



Town of Elon Planning Board Agenda

**March 16, 2021
6:00 PM
Electronic and Call-in Options**

Agenda Items

A. Call to Order

B. New Business

- i. Review and Recommendation: Major Development Plan MDP 2021-01 for Parking Lot
Submitted by Elon University

C. Items from Board Members

D. Board of Aldermen Updates

E. Motion to Adjourn

DEVELOPMENT REVIEW APPLICATION FORM



Town of Elon Development Services

P.O. Box 595

104 S. Williamson Avenue

Elon, NC 27244

(336) 584-2859

PLAN TYPE:**REVIEW FEE:**

Development Plan or Subdivision - Minor

\$250.00

- Major

\$450.00 + cost of mailed notices (calculated based on # of adjoining properties)

Special Use Permit (includes Dev. Plan approval)

\$450.00 + cost of mailed notices (calculated based on # of adjoining properties)

Final Plat

\$100.00 (Exempt s/d, recombination, or easement plats = \$50.00)

Technical Review Committee (TRC) Review

\$600.00 (includes two resubmittals); \$150.00 (per each submittal over two)

Traffic Impact Analysis Review

\$300.00

Minor Subdivision = less than 10 SF lots; **Major Subdivision** = 10 or more SF lots or any number of non-residential lots.

Minor Development Plan = Development of open land uses or up to 2 buildings or additions totaling less than 30,000 sf, without new streets or right-of-way.

Major Development Plan = MF, mixed-use, or non-residential development.

Submit three (3) printed copies and an electronic set of plans to the Planning Office for review.

PROJECT SUMMARY:

A. Project Name: Elon Parking Lot Expansion

B. Type of Plan: ☐ Minor Development Plan ☒ Major Development Plan ☐ Special Use

☐ Final Plat ☒ TRC Review ☐ Traffic Impact Analysis ☐ Schematic Design (Pre-application review)

C. Property Street Address: Dalton McMichael Dr

Property Description: On the Campus of Elon University adjacent to Harper Hall and Moffit Hall

D. Owner/Applicant: Elon University: Daniel Carper

E. Report Comments to: Adam Carroll, Timmons Group

Telephone Number: 336-478-3346

Fax Number: 336-662-0420

E-Mail: adam.carroll@timmons.com

Report Comments to (additional contact): Jacob Moore, Timmons Group

Telephone Number: 336-478-3348

Fax Number: 336-662-0420

E-Mail: jacob.moore@timmons.com

F. Tax Map / Block / Parcel # (s): Parcel ID #: 115649, PIN #: 885-38-8672

G. Total Tract Acreage: 83.53

H. Zoning District: PI - Public Institutional

I. Flood Plain: ☐ yes ☒ no (A Floodplain Development Permit may also be required if property is in the Floodplain)

J. Proposed Use: Institutional - parking facility

K. Number of Lots: 1

L. Multifamily Developments: # of Units

Type: ☐ Apartments ☐ Townhomes ☐ Condominiums

M. Non-Residential Developments: Existing Gross Floor Area (GFA): Proposed GFA:

N. Amount of Existing Built-upon Area (BUA): 9,582 sf (0.22 ac)

O. Amount of Proposed BUA: 32,025 sf (0.74 ac)

PLAN SUBMISSION GUIDELINES

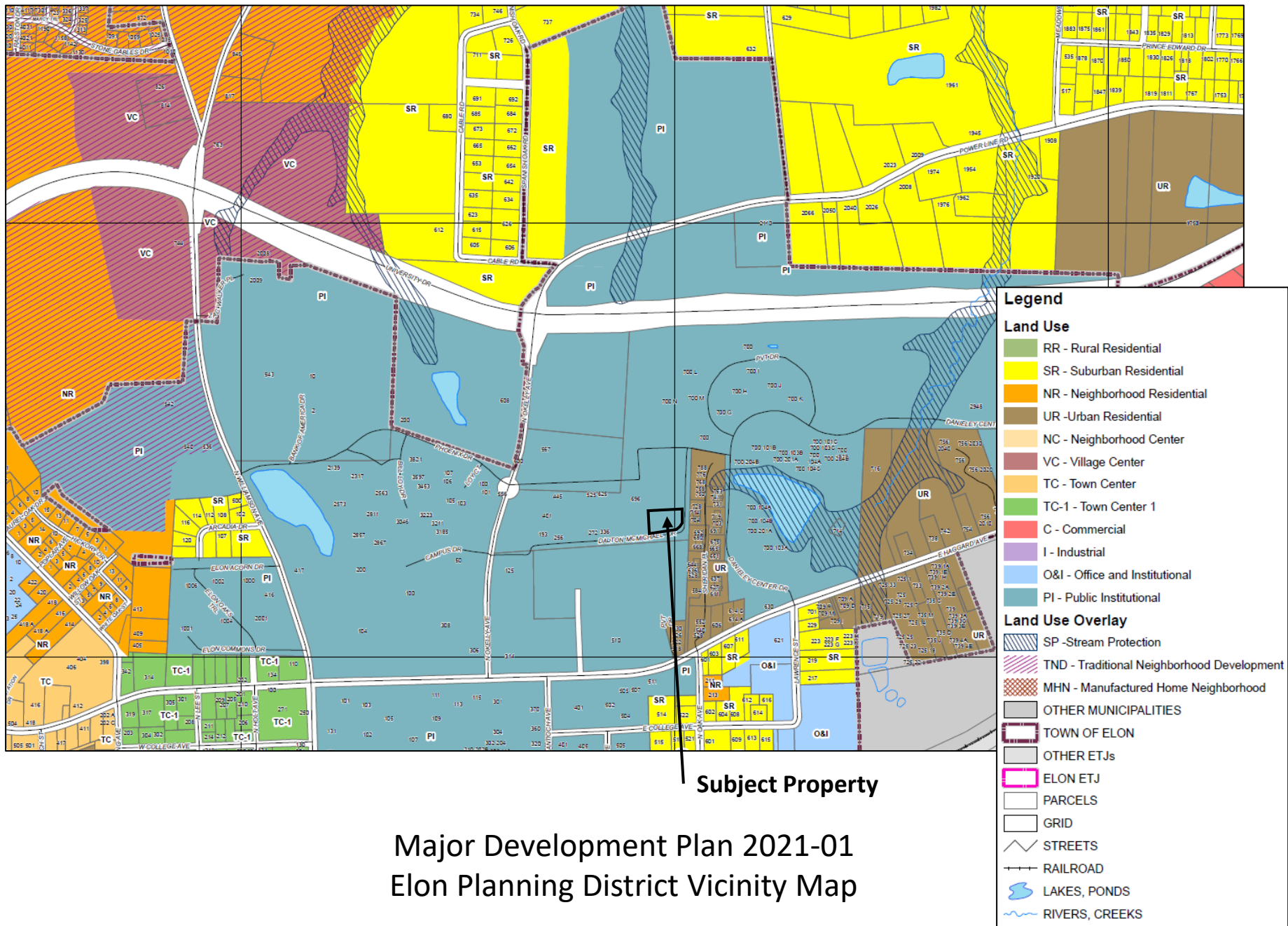
Plans submitted for Major Development Plan Review must be submitted thirty (30) days prior to the desired Planning Board meeting in order to be included on the agenda. Final Decision by the Board of Aldermen shall be provided at their next available meeting. Plans submitted for TRC Review must be submitted seven (7) days prior to the desired TRC meeting (TRC meetings may be scheduled for the 2nd & 4th Wednesdays of each month). Submittals must be complete in order to be scheduled for review.

