



# Town of Elon

## Planning Board Agenda

September 20, 2022

6:00 PM

Elon Town Hall, Town Council Chambers

104. S. Williamson Ave., Elon, NC

### Agenda Items

#### A. Call to Order

#### B. New Business

- i. Approval of Minutes from the June 21, 2022 Planning Board Meeting.
- ii. Petition MDP-2022-02 - A request by the applicant Brad Moore, on behalf of the property owner, Elon University, for major development plan review for a residence hall located at the intersection of East Haggard Avenue and North Oak Avenue (Tax Parcel 115430) and zoned Public Institutional (PI).

#### C. Items from Board Members

#### D. Other Business

#### E. Adjournment

## **TOWN OF ELON PLANNING BOARD MINUTES**

Town of Elon Town Hall, 104 S. Williamson Ave., Elon, NC 27244

June 21<sup>st</sup>, 2022, at 6:00 PM

Board members present: Jim Beasley, Clark Bennett, John Harmon, Mark Podolle, and Philip Owens.

Staff present: Carrie Spencer and Mary Kathryn Harward

**Item A-** Chairman Beasley called the meeting to order at 6:01 pm.

### **Item B- New Business**

#### **Item B-i-** Approval of Minutes

Ms. Harward presented the board with minutes from the March 2022 meeting for approval

- Mr. Harmon made a motion to approve the March minutes; Mr. Podolle seconded the motion; the motion was approved unanimously (5-0) by the board.

#### **Item B-ii-** Rezoning Request RZ #2022-02

Mrs. Spencer presented the Board with a presentation containing the details for the rezoning request RZ #2022-02 regarding the Parc Northwest Development. Rezoning Request RZ #2022-02 was submitted by Greenhawk Corporation, Inc., for property located at the northeast corner of University Drive and Elon Ossipee/ Shallowford Church Road. Approval of the request would change the zoning of a +/- 57.72 acre parcel identified by Parcel ID #110257 from the Neighborhood Residential Planning District (NR) and Village Center Planning District (VC) with a Traditional Neighborhood Overlay (TND-O) to the Neighborhood Residential-Conditional Planning District (NR-CPD) and Village Center Conditional Planning District (VC-CPD) with the Traditional Neighborhood Development Overlay (TND-O).

The proposed conditions listed in the application include changes in the number of proposed residential units, changes in the proposed number of multi-family units, limitations of land uses, commitments to architectural standards, decrease in the minimum lot size, increase in size of open space, and changes to the NR and VC acreages. The site is currently undeveloped, with no environmental concerns save the on-site streams that will need to be buffered.

Mrs. Spencer reminded the board of what conditional zoning is, why it was established, and the Planning Board and Town Councils role in the process

Mrs. Spencer referenced the Town of Elon's Comprehensive Plan and outlined the goals and objectives that the proposed rezoning supported.

The staff recommendation was as follows:

- Multiple elements of the Plan provide support for the proposal.
- The plan and conditions align with illustrations for the Focus Area/Central.
- The property's Future Land Use and Conservation Map as mixed use, aligns with the intent of the proposed conditional zoning districts.
- Staff therefore considers the request to be consistent with the Land Development Plan with the conditions requested by the applicant.

After Mrs. Spencer's presentation, Mr. Tony Tate of TMTLA Associates gave a short presentation on the conditional zoning master plan for the proposed "parc northwest" development and Mr. Jeremy Medlin of Greenhawk Corporation, Inc., addressed concerns from the board and public. The common concerns from the board members and the public involved:

- Potential drainage into the adjoining Cable Square neighborhood
- Connections to Cable Square and the impact on the neighborhood/citizen safety
  - Impact of necessary crossing across University Drive and placement/effectiveness of crosswalks
- Location and safety of proposed sidewalk from parc northwest to the University's Schar center
- Results and implications of the Traffic Impact Analysis currently being carried out by NCDOT for the area
- Density and potential impacts on emergency services (specifically fire response)

After dialogue between the Board, Staff, Applicant, and community members, the Planning Board members voted on 3 motions, which were as follows:

1. Motion 1: Rezoning request RZ #2022-02 is consistent with the adopted Town of Elon Land Development Plan.
  - a. Motion was made by Mr. Clark Bennett, with Mr. John Harmon seconding the motion, all were in favor.
2. Motion 2: Rezoning request RZ #2022-02 does not have an acceptable level of impact on both the immediate area and the community as a whole.
  - a. Motion was made by Mr. Clark Bennett, with Mr. Philip Owens seconding the motion, all were in favor.
  - b. Concerns:
    - i. Density is an issue due to fire safety
    - ii. More conditions would be preferred
3. Motion 3: The Town of Elon Planning Board recommends approval, with conditions, of Rezoning Request RZ #2022-02, with the following additional conditions:
  - a. Developer will propose language for a condition that would prohibit access of construction vehicles through Cable Square; and the building located on the southeast corner of the Village Center zoned property be limited to 3 stories above street grade at the intersection; the Board requests professional review by the fire chief.
  - b. Motion to approve was made by Mr. Mark Podolle, with Mr. Philip Owens seconding the motion. Mr. Jim Beasley and Mr. John Harmon were in favor; Mr. Clark Bennett was not in favor. The motion passed 4-1.

#### **Item B-iii- Major Development Plan MDP #2022-01**

Mrs. Spencer gave a presentation to the board on Major Development Plan #2022-01 titled "Elon Gateway Project". The application for the project was submitted by Brad Moore, Architect with Elon University, on behalf of the University. The project is described as adding entrance signage to a vacant parcel and adjacent parcel and signifies an entry onto the university campus from University Dr. at O'Kelly Ave. Plans show the project consisting of two identical walls with university signs and one decorative bell tower. The properties are located on the southeast and southwest corner of University Avenue and O'Kelly Avenue, with parcel ID #s 110124 and 110188.

The sign requirements from the Town of Elon LDO, the Major Development Plan process, existing site conditions and zoning, and project renderings were presented in detail.

**Staff recommended** that the Planning Board consider this application, accept public input during the scheduled meeting, and consider a recommendation to the Board of Aldermen on the proposal at their earliest convenience. Staff recommends approval of the request.

- John Harmon made a motion to approve MDP-2022-01. Mr. Mark Podolle seconded the motion, and all the members voted in favor (5-0) of approving MDP-2022-01.

**Item C- Board of Alderman Updates**

- There were no Town Council updates

**Item D- Motion to Adjourn**

A motion to adjourn was made by Mr. Clark Bennett and seconded by Mr. John Harmon. The motion was approved by a unanimous vote (5-0).

Meeting was adjourned at 9:16 pm.

Respectfully Submitted,

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Chair Jim Beasley

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Recording Secretary, Mary Kathryn Harward  
Town of Elon Planning Department – Planner I

DEVELOPMENT REVIEW APPLICATION FORM



**Town of Elon Development Services**  
 P.O. Box 595  
 104 S. Williamson Avenue  
 Elon, NC 27244 (336) 584-2859

PLAN TYPE:	REVIEW FEE:
Development Plan or Subdivision - Minor	\$250.00
- Major	\$450.00 + cost of mailed notices (calculated based on # of adjoining properties)
Special Use Permit (includes Dev. Plan approval)	\$450.00 + cost of mailed notices (calculated based on # of adjoining properties)
Final Plat	\$100.00 (Exempt s/d, recombination, or easement plats = \$50.00)
Technical Review Committee (TRC) Review	\$600.00 (includes two resubmittals); \$150.00 (per each submittal over two)
Traffic Impact Analysis Review	\$300.00

**Minor Subdivision** = less than 10 SF lots; **Major Subdivision** = 10 or more SF lots or any number of non-residential lots.  
**Minor Development Plan** = Development of open land uses or up to 2 buildings or additions totaling less than 30,000 sf, without new streets or right-of-way.  
**Major Development Plan** = MF, mixed-use, or non-residential development.

Submit three (3) printed copies and an electronic set of plans to the Planning Office for review.

**PROJECT SUMMARY:** 3 STORY RESIDENTS HALL  
 A. Project Name: EAST NEIGHBORHOOD COMMONS  
 B. Type of Plan:  Minor Development Plan  Major Development Plan  Special Use  
 Final Plat  TRC Review  Traffic Impact Analysis  Schematic Design (Pre-application review)

C. Property Street Address: HAGGARD AVE.  
 Property Description: A PORTION OF 115430 ON HAGGARD AVE & N. OAK

D. Owner/Applicant: ELON UNIVERSITY  
 E. Report Comments to: BRAD MOORE

Telephone Number: 336 278.5492 Fax Number:  
 E-Mail: BMOORE6@ELON.EDU

Report Comments to (additional contact): TIM JENNINGS @STIMMELASSOCIATES  
 Telephone Number: 336 723.1067 Fax Number:  
 E-Mail: TJENNINGS@STIMMELPA.COM

F. Tax Map / Block / Parcel # (s): 115430 PIN 188 5526449  
 G. Total Tract Acreage: 4.20 AC

H. Zoning District: P1  
 I. Flood Plain:  yes  no (A Floodplain Development Permit may also be required if property is in the Floodplain)

J. Proposed Use: PORM  
 K. Number of Lots: ONE

L. Multifamily Developments: # of Units 52  
 Type:  Apartments  Townhomes  Condominiums

M. Non-Residential Developments: Existing Gross Floor Area (GFA): 0 Proposed GFA: 15,137

N. Amount of Existing Built-upon Area (BUA): 1.59 AC  
 O. Amount of Proposed BUA: 1.81 AC

**PLAN SUBMISSION GUIDELINES**  
 Plans submitted for Major Development Plan Review must be submitted thirty (30) days prior to the desired Planning Board meeting in order to be included on the agenda. Final Decision by the Board of Aldermen shall be provided at their next available meeting. Plans submitted for TRC Review must be submitted seven (7) days prior to the desired TRC meeting (TRC meetings may be scheduled for the 2<sup>nd</sup> & 4<sup>th</sup> Wednesdays of each month). Submittals must be complete in order to be scheduled for review.

