

GENERAL NOTES:

1. ALL PROPOSED LOTS ARE LOCATED IN THE LOW DENSITY-RESIDENTIAL (R-1) ZONING DISTRICT
2. ALL STREET RIGHTS-OF-WAY ARE TO BE DEDICATED TO UPPER ALLEN TOWNSHIP.
3. IRON PINS WILL BE PLACED AT ALL PROPERTY CORNERS AND MONUMENTS AT ALL P.C.'S AND P.T.'S OF STREET CURVES.
4. UTILITIES IN RIGHTS-OF-WAY AND EASEMENTS WILL BE DEDICATED TO UPPER ALLEN TOWNSHIP.
5. ALL STREETS OR ROADS SHOWN HERON, IF NOT DEDICATED, ARE HEREBY DEDICATED FOR PUBLIC USE.
6. TWO (2) OFF STREET PARKING SPACES SHALL BE PROVIDED FOR EACH LOT.
7. THE ORIGINAL DATUM IS WAS A CARRYOVER FROM PREVIOUS PHASES THAT WERE ESTABLISHED FROM KNOWN ELEVATIONS OF THE EXISTING SANITARY SEWER SYSTEM, WHICH IS A USC&G SURVEY DATUM AND REVISED TO THE NAVD88 IN 2010 PER UPPER ALLEN TOWNSHIP REQUIREMENTS.
8. THE OWNERS/CONTRACTOR MUST NOTIFY UPPER ALLEN TOWNSHIP AT LEAST ONE (1) WEEK PRIOR TO CONSTRUCTION OF PUBLIC IMPROVEMENTS.

SPECIAL NOTES:

1. THE PURPOSE OF THIS SUBDIVISION IS TO SUBDIVIDE OFF FOURTEEN (14) SINGLE FAMILY BUILDING LOTS AND ONE (1) LOT ADDITION FROM PHASE VI, SECTION II OF MEADOWVIEW ESTATES.
2. THIS PHASE OF MEADOWVIEW ESTATES IS COVERED BY NPDES PERMITPAG2-0021-03-033R, WHICH IS VALID UNTIL AUGUST 19, 2013.
3. THERE ARE NO STRUCTURES NOR ADJACENT LANDS ON THE NATIONAL REGISTER OF HISTORICAL PLACES ON THIS SITE.
4. THERE ARE NO NATURAL HABITATS, SUCH AS WETLANDS, PLANT OR ANIMAL SPECIES ON THIS PROPERTY PREVIOUSLY AGRICULTURAL USED SITE.
5. THERE IS NO EVIDENCE OF ANY WETLANDS WITHIN THE BOUNDARY OF THIS SUBDIVISION.
6. THERE ARE NO AREAS WITHIN THE BOUNDARY OF THIS SUBDIVISION SUBJECT TO FLOODPLAIN INFRINGEMENT.
7. PROPOSED SANITARY SEWERS ARE SHOWN ON THE STREET AND EASEMENT PROFILES.
8. WATER SERVICE TO THE SITE WILL BE VIA EXTENSION OF LINES FROM THE UNITED WATER OF PENNSYLVANIA THAT WERE CONSTRUCTED DURING SECTION II, PHASE V DEVELOPMENT IN SOUTH VIEW DRIVE AND SECTION II, PHASE NORTH MEADOW DRIVE.
9. THIS SITE MAY BE UNDERLAIN WITH CARBONATE ROCK AND THERE MAY BE POTENTIAL FOR SINKHOLES. SPECIAL CONSTRUCTION PROCEDURES MAY BE NECESSARY AND DESIRABLE TO MITIGATE THESE GEOLOGIC CONDITIONS.
10. WATER LINE TO BE LOCATED A MINIMUM OF 5' FROM THE NEAREST CURB LINE TO AVOID CONFLICT WITH PROPOSED CATCH BASINS AND A MINIMUM OF 1' VERTICAL CLARENCE BELOW ANY STORMWATER CROSS PIPES.
11. AS-BUILT PLANS, THE SUBDIVIDER OR DEVELOPER SHALL FURNISH THE TOWNSHIP WITH REPRODUCIBLE MYLARS AND ELECTRONIC DATA FILES OF ALL DRAWINGS SHOWING THE WATER SYSTEM, SANITARY SEWER SYSTEM, STORM SEWER SYSTEM, ROADWAY NETWORK, AND OTHER ASSOCIATED INFRASTRUCTURE, MODIFIED AS NECESSARY TO SHOW THE FACILITIES AS CONSTRUCTED.
12. THE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING CONSTRUCTION ACTIVITIES.
13. THE APPLICANT SHALL COMPLETE ALL SITE AND SEWER IMPROVEMENTS FOR THIS PHASE, IN ACCORDANCE WITH TOWNSHIP SPECIFICATIONS AND DEDICATE ALL APPLICABLE IMPROVEMENTS TO THE TOWNSHIP WITH FIVE (5) YEARS FROM THE DATE OF THE SIGNED FINANCIAL IMPROVEMENT AGREEMENT. IF THE APPLICANT REQUIRES MORE THAN FIVE (5) YEARS TO COMPLETE THE IMPROVEMENTS, THEY MAY ASK FOR AN EXTENSION FROM THE BOARD OF COMMISSIONERS.
14. EXISTING WOODED AREAS, EXISTING WOODED AREAS SHALL BE PROTECTED TO PREVENT UNNECESSARY DESTRUCTION. AT LEAST 25% OF THE NUMBER OF TREES (MINIMUM TRUNK CALIPER OF FIVE INCHES AT SIX INCHES ABOVE THE GROUND) THAT EXIST AT THE TIME OF PLAN SUBMISSION SHALL BE MAINTAINED OR REPLACED IMMEDIATELY FOLLOWING CONSTRUCTION. REPLACEMENT TREES SHALL BE A MINIMUM TRUNK CALIPER OF THREE INCHES AT A HEIGHT OF SIX INCHES ABOVE FINISHED GRADE AND LOCATED WITHIN NONBUILDABLE SECTIONS OF THE SITE (I.E., FLOODPLAIN, STEEP SLOPE AND SETBACK AREAS). PLANS SHALL BE SUBMITTED SHOWING EXISTING TREES AND PROPOSED CONSTRUCTION AND BE IN CONFORMANCE WITH THIS SECTION.
15. A 15" FILTER SOCK WILL BE INSTALLED ALONG THE PHASE BOUNDARY BETWEEN PHASE IV-B & PHASE IV-C PRIOR TO GRADING OF LOTS NUMBER 96, 97, 98, 99, 100 AND 101.

ZONING/SITE DATA FOR LOT 6A

1. TOTAL TRACT AREA, SECTION II 103.865 ACRES
2. TOTAL NUMBER OF RESIDENTIAL LOTS, SECTION II 115 LOTS
3. TOTAL TRACT AREA, PHASE VI 40.38 ACRES
4. TOTAL NUMBER OF RESIDENTIAL LOTS, PHASE VI 36 LOTS
5. TOTAL NUMBER OF RESIDENTIAL LOTS, PHASE VI-C 14 LOTS
6. TOTAL AREA OF PHASE VI-C 19.89 ACRES

ZONING: R-1 LOW DENSITY RESIDENTIAL DISTRICT

USE: EXISTING - PHASE VI-C - VACANT LAND
PROPOSED - PHASE VI-C - RESIDENTIAL LOTS (14 LOTS)
- LOT ADDITION (1 LOT)

BUILDING HEIGHT:
LIMITATION: 35 ft. (Max.)
PROPOSED: 35 ft. (Max.)

LOT AREA:
REQUIRED: 20,000 sq. ft.
PROVIDED: 20,000 sq.ft.

LOT WIDTH:
REQUIRED: 75 ft. (Min.)
PROVIDED: 75 ft.

YARD REGULATIONS (BOTH LOTS):
FRONT YARDS: REQUIRED = 30 ft.
PROVIDED = 30 ft.
SIDE YARDS: REQUIRED = 15 ft.
PROVIDED = 15 ft.
REAR YARD: REQUIRED = 15 ft.
PROVIDED = 15 ft.

LOT COVERAGE:
NOT MORE THAN 25% SHALL BE OCCUPIED BY BUILDINGS.
NOT MORE THEN 40% SHALL BE OCCUPIED BY IMPERVIOUS SURFACE.
EXISTING:
BUILDING - 0.0%
IMPERVIOUS - 0.0%
PROPOSED:
BUILDING - 25% (Max.)
IMPERVIOUS - 40% (Max.)

PARKING:
REQUIRED: 2 SPACES PER DWELLING UNIT
PROVIDED: 2 SPACES

LIST OF UTILITIES:

INFORMATION CONCERNING UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE COMPLETE OR ACCURATE. CONTRACTOR IS RESPONSIBLE TO CONTACT ALL UTILITY OWNERS, AND TO DETERMINE THE LOCATION OF ALL UNDERGROUND UTILITIES, PRIOR TO EXCAVATION BY USE OF POWER-OPERATED EQUIPMENT.

PA ONE-CALL SERIAL NUMBER - 20170180254

VERIZON PENNSYLVANIA INC.
100 GETTYSBURG PIKE
PITTSBURGH, PA 15212
ATTENTION: OFFICE PERSONNEL

SUEZ WATER PENNSYLVANIA INC.
4211 E. PARK CIRCLE
HARRISBURG, PA 17111
ATTENTION: NAT SHEFFER
EMAIL: nathaniel.sheffer@suez-na.com

FIRSTENERGY CORP.
76 S. MAIN ST.
AKRON, OH 44308-1890
CONTACT: OFFICE PERSONNEL

PPL ELECTRIC UTILITIES CORP.
1 LARCH ST.
SCRANTON, PA 18509
CONTACT: MICHAEL GERRITY-DRUTHER
EMAIL: mgerrity-druther@pplweb.com

COMCAST CABLE COMMUNICATIONS INC.
4601 SMITH ST.
HARRISBURG, PA 17109
CONTACT: MICHAEL SWEIGERD
EMAIL: mike_sweigard@cable.comcast.com

UPPER ALLEN TOWN. COMMUNITY DEVEL.
100 GETTYSBURG PIKE
MECHANICSBURG, PA 17055
CONTACT: ALLISON FUNK
EMAIL: afunk@uatwp.org

UPPER ALLEN TOWHSIP
100 GETTYSBURG PIKE
MECHANICSBURG, PA 17055
CONTACT: KODI HOCKENBERRY
EMAIL: khockenberry@uatwp.org

UGI UTILITIES INC.
1301 AIP DRIVE
MIDDLETOWN, PA 17057-5987
CONTACT: JOANNE ARCHFIELD
EMAIL: jarchfield@ugi.com

SUNOCO PIPELINE LP
525 FRITZ TOWN RD
SINKING SPRING, PA 19608
CONTACT: ONE CALL DEPARTMENT
EMAIL: tlhoffman@sunocologistics.com

CALL BEFORE YOU DIG!