I have read, understood and completed the attached plan to the best of my knowledge and ability.

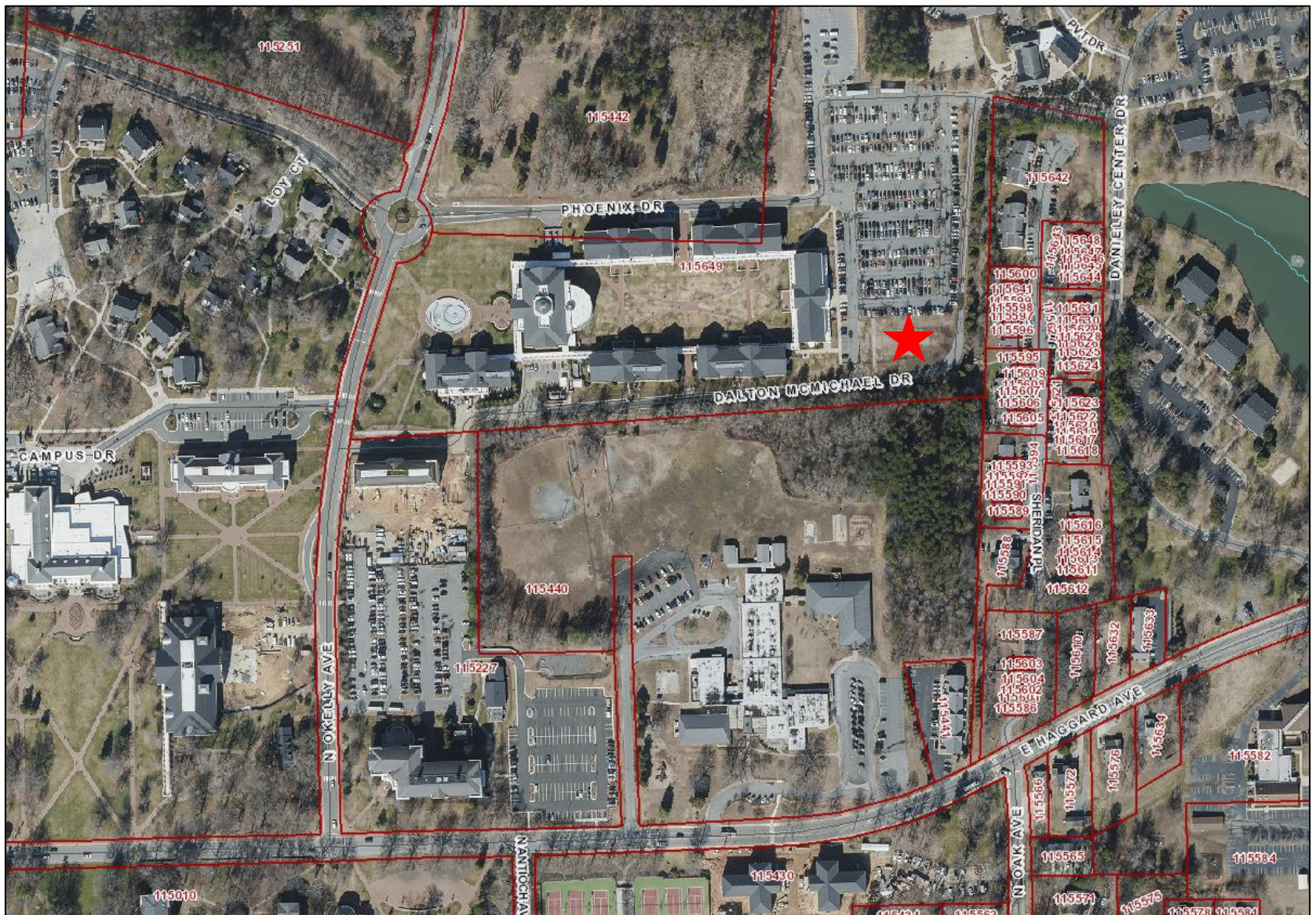
Applicant Signature: [Signature]

Phone: 336 278 5192

Date: 3/3/21



Major Development Plan 2021-01
Elon Planning District Vicinity Map



Major Development Plan 2021-01
Aerial Image
(Project Area Indicated by Star)

3/12/2021

Pamela DeSoto
Assistant Town Manager/Planning Director
Town of Elon
104 S. Williamson Ave.
Elon, NC 27244

Pamela,

Elon University is requesting the approval of a small parking lot just west of the Colonnades Neighborhood. The intent of this project is to add parking spaces to campus and to provide better vehicular circulation between parking lots. This site is an undeveloped small parcel between the existing Colonnades Parking Lot and the newly completed Innovation Quad Parking Lot. Because this parcel is bordered on both sides by parking lots, the best use for this site is to connect the parking lots and add additional parking to campus. This additional parking lot will supply parking spaces that will be needed in the future development of the Innovation Quad.

Sincerely,

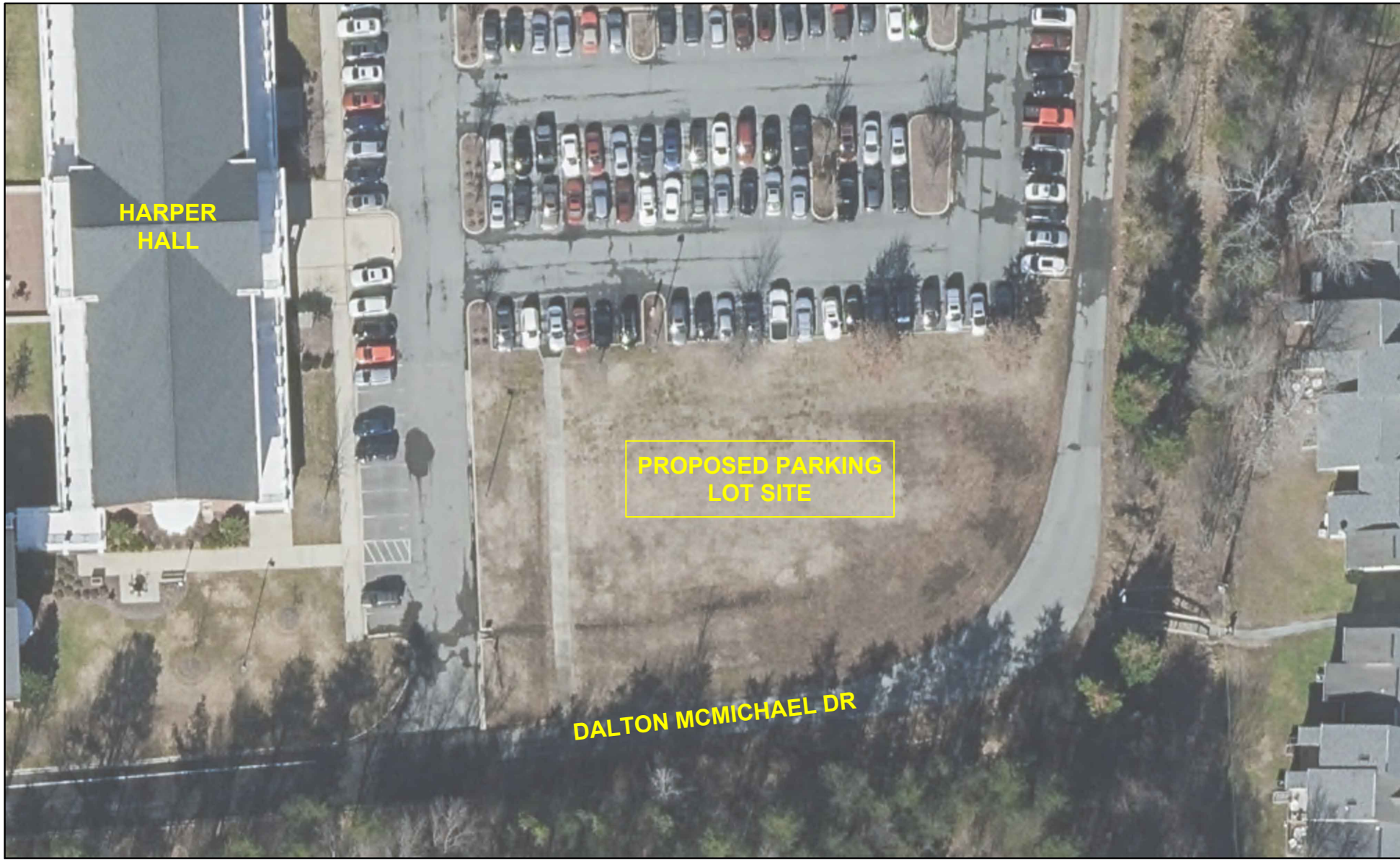
Brad Moore
University Architect
Elon University