I have read, understood and completed the attached plan to the best of my knowledge and ability.  
 Applicant Signature: Tim Jennings Phone: 336 723.1067 Date: 8.3.22

**East Neighborhood Commons Residence Hall**  
**MDP-2022-02**  
***Major Development Plan Review***

**Property Owner:** Elon University  
**Applicant:** Brad Moore  
**Request:** Major Development Plan (Major Site Plan) Review and Recommendation  
**Location:** Elon University, East Haggard Avenue and North Oak Avenue  
**Parcel ID:** 115430  
**Site Acreage:** Parcel = 11.2 acres Project Area = 1.55 acres  
**Zoning:** Public Institutional (PI)

Petition MDP-2022-02 is a request by the applicant Brad Moore, on behalf of the property owner, Elon University, for major development plan review for a residence hall consisting of 52-units, flex space, student living room lounges and an office located at the intersection of East Haggard Avenue and North Oak Avenue (Tax Parcel 115430) and zoned Public Institutional (PI).

**Existing Site Conditions** (Aerial imagery exhibit attached)

The parcel currently contains three (3) residence halls, tennis courts and a parking lot (on the south side of East College Avenue). There is an existing parking lot where the new residence hall is proposed, which will be removed.

- To the West - Existing Elon University property with several buildings zoned PI (Public Institutional).
- To the South - Existing Elon University property with several buildings zoned PI (Public Institutional) and single-family dwellings and a vacant parcel zoned SR (Suburban Residential).
- To the East - Single-family dwellings zoned SR (Suburban Residential) and NR (Neighborhood Residential).
- To the North - Vacant parcel owned by Elon University zoned PI (Public Institutional) and an apartment building zoned UR (Urban Residential).

**Land Use and Site Plan** (Site plan attached)

- The site is currently zoned PI (Public Institutional), and the PI District is described in the LDO as being intended to accommodate primarily large-scale public, educational and institutional uses. The proposed use constitutes a use by right and will be confirmed to comply with all relevant LDO requirements prior to construction plan approval and the issuance of a Zoning Compliance Permit.

- The proposed residence hall will contain the following uses: 52 residential units, flex space/entertaining space, study rooms, living room lounges, storage space and a housing office.
- The proposed building is 3-stories tall with a basement that will be visible on certain elevations of the building due to the topography of the site. Section 5.4.4.2 of the LDO states that building height is measured as the vertical distance from the highest finished grade relative to the street frontage to the eaves or the highest level of a flat roof.
- A new, proposed parking lot is located off N. Oak Street and contains 4 parking spaces (for more information on parking requirements, please see the Parking Requirements subsection). The parking lot also contains a utility yard which will be screened by a wall and a loading/unloading space. The entrance to the parking lot meets the turning radius requirements for a fire truck.
- An eight-foot (8') wide brick sidewalk runs along the western portion of the project area, and it also includes a pervious pavement area, which consist of grass (honeycombed shaped) pavers to provide emergency vehicular access to the site. A large, paved patio also encompasses the site on both sides of the front of the building along East Haggard Ave. The patio on the western side of the building will serve dual roles: it will provide an area for emergency vehicles to have close access to the building, and it will also encourage pedestrian activity in accordance with Section 5.4.6.1-A of the LDO, which states: "front and side setbacks may vary depending upon site conditions and will encourage pedestrian activity. Front and side setbacks exclude pedestrian uses such as plazas, stoops, walks, etc."
- There are existing sidewalks along both East Haggard Avenue and N. Oak Street. There are also sidewalks planned on all sides of the building. There is a proposed mid-block crosswalk in front of the patio/brick fire lane.
- There is a fifteen-foot (15') wide proposed landscape buffer along the rear of the property adjacent to Parcel 115434 and Parcel 115562 in accordance with Section 5.8.3.2 of the LDO. The plans meet the landscaping requirements listed in the LDO and final landscaping plans with specific tree and shrub species will be provided by the property owner prior to construction plan approval. There is also an existing wooden fence along the rear property line.
- Solid waste for the site will be handled by bins located inside the building that will then be picked up by the University and take to an off-site dumpster for disposal.
- There is a proposed wall sign in front of the building along East Haggard Avenue and there is a note on the site plan that all signage shall be permitted separately.
- The parcel is not located within a special flood hazard area as defined by the Federal Emergency Management Agency (FEMA).

### **Parking Requirements**

Elon's LDO calculates parking requirements in Section 5.6.2.2. For University uses, the minimum requirement is 1 space for every 2 students and 1 space for every employee/university staff, applied to the campus as a whole. This project will result in a reduction in the overall parking count due to the loss of existing on-site parking spaces. However, the campus currently provides parking spaces in excess of the requirement by more than 1,000. Staff will continue to monitor parking counts as development continues

on campus to ensure there is no risk of the University falling below the minimum requirement. The current calculation is as follows:

- ❖ Number of Faculty/Staff = 1,600 (1 space per person required)
- ❖ Number of Students = 6,700 (1 space per 2 students required –  $6,700/2 = 3,350$ )
- ❖ Number of spaces required =  $1,600 + 3,350 = 4,950$  spaces
- ❖ Current parking spaces provided (including this project) = 6,020 (1,075 ‘extra’ spaces)

**Zoning, Comprehensive Plan and Haggard Ave. Corridor Plan** (Exhibits attached)

The property is zoned Public Institutional Planning District and is intended to accommodate primarily large-scale public, educational and institutional uses. District design guidelines encourage construction of buildings that relate to Elon’s small-town character. Development at district boundaries must provide a compatible transition to uses outside the district. Frontage along major arterial roads requires formal street tree plantings. Buildings are required to relate to the street with a more pedestrian scale.

The Envision Elon 204 Comprehensive Land Use Plan identifies the site as Institutional in its Future Land Use Classification. Institutional is defined as:

*“These areas include Elon University, other campus-style development, and large-scale civic and government uses. As significant components of the development pattern, these areas are typically key destinations in town and can include community landmarks. Sites are designed and buildings are oriented to establish a positive relationship with and connections to adjacent development. Buildings, which typically have large footprints, vary in height up to five stories. Parking is located in large and small sur- face lots as well as along private and public streets to adequately serve multiple buildings. Facilities to support pedestrian and bicycle access are integrated. Small and moderately sized schools and churches may be included within these areas; however, such uses are also appropriate in other land use categories.”*

The Haggard Avenue Corridor Plan (Phase 1) was adopted by the Town Council on Map 11, 2021. The proposed residence hall and associated site improvements meet some of the recommendations of the Haggard Avenue Corridor Plan, including:

- Mid-block pedestrian crossings, plantings, pavement markings, materials changes, and signage.
- Street trees that vary in size, spacing and location.

**Additional Considerations**

The Technical Review Committee (TRC) reviewed the proposed residence hall plans at their August 10th and August 24th meetings. The primary discussions during the meetings were items that needed to be

amended or added to the site plan. The Fire Marshal's office, the Fire Department Chief and Assistant Chief and the Town's consulting engineer had several questions regarding access to FDC's (Fire Department Connections) and emergency fire lane access widths. Staff also requested additional elevations of the buildings to determine the impact on neighboring properties.

All of the items mentioned during the TRC meetings were addressed by the applicant and his engineering/architectural team.

### **Recommendations and Suggested Motions**

Staff recommends approval of the proposed major development plan, MDP-2022-02, for the East Neighborhood Commons residence hall as the proposed plan meets the requirements outlined in the LDO. The plan also meets the future land use classification description outlined in the Envision Elon 2040 Comprehensive Plan and two of the recommendations outlined in the Haggard Avenue Corridor Plan, Phase 1.

Staff recommends that the Planning Board consider this Major Development Plan proposal, accept public comment during the scheduled meeting, and consider a recommendation to the Town Council on the proposal at their earliest convenience.

