> <p>On-site mockups are required for all projects constructed within Summit Sky Ranch, to illustrate the actual exterior materials proposed. Mockups must be 4' x 8' minimum and show roof assembly with shingles or metal, flashing, fascia, and rafters, all exterior wall materials and colors proposed (including trim), and proposed stone with grout. Mockups must be approved by the DRC prior to installation of any exterior finish materials.</p>	Applicant/ DRC	Prior to any installation of any exterior finish materials
<p><b>6. Re-submittals</b></p> <p>If an Applicant's Sketch or Final Plan submission is not approved, a new Submittal package shall be prepared to address all the DRC's comments. Re-submittal requirements are the same as those for the original Submittals, including a new stamped application and a \$250 Re-submittal Fee. All changes to resubmitted drawings shall be indicated by bubbles to illustrate revisions from the originals.</p>	Applicant	Within one year of DRC denial of application
<p><b>7. Certificate of Construction Compliance</b></p> <p>Upon completion of construction, the Applicant shall request a final inspection by the DRC to confirm that the construction has been completed in accordance with the approved plans and all requirements of these Design Guidelines have been met.</p>	Applicant/ DRC	Within 30 days of final inspection
<p>Upon determining that all requirements have been met, the DRC shall issue a Certificate of Construction Compliance and return the Compliance Deposit to the Owner.</p>	DRC	

### 8.3 Design Review Committee Meeting Dates

The DRC will generally convene on a monthly basis for project review sessions, on a date determined by the DRC. Results of the project review sessions will be made in writing to all Applicants who submitted for Sketch or Final Plan reviews in a timely fashion. Applicants who submit projects for review at least two weeks prior to the monthly DRC Meetings will generally be accommodated. Projects submitted less than two weeks before meetings may be accommodated, at the discretion of the DRC. The DRC will notify in writing any Applicant whose project cannot be reviewed due to late submission, an overwhelming number of submissions, or other extenuating circumstances.

## **8.4 Design Review Fees**

Design Review Fees are required to help defray the costs associated with meetings, reviews, and inspections required for the Design Review Process described above. The following Design Review Fees are non-refundable unless noted otherwise:

Pre-Planning	No Fee
Sketch Plan Fee	\$2,000.00
Final Plan Fee	\$2,000.00
Re-submittal Fee	\$250.00
Remodel Fee	\$500 to \$1000 based on scope
Pre-Construction Meeting	No Fee
Tree Conservation Plan Review	No Fee
Building Envelope Alteration Request	\$2,000.00
Compliance Deposit	\$20,000.00

## **8.5 Minor Review Fees**

Satellite Dish	\$50.00
Ornamental Items	\$50.00
Landscaping of 5 or less trees	\$100.00
Dog Run	\$250.00
Hot Tub	\$250.00
Built in Grill	\$250.00
Landscaping – more than 5 trees	\$250.00
Retaining Walls	\$250.00
Decks	\$250.00
Patios	\$250.00
Fire Pits	\$250.00

## **8.6 Variances to Design Guidelines**

Requests for variances to these Design Guidelines shall be made in writing, at the time of Sketch Plan submittal for the affected project. The DRC has sole discretion on the granting of variances under its control, and some regulations cannot be waived, regardless of hardship. Variances are generally discouraged, and Applicants must show design solutions that relate to unusual circumstances or solve unique issues. Approval of such variances or deviations will take into consideration the special merit and design creativity, while retaining an overall consistency with the Design Theme. Certain guidelines may require a variance to be granted by the Town, in addition to a variance from the DRC. DRC responses to variances will be made in writing to the Applicant, approximately three weeks after the initial request.

## **8.7 Design Review Committee Membership and Duties**

The DRC will be responsible for enforcement of these Design Guidelines, and for amending these Design Guidelines from time to time, except as set forth in the CC&R's. The regular terms of office for each member shall be one year, coinciding with the fiscal year of the HOA.

## **8.8 Appeal of Design Review Committee Decisions**

All disputes regarding any decision of the DRC to approve or deny an application shall be appealed to the Board of Directors of the Association as provided in the CC&Rs.

## **8.9 No Liability for Defects**

Neither Founder, the HOA nor the DRC, nor any of their respective officers, directors, employees or agents, shall be responsible or liable for any defects in any plans or specifications submitted, revised or approved under these Design Guidelines, for the failure of such plans or specifications to conform to applicable governmental laws or regulations, nor for any defects in construction pursuant to such plans and specifications. Approval of plans and specifications under these Design Guidelines shall be for the DRC's benefit only and shall not be deemed in lieu of compliance by Owners or lessees with applicable governmental laws or regulations.