ELON UNIVERSITY - PARKING EXPANSION

TOWN OF ELON, NORTH CAROLINA



VICINITY MAP
1" = 500'



PROJECT AREA MAP
1" = 50'

LEGEND

SEWER

SS	EXISTING SANITARY SEWER
—	SANITARY SEWER
1	SANITARY MANHOLE NUMBER
○	EX SANITARY MANHOLE
●	SANITARY MANHOLE
⊙	EXISTING CLEAN OUT
⦿	CLEAN OUT

WATER

W	EXISTING WATER LINE
—	WATER LINE
⊗	EXISTING WATER VALVE
⊗	WATER VALVE
⊗	POST INDICATOR VALVE
⊗	EXISTING WATER METER
⊗	WATER METER
⊗	EXISTING FIRE HYDRANT
⊗	FIRE HYDRANT
⊗	WATER LINE REDUCER
W	EX WATER LINE PLUG
—	WATER LINE PLUG
⊕	WATER LINE CROSS
⊕	WATER LINE TEE
⊕	FIRE DEPT CONNECTION
⊕	WATER SPIGOT

NATURAL GAS

⊕	EXISTING GAS METER
⊕	EXISTING GAS VALVE
—	EXISTING GAS LINE
—	GAS LINE

MISCELLANEOUS UTILITIES

⊕	EXISTING LIGHT POLE
☆	EXISTING YARD LIGHT
⊕	EXISTING GROUND LIGHT
⊕	LIGHT POLES
⊕	EXISTING UTILITY POLE
⊕	UTILITY POLE
⊕	EXISTING GUY WIRE
⊕	EXISTING ELECTRIC METER
—	EXISTING OVERHEAD ELECTRIC
—	OVERHEAD ELECTRIC
—	EX UNDERGROUND ELECT LINE
—	UNDERGROUND ELECTRIC LINE
⊕	EXISTING TELEPHONE PEDESTAL
⊕	EXISTING TELEPHONE MANHOLE
—	EX OVERHEAD TELEPHONE LINE
—	OVERHEAD TELEPHONE LINE
—	EX UNDERGROUND TELEPHONE LINE
—	UNDERGROUND TELEPHONE LINE
—	EX OVERHEAD FIBER OPTIC LINE
—	OVERHEAD FIBER OPTIC LINE
—	EX UNDERGROUND FIBER OPTIC LINE
—	UNDERGROUND FIBER OPTIC LINE
⊕	EX CABLE TV PEDESTAL
—	EX OVERHEAD CABLE TV LINE
—	OVERHEAD CABLE TV LINE
—	EX UNDERGROUND CABLE TV
—	UNDERGROUND CABLE TV LINE
—	COMBINED POWER/CATV
—	COMBINED POWER, TELE, CATV
—	COMBINED POWER, TELEPHONE
—	COMBINED TELEPHONE, CATV

SITE

—	EXISTING STORM SEWER
—	STORM SEWER
—	EX DROP INLET
1	DROP INLET & STRUCTURE NUMBER
⊕	EXISTING STORM SEWER MANHOLE
⊕	STORM SEWER MANHOLE
⊕	EXISTING ROOF DRAIN DOWNSPOUT
⊕	ROOF DRAIN DOWNSPOUT
—	EXISTING CURB
—	CURB
—	EXISTING CURB & GUTTER
—	CURB & CUTTER
—	PROPERTY LINE
⊕	BENCH MARK
⊕	APPROX BORING LOCATION
—	LIMITS OF CONSTRUCTION
—	EXISTING TREE LINE
—	CLEARING LIMITS
⊕	EXISTING SHRUB
⊕	EXISTING TREE
—	EXISTING FENCE
—	FENCE
—	EXISTING CONTOUR
—	CONTOUR
⊕	SPOT ELEVATION
—	C/L SWALE
⊕	EXISTING SIGN
⊕	SIGN
⊕	BOLLARD
⊕	EXISTING FLAG POLE
⊕	PROPERTY MARKER FOUND / ROD FOUND
⊕	PIPE FOUND
⊕	MONUMENT FOUND

C - SERIES DRAWING ABBREVIATIONS:

ADV - ADVANCE	OHE - OVERHEAD ELECTRIC
AFG - ABOVE FINISHED GRADE	OHP - OVERHEAD POWER
APPR LOC. - APPROXIMATE LOCATION	OHT - OVERHEAD TELEPHONE
ASSY - ASSEMBLY	PB - PLAT BOOK
B/C - BACK OF CURB.	PC - POINT OF CURVATURE
B/L - BASE LINE	PED - PEDESTAL
B/W - BOTTOM OF WALL	PG - PAGE
CBR - CALIFORNIA BEARING RATIO	PH - PHASE
CG - CURB AND GUTTER	PI - POINT OF INTERSECTION
CL - CENTERLINE	PKG - PARKING
CL - CLASS	P/L - PROPERTY LINE
CMP - CORRUGATED METAL PIPE	PT - POINT OF TANGENT
CO - CLEAN OUT	PP - POWER POLE
CONC - CONCRETE	PVC - POLYVINYL CHLORIDE
CONN - CONNECTION	PVMT - PAVEMENT
CP - CORRUGATED PLASTIC	PWR - POWER
CY - CUBIC YARD	RD - ROOF DRAIN
DI - DROP INLET	RJ - RESTRAINED JOINT
DIP - DUCTILE IRON PIPE	R/W - RIGHT-OF-WAY
DR - DRIVE	REQ'D - REQUIRED
DS - DOWNSPOUT	RCP - REINFORCED CONCRETE PIPE
E - ELECTRIC	S - SLOPE
EA - EACH	SAN - SANITARY SEWER
E BOX - ELECTRICAL BOX	SDWK - SIDEWALK
ELEC - ELECTRIC	SF - SILT FENCE
E/P - EDGE OF PAVEMENT	SPT - SPOT GRADE
E/S - EDGE OF SHOULDER	SS - SANITARY SEWER CONNECTION
EX - EXISTING	STA - STATION
F/C - FACE OF CURB	STD - STANDARD
FDC - FIRE DEPARTMENT CONNECTION	STM - STORM
FF - FINISHED FLOOR	STMH - STORM SEWER MANHOLE
FH - FIRE HYDRANT	T - TELEPHONE
FL - FLOW LINE	TCM - TELECOMMUNICATIONS MANHOLE
FL - FIRE LANE	T/C - TOP OF CURB
G - GAS	TEL - TELEPHONE
GND - GROUND	UGE - UNDERGROUND ELECTRIC
GTS - GAS TEST STATION	UNK - UNKNOWN
GV - GAS VALVE	UP - UTILITY POLE
HDPE - HIGH DENSITY POLYETHYLENE	VAR - VARIABLE
HORIZ - HORIZONTAL	VERT - VERTICAL
INV - INVERT	W/ - WITH
LF - LINEAR FEET	WL - WATER LINE
MECH - MECHANICAL	W - WATER
MH - MANHOLE	WUS - WATERS OF THE US
MIN - MINIMUM	X-ING - CROSSING
MIN S - MINIMUM SLOPE	Ø - DIAMETER
MJ - MECHANICAL JOINT	
NIG - NOT IN CONTRACT	

SHEET INDEX

NAME	
C-000	COVER SHEET
C-100	EXISTING CONDITIONS
C-101	DEMOLITION PLAN
C-102	EROSION CONTROL PLAN
C-200	SITE LAYOUT PLAN
C-300	GRADING AND DRAINAGE PLAN
C-400	OVERALL DRAINAGE MAP
C-401	SITE DRAINAGE MAP
C-500	NOTES & DETAILS
C-501	NOTES & DETAILS

DEVELOPMENT DATA:

1. TYPE OF SUBMITTAL:	TRC SITE PLAN
2. PARCEL ID:	115649
3. ADDRESS:	DALTON MCMICHAEL DRIVE
4. CURRENT ZONING:	PI - PUBLIC INSTITUTIONAL
5. ADJACENT ZONING:	UR - URBAN RESIDENTIAL
6. EXISTING USE:	PUBLIC/INSTITUTIONAL, PROJECT SITE IS VACANT
7. PROPOSED USE:	PUBLIC/INSTITUTIONAL - PARKING LOT
8. ADJACENT USE:	RESIDENTIAL - MULTIFAMILY, DORMS/INSTITUTIONAL
9. DEED BOOK REFERENCE:	BOOK 135, PAGE 317
10. PLANNING DISTRICT:	TOWN OF ELON
11. PROPOSED BUILDING SIZE:	NO NEW BUILDINGS PROPOSED
12. TRACT ACREAGE:	83.53 ACRES
13. PROPOSED NO. OF LOTS:	1 EXISTING TO REMAIN
14. MIN. BUILDING SETBACKS:	FRONT: 30 ft SIDE: 10 ft REAR: 25 ft PARKING: 10 ft
15. PARKING PROVIDED:	85 SPACES
16. DISTANCE TO FLOODWAY:	0.21 MILES
17. NRCS SITE SOIL TYPES:	Ud - UDORTHENTS, LOAMY 0 TO 25% SLOPES
18. EXISTING BUA:	9,582 SF (0.22 AC)
19. PROPOSED BUA:	32,025 SF (0.74 AC)

Watershed Plan and/or Site Plan, Group Development, Subdivision Plan Approved by the Technical Review Committee for 24 months, subject to the approval of any required street and utility plans and profiles and approval of a separate land-disturbing permit

Director of Planning and Development	Date
Director of Public services	Date
Town Engineer	Date
Town Manager	Date

Note: Plan Approval represents the maximum possible development on the site. Additional reviews in the process (including Public Services Plan Review) could reduce the amount of development possible on site.

Conformance with this approved plan is your responsibility; and any change in land use, lot lines, building locations, parking, drives, utility lines, landscaping, etc. must be resubmitted to the Planning Department to eliminate delays in the review proce

PLAN REVIEW AND INSPECTION FEES

A. WATER LINE EXTENSION	\$1.50/LF	0 LF	\$ 0.00
B. PRIVATE SEWER LINES	\$1.50/LF	0 LF	\$ 0.00
C. WATER & SEWER SERVICES	\$200/IEA	0 LF	\$ 0.00
D. FIRE PROTECTION SERVICE	\$500/IEA	0 LF	\$ 0.00
E. PRIVATE STORM SEWER LINES	\$1.00/LF	147 LF	\$147.00
TOTAL PLAN REVIEW AND INSPECTION FEES =			\$147.00

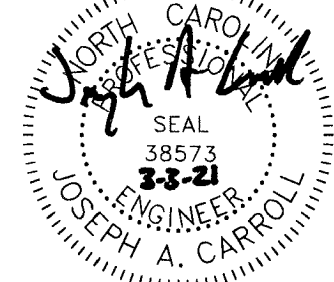
WATER AND SEWER SYSTEM FEES

E. WATER CONNECTION FEES	\$6000/UNIT	0 UNITS	\$ 0.00
F. SEWER CONNECTION FEES	\$5000/UNIT	0 UNITS	\$ 0.00
TOTAL WATER AND SEWER SYSTEM FEES =			\$ 0.00

STORMWATER MANAGEMENT REVIEW AND INSPECTION FEE

G. STORMWATER MANAGEMENT REVIEW AND INSPECTION FEE	\$1000/UNIT		
TOTAL STORMWATER MANAGEMENT REVIEW AND INSPECTION FEES =			\$ 0.00

THESE FEES ARE PAYABLE TO THE TOWN OF ELON AS PER FY18 TOWN OF ELON FEE SCHEDULE. ENGINEERING CERTIFICATIONS FOR WATER AND SEWER LINE CONSTRUCTION SHALL BE PROVIDED BY THE PROJECT ENGINEER FOR THE OWNER/DEVELOPER.



