

LOCATION MAP SCALE: 1" = 2000'

GENERAL NOTES

- The purpose of the final phase one & two subdivision plan is to guide the development of the parcel of land totally within Upper Allen Township as a community of single family detached homes. All homes will front on public streets and will be served by public water and public sewer.
- All the lots will be offered as Fee Simple.
- The driveways are only conceptually located on the plan. Exact location and grading for the driveways will be adjusted under individual lot building permits. The maximum slope of the driveway will not exceed 10% within 50' of the right-of-way line.
- Existing Site Information:
 - There is one existing farmhouse along with several out buildings and an inground pool located within the subject property.
 - There are two old abandoned quarries on the southern side of the site which are being preserved.
 - The majority of the site is farmland with the most recent crop being corn.
 - There are zero environmental impacts on this site based on the PNDI Project Environmental Review.
 - There are no historical features on the site although the old farmhouse, out buildings, pool, and quarries are being preserved.
 - There is a small area of wetlands in the bottom of the larger quarry nearest Mt. Allen Drive. This wetland has been delineated but not mapped as it is entirely within the preserved quarry.
 - There is no flood plain on the site.
- Boundary and topographic information is reflective of a survey performed by Blecan Land Surveying, P.L.S. on or about December, 2006. Contour elevation datum was based on U.S. Coast and Geodetic Survey, The Lemayne, PA Quadrangle was used. The Primary Control Point and Benchmark is a concrete monument at the northern corner of the most northern drive to the farmhouse at the coordinates of 7457.085 and 12362.563 at an elevation of 475.27. This Elevation is U.S.G.S. datum.
- All known existing easements and right-of-ways have been shown on this plan as discovered as part of the survey of the subject property. All proposed easements and/or right-of-ways are also shown on this plan.
- Limits of the Steep Slope Conservation District are based on analysis of the surveyed topographic data and United States Geological Survey Topographic Maps. Slope criteria was based on Upper Allen Township Subdivision and Land Development Ordinance.
- All utilities in the Township have been contacted.
- The developer shall comply with all applicable Upper Allen Township Ordinances in effect at the time of submission of the Preliminary Plan.
- The developer shall be responsible for the placement of all street name and traffic control signs. Street name signs and traffic control signs shall be installed per the Upper Allen Township's Zoning Ordinance. Street names and addresses shall be approved by the Township and the United States Post Office.
- Pursuant to Article XVI of the Upper Allen Township Codified Ordinances, restrictions on the use of land within the Steep Slope Conservation District exist. The limits of this overlay zoning district are depicted on this plan.
- Lot 42 shall be owned and maintained by Upper Allen Township for the pump station.
- Lot 44 shall be owned and maintained by Upper Allen Township for the Township Walking Trail.
- Lot 40 shall be owned and maintained by the Owner of Lot 39. Lot 40 is to remain undeveloped as required by the Upper Allen Township Ordinance.
- Lots 41, 43, and 45 shall be owned and maintained by the Pennington Homeowner's Association and remain undeveloped as required by the Upper Allen Township Ordinance.
- Specific site information as follows:
 - Before construction begins, the contractor shall familiarize himself with Upper Allen Township Construction Details as provided, for certain design standards.
 - Curb radii at all intersections shall be 35 feet.
 - As per Upper Allen Township Ordinance, there shall be a minimum of two concrete monuments per lot.
 - Water main and appurtenance to be designed and installed by United Water Company of Pennsylvania.
 - All water service line/sanitary sewer line/sanitary sewer lateral crossings shall maintain a minimum 18 inch vertical clearance. All crossings maintaining less than 18 inch clearance shall be concrete encased.
 - Sewer notes as follows:
 - Upon completion of the sanitary sewer, the Contractor shall provide "As Built" drawings to the developer's engineer for preparation of "Record Drawings" drawings. Two record sets of "Record Drawings" drawings as completed by the Engineer shall be provided to the Upper Allen Township staff. Red line markup drawings are not acceptable.
 - All sanitary sewer construction methods and materials shall conform to the latest standards of Upper Allen Township, Cumberland County, Pennsylvania, and shall be subject to the approval by the township engineer. The contractor shall refer to the detail in the Standard Construction and Material Specifications of Upper Allen Township.
 - The site is in the presence of subsurface limestone in the Epler, Martinsburg and Myerstown geologic formations.
 - The Developer shall offer land and the construction of the eight foot (8') wide walking trail on Lot 44 to fulfill the Park, Recreation, and Open Space Requirements (220-28) at the time of Recording.
 - Sanitary sewer construction shall comply with the latest revisions to the details in the Upper Allen Township standard construction and material specifications for sanitary sewer extensions.
 - The existing dwelling on Lot 39 is non-conforming relative to the proposed dedicated ultimate right-of-way line for Mount Allen Drive and the current required setback line. Use may continue in accordance with the Upper Allen Township Zoning Ordinance Chapter 245, Article XXII, "Nonconforming Lots, Uses and Buildings". If the dwelling is wholly or partially destroyed by fire, explosion, flood or other phenomenon or legally condemned, the dwelling may be reconstructed with the start of reconstruction beginning within one year in accordance with Article XXII.
 - Whereas, the dedicated ultimate right-of-way line required by the Township of Upper Allen encroaches upon and/or passes through the dwelling house erected on Lot 39 as shown on the Preliminary Subdivision Plan, Jim Jam, LLC, the current owner of the property, shall be paid as provided by the eminent domain code to the Owner's of said structure, at such time as the Township of Upper Allen requires the Owner's thereof to remove and/or relocate the existing structure.
 - Nothing shall be placed, planted, set or put within the area of an easement that would adversely affect the function of the easement or conflict with the easement agreement.



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY HEDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT PA. ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR OVER AND ABOVE THE PA ONE CALL SYSTEM TO LOCATE UTILITIES IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE DONE BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES.

PA ONE CALL DESIGN NUMBER: 20110110389

UTILITY LIST

VERIZON STRAWBERRY SQUARE, FLOOR 11 HARRISBURG, PA 17101-4887 (717) 777-4887	UGI UTILITIES, INC. 1500 PAXTON STREET HARRISBURG, PA 17105-3565 (717) 234-5951
COMCAST CABLE TV CO., INC. 4601 SMITH STREET HARRISBURG, PA 17109 (717) 551-1915	UNITED WATER PENNSYLVANIA 4211 EAST PARK CIRCLE HARRISBURG, PA 17111-0151 (717) 561-1103
PPL ELECTRIC UTILITIES, INC. CUSTOMER SERVICE DEPARTMENT 1801 BROOKWOOD STREET HARRISBURG, PA 17014 (800) 220-9991	UPPER ALLEN TOWNSHIP SEWER ADVISORY BOARD 100 GETTYSBURG PIKE MECHANICSBURG, PA 17055 (717) 766-0756

PLAN PURPOSE

The purpose of this plan is to correct the conservation overlay building set back lines and re-record plans.

PHASING SCHEDULE

PHASE	YEAR	DEV. AREA (acres)	OPEN SPACE (acres)	% TOTAL AREA	NO. BUILDING LOTS	% TOTAL UNITS	LENGTH STREETS	LENGTH STORM SEWERS
1	2007-2020	16.289	31.01	85.71	27	69.2%	3391±	2222±
2	2007-2020	4.737	3.15	14.29	12	30.8%	0	1820±
TOTAL		21.026	34.16	100.00	39	100.00	3391±	4042±

ZONING/SITE DATA - PHASE ONE & TWO

EXISTING ZONING: RL RURAL LIVING DISTRICT - OPTION 2
CSO CONSERVATION DESIGN OVERLAY DISTRICT
SSP STEEP SLOPE PROTECTION DISTRICT

	PROVIDED
TOTAL SITE AREA	55,186 ACRES
TOTAL DEVELOPABLE AREA	21,026 ACRES
ORIGINAL - TOTAL GREEN AREA/OPEN SPACE CALCULATION	34.16 ACRES (61.9%)
REVISED - TOTAL GREEN AREA/OPEN SPACE CALCULATION	2.63 AC + (52.556 AC * 60%) = 34.16 AC
TOTAL CONSTRAINED LANDS (INCLUDED IN OPEN SPACE)	34.16 AC - 1.47 AC = 32.69 AC (59.24%)
MAXIMUM DENSITY	32.69 AC - 2.63 AC = 30.06 AC (57.20%)
CALCULATED DENSITY	2.63 ACRES
TYPICAL LOT AREA	60,000 S.F./D.U.
TYPICAL LOT WIDTH	39 DWELLING UNITS 0.71 D.U./AC.
MAXIMUM IMPERVIOUS AREA	17,000 S.F.
MAXIMUM BUILDING HEIGHT	110'
BUILDING SETBACKS	30% PER LOT (NOT TO EXCEED)
MINIMUM FRONT YARD	35'
MINIMUM SIDE YARD	25'
MINIMUM REAR YARD	15'
PROPOSED SEWAGE DISPOSAL	PUBLIC
PROPOSED WATER SUPPLY	PUBLIC
NEW STREETS	2,300± L.F.

OPEN SPACE

Open Space Lot 40 shall be owned and maintained as Greenway area in accordance with the Upper Allen Township Zoning Ordinance. Lot 40 shall also be owned and maintained as deed restricted Open Space by the Owner of Lot 39. Open Space Lot 41, 43 and 45 shall be owned and maintained by the Pennington Homeowners Association, Inc. as non-buildable deed restricted Open Space.

WAIVER APPROVED - November 7, 2007

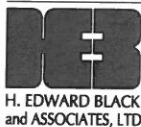
- Waiver from mapping the existing wetlands and large trees over 30" in diameter. (220-9.C.2)(a))

DEFERMENTS APPROVED - Nov. 7, 2007

- Deferment for additional plantings in Type II Buffer Yard along Mt. Allen Drive. (220-26.B.1))
- Deferment of street widening and installing curbs and sidewalks along Mount Allen Drive. (220-15.B.1)(a), (220-16.A.2), (220-16.B.3)) (Deleted by deferment July 2, 2008)



PREPARED BY:



2403 NORTH FRONT STREET
HARRISBURG, PA 17110
PHONE: (717) 233-1026
FAX: (717) 233-2192
CONTACT: ELIZABETH C. DAMSON, P.E.
EMAIL: BETSY.DAMSON@HEBLACK.COM

DATED: OCTOBER 4, 2010
REVISED: NOVEMBER 8, 2010
REVISED: DECEMBER 7, 2010
REVISED: DECEMBER 28, 2012

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- * PLANS PREVIOUSLY RECORDED 8-18-08
- ** PLANS INCLUDED IN REVISED FINAL PHASE ONE & TWO SUBDIVISION RECORDED 12-17-10.
- # PLANS INCLUDED IN REVISED FINAL PHASE ONE & TWO SUBDIVISION TO BE RECORDED.

We, Suites at Stocks, Inc., the undersigned, owners of the owners of lots 39 & 40 shown and described herein, do hereby certify that we have laid off, platted and subdivided, and hereby lay off, plan and subdivide, said real estate in accordance with the within plan.

This subdivision shall be know and designated as Pennington. All streets, alleys, and public walking trail shown and not heretofore dedicated are hereby dedicated to the public.

Building setback lines are hereby established as shown on this plan, between which lines and the property lines of the street there shall be erected or maintained no building or structure.

There are strips of ground thirty (30) feet in width as shown on this plan and marked: "Easement, reserved for the use of public utilities for the installation of water and sewer mains, poles, ducts, lines and wires, subject at all times to the proper authorities and to the easement herein reserved." No buildings or other structures are to be erected or maintained upon said strips of land, but owners of lots in this subdivision shall take their titles subject to the rights of the utilities.

The foregoing covenants (or restrictions) are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 2033, at which time said covenants (or restrictions) shall be automatically extended for successive periods of 10 years and shall remain in full force and effect unless changed at the end of such period of 10 years by vote of a majority of the then owners of the building sites covered by these covenants (or restrictions).

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected or maintained in violation hereof, is hereby dedicated to the public and reserved to the several owners of the several lots in this subdivision and to their heirs and assigns.

Witness our Hands and Seals this _____ day of _____, 20____.

Commonwealth of Pennsylvania: :SS

County of Cumberland:

On this, the _____ day of _____, 20____, before me, the undersigned officer, personally come _____, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that _____ executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

My commission expires: _____ DATE

We, Justin & Dawn Howell, the undersigned, owners of the owners of lot 21 shown and described herein, do hereby certify that we have laid off, platted and subdivided, and hereby lay off, plan and subdivide, said real estate in accordance with the within plan.

This subdivision shall be know and designated as Pennington. All streets, alleys, and public walking trail shown and not heretofore dedicated are hereby dedicated to the public.

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Witness our Hands and Seals this _____ day of _____, 20____.

Commonwealth of Pennsylvania: :SS

County of Cumberland:

On this, the _____ day of _____, 20____, before me, the undersigned officer, personally come _____, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that _____ executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

My commission expires: _____ DATE

OWNER/DEVELOPER		DEED REFERENCE / INSTRUMENT #	RECORD OWNER
LOT NUMBER	TAX PARCEL		
1	42-11-0274-066	INSTRUMENT # 200828177 DEED BOOK 00278-03881	JIM JAM LLC 6 LYNCHBURG COURT MECHANICSBURG PA 17050 CONTACT: JAMES W. MUMPER PHONE: 717.691.6919
2	42-11-0274-067		
3	44-11-0274-068		
4	42-11-0274-069		
5	42-11-0274-070		
6	42-11-0274-071		
7	42-11-0274-072		
8	42-11-0274-105		
9	42-11-0274-104		
10	42-11-0274-103		
11	42-11-0274-102		
12	42-11-0274-101		
13	42-11-0274-100		
14	42-11-0274-99		
15	42-11-0274-98		
16	42-11-0274-97		
17	42-11-0274-96		
18	42-11-0274-95		
19	42-11-0274-94		
20	42-11-0274-93		
23	42-11-0274-74		
24	42-11-0274-75		
25	42-11-0274-76		
26	42-11-0274-77		
27	42-11-0274-78		
28	42-11-0274-79		
29	42-11-0274-80		
30	42-11-0274-81		
31	42-11-0274-82		
32	42-11-0274-83		
33	42-11-0274-84		
34	42-11-0274-85		
35	42-11-0274-86		
36	42-11-0274-87		
37	42-11-0274-88		
38	42-11-0274-89		
41	42-11-0274-008	INSTRUMENT # 201204398	JUSTIN AND DAWN HOWELL 313 PENNINGTON DRIVE MECHANICSBURG, PA 17055
42	42-11-0274-008		
43	42-11-0274-090		
44	42-11-0274-108		
45	42-11-0274-073		
21	42-11-0274-92	DEED BOOK 200832198	JW MUMPER CONSTRUCTION 6 LYNCHBURG COURT MECHANICSBURG PA 17050 CONTACT: JAMES W. MUMPER PHONE: 717.691.6919
22	42-11-0274-091		
39 and 40	42-11-0274-007	DEED BOOK 201037586	OWNER: SUITES AT STOCKS, INC. 16 STONE SPRING LANE CAMP HILL PA 17011 CONTACT: STEPHEN WEINSTOCK PHONE: 717.379.3199

We, Jim Jam, LLC, the undersigned, owners of the real estate shown and described herein, do hereby certify that we have laid off, platted and subdivided, and hereby lay off, plan and subdivide, said real estate in accordance with the within plan.

This subdivision shall be know and designated as Pennington. All streets, alleys, and public walking trail shown and not heretofore dedicated are hereby dedicated to the public.

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The foregoing covenants (or restrictions) are to run with the land and shall be binding on all parties and all persons claiming under them until January 1, 2033, at which time said covenants (or restrictions) shall be automatically extended for successive periods of 10 years and shall remain in full force and effect unless changed at the end of such period of 10 years by vote of a majority of the then owners of the building sites covered by these covenants (or restrictions).

The right to enforce these provisions by injunction, together with the right to cause the removal, by due process of law, of any structure or part thereof erected or maintained in violation hereof, is hereby dedicated to the public and reserved to the several owners of the several lots in this subdivision and to their heirs and assigns.

Witness our Hands and Seals this _____ day of _____, 20____.

Commonwealth of Pennsylvania: :SS

County of Cumberland:

On this, the _____ day of _____, 20____, before me, the undersigned officer, personally come _____, known to me (or satisfactorily proven) to be the person whose name is subscribed to the within instrument, and acknowledged that _____ executed the same for the purposes therein contained.

IN WITNESS WHEREOF, I have hereunto set my hand and official seal.

My commission expires: _____ DATE

I, ELIZABETH C. DAMSON, ON THIS DATE, HAVE REVIEWED AND HEREBY CERTIFY THAT THE DRAINAGE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER ALLEN TOWNSHIP ACT 167 STORMWATER MANAGEMENT ORDINANCE. (\$214-22.B.(24)).

NOTES

I HEREBY ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

OWNER (AM AND LLP)

I HEREBY ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

OWNER (AUSTIN HOWELL)

I HEREBY ACKNOWLEDGE THAT THE STORMWATER MANAGEMENT FACILITIES AND BMPs ARE TO BE PERMANENT FIXTURES THAT CAN BE ALTERED OR REMOVED ONLY AFTER APPROVAL OF A REVISED PLAN BY THE MUNICIPALITY.

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IN WITNESS WHEREOF

THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND CO.

THIS _____ DAY OF _____, 20____.

INSTRUMENT NO.

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND
ON THE _____ DAY OF _____, 20____, THE UNDERSIGNED INDIVIDUAL PERSONALLY APPEARED BEFORE ME, BEING

OWNER

WHO DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

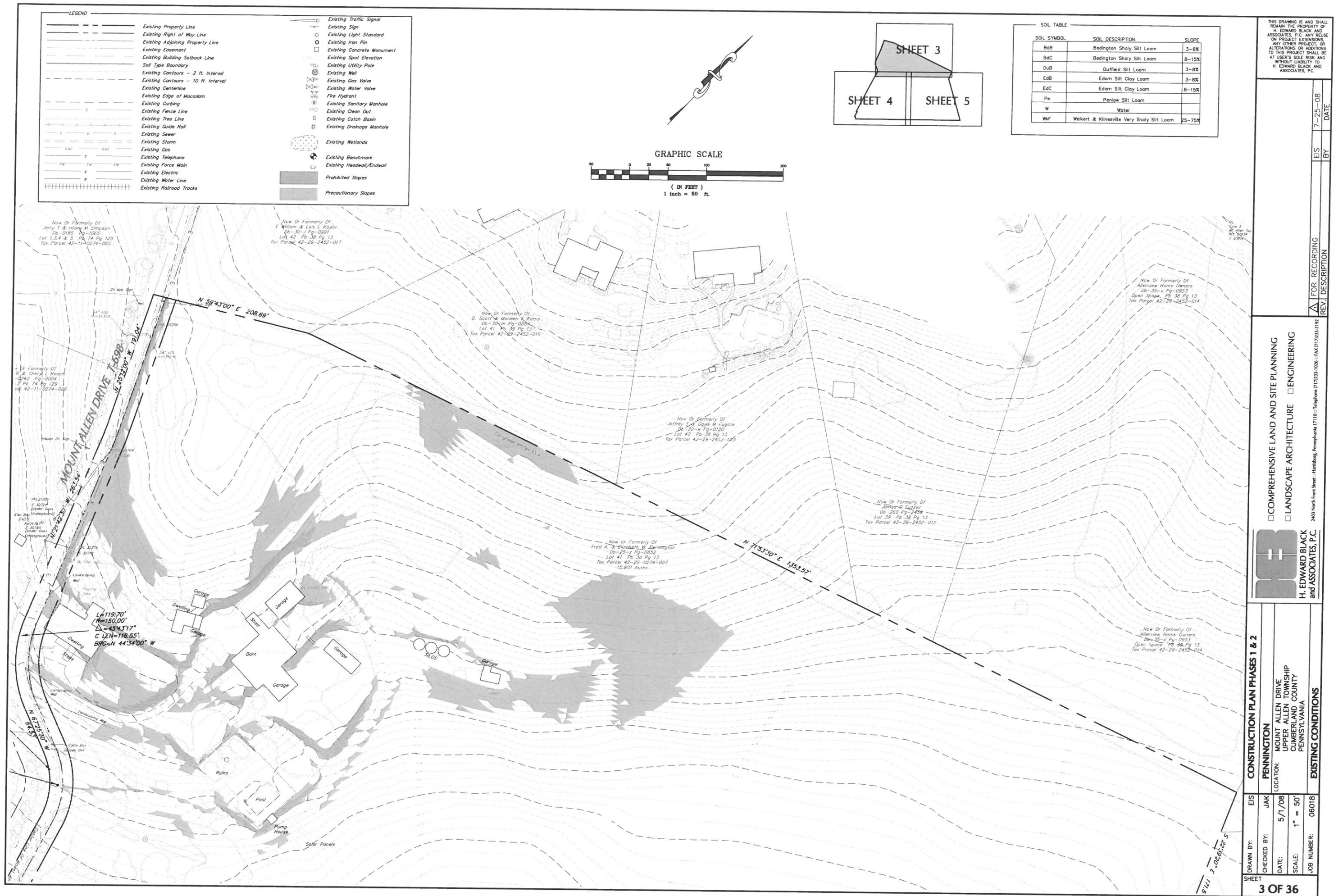
MY COMMISSION EXPIRES
WITNESS MY HAND AND NOTARIAL SEAL
THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC (NOTARIAL SEAL)
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND
ON THE _____ DAY OF _____, 20____, THE UNDERSIGNED INDIVIDUAL PERSONALLY APPEARED BEFORE ME, BEING

OWNER (AUSTIN HOWELL)
WHO DULY SWORN ACCORDING TO LAW, DEPOSE AND SAY THAT THEY ARE THE OWNERS OF THE PROPERTY SHOWN ON THIS PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE RECORDED AS SUCH ACCORDING TO LAW.

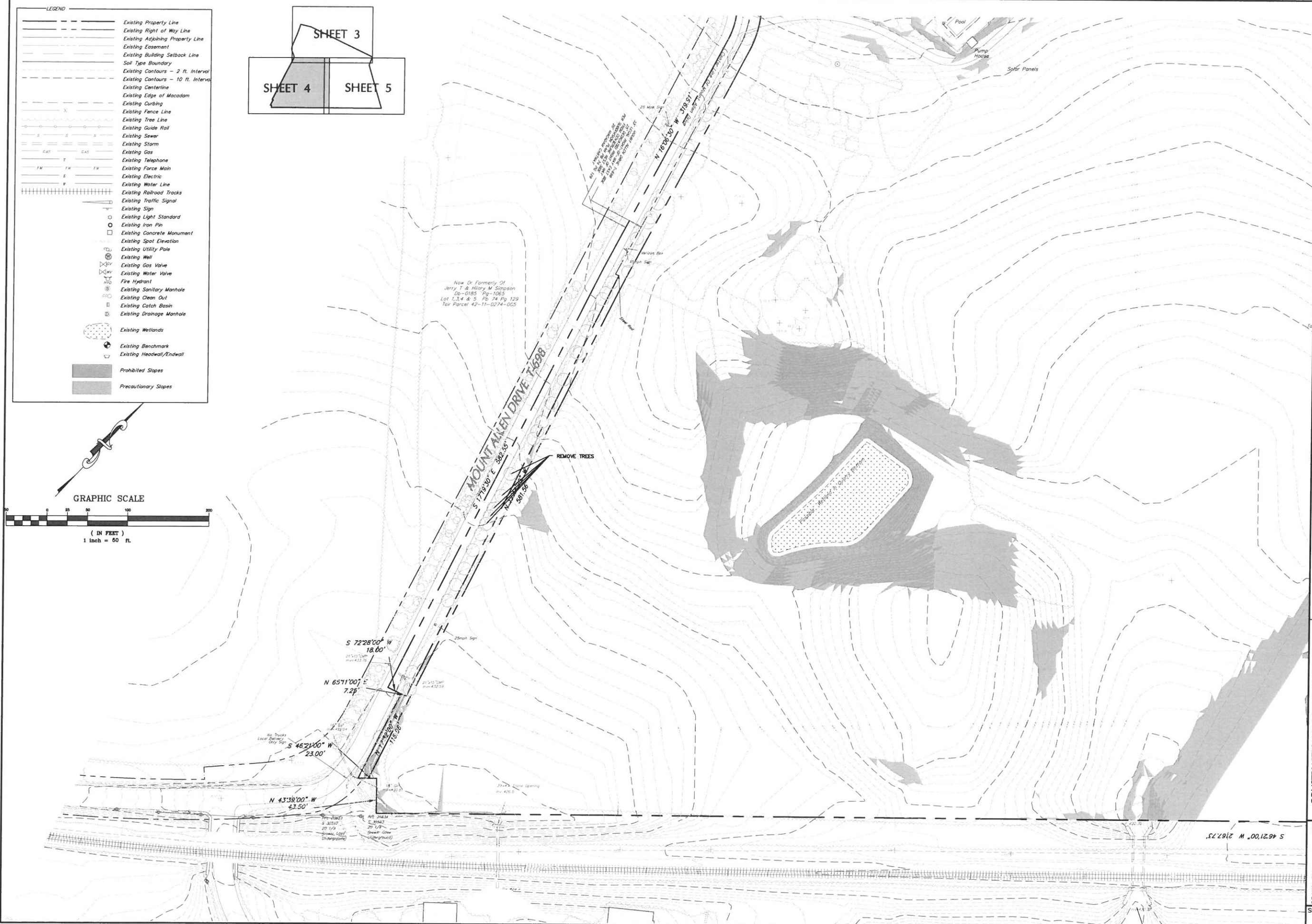
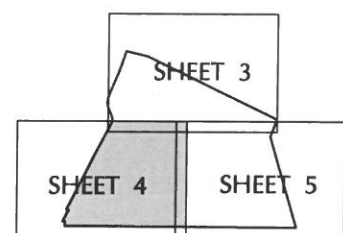
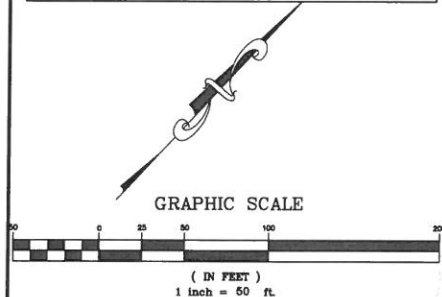
MY COMMISSION EXPIRES
WITNESS MY HAND AND NOTARIAL SEAL
THE DAY AND DATE ABOVE WRITTEN.

NOTARY PUBLIC (NOTARIAL SEAL)
COMMONWEALTH OF PENNSYLVANIA
COUNTY OF CUMBERLAND
ON THE _____ DAY OF _____, 20____, THE UNDERSIGNED INDIVIDUAL PERSONALLY APPEARED BEFORE ME, BEING



LEGEND

- Existing Property Line
- Existing Right of Way Line
- Existing Adjoining Property Line
- Existing Easement
- Existing Building Setback Line
- Soil Type Boundary
- Existing Contours - 2 ft. Interval
- Existing Contours - 10 ft. Interval
- Existing Centerline
- Existing Edge of Macadam
- Existing Curbing
- Existing Fence Line
- Existing Tree Line
- Existing Guide Rail
- Existing Sewer
- Existing Storm
- Existing Gas
- Existing Telephone
- Existing Force Main
- Existing Electric
- Existing Water Line
- Existing Railroad Tracks
- Existing Traffic Signal
- Existing Sign
- Existing Light Standard
- Existing Iron Pin
- Existing Concrete Monument
- Existing Spot Elevation
- Existing Utility Pole
- Existing Well
- Existing Gas Valve
- Existing Water Valve
- Fire Hydrant
- Existing Sanitary Manhole
- Existing Clean Out
- Existing Catch Basin
- Existing Drainage Manhole
- Existing Wetlands
- Existing Benchmark
- Existing Headwall/Endwall
- Prohibited Slopes
- Precautionary Slopes



THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF H. EDWARD BLACK AND ASSOCIATES, P.C. ANY REUSE OR PROJECT EXTENSIONS, ANY OTHER PROJECT, OR ALTERATIONS OR ADDITIONS TO THIS PROJECT SHALL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY TO H. EDWARD BLACK AND ASSOCIATES, P.C.

FOR RECORDING

REV. DESCRIPTION

EIS BY DATE

7-25-08

DATE

COMPREHENSIVE LAND AND SITE PLANNING

LANDSCAPE ARCHITECTURE

ENGINEERING

H. EDWARD BLACK and ASSOCIATES, P.C.

2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone 717/333-1026 • FAX 717/333-2192

CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE, UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

EXISTING CONDITIONS

DRAWN BY: EIS

CHECKED BY: JAK

DATE: 5/1/08

SCALE: 1" = 50'

JOB NUMBER: 06018

4 OF 36

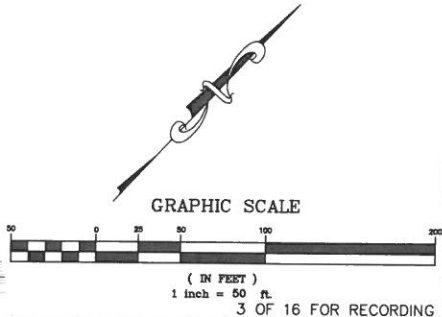


LEGEND

- Existing Property Line
- Existing Right of Way Line
- Existing Adjoining Property Line
- Existing Easement
- Existing Building Setback Line
- Soil Type Boundary
- Existing Contours - 2 ft. Interval
- Existing Contours - 10 ft. Interval
- Existing Centerline
- Existing Edge of Macadam
- Existing Curbing
- Existing Fence Line
- Existing Tree Line
- Existing Guide Rail
- Existing Sewer
- Existing Storm
- Existing Gas
- Existing Telephone
- Existing Force Main
- Existing Electric
- Existing Water Line
- Existing Railroad Tracks
- Existing Traffic Signal
- Existing Sign
- Existing Light Standard
- Existing Iron Pin
- Existing Concrete Monument
- Existing Spot Elevation
- Existing Utility Pole
- Existing Well
- Existing Gas Valve
- Existing Water Valve
- Fire Hydrant
- Existing Sanitary Manhole
- Existing Clean Out
- Existing Catch Basin
- Existing Drainage Manhole
- Existing Wetlands
- Existing Benchmark
- Existing Headwall/Endwall
- Prohibited Slopes
- Precautionary Slopes

SOIL TABLE

SOIL SYMBOL	SOIL DESCRIPTION	SLOPE
BdB	Bedington Shaly Silt Loom	3-8%
BdC	Bedington Shaly Silt Loom	8-15%
DuB	Duffield Silt Loom	3-8%
EdB	Edom Silt Clay Loom	3-8%
EdC	Edom Silt Clay Loom	8-15%
Pe	Penlaw Silt Loom	
W	Water	
WkF	Welkert & Klinesville Very Shaly Silt Loom	25-75%



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FOR RECORDING

7-25-08

DATE

BY

REV

DESCRIPTION

2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192

COMPREHENSIVE LAND AND SITE PLANNING

LANDSCAPE ARCHITECTURE

ENGINEERING

H. EDWARD BLACK and ASSOCIATES, P.C.

CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE, UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

EXISTING CONDITIONS

06018

JOB NUMBER:

06018

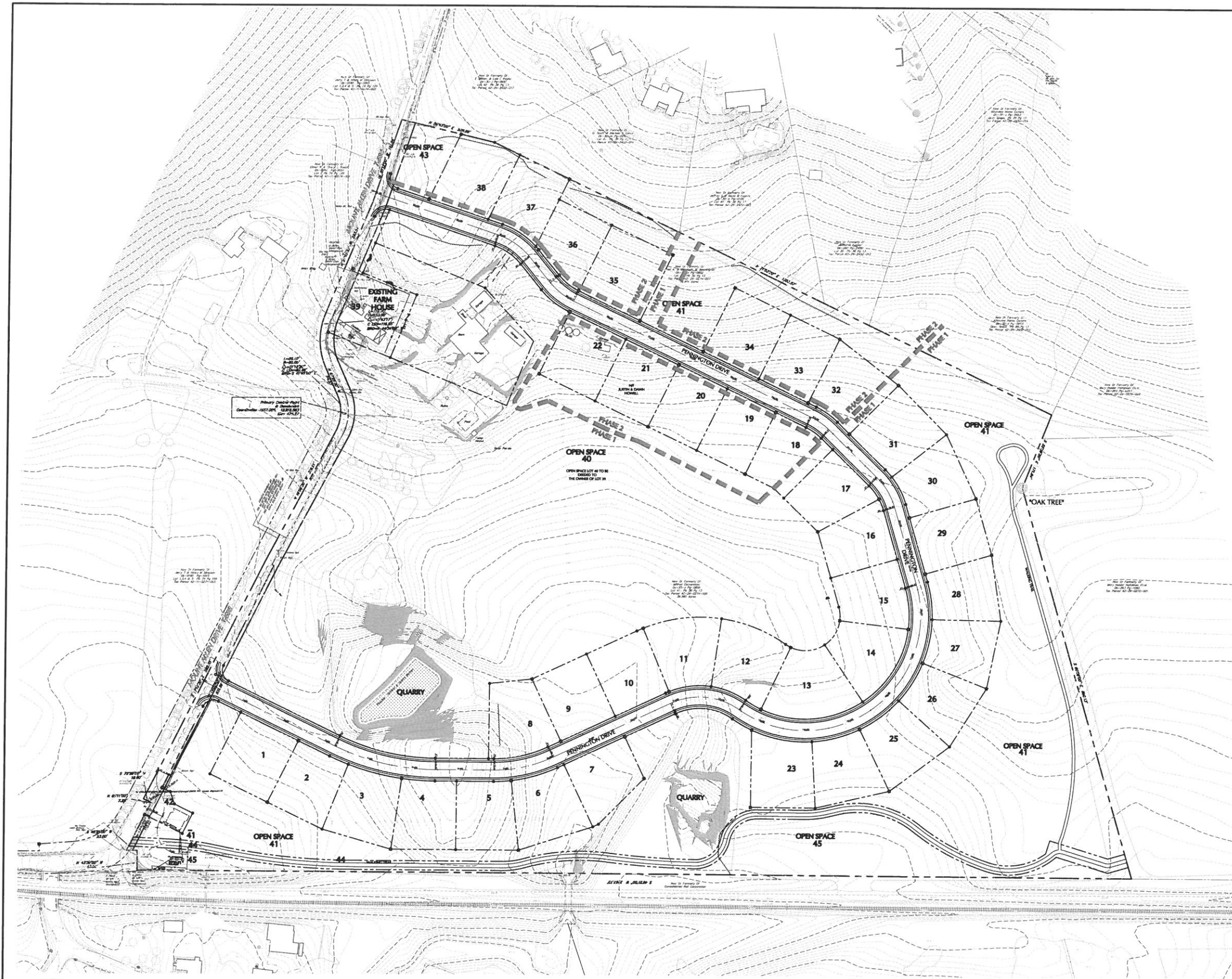
DATE: 5/1/08

SCALE: 1" = 50'