## **8.10 Accessory Units / Casitas**

Accessory Units or Casitas are conditional uses and are subject to the review and written approval of the DRC. Home sites over 0.5 acres in size may be permitted one Accessory Unit or Casita as designated by the PUD. The Accessory Unit and Casitas shall be designed as an integral component of and be structurally integrated into the design of the primary residence, and, if part of a detached structure, with a contiguous roof covering the Accessory Unit/Casita and a concrete, decking or similar walkway to the primary residence. Accessory Units shall be located entirely within the Building Envelope, and the total living area of Accessory Units /Casita on any Home Site shall not exceed eight hundred (800) square feet on Home Sites less than one acre; and shall not exceed twelve hundred (1,200) square feet on Home Sites of one acre or more.

# **9 CONSTRUCTION REGULATIONS**

## **9.1 Construction Commencement**

Unless accepted by the CC&Rs, no construction may begin within SSR until a Certificate of Plan Compliance has been granted by the DRC, all Final Working Drawings have been stamped "Approved by the SSR DRC," a building permit has been issued by the Town, the Pre-Construction Meeting has taken place and payment of the Compliance deposit has been received. Final DRC approval of a project shall lapse and become void one year following the date of final approval of the project, unless prior to the expiration of one year a building permit is issued and construction is commenced and diligently pursued toward completion. If no construction has commenced after one year, Applicants

must re-submit their proposals for re-approval by the DRC prior to commencing construction.

Once construction begins, it shall proceed forward at a reasonable pace until construction is complete. If a project is delayed with no work for what the DRC deems is an unreasonable amount of time (usually sixty days or more), the DRC may request the Home Site be cleared of construction equipment and supplies and re-vegetated until work commences again.

## **9.2 Compliance Deposit**

In order to ensure these Design Guidelines are met and construction does not deviate from submitted documents, a refundable Compliance Deposit of \$20,000 shall be deposited by the Owner to the DRC until the project is issued a Final Certificate of Occupancy by the Town and a Certificate of Construction Compliance from the DRC. If a project is non-compliant with these Design Guidelines, the DRC may, at its sole discretion, withhold all or a portion of the Compliance Deposit to correct that portion of the project not in compliance. The Compliance Deposit shall be provided to the DRC after Final Plan approval, and prior to the DRC issuing its Certificate of Plan Compliance to the Applicant. Compliance Deposits will not be refunded based upon *Temporary* Certificates of Occupancy.

## **9.3 Construction Signs**

Except for signs of any type installed by the Founder or accepted by the CC&Rs, standardized construction and sales signs are required for all exterior construction projects and Homes for sale within SSR. To avoid a “haphazard” or otherwise unsightly streetscape, construction and sales signs shall match the standard signs illustrated in the Appendices. Only one sign is permitted at any given time for a Home Site or address within SSR. A standard construction sign is permitted until construction activity is complete, and then must be removed before a standard sales sign may be erected.

*Placeholder Left Blank on Purpose*

## **9.4 Construction Parking, Traffic, and Staging**

In an effort to foster SSR as a quiet rural residential neighborhood and retreat for its residents, construction impacts shall be kept to an absolute minimum. All construction parking within SSR shall be either on-site within an approved Area of Disturbance, or, insofar as practical, within a centralized construction staging area. Street parking, if approved by the DRC, shall occur entirely on the paved portions of streets within the area defined by extending the Home Site’s property lines. To protect the fragile vegetation and wild grasses of the neighborhood, construction parking shall not take place outside the designated Areas of Disturbance. Parking is also prohibited on street shoulders or in front of neighboring Home Sites.

To reduce congestion and minimize the Area of Disturbance within Home Sites during construction, a common marshalling and staging area may be established near the entry to Summit Sky Ranch. Prior to starting construction and when preparing the Construction Management Plan, contractors must coordinate with the DRC relative to parking, materials receiving and storage, and equipment storage.

Construction staging related to the construction of Improvements for Home Sites shall be located either in a common staging area in SSR designated by the DRC in accordance with the PUD or in a common staging area outside of SSR designated by the DRC. No construction offices, construction trailers, or overnight storage of construction materials shall be permitted on any Home Site (except (i) construction materials in de minimis amounts, (ii) dirt and rocks and, (iii) dumpsters or other refuse receptacles).

### **9.5 Construction Activity and Noise Control**

All construction activity within the development shall take place during the following designated days and hours:

Monday – Friday 7:00 am to 6:00 pm

Saturday 8:00 am to 4:00 pm (if construction site is within 300 feet of an occupied residence, only indoor work is permitted)

Sunday No construction activity permitted.

Holidays No construction activity permitted. Holidays include New Year’s Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas.

The intent of the designated days and hours cited above is to limit noise within SSR, including, but not limited to, noise produced by construction equipment, generators, radios, and construction crews.

### **9.6 Material Deliveries**

All material deliveries within SSR shall take place during the days and hours permitted for construction activities. Materials will be delivered to a centralized staging area as identified by the DRC.