THIS DRAWING PREPARED AT THE
GREENSBORO OFFICE
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TEL 336.662.0411 FAX 336.662.0420 www.timmons.com
North Carolina License No. C-1652

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE

DATE
03/03/2021

DRAWN BY
J. MOORE

DESIGNED BY
J. MOORE

CHECKED BY
A. CARROLL

SCALE
1" = 20'

TIMMONS GROUP

ELON UNIVERSITY - PARKING LOT EXPANSION
TOWN OF ELON - ALAMANCE COUNTY - NORTH CAROLINA

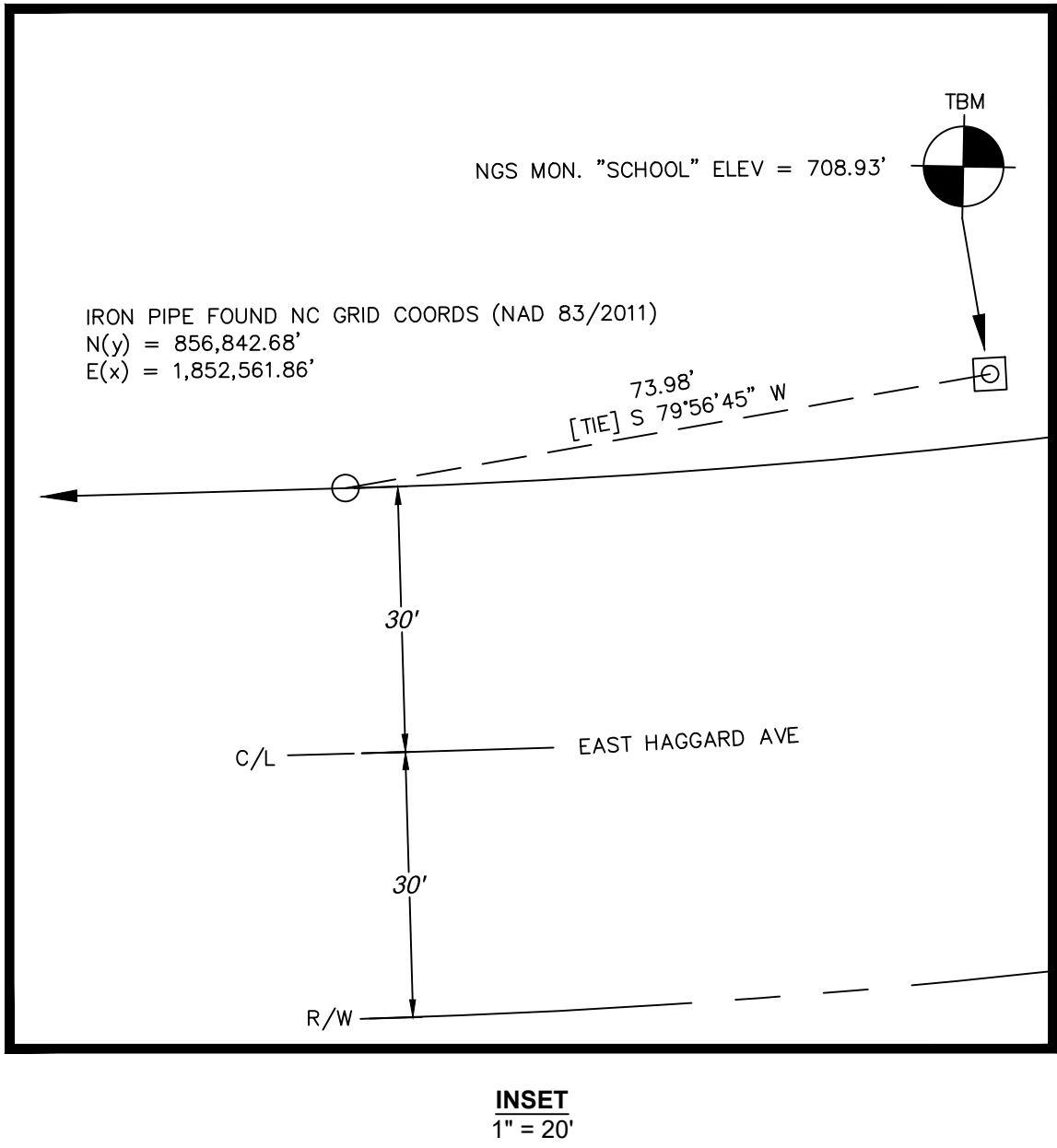
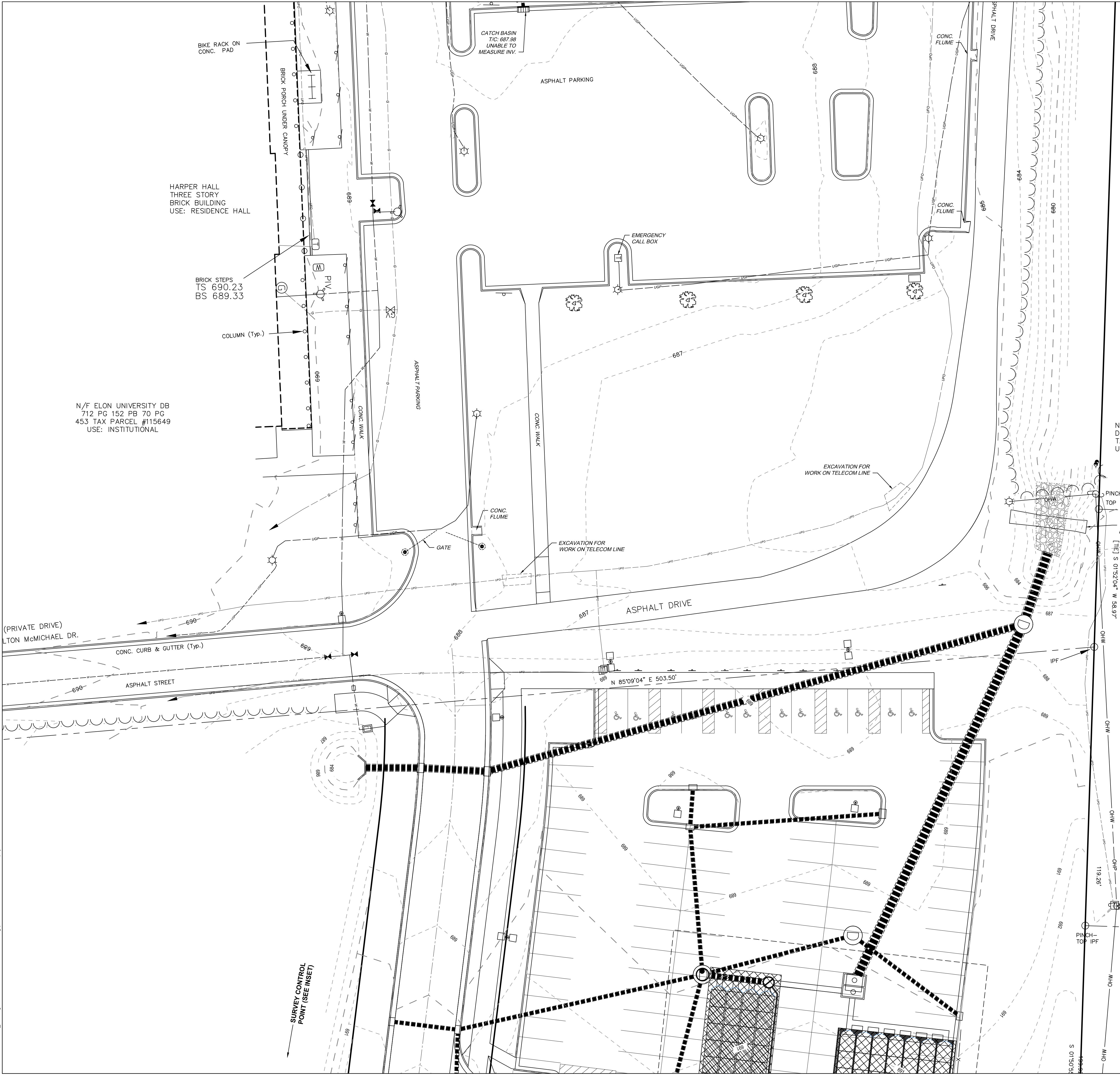
COVER SHEET