CHECKED BY: JAK

DRAWN BY: PENNINGTON

5 OF 36



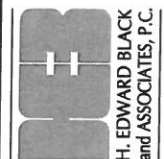
LEGEND	
	Existing Property Line
	Existing Right of Way Line
	Existing Adjoining Property Line
	Existing Easement
	Existing Building Setback Line
	Soil Type Boundary
	Existing Contours - 2 ft. Interval
	Existing Contours - 10 ft. Interval
	Existing Centerline
	Existing Edge of Macadam
	Existing Curbing
	Existing Fence Line
	Existing Tree Line
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	Existing Sewer
	Existing Storm
	Existing Gas
	Existing Telephone
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	Existing Clean Out
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	Prohibited Slopes
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DATE	12-28-12
BY	EIS
REV. DESCRIPTION	FOR RECORDING
	CORRECT C-BSL & RECORD PLANS

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192



FINAL - PHASE ONE & TWO SUBDIVISION PLAN

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

DRAWN BY: EIS

CHECKED BY: JAK

DATE: 5/1/08

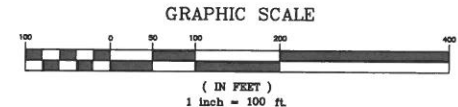
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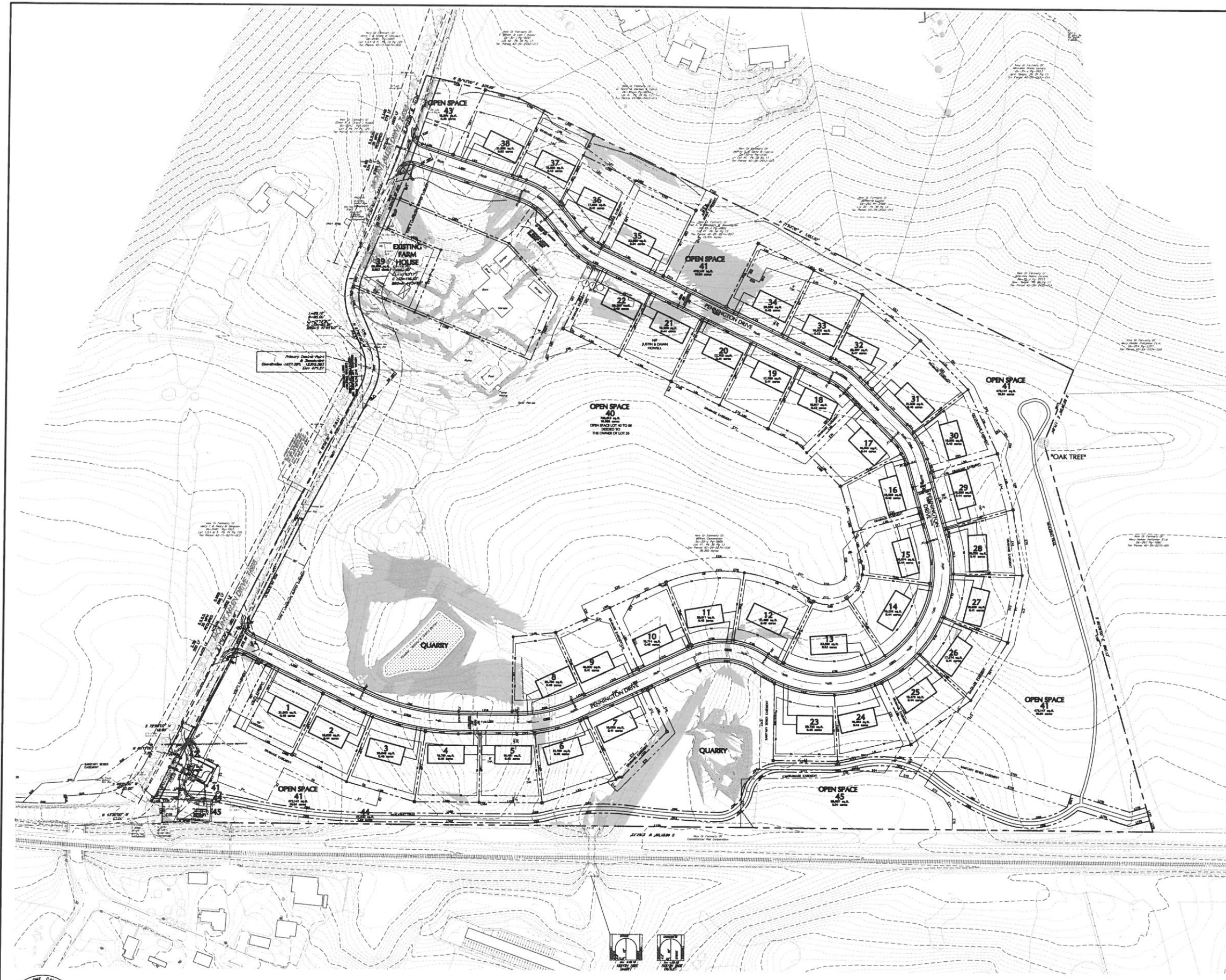
JOB NUMBER: 06016/1003/72019



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY HEDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT PA ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

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LEGEND

---	Existing Property Line
---	Existing Right of Way Line
---	Existing Adjoining Property Line
---	Existing Easement
---	Existing Building Setback Line
---	Soil Type Boundary
---	Existing Contours - 2 ft. Interval
---	Existing Contours - 10 ft. Interval
---	Existing Centerline
---	Existing Edge of Macadam
---	Existing Curbing
---	Existing Fence Line
---	Existing Tree Line
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---	Existing Light Standard
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---	Existing Clean Out
---	Existing Catch Basin
---	Existing Drainage Manhole
---	Existing Wetlands
---	Existing Benchmark
---	Existing Headwall/Endwall
---	Prohibited Slopes
---	Precautionary Slopes

LEGEND

---	PROPOSED LOT LINE
---	PROPOSED RIGHT OF WAY LINE
---	PROPOSED EASEMENT
---	PROP. CONSERVATION OVERLAY BUILDING SETBACK LINE
---	PROPOSED BUILDING SETBACK LINE
---	PROPOSED LANDSCAPE SETBACK LINE
---	PROPOSED PARKING SETBACK LINE
---	PROPOSED CENTERLINE
---	PROPOSED EDGE OF MACADAM
---	PROPOSED CURBING
---	PROPOSED FENCE LINE
---	PROPOSED TREE LINE
---	PROPOSED GUIDE RAIL
---	PROPOSED SIGN
---	PROPOSED LIGHT STANDARD
---	PROPOSED IRON PIN
---	PROPOSED CONCRETE MONUMENT
---	PROPOSED CLEAR SIGHT TRIANGLE
---	PROPOSED S.S.S.D.
---	CURVE & LINE IDENTIFICATION
---	PROPOSED STOP SIGN
---	PROPOSED STOP BAR

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REV.	DESCRIPTION	DATE
12-28-12	EIS	
12/06/10	ECD	
11/08/10	EIS	

COMPREHENSIVE LAND AND SITE PLANNING

LANDSCAPE ARCHITECTURE

ENGINEERING

H. EDWARD BLACK AND ASSOCIATES, P.C.

2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192

REVISED FINAL - PHASE ONE & TWO SUBDIVISION PLAN

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

SCALE: 1" = 100'

JOB NUMBER: 16018/1001/1/2010

SUBDIVISION PLAN

DRAWN BY: EIS

CHECKED BY: ECD

DATE: 10/4/10

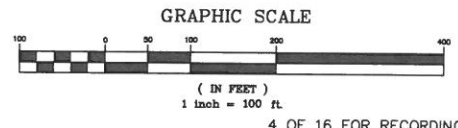
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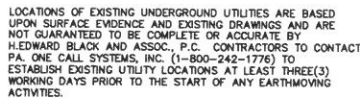
JOB NUMBER: 16018/1001/1/2010



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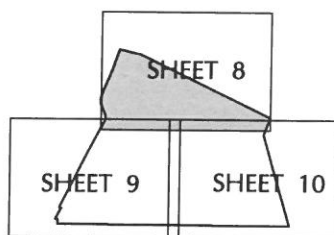




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(IN FEET)
1 inch = 50 ft.



— LEGEND

PROPOSED LOT LINE
PROPOSED RIGHT OF WAY LINE
PROPOSED EASEMENT
PROP. CONSERVATION HERBARY BUILDING SETBACK LINE
PROPOSED BUILDING SETBACK LINE
PROPOSED LANDSCAPE SETBACK LINE
PROPOSED PARKING SETBACK LINE
PROPOSED CENTERLINE
PROPOSED EDGE OF MACADAM
PROPOSED CURBING
PROPOSED FENCE LINE
PROPOSED TREE LINE
PROPOSED GUIDE RAIL
PROPOSED SIGN
PROPOSED LIGHT STANDARD
PROPOSED IRON PIN
PROPOSED CONCRETE TRIANGLE
PROPOSED CLEAR SIGHT MONUMENT
PROPOSED S.D.S.D.
CURVE & LINE IDENTIFICATION
PROPOSED STOP SIGN
PROPOSED STOP BAR

—LEGEND

- Existing Property Line
- Existing Right of Way Line
- Existing Adjoining Property Line
- Existing Easement
- Existing Fencing Setback Line
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- Existing Contours - 2 ft. Interval
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- Existing Water Valve
- Fire Hydrant
- Existing Sanitary Manhole
- Existing Clean Out
- Existing Catch Basin
- Existing Drainage Manhole

Existing Wetlands
Existing Benchmark
Existing Headwall/Endwall

Prohibited Slopes

Precautionary Slopes

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ANY OTHER PROJECT, OR
ALTERATIONS OR ADDITIONS
TO THIS PROJECT SHALL BE
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WITHOUT LIABILITY TO
H. EDWARD BLACK AND
ASSOCIATES, P.C.

A	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12
A	PER TOWNSHIP COMMENTS	ECO	12/06/10
A	PER TOWNSHIP COMMENTS	EIS	11/08/10
REV.	DESCRIPTION	BY	DATE

☐ COMPREHENSIVE LAND AND SITE PLANNING

☐ LANDSCAPE ARCHITECTURE ☐ ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

2403 North Front Street □ Harrisburg, Pennsylvania 17110 □ Telephone (717) 233-1026 □ FAX (717) 233-2192

REVISED FINAL - PHASE ONE & TWO SUBDIVISION PLAN

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY

SUBDIVISION PLAN

SHEET

DRAWN BY: EIS

CHECKED BY:	ECD
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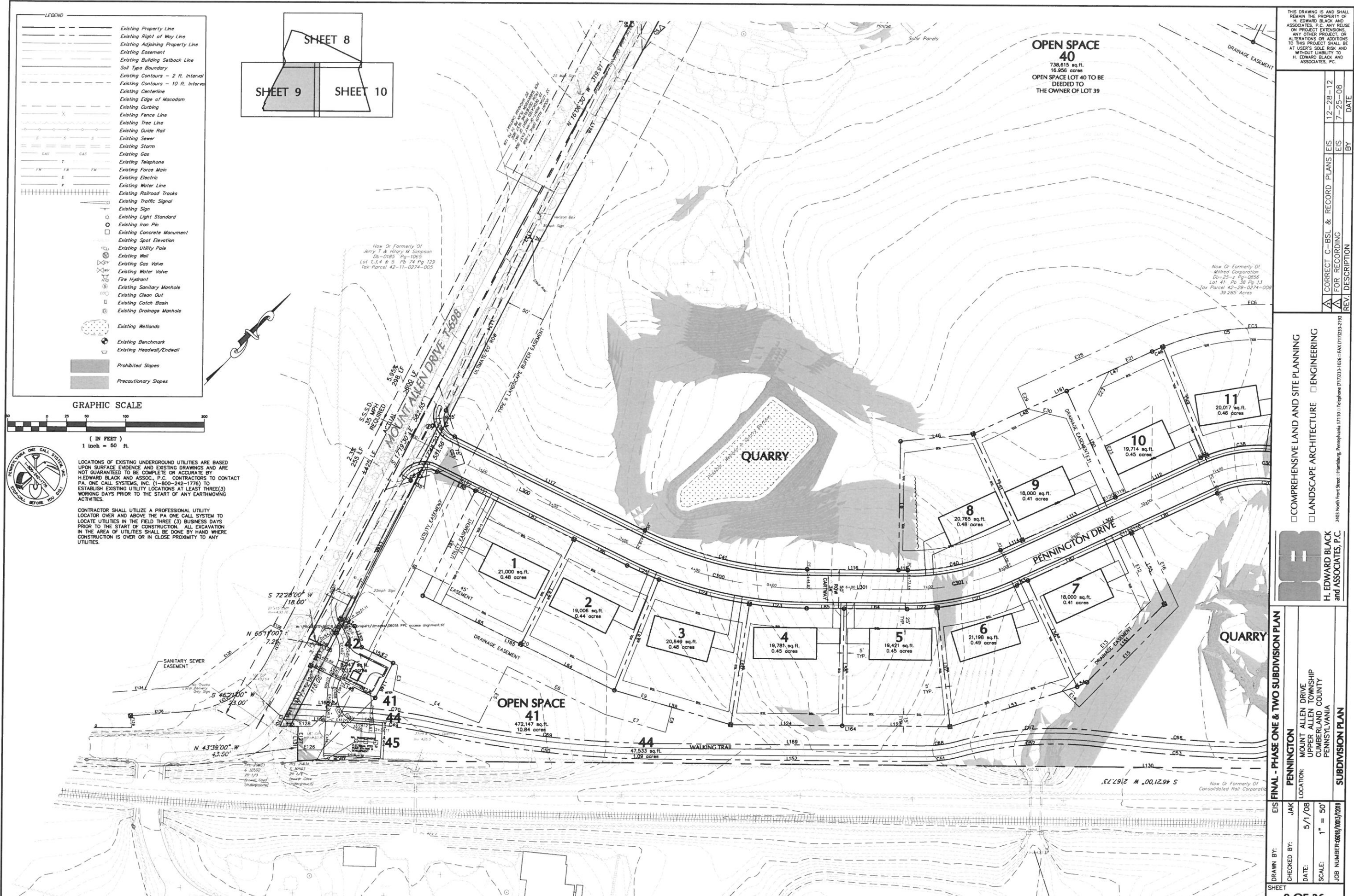
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SCALE:	1" = 1'

JOB NUMBER-06018/10013/12019

SHEE

8 OF 36

5 OF 16 FOR RECORDING



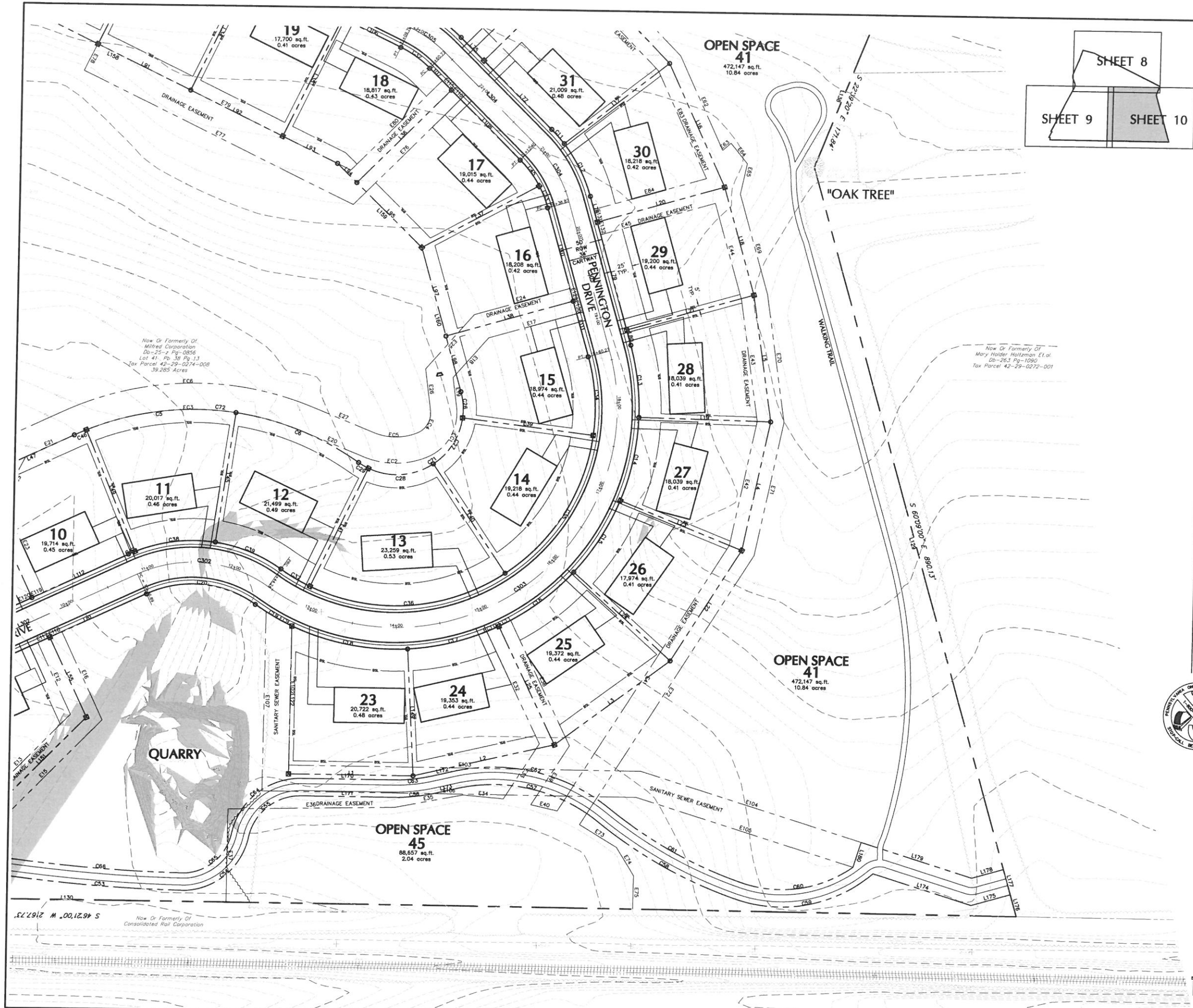
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A	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12	BY	DATE
A	FOR RECORDING	EIS	7-25-08	BY	DATE

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING



FINAL - PHASE ONE & TWO SUBDIVISION PLAN					
DRAWN BY:	JAK	5/1/08	1" = 50'	JOB NUMBER: 06010/0603/0200	SUBDIVISION PLAN
PENNINGTON					
LOCATION: MOUNT ALLEN DRIVE					
UPPER ALLEN TOWNSHIP					
CUMBERLAND COUNTY					
PENNSYLVANIA					



LEGEND

- Existing Property Line
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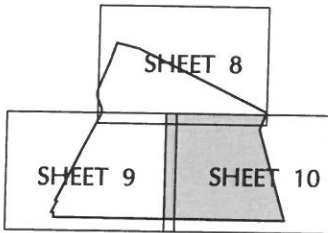
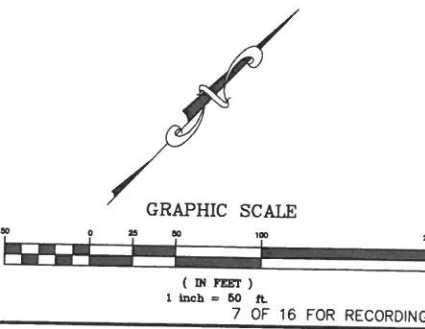
LEGEND

- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT
- PROP. CONSERVATION OVERLAY BUILDING SETBACK LINE
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REV	DESCRIPTION	BY	DATE
A	CORRECT C-BSL & RECORD PLANS FOR RECORDING	EIS	12-28-12
B		EIS	7-25-08

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE ☐ **ENGINEERING** ☐

H. EDWARD BLACK and ASSOCIATES, P.C.
2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 333-1026 • FAX (717) 333-2192

FINAL - PHASE ONE & TWO SUBDIVISION PLAN	
DRAWN BY:	JAK
CHECKED BY:	JAK
DATE:	5/1/08
SCALE:	1" = 50'
JOB NUMBER:	06018/0003/2019

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

SUBDIVISION PLAN

10 OF 36

CENTER LINE CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIR.
C300	226.12	500.00	25°54'40"	115.03	224.20	N59°18'20"E
C301	133.09	300.00	25°28'09"	67.66	132.01	N33°38'26"E
C302	197.35	150.00	60°06'12"	86.78	150.23	S50°58'57"W
C303	616.03	250.00	141°11'04"	709.60	471.59	N10°26'32"E
C304	76.53	150.00	29°13'53"	39.12	75.70	N74°45'56"W
C305	49.03	150.00	18°43'37"	24.73	48.81	S81°15'19"W
C306	65.81	150.00	25°08'14"	33.44	65.28	N84°27'37"E
C307	84.36	150.00	32°13'44"	43.34	83.27	S80°54'52"W

CENTER LINE TABLE		
LINE	LENGTH	BEARING
L300	318.75	N72°15'40"E
L301	128.57	N46°21'00"E
L302	280.36	N20°55'51"E
L303	176.60	N60°09'00"W
L304	147.36	N89°35'43"W
L305	576.20	S71°53'30"W
L306	71.79	N82°58'16"W
L307	283.21	S64°48'00"W

EASEMENT CURVE TABLE						
CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD DIR.
EC1	72.04	54.57	75°38'06"	42.36	66.92	N13°57'07"W
EC2	77.94	95.12	46°56'54"	41.31	75.78	N47°20'24"E
EC3	267.86	325.00	47°13'18"	142.06	260.34	S44°33'30"W
EC4	32.44	24.57	75°38'06"	19.07	30.13	N13°57'07"W
EC5	52.83	65.12	46°22'02"	27.97	51.40	N47°06'28"E
EC6	292.65	355.00	47°15'54"	155.34	284.62	S44°33'48"W
EC7	11.85	175.00	3°52'43"	5.93	11.84	N73°49'51"E
EC8	12.04	125.00	5°31'08"	6.02	12.04	N74°39'04"E
EC9	34.01	275.00	7°05'12"	17.03	33.99	N74°23'44"E
EC10	15.01	275.00	3°07'36"	7.51	15.01	N21°38'30"E
EC11	15.01	275.00	3°07'36"	7.51	15.01	N18°30'53"E
EC12	127.68	125.00	58°31'26"	70.04	122.20	N12°25'02"E
EC401	2.08	56.00	2°07'49"	1.04	2.08	S18°54'46"E
EC402	45.23	44.00	58°53'37"	24.84	43.26	N47°17'49"W
FP401	4.81	44.00	6°17'46"	2.41	4.81	S18°54'46"E

MANHOLE NORTHINGS AND EASTINGS		
MANHOLE #	NORTHING	EASTING
MH-PF1	6853.0413	12840.3482
MH-PF2	6945.1878	12914.9248
MH-PF3	7136.7337	13152.7349
MH-PF4	7508.7577	13319.5687
MH-PF5	7570.3863	13375.0252
MH-PF6	7583.6212	13443.6309
MH-PF7	7441.9540	13591.8208
MH-PF8	7727.7676	13891.4306
MH-PF9	7908.3170	14248.3647
MH-PF10	7655.4110	13572.7420
MH-PF11	7815.5892	13641.0903
MH-PF12	7984.3988	13594.9563
MH-PF13	8145.0972	13359.5821
MH-PF14	8164.1762	13170.5425
MH-PF15	8057.9357	12913.9554
MH-PF16	8028.4846	12701.5801
MH-PF17	8249.9442	12629.1602
MH-PF18	7972.7146	12525.9544
MH-PF19	7979.8785	12370.0168
MH-PF20	7934.4989	12258.9281

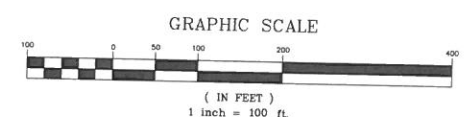
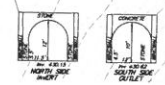
EASEMENT LINE TABLE		
LINE	LENGTH	BEARING
E1	243.45	S46°21'00"W
E2	41.68	N72°40'30"E
E3	32.43	S34°07'45"E
E4	117.25	N66°46'16"E
E5	80.66	N17°44'20"W
E6	138.20	N72°19'40"E
E7	81.11	N52°21'24"E
E8	33.04	N30°20'26"W
E9	76.70	S62°21'24"W
E10	257.88	S72°15'11"W
E11	150.04	N17°44'20"W
E12	90.17	S63°09'00"W
E13	159.45	S00°12'36"W
E14	30.00	S89°47'22"E
E15	180.17	N00°12'36"E
E16	110.90	N69°04'09"W
E17	103.43	S29°51'00"W
E18	60.70	S03°03'15"E
E19	34.18	S51°46'10"E
E20	70.43	S68°08'09"W
E21	60.57	S20°55'51"W
E22	56.18	S18°48'24"E
E23	115.62	S69°14'09"E
E24	112.29	S29°51'00"W
E25	83.14	S03°03'15"E
E26	47.77	S51°46'10"E
E27	12.08	S68°11'46"W
E28	174.42	S20°55'51"W
E29	30.00	S69°04'09"E
E30	50.49	N59°35'23"E
E31	118.46	S69°04'09"E
E32	142.09	S69°26'19"E
E33	75.05	S24°23'27"E
E34	46.32	S50°44'23"W
E35	79.04	S35°03'00"W
E36	190.36	S44°53'10"W
E37	106.92	S43°39'00"E
E38	158.73	S69°35'19"E
E39	80.37	S11°52'57"E
E40	30.94	N58°35'44"E
E41	361.07	N12°10'10"W
E42	145.39	N32°33'22"W
E43	140.67	N52°25'19"W
E44	113.99	N60°09'00"W
E45	135.00	S29°51'00"W
E46	32.52	S71°53'30"W
E47	172.59	S83°58'03"W
E48	203.49	S64°07'05"W
E49	35.00	S18°06'30"E
E50	30.00	S71°53'30"W
E51	65.62	N18°06'30"E
E52	202.10	N64°07'05"E
E53	178.83	N83°58'03"E
E54	153.81	S86°26'23"E
E55	118.23	S69°03'37"E
E56	12.21	N08°58'38"E
E57	30.00	S83°01'22"E
E58	16.00	S32°14'15"E
E59	106.09	S60°09'00"E
E60	147.95	S59°26'19"E
E61	156.04	S32°33'22"E
E62	365.95	S12°10'10"E
E63	49.61	N77°04'03"E
E64	37.80	S25°46'22"E
E65	38.42	S43°39'00"E
E66	170.34	S00°37'07"W
E67	343.25	S71°55'45"W
E68	33.79	N18°06'30"E
E69	523.10	N71°53'30"E
E70	144.56	N00°37'07"E
E71	146.69	S88°26'23"E
E72	134.95	S69°03'37"E
E73	132.47	S29°51'00"W
E74	146.15	S18°07'17"E
E75	7.11	S76°22'46"E
E76	49.47	N22°00'30"E
E77	106.58	S27°17'53"W
E78	5.60	N38°38'00"W
E79	56.25	N25°55'15"W
E80	164.25	N18°07'17"W
E81	124.56	N19°07'12"W
E82	135.38	S62°29'01"W
E83	99.71	S71°53'30"W
E84	30.00	N18°06'30"E
E85	102.50	N71°53'34"E
E86	162.61	N82°29'01"E
E87	150.13	S19°07'12"E
E88	210.00	N18°06'30"W
E89	30.00	N71°53'30"E
E90	210.00	S18°06'30"E
E91	159.36	S43°39'00"E
E92	40.29	N46°21'00"E
E93	264.74	N63°10'05"E
E94	260.31	S63°10'05"W
E95	426.85	S46°21'00"W
E96	205.34	N43°39'00"W
E97	15.00	S71°53'30"W
E98	3.16	S71°53'30"W
E99	17.99	S71°53'30"W
E100	30.00	N71°53'30"E
E101	15.00	S89°22'53"E
E102	14.99	N20°55'51"E
E103	15.01	N20°55'51"E
E104	15.01	N20°55'51"E
E105	15.01	N20°55'51"E
E106	15.01	N20°55'51"E
E107	15.00	S72°15'40"W
E108	15.00	S72°15'40"W
E109	30.00	S72°15'40"W
E110	31.68	N72°40'30"E
E111	72.81	S01°24'06"W
E112	95.39	N01°24'06"E
E113	30.00	S46°21'00"W
E114	30.00	S43°38'00"E
E115	17.59	S46°21'00"W
E116	15.00	S60°09'00"E
E117	15.00	S60°09'00"E
E118	15.00	S60°09'00"E
E119	15.00	S60°09'00"E
E120	15.00	S60°09'00"E
E121	15.00	S60°09'00"E
E122	15.00	S60°09'00"E
E123	15.00	S60°09'00"E
E124	15.00	S60°09'00"E
E125	15.00	S60°09'00"E
E126	15.00	S60°09'00"E
E127	15.00	S60°09'00"E
E128	15.00	S60°09'00"E
E129	15.00	S60°09'00"E
E130	15.00	S60°09'00"E
E131	15.00	S60°09'00"E
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E134	15.00	S60°09'00"E
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E136	15.00	S60°09'00"E
E137	15.00	S60°09'00"E
E138	15.00	S60°09'00"E
E139	15.00	S60°09'00"E
E140	15.00	S60°09'00"E
E141	15.00	S60°09'00"E
E142	15.00	S60°09'00"E
E143	15.00	S60°09'00"E
E144	15.00	S60°09'00"E
E145	15.00	S60°09'00"E
E146	15.00	S60°09'00"E
E147	15.00	S60°09'00"E
E148	15.00	S60°09'00"E
E149	15.00	S60°09'00"E
E150	15.00	S60°09'00"E
E151	15.00	S60°09'00"E
E152	15.00	S60°09'00"E
E153	15.00	S60°09'00"E
E154	15.00	S60°09'00"E
E155	15.00	S60°09'00"E
E156	15.00	S60°09'00"E
E157	15.00	S60°09'00"E
E158	15.00	S60°09'00"E
E159	15.00	S60°09'00"E
E160	15.00	S60°09'00"E
E161	15.00	S60°09'00"E
E162	15.00	S60°09'00"E
E163	15.00	S60°09'00"E
E164	15.00	S60°09'00"E
E165	15.00	S60°09'00"E
E166	15.00	S60°09'00"E
E167	15.00	S60°09'00"E
E168	15.00	S60°09'00"E
E169	15.00	S60°09'00"E
E170	15.00	S60°09'00"E
E171	15.00	S60°09'00"E
E172	15.00	S60°09'00"E
E173	15.00	S60°09'00"E
E174	15.00	S60°09'00"E
E175	15.00	S60°09'00"E
E176	15.00	S60°09'00"E
E177	15.00	S60°09'00"E

LINE TABLE		
LINE	LENGTH	BEARING
L1	141.65	S43°39'00"E
L2	165.07	S32°51'47"W
L3	162.72	S09°02'29"W
L4	150.71	S32°33'22"E
L5	146.29	S52°31'38"E
L6	163.11	N83°58'03"E
L7	120.00	N71°53'30"E
L8	135.00	N71°53'30"E
L9	164.76	S43°39'00"E
L10	155.00	N18°06'30"W
L11	155.00	N18°06'30"W
L12	155.00	N18°06'30"W
L13	150.25	S89°26'23"E
L14	150.00	S00°17'07"W
L15	50.00	S18°06'30"E
L16	155.04	S69°03'37"E
L17	150.00	N07°41'11"E
L18	128.00	N60°09'00"W
L19	150.00	N47°13'51"E
L20	150.00	N29°51'00"E
L21	150.00	N29°51'00"E
L22	150.14	N12°10'10"E
L23	150.00	N62°25'19"E
L24	150.00	N89°35'43"E
L25	150.00	S69°55'19"E
L26	150.00	N18°06'30"W
L27	157.01	N18°06'30"W
L28	156.53	N18°06'30"W
L29	113.78	N18°06'30"W
L30	160.00	N18°06'30"W
L31	160.00	N18°06'30"W
L32	150.00	N18°06'30"W
L33	150.00	N18°06'30"W
L34	150.00	N18°06'30"W
L35	150.00	N18°06'30"W
L36	146.88	N00°37'07"E
L37	150.59	N17°29'00"E
L38	150.00	N29°51'00"E
L39	150.00	N52°25'19"E
L40	150.00	S78°06'27"E
L41	150.00	S18°52'43"E
L42	78.12	N21°43'30"W
L43	148.34	N21°43'30"W
L44	145.35	N68°17'30"E
L45	150.00	N35°31'36"W
L46	93.46	S39°58'37"W
L47	120.00	N20°55'51"E
L48	150.00	N20°55'51"E
L49	150.00	N66°26'59"W
L50	150.00	N69°04'09"W
L51	150.00	N69°04'09"W
L52	169.02	S28°13'47"W
L53	13.73	S20°55'51"W
L54	100.72	N69°07'29"W
L55	150.00	N69°04'09"W
L56	150.00	S50°30'18"E
L57	152.42	N22°35'11"W
L58	155.36	N62°21'24"E
L59	156.53	S35°42'41"E
L60	150.00	S59°26'19"E
L61	150.00	N17°44'20"W
L62	150.00	N22°38'20"W
L63	152.42	N22°35'11"W
L64	132.88	N72°15'40"E
L65	140.00	N72°15'40"E
L66	71.45	S64°48'00"W
L67	137.05	S64°48'00"W
L68	138.22	S64°48'00"W
L69	71.79	N82°58'16"W
L70	147.55	S71°53'30"W
L71	153.65	S71°53'30"W
L72	150.00	S71°53'30"W
L73	120.00	S71°53'30"W
L74	20.00	S71°53'30"W
L75	37.12	N89°22'53"W



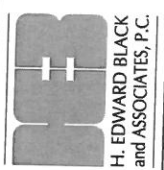
LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY H. EDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT PA ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR OVER AND ABOVE THE PA ONE CALL SYSTEM TO LOCATE UTILITIES IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION OF UTILITIES SHALL BE DONE BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES.