### **9.7 Construction Site Management**

All construction sites shall be kept clean and free of debris with no trash or debris leaving the jobsite. Dust and dirt shall also be controlled and kept on-site using water trucks or similar methods. Concrete washout from any source shall be performed on-site within an approved Area of Disturbance in a location where it will eventually be buried by the structure or covered by paving. Washout areas shall also be away from any catchment basins or drain inlets that may get clogged by the concrete. Construction site management shall follow the approved CMP submitted with the approved Final Plans.

## **9.8 Trailers and Temporary Structures**

No trailers or temporary structures shall be permitted on any Home Site unless approved in writing by the DRC.

## **9.9 Review and Inspection**

The DRC or its designated representatives may enter upon any Home Site at any reasonable time or times to inspect the progress, work status, or completion of any project. The DRC may withdraw approval of any project, thereby stopping all activities at such project, if deviations from the approved plan or approved construction practices are not corrected or reconciled within 48 hours after written notification to the Owner specifying such deviations.

If the violation remains uncured and the Owner does not receive approval from the DRC to reinstate the project, the Owner shall be responsible for all costs and expenses associated with returning the Home Site to the condition of the Home Site before such violation. If the DRC cures any such violation, the Owner shall pay to the DRC the amount of all costs and expenses incurred by the DRC in connection therewith in addition to an administrative fee to be determined by the DRC, within 30 days after the Owner receives notice thereof from the DRC. Any amounts due under Section 8.4 may be deducted from the Owner's Compliance Deposit in the DRC's discretion.

## **9.10 Tree Removal**

Prior to any removal, intentional damage, or destruction of any tree on a Home Site, the Owner shall submit a Tree Conservation Plan, as described in Section 6.4, to the DRC, and obtain the DRC's approval of such plan.

**Summit Sky Ranch  
Design Guidelines**

**Appendix 1  
Residential Application Form**

**Summit Sky RANCH**  
**Design Guidelines**  
**Residential Application Form**

**I. GENERAL INFORMATION**

- 1. Submission Date
- 2. Date of DRC Meeting
- 3. Type of Review (Check one)
  - Sketch Plan
  - Final Plan
  - Resubmitted Plan

**II. PROJECT TEAM INFORMATION**

- 1. NAME OF PROJECT \_\_\_\_\_
- 2. LOCATION OF PROJECT \_\_\_\_\_
- 3. NAME OF APPLICANT \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

\_\_\_\_\_

Telephone Number \_\_\_\_\_

Fax \_\_\_\_\_

- 4. NAME OF OWNER(S) \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**SUMMIT SKY RANCH DESIGN GUIDELINES**

**Residential Application Form (cont'd)**

**II. PROJECT TEAM INFORMATION (CONT'D)**

5. NAME OF ARCHITECT \_\_\_\_\_

Company \_\_\_\_\_

Mailing Address \_\_\_\_\_

Telephone \_\_\_\_\_

Email \_\_\_\_\_

**III. PROJECT INFORMATION**

1. Total Home Site Acreage \_\_\_\_\_ Acres

2. Allowable Total Maximum Site Coverage

Estate Lots: 20% or 10,000 SF (whichever is less)

Low Density: 30% or 6,000 SF (whichever is less)

3. Number of Bedrooms \_\_\_\_\_

4. Number of Parking Spaces  
(Including garage spaces) \_\_\_\_\_

5. Allowable Total Floor Area \_\_\_\_\_ Square Feet

6. Proposed Total Floor Area \_\_\_\_\_ Square Feet

7. Allowable Maximum Building Height 35 Feet

8. Proposed Maximum Building Height \_\_\_\_\_ Feet

End of Application Form

# Summit Sky Ranch Design Guidelines

## Appendix 2

### Approved Plant Species and Seed Mix

#### Spruce and Fir

Broad-Leaf Arnica	<i>Arnica latifolia</i>
Colorado Blue Columbine	<i>Aquilegia caerulea</i>
Creeping Colorado Holly	<i>Mahonia repens</i>
Douglas Fir	<i>Pseudotsuga menziesii</i>
Elk Sedge	<i>Carex geyeri</i>
Engelmann Spruce	<i>Picea engelmannii</i>
Jacob's Ladder	<i>Polemonium pulcherrimum</i>
Kinnikinnick	<i>Actrostaphylos uva-ursi</i>
Ninebark	<i>Physocarpus monogynus</i>
Red Berried Elder	<i>Sambucus pubens</i>
Saskatoon Serviceberry	<i>Amelanchier alnifolia</i>
Thimbleberry	<i>Rubacer parviflorus</i>
Wild Raspberry	<i>Rubus idaeus</i>
Windflower	<i>Anemone nemorosa</i>