JOB NO.
47569

SHEET NO.
C-000

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S:\10747599-Elon_Parking\DWG\Sheet\CDC-100-EX16.dwg | Plotted on 3/3/2021 8:08 AM | by Jacob Moore



LEGEND

IPF - IRON PIPE FOUND	SPRINKLER HEAD
IRF - IRON ROD FOUND	SPRINKLER VALVE
IPS - IRON PIPE SET	MH ELECTRIC
PT - CALCULATED POINT	MH TELEPHONE
CM - CONCRETE MONUMENT	MH WATER
FIRE HYDRANT	SPRINKLER BOX
ELECTRIC BOX	ELECTRIC METER
TELEPHONE PEDESTAL	CLEAN OUT
CABLE TV PEDESTAL	WATER METER
POWER POLE	WATER VALVE
GUY	ROOF DRAIN
WELL	BRICK
R/W - RIGHT-OF-WAY	CONCRETE
P/L - PROPERTY LINE	SAN - SANITARY LINE
C/L - CENTERLINE	STORM LINE
NTS - NOT TO SCALE	FENCE
CB - CATCH BASIN	OHP - OVERHEAD POWER LINE
GI - GRATE INLET	PAINTED GAS LINE
YI - YARD INLET	UGP - PAINTED POWER LINE
CI - CURB INLET	OWT - PAINTED TELEPHONE LINE
EP - EDGE OF PAVING	W - PAINTED WATER LINE
TBC - TOP BACK OF CURB	EDGE OF WOODS
DB - DEED BOOK	RCP - REINFORCED CONCRETE PIPE
PB - PLAT BOOK	CMP - CORRUGATED METAL PIPE
PG - PAGE	OPP - CORRUGATED PLASTIC PIPE
SP - SQUARE FEET	DIP - DUCTILE IRON PIPE
(T) - INDICATES POINTS SET BY TIMMONS GROUP IN 2009	VCP - VITRIFIED CLAY PIPE
NOTED	HDPE - HIGH DENSITY POLYETHYLENE PIPE
MAIL BOX	HVAC - HEATING, VENTILATION AND AIR CONDITIONING
MH GREASE	AIR CONDITIONING
TRAFFIC SIGNAL POLE	CONTROLLED ACCESS

NOTES:

1. EXISTING CONDITIONS SHEETS DEPICT A COMBINATION OF FIELD-SURVEYED FEATURES AND PROPOSED CONDITIONS BASED ON CIVIL DRAWINGS PREPARED BY STIMMEL. CONTRACTOR SHALL BE RESPONSIBLE TO FIELD-VERIFY CONDITIONS PRIOR TO CONSTRUCTION. FIELD SURVEY COMPLETED BY SACKS SURVEYING AND MAPPING DATED NOVEMBER 5, 2020.

THE DRAWING PREPARED AT THE
GREENSBORO OFFICE
8642 W. Market Street Suite 136 | Greensboro, NC 27409
TEL 336.662.0411 FAX 336.662.0420 www.timmons.com
North Carolina License No. C-1652

YOUR VISION ACHIEVED THROUGH OURS.

DATE

REVISION DESCRIPTION

DATE

03/03/2021

DRAWN BY

J. MOORE

DESIGNED BY

J. MOORE

CHECKED BY

A. CARROLL

SCALE

1" = 20'

TIMMONS GROUP

ELON UNIVERSITY - PARKING LOT EXPANSION
TOWN OF ELON - ALAMANCE COUNTY - NORTH CAROLINA
EXISTING CONDITIONS

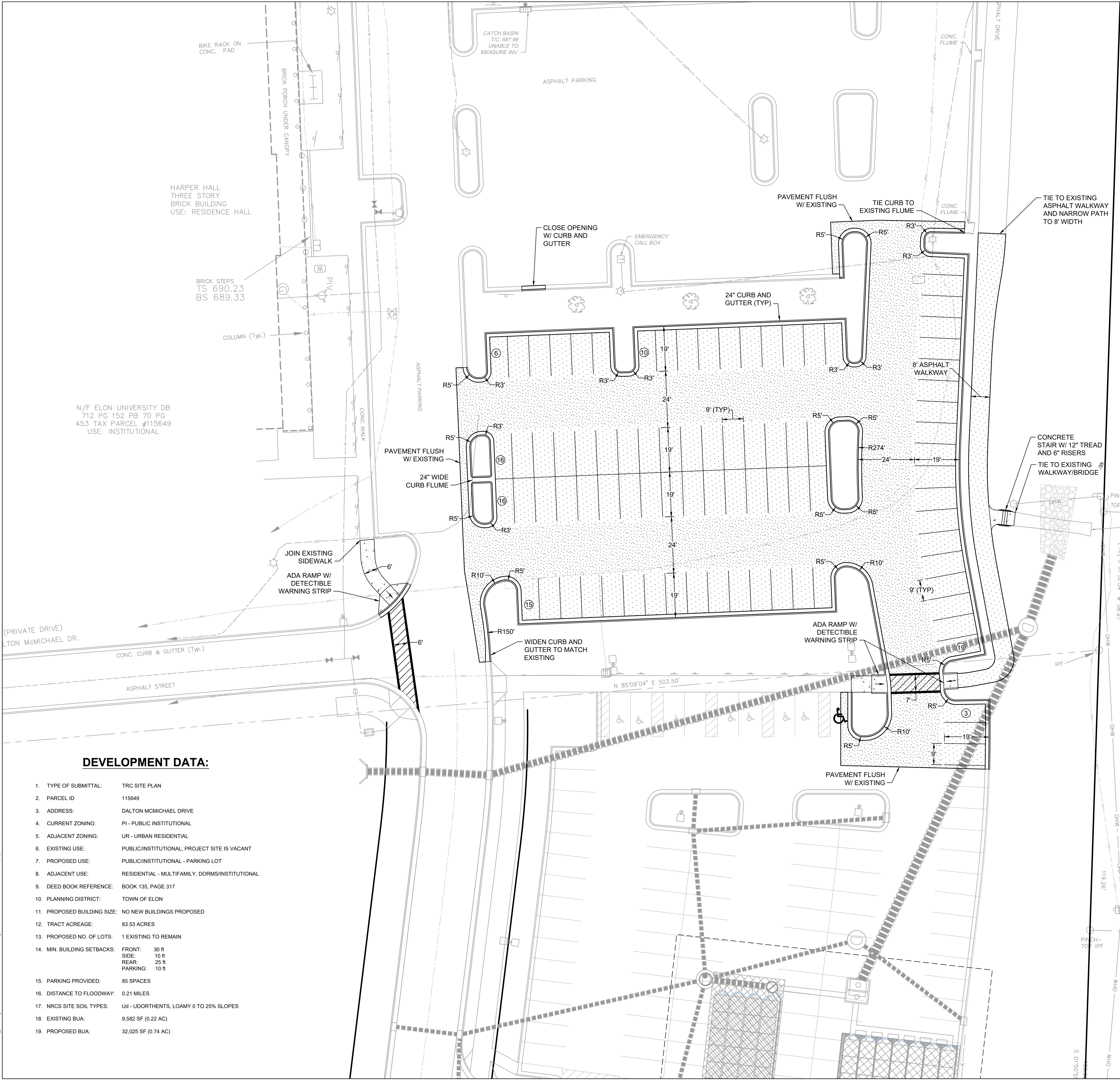
JOB NO.
47569

SHEET NO.
C-100

APPLICANT: ELON UNIVERSITY, DANIEL CARPER - PHONE: 336-675-7533 - EMAIL: DCARPER@ELON.EDU - TYPE OF SUBMITTAL: TRC SITE PLAN