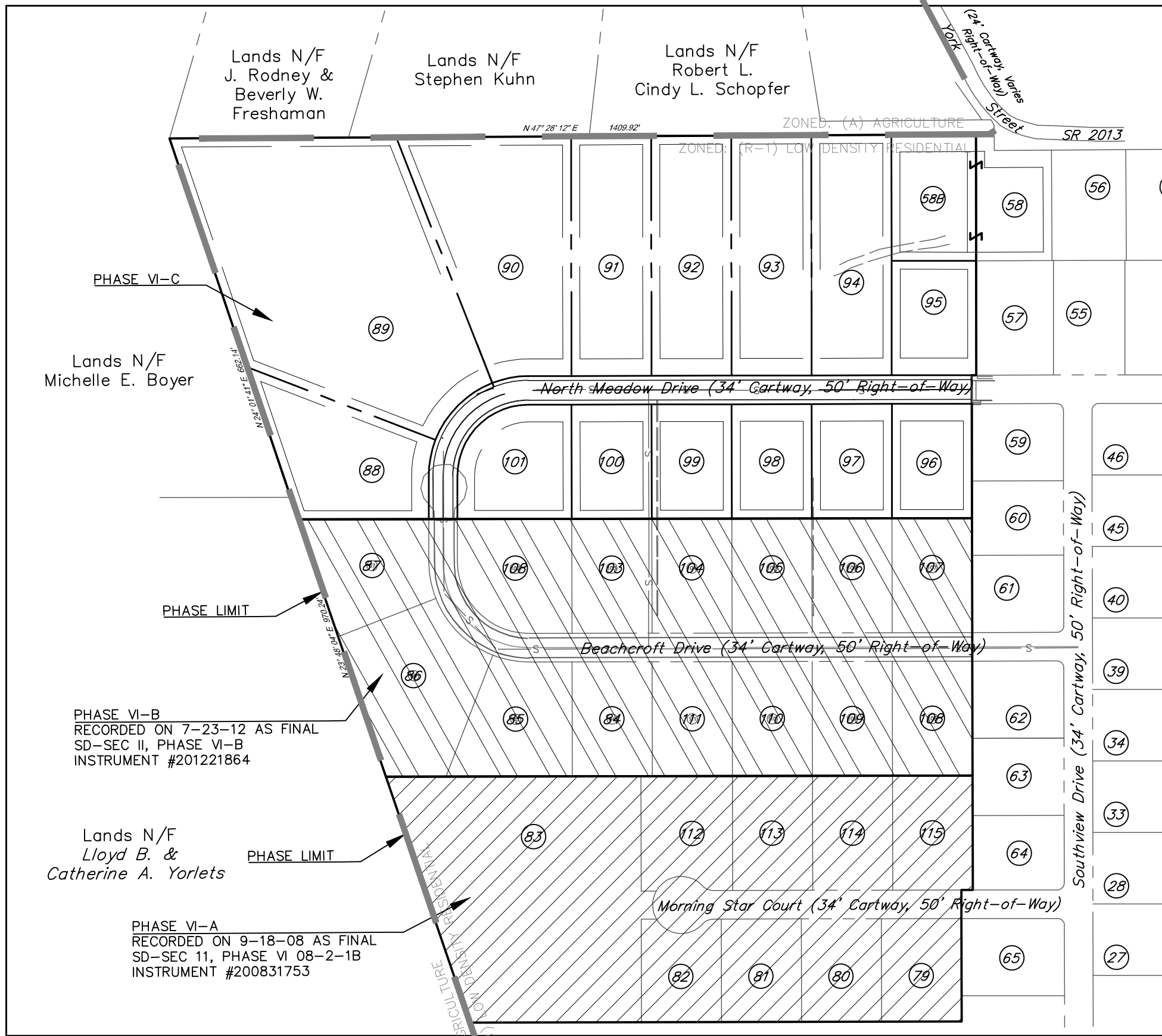


PENNSYLVANIA LAW REQUIRES
3 WORKING DAYS NOTICE FOR
CONSTRUCTION PHASE AND
10 WORKING DAYS IN DESIGN STAGE
STOP! - CALL
PENNSYLVANIA ONE CALL SYSTEM, INC.
1-800-242-1776

SHEET INDEX:

- SHEET 1 OF 9 - COVER / EXISTING GEOMETRY PLAN
SHEET 2 OF 9 - PLAN OF PROPOSED LOTS
SHEET 3 OF 9 - PLAN OF PROPOSED LOTS
SHEET 4 OF 9 - SITE CONTOUR & UTILITY PLAN
SHEET 5 OF 9 - SITE CONTOUR & UTILITY PLAN
SHEET 6 OF 9 - STREET & UTILITY PROFILES
SHEET 7 OF 9 - UTILITY & DIVERSION CHANNEL PROFILES
SHEET 8 OF 9 - SANITARY SEWER DETAILS
SHEET 9 OF 9 - E&S NOTES & DETAILS
ES1 - ES9 - EROSION AND SEDIMENTATION PLANS*

* E&S PLAN WERE APPROVED BY CUMBERLAND COUNTY CONSERVATION DISTRICT ON 3-24-08 FOR THE ENTIRE PHASE VI PROJECT; THEREFORE ARE NOT INCLUDED WITH THIS PHASE VI-C SUBMISSION.



PLAN

SCALE: 1" = 200'

WAIVERS REQUESTS

ITEM	ACTION STATUS	
	PLANNING COMMISSION APPROVAL	BOARD OF COMMISSIONERS APPROVAL
1. 220-9C(2)0 - 1' CONTOURS	*	*
2. 220-11B - HYDROGEOLOGIC STUDY	*	*
3. 220-11D - STEEP SLOPE REPORT	*	*
4. TRAFFIC IMPACT REPORT	*	*
5. 220-11G - PARK AND RECREATION REPORT	*	*
6. 217-17 - GROUNDWATER RECHARGE	*	*
7. 220-10B(1)(K) - LANDSCAPE PLAN	*	*

NOTES:
* THESE WAIVER REQUESTS WERE PREVIOUSLY APPROVED BY BOTH THE UPPER ALLEN TOWNSHIP PLANNING COMMISSION AND THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS FOR PHASE VI, PHASE VI-A AND PHASE VI-B ON 12-17-07, 1-07-08 AND 4-24-2012 RESPECTIVELY.

OWNER AND DEVELOPERS:

CINDY L. ARNOLD - STEELE
1929 FISHER ROAD
MECHANICSBURG, PA 17055

MARK A. KNAUB
353 WHISKEY SPRING ROAD
DILLSBURG, PA 17019

CINDY L. ARNOLD AND
MARK A. KNAUB PARTNERS
1929 FISHER ROAD
MECHANICSBURG, PA 17055
PHONE: 717-790-9140

PROPERTY REFERENCE -

REMAINING ACRES OF LOT 79:

PIN #: 42-10-0646-031
DEED BOOK: 00207-00938
PLAN BOOK: 87 PG: 52
MEADOWVIEW ESTATES SECTION II

PROJECT ENGINEER/SURVEYOR

Akens Engineering Associates, Inc.

SCOTT W. AKENS, P.E., P.L.S.
219 E. Main St. Shiremanstown, Pa. 17011 (P)
717-975-9933 (F) 717-975-5507
www.akensengineering.com
scott@akensengineering.com

COMMONWEALTH OF PENNSYLVANIA

COUNTY OF CUMBERLAND

ON THIS THE ____ DAY OF _____, 2017
BEFORE ME THE UNDERSIGNED DID PERSONALLY APPEAR

CINDY L. ARNOLD

MARK A. KNAUB

WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS
THAT THEY ARE THE OWNERS OF PHASE VI-C AS DEPICTED ON THIS
PLAN AND THAT THEY ACKNOWLEDGE THE SAME TO BE THEIR ACT
AND DEED AND DESIRE THE SAME TO BE RECORDED AS SUCH
ACCORDING TO LAW.

WITNESS MY HAND AND NOTARIAL SEAL THE DAY AND DATE ABOVE
WRITTEN

NOTARY PUBLIC

UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS

EACH FINAL PLAN SUBMITTED FOR APPROVAL SHALL CARRY A
CERTIFICATION OF APPROVAL IN SUBSTANTIALLY THE FOLLOWING FORM:
APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER ALLEN
TOWNSHIP THIS ____ DAY OF _____, 2017.

ATTEST: _____ SECRETARY _____ CHAIRMAN

UPPER ALLEN TOWNSHIP PLANNING COMMISSION

APPROVED BY THE PLANNING COMMISSION OF UPPER ALLEN TOWNSHIP,
THIS ____ DAY OF _____, 2017.

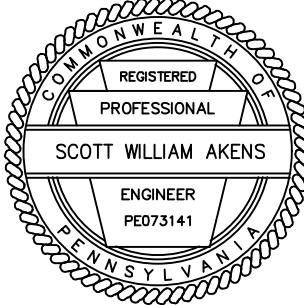
ATTEST: _____ SECRETARY _____ CHAIRMAN

I, _____, HEREBY CERTIFY THAT I AM A
REGISTERED LAND SURVEYOR, OR REGISTERED ENGINEER IN COMPLIANCE
WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS
PLAN CORRECTLY REPRESENTS A SURVEY COMPLETED BY ME ON

_____, THAT ALL THE MONUMENTS SHOWN
THEREON ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE, AND
MATERIAL ARE ACCURATELY SHOWN.

SCOTT W. AKENS

Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ____ day of _____, 2017.



CUMBERLAND COUNTY PLANNING DEPARTMENT

REVIEWED THIS ____ DAY OF _____, 2017
BY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.

DIRECTOR OF PLANNING

RECORD INFORMATION

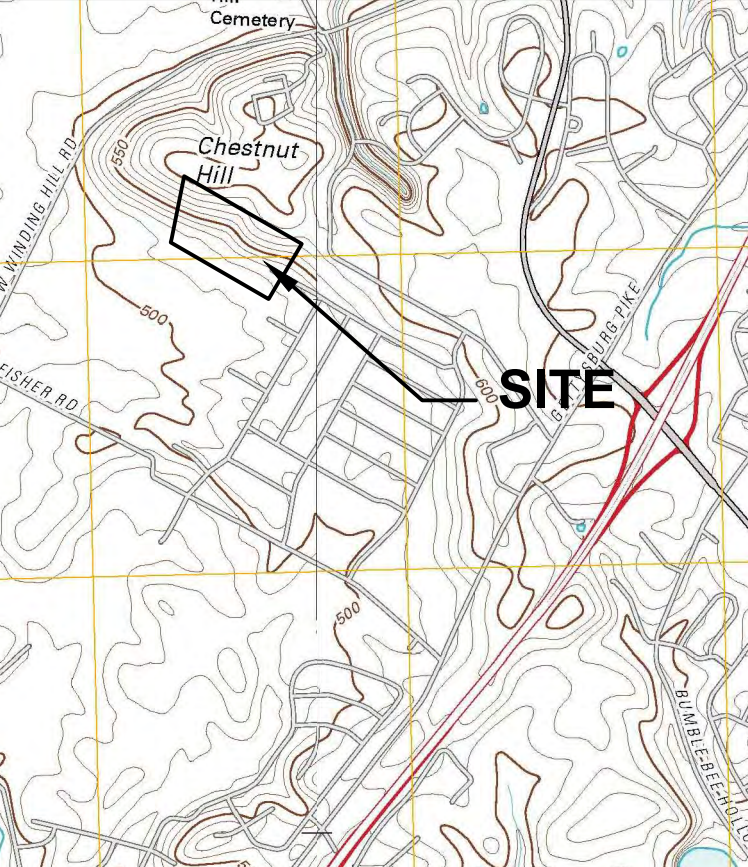
RECORDED IN THE CUMBERLAND COUNTY COURTHOUSE
RECORDED THIS ____ DAY OF _____, 2017.