#### Aspen

Aspen	<i>Populus tremuloides</i>
Colorado Blue Columbine	<i>Aquilegia caerulea</i>
Common Juniper	<i>Juniperis communis</i>
Cow Parsnip	<i>Heracleum sphondylium</i>
Geranium	<i>Geranium richardsonii</i>
Lupine	<i>Lupinus argenteus</i>
Meadow Rue	<i>Thalictrum fendleri</i>
Mountain Snowberry	<i>Symphoricarpos rotundifolius</i>
Rocky Mountain Maple	<i>Acer glabrum</i>
White Yarrow	<i>Achillea lanulosa</i>
Wood's Rose	<i>Rosa woodsii</i>

Meadow

Blue Fountain Willow	<i>Salix purpurea pendula</i>
Blue Gramma	<i>Bouteloua gracilis</i>
Chokecherry	<i>Prunus virginiana</i>
Colorado Blue Spruce	<i>Picea pungens</i>
Fireweed	<i>Chamerion angustifolium</i>
Indian Paintbrush	<i>Castilleja integra</i>
Monch Frikart's Aster	<i>Aster x frikartii 'Monch'</i>
Mountain Dandelion	<i>Agoseris aurantiaca</i>
Mountain Gentian	<i>Gentiana parryi</i>
Prairie Smoke Avens	<i>Geum triflorum</i>
Pussy Toes	<i>Antennaria parvifolia</i>
Rocky Mountain Penstemon	<i>Penstemon strictus</i>
Saskatoon Serviceberry	<i>Amelanchier alnifolia</i>
Silvery Lupine	<i>Lupinus argenteus</i>
Skunk Cabbage	<i>Symplocarpus foetidus</i>
Sneezeweed	<i>Helenium autumnale</i>
Tufted Hairgrass	<i>Deschampsia cespitosa</i>

Riparian

Canadian Reedgrass	<i>Calamagrostis canadensis</i>
Chokecherry	<i>Prunus virginiana</i>
Colorado Blue Spruce	<i>Picea pungens</i>
Cow Parsnip	<i>Heracleum sphondylium</i>
Dwarf Arctic Willow	<i>Salix purpurea nana</i>
Kings Crown	<i>Rhodiola rosea</i>
Lanceleaf Cottonwood	<i>Populus angustifolia</i>
Monkey Flower	<i>Mimulus guttatus</i>
Mountain Blue Bells	<i>Mertensia ciliata</i>
Native River Birch	<i>Betula fontinalis</i>
Nebraska Sedge	<i>Carex nebrascensis</i>
Pixwell Gooseberry	<i>Ribes uva-crispa 'Pixwell'</i>
Red Twig Dogwood	<i>Cornus sericea</i>
Rocky Mountain Iris	<i>Iris missouriensis</i>
Thinleaf Alder	<i>Alnus incana tenuifolia</i>

Revegetation (areas of major disturbance)

Aspen	<i>Populus tremuloides</i>
Bell Flower	<i>Campanula rotundifolia</i>
Blue Flax	<i>Linum lewisii</i>
Fireweed	<i>Chamerion angustifolium</i>
Golden Yellow Yarrow	<i>Achillea 'Coronation Gold'</i>
Indian Paint Brush	<i>Castilleja integra</i>

Lodgepole Pine	<i>Pinus contorta</i>
Pussy Toes	<i>Antennaria parvifolia</i>
Rabbitbrush	<i>Ericameria nauseosa</i>
Rocky Mountain Penstemon	<i>Penstemon strictus</i>
Showy Fleabane	<i>Erigeron speciosus</i>
Tall Western Sage	<i>Artemisia tridentata</i>

#### Ornamental

Aspen	<i>Populus tremuloides</i>
Bristlecone Pine	<i>Pinus longaeva</i>
Cat Mint	<i>Nepeta</i>
Colorado Blue Spruce	<i>Picea pungens</i>
Coral Bells	<i>Heuchera</i>
Common Purple Lilac	<i>Syringa vulgaris</i>
Cranesbill	<i>Geranium</i>
Day Lily Hemerocallis	<i>Hemerocallis</i>
Dwarf Globe Blue Spruce	<i>Picea pungens</i> 'Glauca Globosa'
Dwarf Mugo Pine	<i>Pinus mugo pumilio</i>
Elijah Blue Fescue	<i>Festuca glauca</i> 'Elijah Blue'
Globe Flower	<i>Trollius chinensis</i> 'Golden Queen'
Jupiter's Beard	<i>Centranthus</i>
Larkspur	Larkspur Delphinium
'Moonshine' Yarrow	<i>Achillea</i>
Oriental Poppy	<i>Papaver orientale</i>
Red Berried Elder	<i>Sambucus pubens</i>
Schubert Chokecherry	<i>Prunus Virginiana</i>
Stonecrop	<i>Sedum</i>
Spring Snow Crabapple Malus 'Spring	<i>Malus</i> 'Spring Snow'
Sweet Woodruff Galium odoratum	<i>Galium odoratum</i>
Ural False Spirea Sorbaria sorbifolia	<i>Sorbaria sorbifolia</i>