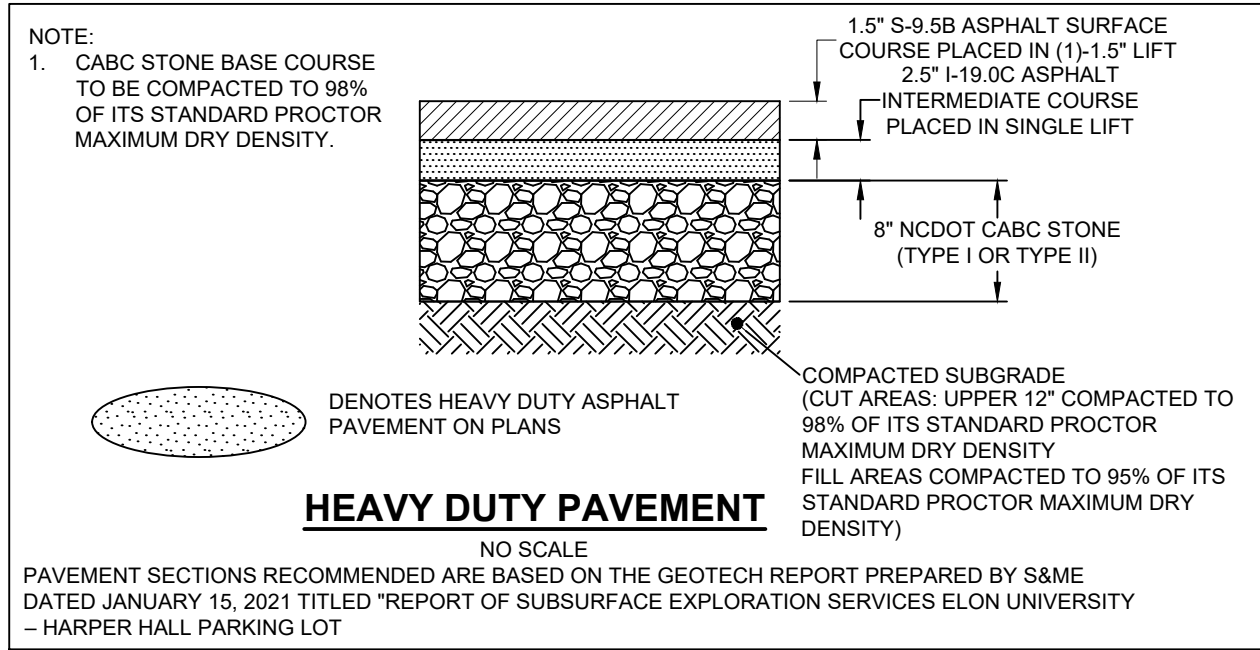
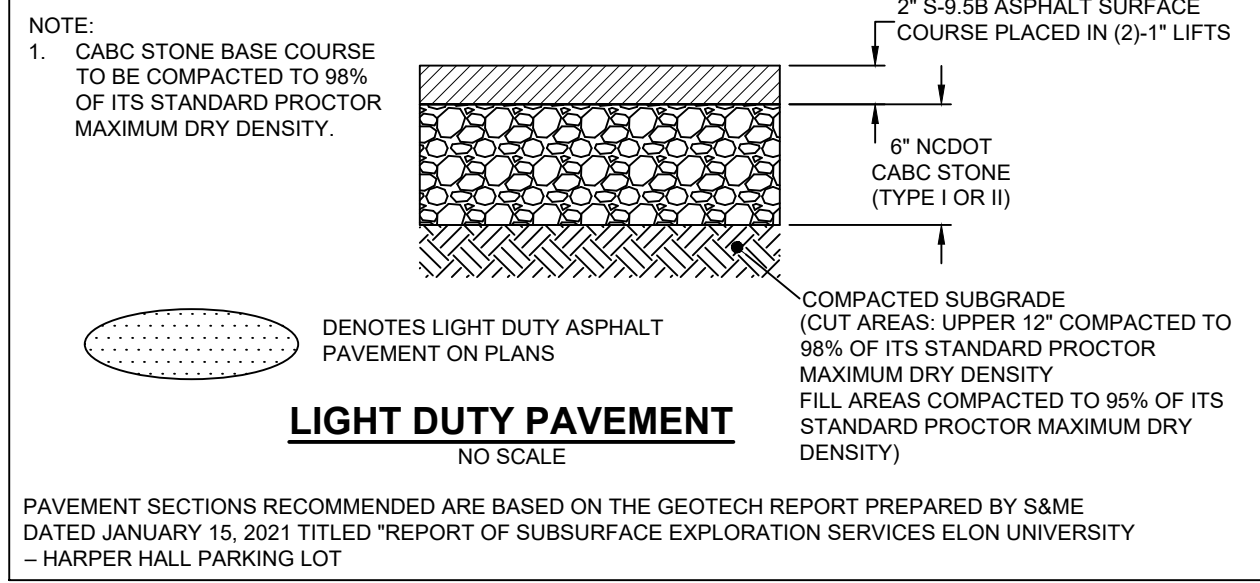
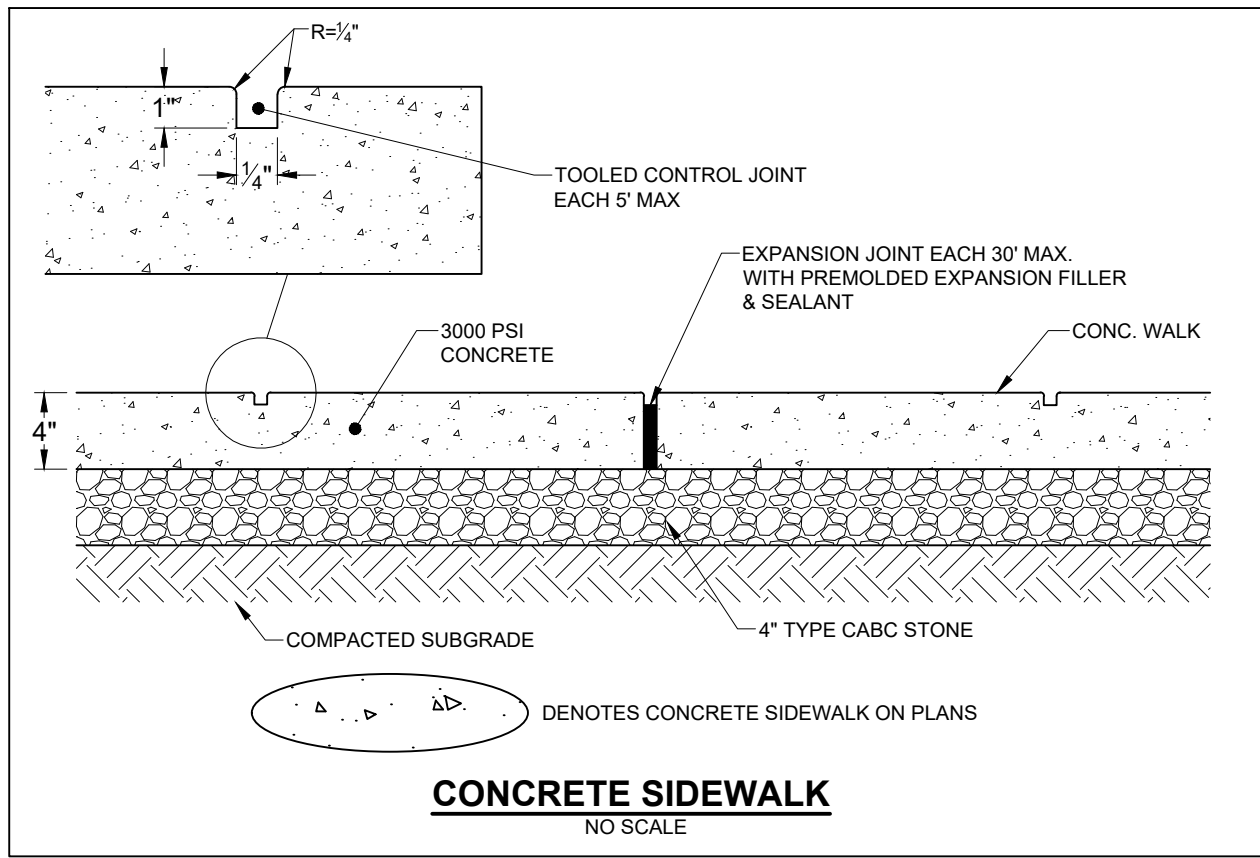
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S:\10747899-Elon_Parking\DWG\Sheet\CDC-200-SITE.dwg [Printed on 3/3/2021 8:07 AM] by Jacob Moore