LEGEND	
---	PROPOSED LOT LINE
---	PROPOSED RIGHT OF WAY LINE
---	PROPOSED EASEMENT
---	PROPOSED LANDSCAPE SETBACK LINE
---	PROPOSED PARKING SETBACK LINE
---	PROPOSED CONTOURS - 2 FT. INTERVAL
---	PROPOSED CONTOURS - 10 FT. INTERVAL
---	PROPOSED CENTERLINE
---	PROPOSED EDGE OF MACADAM
---	PROPOSED CURBING
X	PROPOSED FENCE LINE
---	PROPOSED TREE LINE
---	PROPOSED GUIDE RAIL
S	PROPOSED SANITARY SEWER
G	PROPOSED STORM SEWER
T	PROPOSED GAS LINE
FM	PROPOSED TELEPHONE LINE
E	PROPOSED FORCE MAIN
W	PROPOSED ELECTRIC
---	PROPOSED WATER LINE
---	PROPOSED SIGN
---	PROPOSED LIGHT STANDARD
---	PROPOSED IRON PIN
---	PROPOSED CONCRETE MONUMENT
---	PROPOSED SPOT ELEVATION
---	PROPOSED UTILITY POLE
---	PROPOSED WELL
---	PROPOSED GAS VALVE
---	PROPOSED WATER VALVE
---	PROPOSED FIRE HYDRANT
---	PROPOSED SANITARY MANHOLE
---	PROPOSED CLEAN OUT
---	PROPOSED CATCH BASIN
---	PROPOSED DRAINAGE MANHOLE
---	PROPOSED HEADWALL/ENDWALL

LEGEND	
---	Existing Property Line
---	Existing Right of Way Line
---	Existing Adjoining Property Line
---	Existing Easement
---	Existing Building Setback Line
---	Soil Type Boundary
---	Existing Contours - 2 ft. Interval
---	Existing Contours - 10 ft. Interval
---	Existing Centerline
---	Existing Edge of Macadam
---	Existing Curbing
---	Existing Fence Line
---	Existing Tree Line
---	Existing Guide Rail
---	Existing Sewer
---	Existing Storm
---	Existing Gas
---	Existing Telephone
---	Existing Force Main
---	Existing Electric
---	Existing Water Line
---	Existing Railroad Tracks
---	Existing Traffic Signal
---	Existing Sign
---	Existing Light Standard
---	Existing Iron Pin
---	Existing Concrete Monument
---	Existing Spot Elevation
---	Existing Utility Pole
---	Existing Well
---	Existing Gas Valve
---	Existing Water Valve
---	Fire Hydrant
---	Existing Sanitary Manhole
---	Existing Clean Out
---	Existing Catch Basin
---	Existing Drainage Manhole
---	Existing Wetlands
---	Existing Benchmark
---	Existing Headwall/Endwall
---	Prohibited Slopes
---	Precautionary Slopes



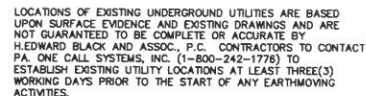
COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

FINAL - PHASE ONE & TWO SUBDIVISION PLAN
PENNINGTON
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
PENNSYLVANIA
GRADING & UTILITY PLAN

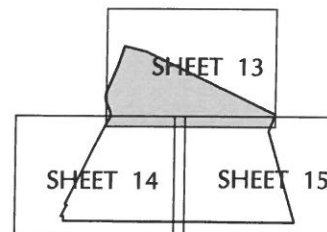
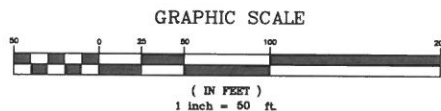
DRAWN BY: JAK
CHECKED BY: JAK
DATE: 5/1/08
SCALE: 1" = 100'
JOB NUMBER: 06010/1001/2009

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REV	DESCRIPTION	BY	DATE
1	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12
2	FOR RECORDING	EIS	7-25-08



CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR OVER AND ABOVE THE PA ONE CALL SYSTEM TO LOCATE UTILITIES IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE DONE BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES.

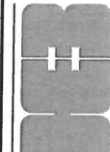


LEGEND	
	Existing Property Line
	Existing Right of Way Line
	Existing Adjoining Property Line
	Existing Easement
	Existing Building Setback Line
	Soil Type Boundary
	Existing Contours - 2 ft. Interval
	Existing Contours - 10 ft. Interval
	Existing Centerline
	Existing Edge of Macadam
	Existing Curbing
	Existing Fence Line
	Existing Tree Line
	Existing Guide Rail
	Existing Sewer
	Existing Storm
	Existing Gas
	Existing Telephone
	Existing Force Main
	Existing Electric
	Existing Water Line
	Existing Railroad Tracks
	Existing Traffic Signal
	Existing Sign
	Existing Light Standard
	Existing Iron Pin
	Existing Concrete Monument
	Existing Spot Elevation
	Existing Utility Pole
	Existing Well
	Existing Gas Valve
	Existing Water Valve
	Fire Hydrant
	Existing Sanitary Manhole
	Existing Clean Out
	Existing Catch Basin
	Existing Drainage Manhole
	Existing Wetlands
	Existing Benchmark
	Existing Headwall/Endwall
	Prohibited Slopes
	Precautionary Slopes

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ANY OTHER PROJECT, OR
ALTERATIONS OR ADDITIONS
TO THIS PROJECT SHALL BE
AT USER'S SOLE RISK AND
WITHOUT LIABILITY TO
H. EDWARD BLACK AND
ASSOCIATES, PC.

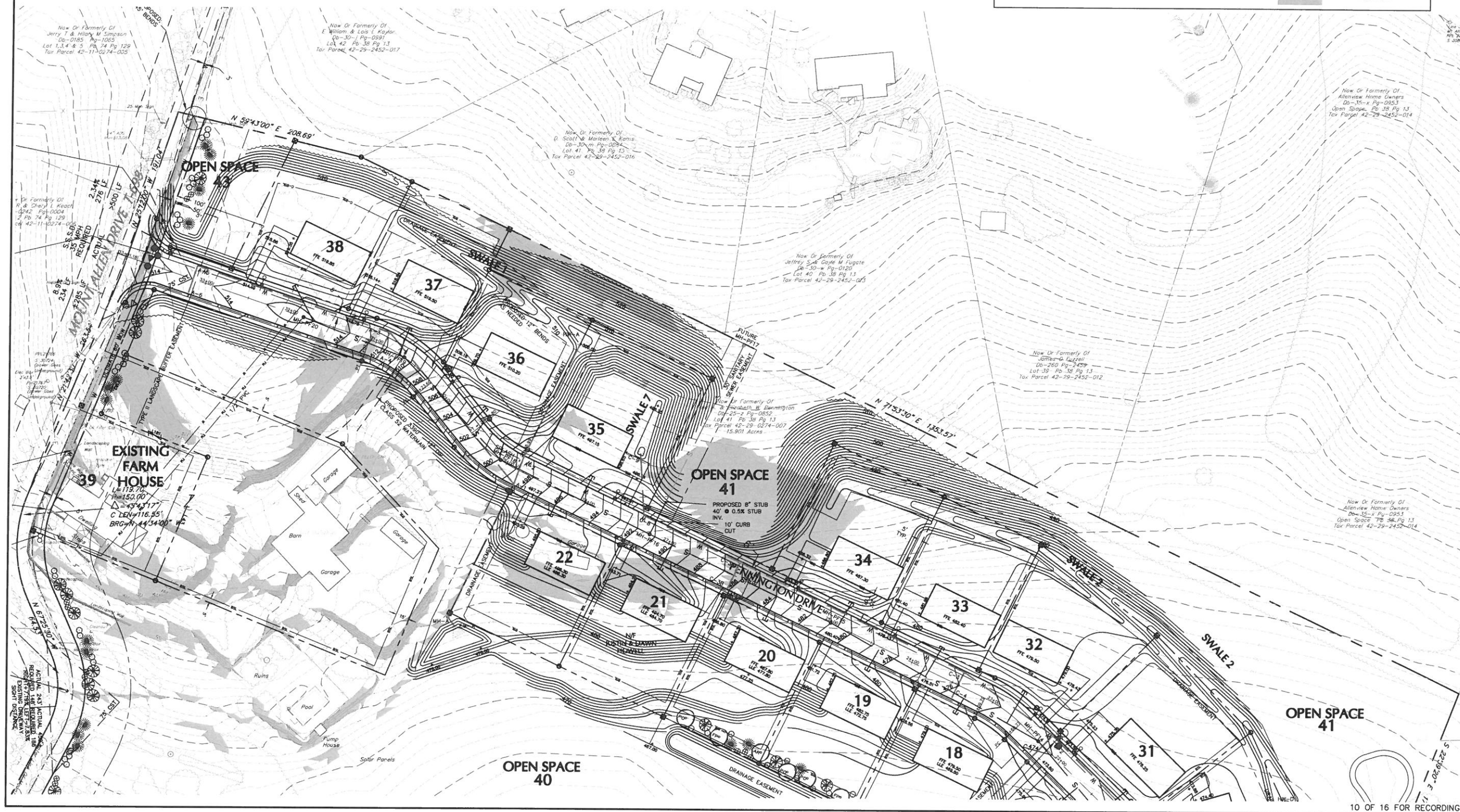
2	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12
1	FOR RECORDING	EIS	7-25-08
	REV. DESCRIPTION	BY	DATE

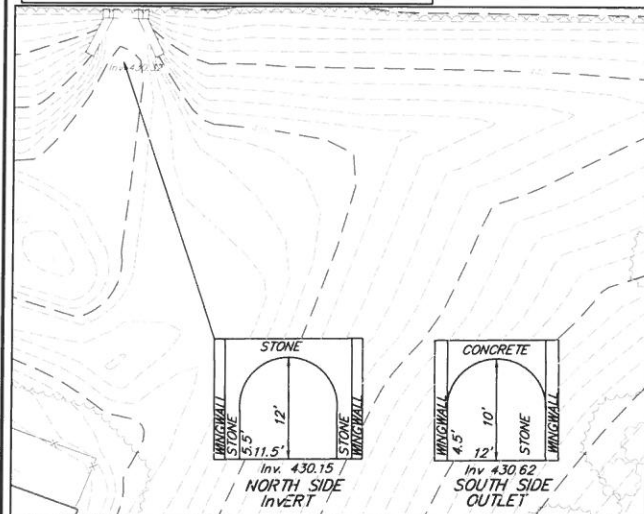
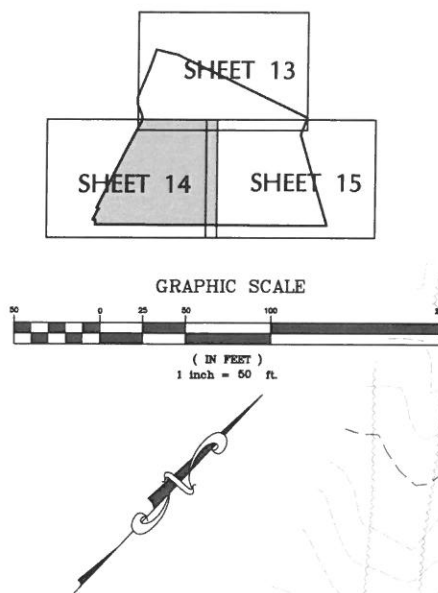
☐ COMPREHENSIVE LAND AND SITE PLANNING
☐ LANDSCAPE ARCHITECTURE ☐ ENGINEERING



H. EDWARD BLACK
and ASSOCIATES, P.C.

SHEET	DRAWN BY:	EIS	FINAL - PHASE ONE & TWO SUBDIVISION PLAN
	CHECKED BY:	JAK	PENNINGTON
	DATE:	5/1/08	LOCATION: MOUNT ALLEN DRIVE UPPER MERION TOWNSHIP CLUMBERLAND COUNTY PENNSYLVANIA
	SCALE:	1" = 50'	
	JOB NUMBER:	45016/1003/12019	GRADING & UTILITY PLAN

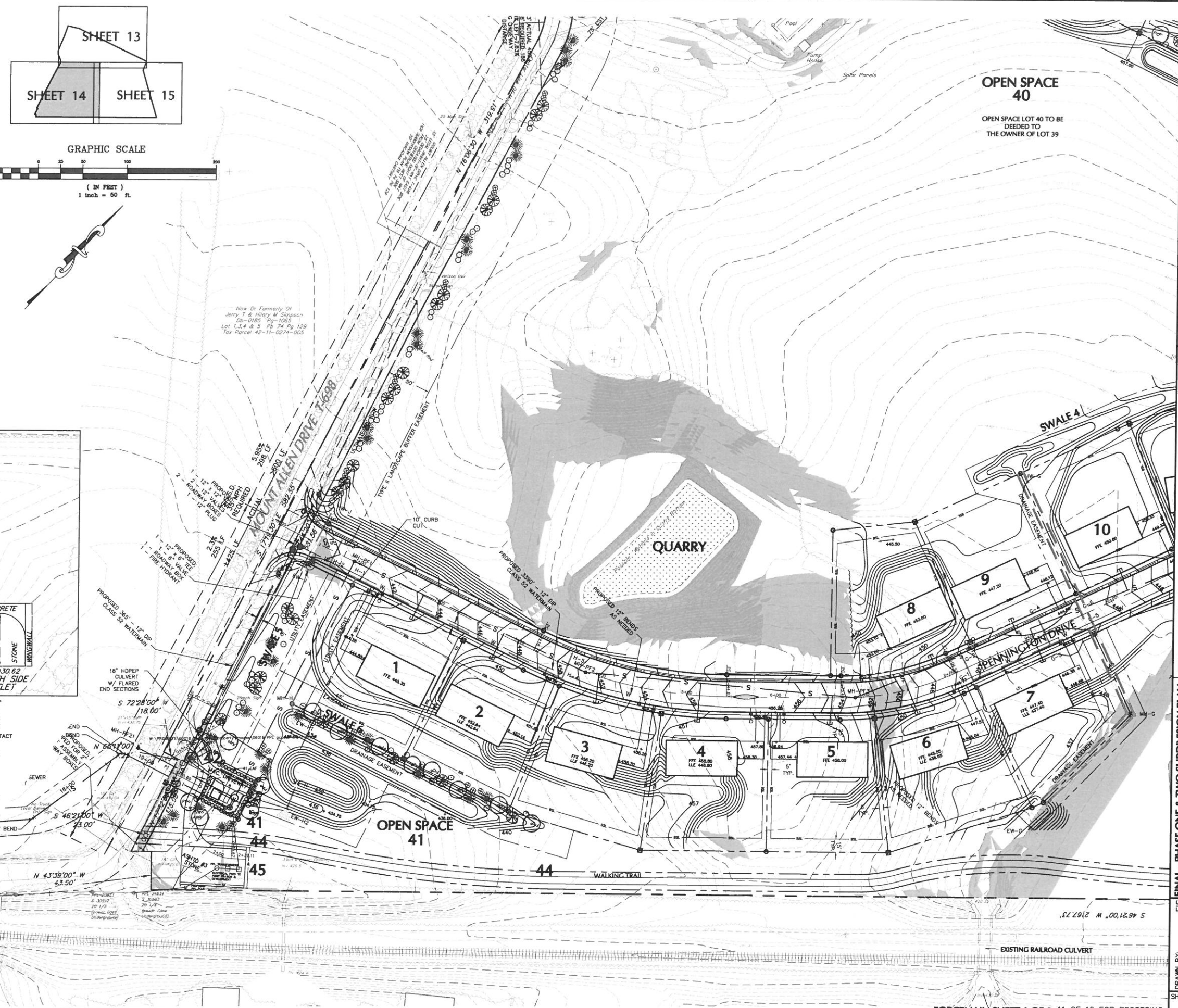
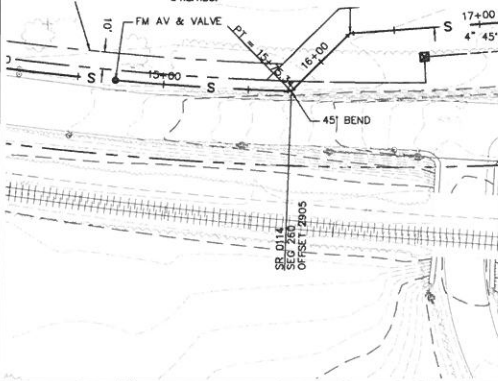




EXISTING RAILROAD CULVERT

LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY H.EDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT P.A. ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING

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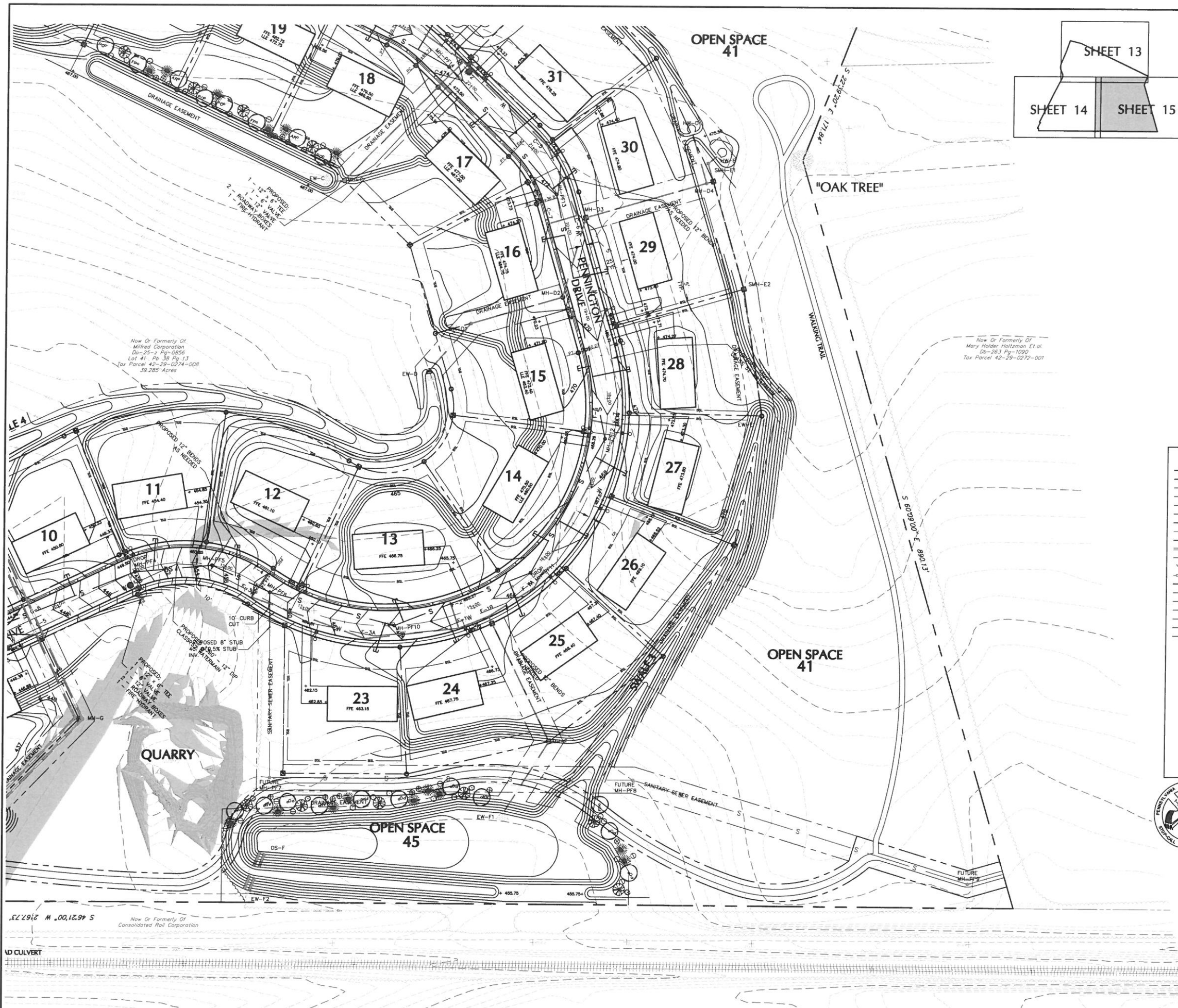
2	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12
1	FOR RECORDING	EIS	7-25-08
REV	DESCRIPTION	BY	DATE

☐ COMPREHENSIVE LAND AND SITE PLANNING
☐ LANDSCAPE ARCHITECTURE ☐ ENGINEERING



H. EDWARD BLACK
and ASSOCIATES, P.C.

SHEET 14 OF 36	DRAWN BY:	EIS	FINAL - PHASE ONE & TWO SUBDIVISION PLAN
	CHECKED BY:	JAK	PENNINGTON
	DATE:	5/1/08	LOCATION: MOUNT ALLEN DRIVE UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA
	SCALE:	1" = 50'	
	JOB NUMBER:	36016/0003/1/22019	GRADING & UTILITY PLAN



LEGEND

- Existing Property Line
- Existing Right of Way Line
- Existing Adjoining Property Line
- Existing Easement
- Existing Building Setback Line
- Soil Type Boundary
- Existing Contours - 2 ft. Interval
- Existing Contours - 10 ft. Interval
- Existing Centerline
- Existing Edge of Macadam
- Existing Curbing
- Existing Fence Line
- Existing Tree Line
- Existing Guide Rail
- Existing Sewer
- Existing Storm
- Existing Gas
- Existing Telephone
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- Existing Water Line
- Existing Railroad Tracks
- Existing Traffic Signal
- Existing Sign
- Existing Light Standard
- Existing Iron Pin
- Existing Concrete Monument
- Existing Spot Elevation
- Existing Utility Pole
- Existing Well
- Existing Gas Valve
- Existing Water Valve
- Fire Hydrant
- Existing Sanitary Manhole
- Existing Clean Out
- Existing Catch Basin
- Existing Drainage Manhole
- Existing Wetlands
- Existing Benchmark
- Existing Headwall/Endwall
- Prohibited Slopes
- Precautionary Slopes

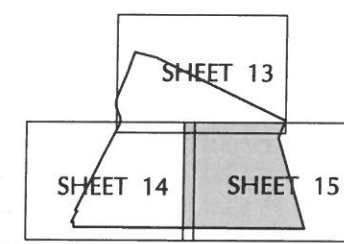
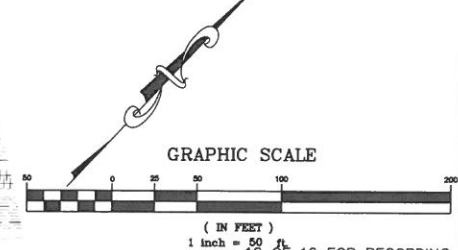
LEGEND

- PROPOSED LOT LINE
- PROPOSED RIGHT OF WAY LINE
- PROPOSED EASEMENT
- PROPOSED LANDSCAPE SETBACK LINE
- PROPOSED PARKING SETBACK LINE
- PROPOSED CONTOURS - 2 FT. INTERVAL
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- PROPOSED STORM SEWER
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- PROPOSED FORCE MAIN
- PROPOSED ELECTRIC
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- PROPOSED SIGN
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- PROPOSED IRON PIN
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- PROPOSED GAS VALVE
- PROPOSED WATER VALVE
- PROPOSED FIRE HYDRANT
- PROPOSED SANITARY MANHOLE
- PROPOSED CLEAN OUT
- PROPOSED CATCH BASIN
- PROPOSED DRAINAGE MANHOLE
- PROPOSED HEADWALL/ENDWALL



LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY H. EDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT PA ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR OVER AND ABOVE THE PA ONE CALL SYSTEM TO LOCATE UTILITIES IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE DONE BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES.



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A	CORRECT C-BSL & RECORD PLANS	EIS	12-28-12	DATE
		EIS	7-25-08	
A	FOR RECORDING	REV	DESCRIPTION	

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

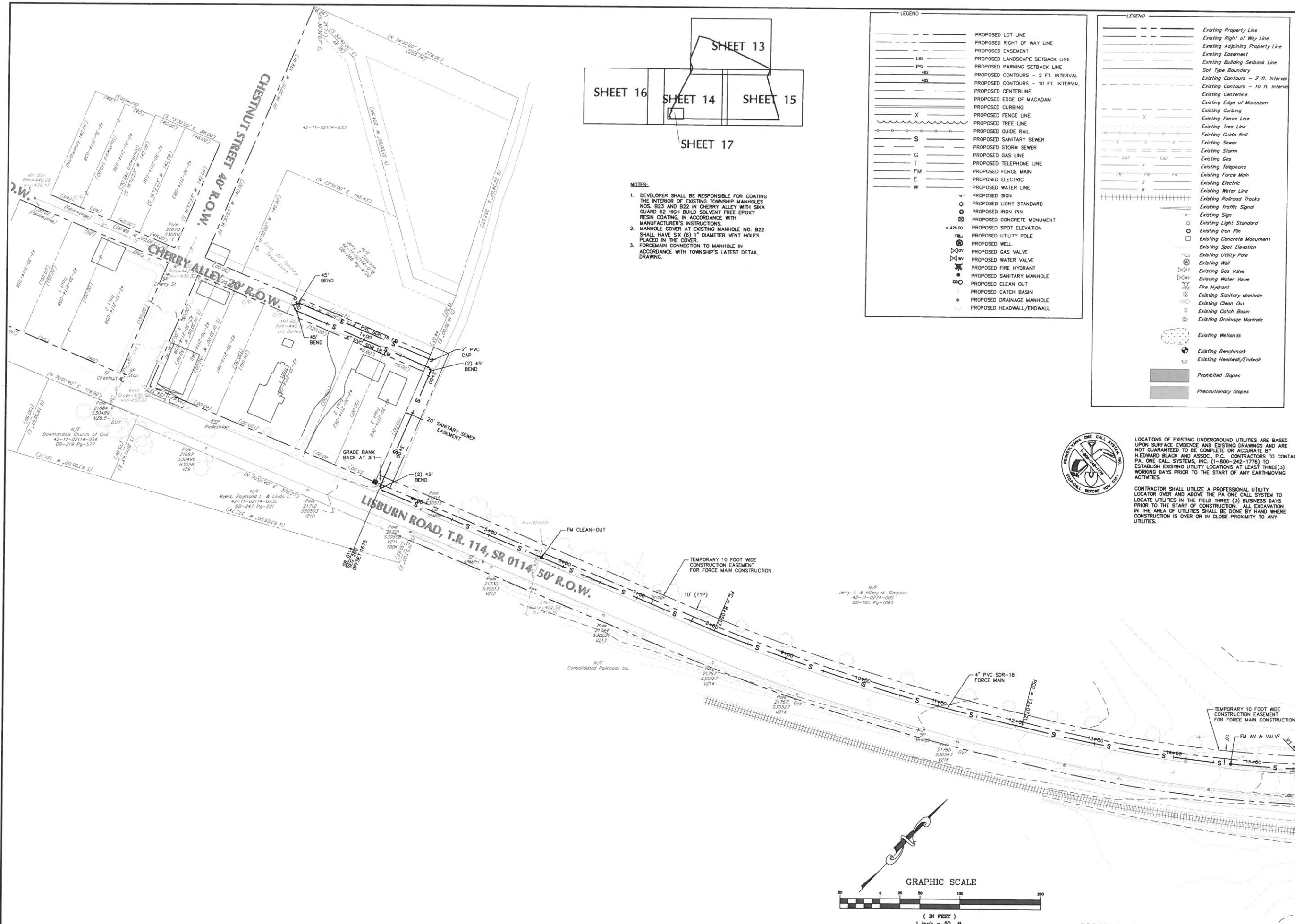
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2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone 717/733-1026 • FAX 717/733-1195

FINAL - PHASE ONE & TWO SUBDIVISION PLAN

DRAWN BY:	JAK	CHECKED BY:	JAK
DATE:	5/1/08	SCALE:	1" = 50'
JOB NUMBER:	0606/0005/0016	GRADING & UTILITY PLAN	

LOCATION: MOUNT ALLEN DRIVE, UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

SHEET 15 OF 36



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REV.	DESCRIPTION	DATE
1	CORRECT C-BL & RECORD PLANS	12-28-12
2	FOR RECORDING	7-25-08

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK AND ASSOCIATES, P.C.

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FINAL - PHASE ONE & TWO SUBDIVISION PLAN

PENNINGTON

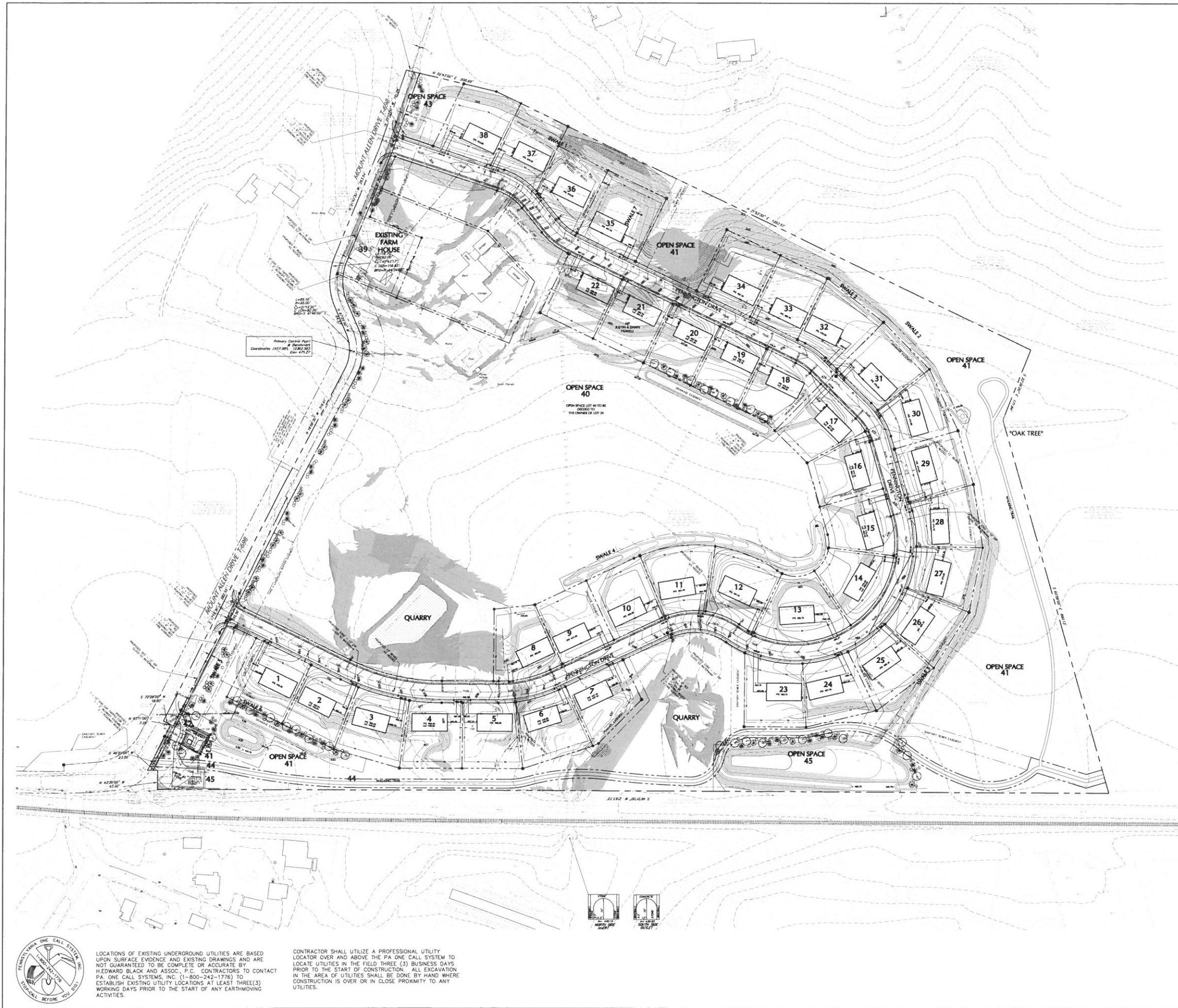
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

DRAWN BY: JAK
CHECKED BY: JAK
DATE: 5/1/08
SCALE: 1" = 50'

JOB NUMBER: 2008/1003/7208

GRADING & UTILITY PLAN

16 OF 36



LEGEND

---	Existing Property Line
---	Existing Right of Way Line
---	Existing Adjoining Property Line
---	Existing Easement
---	Existing Building Setback Line
---	Soil Type Boundary
---	Existing Contours - 2 ft. Interval
---	Existing Contours - 10 ft. Interval
---	Existing Centerline
---	Existing Edge of Macadam
---	Existing Curbing
---	Existing Fence Line
---	Existing Tree Line
---	Existing Guide Rail
---	Existing Sewer
---	Existing Storm
---	Existing Gas
---	Existing Telephone
---	Existing Force Main
---	Existing Electric
---	Existing Water Line
---	Existing Railroad Tracks
---	Existing Traffic Signal
---	Existing Sign
---	Existing Light Standard
---	Existing Iron Pin
---	Existing Concrete Monument
---	Existing Spot Elevation
---	Existing Utility Pole
---	Existing Well
---	Existing Gas Valve
---	Existing Water Valve
---	Fire Hydrant
---	Existing Sanitary Manhole
---	Existing Clean Out
---	Existing Catch Basin
---	Existing Drainage Manhole
---	Existing Wetlands
---	Existing Benchmark
---	Existing Headwall/Endwall
---	Prohibited Slopes
---	Precautionary Slopes