**Seed Mixes:**

Custom Wildflower and Grass Mix

Rocky Mountain Fescue  
25% Sheep Fescue 25%  
Canby Bluegrass 5%  
Tufted Hairgrass 5%  
Blue Flax 10%  
Rocky Mountain Penstemon  
15% Pine Leaf Penstemon 5%  
Achillea 'Coronation Gold' 5%

Native High Country Grass Seed Mixture

Slender Wheatgrass 30%  
Canby Bluegrass 15%  
Big Bluegrass 10%  
Idaho Fescue 10%  
Sheep Fescue 10%  
Western Wheatgrass 10%  
Blue Wildrye 5%  
Tufted Hairgrass 5%

**Summit Sky Ranch  
Design Guidelines  
Appendix 3**

**Partial List of Preferred Consultants**

## Partial List of Preferred Consultants

### Architects:

#### **Craine Architecture**

2190 E 17<sup>th</sup> Ave  
Denver, CO 80206  
720-457-2012  
[www.crainearch.com](http://www.crainearch.com)

#### **CCY Architects**

228 Midland Ave  
Basalt, CO 81612  
970-927-4925  
[www.ccyarchitects.com](http://www.ccyarchitects.com)

#### **bhh Partners, Planners, Architects**

160 E Adams Ave  
Breckenridge, CO 80424  
[www.bbhpartners.com](http://www.bbhpartners.com)

#### **Matthew A Stais Architects**

108 S Ridge St  
Breckenridge, CO 80424  
970-453-0444  
[www.staisarchitects.com](http://www.staisarchitects.com)

#### **Janet L Sutterley Architects**

500 S Ridge St  
Breckenridge, CO 80424  
970-453-1718  
[www.jlsutterleyarchitect.com](http://www.jlsutterleyarchitect.com)

### Landscape Architecture:

#### **Norris Design**

PO Box 2320  
310 Main Street  
Frisco, CO 80498  
970-485-4478  
[www.norris-design.com](http://www.norris-design.com)

### Landscaping:

#### **Neils Lunceford**

740 Blue River Parkway  
Silverthorne, CO 80498  
970-468-0340  
[www.neilslunceford.com](http://www.neilslunceford.com)

**Structure Engineers:**

**Backcountry Structural Engineering**

265 Tanglewood Lane  
Silverthorne, CO 80498  
970-333-1511  
www.bcstructural.com

**Surveyors:**

Range West  
101 Main Street #200  
Frisco, CO 80443  
970-468-6281  
[www.rangewestinc.com](http://www.rangewestinc.com)

**Summit Sky Ranch  
Design Guidelines**

**Appendix 4  
Compliance Deposit Regulations**

## **SUMMIT SKY RANCH**

### **COMPLIANCE DEPOSIT REGULATION**

The purpose of this Compliance Deposit Regulation is to provide for a Compliance Deposit that will be administered by the DRC in order to assure compliance with all aspects of these Design Guidelines.

The DRC has the power to amend this regulation from time to time.

After the DRC has approved an Applicant's Final Plan including the CMP, prior to commencing any construction activity on the Home Site, the Owner shall deliver a Compliance Deposit to the DRC, and the DRC shall issue Owner a Certificate of Plan Compliance. This Compliance Deposit shall act as security for the Owner's full and faithful performance of all construction activity on the Home Site in accordance with the approved plans.

The amount of the Compliance Deposit shall be \$20,000.00 per Home Site.

The Compliance Deposit shall be delivered by the Applicant to the DRC by certified check, cashier's check, or wire transfer.

No interest shall be paid on the Compliance Deposit to the Applicant.

At its sole discretion, the DRC may use, apply, or retain any or all of the Compliance Deposit to the extent required to reimburse the DRC for any cost the DRC may incur by reason of the Owner's non-compliance with these Design Guidelines or the Owner's failure to construct the Improvements in accordance with the plans as approved by the DRC.

After a 30-day notice to the Owner, the DRC shall have the right to expend funds necessary to cure the non-compliance including the right to engage a contractor to enter the Home Site and remedy any non-compliance. The DRC shall be entitled to an additional fee in an amount equal to 15% of the total costs incurred by the DRC to cure or mitigate any non-compliance.

If the amount of the Compliance Deposit is not sufficient to cure any non-compliance by an Owner, the DRC may apply the Compliance Deposit in any manner that the DRC deems best to mitigate the effects of the non-compliance.

If the DRC uses any portion of the Compliance Deposit, as set forth above, the Owner shall within seven days after written demand from the DRC pay the DRC the amount needed to restore the Compliance Deposit to its original amount.

Any part of the Compliance Deposit not used by the DRC as permitted above shall be returned to the Owner within 30 days after the issuance of the Certificate of Construction Compliance by the DRC.