*Submitted by: Lori Oakley, Planning Director*

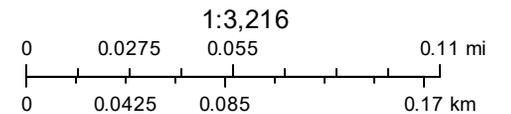
Enclosures: Major Development Plan Review Application  
East Neighborhood Commons Major Development Plan  
Aerial Map  
Zoning Map  
Future Land Use Map

# Alamance County

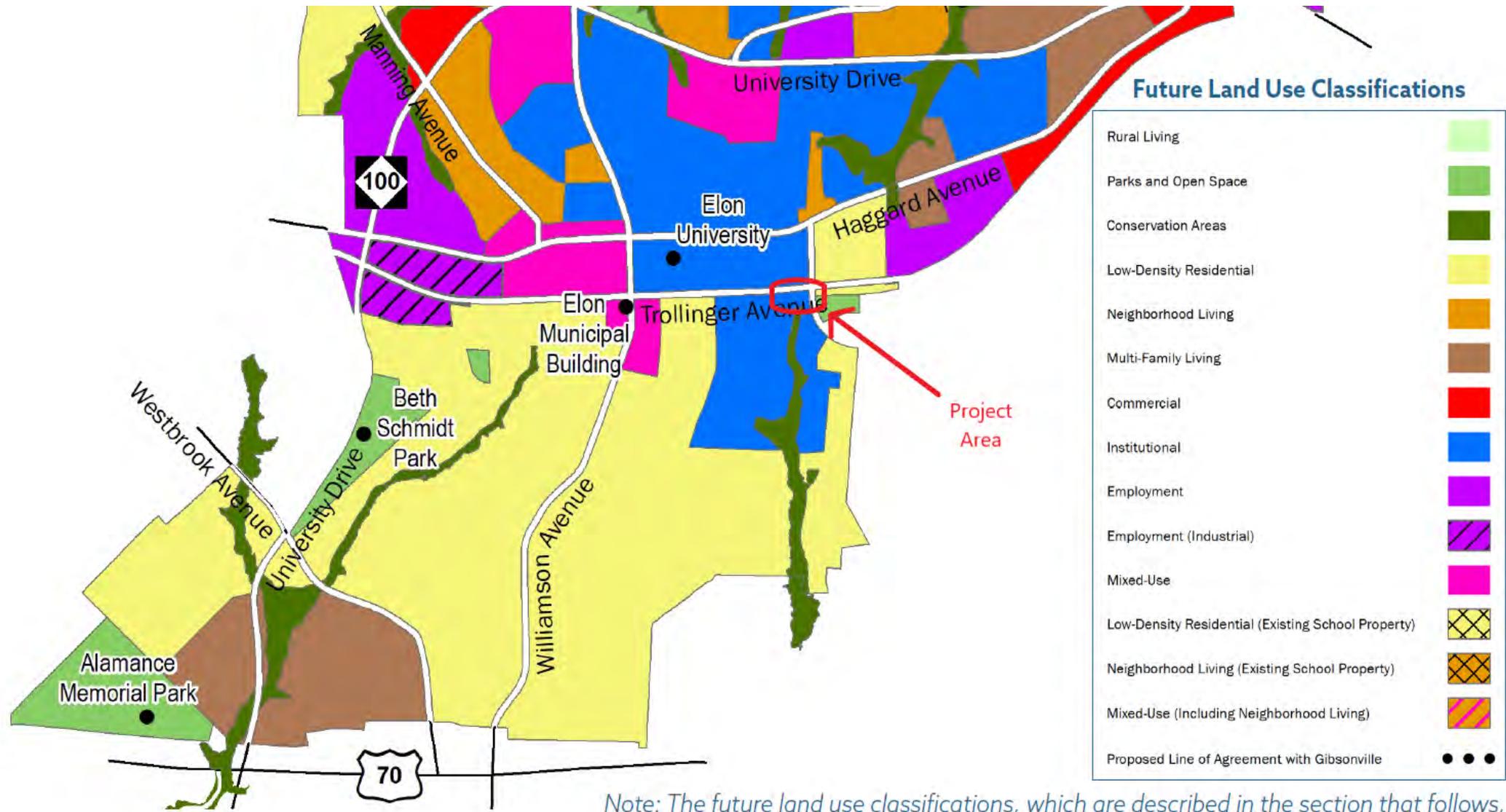


August 12, 2022

- Streets**
- Private Roads
  - Roads
  - Preliminary Roads
  - 390 - TRAIL
  - 391 - TRAIL
  - 392 - TRAIL
  - 393 - TRAIL
  - 394 - TRAIL
  - 395 - TRAIL
  - Railroads
  - County Line



Alamance County GIS  
 Alamance County Tax Department



*Note: The future land use classifications, which are described in the section that follows, specify the predominant use. Refer to the detailed descriptions for more information.*

# Town of Elon Land Use Information



ReGIS Partnership

## Legend

### Land Use

- RR
- SR
- NR
- UR
- NC
- VC
- TC
- TC-1
- C
- I
- O&I
- PI

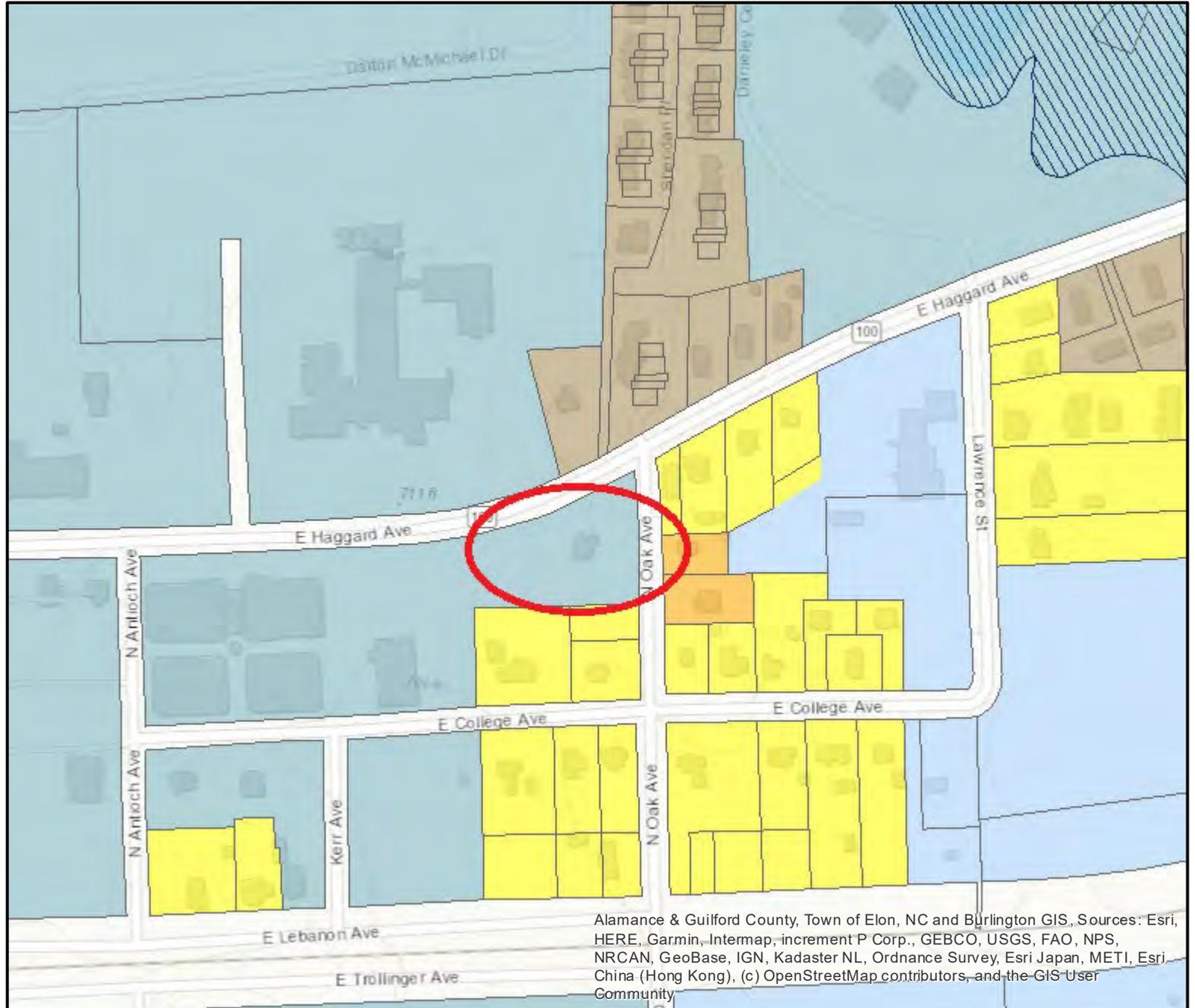
### Land Use Overlay

- SP
- TND
- MHN



1 inch = 376 feet

Print Date: 8/12/2022



Alamance & Guilford County, Town of Elon, NC and Burlington GIS. Sources: Esri, HERE, Garmin, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey, Esri Japan, METI, Esri China (Hong Kong), (c) OpenStreetMap contributors, and the GIS User Community

**Disclaimer:**

This map was compiled from the GIS resources of the Burlington Regional GIS Partnership for public planning and agency support purposes. These resources include public information sources of different scale, time, origin, definition and accuracy, which aspects produce inconsistencies among features represented together on this map. Neither the Town of Elon nor the Partnership shall be held liable for any errors in this map or supporting data. Primary public information sources from which this map was compiled, in conjunction with field surveys where required, must be consulted for the verification of the information contained within this map.



EAST NEIGHBORHOOD COMMONS

EAST HAGGARD AVENUE

PROJECT TEAM

ARCHITECT & LANDSCAPE ARCHITECT
AYERS SAINT GROSS
1040 HULL ST, SUITE 100
BALTIMORE, MD 21230
410-347-8500

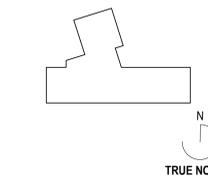
CIVIL
STIMMEL ASSOCIATES
601 N TRADE ST, SUITE 200
WINSTON-SALEM, NC 27101
336-723-1067

STRUCTURAL
LHC STRUCTURAL ENGINEERS
(BENNETT & PLESS)
5340 WADE PARK BLVD, SUITE 400
RALEIGH, NC 27607
919-832-5587

M/E/P
EDMONDSON ENGINEERS
1920 HIGHWAY 54, SUITE 700
DURHAM, NC 27713
919-544-1936

Table with 3 columns: REV. #, DESCRIPTION, DATE. Includes revision 1: TRC COMMENTS RND 1, 08/17/2022.