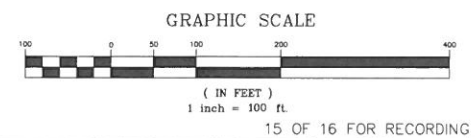
BUFFER YARD PLANTING REQUIREMENTS

BUFFER YARD ALONG MOUNT ALLEN DRIVE (1,611 LF)	
REQUIRED: TYPE 2 BUFFER YARD	41
1 SHADE TREE PER 40 LF OF BUFFER YARD	54
1 EVERGREEN TREE PER 30 LF OF BUFFER YARD	81 (49 E.G.)
1 SHRUB PER 20 LF OF BUFFER YARD (MIN 60% EVERGREEN)	
PROVIDED:	
SHADE TREES:	41 (EXISTING)
EVERGREEN TREES:	54
	81
BUFFER YARD ALONG THREE (3) STORMWATER MGMT FACILITIES (960 LF)	
REQUIRED: TYPE 2 BUFFER YARD	24
1 SHADE TREE PER 40 LF OF BUFFER YARD	32
1 EVERGREEN TREE PER 30 LF OF BUFFER YARD	48 (34 E.G.)
1 SHRUB PER 20 LF OF BUFFER YARD (MIN 60% EVERGREEN)	
PROVIDED:	
SHADE TREES:	27
EVERGREEN TREES:	35
	60



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12-28-12	EIS	BY	DATE
7-25-08	EIS	BY	DATE
FOR CORRECT C-BSL & RECORD PLANS			
FOR RECORDING			
REV. DESCRIPTION			

COMPREHENSIVE LAND AND SITE PLANNING

LANDSCAPE ARCHITECTURE

ENGINEERING

H. EDWARD BLACK and ASSOCIATES, P.C.

3403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone 717/333-1026 • FAX 717/333-2192

FINAL - PHASE ONE & TWO SUBDIVISION PLAN

EIS JAK

CHECKED BY: JAK

DATE: 5/1/08

SCALE: 1" = 100'

JOB NUMBER: 0808/0003/2009

SHEET

18 OF 36

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE

UPPER ALLEN TOWNSHIP

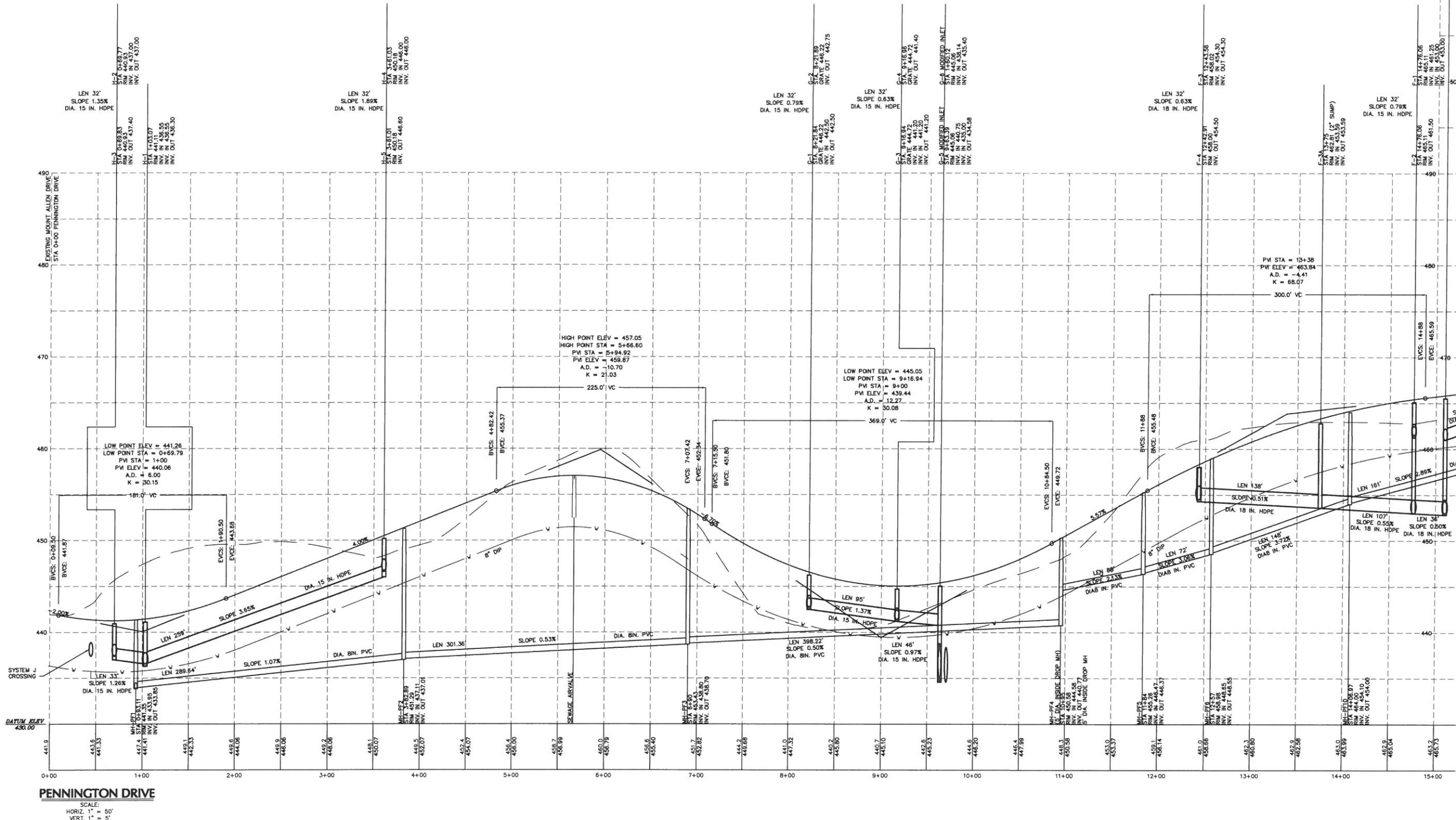
CUMBERLAND COUNTY

PENNSYLVANIA

LANDSCAPE PLAN

W:\PROJECTS\04135-Wilshire Development\dwg\04135-PROFILES.dwg

NOTE:
LENGTH SHOWN ON PROFILES FOR SANITARY SEWER ARE FROM
CENTER OF MANHOLE TO CENTER OF MANHOLE. PERCENT SLOPES
ARE CALCULATED FROM INSIDE OF WALL OF UPSTREAM MANHOLE
TO INSIDE WALL OF DOWNSTREAM MANHOLE.



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-25-

EIS

FOR RECORDING	RECORDING
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☐ COMPREHENSIVE LAND AND SITE PLANNING
☐ LANDSCAPE ARCHITECTURE ☐ ENGINEERING

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H. EDWARD BLACK

H. EDWARD BLACK

CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CLIMBERLAND COUNTY

PROFILE - PENNINGTON DRIVE

DRAWN BY: EIS

CHECKED BY: JAK

DATE: 5/1/08

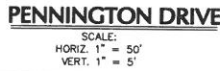
SCALE: AS NOTED

JOB NUMBER: 06018

SHE

19 OF 36

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△	FOR RECORDING	EIS	7-25-08
REV.	DESCRIPTION	BY	DATE

2403 North Front Street □ Harrisburg, Pennsylvania 17110 □ Telephone (717)233-1026 □ FAX (717)233-2192



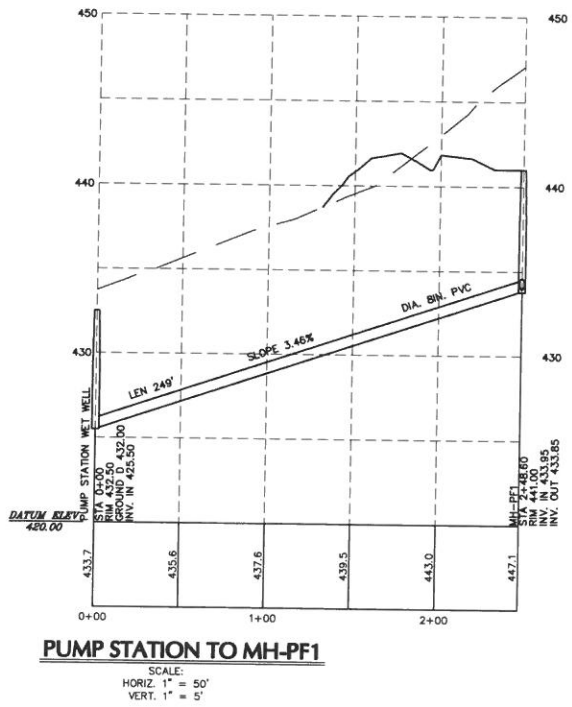
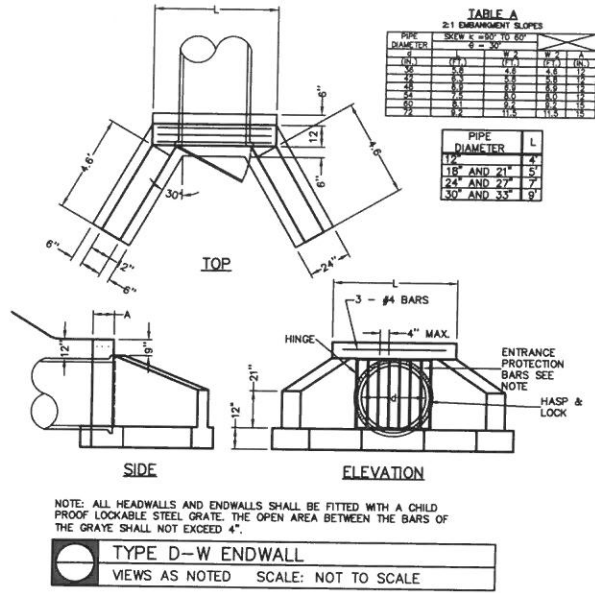
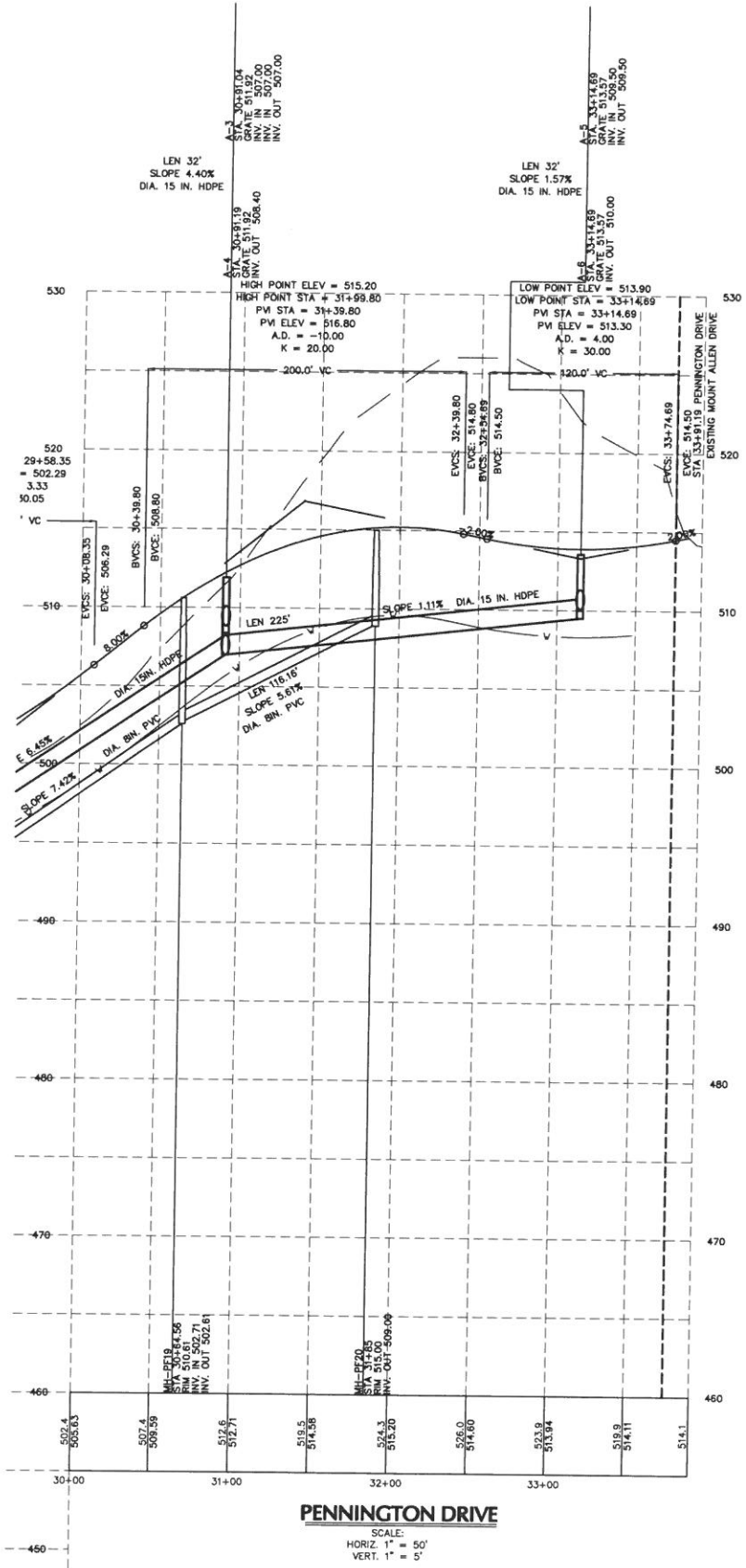
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

PROFILE - PENNINGTON DRIVE

DATE:	5/1/08
SCALE:	AS NOTED

JOB NUMBER:	06018
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NOTE:
LENGTH SHOWN ON PROFILES FOR SANITARY SEWER ARE FROM
CENTER OF MANHOLE TO CENTER OF MANHOLE. PERCENT SLOPES
ARE CALCULATED FROM INSIDE OF WALL OF UPSTREAM MANHOLE
TO INSIDE WALL OF DOWNSTREAM MANHOLE.



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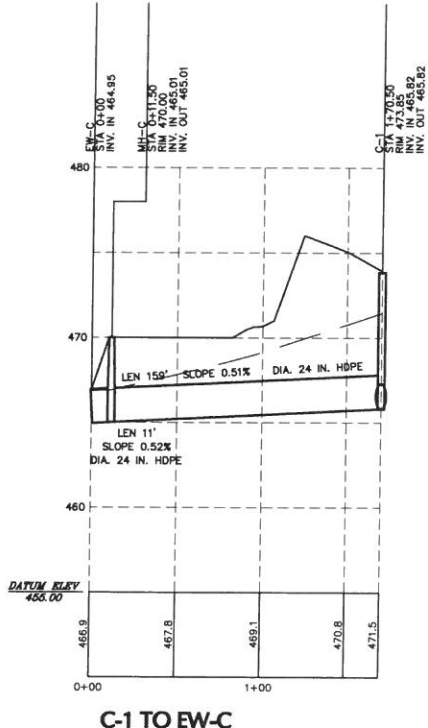
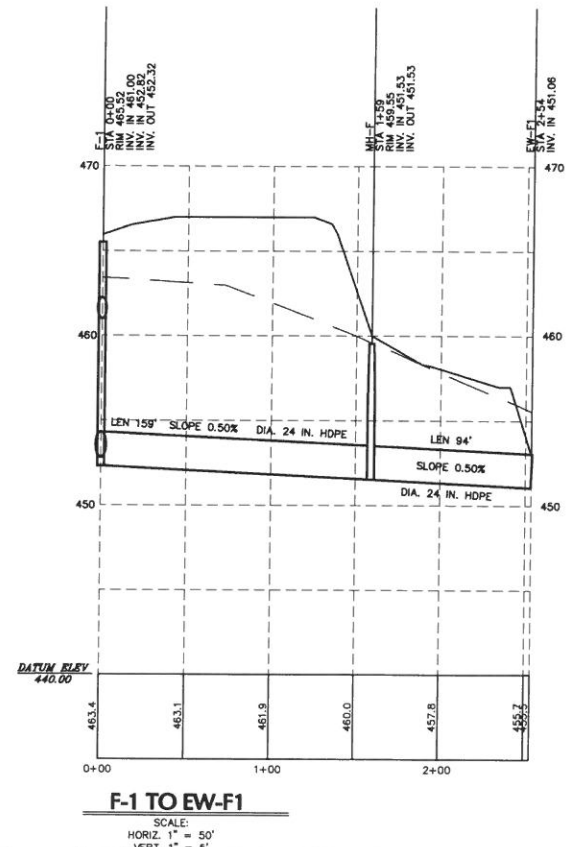
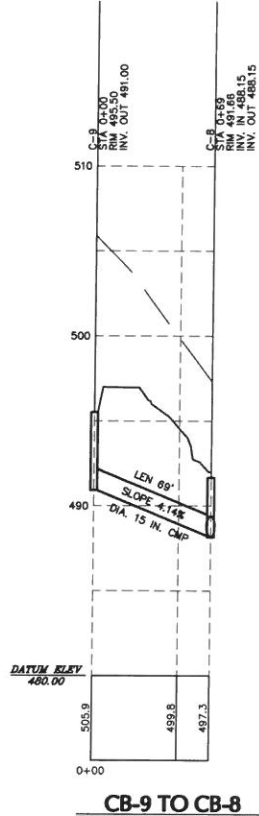
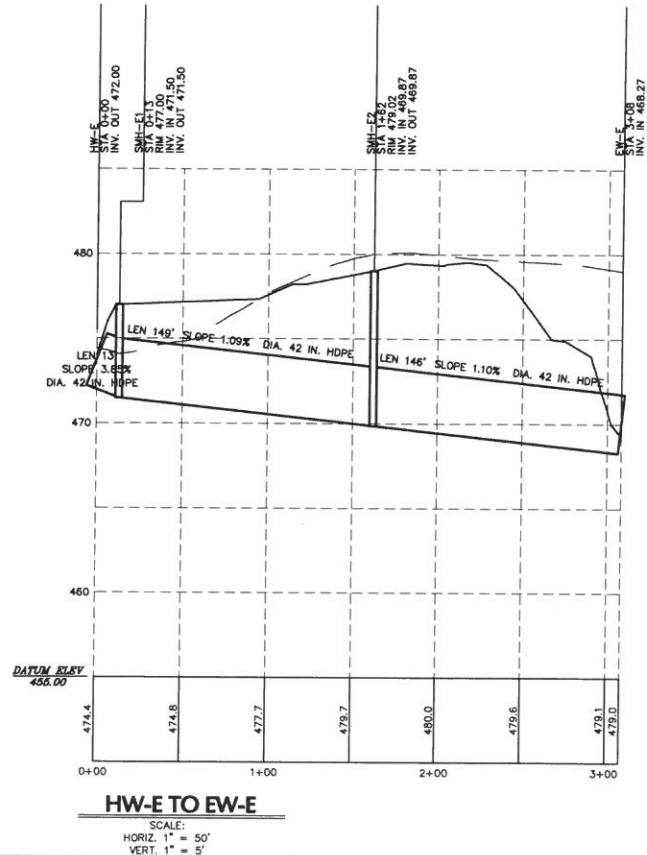
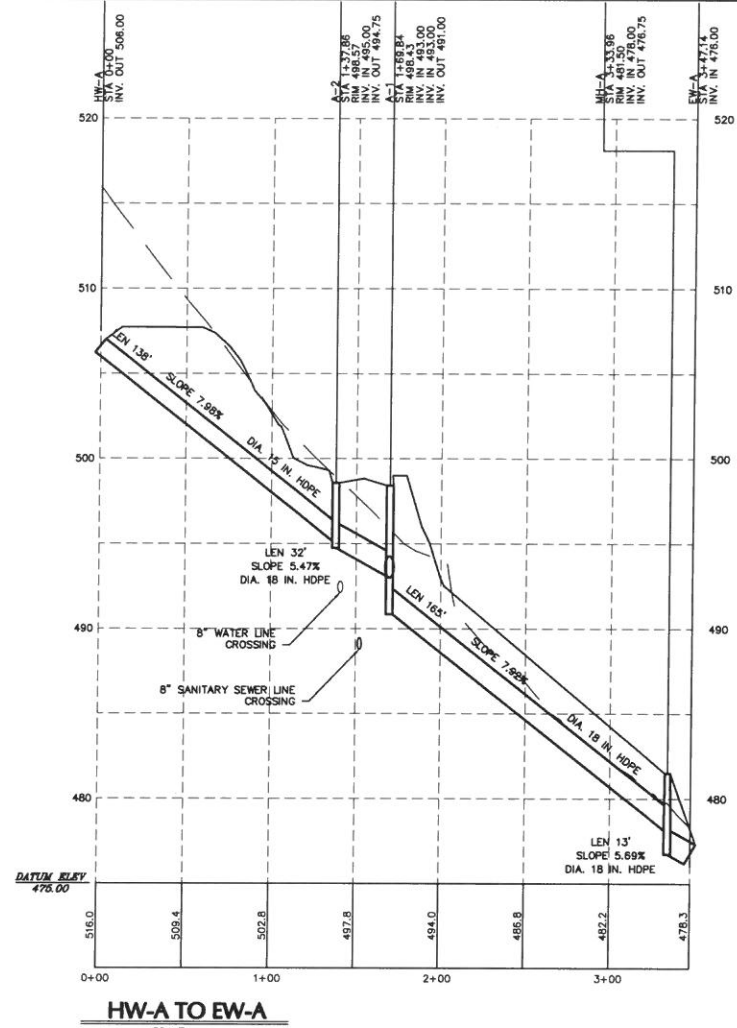
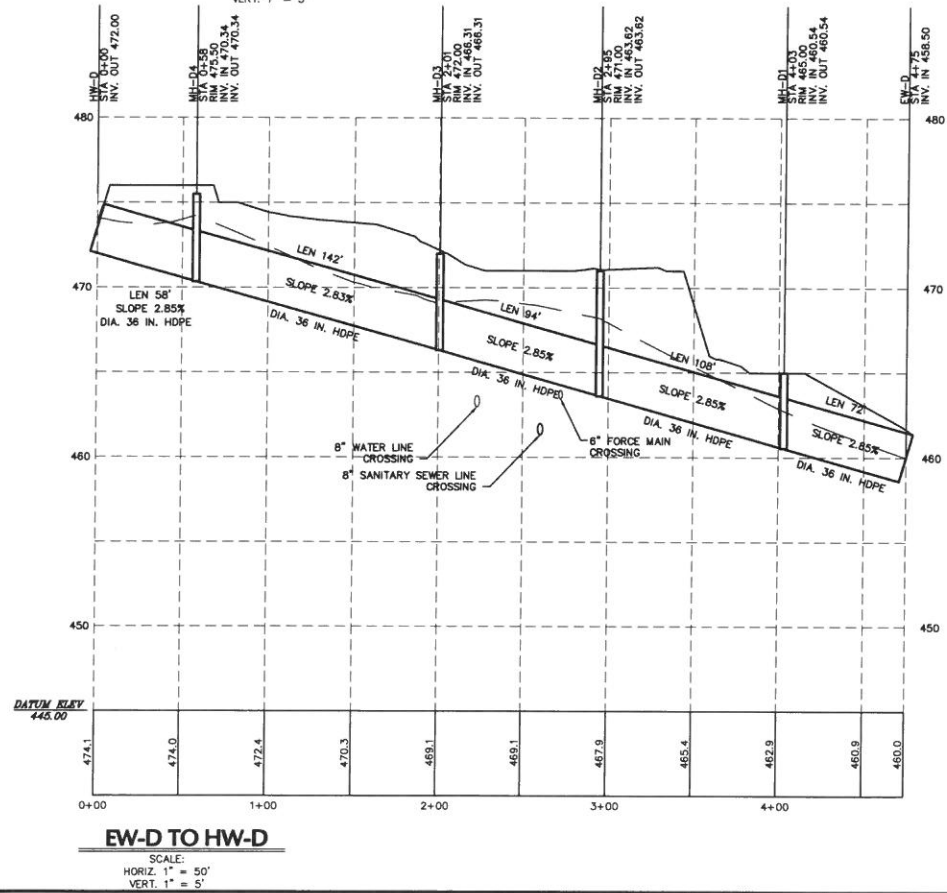
FOR RECORDING
REV. DESCRIPTION
EIS BY DATE
7-25-08

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

CONSTRUCTION PLAN PHASES 1 & 2
PENNINGTON
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA
PROFILES - PENNINGTON DR./PUMP STATION
JOB NUMBER: 06018
DATE: 5/1/08
SCALE: AS NOTED
SHEET
21 OF 36

\\NPROJ\PROJECTS\04135-Wilshire Development\dwg\04135-PROFILES.dwg 1/31/2007 8:39:29 AM EST



CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

DATE: 5/1/08
SCALE: AS NOTED
JOB NUMBER: 0601B

SHEET 22 OF 36

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

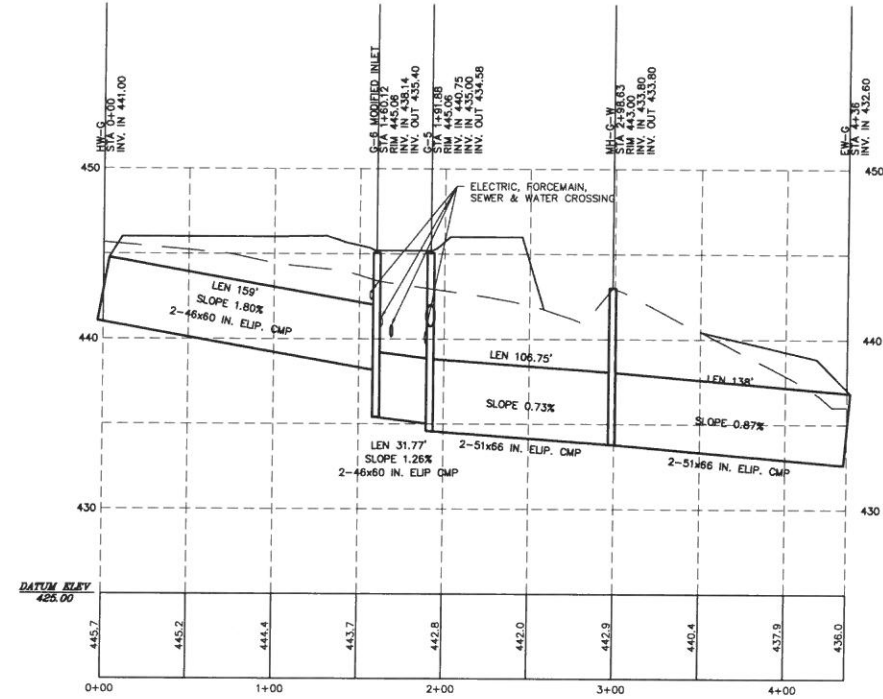
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EIS 7-25-08

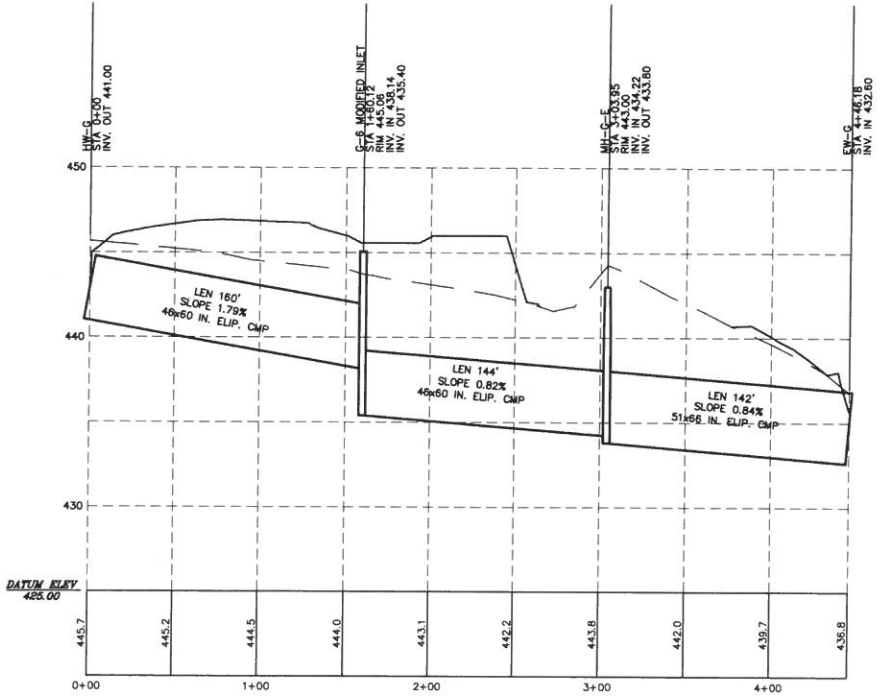
FOR RECORDING
REV. DESCRIPTION

DATE



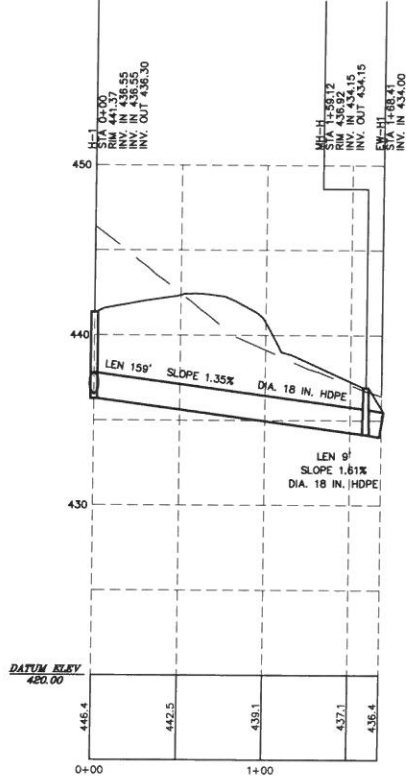
HW-G TO EW-G WEST

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



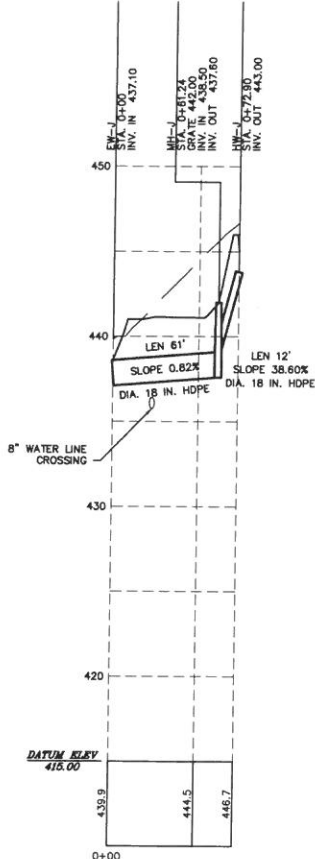
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VERT. 1" = 5'



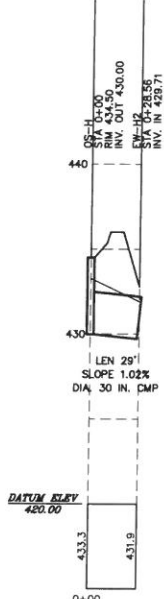
H-1 TO EW-H1

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VERT. 1" = 5'



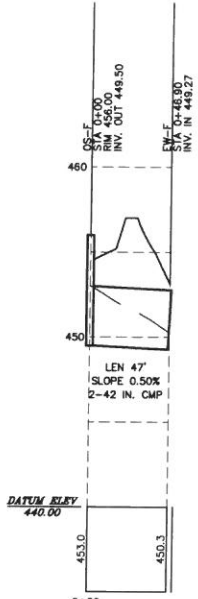
HW-J TO EW-J

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



BASIN A OUTFALL
OS-H TO EW-H2

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



BASIN B OUTFALL
OS-F TO EW-F2

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'

DRAWN BY: EIS		CONSTRUCTION PLAN PHASES 1 & 2		PENNINGTON	
CHECKED BY: JAK		LOCATION: MOUNT ALLEN DRIVE UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA		PROFILES - STORM WATER	
DATE: 5/1/08		SCALE: AS NOTED		JOB NUMBER: 06018	
SHEET		23 OF 36		FOR RECORDING	
REV. DESCRIPTION		BY		DATE	
EIS		7-25-08			

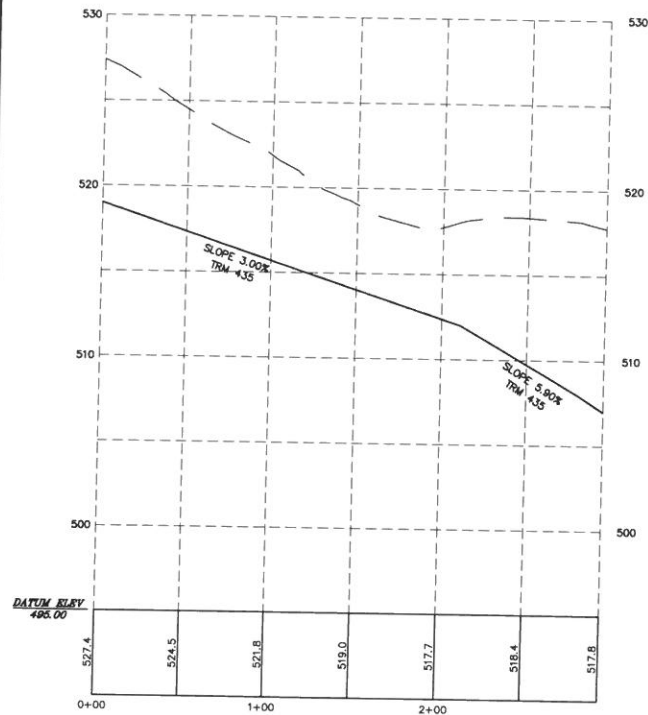
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COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

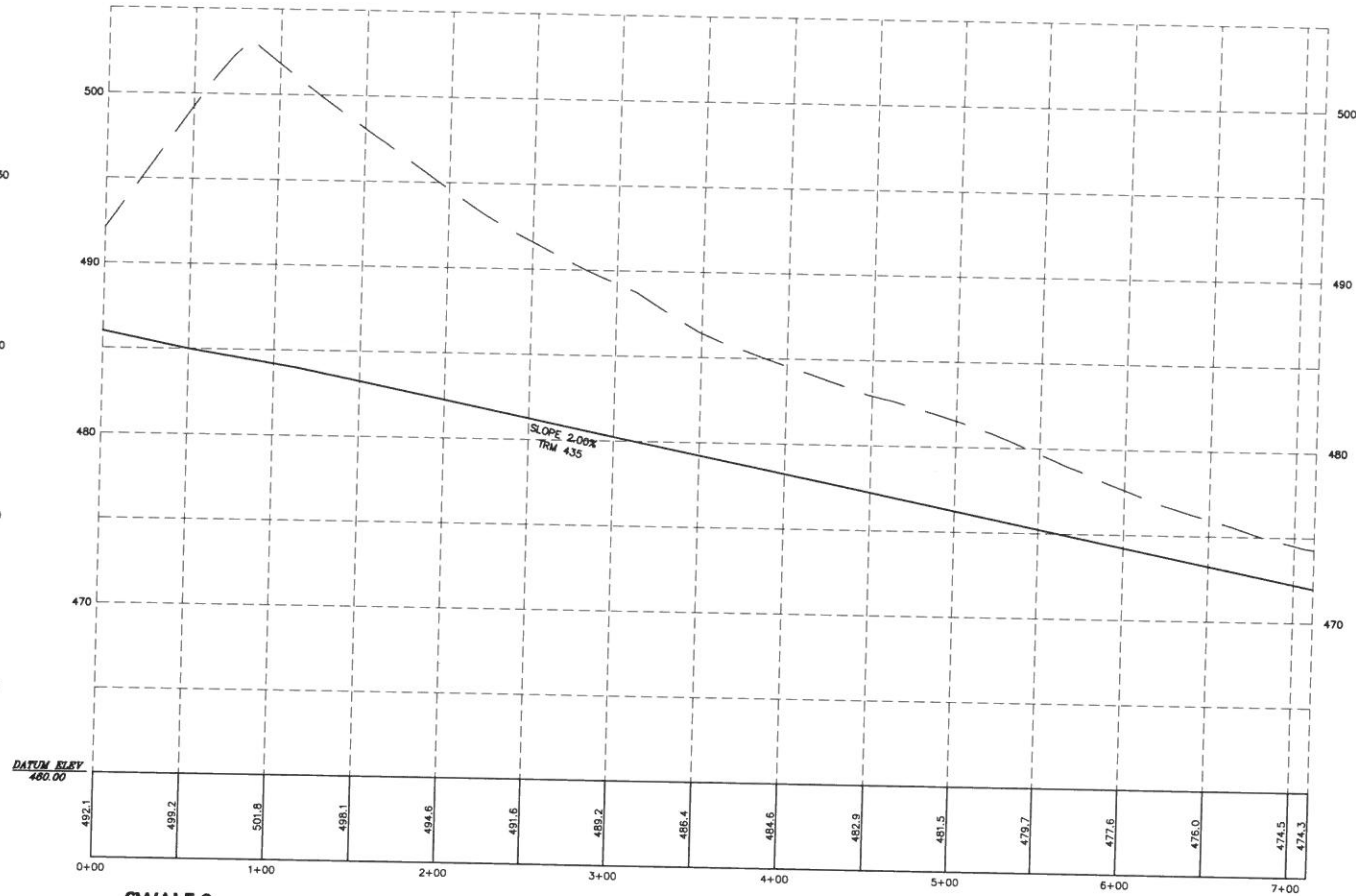
H. EDWARD BLACK
and ASSOCIATES, P.C.