INSTRUMENT NO. _____

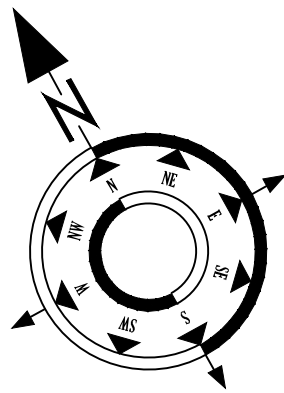
Akens Engineering Associates, Inc.
219 E. Main St. Shiremanstown, Pa. 17011
(P) 717-975-9933 (F) 717-975-5507
www.akensengineering.com

"Providing Quality Engineering & Surveying
Services since 1983."

LOCATION MAP



SCALE: 1" = 2000'



REVISIONS:

3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN
TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
3/20/2017 REVISED AS PER LETTERS FROM UPPER
ALLEN TOWNSHIP DATED: 3/16/2017

FINAL SUBDIVISION AND
LAND DEVELOPMENT PLAN
FOR
MEADOWVIEW ESTATES,
SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

COVER / EXISTING GEOMETRY

SCALE: SHEET NUMBER:

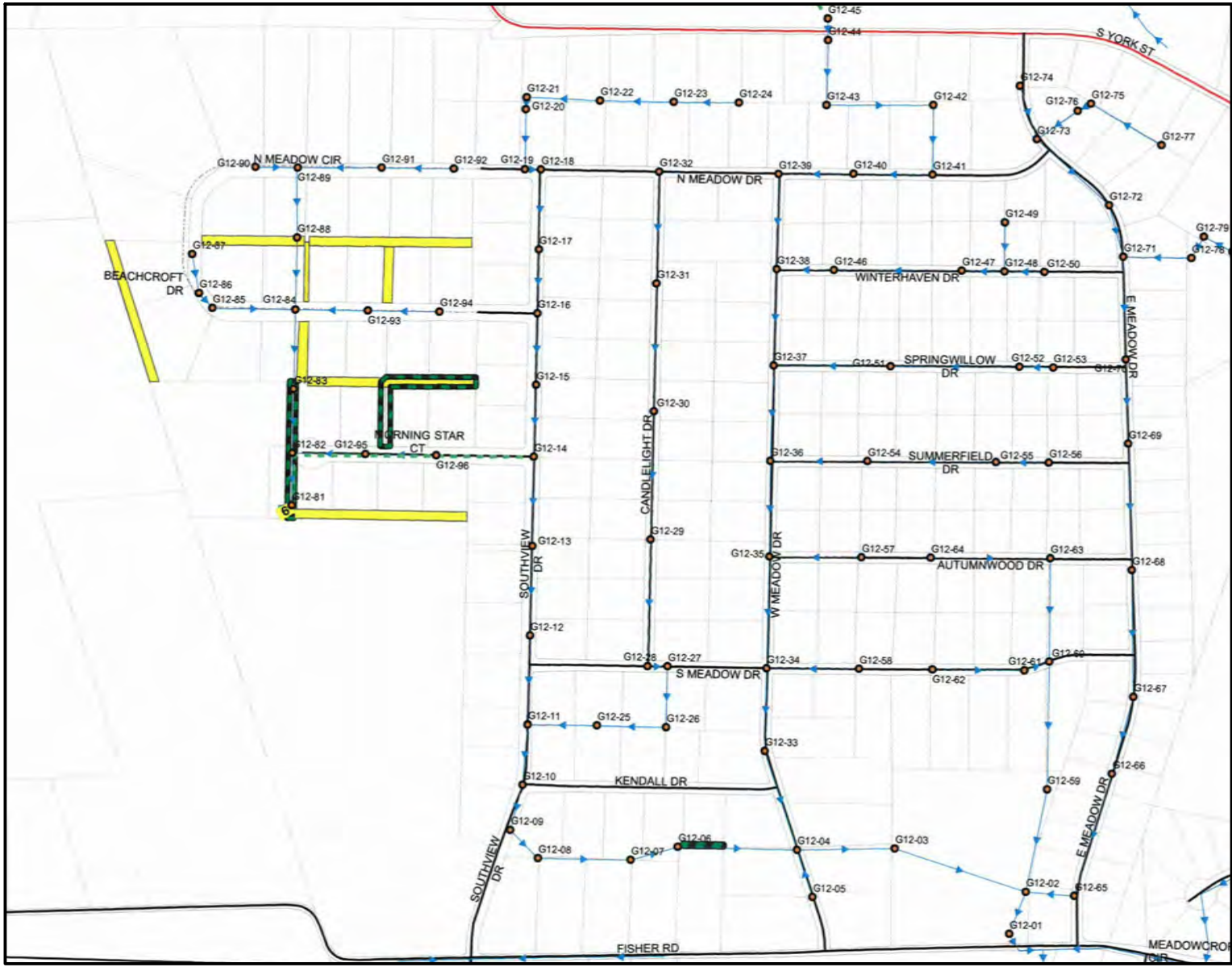
1" = 200'

PLAN DATE:

FEBRUARY 1, 2017

FILE NAME:

X:\407-3-1 - Meadowview 6-C\dwgs\407 Meadowview - Phase
VI-C - Base.dwg



SANITARY SEWER EXTENSIONS INDEX MAP

SCALE: 1" = 500'

PHASE VI-C LOT SIZE:

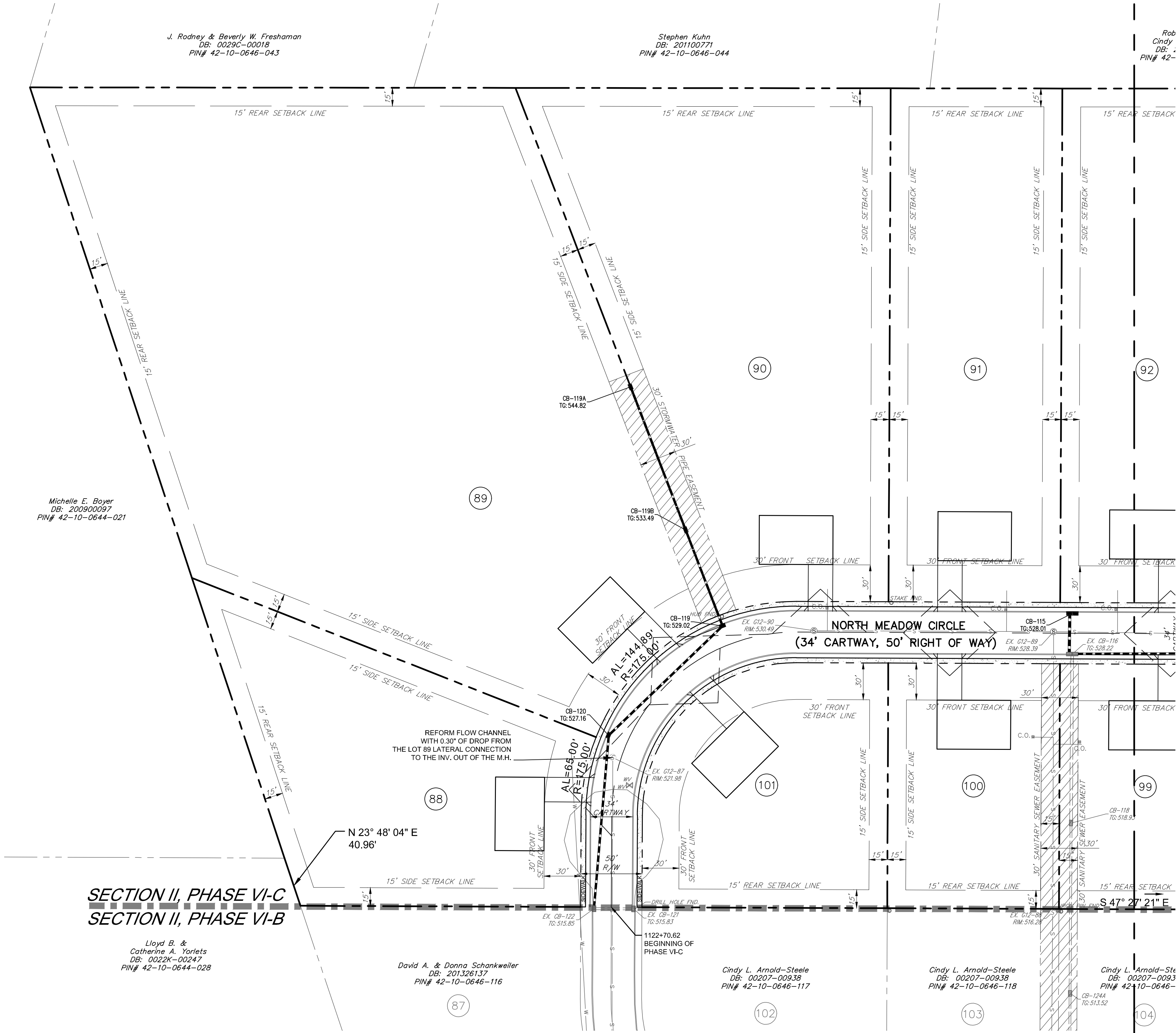
LOT# 88	53,550 S.F. = 1.22 Ac.
LOT# 89	190,511 S.F. = 4.37 Ac.
LOT# 90	94,264 S.F. = 2.16 Ac.
LOT# 91	58,672 S.F. = 0.64 Ac.
LOT# 92	58,734 S.F. = 1.34 Ac.
LOT# 93	58,795 S.F. = 1.34 Ac.
LOT# 94	58,857 S.F. = 1.35 Ac.
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LOT#58B	32,623 S.F. = 0.75 Ac.