Neither the Owner, the contractor, nor any other party shall have any rights of any kind against the DRC, its officers, members, agents, or employees arising out of the DRC's use or administration of the Compliance Deposit, unless the DRC is grossly negligent.

**Summit Sky Ranch  
Design Guidelines**

**Appendix 5  
DRC Checklist for Reviewing Submittals**

# **SUMMIT SKY RANCH DESIGN GUIDELINES**

## **DRC Checklist for Reviewing Submittals**

### **Step 1: Pre-Planning Meeting (Owner must have completed the closing process on their lot prior to the pre-application process.)**

- Pre-Planning topics (actual submittals not presented by Applicant at this meeting)
- DRC will review samples of previously-approved Submittals with Applicant
- Discuss the Design Theme
- Discuss procedure and “ground rules” for the use of the Design Guidelines and review meetings
- DRC to verify Applicant has current Guidelines and Appendices
- Discuss design and construction schedule
- Discuss specific issues such as Site Configuration, Building Envelopes, No-Disturbance Zones, Setbacks, Easements, Utilities and Geotechnical Studies
- Discuss primary building corners and center of driveway must be staked, prior to the Sketch Plan Review

### **Step 2: Sketch Plan Review**

- Completed Application
- \$ 2,000.00 Sketch Plan Fee
- 1 set of electronic drawings
- Submittal prepared by Architect
- Existing site Conditions (1” = 20’)
  - ✓ Topography
  - ✓ Building Envelope
  - ✓ Areas of Disturbance
  - ✓ No-Disturbance Zones
  - ✓ Home Site Boundaries
  - ✓ Setbacks
  - ✓ Easements
  - ✓ Locations and sizes of existing trees (greater than 6” caliper)
- Proposed Site Plan and Grading (1” = 20’)
  - ✓ Topography (existing and new contours)
  - ✓ Areas of Disturbance
  - ✓ No-Disturbance Zones
  - ✓ Home Site Boundaries
  - ✓ Setbacks

- ✓ Easements
  - ✓ Locations and sizes of existing trees (greater than 6" caliper)
- Schematic Building Floor Plans (1/8" = 1'-0")
  - ✓ Walls, doors, and windows
  - ✓ Roof overhangs
  - ✓ Elevations for each floor
  - ✓ Casitas, if applicable
- Schematic Building Roof Plans (1/8" = 1'-0")
  - ✓ Roof pitch and direction of slope
  - ✓ Materials
  - ✓ Chimneys and major flues
  - ✓ Ridges, valleys, hips, and pitch breaks
  - ✓ Exterior walls below (dashed)
- Schematic Building Exterior Elevations (1/8" = 1'-0")
  - ✓ Exterior materials called out
- Building Height Calculations (1/8" = 1'-0")
  - ✓ Must illustrate compliance with these Design Guidelines
- Schematic Landscape Plan (1" = 20')
  - ✓ Location and type of existing vegetation
  - ✓ Location and type of proposed vegetation
  - ✓ Areas of Disturbance
  - ✓ Erosion control measures
- Model or Computer-Generated 3-D Images
  - ✓ Must adequately convey 3-dimensional massing
  - ✓ Images may be hand-rendered, but must be constructed by computer for accuracy

### **Step 3: Final Plan Review**

- Completed Application
- \$ 2,000.00 Final Plan Fee
- 1 set of electronic drawings
- Submittal prepared by Architect
- Site Plan (1" = 20')

- ✓ Access drive and parking
- ✓ Survey of trees to be saved and trees to be removed (greater than 6" caliper) and Applicant's Tree Conservation Plan
- ✓ Site grading and drainage
- ✓ Existing and final topography
- ✓ Utility locations and tie-in points
- ✓ Areas of Disturbance
- ✓ No-Disturbance Zones
- ✓ Building Envelopes
- ✓ Home Site boundaries and easements
- ✓ Setbacks
- ✓ Building configuration and roof plan
- ✓ Decks and terraces
- ✓ Snow shed areas from roof
- ✓ Snow storage areas
- Foundation Plan (1/4" = 1'0")
  - ✓ Top and bottom elevations of all walls-unexcavated areas
  - ✓ Unexcavated Areas
  - ✓ Crawl Space areas
  - ✓ Copy of the "Geotechnical Engineering Studies for Homesites"
- Building Floor Plans (1/4" = 1'0")
  - ✓ Overall building dimensions
  - ✓ Room layouts
  - ✓ Mechanical rooms and flue/duct chases
  - ✓ Window and door locations
  - ✓ Roof overhangs above
  - ✓ Meter and utility locations
  - ✓ Satellite dish location
  - ✓ Casitas, if applicable
  - ✓ Exterior lighting systems (locations shown and cut sheets provided)
- Roof Plan (1/4" = 1'0")
  - ✓ Indicate all roof pitches and direction of slope
  - ✓ Call out roof materials
  - ✓ Indicate chimneys and mechanical flues
  - ✓ Call out ridges, valleys, hips, and pitch breaks
  - ✓ Show snow guards, snow clips, and gutter locations
  - ✓ Show exterior walls below (dashed)