KEY PLAN

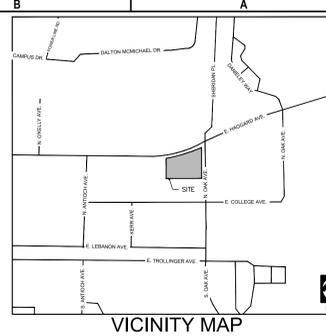


DRAWING INFORMATION table with fields for ISSUE DATE (08/03/22), SCALE, JOB NO. (2210053.00), and DRAWN BY (Author).

PROJECT DESIGN PHASE
MAJOR DEVELOPMENT PLAN
NOT FOR CONSTRUCTION

EXISTING CONDITIONS / DEMOLITION PLAN

C-1.00

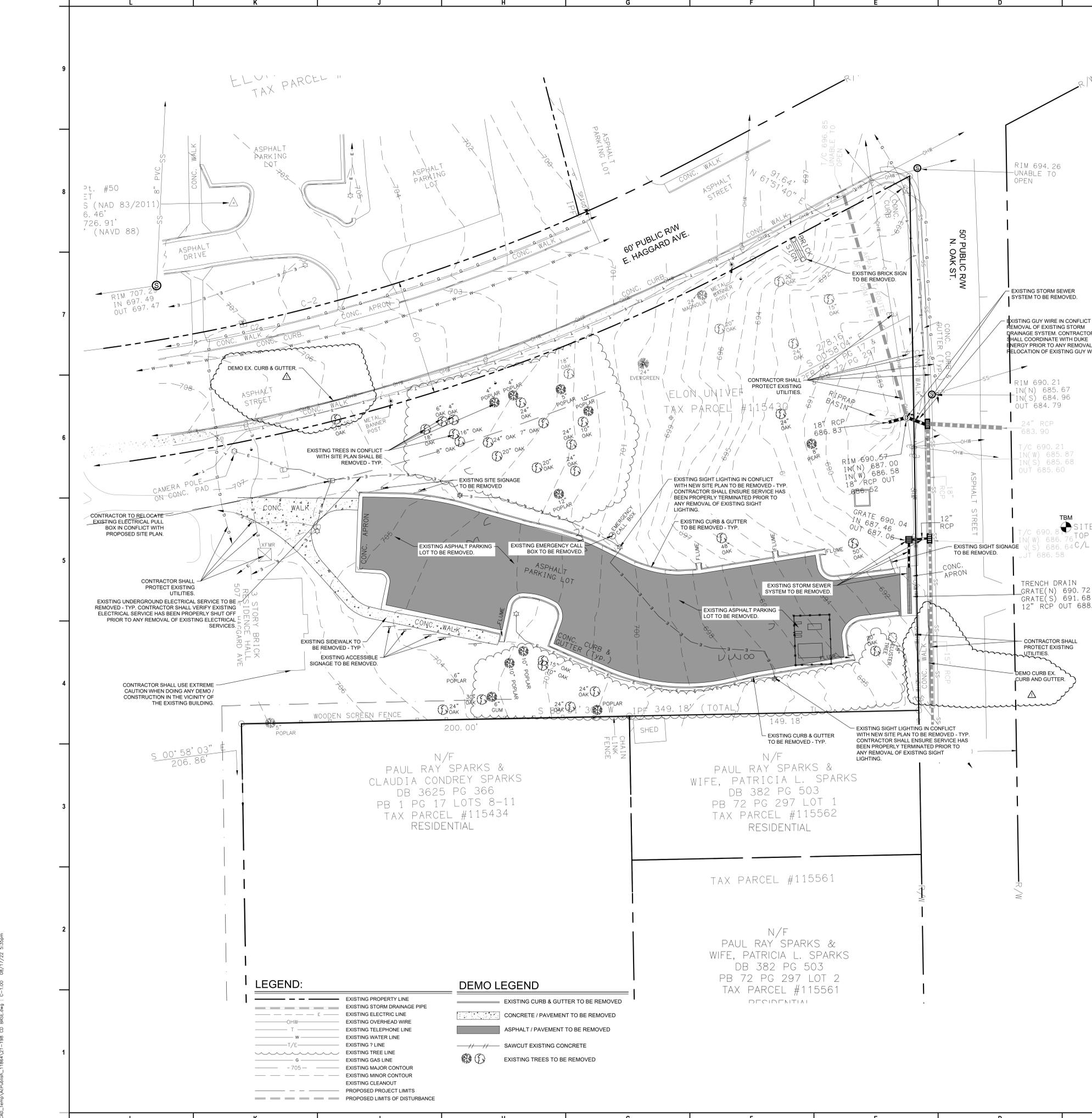


GENERAL NOTES:

- 1. THE CONTRACTOR SHALL VISIT THE SITE TO INFORM AND SATISFY HIMSELF OF ALL OF THE EXISTING CONDITIONS PRIOR TO SUBMITTING HIS BID. ANY DISCREPANCY BETWEEN THE SITE AND THE EXISTING CONDITIONS REPRESENTED ON THE DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER AND THE ENGINEER IMMEDIATELY.
2. ALL DIMENSIONS, RADII, AND NORTHING & EASTING COORDINATES ARE TO FACE OF CURB, CENTER OF STRUCTURES SUCH AS INLETS, MANHOLES, ETC., OR END OF PIPE RUNS AS APPLICABLE UNLESS NOTED OTHERWISE ON THE PLANS.
3. ALL EXISTING UTILITIES OR STRUCTURES INDICATED ON THE DRAWINGS ARE BASED ON AVAILABLE INFORMATION OF RECORD. THE CONTRACTOR IS REQUIRED TO TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITY LINES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAKING ARRANGEMENTS FOR THE PROTECTION, RELOCATION OR REMOVAL OF CONFLICTING EXISTING UTILITIES AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES RESULTING FROM HIS FAILURE TO LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES BEFORE STARTING WORK. THE CONTRACTOR SHALL CONTACT NCGS11 AT 1 (800) 632-4949 TO HAVE ALL EXISTING UTILITIES LOCATED.
4. THE BUILDING FOOTPRINT SHOWN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT. FINAL BUILDING DIMENSIONS ARE TO BE TAKEN FROM THE ARCHITECTURAL DRAWINGS. DO NOT USE THESE DRAWINGS FOR DETERMINATION OF FINAL BUILDING DIMENSIONS.
5. LOCATION AND ELEVATIONS OF IMPROVEMENTS, TO BE MET, CONNECTED TO OR CROSSED BY WORK, SHALL BE CONFIRMED BY FIELD MEASUREMENT, SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS, IF REVISIONS ARE NECESSARY DUE TO ACTUAL LOCATION OF EXISTING UTILITIES.
6. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR SHALL DEFEND, INDEMNIFY, AND HOLD THE OWNER AND THE ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.
7. THE CONTRACTOR IS RESPONSIBLE FOR ANY SHORING REQUIRED TO FACILITATE THE EXECUTION OF THE PROPOSED WORK. THIS WOULD INCLUDE BUT NOT LIMITED TO DESIGN, PERMITTING, INSTALLATION AND REMOVAL.
8. THE CONTRACTOR SHALL VERIFY THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED FROM THE APPROPRIATE AUTHORITIES BEFORE BEGINNING WORK ON THE PROJECT.
9. TEMPORARY GROUNDWATER CONTROL: ALL WORK SHALL BE CARRIED OUT IN AREAS FREE FROM WATER. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN ALL TEMPORARY DIKES, LEVEES, COFFER DAMS, DRAINAGE CHANNELS, AND STREAM DIVERSIONS NECESSARY TO PROTECT THE AREAS TO BE OCCUPIED BY THE PERMANENT WORKS. THE CONTRACTOR SHALL ALSO FURNISH, INSTALL, OPERATE AND MAINTAIN ALL NECESSARY PUMPING AND OTHER EQUIPMENT REQUIRED FOR REMOVAL OF WATER FROM THE VARIOUS PARTS OF THE WORK AND FOR MAINTAINING THE EXCAVATIONS, FOUNDATION, AND OTHER PARTS OF THE WORK FREE FROM WATER AS REQUIRED OR DIRECTED BY THE ENGINEER FOR CONSTRUCTING EACH PART OF THE WORK. AFTER HAVING SERVED THEIR PURPOSE, ALL TEMPORARY PROTECTIVE WORKS SHALL BE REMOVED OR LEVELED AND GRADED TO THE EXTENT REQUIRED TO PREVENT OBSTRUCTION IN ANY DEGREE WHATSOEVER OF THE FLOW OF WATER. STREAM DIVERSIONS SHALL BE MAINTAINED UNTIL THE FULL FLOW CAN BE PASSED THROUGH THE PERMANENT WORKS.
10. ALL CONSTRUCTION, MATERIALS, AND WORKMANSHIP SHALL CONFORM TO THE FOLLOWING:
EROSION CONTROL - NORTH CAROLINA DEPARTMENT OF ENVIRONMENTAL QUALITY SPECIFICATIONS AND DETAILS.
STORM DRAINAGE - 2018 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND ROADWAY STANDARD DRAWINGS UNLESS OTHERWISE MODIFIED WITHIN THESE PLANS.
WATER AND SANITARY SEWER - TOWN OF ELON TECHNICAL SPECIFICATIONS AND DETAIL DRAWINGS.
ASPHALT PAVEMENTS, STONE BASE, SIDEWALKS, AND CURB & GUTTERS - 2018 NCDOT STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND ROADWAY STANDARD DRAWINGS UNLESS OTHERWISE MODIFIED WITHIN THESE PLANS.
IN THE EVENT OF A CONFLICT BETWEEN THE CONSTRUCTION DRAWINGS, WRITTEN SPECIFICATIONS ISSUED BY STIMMEL (IF ISSUED), AND/OR THE STANDARDS AND SPECIFICATIONS LISTED ABOVE, THE MORE STRINGENT SHALL APPLY AS DETERMINED BY THE ENGINEER. CONTRACTOR SHALL NOTIFY THE ENGINEER IN WRITING OF ANY CONFLICTING REQUIREMENTS FOR A DECISION BEFORE PROCEEDING WITH THE WORK.
11. THE SITEWORK CONTRACTOR IS RESPONSIBLE FOR COORDINATING HIS WORK WITH THE WORK OF OTHER CONTRACTORS ON THE PROJECT TO AVOID CONFLICT.
12. THE CONTRACTOR SHALL MAINTAIN A SET OF AS-BUILT DRAWINGS OF THE COMPLETED CONSTRUCTION AND OBSERVATIONS THROUGHOUT THE PROJECT AND SHALL PROVIDE A DIGITAL COPY TO THE OWNER AND ENGINEER FOR USE IN PRODUCING THE AS-BUILT RECORD DRAWINGS.
13. A PRE-INSTALLATION MEETING SHALL BE HELD WITH THE CONTRACTOR, THE ENGINEER AND THE AUTHORITY HAVING JURISDICTION FOR THE FOLLOWING:
a. STORM DRAINAGE
b. STORMWATER MANAGEMENT SYSTEM
14. AS-BUILT SURVEYING MAY BE REQUIRED FOR OWNER REQUIRED RECORD DRAWINGS OR RECORD DRAWINGS FOR THE LOCAL JURISDICTION AND IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE.