EXISTING LEGEND

EXISTING PROPERTY BOUNDARY LINE
EXISTING ADJOINER PROPERTY LINE
EXISTING BUILDING SETBACK LINE
EXISTING CONTOUR LINE
EXISTING CONCRETE CURB
EXISTING SANITARY SEWER PIPE & MANHOLES
EXISTING SANITARY SEWER LATERALS & CLEANOUTS
EXISTING STORM SEWER PIPES & INLETS
EXISTING EDGE OF MACADAM SURFACE
EXISTING CENTER LINE OF ROAD
EXISTING WATER LINE
EXISTING BUILDING

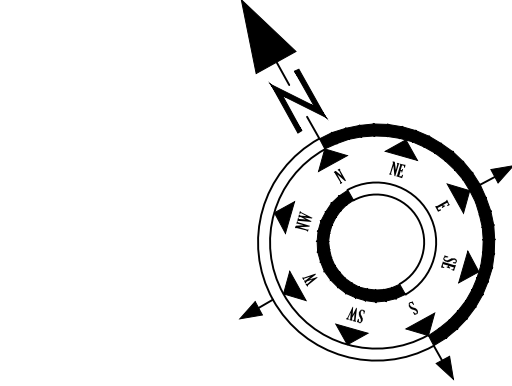
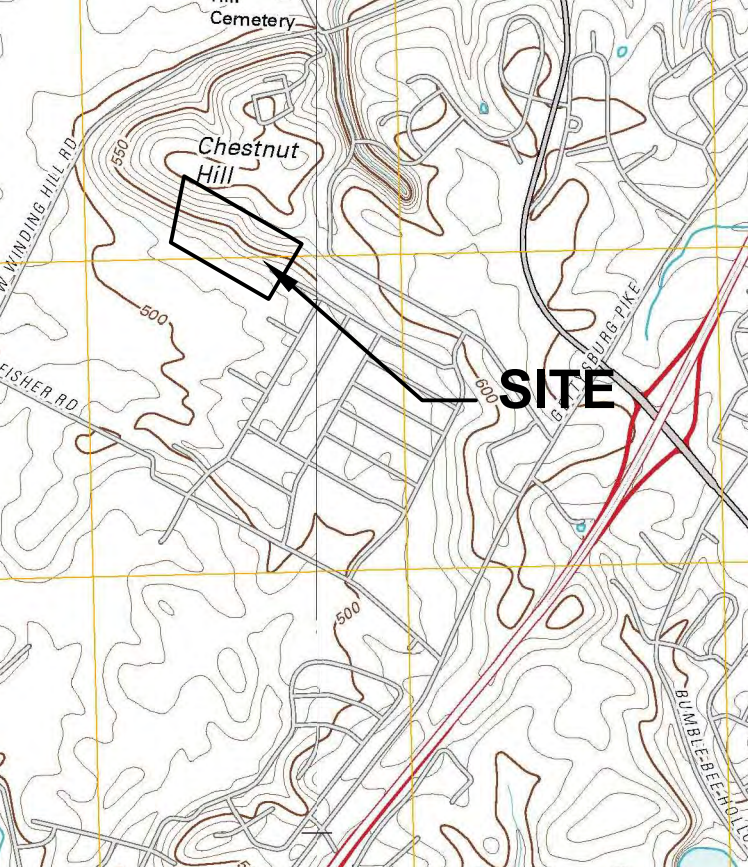
PROPOSED LEGEND

PROPOSED METES AND BOUNDS
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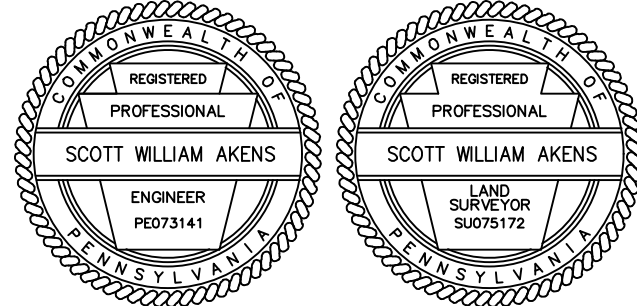
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LOCATION MAP



I hereby certify that this plan is correct and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



25 0 25 50
1" = 50 FEET

REVISIONS:

3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
3/20/2017 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 3/16/2017

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR MEADOWVIEW ESTATES, SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA

PLAN OF PROPOSED LOTS

SCALE:	SHEET NUMBER:
1" = 50'	2 of 9
PLAN DATE:	
FEBRUARY 1, 2017	
FILE NAME:	
X:\407-3-1 - Meadowview 6-C\dwg\407 Meadowview - Phase VI-C - Base.dwg	

PHASE VI-C LOT SIZE:

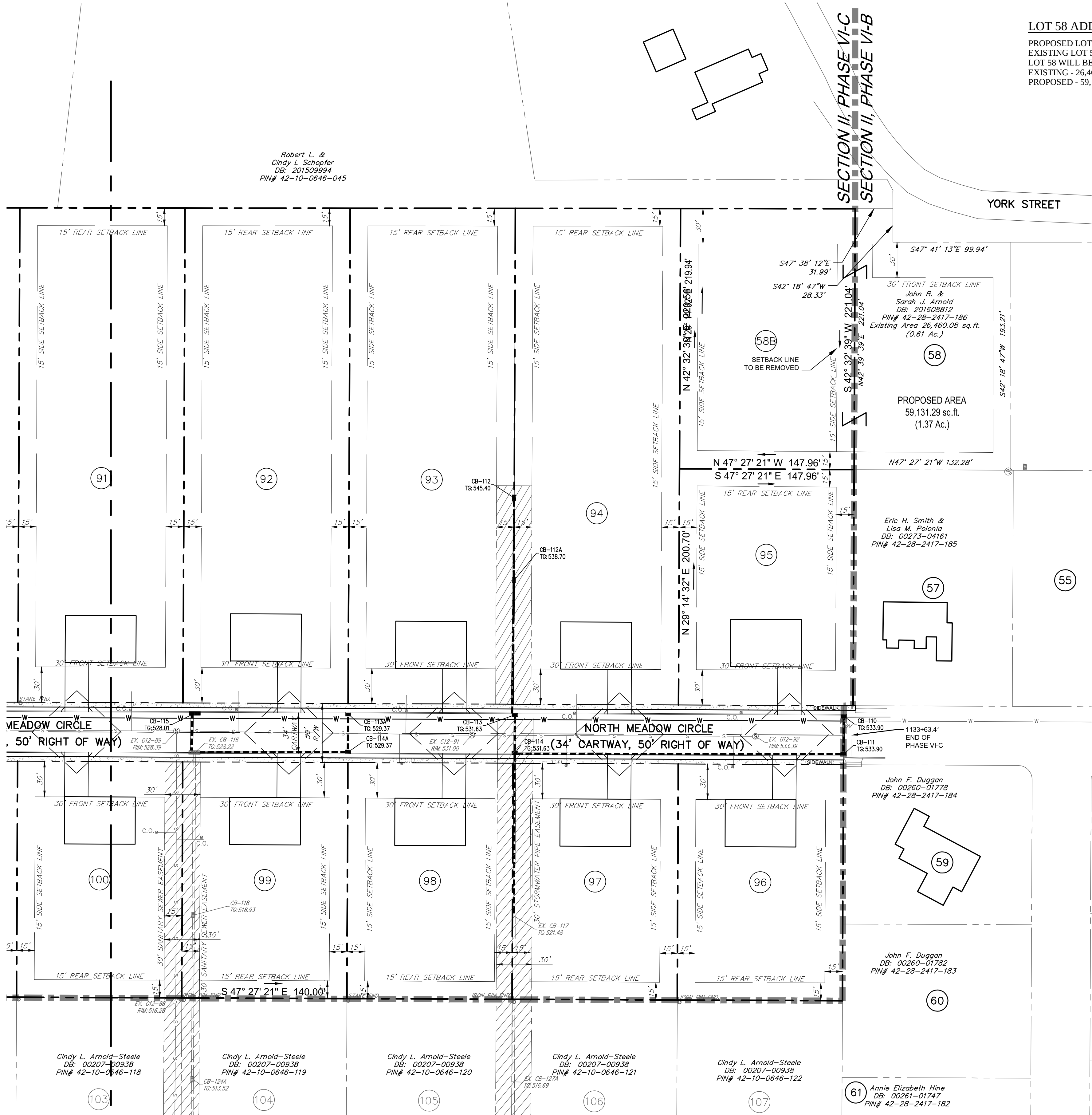
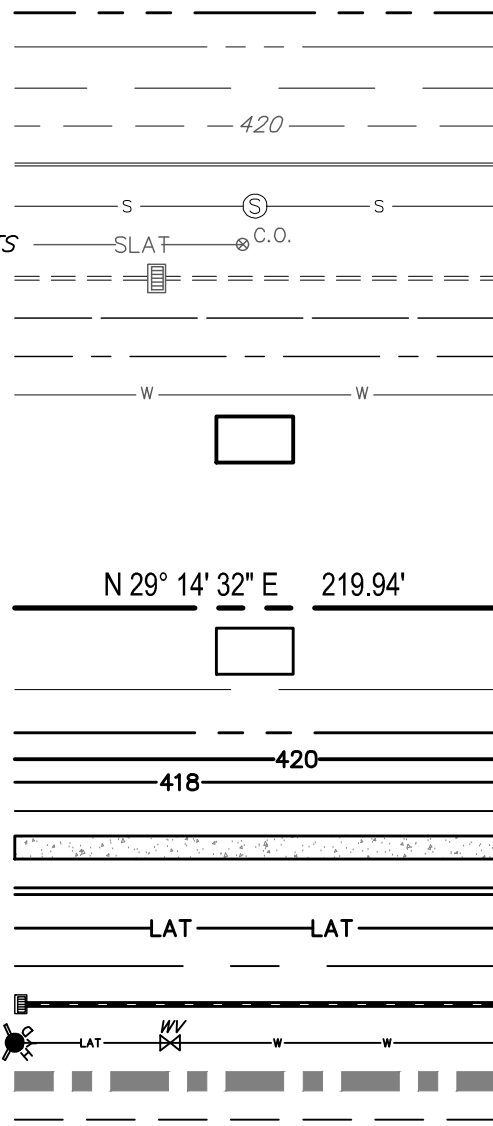
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EXISTING BUILDING

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PROPOSED METES AND BOUNDS
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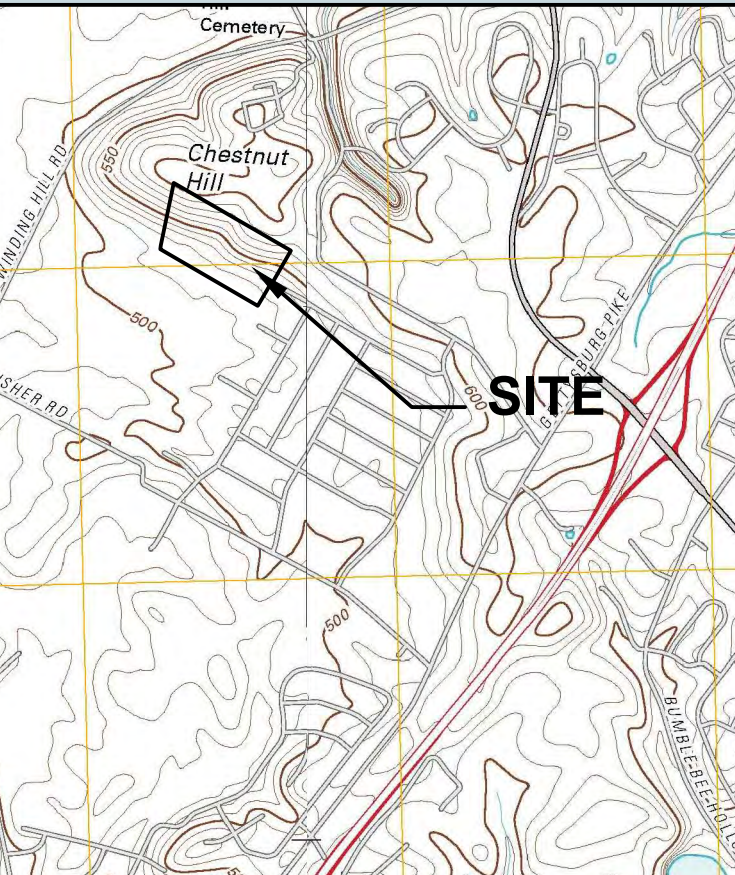


LOT 58 ADD-ON:

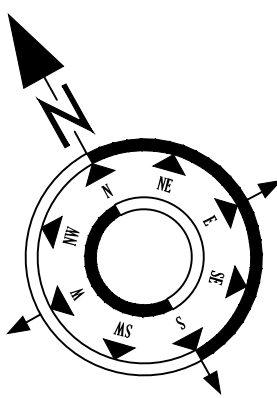
PROPOSED LOT 58B WILL BE ADDED TO
EXISTING LOT 58.
LOT 58 WILL BE INCREASED FROM
EXISTING - 26,460.08 sq.ft. (0.61 Ac.) TO
PROPOSED - 59,131.29 sq.ft. (1.37 Ac.)