DEVELOPMENT DATA:

- | | |
|-----------------------------|--|
| 1. TYPE OF SUBMITTAL: | TRC SITE PLAN |
| 2. PARCEL ID | 115649 |
| 3. ADDRESS: | DALTON McMICHAEL DRIVE |
| 4. CURRENT ZONING: | PI - PUBLIC INSTITUTIONAL |
| 5. ADJACENT ZONING: | UR - URBAN RESIDENTIAL |
| 6. EXISTING USE: | PUBLIC/INSTITUTIONAL, PROJECT SITE IS VACANT |
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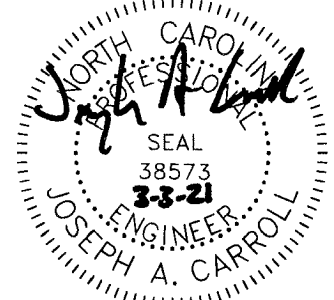


N/F SHERIDAN PLACE HOME OWNERS ASSOC.
DB 495 PG 902 PB 30 PG 11
TAX PARCEL #115595
USE: MULTIFAMILY

LANDSCAPING NOTE

A LANDSCAPING PLAN IS TO BE SUBMITTED AT A LATER DATE BY THE UNIVERSITY TO SATISFY THE CRITERIA SET FORTH IN THE ORDINANCE SECTION 5.6.3.2 (PARKING LOT LANDSCAPING)

- LDO 5.6.3.2 - A MINIMUM 10' WIDE PERIMETER LANDSCAPE AREA IS REQUIRED ON ALL SIDES TO INCLUDE:
- A CONTINUOUS ROW OF EVERGREEN SHRUBS (3' TALL AT TIME OF PLANTING, EXPECTED TO REACH A MATURE SIZE OF 5-6');
 - LARGE MATURING CANOPY TREES AT NO GREATER INTERVALS THAN 40' ON CENTER (MINIMUM 10' HEIGHT AND 2.5" CALIPER AT TIME OF PLANTING);
 - ALLOWANCES MAY BE MADE FOR SMALLER MATURING TREES WHERE OVERHEAD UTILITY LINES POSE A CONFLICT;
 - EXISTING VEGETATION MAY BE USED TO SATISFY ALL OR PART OF THESE REQUIREMENTS, IF AVAILABLE.



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North Carolina License No. C-1652

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION

DATE
03/03/2021
DRAWN BY
J. MOORE
DESIGNED BY
J. MOORE
CHECKED BY
A. CARROLL
SCALE
1" = 20'

ELON UNIVERSITY - PARKING LOT EXPANSION
TOWN OF ELON - ALAMANCE COUNTY - NORTH CAROLINA
SITE LAYOUT PLAN

JOB NO.
47569
SHEET NO.
C-200

**Town of Elon
Board of Aldermen
Agenda Session**

AGENDA ITEMS

**January 4, 2021
Municipal Building, 6:00 PM**

- I. CALL TO ORDER**
- II. MOTION TO APPROVE BY REFERENCE THE ITEMS LISTED WITHIN THE CONSENT AGENDA**
 - A. Board of Aldermen Meeting Minutes
 - 1. December 7, 2020, Agenda Session Meeting
- III. PUBLIC COMMENTS**
 - *The public may speak on any non-agenda item up to three minutes.*
 - *An agenda item will only be discussed at its appropriate time.*
 - *Public Hearing items can only be discussed during the public hearing.*
 - *Be sure to sign in, stand, and state your name and address for the Minutes.*
- IV. PUBLIC HEARING(S)**
 - A. Major Development Plan for Major Subdivision Submitted by The Timmons Group **Approved**
- V. NEW BUSINESS All Approved**
 - A. COVID Sick Leave Policy
 - B. Water and Sewer Rate Study Contract
 - C. Bond Counsel Contract
- VI. REPORTS**
 - A. Town Manager
 - B. Mayor and Board of Aldermen
- VII. ADJOURNMENT**

**Town of Elon
Board of Aldermen
Regular Meeting**

AGENDA ITEMS

**February 9, 2021
Municipal Building, 6:00 PM**

- I. CALL TO ORDER**
- II. MOTION TO APPROVE BY REFERENCE THE ITEMS LISTED WITHIN THE
CONSENT AGENDA**
 - A. Board of Aldermen Meeting Minutes
 - 1. January 4, 2021, Agenda Session Meeting
- III. PRESENTATION**
 - A. Annual Audit Review - Becky Loy, Cobb Ezekiel Loy & Company
 - B. Award Recognition - Chief Kelly Blackwelder
 - Recognition of Officer Certification Awards: Sgt King and Sgt. Lovett
- IV. PUBLIC COMMENT(S)**
 - *The public may speak on any non-agenda item up to three minutes.*
 - *An agenda item will only be discussed at its appropriate time.*
 - *Public Hearing items can only be discussed during the public hearing.*
 - *Be sure to sign in, stand, and state your name and address for the Minutes.*
- V. UNIVERSITY UPDATE - Jeff Stein, Vice President for Strategic Initiatives**
- VI. REPORTS**
 - A. Town Manager
 - B. Mayor and Board of Aldermen
- VII. ADJOURNMENT**