- ❑ Exterior Building Elevations (1/4" = 1'-0")
  - ✓ Building height shown
  - ✓ Exterior materials and colors called out
  - ✓ Window and door locations and configurations
  - ✓ Exterior trim shown
  - ✓ Exterior expressed structural components
  - ✓ Meters and utility connections
  - ✓ Satellite dish location
  - ✓ Finished Grade
- ❑ Building Sections (1/4" = 1'-0")
  - ✓ Showing roofs, walls, floors, porches, terraces, patios, decks, exposed structure, room names, and finished Grade
- ❑ Exterior Building Details (optional scale)
  - ✓ Indicating visual description of materials, structure, finishes, trim, soffits, railings, chimney caps, etc.
- ❑ Landscape Plan (1" = 16' or 1" = 20')
  - ✓ Survey of existing trees to be saved and those to be removed (greater than 6" caliper) and Applicant's Tree Conservation Plan
  - ✓ Proposed plantings (trees, shrubs, and groundcover) shown by species and size
  - ✓ All patio, deck, and other hardscape areas
  - ✓ Driveway and parking areas
  - ✓ Retaining walls
  - ✓ Fences and privacy walls
  - ✓ Dog runs (if applicable)
  - ✓ Service areas
  - ✓ Exterior lighting (and cut sheets)
  - ✓ Irrigated areas
  - ✓ Address sign
- ❑ Material and Color Board (no scale)
  - ✓ Actual samples, photos, and catalog cut sheets
  - ✓ Must illustrate all exterior materials and colors
- ❑ Model or Computer-Generated 3-D Images
  - ✓ Must adequately convey 3-dimensional massing
  - ✓ Images may be hand-rendered, but must be constructed by computer for accuracy
- ❑ Construction Schedule

#### **Step 4: Pre-Construction Meeting**

- Construction Management Plan (1" = 20')
  - ✓ Construction access
  - ✓ Construction parking
  - ✓ Temporary buildings
  - ✓ Location of sanitary facilities
  - ✓ Fencing around Areas of Disturbance
  - ✓ Construction signage
  - ✓ Proposed method of maintaining natural drainage around worksite
  - ✓ Tree protection
  - ✓ Erosion control
  - ✓ Material storage and staging
  - ✓ Dumpster location
  - ✓ Snow management strategy
  - ✓ Proposed Construction Schedule

Compliance Deposit (\$20,000.00)

**End of Residential Compliance Checklist**

**Summit Sky Ranch  
Design Guidelines**

**Appendix 6  
Definitions**

## SUMMIT SKY RANCH DESIGN DEFINITIONS

*Accessory Buildings:* A detached subordinate building, the use of which is customarily incidental to that of the main building or to the main use of the land and which is located on the same Home Site with the main building or use.

*Applicant:* An Owner, Architect, or other Owner's representative that is authorized to act on behalf of the Owner's best interests in matters relating to the DRC application, submittals, or materials.

*Architect:* A professional licensed by the State of Colorado to practice architecture.

*Area of Disturbance:* The area of approved construction disturbance within each Home Site, which includes allowances made for practicality of construction and site access.

*Aspen House:* That certain building or group of buildings which may contain community common space.

*Boathouse:* That certain building or group of building which are located at or near the SSR lake for member use.

*Building Envelope:* The area of the Home Site designated in the Home Site Guidelines in which all structures within a Home Site must entirely reside, including garages, roof overhangs, window wells, etc.

*Building Height:* The vertical distance from the average (pre-development prior to excavating or filling) grade level at the four points of the structure which most nearly approximate geographic north, south, east and west to the highest point of the roof surface.

*Casita:* An accessory portion of a Home that includes a kitchenette, sleeping and bathroom facilities distinct from the remainder of such Home and the other kitchen, sleeping and bathroom facilities of such Home.

*CC&R's:* The Declaration of Covenants, Conditions and Restrictions for Summit Sky Ranch, as the same may be amended or supplemented from time to time, together with the plat for Summit Sky Ranch.

*CDD:* The Town's Community Development Department.

*Certificate of Construction Compliance:* A certificate issued by the DRC certifying that the final construction of a project complies with these Design Guidelines and any applicable Home Site Guidelines.

*Certificate of Plan Compliance:* A certificate issued by the DRC to Applicant certifying that the Final Plans for a project are approved and comply with these Design Guidelines and any applicable Home Site Guidelines.

*Code:* The Town of Silverthorne Development Code, including any amendments thereto or Code provisions in replacement thereof.