Akens Engineering Associates, Inc.
219 E. Main St. Shiremanstown, Pa. 17011
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LOCATION MAP

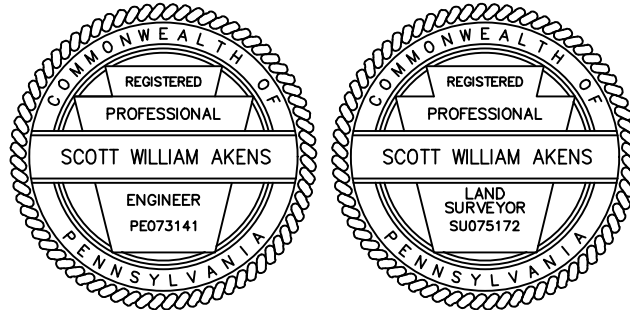


SCALE: 1" = 2000'



I hereby certify that this plan is correct
and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



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1"= 50 FEET

REVISIONS:

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**FINAL SUBDIVISION AND
LAND DEVELOPMENT PLAN
FOR
MEADOWVIEW ESTATES,
SECTION II, PHASE VI-C**

**UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA**

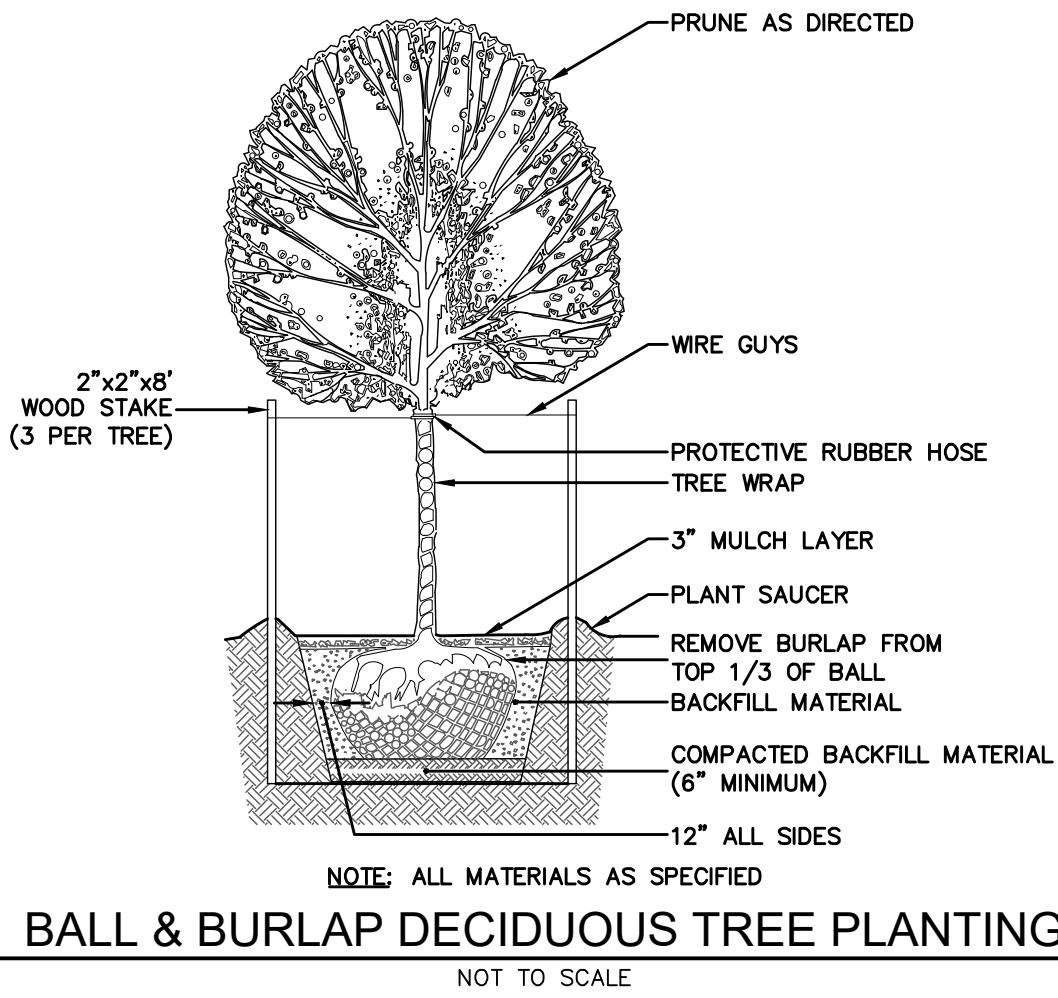
PLAN OF PROPOSED LOTS

SCALE:	SHEET NUMBER:
1" = 50'	3 of 9
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NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN COMPLIANCE WITH SANITARY SEWER DETAILS CONFORMING TO THE LATEST REVISIONS OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS FOR UPPER ALLEN TOWNSHIP.
2. CONNECT NEW WATERLINE TO EXISTING 8" LINE AT NORTH MEADOW CIRCLE.
3. FINAL LOCATION OF NEW FIRE HYDRANTS AS DETERMINED BY UNITED WATER PENNSYLVANIA COMPANY WILL BE SUPPLIED TO THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS WHEN COMPLETED.
4. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
5. CONSTRUCTION OF DRIVEWAY ACCESS CURBS SHALL BE IN ACCORDANCE WITH PENNDOT STANDARD RC-64M.
6. CONNECT SANITARY SEWER LINE FROM G12-89 TO THE EXTENSION COMPLETED IN PHASE VI-B.
7. FIRE HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF UNITED WATER OF PENNSYLVANIA.
8. WATER LINE TO BE LOCATED A MINIMUM OF 5' FROM THE NEAREST CURB LINE TO AVOID CONFLICT WITH PROPOSED CATCH BASINS AND A MINIMUM OF 1' VERTICAL CLEARANCE BELOW ANY STORMWATER CROSS PIPES.
9. CB-117 AND CB-118 WERE CONSTRUCTED AS PART OF PHASE VI-B.
10. A 300' EXTENSION OF AN 8" SANITARY LINE WAS CONSTRUCTED NORTHEAST FROM MH G12-88 AND CAPPED AS PART OF PHASE VI-B.
11. TWENTY TWO (22) SHADE TREES ARE TO BE PLANTED IN THIS PHASE ACCORDANCE WITH UPPER ALLEN TOWNSHIP ORDINANCE. THESE TREES ELEVEN (11) ON EACH SIDE OF RIGHT OF WAY TO BE INSTALLED UPON DETERMINATION OF FINAL SITE GRADING OR RESPECTIVE LOTS.

Driveway Sight Distance Table		
Maximum Required Sight Distance: SD = 1.47 Vt + V ² /30 (f+g) = 99.28		
Where: SD = Sight Distance (feet) V = Speed of Vehicle (mph) t = 2.5 seconds (driver response time) f = 0.3 (friction of wet pavement) G = Road Grade (percent/100) + up, - down		
Lot #	Sight Distance Right	Sight Distance Left
88	300'	230'
89	350'	1080' (to intersection)
90	230'	940' (to intersection)
91	200'	830' (to intersection)
92	380'	650' (to intersection)
93	520'	510' (to intersection)
94	660'	370' (to intersection)
95	800'	230' (to intersection)
96	230' (to intersection)	800'
97	370' (to intersection)	660'
98	510' (to intersection)	520'
99	650' (to intersection)	380'
100	830' (to intersection)	200'
100	280'	200'



PLANT SCHEDULE (STREET TREES)			
QUANTITY	SYMBOL	PLANT NAME	SIZE
6	Ag	Acer glabrum AMUR MAPLE	MIN. 5' HT. 2" CAL. B&B
5	Ab	Acer buergerianum TRIDENT MAPLE	MIN. 5' HT. 2" CAL. B&B
5	C	Crataegus phaenopyrum WASHINGTON HAWTHORNE	MIN. 5' HT. 2" CAL. B&B
5	Cv	Crataegus viridis WINTER KING HAWTHORNE	MIN. 5' HT. 2" CAL. B&B

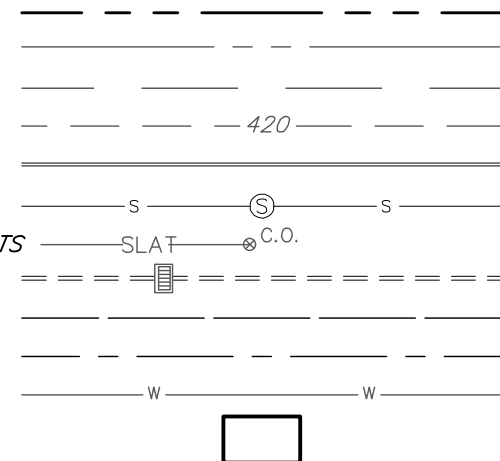
PHASE VI-C LOT SIZE:

LOT# 88 53,550.S.F. = 1.22 Ac.
LOT# 89 190,511 S.F. = 4.37 Ac.
LOT# 90 94,264 S.F. = 2.16 Ac.
LOT# 91 58,672 S.F. = 0.64 Ac.
LOT# 92 58,734 S.F. = 1.34 Ac.
LOT# 93 58,795 S.F. = 1.34 Ac.
LOT# 94 58,857 S.F. = 1.35 Ac.
LOT# 95 62,271 S.F. = 1.43 Ac.
LOT# 96 28,000 S.F. = 0.64 Ac.
LOT# 97 28,000 S.F. = 0.64 Ac.
LOT# 98 28,000 S.F. = 0.64 Ac.
LOT# 99 28,000 S.F. = 0.64 Ac.
LOT# 100 28,000 S.F. = 0.64 Ac.
LOT# 101 36,646 S.F. = 0.84 Ac.
LOT#58B 32,623 S.F. = 0.75 Ac.