DEMOLITION NOTES:

- 1. A DEMOLITION PERMIT FROM THE AUTHORITY HAVING JURISDICTION MAY BE REQUIRED AND IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN.
2. ALL ITEMS WITHIN THE DEMOLITION LIMITS SHALL BE COMPLETELY REMOVED. DISPOSE IN AN APPROPRIATE PERMITTED LANDFILL. ADDITIONAL DEMOLITION MAY BE SHOWN ON OTHER DRAWINGS.
3. ALL ASBESTOS MATERIALS SHALL BE REMOVED AND DISPOSED IN ACCORDANCE WITH ALL APPLICABLE LAWS AND REGULATIONS. ALL OTHER NON-HAZARDOUS MATERIALS RESULTING FROM DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN A PERMITTED LANDFILL FACILITY.
4. ALL UNDERGROUND PIPING SPECIFIED TO BE DEMO/REMOVED SHALL BE COMPLETELY REMOVED OR FILLED WITH FLOWABLE CONCRETE FILL INCLUDING BUT IS NOT LIMITED TO STORM DRAINAGE, SANITARY SEWER, WATER, CHILLED WATER, STEAM, FUEL, ETC.
5. REMOVAL AND/OR RELOCATION OF UNDERGROUND AND OVERHEAD UTILITIES MAY BE REQUIRED. COORDINATE THE RELOCATION AND/OR TERMINATION OF ALL UTILITIES WITH THE RESPECTIVE UTILITY COMPANIES.
6. REMOVAL/ABANDONMENT OF EXISTING WATER AND/OR SEWER TAPS AND SERVICES SHALL BE IN ACCORDANCE WITH THE TOWN OF ELON STANDARDS AND REQUIREMENTS. NOTE: THIS MAY REQUIRE DISCONNECTION OF THAT UTILITY SERVICE AT THE MAIN. REPAIR DISTURBED ITEMS IN ACCORDANCE WITH THE AUTHORITY HAVING JURISDICTION SPECIFICATIONS.
7. INSTALLATION OF EROSION CONTROL MEASURES IS REQUIRED PRIOR TO DEMOLITION ACTIVITIES.
8. DEMOLITION SHALL BE SCHEDULED AND PERFORMED SO AS TO NOT INTERRUPT SUBSEQUENT CONSTRUCTION ACTIVITIES.
9. ENSURE NO INTERRUPTION OF UTILITY SERVICE TO ADJACENT BUILDING(S).
10. PROTECT ADJACENT STRUCTURES, CURB, SIDEWALKS, PAVEMENTS, ETC. FROM DAMAGE. PATCH/REPAIR ALL ITEMS DAMAGED DURING THE CONSTRUCTION AT NO COST TO OWNER.
11. SPRINKLE DEBRIS WITH WATER AS NECESSARY TO LIMIT DUST TO THE LOWEST PRACTICAL LEVEL. DO NOT SPRINKLE TO THE EXTENT TO CAUSE FLOODING, CONTAMINATED RUNOFF OR ICING.
12. SAW CUT EDGE OF ALL PAVED AREAS INCLUDING CURBS AND GUTTERS SPECIFIED TO BE REMOVED.
13. CLOSURE OF EXISTING WELLS WILL REQUIRE A PERMIT FROM THE LOCAL HEALTH DEPARTMENT, AND THE WORK SHALL BE DONE BY A LICENSED WELL CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING THE WELL CLOSURE PERMIT. ALL WELL CLOSURE WORK SHALL BE DONE IN ACCORDANCE WITH NCAAC 15A, 2C, 0100 WELL CONSTRUCTION STANDARDS, AND ANY ADDITIONAL REQUIREMENTS IN THE WELL CLOSURE PERMIT. THE CONTRACTOR SHALL FURNISH THE OWNER WITH A COPY OF THE WELL CLOSURE PERMIT AND REPORTS, IF ANY.
14. IT IS UNKNOWN IF THERE ARE SEPTIC SYSTEMS (TANK AND LEACH LINES) LOCATED ON THE SITE. IF A SEPTIC SYSTEM IS FOUND REMOVE THE TANK CONTENTS AND DISPOSE IN A PERMITTED SEWAGE TREATMENT AND DISPOSAL FACILITY AND COMPLETELY REMOVE THE SEPTIC SYSTEM (TANKS, DRAIN LINES, PUMPS AND CONTROLS IF PRESENT) AND DISPOSE OF IN ACCORDANCE WITH APPLICABLE REGULATIONS. CONTACT THE LOCAL HEALTH DEPARTMENT TO OBTAIN A REMOVAL PERMIT, IF REQUIRED. PROVIDE THE OWNER WITH A COPY OF THE CLOSURE PERMIT AND REPORTS, IF ANY.

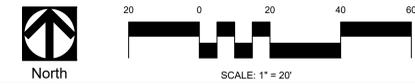


LEGEND:

- EXISTING PROPERTY LINE
EXISTING STORM DRAINAGE PIPE
EXISTING ELECTRIC LINE
EXISTING OVERHEAD WIRE
EXISTING TELEPHONE LINE
EXISTING WATER LINE
EXISTING F LINE
EXISTING TREE LINE
EXISTING GAS LINE
EXISTING MAJOR CONTOUR
EXISTING MINOR CONTOUR
EXISTING CLEANOUT
PROPOSED PROJECT LIMITS
PROPOSED LIMITS OF DISTURBANCE

DEMO LEGEND

- EXISTING CURB & GUTTER TO BE REMOVED
CONCRETE / PAVEMENT TO BE REMOVED
ASPHALT / PAVEMENT TO BE REMOVED
SAWCUT EXISTING CONCRETE
EXISTING TREES TO BE REMOVED







EAST NEIGHBORHOOD COMMONS

EAST HAGGARD AVENUE

PROJECT TEAM

ARCHITECT & LANDSCAPE ARCHITECT
AYERS SAINT GROSS
1040 HULL ST, SUITE 100
BALTIMORE, MD 21230
410-347-8500

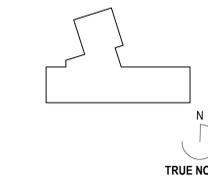
CIVIL
STIMMEL ASSOCIATES
601 N TRADE ST, SUITE 200
WINSTON-SALEM, NC 27101
336-723-1067

STRUCTURAL
LHC STRUCTURAL ENGINEERS
(BENNETT & PLESS)
5340 WADE PARK BLVD, SUITE 400
RALEIGH, NC 27607
919-832-5587

M/E/P
EDMONDSON ENGINEERS
1920 HIGHWAY 54, SUITE 700
DURHAM, NC 27713
919-544-1936

Table with 3 columns: REV.#, DESCRIPTION, DATE. Includes revisions for TRC COMMENTS RND 1 and RND 2.

KEY PLAN

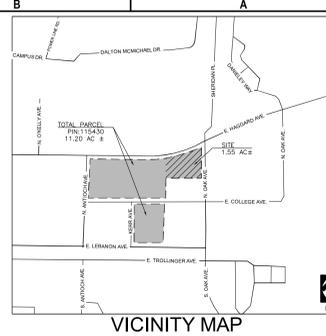


DRAWING INFORMATION table with fields for ISSUE DATE, SCALE, JOB NO., and DRAWN BY.