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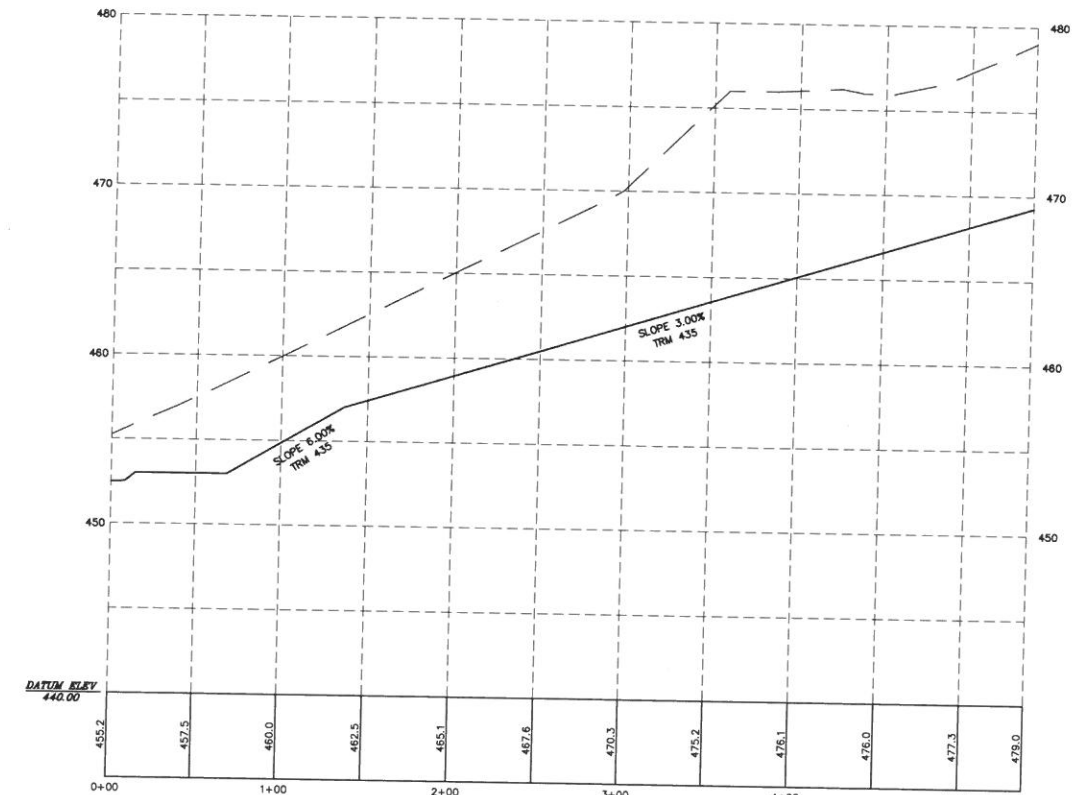
SWALE 1

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



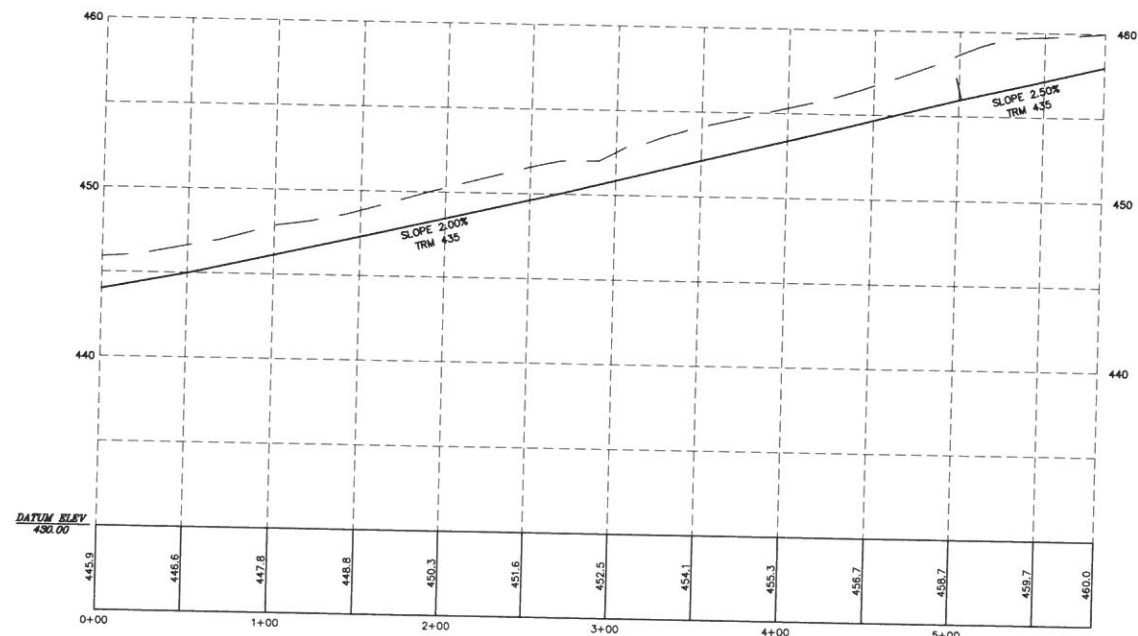
SWALE 2

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



SWALE 3

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'



SWALE 4

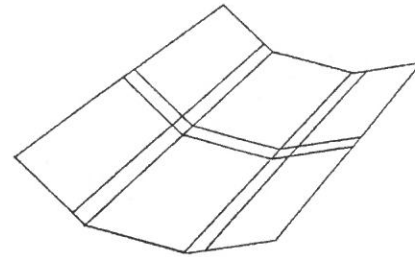
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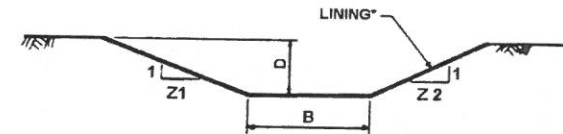
SWALE 5

SCALE:
HORIZ. 1" = 50'
VERT. 1" = 5'

STANDARD CONSTRUCTION DETAIL #1
Vegetated Channels



LINING INSTALLATION



CHANNEL CROSS-SECTION

CHANNEL NO.	STATIONS	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	LINING*
1.1	0+00 - 2+11	3	1	3	3	TRM 435
1.2	2+11 - END	4	1	3	3	TRM 435
2	0+00 - END	7	1.5	3	3	TRM 435
3.1	0+45 - END	5	2	3	3	TRM 435
3.2	0+00 - 0+45	10	2	5	5	TRM 1061B
4.1	0+00 - 0+31	10	2.1	3	3	TRM 435
4.2	0+31 - END	5	1	3	3	TRM 435
5	0+00 - END	6	1	3	3	TRM 435

* See Manufacturer's Lining Installation Detail for Staple Patterns, and Vegetative Stabilization Specifications for Soil Amendments, Seed Mixtures, and Mulching Information.

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EIS 7-25-08
BY DATE

FOR RECORDING
REV. DESCRIPTION

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

PROFILES - SWALES

DRAWN BY: EIS

CHECKED BY: JAK

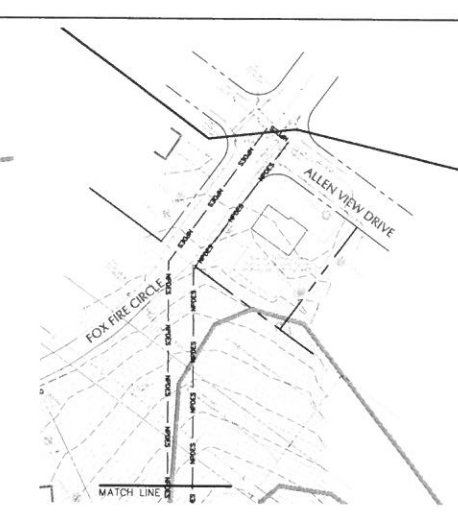
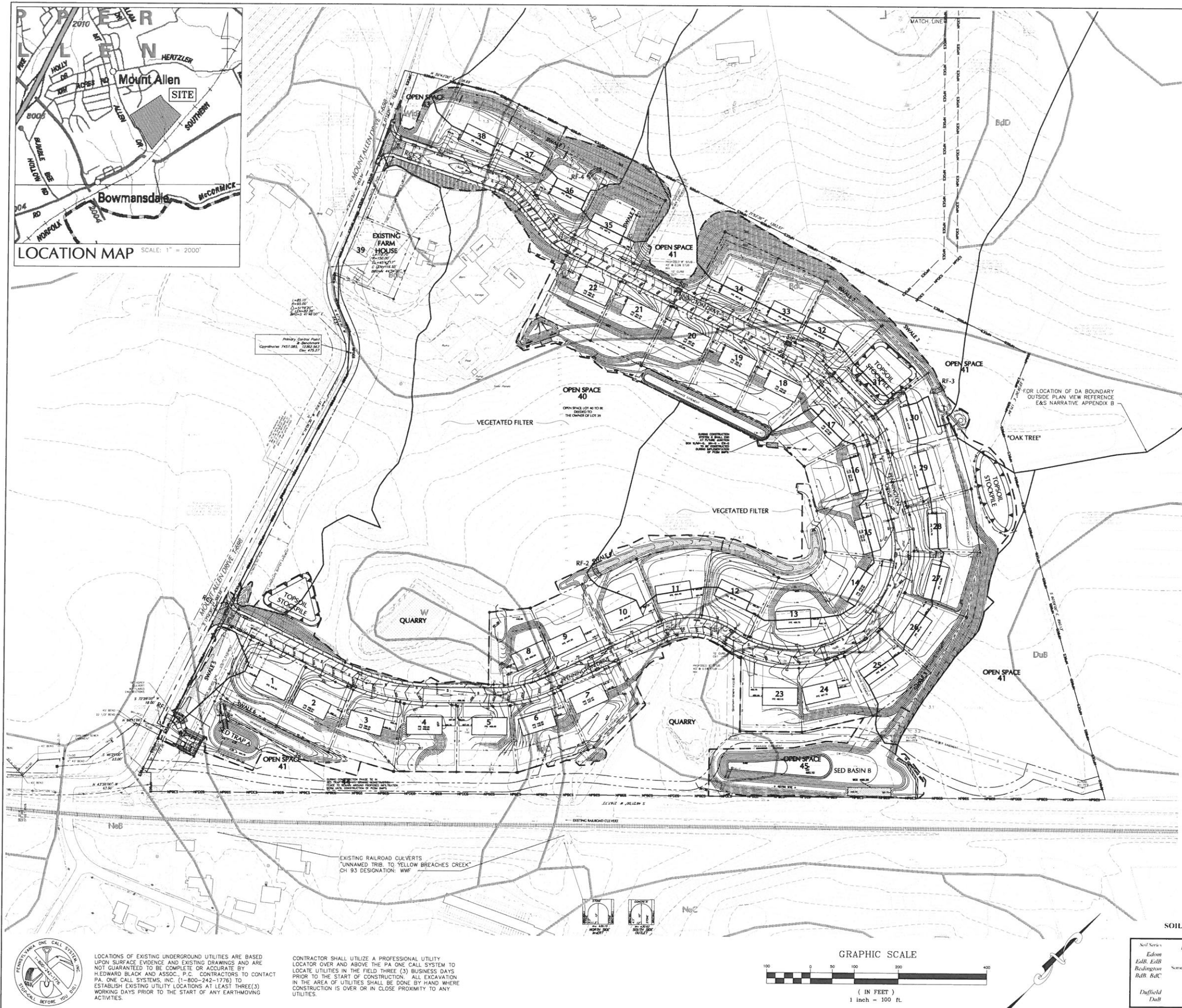
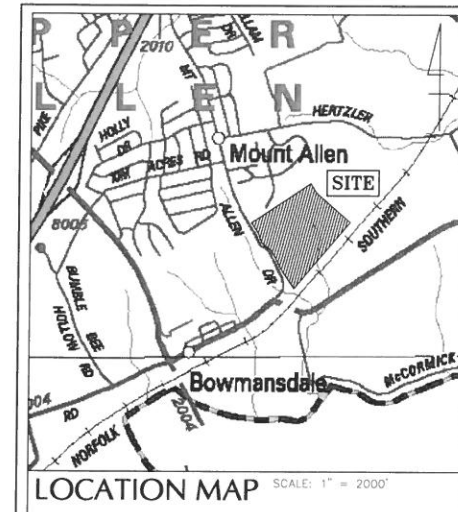
DATE: 5/1/08

SCALE: AS NOTED

JOB NUMBER: 06018

SHEET

25 OF 36



- LEGEND
- Existing Property Line
 - Existing Right of Way Line
 - Existing Adjoining Property Line
 - Existing Easement
 - Existing Building Setback Line
 - Soil Type Boundary
 - Existing Contours - 2 ft. Interval
 - Existing Contours - 10 ft. Interval
 - Existing Centerline
 - Existing Edge of Macadam
 - Existing Curbing
 - Existing Fence Line
 - Existing Tree Line
 - Existing Guide Rail
 - Existing Sewer
 - Existing Storm
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 - Existing Traffic Signal
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 - Existing Light Standard
 - Existing Iron Pin
 - Existing Concrete Monument
 - Existing Spot Elevation
 - Existing Utility Pole
 - Existing Well
 - Existing Gas Valve
 - Existing Water Valve
 - Fire Hydrant
 - Existing Sanitary Manhole
 - Existing Clean Out
 - Existing Catch Basin
 - Existing Drainage Manhole
 - Existing Wetlands
 - Existing Benchmark
 - Existing Headwall/Endwall
 - Prohibited Slopes
 - Precautionary Slopes

- LEGEND
- FF-30 30" SILT FENCE
 - FF-18 18" SILT FENCE
 - SSF SUPER SILT FENCE
 - PHASE LINE
 - RCE ROCK CONSTRUCTION ENTRANCE
 - ROCK FILTER
 - PERMANENT CHANNEL LINER
 - STEEP SLOPE PROTECTION
 - OUTLET PROTECTION
 - LIMIT OF DISTURBANCE
 - NPDES BOUNDARY
 - ROCK FILTER OUTLET
 - MAX DA TO HYDROLOGIC BMP'S
 - ORANGE CONSTRUCTION FENCE
 - STONE INLET PROTECTION & BERM

SOIL CHARACTERISTIC, USE & LIMITATION TABLE

Soil Series	Lawns and Landscaping	Building Site	Residential	Road Construction	High Water Table
Edmon	Not limited	Somewhat Limited	Shrink Swell	Deep	Shrink Swell
EdB	Somewhat limited	Somewhat limited	Shrink Swell	Deep	Shrink Swell
Bedington	Somewhat limited	Somewhat limited	Shrink Swell	Deep	Shrink Swell
BdC	Somewhat limited	Somewhat limited	Shrink Swell	Deep	Shrink Swell
Duffield	Not limited	Somewhat limited	Shrink Swell	Deep	Very Ltd. Frost, Shrink Swell, Strength

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FOR RECORDING
REV. DESCRIPTION
EIS BY DATE
7-25-08

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK AND ASSOCIATES, P.C.
2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone 610-733-1036 • FAX 610-733-2192

CONSTRUCTION PLAN PHASES 1 & 2
PENNINGTON
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

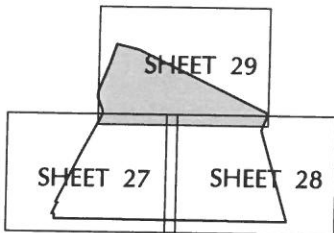
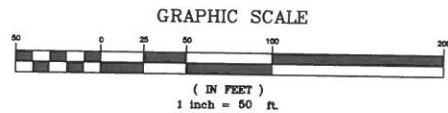
E&S PLAN OVERALL
DRAWN BY: JAK
CHECKED BY: JAK
DATE: 5/1/08
SCALE: 1" = 100'
JOB NUMBER: 06018

26 OF 36



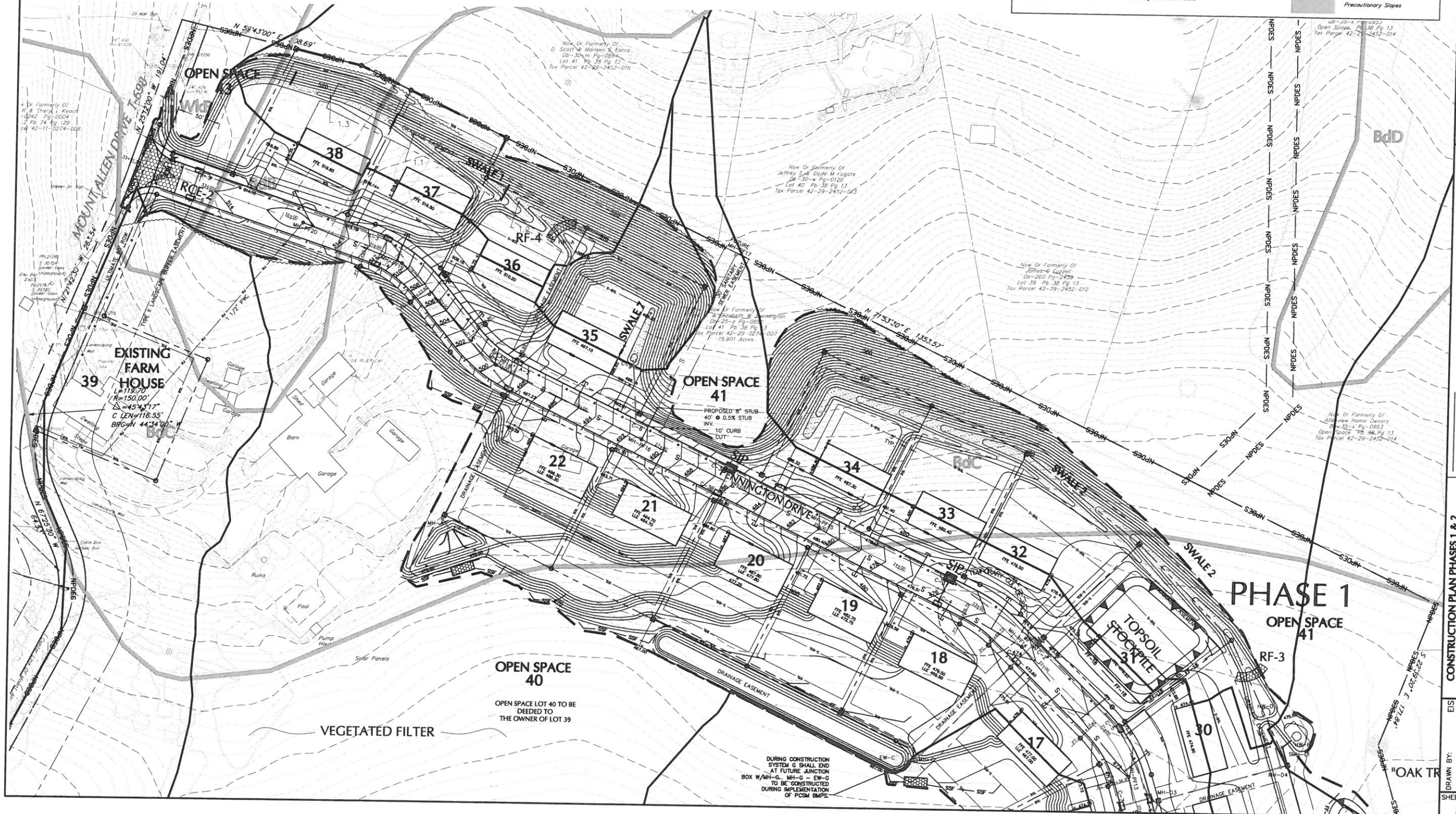
LOCATIONS OF EXISTING UNDERGROUND UTILITIES ARE BASED UPON SURFACE EVIDENCE AND EXISTING DRAWINGS AND ARE NOT GUARANTEED TO BE COMPLETE OR ACCURATE BY HEDWARD BLACK AND ASSOC., P.C. CONTRACTORS TO CONTACT P.A. ONE CALL SYSTEMS, INC. (1-800-242-1776) TO ESTABLISH EXISTING UTILITY LOCATIONS AT LEAST THREE(3) WORKING DAYS PRIOR TO THE START OF ANY EARTHMOVING ACTIVITIES.

CONTRACTOR SHALL UTILIZE A PROFESSIONAL UTILITY LOCATOR OVER AND ABOVE THE P.A. ONE CALL SYSTEM TO LOCATE UTILITIES IN THE FIELD THREE (3) BUSINESS DAYS PRIOR TO THE START OF CONSTRUCTION. ALL EXCAVATION IN THE AREA OF UTILITIES SHALL BE DONE BY HAND WHERE CONSTRUCTION IS OVER OR IN CLOSE PROXIMITY TO ANY UTILITIES.



LEGEND	
FF-30	INLET PROTECTION
FF-18	30" SILT FENCE
SSF	18" SILT FENCE
SSF	SUPER SILT FENCE
	PHASE LINE
RCE	ROCK CONSTRUCTION ENTRANCE
	ROCK FILTER
	PERMANENT CHANNEL LINER
	STEEP SLOPE PROTECTION
NPDES	OUTLET PROTECTION
	LIMIT OF DISTURBANCE
	NPDES BOUNDARY
	ROCK FILTER OUTLET
	MAX DA TO HYDROLOGIC BMP'S
	ORANGE CONSTRUCTION FENCE
SIP	STONE INLET PROTECTION & BERM

LEGEND	
---	Existing Property Line
---	Existing Right of Way Line
---	Existing Adjoining Property Line
---	Existing Easement
---	Existing Building Setback Line
---	Soil Type Boundary
---	Existing Contours - 2 ft. Interval
---	Existing Contours - 10 ft. Interval
---	Existing Centerline
---	Existing Edge of Macadam
---	Existing Curb
---	Existing Fence Line
---	Existing Tree Line
---	Existing Guide Rail
---	Existing Sewer
---	Existing Storm
---	Existing Telephone
---	Existing Force Main
---	Existing Electric
---	Existing Water Line
---	Existing Railroad Tracks
---	Existing Traffic Signal
---	Existing Sign
---	Existing Light Standard
---	Existing Iron Pin
---	Existing Concrete Monument
---	Existing Spot Elevation
---	Existing Utility Pole
---	Existing Gas Valve
---	Existing Water Valve
---	Fire Hydrant
---	Existing Sanitary Manhole
---	Existing Clean Out
---	Existing Catch Basin
---	Existing Drainage Manhole
---	Existing Wetlands
---	Existing Benchmark
---	Existing Headwall/Endwall
---	Prohibited Slopes
---	Precautionary Slopes



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EIS	BY	DATE
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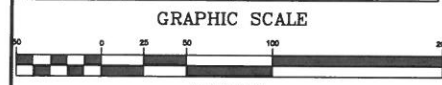
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LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

CONSTRUCTION PLAN PHASES 1 & 2	
EIS	JAK
CHECKED BY:	JAK
DATE:	5/1/08
SCALE:	1" = 50'
JOB NUMBER:	06018
SHEET	27 OF 36

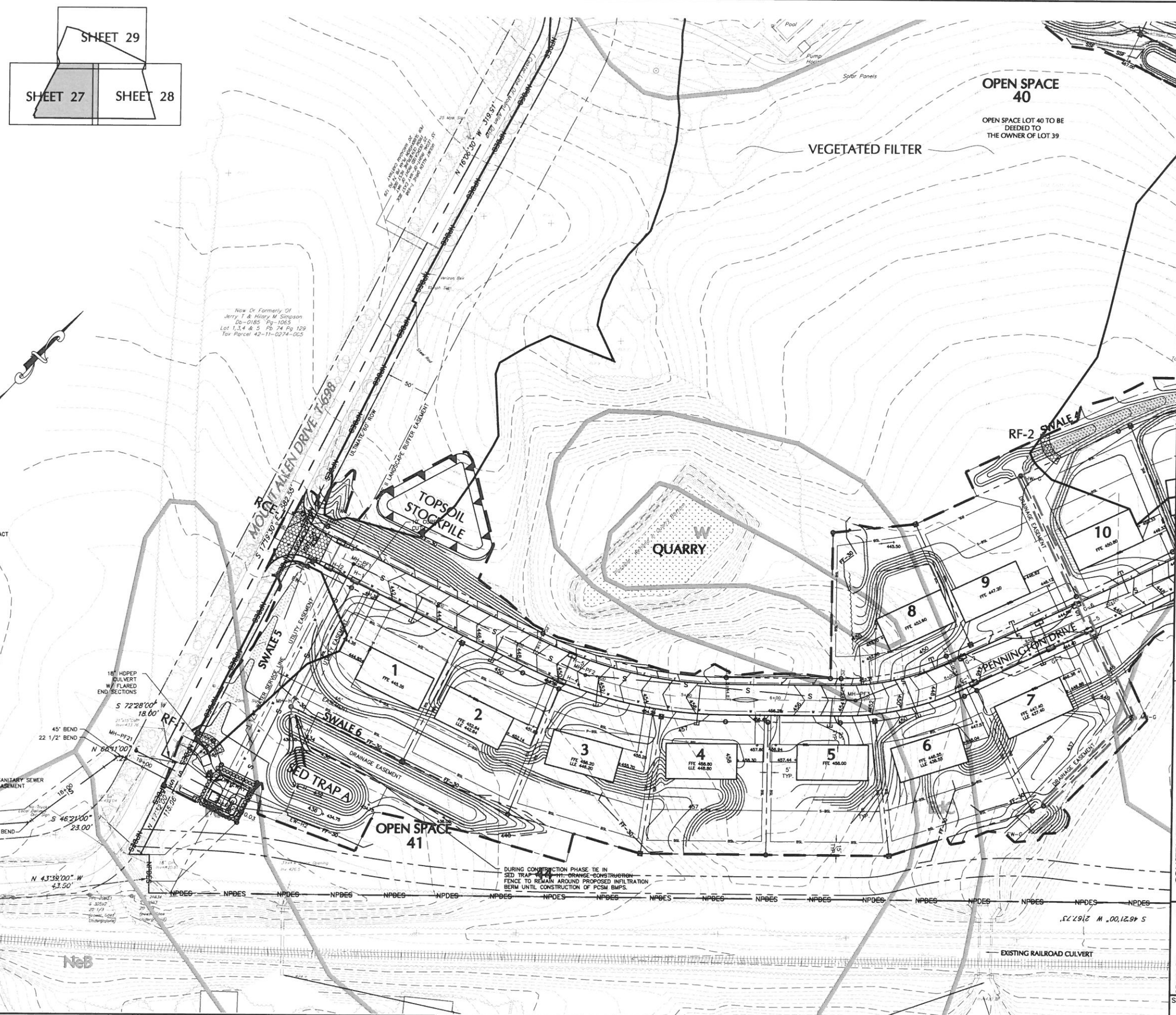
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FOR RECORDING

EIS BY DATE

7-25-08

DATE

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LANDSCAPE ARCHITECTURE

ENGINEERING

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CONSTRUCTION PLAN PHASES 1 & 2

PENNINGTON

LOCATION: MOUNT ALLEN DRIVE UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY PENNSYLVANIA

E&S PLAN

DRAWN BY: JAK

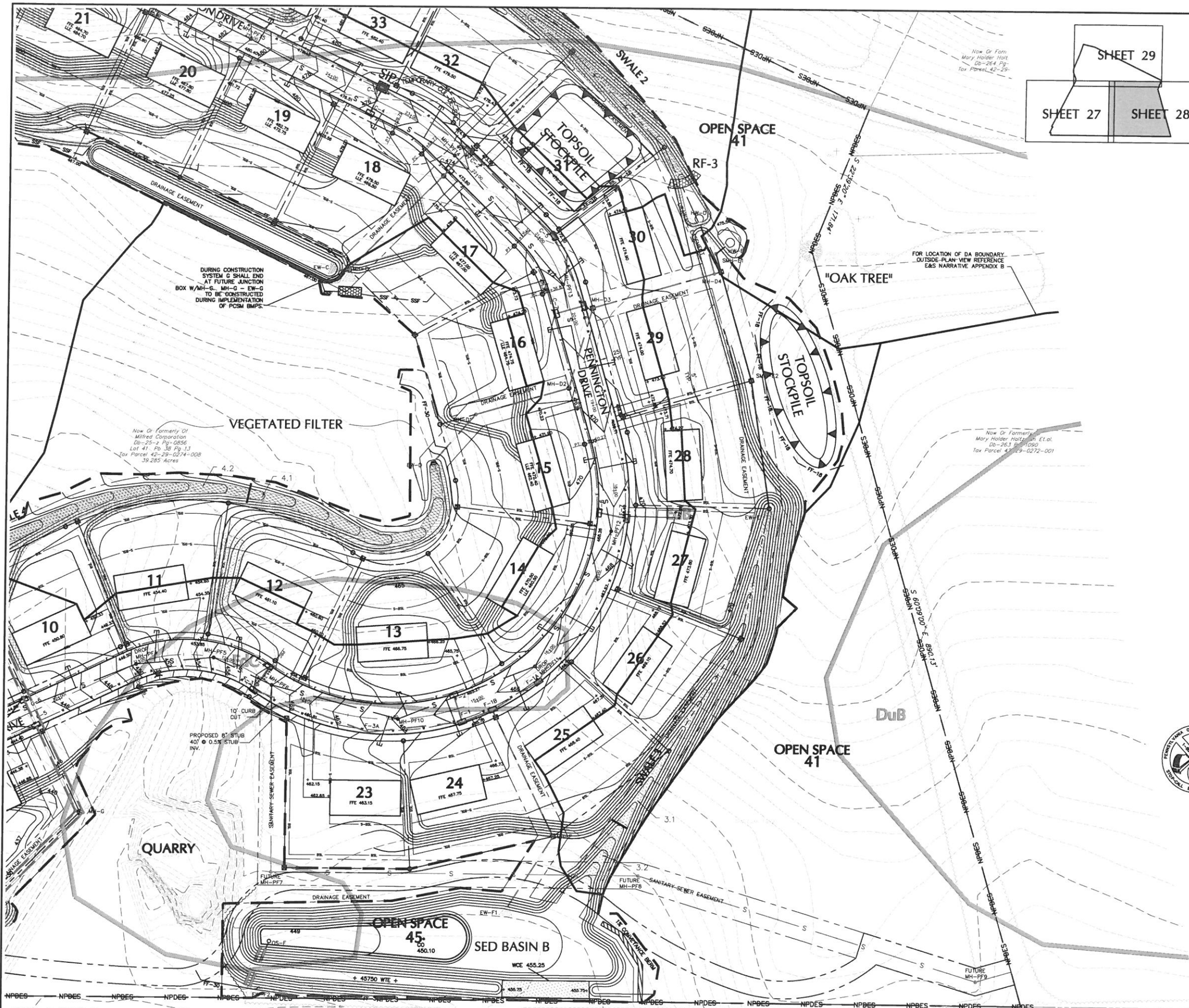
CHECKED BY: JAK

DATE: 5/1/08

SCALE: 1" = 50'

JOB NUMBER: 06018

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LEGEND

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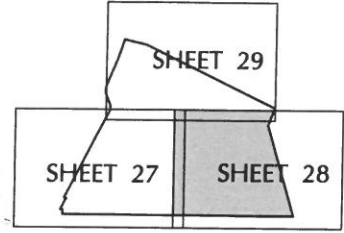
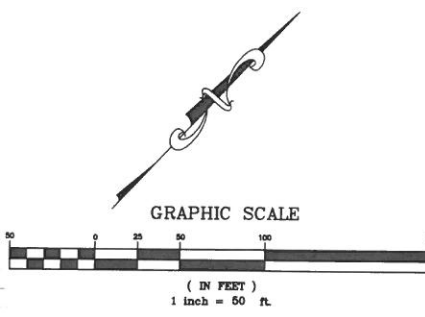
LEGEND

- INLET PROTECTION
- FF-30
- FF-18
- SSP
- SSP
- PHASE LINE
- ROCK CONSTRUCTION ENTRANCE
- ROCK FILTER
- PERMANENT CHANNEL LINER
- STEEP SLOPE PROTECTION
- OUTLET PROTECTION
- NPDES
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CONSTRUCTION PLAN PHASES 1 & 2

EIS
JAK

CHECKED BY:
DATE: 5/1/08

SCALE: 1" = 50'

JOB NUMBER: 06018

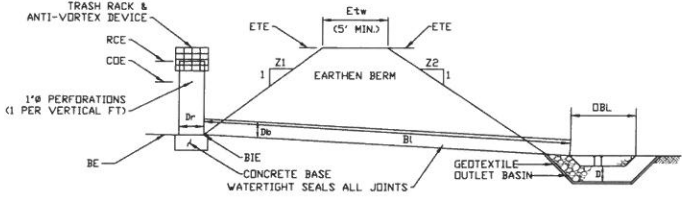
SHEET

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ENVIRONMENTAL DUE DILIGENCE

ENVIRONMENTAL DUE DILIGENCE MUST BE PERFORMED TO DETERMINE IF THE FILL MATERIALS ASSOCIATED WITH PROJECT QUALIFY AS CLEAN FILL. ENVIRONMENTAL DUE DILIGENCE IS DEFINED AS: INVESTIGATIVE TECHNIQUES, INCLUDING BUT NOT LIMITED TO, VISUAL, PROPERTY INSPECTIONS, GEOLOGICAL DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OF RELEASE OF A REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OF RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF CLEAN FILL".