PHASE VI - C SANITARY SEWER MANHOLE COORDINATES		
MH-NO.	NORTHING	EASTING
G12-87	310476.8870'	2177067.0870'
G12-88	310192.5730'	2177319.6460'
G12-90	310487.9080'	2177260.7700'
G12-89	310392.4370'	2177431.2900'
G12-91	310267.9700'	2177648.4040'
G12-92	310150.6090'	2177858.1310'

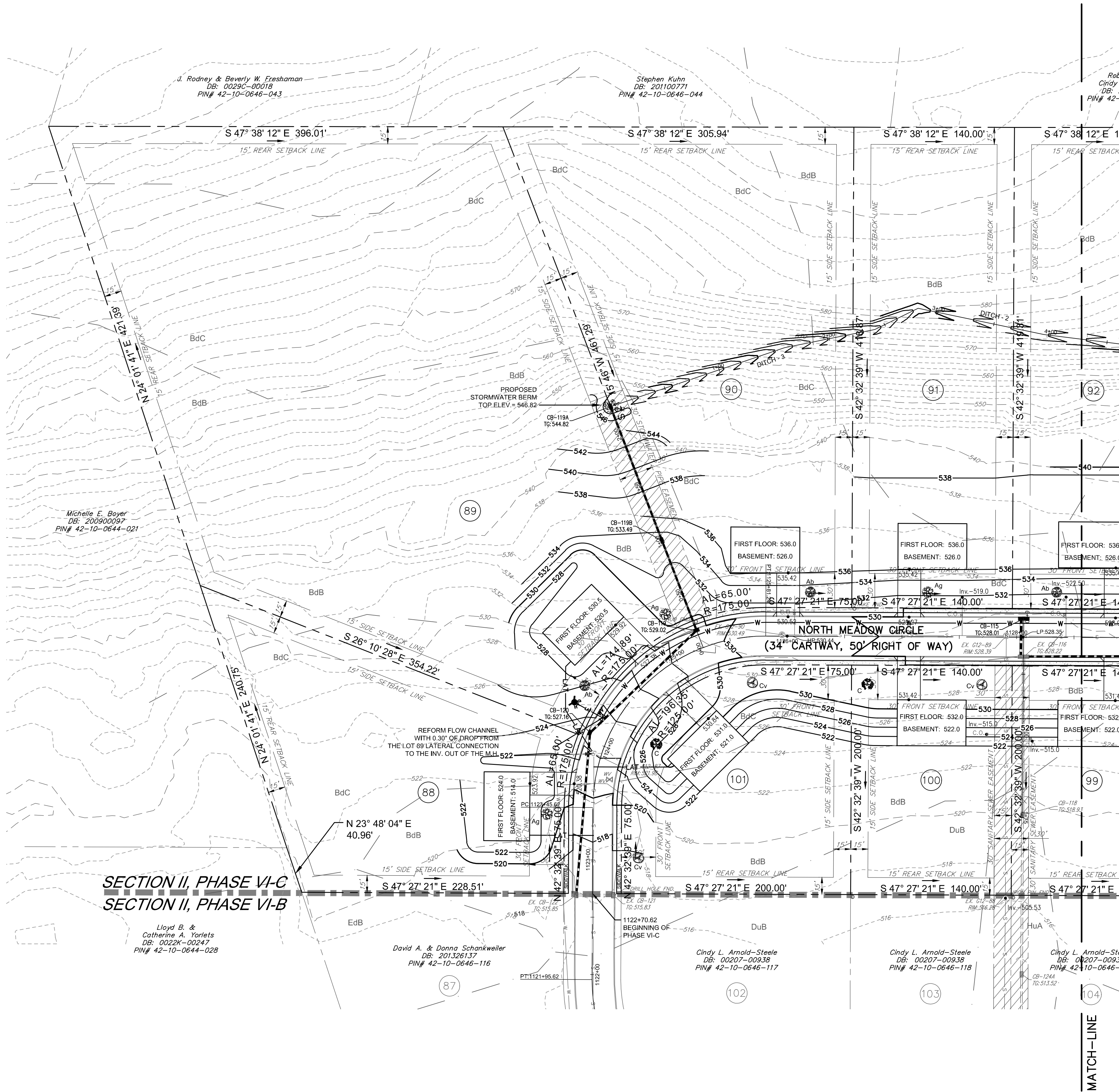
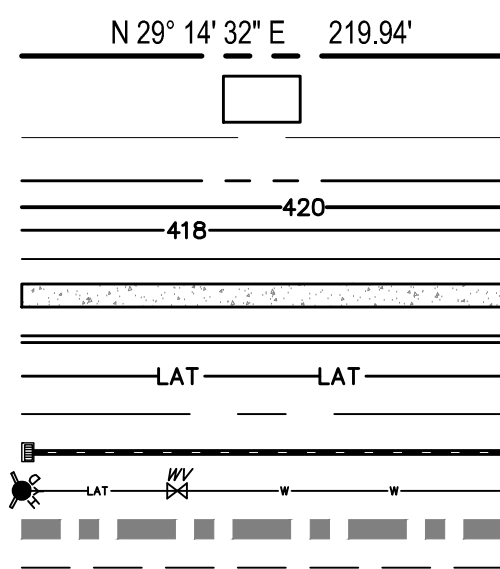
EXISTING LEGEND

EXISTING PROPERTY BOUNDARY LINE
EXISTING ADJOINER PROPERTY LINE
EXISTING BUILDING SETBACK LINE
EXISTING CONTOUR LINE
EXISTING CONCRETE CURB
EXISTING SANITARY SEWER PIPE & MANHOLES
EXISTING SANITARY SEWER LATERALS & CLEANOUTS
EXISTING STORM SEWER PIPES & INLETS
EXISTING EDGE OF MACADAM SURFACE
EXISTING CENTER LINE OF ROAD
EXISTING WATER LINE
EXISTING BUILDING



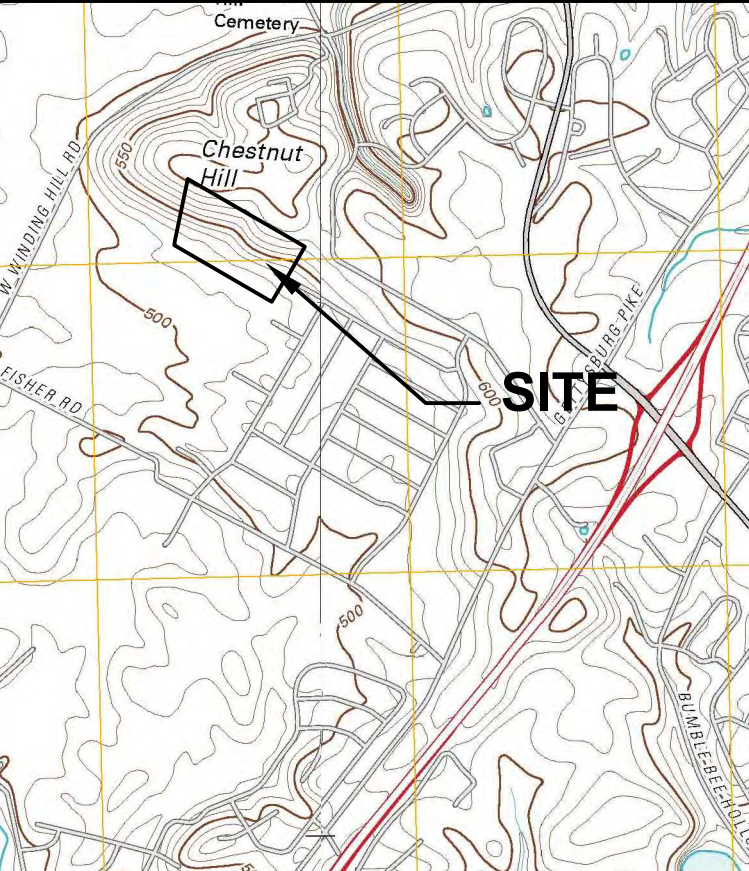
PROPOSED LEGEND

PROPOSED METES AND BOUNDS
PROPOSED BUILDING
PROPOSED BUILDING SETBACK
PROPOSED RIGHT-OF-WAY
PROPOSED CONTOURS
PROPOSED EDGE OF MACADAM
PROPOSED SIDEWALK
PROPOSED CURB
PROPOSED SANITARY SEWER LATERAL
PROPOSED CENTER LINE
PROPOSED STORM WATER PIPES & INLETS
PROPOSED WATER LINE, WATER VALVE & HYDRANT
PROPOSED PHASE LINE
PROPOSED CLEAR SITE TRIANGLE LINE

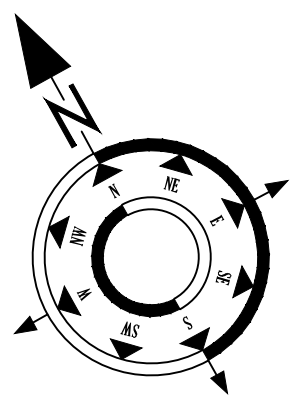


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LOCATION MAP

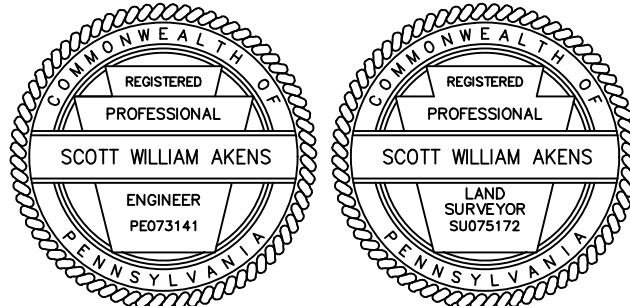


SCALE: 1" = 2000'



I hereby certify that this plan is correct and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



25 0 25 50
1"= 50 FEET

REVISIONS:

3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
3/20/2017 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 3/16/2017

FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR MEADOWVIEW ESTATES, SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

SITE CONTOUR & UTILITY PLAN

SCALE:	SHEET NUMBER:
1" = 50'	4 of 9
PLAN DATE:	
FEBRUARY 1, 2017	
FILE NAME:	

X:\407-3-1 - Meadowview 6-C\dwgs\407 Meadowview - Phase VI-C - Base.dwg

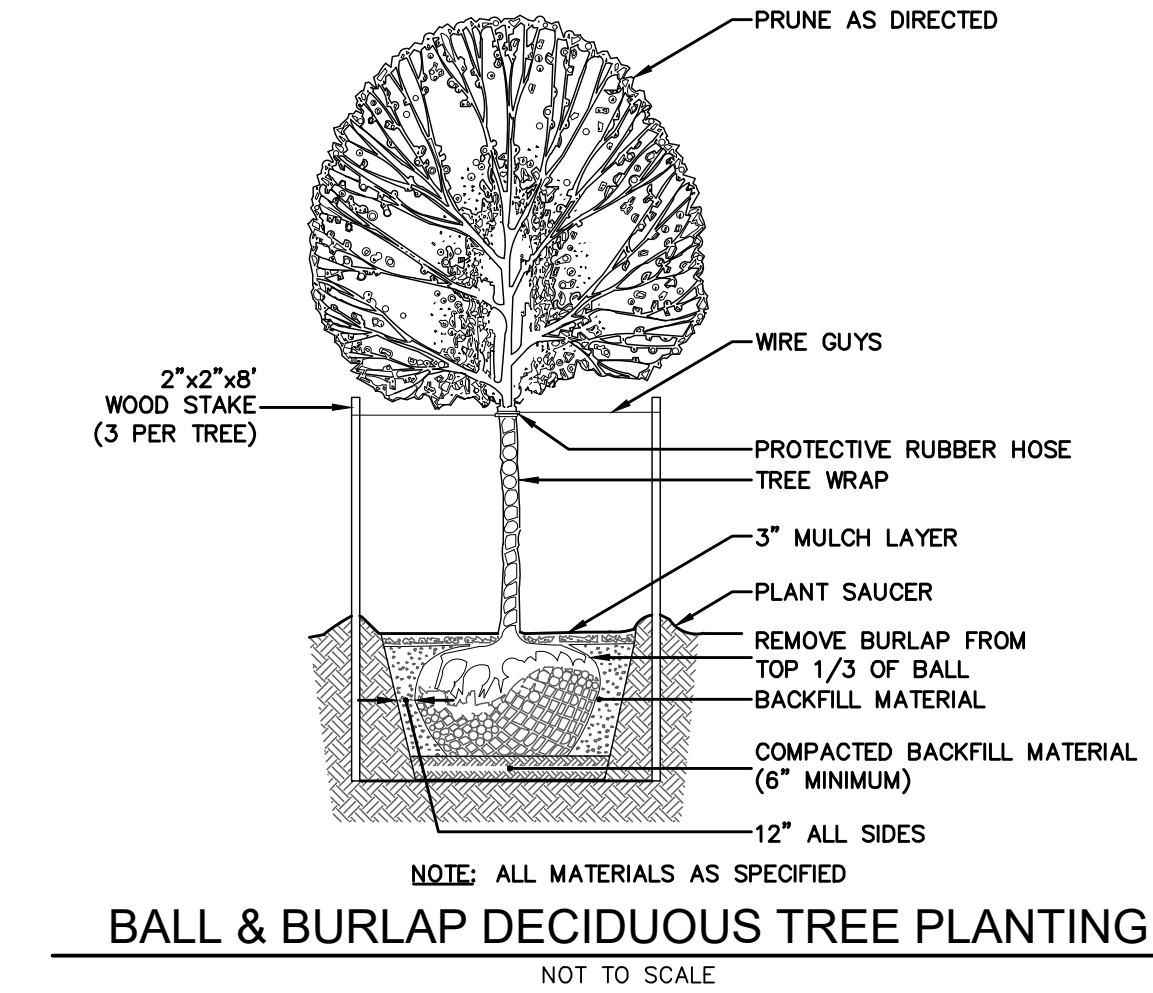
NOTES:

1. ALL SANITARY SEWER CONSTRUCTION SHALL BE PERFORMED IN COMPLIANCE WITH SANITARY SEWER DETAILS CONFORMING TO THE LATEST REVISIONS OF THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS FOR UPPER ALLEN TOWNSHIP.
2. CONNECT NEW WATERLINE TO EXISTING 8" LINE AT NORTH MEADOW CIRCLE.
3. FINAL LOCATION OF NEW FIRE HYDRANTS AS DETERMINED BY UNITED WATER PENNSYLVANIA COMPANY WILL BE SUPPLIED TO THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS WHEN COMPLETED.
4. NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.
5. CONSTRUCTION OF DRIVEWAY ACCESS CURBS SHALL BE IN ACCORDANCE WITH PENNDOT STANDARD RC-64M.
6. CONNECT SANITARY SEWER LINE FROM G12-89 TO THE EXTENSION COMPLETED IN PHASE VI-B.
7. FIRE HYDRANTS SHALL CONFORM TO THE SPECIFICATIONS OF UNITED WATER OF PENNSYLVANIA.
8. WATER LINE TO BE LOCATED A MINIMUM OF 5' FROM THE NEAREST CURB LINE TO AVOID CONFLICT WITH PROPOSED CATCH BASINS AND A MINIMUM OF 1' VERTICAL CLEARANCE BELOW ANY STORMWATER CROSS PIPES.
9. CB-117 AND CB-118 WERE CONSTRUCTED AS PART OF PHASE VI-B.
10. A 200' EXTENSION OF AN 8" SANITARY LINE WAS CONSTRUCTED NORTHEAST FROM MH G12-88 AND CAPPED AS PART OF PHASE VI-B.
11. TWENTY TWO (22) SHADE TREES ARE TO BE PLANTED IN THIS PHASE ACCORDANCE WITH UPPER ALLEN TOWNSHIP ORDINANCE, THESE TREES ELEVEN (11) ON EACH SIDE OF RIGHT OF WAY TO BE INSTALLED UPON DETERMINATION OF FINAL SITE GRADING OR RESPECTIVE LOTS.

PHASE VI-C LOT SIZE:

LOT# 88	53,550S.F. = 1.22 Ac.
LOT# 89	190,511 S.F. = 4.37 Ac.
LOT# 90	94,264 S.F. = 2.16 Ac.
LOT# 91	58,672 S.F. = 0.64 Ac.
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LOT# 99	28,000 S.F. = 0.64 Ac.
LOT# 100	28,000 S.F. = 0.64 Ac.
LOT# 101	36,646 S.F. = 0.84 Ac.
LOT#58B	32,623 S.F. = 0.75 Ac.

PHASE VI - C		
SANITARY SEWER MANHOLE COORDINATES		
MH-NO.	NORTHING	EASTING
G12-87	310476.8870'	2177067.0870'
G12-88	310192.5730'	2177319.6460'
G12-89	310487.9080'	2177260.7700'
G12-90	310392.4370'	2177431.2900'
G12-91	310267.9700'	2177648.4040'
G12-92	310150.6090'	2177858.1310'



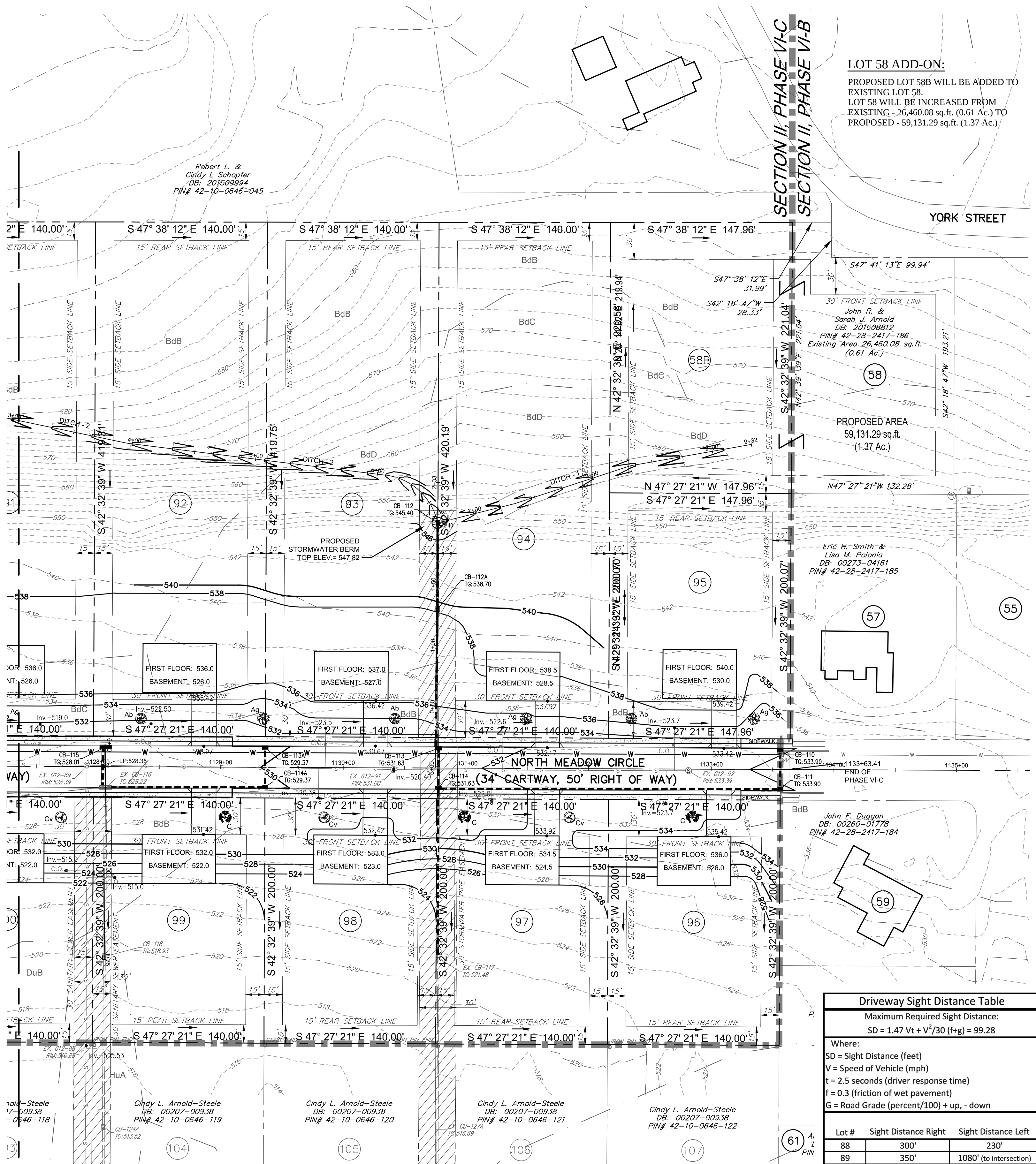
PLANT SCHEDULE (STREET TREES)		
QUANTITY	SYMBOL	PLANT NAME
6	Ag	Acer glabro AMUR MAPLE
5	Ab	Acer buergerianum TRIDENT MAPLE
5	C	Crataegusphoenopyrum WASHINGTON HAWTHORNE
5	Cv	Crataegus viridis WINTER KING HAWTHORNE
		SIZE
		MIN. 5' HT. 2" CAL. B&B
		MIN. 5' HT. 2" CAL. B&B
		MIN. 5' HT. 2" CAL. B&B
		MIN. 5' HT. 2" CAL. B&B

EXISTING LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJONER PROPERTY LINE
- EXISTING BUILDING SETBACK LINE
- EXISTING CONTOUR LINE
- EXISTING CONCRETE CURB
- EXISTING SANITARY SEWER PIPE & MANHOLES
- EXISTING SANITARY SEWER LATERALS & CLEANOUTS
- EXISTING STORM SEWER PIPES & INLETS
- EXISTING EDGE OF MACADAM SURFACE
- EXISTING CENTER LINE OF ROAD
- EXISTING WATER LINE
- EXISTING BUILDING

PROPOSED LEGEND

- PROPOSED METES AND BOUNDS
- PROPOSED BUILDING
- PROPOSED BUILDING SETBACK
- PROPOSED RIGHT-OF-WAY
- PROPOSED CONTOURS
- PROPOSED EDGE OF MACADAM
- PROPOSED SIDEWALK
- PROPOSED CURB
- PROPOSED SANITARY SEWER LATERAL
- PROPOSED CENTER LINE
- PROPOSED STORM WATER PIPES & INLETS
- PROPOSED WATER LINE, WATER VALVE & HYDRANT
- PROPOSED PHASE LINE
- PROPOSED CLEAR SITE TRIANGLE LINE



Driveway Sight Distance Table		
Maximum Required Sight Distance:		
$SD = 1.47 Vt + V^2/30 (f+g) = 99.28$		
Where:		
SD = Sight Distance (feet)		
V = Speed of Vehicle (mph)		
t = 2.5 seconds (driver response time)		
f = 0.3 (friction of wet pavement)		
g = Road Grade (percent/100) + up, - down		
Lot #	Sight Distance Right	Sight Distance Left
88	300'	230'
89	350'	1080' (to intersection)
90	230'	940' (to intersection)
91	200'	830' (to intersection)
92	380'	650' (to intersection)
93	520'	510' (to intersection)
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97	370' (to intersection)	660'
98	510' (to intersection)	520'
99	650' (to intersection)	380'
100	830' (to intersection)	200'
100	280'	200'



THE CONTRACTOR OR DEVELOPER SHALL INSTALL STREET NAME SIGNS AT EACH STREET INTERSECTION. ALL TRAFFIC CONTROL SIGNS AND DEVICES ARE TO BE INSTALLED PRIOR TO ANY CERTIFICATES OF OCCUPANCY BEING ISSUED.