PROJECT DESIGN PHASE
DESIGN DEVELOPMENT

DRAWING NAME
SITE PLAN

C-2.01
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SITE NOTES:

- 1. CONSTRUCTION STAKING SHALL BE THE CONTRACTOR'S RESPONSIBILITY. STAKING SHALL BE PERFORMED BY A PROFESSIONAL LAND SURVEYOR.
2. STAKEOUT INFORMATION SHALL NOT BE DETERMINED BY SCALING THE DRAWINGS.
3. CONTRACTOR'S SURVEYOR SHALL CONFIRM THE HORIZONTAL AND VERTICAL DATUM USED FOR THE SURVEY PRIOR TO STAKING.
4. THE BUILDING IS LOCATED WITH COORDINATES FOR ONE BUILDING CORNER AND A BEARING ON ONE SIDE. THE BUILDING FOOTPRINT SHOWN IS BASED ON INFORMATION PROVIDED BY THE ARCHITECT. FINAL BUILDING DIMENSIONS ARE TO BE TAKEN FROM THE ARCHITECTURAL DRAWINGS. DO NOT USE THESE DRAWINGS FOR DETERMINATION OF FINAL BUILDING DIMENSIONS.
5. KEEP ALL PLANTING AND GRASS AREAS FREE OF DEBRIS, STONES, CONSTRUCTION MATERIALS, ETC.
6. PATCH/REPAIR CURB & GUTTER, STREETS, STRUCTURES, ETC. ACCORDING TO THE CITY OF GREENSBORO STANDARDS AND SPECIFICATIONS AFTER CONNECTION OF PROPOSED UTILITIES AND DRIVEWAYS.
7. OVERHEAD POWER LINES EXIST WITHIN THE PROPERTY.
8. THE SITE RETAINING WALLS ARE DESIGNED BY OTHERS. SEE RETAINING WALL DRAWINGS BY THE WALL ENGINEER.
9. ALL SITE SIGNAGE SHALL BE PERMITTED SEPARATELY.
10. SOLID WASTE FOR THIS SITE WILL BE HANDLED BY BINS LOCATED INSIDE THE BUILDING. SOLID WASTE WILL THEN BE PICKED UP BY ELON COLLEGE AND TAKEN TO AN OFFSITE DUMPSTER WHERE THE DUMPSTERS AND TRASH TRUCK WILL PICK IT UP.
11. FINAL PLANTING PLAN WITH SPECIES IDENTIFIED WILL BE PROVIDED BY THE UNIVERSITY. THE PLANTING PLAN WILL MEET THE MINIMUM CODE STANDARDS AND WILL ADD ADDITIONAL PLANTINGS.

SITE DATA:

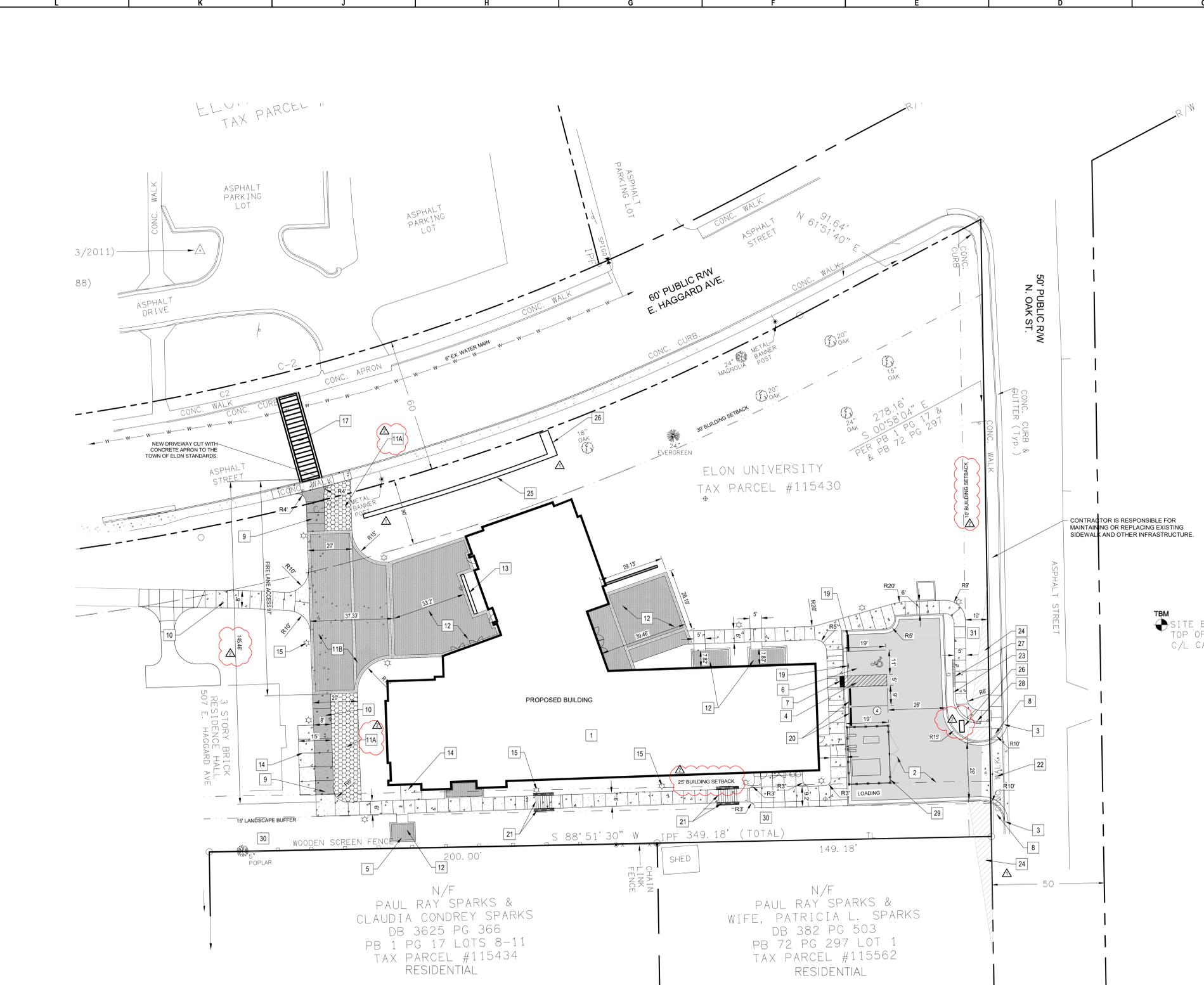
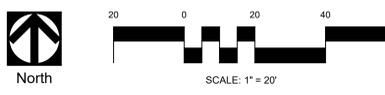
FOR ADJACENT PARCEL INFORMATION SEE SHEET C-2.00
PROPERTY INFORMATION:
PARCEL ID: 115430
GPN#: 885264449
ZONING:
PI = PUBLIC INSTITUTIONAL
JURISDICTION:
TOWN OF ELON, NC
CURRENT USE:
PUBLIC INSTITUTIONAL - PARKING LOT
PROPOSED USE:
PUBLIC INSTITUTIONAL - DORMITORY AND PARKING LOT
BUILDING(S) INFORMATION:
BUILDING HEIGHT: 45 FEET (3 STORIES)
GROSS FLOOR AREA: 15,137 GSF
TOTAL NUMBER OF RESIDENTIAL UNITS: 52 UNITS
ASSEMBLY:
ENTERTAINING SPACE (CONCENTRATED CHAIRS); LOWER LEVEL
STUDY ROOMS (UNCONCENTRATED TABLE AND CHAIRS); LOWER LEVEL
FORUM (CONCENTRATED CHAIRS); LEVEL 1
LIVING ROOM LOUNGES (UNCONCENTRATED TABLE AND CHAIRS); LOWER LEVEL - LEVEL 3
BUSINESS:
HOUSING OFFICE; LEVEL 1
STORAGE/ UTILITY (STORAGE, EQUIPMENT ROOMS); LOWER LEVEL - LEVEL 3
WATERSHED:
JORDAN LAKE WATERSHED
FLOOD PLAIN:
SUBJECT PROPERTY IS NOT LOCATED WITHIN A SPECIAL FLOOD HAZARD ZONE AREA AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY COMMUNITY PANEL NUMBER 3710885500J, DATED SEPTEMBER 6, 2006.
INFRASTRUCTURE:
STREETS = PUBLIC
SIDEWALKS = PUBLIC
PARKING REQUIRED:
1 SPACE PER RESIDENTIAL BEDROOM: 52 SPACES
HANDICAP SPACES: 3 SPACES
PARKING PROVIDED:
4 SPACES (INCLUDING 1 HC SPACE)
AVAILABLE PARKING SPACES (NOT INCLUDE THOSE DEDICATED TO THE INN) = 6,065
SPACES LOST AT EAST COMMONS = 45
AVAILABLE PARKING SPACES AFTER EAST COMMONS = 6,020
NUMBER OF FACULTY/STAFF (1 PARKING SPACE PER) = 1,600
NUMBER OF STUDENTS (1 PARKING SPACE PER 2 STUDENTS) = 6700/2 = 3,350
TOTAL = 1,600 + 3,350 = 4,950 SPACES REQUIRED.
AVAILABLE SPACES (AFTER EAST COMMONS) = 6,020
REQUIRED SPACES = 4,950
VARIANCE = 1,075 SPACES

PROPERTY OWNER INFORMATION:

OWNER:
ELON UNIVERSITY
100 CAMPUS DRIVE, 2285 CAMPUS BOX
ELON, NC 27244
CONTACT:
BRAD MOORE
2060 CAMPUS BOX, ELON, NC 27244
336-278-5492
EMAIL: BMOORE@ELON.EDU

SURVEY INFORMATION:

BOUNDARY AND TOPOGRAPHICAL INFORMATION SHOWN HEREON ARE PER SURVEY PROVIDED BY SACKS SURVEYING AND MAPPING, P.C., DATED MAY 13, 2021. FOR MORE INFORMATION CONTACT SACKS SURVEYING AND MAPPING, P.C. 3308-B EDGEFIELD ROAD, GREENSBORO, NC 27409 PHONE: 336-931-0566



SITE REFERENCE NOTES:

- 1 PROPOSED BUILDINGS. SEE ARCHITECTURAL PLANS.
2 LIGHT DUTY ASPHALT PAVEMENT. SEE DETAIL 3, SHEET C-2.02.
3 EXTENTS OF NEW CONCRETE CURB AND GUTTER. SEE DETAIL 1, SHEET C-2.02. PATCH & REPAIR ASPHALT AS NECESSARY TO TOWN OF ELON STANDARDS.
4 4" WIDE PAINTED STRIPES 1.5" O.C. @ 45°, IN ALL ACCESSIBLE PARKING AREAS. TYPICAL.
5 PROPOSED REFUGE AREA.
6 VAN ACCESSIBLE PARKING SPACE - TYPICAL. SEE DETAIL 5, SHEET C-2.02.
7 ACCESSIBLE RAMP TYPE 1. SEE DETAIL SHEET C-2.02.
8 ACCESSIBLE RAMP TYPE 2. SEE DETAIL SHEET C-2.02.
9 HEAVY DUTY CONCRETE SIDEWALK - TYPICAL. SEE PLANS FOR WIDTHS. SEE DETAIL 4, SHEET C-2.02.
10 LIGHT DUTY CONCRETE SIDEWALK - TYPICAL. SEE PLANS FOR WIDTHS. SEE DETAIL 4, SHEET C-2.02.
11A GRASS PAVE FIRE LANE - TYPICAL. USE CAMPUS STANDARD TUFFTRACK PAVER PANEL, OR APPROVED EQUAL.
11B FIRE LANE BRICK PAVER OVER HEAVY DUTY CONCRETE.
12 LIGHT DUTY CONCRETE REINFORCED BRICK PAVER SIDEWALK, LANDING OR GATHERING AREA PER UNIVERSITY STANDARDS. SEE DETAIL ON SHEET C-2.02.
13 NEW 18" SEAT WALLS BY OTHERS - TYPICAL. SEE ARCHITECTURAL PLANS FROM ASG FOR SPECIFICATIONS.
14 BICYCLE RACK INSTALLED BY THE UNIVERSITY.
15 SITE LIGHTING. - TYPICAL. NOTE, LOCATIONS ON CIVIL PLAN ARE FOR REFERENCE ONLY. SEE PLANS BY PM&E FOR LOCATIONS AND SPECIFICATIONS.
16 UTILITY YARD. SHEET C200 FOR DETAIL.
17 FUTURE 6" WIDE PAINTED PEDESTRIAN CROSSWALK. SIGNAGE PER MUTCD STANDARDS. SEE DETAIL 8 SHEET C-2.02. CROSS WALK SHALL MATCH EXISTING CROSSWALKS ALONG E. HAGGARD AND SHALL BE APPROVED BY NCDOT.
18 TRANSFORMER PAD - TYP. NOTE, LOCATIONS ON CIVIL PLAN ARE FOR REFERENCE ONLY. SEE PLANS BY PM&E FOR LOCATIONS AND SPECIFICATIONS.
19 VAN ACCESSIBLE PARKING SIGNAGE. SEE DETAIL ON SHEET C-2.02.
20 PROPOSED CONCRETE WHEEL STOP - TYP. SEE DETAIL THIS SHEET.
21 PROPOSED CONCRETE STAIRS AND HANDRAILS. SEE ARCHITECTURAL PLANS FROM ASG FOR DETAILS AND SPECIFICATIONS.
22 PROPOSED CONCRETE APRON TO THE TOWN OF ELON STANDARDS.
23 12" DROP CURB. SEE DETAIL ON SHEET C-2.02.
24 10' x 70' SIGHT DISTANCE TRIANGLES.
25 APPROXIMATE LOCATION ABOVE GRADE HISTORICAL WALL.
26 APPROXIMATE LOCATION SITE SIGNAGE.
27 12' LONG TAPER. SEE DETAIL ON SHEET C-2.02.
28 3' LONG TAPER. SEE DETAIL ON SHEET C-2.02.
29 UTILITY YARD TO BE SCREENED WITH A WALL.
30 BUFFER ???? LANDSCAPE SHEET.
31 PERIMETER PARKING LOT LANDSCAPING SEE LANDSCAPE SHEET.

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**EAST NEIGHBORHOOD COMMONS**

EAST HAGGARD AVENUE

**PROJECT TEAM**

**ARCHITECT & LANDSCAPE ARCHITECT**  
 AYERS SAINT GROSS  
 1040 HULL ST. SUITE 100  
 BALTIMORE, MD 21230  
 410-347-8500

**CIVIL**  
 STIMMEL ASSOCIATES  
 601 N TRADE ST. SUITE 200  
 WINSTON-SALEM, NC 27101  
 336-723-1067

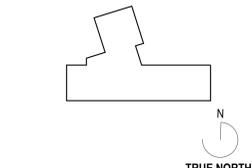
**STRUCTURAL**  
 LHC STRUCTURAL ENGINEERS  
 (BENNETT & PLESS)  
 5340 WADE PARK BLVD. SUITE 400  
 RALEIGH, NC 27607  
 919-832-5587

**M/E/P**  
 EDMONDSON ENGINEERS  
 1920 HIGHWAY 54, SUITE 700  
 DURHAM, NC 27713  
 919-544-1936

**REVISIONS**

REV. #	DESCRIPTION	DATE
1	TRC COMMENTS RND 1	08/18/22
2	TRC COMMENTS RND 2	08/31/22

**KEY PLAN**



**NOT FOR CONSTRUCTION**

DRAWING INFORMATION	
ISSUE DATE:	08/31/22
SCALE:	1"=10'
JOB NO.:	2210053.00
DRAWN BY:	JS, SJ

**PROJECT DESIGN PHASE**

**MAJOR DEVELOPMENT PLAN**

**DRAWING NAME**

**HARDSCAPE PLAN - LOWER LEVEL**

**DRAWING NUMBER**

**L-102**

**MATERIALS LEGEND**

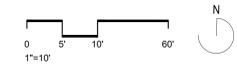
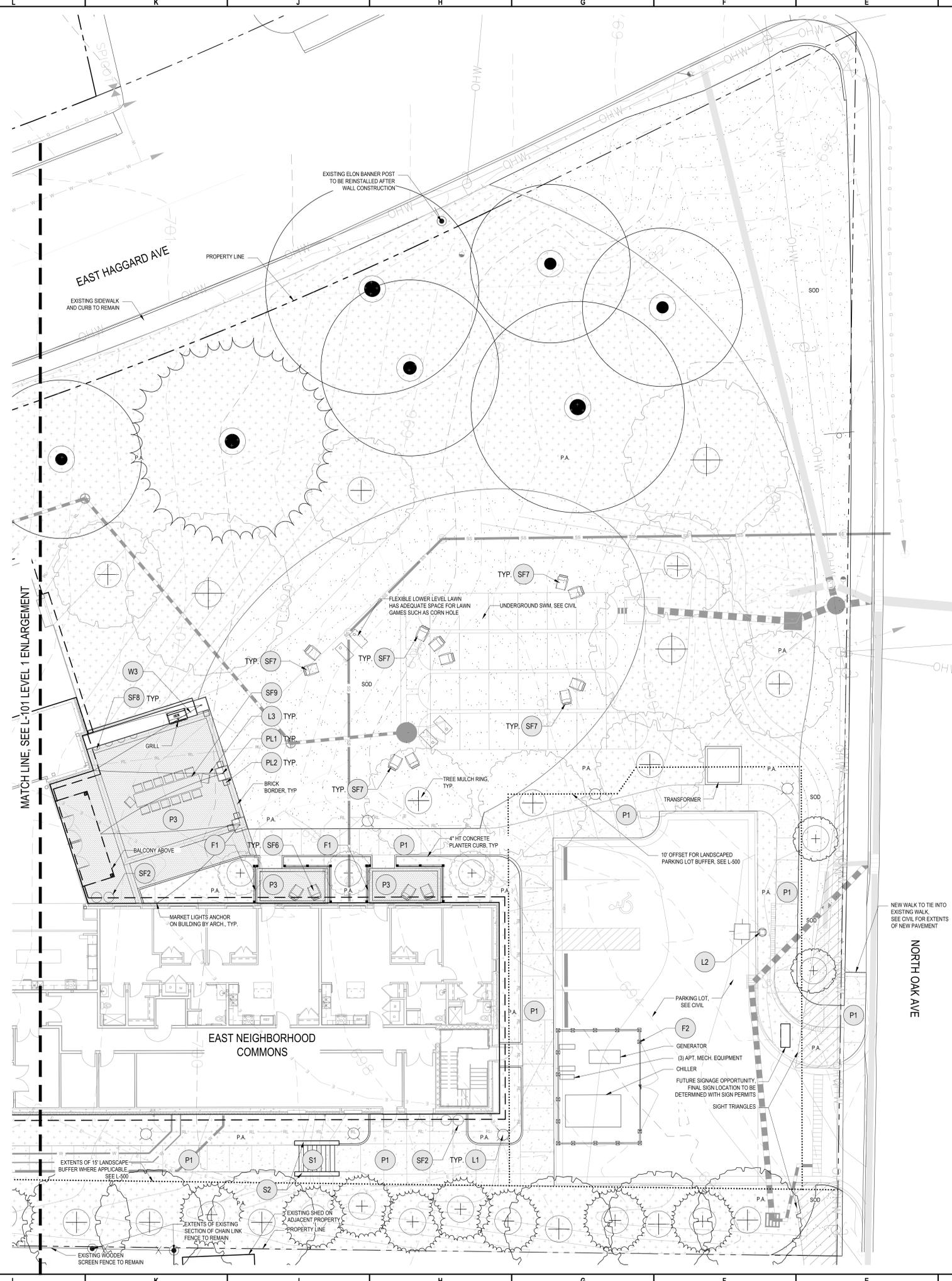
CALLOUT	DETAIL	DESCRIPTION
P1	2 / L300	CONCRETE - PEDESTRIAN
P2	SEE CIVIL	CONCRETE - VEHICULAR
P3	5 / L300	BRICK PAVING - PEDESTRIAN
P4	SEE CIVIL	BRICK PAVING - VEHICULAR
P5	1 / L300	DECORATIVE STONE
P6	8 / L300	REINFORCED TURF
W1	1 / L301	LOW BRICK WALL
W2	2 / L301	SEAT WALL
W3	2 / L302	RETAINING WALL WITH GRILL
F1	3 / L301	LOW ORNAMENTAL PORCH FENCE
F2	4 / L301	UTILITY YARD SCREEN AND GATE
S1	1 / L303	STAIRS AND HANDRAIL
S2	3 / L303	CHEEKWALL