*Compliance Deposit:* A refundable fee that is designed to assure that the Applicant has met all DRC requirements during construction. The Compliance Deposit shall be deposited by the Owner with the DRC until the DRC has performed a final inspection and the project is issued a Certificate of Construction Compliance by the DRC.

*Construction Management Plan:* A plan developed by the contractor and submitted to the DRC that delineates Areas of Disturbance, construction parking, traffic and staging, temporary buildings, snow storage, fencing, signage, erosion control measures, and other construction-related items.

*Design Guidelines:* The requirements, recommendations, procedures, processes, and restrictions set forth within this document, as may be amended from time to time by the DRC.

*Design Review Committee (DRC):* The committee appointed to oversee, update, amend, and provide enforcement of these Design Guidelines.

*Design Review Process:* The process set forth in Section 8.2 of these Design Guidelines.

*Design Theme:* The design theme for Summit Sky Ranch set forth in Section 2 of these Design Guidelines.

*Eave Height:* The distance from finished or existing grade around a building—whichever is more restrictive—to the bottom of the fascia at the roof directly above that grade. Eave Height is typically expressed in feet or stories.

*Engineer:* A professional licensed by the State of Colorado to practice engineering.

*Final Plans:* The plans and materials described under "Final Plan Review" in Section 8.2 of these Design Guidelines.

*Final Working Drawings:* The drawings described in Section 8.2 of these Design Guidelines that are delivered to the Town by the Applicant when applying for a building permit.

*Finished Grade:* The topography of a Home Site after final grading has taken place and all construction around the project is complete.

*Floor Area:* The primary use area of a building, including all floors, but not including attached garages, exterior porches, cellars or basements, whether finished or unfinished, measured to the outside faces of all exterior walls (exclusive of exterior wall finish such as wood siding or stone veneer). For purposes of this definition, the primary use area is defined as any enclosed, habitable space with a ceiling height of five feet or higher, including storage, mechanical rooms, and closets

*Founder:* Maryland Creek Ranch Builders, LLC, a South Dakota limited liability company, and its successors and assigns.

*Home:* A single-family dwelling unit.

*Home Site:* Any parcel that: (i) has been finally platted and (ii) upon which a Home could be constructed in accordance with the PUD.

*Home Site Guidelines:* With respect to any Home Site, certain specific guidelines adopted by the DRC, and certain other guidelines and standards that the DRC may elect to otherwise reference, that are applicable to such Home Site including No-Disturbance Zones, Building Envelopes and Setbacks.

*Improvement:* Any new construction or any change to the exterior of an existing structure or to a Home Site, including significant landscaping changes. Interior remodels with no effect on the exterior are not reviewed by the DRC, unless expressly provided for herein.

*LEED:* Leadership in Energy and Environmental Design. A system used to evaluate energy-efficient, “green building” from a whole-building perspective during a structure’s life cycle. The LEED program is administered by the U.S. Green Building Council.

*No-Disturbance Zones:* Those portions of a Home Site identified as “No-Disturbance Zones” on recorded plats, as such plats may be amended from time to time.

*Owner:* The person or entity that is on record as the legal holder of the title for the Home Site. When the Owner is an entity, a person shall be assigned to act on its behalf and be known as the “Owner” in matters relating to design review applications, Submittals, or materials.

*PUD:* The Maryland Creek Planned Unit Development Guide, recorded December 14, 2007 at Reception No. 876095 in the Summit County real property records, as amended by instruments recorded November 17, 2008 at Reception No 900504 and July 6, 2015 at Reception No. 1086016, as the same may be further amended from time to time.

*Qualified Builder:* A qualified builder shall be one that has a minimum of 3 years mountain building experience as defined by 3 years of building over 7000’ in elevation. The builder shall be licensed in the Town of Silverthorne, have General Liability and Workers Comp Insurance, and familiar with all OSHA regulations. The builder will be familiar with all CCR’s and Design Guidelines for SSR.

*Setback:* An area of a Home Site set forth in the PUD, a recorded plat, or Home Site Guidelines in which all Improvements within a Home Site must entirely reside, including, but not limited to, buildings, swimming pools and hot tubs; fountains, sculptures, and other artwork; tennis, racquetball, and basketball courts; microwave and communications dishes and antennae; and stairs, decks, walls, and fences. The Building Envelope will typically lie within the Setback and will be more restrictive.

*Sketch Plans:* The plans and materials described under "Sketch Plan Review" in Section 8.2 of these Design Guidelines.

*Submittal:* Any material submitted to the DRC as part of the Design Review Process, including, but not limited to, Sketch Plans, Final Plans, Final Working Drawings, Site Plans, Site Improvement Plans, Architectural Plans, Tree Conservation Plans and Landscape Plans.

*Town:* The Town of Silverthorne, Colorado.

*Tree Conservation Plan:* The plan described in Section 6.4 of these Design Guidelines.