DEP STANDARD CONSTRUCTION DETAIL #12
Barrel/Riser Sediment Traps



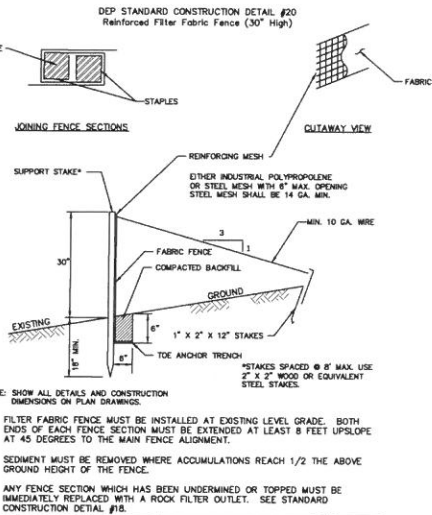
TRAP NO.	Z1 (FT)	Z2 (FT)	CMP	RISER			BARREL			OUTLET		EMBANKMENT		CLEAN OUT ELEV. COE (FT)	BOTTOM ELEV. BE (FT)
				DI. DIA (IN)	CREST ELEV. RCE (FT)	PERF. ELEV. (FT)	DI. DIA (IN)	BIE DIA (IN)	LENGTH BI (FT)	BOE DIA (IN)	ETE DIA (IN)	TOP ELEV. ETE (FT)	TOP WIDTH SW (FT)		
A	3	3	3	42	433.50	431.23	CMP	30	430.0	29	429.71	436.0	6	431.23	430.0

TRAP NO.	CONCRETE BASE		THICKNESS CBW (IN)	RIPRAP SIZE (R-)	OUTLET BASIN		LENGTH OBL (FT)
	LENGTH (IN)	WIDTH (IN)			DEPTH D (IN)	WIDTH CBW (FT)	
A	48"	48"	15"	R-4	24"	7.6'	15'

Clean out stakes shall be placed near center of trap. Accumulated sediment shall be removed when it reaches the clean out mark on the stake.

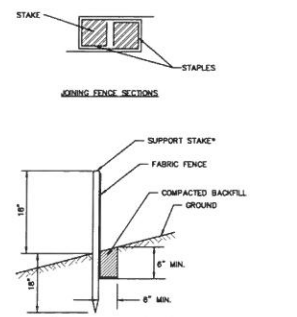
Whenever it is necessary to totally dewater a barrel/riser type trap, the riser should be designed according to the specifications shown in Standard Construction Detail #13.

BARREL/RISER SEDIMENT TRAPS SECTION SCALE: NOT TO SCALE



REINFORCED FILTER FABRIC FENCE (30" HIGH) SECTION SCALE: NOT TO SCALE

DEP STANDARD CONSTRUCTION DETAIL #19
STANDARD FILTER FABRIC FENCE (18" HIGH)

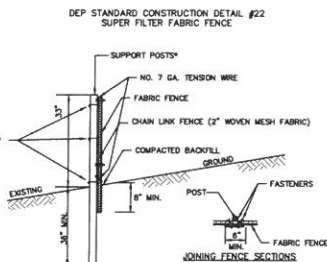


FILTER FABRIC FENCE MUST BE PLACED AT EXISTING GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

ANY SECTION OF FILTER FABRIC FENCE WHICH HAS BEEN UNDERMINED OR TOPPED MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. SEE STANDARD CONSTRUCTION DETAIL #18.

SECTION SCALE: NOT TO SCALE



** CHAIN LINK TO POST FASTENERS SPACED @ 14" MAX. USE NO. 6 GA. ALUMINUM WIRE OR NO. 9 GALVANIZED STEEL PRE-FORMED CLIPS. CHAIN LINK TO TENSION WIRE FASTENERS SPACED @ 80" MAX. USE NO. 10 GA. GALVANIZED STEEL WIRE. FABRIC TO CHAIN FASTENERS SPACED @ 24" MAX. C TO C.

NO. 7 GA. TENSION WIRE INSTALLED HORIZONTALLY AT TOP AND BOTTOM OF CHAIN-LINK FENCE.

FILTER FABRIC FENCE MUST BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER MUST BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT.

SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE ABOVE GROUND HEIGHT OF THE FENCE.

SECTION SCALE: NOT TO SCALE

102.4(B)(5)(vi) "A SEQUENCE OF BMP INSTALLATION AND REMOVAL IN RELATION TO THE SCHEDULING OF EARTH DISTURBANCE ACTIVITIES, PRIOR TO, DURING AND AFTER EARTH DISTURBANCE ACTIVITIES." (ALL TIMES ARE APPROXIMATE)

PLAN NOTES:

- A. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED IN COMPLIANCE WITH CHAPTER 102 REGULATIONS BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- B. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, THE OPERATOR SHALL CONTACT ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION AND SEDIMENTATION CONTROL PLAN PREPARED, AND A REPRESENTATIVE OF THE CUMBERLAND COUNTY CONSERVATION DISTRICT TO SCHEDULE AN ON-SITE PRE-CONSTRUCTION MEETING. ALSO, AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM, INC. AT 1-800-242-1776 FOR BURIED UTILITY LOCATIONS.
- C. ALL EXCAVATION FOR UTILITY LINE INSTALLATION SHALL BE LIMITED TO THE AMOUNT THAT CAN BE EXCAVATED, INSTALLED, BACKFILLED AND STABILIZED WITHIN ONE WORKING DAY. ALL EXCAVATED MATERIAL SHALL BE DEPOSITED ON THE UPSLOPE SIDE OF THE TRENCH. SEDIMENT LADEN WATER THAT ACCUMULATES IN THE TRENCHES SHALL BE PUMPED THROUGH A DIRT BAG FILTRATION DEVICE, OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER NON-DISTURBED VEGETATED AREAS. DISCHARGE POINTS SHOULD BE ESTABLISHED TO PROVIDE FOR MAXIMUM DISTANCE TO ACTIVE WATERWAYS.
- D. BEFORE IMPLEMENTING ANY REVISIONS TO THE APPROVED EROSION AND SEDIMENT CONTROL PLAN OR REVISIONS TO OTHER PLANS, WHICH MAY AFFECT THE EFFECTIVENESS OF THE APPROVED EAS CONTROL PLAN, THE OPERATOR MUST RECEIVE APPROVAL OF THE REVISIONS FROM THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
- E. THE OPERATOR SHALL REMOVE FROM THE SITE, RECYCLE OR DISPOSE OF ALL BUILDING MATERIALS AND WASTES IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA CODE 260.1 ET SEQ., 271.1 ET SEQ., AND 287.1 ET SEQ.
- F. BEFORE DISPOSING OF SOIL OR RECEIVING BORROW FOR THE SITE, THE OPERATOR MUST ASSURE THAT EACH SPOIL OR BORROW AREA HAS AN EROSION AND SEDIMENT CONTROL PLAN APPROVED BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT, AND WHICH IS BEING IMPLEMENTED AND MAINTAINED ACCORDING TO CHAPTER 102 REGULATIONS.
- G. ANY DISTURBED AREA ON WHICH ACTIVITY HAS CEASED MUST BE STABILIZED IMMEDIATELY. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE RECOMMENDED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MAY BE STABILIZED IN ACCORDANCE WITH TEMPORARY SEEDING SPECIFICATIONS. DISTURBED AREAS THAT ARE EITHER AT FINISHED GRADE OR WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED WITH PERMANENT SEEDING SPECIFICATIONS.
- H. PLANTING AND SEEDING DATES EXTEND FROM MARCH 15TH TO OCTOBER 15TH. INTERIM STABILIZATION WILL BE ACHIEVED BY MULCHING.
- I. SPECIFIED EROSION AND SEDIMENTATION POLLUTION CONTROL MEASURES AND FACILITIES MUST BE INSTALLED, STABILIZED, AND BE OPERATIONAL PRIOR TO ANY EARTHMOVING.
- J. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO PROVIDE ACCESS TO (CONSTRUCT SEDIMENT TRAPS, DIVERSION TERRACES, ETC.) FOR GRADING AND ACQUIRING BORROW TO CONSTRUCT THOSE CONTROLS.
- K. AT THE END OF EACH WORKING DAY, ANY SEDIMENT TRACKED OR CONVEYED ONTO A PUBLIC ROADWAY WILL BE REMOVED AND REDEPOSITED ONTO THE CONSTRUCTION SITE. REMOVAL CAN BE COMPLETED THROUGH USE OF MECHANICAL OR HAND TOOLS, BUT MUST NEVER BE WASHED OFF THE ROAD BY THE USE OF WATER.
- L. SEDIMENT REMOVAL FROM EASPC CONTROLS & FACILITIES SHALL BE DISPOSED OF IN LANDSCAPED AREAS OUTSIDE OF STEEP SLOPES, WETLANDS, FLOODPLAINS, OR DRAINAGE SWALES AND IMMEDIATELY STABILIZED, OR PLACED IN TOPSOIL STOCKPILES.
- M. SHOULD UNFORESEEN EROSION CONDITIONS DEVELOP DURING CONSTRUCTION, THE CONTRACTOR SHALL TAKE ACTION TO REMEDY SUCH CONDITIONS AND PREVENT FURTHER EROSION. AS A RESULT OF INCREASED RUNOFF AND/OR SEDIMENT DISPLACEMENT, STOCKPILES OF WOOD CHIPS, HAY BALES, CRUSHED STONE AND OTHER MULCHES SHALL BE HELD IN READINESS TO DEAL IMMEDIATELY WITH EMERGENCY PROBLEMS OF EROSION.
- N. THE CONTRACTOR IS ADVISED TO BECOME THOROUGHLY FAMILIAR WITH THE PROVISIONS OF THE APPENDIX 64, EROSION CONTROL RULES AND REGULATIONS, TITLE 25, PART 1, DEPARTMENT OF ENVIRONMENTAL PROTECTION, SUBPART C, PROTECTION OF NATURAL RESOURCES, ARTICLE II, WATER RESOURCES, CHAPTER 102, EROSION CONTROL.
- O. A COPY OF THIS EROSION AND SEDIMENTATION CONTROL REPORT AND PLANS MUST BE POSTED AT THE CONSTRUCTION SITE. CONSTRUCTION IS ANTICIPATED TO BEGIN FALL 2007 AND FINAL STABILIZATION TO BE ACCOMPLISHED BY FALL 2015. SEE COVER SHEET FOR PHASING DATES.

SEQUENCE OF CONSTRUCTION

1. THE CONTRACTOR WILL SUBMIT WRITTEN NOTIFICATION TO CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 7 DAYS PRIOR TO THE START OF CONSTRUCTION.
2. CONSTRUCT ROCK CONSTRUCTION ENTRANCE 1 & 2 AS SHOWN ON THE EROSION AND SEDIMENTATION CONTROL PLANS.
3. INSTALL THE FILTER FABRIC FENCE BELOW THE PROPOSED SEDIMENT TRAP & BASIN AS SHOWN ON THE EROSION CONTROL PLANS.
4. PLACE ALL SOIL MATERIAL REMOVED FROM THE SITE ON THE TOPSOIL STOCKPILE AREA. STOCKPILE HEIGHTS MUST NOT EXCEED 35 FEET AND SIDE SLOPES MUST NOT BE STEEPER THAN 2:1.
5. ROUGH GRADE SEDIMENT BASIN B AND SEDIMENT TRAP A LOCATED SOUTH OF PENNINGTON DRIVE.
6. INSTALL THE PIPE FOR THE OUTLETS FROM THE SEDIMENT BASINS. INSTALL THE TEMPORARY RISERS AND SKIMMERS IN THE SEDIMENT BASINS.
7. FINE GRADE THE SEDIMENT BASIN/TRAPS EMBANKMENTS AND IMMEDIATELY INSTALL JUTE MATTING ON THE 3:1 SLOPES OUTSIDE OF THE BASINS/TRAPS AND SYNTHETIC LINER ON THE BASIN SULLYWAY + TEMPORARY SLOPE #6.
8. INSTALL THE RIPRAP OUTLET PROTECTIONS AT THE OUTLETS OF THE SEDIMENT BASIN OUTLET PIPES.
9. STRIP TOPSOIL FROM THE PROPOSED ROAD (PENNINGTON DRIVE).
10. INSTALL THE BYPASS SWALES (1-5), STORMPIPE SYSTEMS, AND THE REMAINDER OF THE FILTER FABRIC FENCE. (TAKE NOTE OF GRADING DIFFERENCES BETWEEN EAS PLAN & GRADING PLAN: CONTOURS SHOWN IN BOLD)
11. ROUGH GRADE THE ROAD (PENNINGTON DRIVE) IMMEDIATELY AFTER INSTALLATION OF E&S BMP'S.
12. INSTALL THE REMAINDER OF THE STORM SEWER SYSTEMS. IMMEDIATELY INSTALL FILTER BAG INLET PROTECTIONS WITHIN THE INLETS AS THEY ARE INSTALLED.
13. INSTALL ALL OF THE SITE UTILITIES.
14. FINE GRADE THE ROAD.
15. PLACE THE STONE FOR THE INTERIOR ROADWAYS.
16. PERMANENTLY STABILIZE AREAS OUTSIDE OF THE PAVEMENT AREAS THAT HAVE BEEN DISTURBED AND ARE TO REMAIN AS GRASS.
17. COMPLETE ALL CONCRETE WORK, WHICH INCLUDES CURBS, SIDEWALKS ETC.
18. COMPLETE THE BASE COURSE PAVING.
19. BEGIN INDIVIDUAL LOT GRADING & BUILDING CONSTRUCTION.
20. COMPLETE ALL LANDSCAPE PLANTINGS.
21. PERMANENTLY STABILIZE ALL DISTURBED AREAS INCLUDING ALL UNCULTIVATED AREAS IN THE OPEN SPACE LOTS.
22. COMPLETE THE WEARING COURSE PAVING.
23. MEET WITH CUMBERLAND COUNTY CONSERVATION DISTRICT FOR FINAL SITE INSPECTION.
24. AFTER APPROVAL OF STABILIZATION, REMOVE TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES. PERMANENTLY STABILIZE ALL AREAS DISTURBED BY REMOVAL OF THE EROSION CONTROL MEASURES.
25. THE SEDIMENT TRAP MUST BE CONVERTED TO THE PERMANENT STORMWATER DETENTION BASIN AND UPSTREAM INFILTRATION BERM. REMOVE THE TEMPORARY RISER AND INSTALL THE PERMANENT TYPE "M" INLET OUTLET STRUCTURE. REMOVE THE ORANGE CONSTRUCTION FENCE AND INSTALL THE INFILTRATION BERM.
26. PERMANENTLY STABILIZE PERMANENT STORMWATER DETENTION BASIN A AND ANY REMAINING DISTURBED AREAS.
27. SEDIMENT BASIN B MUST BE CONVERTED TO THE PERMANENT STORMWATER DETENTION BASIN. REMOVE THE TEMPORARY RISERS AND INSTALL THE PERMANENT TYPE "M" INLET OUTLET STRUCTURES.
28. THE OUTFALL FROM SYSTEM C MUST BE CONVERTED INTO AN INFILTRATION BERM. ADD MH C- EWC, REMOVE THE ORANGE CONSTRUCTION FENCE AND INSTALL THE INFILTRATION BERM.
29. PERMANENTLY STABILIZE PERMANENT STORMWATER DETENTION BASIN B AND ANY REMAINING DISTURBED AREAS.

TEMPORARY CONTROL MEASURES AND FACILITIES FOR USE DURING EARTHMOVING

THE TEMPORARY CONTROL MEASURES AND FACILITIES PROPOSED FOR THIS PROJECT INCLUDE SEDIMENT TRAP #1, SEDIMENT BASIN #1, FILTER FABRIC FENCING, INLET PROTECTION, ROCK FILTERS, TEMPORARY ROCK PROTECTION AND ROCK CONSTRUCTION ENTRANCE.

FOR LOCATIONS AND DIMENSIONS OF THESE TEMPORARY CONTROL MEASURES, SEE THE EROSION CONTROL PLANS AND DETAILS.

PERMANENT CONTROL MEASURES AND FACILITIES FOR LONG TERM PROTECTION

THE PERMANENT CONTROL MEASURES AND FACILITIES PROPOSED FOR THIS PROJECT INCLUDE STORMWATER MANAGEMENT FACILITIES, WHICH INCLUDES STORM SEWER SYSTEMS AND INFILTRATION FACILITIES, PERMANENT SEEDING, PERMANENT CHANNEL LINERS, AND RIPRAP OUTLET PROTECTION. FOR LOCATIONS AND DIMENSIONS OF THESE PERMANENT CONTROL MEASURES, SEE THE ATTACHED WORKSHEETS, EROSION CONTROL PLANS AND DETAILS.

102.4(B)(5)(x) "A MAINTENANCE PROGRAM WHICH PROVIDES FOR INSPECTION OF BMPs ON A WEEKLY BASIS AND AFTER EACH MEASURABLE RAINFALL EVENT, INCLUDING THE REPAIR OF THE BMPs TO ENSURE EFFECTIVE AND EFFICIENT OPERATION."

UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENTATION CONTROLS MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROL MEASURES AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN-OUT, REPAIR, REPLACEMENT, REPAIRING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.

TEMPORARY CONTROLS:

THE CONTRACTOR WILL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL THE TEMPORARY EROSION AND SEDIMENTATION MEASURES TO BE IMPLEMENTED AS PART OF CONSTRUCTION AS FOLLOWS, BUT NOT LIMITED TO:

STABILIZATION:

1. STOCKPILE HEIGHTS MUST NOT EXCEED 35'. STOCKPILE SLOPES MUST BE 2:1 OR FLATTER.
2. DIVERSION CHANNELS, SEDIMENTATION BASINS, SEDIMENT TRAPS, AND STOCKPILES MUST BE STABILIZED IMMEDIATELY.
3. UNTIL THE SITE HAS ACHIEVED FINAL STABILIZATION THE OWNER AND/OR CONTRACTOR SHALL PROPERLY IMPLEMENT, OPERATE AND MAINTAIN ALL THE BEST MANAGEMENT PRACTICES. MAINTENANCE SHALL INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION CONTROLS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, REGARDING, RESEEDING, REMULCHING, AND RENETTING, MUST BE PERFORMED IMMEDIATELY.
4. AN AREA SHALL BE CONSIDERED TO HAVE ACHIEVED FINAL STABILIZATION WHEN IT HAS A MINIMUM OF 70% UNIFORM PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING OR OTHER MOVEMENTS.

FILTER FABRIC FENCING:

1. FILTER FABRIC FENCE MUST BE INSTALLED AT LEVEL GRADE. BOTH ENDS OF EACH FENCE SECTION MUST EXTEND AT LEAST 8 FEET UPSLOPE AT 45 DEGREES TO THE MAIN FENCE ALIGNMENT.
2. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH ONE-HALF (1/2) THE ABOVE GROUND HEIGHT OF THE FENCE.
3. ANY FENCE SECTION, WHICH HAS BEEN UNDERMINED OR TOPPED, MUST BE IMMEDIATELY REPLACED WITH A ROCK FILTER OUTLET. (SEE ROCK FILTER OUTLET DETAIL.)
4. WHERE ENDS OF FILTER FABRIC COME TOGETHER, THEY MUST BE OVERLAPPED, FOLDED AND STAPLED TO PREVENT SEDIMENT BYPASS. THE TOE ANCHOR MUST BE BACKFILLED AND COMPACTED TO A DENSITY EQUAL TO THE SURROUNDING SOILS.
5. THE FENCE MUST BE INSPECTED AFTER EVERY PRECIPITATION EVENT AND ON A WEEKLY BASIS. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
6. THE MANUFACTURER S RECOMMENDATIONS WILL BE ADHERED TO FOR REPLACEMENT OF THE FILTER FABRIC DUE TO WEATHERING.

SEDIMENTATION BASIN / TRAP:

1. SEDIMENT MUST BE REMOVED FROM THE BASIN / TRAP WHEN SEDIMENT HAS ACCUMULATED TO THE CLEAN OUT ELEVATION.
 2. SEDIMENT BASIN / TRAP MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
 3. A CLEAN-OUT ELEVATION WILL BE CLEARLY MARKED IN THE FIELD TO INDICATE THE ELEVATION AT WHICH ACCUMULATED SEDIMENT SHOULD BE REMOVED.
 4. SEDIMENT WILL NOT BE ALLOWED TO ENTER THE WATERS OF THE COMMONWEALTH DURING SEDIMENT REMOVAL OR DISPOSAL OPERATIONS.
- STORM SEWER INLETS:**
1. STORMWATER INLETS, WHICH DO NOT DISCHARGE TO THE SEDIMENT TRAP, MUST BE PROTECTED UNTIL THE TRIBUTARY AREAS ARE STABILIZED.
 2. SEDIMENT MUST BE REMOVED FROM INLET PROTECTION AFTER EACH STORM EVENT, OR WHEN THE DISTANCE BETWEEN THE GRATE AND THE SEDIMENT LEVEL IS REDUCED TO 18".

ROCK FILTER OUTLETS:

1. SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/3 THE HEIGHT OF THE OUTLETS.
2. THE HEIGHT OF THE ROCK FILTER SHOULD EQUAL 5/6 THE HEIGHT OF THE STRAW BALES OR FILTER FABRIC.

VEGETATIVE FILTER STRIP:

1. THE SUITABILITY OF NATURAL VEGETATIVE FILTER STRIPS MUST BE FIELD VERIFIED PRIOR TO THEIR APPROVAL.
2. NEGATIVE FILTER STRIPS MAY BE USED TO REMOVE SEDIMENT FROM PROJECT RUNOFF THAT IS DIRECTED TO THE STRIP AS SHEET FLOW.
3. VEGETATION MUST BE AN EXISTING, WELL-ESTABLISHED, PERENNIAL GRASS, WOODED AND BRUSHY AREAS ARE NOT ACCEPTABLE.
4. IF ANY TIME, THE WIDTH OF THE VEGETATIVE FILTER STRIP HAS BEEN REDUCED BY SEDIMENT DEPOSITION TO 1/3 ITS ORIGINAL WIDTH, SUITABLE ALTERNATE BMP'S SHOULD BE INSTALLED IMMEDIATELY.

ROCK CONSTRUCTION ENTRANCE:

1. THE STRUCTURE'S THICKNESS WILL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE OF ROCK WILL BE MAINTAINED ON THE SITE OR BE READILY ACCESSIBLE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE. WASHING OF PUBLIC ROADWAYS WITH WATER IS NOT PERMITTED.

TEMPORARY SEEDING:

PLANTING AND SEEDING DATES EXTEND FROM MARCH 15TH TO OCTOBER 15TH. INTERIM STABILIZATION WILL BE ACHIEVED BY MULCHING. AREAS TO BE TEMPORARILY SEEDDED WILL BE PLANTED WITH RYEGRASS, LOUJUM SPECIES, (100%) AT A RATE OF 44 LBS. PER ACRE. BEFORE TEMPORARILY SEEDING, FERTILIZER WITH BASIC FERTILIZER (5-5-5) AT A RATE OF 1000 LBS. PER ACRE AND LIME AT A RATE OF ONE (1) TON PER ACRE. TEMPORARILY SEEDDED AREAS WILL BE FERTILIZED WITH BASIC FERTILIZER (0-20-20) AT A RATE OF 20 LBS. PER THOUSAND SQUARE FEET (1,000 SQ. FT.) IMMEDIATELY BEFORE SEEDING. AFTER SEEDING, THE TEMPORARILY SEEDDED AREAS WILL BE MULCHED WITH WOOD CELLULOSE FIBER AT A RATE OF THREE (3) TONS PER ACRE.

PERMANENT SEEDING:

PLANTING AND SEEDING DATES EXTEND FROM MARCH 15TH TO OCTOBER 15TH. INTERIM STABILIZATION WILL BE ACHIEVED BY MULCHING. THE OWNER WILL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PERMANENT EROSION AND SEDIMENTATION CONTROL MEASURES AFTER CONSTRUCTION IS COMPLETED.

SEED:

1. ALL SEEDS, AS SPECIFIED WILL CONFORM TO THE PENNSYLVANIA SEED ACT OF 1965, AS AMENDED, AND REGULATIONS OF THE PENNSYLVANIA DEPARTMENT OF AGRICULTURE, BUREAU OF PLANT INDUSTRY.
2. THE PERCENTAGE OF PURE SEED PRESENT WILL REPRESENT THE FREEDOM OF SUCH AGRICULTURAL SEEDS FROM INERT MATTER AND FROM OTHER SEEDS DISTINGUISHABLE BY THEIR APPEARANCE. THE PERCENTAGE OF GERMINATION SHOWN WILL BE ACTUAL SPROUTS AND WILL NOT INCLUDE HARD SEEDS, UNLESS SPECIFICALLY PERMITTED. ALL SEEDS PROPOSED UNDER THIS ITEM WILL BE SUBJECT TO ANALYSIS TEST BY THE COMMONWEALTH OF PENNSYLVANIA, DEPARTMENT OF AGRICULTURE, BUREAU OF PLANT INDUSTRY, AND WILL MEET THESE SPECIFICATIONS. NO SEED WILL BE ACCEPTED WITH A TEST DATE OF MORE THAN SIX MONTHS PRIOR TO THE DATE OF SOWING AND WILL BE OF THE MOST RECENT CROP.
3. ALL SEEDS WILL BE FURNISHED TO THE PROJECT SITE IN MIX PREPARED BY THE SEED PROCESSOR. THE MIX WILL HAVE A CERTIFICATION TAG THAT WILL BE PRESENTED TO THE LANDSCAPE ARCHITECT. SEED MIXTURES WILL BE AS FOLLOWS:

FINE LAWN AREAS:

MIX	PURITY	GERMINATION	SEEDING RATE PER 1000 SF
TALL FESCUE	80	85	4.00 LB.
PERENNIAL RYEGRASS	20	95	1.00 LB.

MEADOW LAWN AREAS:

SHOWY NORTHEAST NATIVE WILDFLOWER MIX & SHEEP FESCUE AS SHOWN ON LANDSCAPE PLAN.

RAINGARDEN:

PACK WETLAND MEADOW MIX & REDTOP AS SHOWN ON LANDSCAPE PLAN.

STARTER FERTILIZER:

1. IMMEDIATELY BEFORE PERMANENT SEEDING, APPLY A STARTER FERTILIZER BY DISCING DOLOMITIC LIMESTONE AT A RATE OF 4 TONS PER ACRE, BASIC FERTILIZER (10-20-20) AT A RATE OF 1000 LBS PER ACRE AND 25 LBS. OF 10-8-4, 50% ORGANIC NITROGEN PER THOUSAND SQUARE FEET (1,000 SQ. FT.). AT LEAST THIRTY-FIVE PERCENT (35%) OF THE TOTAL NITROGEN WILL BE WATER INSOLUBLE (NITROGEN FROM NATURAL ORGANIC SOURCES SUCH AS UREAFOR).

MULCHING:

1. HAY OR STRAW MULCH MUST BE APPLIED AT RATES OF AT LEAST 3.0 TONS PER ACRE. MULCH CONSISTING OF NATIVE OR AGRICULTURAL GRASSES SUCH AS WHEAT OR OATS STRAW WILL BE PLACED OVER ALL LAWN AREAS WITHIN FORTY-EIGHT (48) HOURS AFTER RAKING AND SEEDING OR PLANTING HAS BEEN COMPLETED. SALT HAY OR OTHER SALINE MARSH GRASSES ARE NOT ACCEPTABLE. THE MATERIAL WILL BE APPLIED AT AN AVERAGE MINIMUM DEPTH OF TWO INCHES (2") LOOSE MEASUREMENT. CARE WILL BE TAKEN WHEN PLACING THE MULCH SO AS NOT TO DISTURB THE SEEDING SURFACES. THE MULCH WILL BE SECURED BY ONE OR SEVERAL OF THE FOLLOWING METHODS, DEPENDING ON THE SIZE OF THE AREA, STEEPNESS OF SLOPE, AVAILABILITY OF EQUIPMENT AND COSTS.
2. PEGS AND TWINE MAY BE USED TO SECURE MULCH. DRIVE EIGHT-TO-TEN-INCH (8" - 10") WOODEN PEGS TO WITHIN TWO-TO-THREE INCHES (2" - 3") OF THE SOIL SURFACE EVERY FOUR FEET (4') IN ALL DIRECTIONS BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS WITHIN A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
3. EMULSIFIED ASPHALT MAY BE USED TO SECURE MULCH. EMULSION WILL CONFORM TO REQUIREMENTS OF AASHTO GRADE RS-1 OR PENNSYLVANIA DEPARTMENT OF TRANSPORTATION BULLETIN NO. 25 FOR CLASS E-1 OR E-6. EMULSION WILL BE HOMOGENEOUS AND WILL BE MISCIBLE WITH WATER. IT WILL CONTAIN NO SOLVENTS OR OTHER DILUTIVE AGENTS TOXIC TO PLANT LIFE AND NOT MORE THAN 0.75 PERCENT OF SAPONIFIABLE ACIDS. APPLY UNIFORMLY AT THE RATE OF TWENTY-EIGHT (28) GALLONS PER ONE THOUSAND SQUARE YARDS (1,000 SQ. YD.).

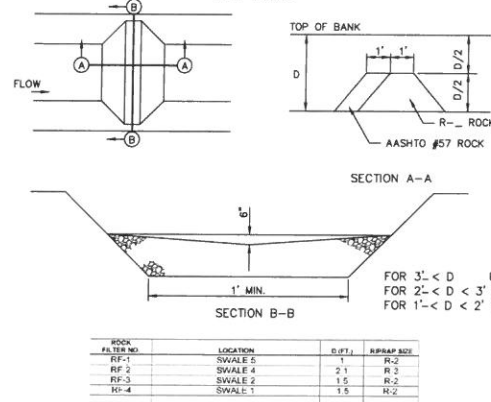
THE CONTRACTOR WILL, DURING THE LIFE OF THE CONTRACT, PROPERLY CARE FOR ALL AREAS AND MULCHES, PERFORMING SUCH MULCHING AS NECESSARY TO PROVIDE PROTECTION FOR ESTABLISHED GROWTH ON THE TREATED AREA.

RECYCLING & DISPOSAL METHODS:

102.4(B)(5)(x) "PROCEDURES WHICH ENSURE THAT THE PROPER MEASURES FOR THE RECYCLING OR DISPOSAL OF MATERIALS ASSOCIATED WITH OR FROM THE PROJECT SITE WILL BE UNDERTAKEN IN ACCORDANCE WITH DEPARTMENT REGULATIONS."

A SEPARATE EROSION AND SEDIMENTATION CONTROL PLAN MUST BE APPROVED FROM CUMBERLAND COUNTY CONSERVATION DISTRICT BEFORE ANY SOIL MATERIAL FROM THE SITE IS MOVED TO ANOTHER LOCATION. THE RECYCLING OF ALL CONSTRUCTION WASTE WHERE FEASIBLE IS REQUIRED. THIS INCLUDES BUT NOT LIMITED TO SOIL MATERIAL, BUILDING MATERIAL, CONCRETE, WASH WATER, SANITARY WASTES, ETC.

DEP STANDARD CONSTRUCTION DETAIL #23
ROCK FILTERS

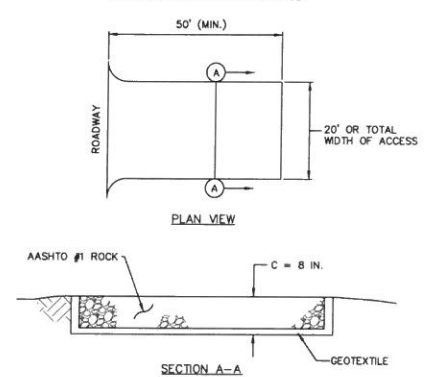


SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.

IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

ROCK FILTERS PLAN/SECTIONS SCALE: NOT TO SCALE

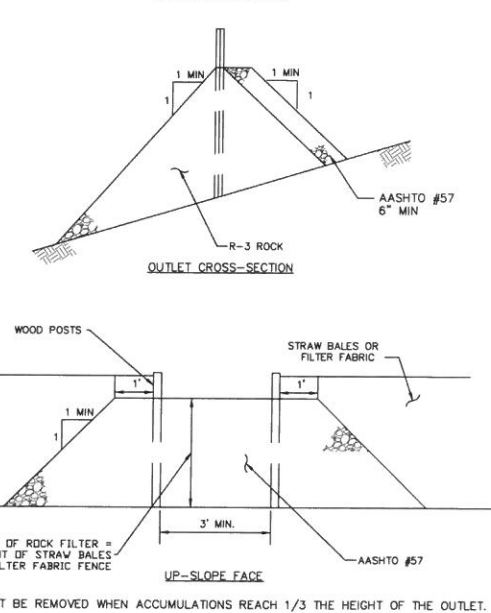
DEP STANDARD CONSTRUCTION DETAIL #16
ROCK CONSTRUCTION ENTRANCE



MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE.

ROCK CONSTRUCTION ENTRANCE VIEWS AS NOTED SCALE: NOT TO SCALE

DEP STANDARD CONSTRUCTION DETAIL #18
ROCK FILTER OUTLETS



ROCK FILTER OUTLETS VIEWS AS NOTED SCALE: NOT TO SCALE

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EIS 7-25-08
BY DATE

FOR RECORDING
REV. DESCRIPTION

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

CONSTRUCTION PLAN PHASES 1 & 2
PENNINGTON
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA
H. EDWARD BLACK
and ASSOCIATES, P.C.
2403 North Front Street • Harrisburg, Pennsylvania 17110 • Telephone (717) 233-1026 • FAX (717) 233-2192

EIS
DRAWN BY: JAK
CHECKED BY: JAK
DATE: 5/1/08
SCALE: 1" = 100'
JOB NUMBER: 06018

SHEET
32 OF 36

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF H. EDWARD BLACK AND ASSOCIATES, P.C. ANY REUSE ON PROJECT EXTENSIONS, OR ANY OTHER PROJECT, OR ALTERATIONS OR ADDITIONS TO THIS PROJECT SHALL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY TO H. EDWARD BLACK AND ASSOCIATES, P.C.

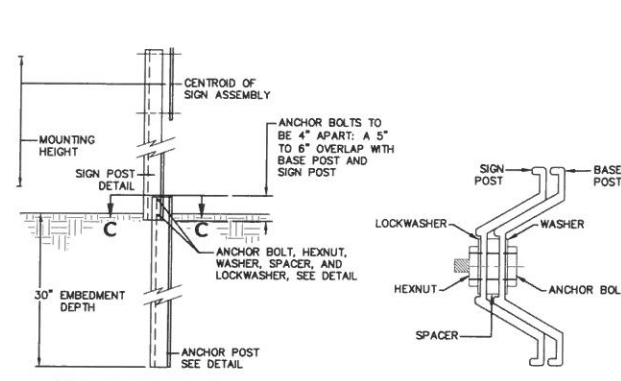
DATE 7-25-08
BY EIS
FOR RECORDING
REV. DESCRIPTION

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING
H. EDWARD BLACK AND ASSOCIATES, P.C.
2403 North First Street • Harrisburg, Pennsylvania 17110 • Telephone 717/231-1035 • FAX 717/231-1192

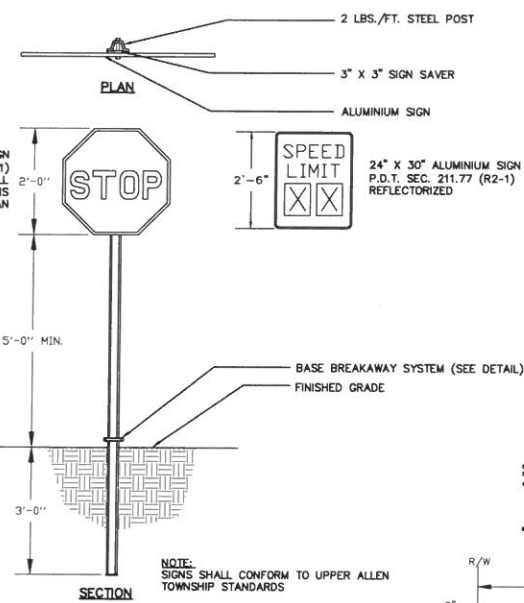


CONSTRUCTION PLAN PHASES 1 & 2
PENNINGTON
LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

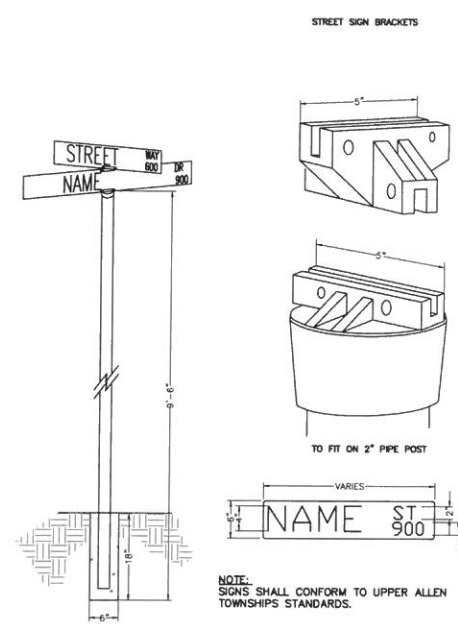
DRAWN BY: EIS
CHECKED BY: JAK
DATE: 5/1/08
SCALE:
JOB NUMBER: 06018
SHEET 33 OF 36



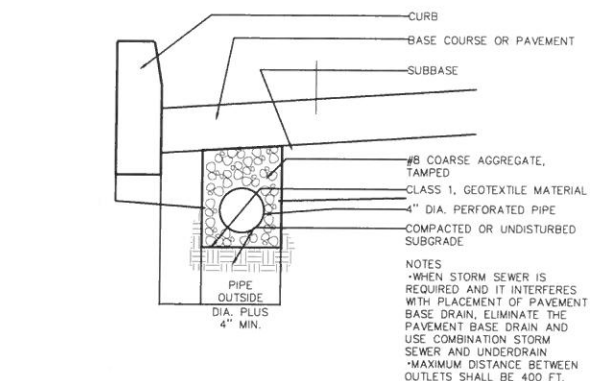
LAP-SPLICE SYSTEM POSTS
SECTION SCALE: NOT TO SCALE



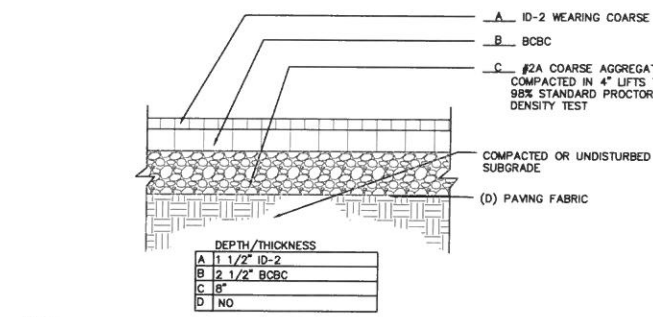
24" STOP SIGN
VIEWS AS NOTED SCALE: NOT TO SCALE



TYPICAL TRAFFIC SIGN INSTALLATION
ELEVATION SCALE: NOT TO SCALE

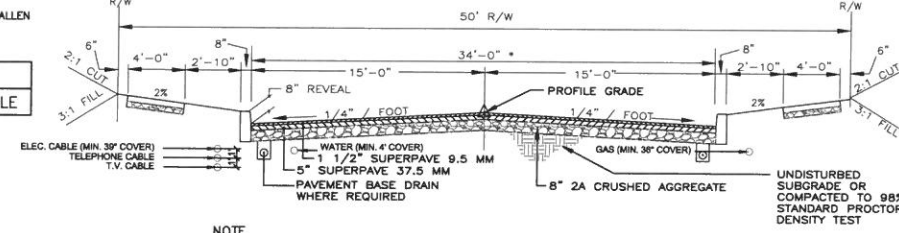


PAVEMENT BASE DRAIN AT CURB SECTION
SECTION NOT TO SCALE

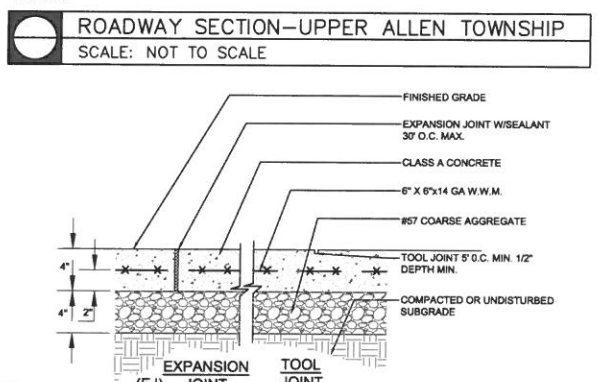


BITUMINOUS PAVING- DRIVEWAY
SECTION SCALE: NOT TO SCALE

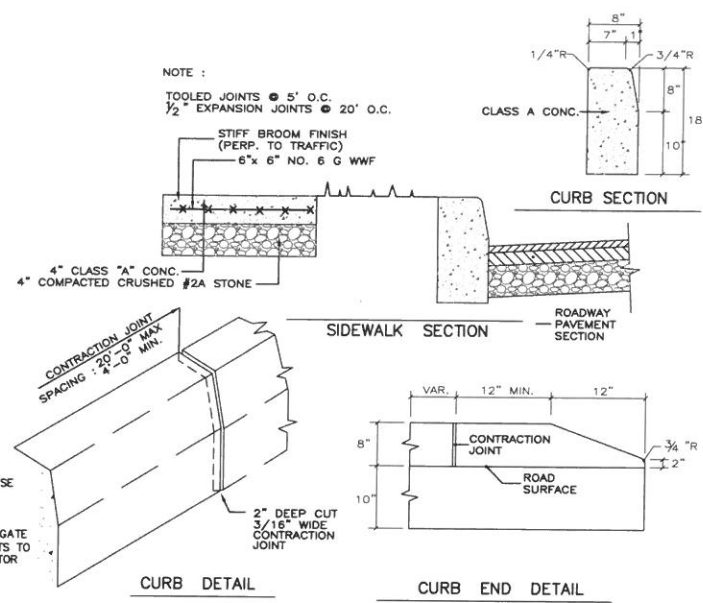
SUPERPAVE MIX
• HMA SUPERPAVE ASPHALT MIXTURE DESIGN, 9.5 MM, P664-22, WEARING COURSE, 0.0 TO 0.3 MILLION ESAL'S, SRL-M, 1 1/2" DEPTH.
• HMA SUPERPAVE ASPHALT MIXTURE DESIGN, 37.5 MM, P664-22, BASE COURSE, 0.0 TO 0.3 MILLION ESAL'S, SRL-M, 5" DEPTH.



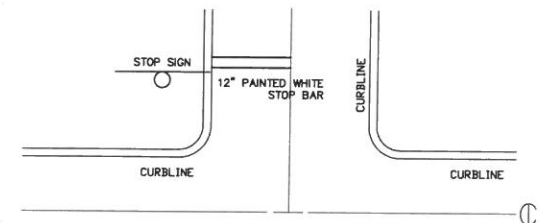
ROADWAY SECTION-UPPER ALLEN TOWNSHIP
SCALE: NOT TO SCALE



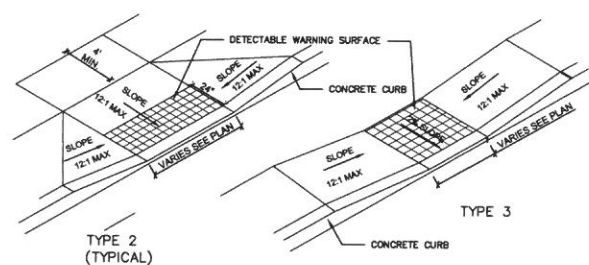
CONCRETE WALK
SECTION SCALE: NOT TO SCALE



CURB DETAILS
SCALE: NOT TO SCALE

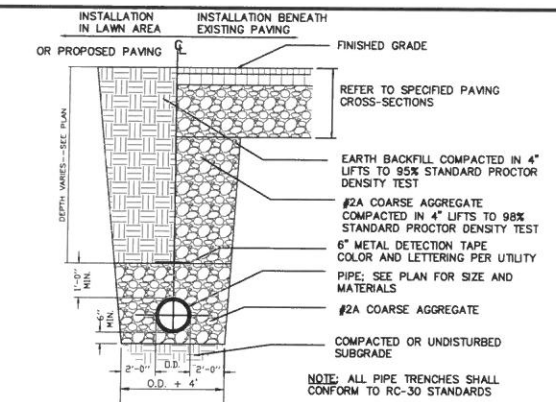


TYPICAL TRAFFIC STOP BAR
ELEVATION SCALE: NOT TO SCALE

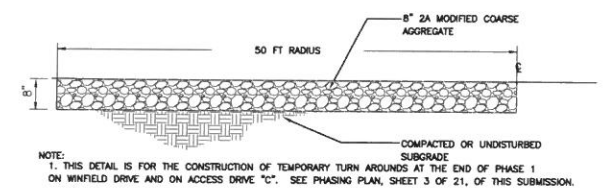


DETECTABLE WARNING SURFACE:
DOME SIZE - TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A BASE DIAMETER OF 0.9 INCHES (23 MM) MINIMUM TO 1.4 INCHES (36 MM) MAXIMUM, A TOP DIAMETER OF 50% OF THE BASE DIAMETER MINIMUM TO 65% OF THE BASE DIAMETER MAXIMUM, AND A HEIGHT OF 0.2 INCHES (5 MM).
DOME SPACING - TRUNCATED DOMES IN A DETECTABLE WARNING SURFACE SHALL HAVE A CENTER-TO-CENTER SPACING OF 1.6 INCHES (41 MM) MAXIMUM, AND A BASE-TO-BASE OF 0.85 INCHES (16 MM) MINIMUM, MEASURED BETWEEN THE MOST ADJACENT DOME ON SQUARE GRID.
CONTRAST - DETECTABLE WARNING SURFACE SHALL CONTRAST VISUALLY WITH ADJACENT WALKING SURFACE EITHER LIGHT-ON DARK, OR DARK-ON LIGHT.
SIZE - DETECTABLE WARNING SURFACE SHALL EXTEND 24 INCHES (610 MM) MINIMUM IN THE DIRECTION OF TRAVEL AND FULL WIDTH OF THE CURB RAMP, LANDING, OR BLENDED TRANSITION.

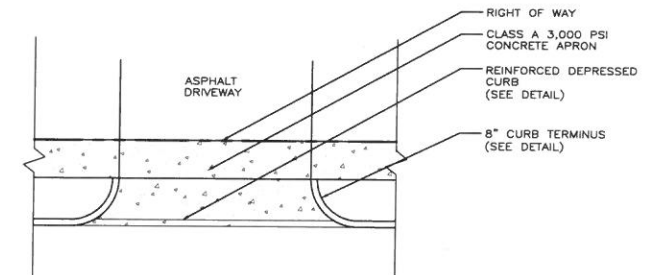
HANDICAP RAMP
SCALE: NOT TO SCALE



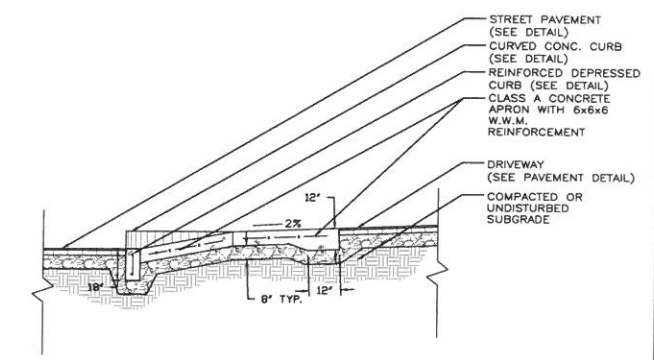
PIPE TRENCH
SECTION SCALE: NOT TO SCALE



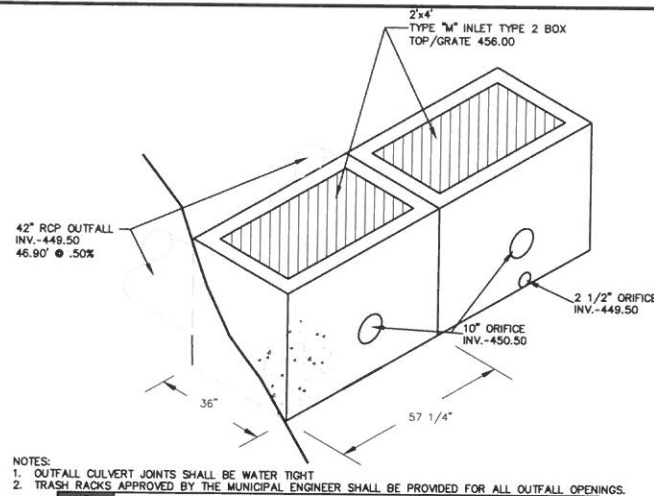
TEMPORARY TURN AROUND PAVING DETAIL
SECTION SCALE: NOT TO SCALE



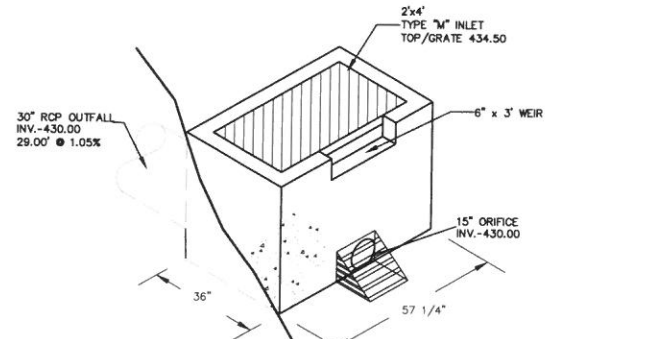
CONCRETE APRON
SECTION SCALE: NOT TO SCALE



TYPICAL CONCRETE APRON SECTION
SECTION SCALE: NOT TO SCALE



OUTLET STRUCTURE BASIN B
NOT TO SCALE



OUTLET STRUCTURE BASIN A
NOT TO SCALE

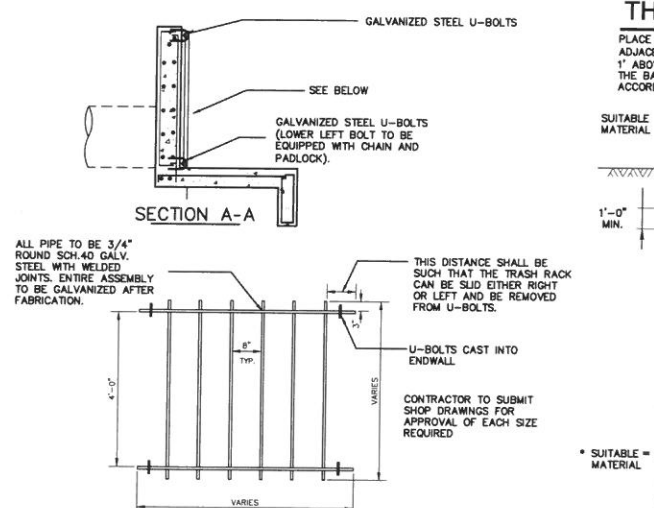
STORMWATER OPERATION & MAINTENANCE REQUIREMENTS

INFILTRATION BERMS OPERATION & MAINTENANCE SCHEDULE:

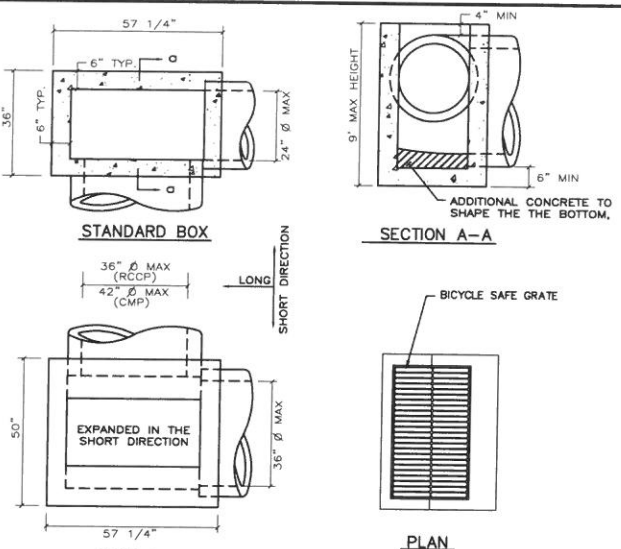
- Grass on the embankment shall be mowed on a regular basis or planted with brush and/or trees. Remove any invasive plants as needed.
- Do not apply pesticides or fertilizers in or around infiltration structures.
- The infiltration berm shall be checked monthly for obstructions, sedimentation and washouts.
- The infiltration berm shall be checked monthly for rodents that may interfere with the structural integrity of the structure.
- Upon finding any component of the berm not functioning as intended, that portion of the structure shall be immediately cleaned, repaired or replaced.

DETENTION BASIN/SWALE OPERATION & MAINTENANCE SCHEDULE:

- Grass in the stormwater basin and on the embankment shall be mowed on a regular basis to prevent brush and tree growth.
- The culverts, swales, stormwater basin and the grass lined spillway shall be checked monthly for obstructions, sedimentation and washouts.
- The swales and stormwater basin shall be checked monthly for rodents that may interfere with the structural integrity.
- Grass on the stormwater basin emergency spillway shall be mowed on a regular basis to prevent brush and tree growth and to provide adequate channel flow.
- Upon finding any component of the drainage structures not functioning as intended, that portion of the structure shall be immediately cleaned, repaired or replaced.

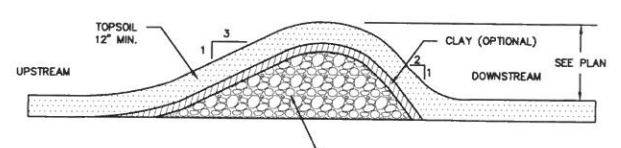


CONC HEADWALL TRASHRACK
SCALE: NOT TO SCALE



- NOTE
- INLET CONSTRUCTED IN ACCORDANCE WITH THE SPECS. AS SET FORTH IN PENNSYLVANIA DEPARTMENT OF TRANSPORTATION PUBLICATION 408, AS AMENDED, AND AS DETAILED ON THE ROADWAY CONSTRUCTION STANDARD DRAWINGS RC-34.
 - ALL INLETS SHALL HAVE WEEP HOLES PLACED AT THE APPROXIMATE ELEVATION TO COMPLETELY DRAIN THE SUBGRADE PRIOR TO PLACING THE BASE COURSE AND SURFACE COURSE.
 - MIN 15" @ 16 GAUGE CMP CONNECTED WITH METAL BOND.

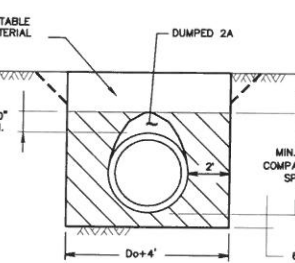
INLET DETAILS
SCALE: NOT TO SCALE



INFILTRATION BERM DETAIL
SECTION - NOT TO SCALE

THERMOPLASTIC PIPE

PLACE 2A COARSE AGGREGATE MATERIAL (IN 4" LIFTS) ADJACENT TO THE LOWER HAUNCHES TO A HEIGHT OF 1" ABOVE TOP OF PIPE. COMPACT TO 95% SPD. TEST THE BACKFILL MATERIAL AND CONTINUE EMBANKMENT IN ACCORDANCE WITH SECTION 601.



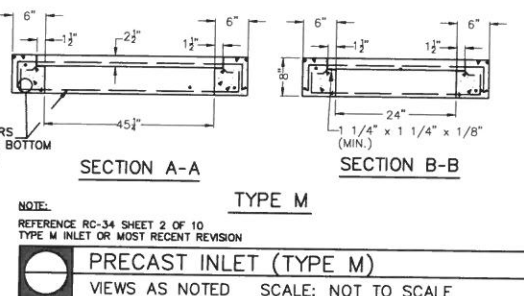
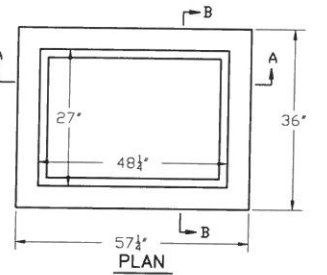
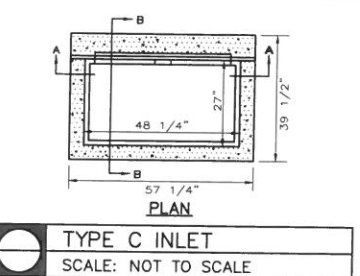
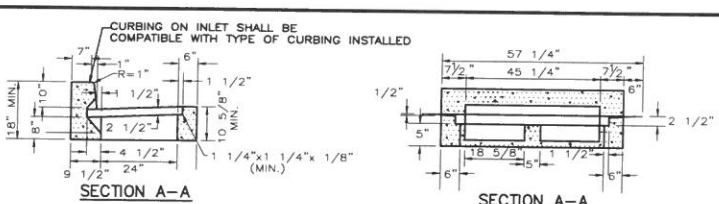
* SUITABLE = MATERIAL CONTAINING NO DEBRIS, ORGANIC MATTER, FROZEN MATERIAL OR LARGE STONES WITH A DIAMETER GREATER THAN ONE-HALF THE THICKNESS OF THE COMPACTED LAYERS BEING PLACED.

THERMOPLASTIC PIPE TRENCH (PENN DOT RC-30)
SCALE: NOT TO SCALE

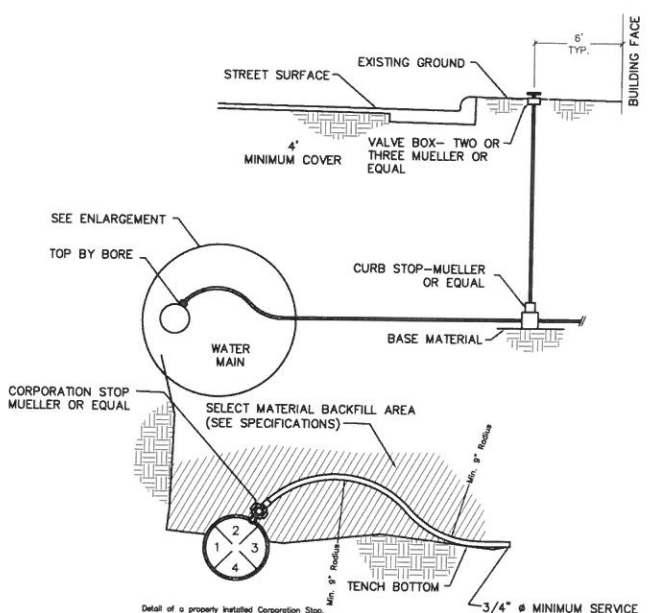
NOTES

- THE INSTALLATION OF PIPES 72" OR GREATER IN DIAMETER OR SPAN IS PERMITTED WITHOUT PLACING EMBANKMENT FIRST. THE BACKFILL ENVELOPE SHALL BE AS SHOWN ON THIS DRAWING EXCEPT THAT 2A MATERIAL BE PROVIDED ON EACH SIDE OF THE PIPE EQUAL TO ONE DIAMETER OR SPAN. FOR CONCRETE PIPE, THE WIDTH OF UNCOMPACTED AGGREGATE FOR BEDDING (AASHTO #8) SHALL REMAIN AT Do + 4". SEE NOTE 3 FOR PAYMENT FOR THE 2A MATERIAL.
- A HIGHER STRENGTH PIPE THAN SPECIFIED MAY BE SUPPLIED AT NO ADDITIONAL COST TO THE DEPARTMENT.
- PAYMENT FOR THE BACKFILL ENVELOPE INCLUDING BEDDING, COARSE AGGREGATE AND SUITABLE MATERIAL UP TO 1' FOOT ABOVE THE PIPE WILL BE INCIDENTAL TO THE PIPE.
- TO PRECLUDE POINT LOADING ON RELATIVELY RIGID CONCRETE PIPE, DO NOT COMPACT AASHTO #8 BEDDING MATERIAL.
- FOR TRENCH BOX/SWALL INSTALLATION REQUIREMENTS REFER TO PUBLICATION 408, SECTION 601.
- PLACEMENT OF BACKFILL MATERIAL IN 8 INCH LAYERS (LIFTS) SHALL BE PERMITTED WHEN USING VIBRATORY COMPACTION EQUIPMENT.

LEGEND



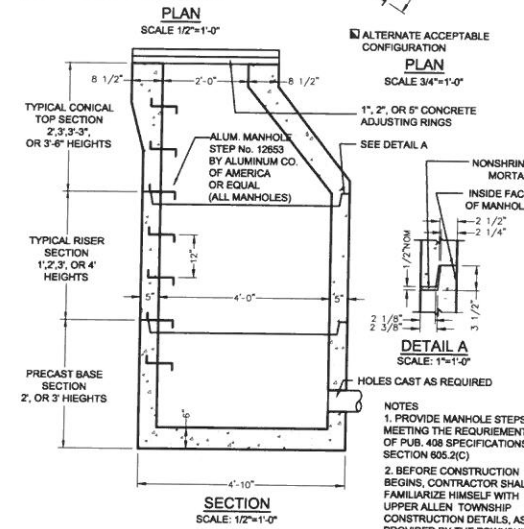
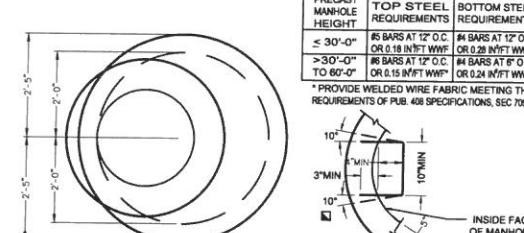
NOTE:
REFERENCE RC-34 SHEET 2 OF 10
TYPE M INLET OR MOST RECENT REVISION



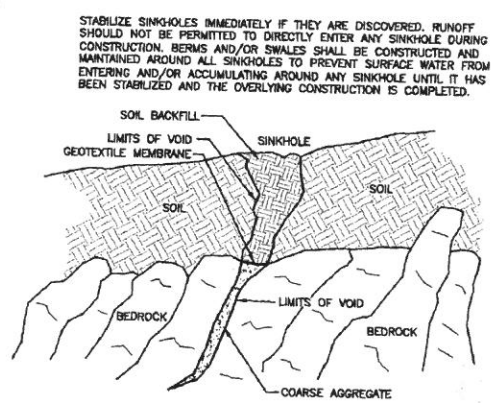
- GENERAL NOTES:
- WATER SERVICE LINES SHALL HAVE A MINIMUM COVER OF 4 FEET MEASURED FROM THE EXISTING GROUND SURFACE, EXCEPT WHEN SERVICE LINES ARE LAID TO A STREET SIDE WHICH HAS AN UPHILL SLOPE.
 - WATER SERVICE LINES SHALL BE INSTALLED WHERE SHOWN ON THE DRAWINGS AS SPECIFIED.
 - BEDDING SHALL BE 1" @ MAXIMUM WITHIN 6" OF SERVICE PIPE.

TYPICAL WATER SERVICE LINE
SECTION SCALE: NOT TO SCALE

- SIGHT DISTANCE METHODOLOGY:
- VIEW LOCATION: 10 FEET BACK FROM INTERSECTING CURB LINE, AT CENTERLINE OF STREET
 - MINIMUM REQUIRED SIGHT DISTANCE OF 200 FEET FOUND AND SIGHT LINE PLACED ON INTERSECTION
 - VERTICAL SIGHT DISTANCE FOUND ON PROFILE ASSUMING AN EYE HEIGHT OF 3.5 FT AND A TARGET HEIGHT OF 2.0 FT; THIS DISTANCE WAS SO THAT THE ACTUAL HORIZONTAL SIGHT DISTANCE WITHIN THE R.O.W LINES IS NEVER LONGER THAN THE VERTICAL SIGHT DISTANCE.
 - ALL INTERSECTIONS HAVE SIGHT DISTANCES GREATER THAN THAT REQUIRED EXCEPT FOR THE INTERSECTION OF PAMELA ROAD AND GALLO WAY. THIS HAS BEEN RECTIFIED BY CREATING VIEW EASEMENTS ON LOTS 84 AND 85, WHICH ARE LESS THAN 750' ST EACH AND A MAXIMUM DEPTH OF LESS THAN 11 FEET. AS WITH A CLEAR SIGHT TRIANGLE, THE AREA WITHIN THE VIEW EASEMENT CAN HAVE PLANTING THAT IS SHRUBS AND GROUND COVER WITH A MATURE HEIGHT OF LESS THAN 30 INCHES AND TREES WITH BRANCHING THAT IS GREATER THAN 6 FEET ABOVE GRADE.



PRECAST CONCRETE MANHOLE-STORM
VIEWS AS NOTED SCALE: AS NOTED



REMOVE ALL LOOSE SOIL FROM THE SINKHOLE AND ENLARGE THE HOLE AS NECESSARY TO ASSURE THE SOIL SLOPES INTO THE OPENING ARE STABLE. THE SOIL SHOULD BE CLEANED FROM THE BEDROCK SURFACE TO THE BEST DEGREE POSSIBLE. UNDER NO CIRCUMSTANCES SHOULD WATER UNDER PRESSURE BE USED TO CLEAN THE SOIL FROM THE BEDROCK.