**SITE FURNISHING LEGEND**

CALLOUT	DETAIL	DESCRIPTION
SF1	1 / L304	BIKE RACK
SF2	2 / L304	TRASH AND RECYCLING RECEPTACLES
SF3	3 / L304	BENCH
SF4	4 / L304	2-TOP TABLE AND CHAIRS
SF5	5 / L304	4-TOP TABLE AND CHAIRS AND UMBRELLA
SF6	6 / L304	ROCKING CHAIR
SF7	7 / L304	ADIRONDACK CHAIR
SF8	8 / L304	DINING STOOL
SF9	9 / L304	COMMUNITY TABLE AND CHAIRS
SF10	SEE SPECS	BIKE SHELTER
PL1	10 / L304	LARGE PLANTER WITH MARKET LIGHT SUPPORTS
PL2	11 / L304	MEDIUM PLANTER
L1	SEE ELECTRICAL	PEDESTRAIN POLE LIGHT
L2	SEE ELECTRICAL	PARKING LOT POLE LIGHT
L3	12 / L304	MARKET LIGHTING



- GENERAL NOTES:**
- THE FORUM IS A FLEX ASSEMBLY SPACE FOR THE CAMPUS AND SURROUNDING COMMUNITY. IT IS LOCATED ON LEVEL 1 AND IS A DOUBLE-HEIGHT SPACE.
  - APPROXIMATE SIGNAGE LOCATIONS SHOWN FOR ILLUSTRATIVE PURPOSES. ALL SIGNAGE WILL BE PERMITTED SEPARATELY.
  - TREES SHOWN FOR ILLUSTRATIVE PURPOSES. ELON UNIVERSITY TO PROVIDE PLANTING PLAN AND SPECIES AT A LATER DATE.
  - PLANTING BEDS SHOWN FOR ILLUSTRATIVE PURPOSES. ELON UNIVERSITY TO PROVIDE PLANTING PLAN AND SPECIES AT A LATER DATE.
  - PLANTING TO MEET BUFFER REQUIREMENTS. CALCULATIONS PROVIDED ON L-300.



**EAST NEIGHBORHOOD COMMONS**

EAST HAGGARD AVENUE

**PROJECT TEAM**

**ARCHITECT & LANDSCAPE ARCHITECT**  
 AYERS SAINT GROSS  
 1040 HULL ST. SUITE 100  
 BALTIMORE, MD 21230  
 410-347-8500

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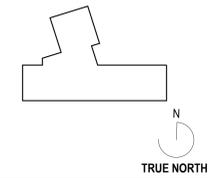
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**REVISIONS**

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1	TRC COMMENTS RND 1	08/18/22
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**KEY PLAN**



**NOT FOR CONSTRUCTION**

**DRAWING INFORMATION**

ISSUE DATE:	08/31/22
SCALE:	
JOB NO.:	2210053.00
DRAWN BY:	JS, SJ

**PROJECT DESIGN PHASE**

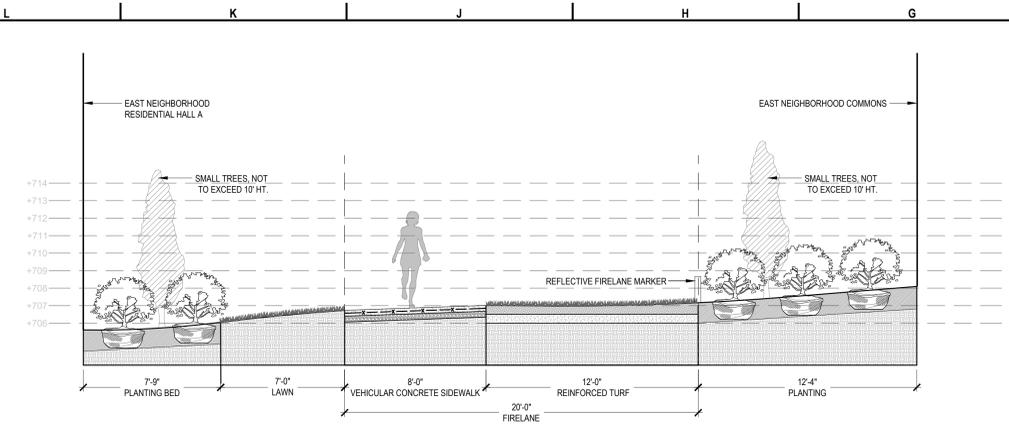
**MAJOR DEVELOPMENT PLAN**

DRAWING NAME

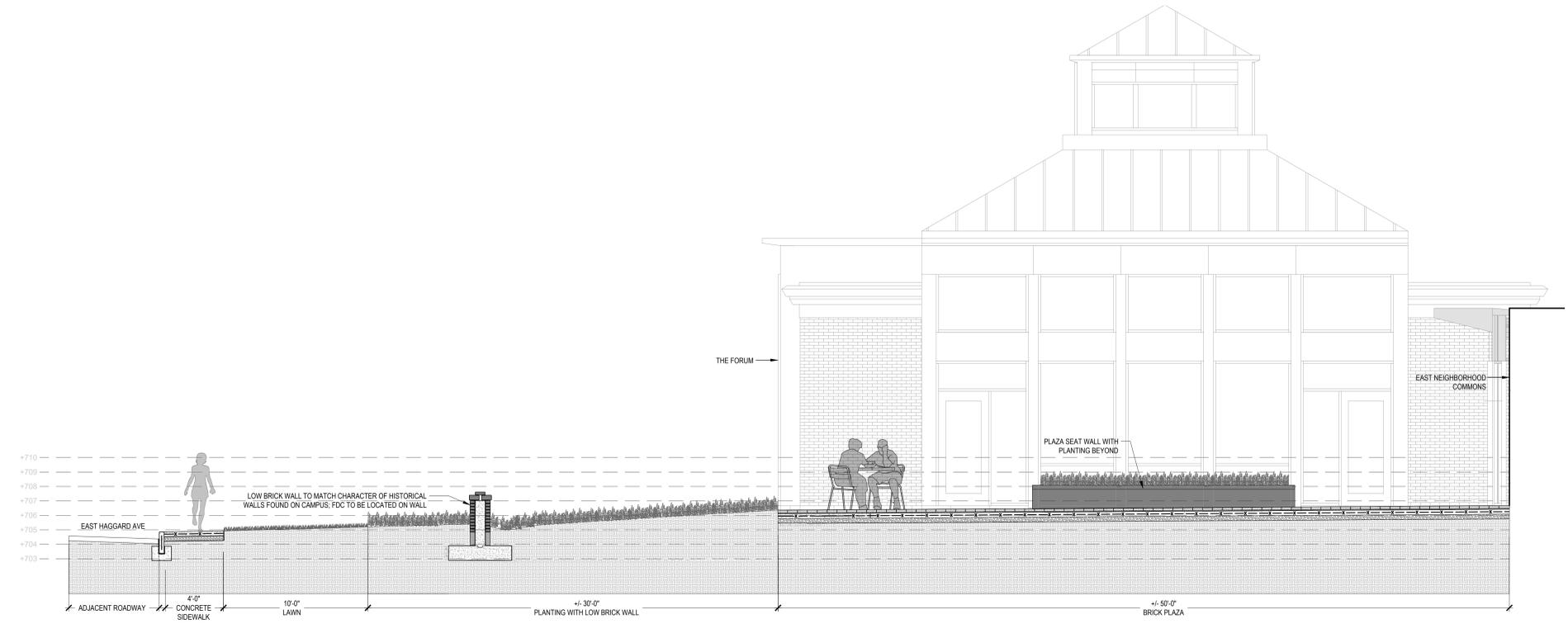
**ELEVATIONS**

DRAWING NUMBER

**L-200**



**1 FIRE LANE SECTION**  
 SCALE: 1/4" = 1'-0"



**2 ENTRANCE PLAZA SECTION**  
 SCALE: 1/4" = 1'-0"