AFTER THE SOIL IS CLEANED FROM THE ROCK, THE LOWER PORTION OF THE SINKHOLE SHOULD BE FILLED TO ABOVE THE LEVEL OF THE HIGHEST PINNACLE, BUT IN NO INSTANCE HIGHER THAN SIX (6) INCHES BELOW GRADE WITH PADOT TYPE C OR BETTER COARSE AGGREGATE. A HEAVY DUTY WOVEN GEOTEXTILE MEMBRANE (TERRATEX 140 OR EQUIVALENT) SHOULD BE PLACED ON THE COARSE AGGREGATE IN A LOOSE AND UNSTRETCHED CONDITION. THE REMAINDER OF THE HOLE SHOULD BE FILLED WITH NATIVE SOIL THAT IS PLACED IN LAYERS AND FINISHED WITH SIX (6) INCHES OF TOPSOIL. THE LAYERS SHOULD BE NO MORE THAN SIX (6) INCHES IN THICKNESS AND THE SOIL SHOULD BE COMPACTED TO 95 PERCENT OF THE MAXIMUM DRY DENSITY. THE MOISTURE CONTENT OF THE SOIL SHOULD BE 2 PERCENT ABOVE OPTIMUM. SOIL SHOULD BE PLACED WITHIN TWO (2) WEEKS AFTER PLACEMENT OF THE GEOTEXTILE MEMBRANE IN A MANNER TO MINIMIZE SLIPPAGE OR TEARING OF THE FABRIC.

TYPICAL SINKHOLE PLUGGING SCHEME
NOT TO SCALE

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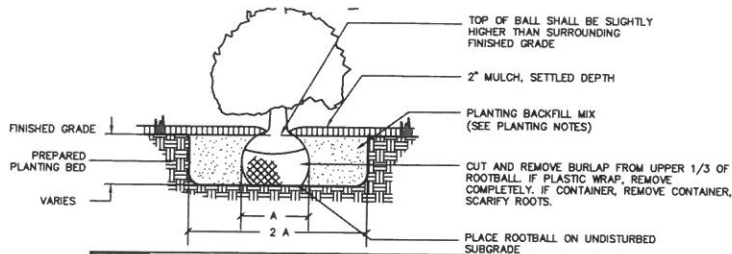
DATE	BY	REVISION
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- COMPREHENSIVE LAND AND SITE PLANNING
- LANDSCAPE ARCHITECTURE
- ENGINEERING

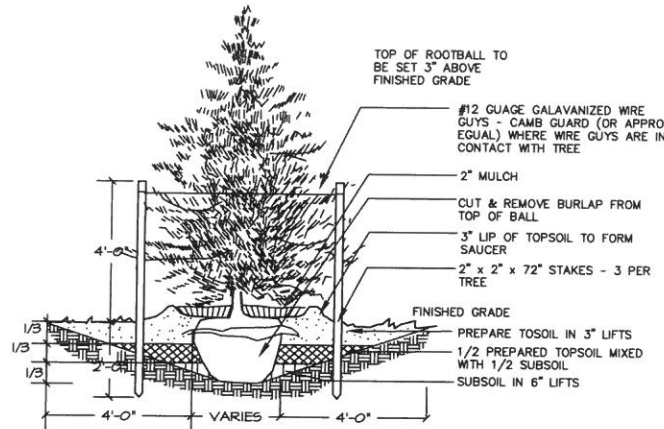
H. EDWARD BLACK AND ASSOCIATES, P.C.

CONSTRUCTION PLAN PHASES 1 & 2

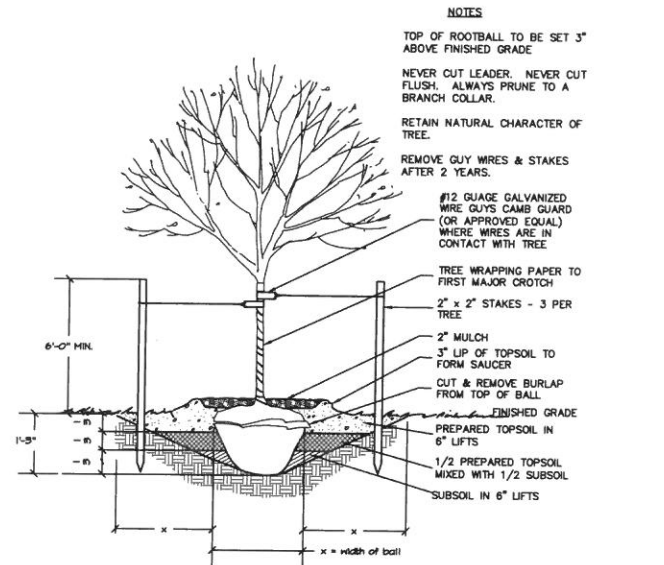
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SHRUB PLANTING DETAIL
NOT TO SCALE



EVERGREEN PLANTING DETAIL
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
NOT TO SCALE

Plant List		Botanical Name	Common Name	Caliper	Height	Spread	Root	Notes
Trees								
AR	9	Acer rubrum	Red Maple	2-3" cal	12'-14'	4'-5'	B/B	6 br full heads
FP	6	Fraxinus pennsylvanica	Green Ash	2-3" cal	12'-14'	4'-5'	B/B	6 br full heads
PC	15	Platanus occidentalis	American Sycamore	2-3" cal	12'-14'	4'-5'	B/B	6 br full heads
PR	43	Pinus strobus	White Pine	6-7"	6'-8'	B/B	Full to ground	
TC	51	Thuja canadensis	Hemlock	6-7"	6'-8'	B/B	Full to ground	
Shrubs								
HV	15	Hamelia virginiana	Witch Hazel	18-24"	18-24"	3 gal	Full	
IZ	40	Ilex verticillata	Winterberry	18-24"	18-24"	3 gal	Full	
KL	8	Kalmia latifolia	Mountain Laurel	18-24"	18-24"	3 gal	Full	
LB	30	Lindera benzoin	Sassafras	18-24"	18-24"	3 gal	Full	
RM	58	Rhododendron maximum	Rhodod	18-24"	18-24"	3 gal	Full	
EAF	41	Eucalyptus 2 Timber	Blurring Gum-Forest	18-24"	18-24"	3 gal	Full	

PLANTING NOTES

A. LANDSCAPE WORK INCLUDES, BUT IS NOT LIMITED TO, THE FOLLOWING ITEMS:

- FURNISHING AND INSTALLATION OF LANDSCAPE MATERIALS, INCLUDING FERTILIZING AND MULCHING.
- SEEDING PER NOTES ON SEDIMENT AND EROSION CONTROL PLANS.
- WATERING BI-WEEKLY UNTIL FINAL ACCEPTANCE BY OWNER
- CLEAN UP
- ALTERNATE-MAINTENANCE FOR A PERIOD OF ONE (1) YEAR FROM FINAL ACCEPTANCE OF ALL PLANTING AND LAWNS

B. THE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR, EQUIPMENT, TOOLS AND SERVICES REQUIRED TO ACCOMPLISH ALL RELATED WORK IN ACCORDANCE WITH THE DRAWINGS AND SPECIFICATIONS.

C. WORK UNDER THIS CONTRACT SHALL ALSO INCLUDE THE FURNISHING AND PLACING OF ADDITIONAL TOPSOIL AS REQUIRED FOR PROPER IMPLEMENTATION OF PLANTING OPERATIONS.

D. SOURCE QUALITY CONTROL:

- GENERAL: SHIP LANDSCAPE MATERIALS WITH CERTIFICATES OF INSPECTION REQUIRED BY GOVERNING AUTHORITIES. COMPLY WITH REGULATIONS APPLICABLE TO LANDSCAPE MATERIALS. DO NOT MAKE SUBSTITUTIONS: IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY TO OWNER'S REPRESENTATIVE, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- ANALYSIS AND STANDARDS: PACKAGE STANDARD PRODUCTS WITH MANUFACTURER'S CERTIFIED ANALYSIS.
- TOPSOIL: BEFORE DELIVERY OF TOPSOIL, FURNISH OWNER'S REPRESENTATIVE WITH WRITTEN STATEMENT GIVING LOCATION OF PROPERTIES FROM WHICH TOPSOIL IS TO BE OBTAINED, NAMES AND ADDRESSES OF OWNERS, DEPTH TO BE STRIPPED, CROPS GROWN AND FERTILIZERS AND PESTICIDES APPLIED DURING PAST 2 YEARS.
- TREES, SHRUBS AND PLANTS: PROVIDE TREES, SHRUBS, AND PLANTS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY SHOWN AND SCHEDULE FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS, OR DISFIGUREMENT
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY WITH A SECURELY ATTACHED WATERPROOF TAG WITH BOTANICAL AND COMMON NAME.
- INSPECTION: THE OWNER'S REPRESENTATIVE MAY INSPECT TREES AND SHRUBS EITHER AT PLACE OF GROWTH OR AT SITE BEFORE PLANTING FOR COMPLIANCE WITH REQUIREMENTS FOR GENUS, SPECIES, VARIETY, SIZE AND QUALITY. THE OWNER'S REPRESENTATIVE HAS THE RIGHT TO REJECT UNSATISFACTORY OR DEFECTIVE MATERIAL AT ANY TIME DURING PROCESS OF WORK OR UPON INSPECTION FOR COMPLETION OF WORK. REMOVE REJECTED TREES OR SHRUBS IMMEDIATELY FROM PROJECT SITE, AT NO COST TO THE OWNER.

E. CERTIFICATION: SUBMIT CERTIFICATES OF INSPECTION AS REQUIRED BY GOVERNMENTAL AUTHORITIES, AND MANUFACTURER'S OR VENDOR'S CERTIFIED ANALYSIS FOR SOIL AMENDMENTS AND FERTILIZER MATERIALS.

F. PLANTING SCHEDULE: THE LANDSCAPE CONTRACTOR MUST SUBMIT A PROPOSED PLANTING SCHEDULE. ONCE ACCEPTED, REVISE DATES ONLY AS APPROVED IN WRITING, AFTER DOCUMENTATION OF REASONS FOR DELAYS.

G. MAINTENANCE INSTRUCTIONS: THE CONTRACTOR SHALL PROVIDE TYPED INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR. SUBMIT PRIOR TO ACCEPTANCE.

H. DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH.

I. DO NOT REMOVE CONTAINER-GROWN STOCK FROM CONTAINERS UNTIL PLANTING TIME.

J. UTILITIES: DETERMINE LOCATIONS OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.

K. EXCAVATION: WHEN CONDITIONS DETRIMENTAL TO PLANT GROWTH ARE ENCOUNTERED NOTIFY OWNER'S REPRESENTATIVE BEFORE PLANTING.

L. PLANTING TIME: PROCEED WITH, AND COMPLETE LANDSCAPE WORK AS RAPIDLY AS PORTIONS OF SITE BECOME AVAILABLE, WORKING WITHIN SEASONAL LIMITATIONS. PLANT OR INSTALL MATERIALS DURING NORMAL PLANTING SEASONS FOR EACH TYPE.

M. COORDINATION WITH LAWNS: PLANT TREES AND SHRUBS AFTER FINAL GRADES ARE ESTABLISHED AND PRIOR TO PLANTING OF LAWNS UNLESS OTHERWISE ACCEPTABLE TO OWNER'S REPRESENTATIVE. IF PLANTING OCCURS AFTER LAWN WORK, PROTECT LAWN AREAS AND PROMPTLY REPAIR DAMAGE TO LAWNS RESULTING FROM PLANTING OPERATIONS.

N. MAINTAIN TREES AND SHRUBS THROUGH SPECIFIED MAINTENANCE PERIOD OR UNTIL THE DATE OF FINAL ACCEPTANCE, WHICHEVER IS LONGER. THE DATE OF FINAL ACCEPTANCE IS DEFINED AS THE INSPECTION REQUESTED BY THE CONTRACTOR AFTER THE LAST OF THE TOTAL PLANTING IS INSTALLED AND MULCHED, AND AT WHICH TIME ALL CONDITIONS ARE ACCEPTABLE TO THE OWNER AND THE OWNER'S REPRESENTATIVE.

O. ALTHOUGH PERIODIC REQUEST FOR PAYMENT WILL BE ACCEPTED, THEIR INDIVIDUAL APPROVAL AND SUBSEQUENT PAYMENT SHALL NOT ACTIVATE THE GUARANTEE PERIOD UNTIL ALL PLANTS ARE IN PLACE AND INSPECTED BY THE OWNER AND THE OWNER'S REPRESENTATIVE.

P. WARRANTY TREES AND SHRUBS, FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE, AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH, EXCEPT FOR DEFECTS RESULTING FROM NEGLECT BY OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND LANDSCAPE INSTALLER'S CONTROL.

Q. REMOVE AND REPLACE TREES, SHRUBS, OR OTHER PLANTS FOUND TO BE DEAD OR IN UNHEALTHY CONDITION DURING WARRANTY PERIOD. MAKE REPLACEMENTS DURING GROWTH SEASON FOLLOWING END OF WARRANTY PERIOD. REPLACE TREES AND SHRUBS WHICH ARE IN DOUBTFUL CONDITION AT END OF WARRANTY PERIOD; UNLESS, IN OPINION OF THE OWNER'S REPRESENTATIVE, IT IS ADVISABLE TO EXTEND WARRANTY PERIOD FOR A FULL GROWING SEASON.

R. ON-SITE TOPSOIL MAY BE USED FOR PLANTING OPERATION. ADDITIONAL TOPSOIL FOR PLANTING BACKFILL MUST BE FURNISHED BY LANDSCAPE CONTRACTOR FROM AN APPROVED OFF-SITE SOURCE.

S. PROVIDE NEW TOPSOIL THAT IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL, FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 1 INCH IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH IN ACCORDANCE WITH AASHTO DESIGNATION T89.

T. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SUITABLE SOIL CHARACTERISTICS. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NOT LESS THAN 4 INCHES. DO NOT OBTAIN FROM BOGS OR MARSHES. TOPSOIL SHALL HAVE MINIMUM FIVE (5%) PERCENT ORGANIC MATERIAL BY WEIGHT.

U. ALL MATERIAL UNSUITABLE FOR USE AS TOPSOIL AND ACCUMULATED AS PART OF THE LANDSCAPE CONTRACT SHALL BECOME THE PROPERTY OF THE CONTRACTOR AND SHALL BE EXPEDITIOUSLY REMOVED FROM THE SITE.

V. SOIL AMENDMENTS

W. LIME: NATURAL DOLOMITIC LIMESTONE CONTAINING NOT LESS THAN 85 PERCENT OF TOTAL CARBONATES WITH A MINIMUM OF 30 PERCENT MAGNESIUM CARBONATES, GROUND SO THAT NOT LESS THAN 90 PERCENT PASSES A 10-MESH SIEVE AND NOT LESS THAN 50 PERCENT PASSES A 100-MESH SIEVE.

X. ALUMINUM SULFATE: COMMERCIAL GRADE.

Y. PEAT: PEAT SHALL BE SPAGNUM PEAT MOSS. IT SHALL BE FINELY SHREDDED, CONSIST OF 100% ORGANIC PEAT, BE BROWN IN COLOR, AND SUITABLE FOR HORTICULTURAL PURPOSES. PEAT SHALL BE MEASURED IN AIR DRY CONDITIONS, CONTAINING NOT MORE THAN THIRTY-FIVE PERCENT (35%) MOISTURE BY WEIGHT.

Z. BONEMEAL: COMMERCIAL, RAW, FINELY GROUND; 4 % N & 20 % PHOSPHORIC ACID.

AA. SUPERPHOSPHATE: SOLUBLE MIXTURE OF TREATED MINERALS; 20 %PHOSPHORIC ACID.

AB. PERLITE: CONFORMING TO NATIONAL BUREAU OF STANDARDS PS 23.

AC. VERMICULITE: HORTICULTURAL GRADE, FREE OF TOXIC SUBSTANCES.

AD. COMMERCIAL FERTILIZER: SHALL BE A COMPLETE FORMULA AND SHALL CONFORM TO ALL REQUIREMENTS OF THE PENNSYLVANIA FERTILIZER ACT OF 1965. IT SHALL BE UNIFORM IN COMPOSITION, DRY AND FREE-FLOWING, AND SHALL BE DELIVERED TO THE SITE IN THE ORIGINAL, UNOPENED CONTAINER WITH MANUFACTURER'S GUARANTEED ANALYSIS. ANY FERTILIZER THAT BECOMES CAKED OR OTHERWISE DAMAGED WILL NOT BE ACCEPTED. COMMERCIAL FERTILIZER SHALL BE IN PELLETTED OR GRANULAR FORM AND SHALL BE OF THE FOLLOWING RATIOS: 10-20-20, 0-20-20, OR APPROVED EQUAL.

AE. MYCOR: MYCOR™ TREE SAVER™ (MYCORRHIZAL TRANSPLANT INOCULANT) SHALL BE INCLUDED WITH ALL PLANTINGS EXCEPT ERICACEOUS PLANTS (RHODODENDRONS, AZALEAS AND LAURELS) AT THE MANUFACTURER'S RECOMMENDED RATES. MYCOR TREATS THE ROOT ZONE WITH BENEFICIAL MYCORRHIZAL FUNGI, WATER ABSORBENT HYDROGELS AND ORGANIC SOIL CONDITIONERS.

AF. GYPSUM SHALL BE AS COMMERCIALY AVAILABLE FOR PLANTING USES.

AG. ANTIDESCICCANT SPRAY SHALL BE "MILT PRUF", AS MANUFACTURED BY NURSERY SPECIALTY PRODUCTS, GREENWICH, CONNECTICUT, OR APPROVED EQUAL.

AH. MULCH: SHALL BE SHREDDED OAK TREE BARK, BROWN IN COLOR, PH OF FOUR TO FIVE AND FREE OF HARMFUL MINERAL MATTER, A NATURAL MOISTURE CONTENT OF 15-40%, AND COARSE TEXTURE. ONE-HALF INCH (1/2") TO TWO INCH (2") DIAMETER.

AI. WOODEN STAKES SHALL BE 2" X 2" X 8' LENGTH, MINIMUM.

AJ. MINIMUM OF TWELVE-GAUGE, MULTI-STRANDED, GALVANIZED STEEL WIRE. WIRE SHALL NOT COME IN CONTACT WITH THE PLANT. IT SHALL BE COVERED WITH RUBBER HOSE.

AK. BACKFILL SHALL CONSIST OF FIFTY PERCENT (50%) EXISTING SOIL, TWENTY-FIVE PERCENT (25%) NEW TOPSOIL AND TWENTY-FIVE PERCENT (25%) PEAT MOSS AS SPECIFIED WITH "MYCOR" ADDED PER MANUFACTURER RECOMMENDATION BASED ON ROOT BALL SIZE. READ MANUFACTURER LITERATURE FOR ERICACEOUS PLANTS THAT SHALL NOT RECEIVE MYCOR AND INCLUDE A WATER ABSORBENT HYDROGEL ONLY WITH THOSE PLANTS.

AL. ALL PLANTING STOCK SHALL BE AVAILABLE FOR INSPECTION IN THE NURSERY BEFORE IT IS DUG. HOWEVER, FINAL INSPECTION AND ACCEPTANCE WILL BE MADE AT THE PLANTING SITE AFTER INSTALLATION OF THE PLANTS IN THEIR PERMANENT POSITION.

AM. ALL PLANTS SHALL BE NURSERY GROWN TRUE TO TYPE AND NAME IN ACCORDANCE WITH THE LATEST EDITION OF "STANDARDIZED PLANT NAMES," AMERICAN JOINT COMMITTEE ON HORTICULTURAL NOMENCLATURE. ALL PLANTS SHALL BE WELL-BRANCHED, VIGOROUS AND BALANCED ROOT AND TOP GROWTH AND NO. 1 GRADE. THEY SHALL BE FREE FROM DISEASE, INSECTS, MECHANICAL WOUNDS, BROKEN BRANCHES, DECAY OR ANY OTHER DEFECT. EACH SPECIES SHALL CONFORM TO "AMERICAN STANDARD OF NURSERY STOCK," AS DEVELOPED BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC. AND APPROVED BY THE AMERICAN STANDARDS ASSOCIATION, INC.

AN. PROVIDE FRESHLY DUG TREES AND SHRUBS. DO NOT PRUNE PRIOR TO DELIVERY. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DAMAGE BARK, BREAK BRANCHES OR DESTROY NATURAL SHAPE. PROVIDE PROTECTIVE COVERING DURING DELIVERY.

AO. ALL ACCEPTED PLANTING STOCK, IF NOT PLANTED IMMEDIATELY, SHALL BE HELED-IN OR STORED. STOCK LEFT OUT OF THE GROUND UNPROTECTED OVERNIGHT, LEFT WITH ROOTS EXPOSED TO HEAT OR FREEZING, OR OTHERWISE UNPROTECTED DURING TRANSIT, UNLOADING, HEELING-IN, OR PLANTING, WILL BE REJECTED.

AP. HERBICIDE:

AQ. PRE-EMERGENT HERBICIDE SHALL BE SURFLAN AS MANUFACTURED BY DOW ELANCO.

AR. POST-EMERGENT HERBICIDE SHALL BE DESIGNED FOR AQUATIC USE WITH NO RESTRICTIONS ON WATER USE. SPECIFICALLY DOMESTIC USE, AFTER APPLICATION. STANDARD OF QUALITY SHALL BE RODEO AS MANUFACTURED BY MONSANTO, 800 NO. LINDBERGH BOULEVARD, ST. LOUIS, MO. 63167, (314) 694-1000.

AS. ALL SHRUB MASSES SHOWN ON THE DRAWINGS SHALL BE CONTAINED WITHIN A CONTINUOUS BED FOR EACH MASS PLANTING. AS SUCH, THE BED SHALL BE STRIPPED OF TURF AND THE ENTIRE BED CULTIVATED BY ROTOTILLING OR PLOWING AND DISCING SO THAT THE ENTIRE SURFACE IS TILLED TO A MIN DEPTH OF EIGHT INCHES (8").

AT. PITS FOR PLANTING SHRUBS SHALL BE DUG LARGE ENOUGH TO ACCOMMODATE THE ROOTS AND PLANTS WITHOUT CROWDING AND SHALL BE OF CORRECT DEPTH TO ALLOW PLACEMENT OF PLANT AT PROPER DEPTH ON SUBGRADE BEFORE BACKFILLING.

AU. THE DIAMETER OF THE PLANT PIT SHALL BE AT LEAST TWICE THE DIAMETER OF THE PLANT ROOT BALL WITH AT LEAST SIX INCHES (6") OF OPEN EXCAVATION BETWEEN THE ROOT BALL AND THE VERTICAL WALL OF THE PIT IN ALL DIRECTIONS. REFER TO THE PLANTING DETAILS FOR FURTHER INFORMATION.

AV. PITS FOR LARGER PLANTS, SUCH AS DECIDUOUS SHADE TREES AND EVERGREENS, SHALL BE OF SUFFICIENT DEPTH TO ALLOW THE PLACING OF ROOT BALL ON SUBGRADE PRIOR TO BACKFILLING. FURTHER, THE DIAMETER OF THE PLANT PIT SHALL BE AT LEAST TWICE THE DIAMETER OF THE PLANT ROOT BALL WITH AT LEAST TWELVE INCHES (12") OF OPEN EXCAVATION BETWEEN THE ROOT BALL AND THE VERTICAL WALL OF THE PIT IN ALL DIRECTIONS. REFER TO PLANTING DETAILS FOR FURTHER INFORMATION.

AW. DIGGING OPERATIONS, PARTICULARLY ON SLOPES, SHALL BE PLANNED IN ORDER THAT ACTUAL PLANTING OPERATIONS WILL FOLLOW WITHIN TWENTY-FOUR (24) HOURS.

AX. PLANTING AREAS EXCEPT FOR THE BEDS WITH GROUNDCOVER, BULBS, PERENNIALS OR SEASONAL COLOR SHALL BE CONSIDERED TO HAVE SUFFICIENT TOPSOIL FOR THE BED PREPARATION. HOWEVER, TOPSOIL REQUIRED WITHIN EACH PLANT PIT FOR THE BACKFILL MIX SHALL BE FURNISHED AND PLACED BY THE CONTRACTOR.

AY. PLANTS SHALL BE SET NO SHALLOWER OR DEEPER THAN THEY STOOD IN THE NURSERY, WITH EXCAVATION FOR PITS TO CORRECT DEPTH AS PREVIOUSLY OUTLINED TO SET THE PLANTS AT THEIR PROPER HEIGHT.

AZ. BALLED AND BURLAPPED PLANTS SHALL BE HANDLED BY THE EARTH BALL AND NOT BY THE PLANT ITSELF AND SHALL BE PLACED IN THE PITS WITHOUT REMOVING THE BURLAP. AFTER WHICH THE BURLAP SHALL BE LAID BACK FROM THE BALL. PLANTING OPERATIONS SHALL CONFORM TO PLANTING DETAILS SET FORTH ON APPROPRIATE ACCOMPANYING DRAWINGS.

BA. BACKFILL MIX, SHALL BE MIXED IN BULK AND SHALL NOT BE MIXED IN THE INDIVIDUAL PLANT PIT. THE BACKFILL MIX SHALL BE WORKED AROUND THE BALL AND BE FIRMLY TAMPED AND/OR PUDDLED AS BACKFILLING PROGRESSES TO FILL ALL VOIDS AND TO ELIMINATE AIR POCKETS. EXCESS EXCAVATION FROM PLANT PIT, STICKS, SOD, CLOSOS OR OTHER MATERIAL THAT WOULD DECOMPOSE AND FORM AIR POCKETS IN THE PLANTING MEDIA SHALL BE REMOVED. PLACE BACKFILL IN SIX-INCH (6") INCREMENTS OF DEPTH.

BB. ON LEVEL GROUND AND ON RELATIVELY GENTLE SLOPES, A SHALLOW BASIN, THE DIAMETER OF THE PLANT PIT, SHALL BE LET AROUND EACH PLANT. ON STEEP SLOPES, SUFFICIENT SOIL SHALL BE PULLED TO THE LOWER SIDE OF THE PLANT TO FORM A SHALLOW BASIN TO CATCH AND HOLD WATER. EXCAVATED MATERIALS FROM PLANT PITS MAY BE USED FOR FOUR INCH (4") HIGH BERMS TO CREATE BASINS AROUND EACH TREE PIT OR SHRUB. SHRUBS IN BED AREAS SHALL NOT HAVE INDIVIDUAL SAUCERS OF BASINS.

BC. AFTER PLACING BACKFILL, PRIOR TO FINAL WATERING AND BEFORE MULCHING, APPLY FERTILIZER TO ALL PLANTS AT THE FOLLOWING RATES. APPLY FERTILIZER EVENLY OVER ENTIRE PLANT PIT TO AVOID FERTILIZER BURN.

EVERGREEN TREE	ONE-EIGHTH (1/8) POUND PER FOOT OF HEIGHT
SHADE TREE	TWO (2) POUNDS PER INCH OF CALIPER
DECIDUOUS SHRUB	ONE-FOURTH (1/4) POUND PER FOOT OF HEIGHT
EVERGREEN SHRUB	ONE-EIGHTH (1/8) POUND PER FOOT OF HEIGHT
FLOWERING TREE	ONE (1) POUND PER INCH OF CALIPER.
ORNAMENTAL GRASS	ONE (1) POUND PER 100 SQUARE FEET.
BULBS	TWO (2) POUNDS PER 100 SQUARE FEET.
GROUND COVER	20 POUNDS PER 1000 SQUARE FEET.
PERENNIALS	ONE (1) POUND PER 100 SQUARE FEET.

BD. DAMAGED OR BROKEN MAIN ROOTS SHALL BE PRUNED WITH A CLEAN OBLIQUE CUT IMMEDIATELY ABOVE THE POINT OF DAMAGE.

BE. ALL DECIDUOUS AND EVERGREEN TREES SHALL BE STAKED AND GUYED IMMEDIATELY AFTER BACKFILLING AS SHOWN ON THE ACCOMPANYING DRAWINGS.

BF. THE TOPS OF ALL DECIDUOUS STOCK SHALL BE PRUNED AT THE TIME OF PLANTING OR IMMEDIATELY THEREAFTER TO THE BEST HORTICULTURAL PRACTICES WITH RESPECT TO NATURAL FORM OF THE INDIVIDUAL SPECIES. A SINGLE TERMINAL LEADER SHALL BE PRESERVED WHEN PRUNING DECIDUOUS SHADE TREES. UNLESS OTHERWISE DIRECTED BY THE OWNER'S REPRESENTATIVE, ALL DECIDUOUS PLANTS SHALL HAVE ONE-THIRD (1/3) OF THE POTENTIAL LEAF-BEARING SURFACE REMOVED.

BG. ALL PLANTS SHALL BE THOROUGHLY WATERED BI-WEEKLY (AT A MINIMUM) IN A MANNER SATISFACTORY TO THE OWNER'S REPRESENTATIVE DURING THE CONSTRUCTION PERIOD AND UNTIL FINAL ACCEPTANCE. ALL NECESSARY TANK TRUCKS, HOSES, AND APPURTENANCES SHALL BE PROVIDED BY THE CONTRACTOR.

BH. ALL PLANTS SHALL BE MULCHED WITH SPECIFIED MULCH TO A UNIFORM DEPTH OF THREE INCHES (3"), PLACED AFTER PLANTING. TREE PITS SHALL BE MULCHED TO THE OUTER EDGE OF THE EARTH BERM. APPLY MULCH WITHIN TWO (2) DAYS AFTER PLANTING, EXCEPT IN THE CASE OF WINTER PLANTING WHEN MULCH SHALL BE PLACED IMMEDIATELY.

BI. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM DATE OF FINAL ACCEPTANCE. DATE OF FINAL ACCEPTANCE IS DEFINED AS THE DATE OF COMPLETION AND ACCEPTANCE OF ALL PUNCH LIST ITEMS FROM THE INSPECTION REQUESTED BY THE CONTRACTOR AFTER THE LAST OF THE TOTAL PLANTING IS INSTALLED AND MULCHED, AND AT WHICH TIME ALL CONDITIONS ARE ACCEPTABLE TO THE OWNER AND THE OWNER'S REPRESENTATIVE.

BJ. IF A PLANT DIES AFTER FINAL ACCEPTANCE, IT SHALL BE REMOVED AND REPLACED IMMEDIATELY OR, IN THE CASE OF PLANTS REQUIRING PROPER SEASONAL PLANTING, REPLACEMENT IN THE NEXT APPROPRIATE SEASON, EVEN IF THAT SEASON FALLS BEYOND THE ONE-YEAR GUARANTEE PERIOD.

BK. WHERE A LARGE PORTION OF A PLANT DIES BACK CAUSING A PERMANENT OR LONG-TERM DEFORMITY, IT SHALL BE REPLACED.

BL. ANY DELAY ON THE PART OF THE CONTRACTOR TO REMOVE AND REPLACE UNSATISFACTORY MATERIALS SHALL CAUSE THE OWNER TO HAVE SUCH WORK PERFORMED AND THE CONTRACTOR SHALL BE BACKCHARGED FOR THAT WORK.

BM. REPLACEMENT SHALL BE PERFORMED AS MANY TIMES AS NECESSARY IN A SINGLE LOCATION; THE GUARANTEE DOES NOT LIMIT REPLACEMENT TO "ONE TIME".

BN. REPLACEMENT SHALL BE OF EXACT TYPE, SPECIES AND SIZE AS ORIGINALLY SPECIFIED.

BO. THE CONTRACTOR SHALL, IN ADDITION TO REPLACEMENT OF UNSATISFACTORY PLANT MATERIALS, MAKE GOOD ALL DAMAGE TO THE STRUCTURES AND GROUNDS OR EQUIPMENT AND CONTENTS THEREOF IF SUCH UNSATISFACTORY CONDITION OR DAMAGE DEVELOPS WITHIN THE STIPULATED PERIOD DUE TO THE WATERINGS OR WORKMANSHIP WHICH ARE INFERIOR, DEFECTIVE OR NOT IN ACCORDANCE WITH THIS CONTRACT, AND MUST MAKE GOOD ANY WORK OR MATERIALS OR GROUNDS WHICH ARE DISTURBED IN FULFILLING THE REQUIREMENTS OF THIS GUARANTEE.

BP. AT THE END OF THE ONE-YEAR GUARANTEE PERIOD, THE CONTRACTOR SHALL REMOVE ALL GUYING MATERIALS.

BQ. DURING THE CONTRACT AND AT INTERVALS AS DIRECTED BY THE OWNER'S REPRESENTATIVE AND AS THE LANDSCAPE WORK IS COMPLETED, CLEAR THE SITE OF ALL EXTRANEOUS MATERIALS INCLUDING QUANTITIES OF SUBSOIL, ROCK, OTHER SPOILS REMAINING FROM EXCAVATION AFTER PLANTING, RUBBISH OR DEBRIS, AND LEAVE ALL PLANTING SITES IN A CLEAN, SAFE, NEAT, CONDITION.

BR. MAINTAIN ALL PLANTING FROM TIME OF ARRIVAL ON SITE UNTIL INSPECTION AT TIME OF FINAL ACCEPTANCE.

THIS DRAWING IS AND SHALL REMAIN THE PROPERTY OF H. EDWARD BLACK AND ASSOCIATES, P.C. ANY REUSE OR PROJECT EXTENSIONS, OR ANY OTHER PROJECT, OR ALTERATIONS OR ADDITIONS TO THIS PROJECT SHALL BE AT USER'S SOLE RISK AND WITHOUT LIABILITY TO H. EDWARD BLACK AND ASSOCIATES, P.C.

CORRECT C-BSL & RECORD PLANS		12-28-12	7-25-08	DATE
FOR RECORDING	REVISION	EIS	BY	
REV	DESCRIPTION			

COMPREHENSIVE LAND AND SITE PLANNING
LANDSCAPE ARCHITECTURE
ENGINEERING

H. EDWARD BLACK
and ASSOCIATES, P.C.

FINAL - PHASE ONE & TWO SUBDIVISION PLAN

DRAWN BY: SHEET

CHECKED BY: JAK

DATE: 5/1/08

SCALE: NO SCALE

JOB NUMBER: 06016/0037/0019

LOCATION: MOUNT ALLEN DRIVE
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY
PENNSYLVANIA

LANDSCAPE DETAILS