STREET SIGN SPECIFICATIONS. STREET SIGNS SHALL CONFORM TO THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION'S PUBLICATION 236M, DATED APRIL 1997, AS AMENDED.

SIZE: SIXTEEN (36) INCHES MAXIMUM WIDTH BY EIGHT (9) INCHES MAXIMUM DEPTH.

LETTERING: SIX (6) INCHES.

POST MATERIAL: TYPE III 3M HIGH INTENSITY AND/OR TYPE IV STIMSONITE HIGH PERFORMANCE REFLECTIVE SHEETING AND LETTERS ON ALUMINUM BLANK AS APPROVED BY PENNDOT AND LISTED IN PUBLICATION 35.

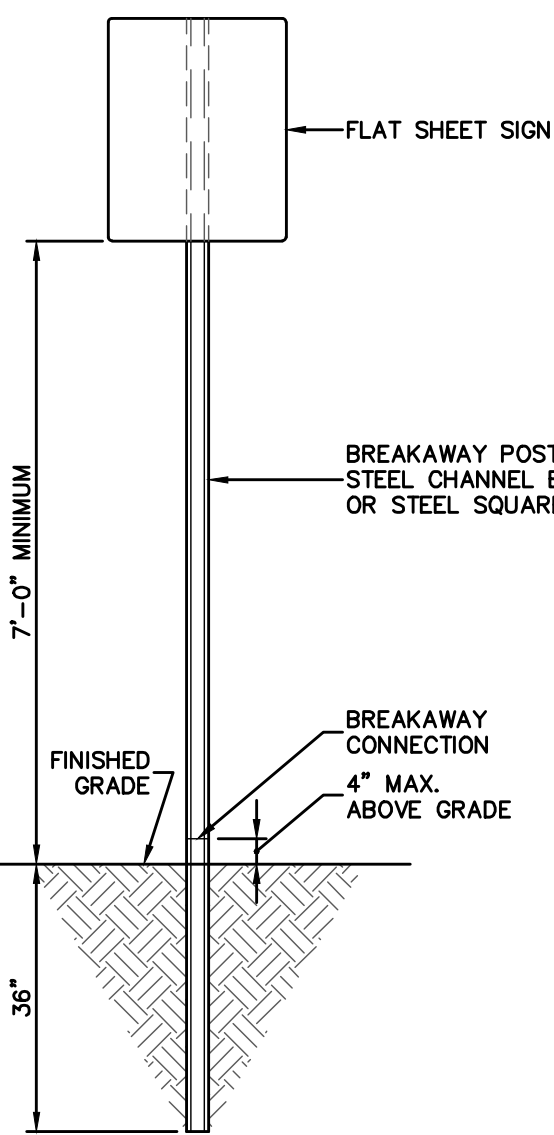
SIGN MATERIAL: CLASS 2 REFLECTIVE SHEETING ON ALUMINUM BLANK AS APPROVED BY PENNDOT AND LISTED IN PUBLICATION 35.

COLOR: WHITE LEGEND ON GREEN BACKGROUND.

HEIGHT: SEVEN (7) FEET FROM THE GROUND TO THE BOTTOM OF THE SIGN.

STREET NAME SIGN

NOT TO SCALE



ALL MATERIALS AND INSTALLATION METHODS SHALL COMPLY WITH THE SPECIFICATIONS, REQUIREMENTS, AND REGULATIONS FOUND IN THE MOST RECENTLY REVISED AND AMENDED VERSIONS OF THE FOLLOWING:

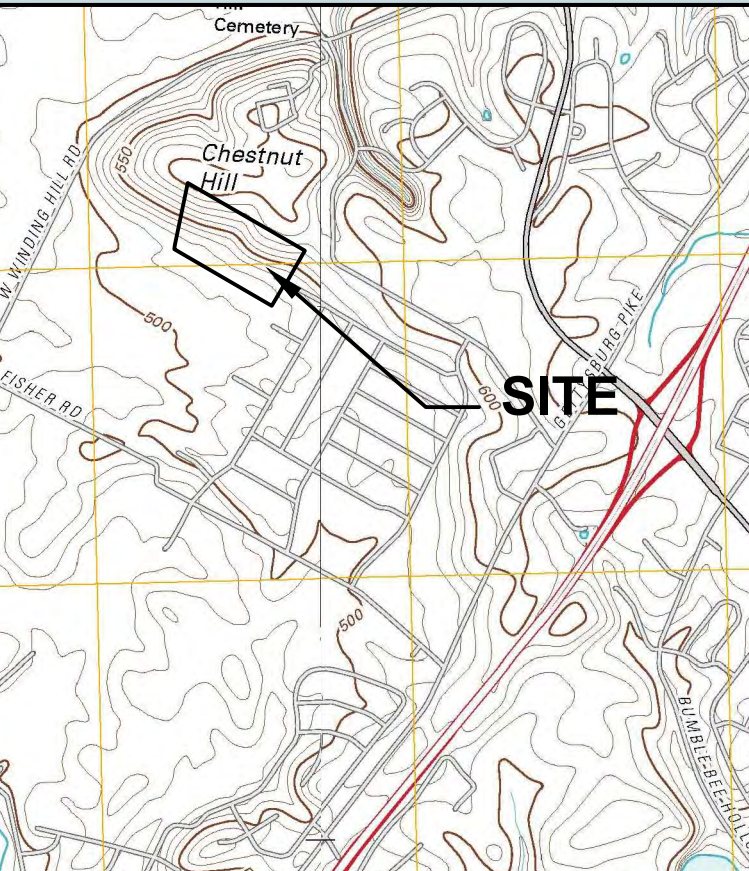
PA CODE 67 CHAPTER 212, THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT) PUBLICATION 408, "SPECIFICATIONS" SECTIONS 931 AND 1103; PENNDOT PUBLICATION 111M "SIGNING AND MARKING STANDARDS"; AND PENNDOT PUBLICATION 236M "PENNSYLVANIA HANDBOOK OF APPROVED SIGNS".

PENNDOT TYPE B SIGN INSTALLATION

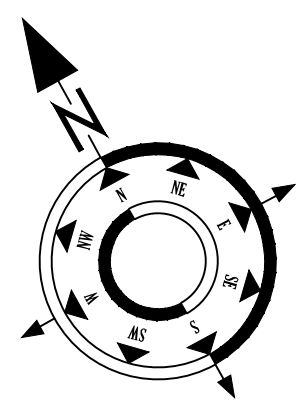
NOT TO SCALE

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LOCATION MAP

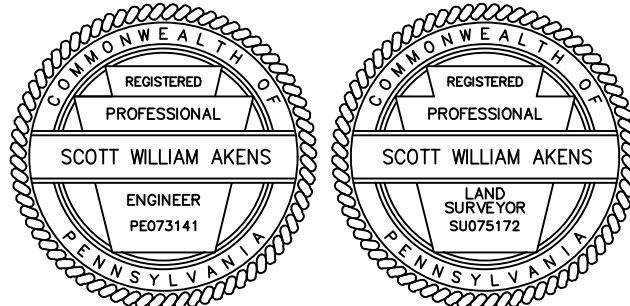


SCALE: 1" = 2000'



I hereby certify that this plan is correct and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



25 0 25 50
1"= 50 FEET

REVISIONS:

- 3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
- 3/20/2017 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 3/16/2017

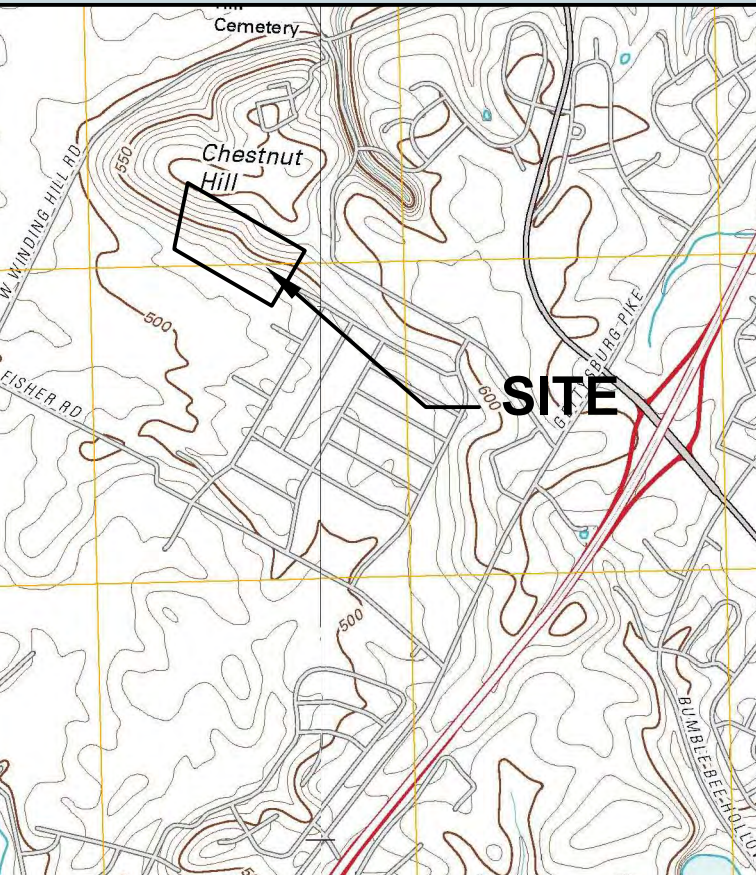
FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR MEADOWVIEW ESTATES, SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

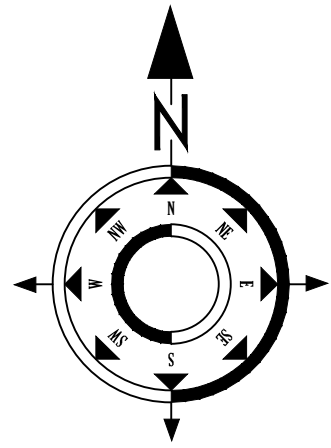
SITE GRADING & UTILITY PLAN

SCALE:	SHEET NUMBER:
1" = 50'	5 of 9
PLAN DATE:	FEBRUARY 1, 2017
FILE NAME:	X:\407-3-1 - Meadowview 6-C\dwgs\407 Meadowview - Phase VI-C - Base.dwg

LOCATION MAP

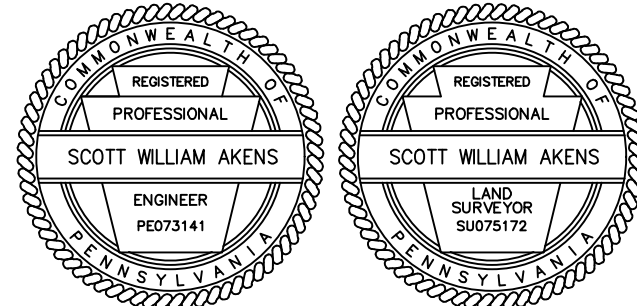


SCALE: 1" = 2000'



I hereby certify that this plan is correct
and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ____ day of ____, 2017.



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1"= 50 FEET

REVISIONS:

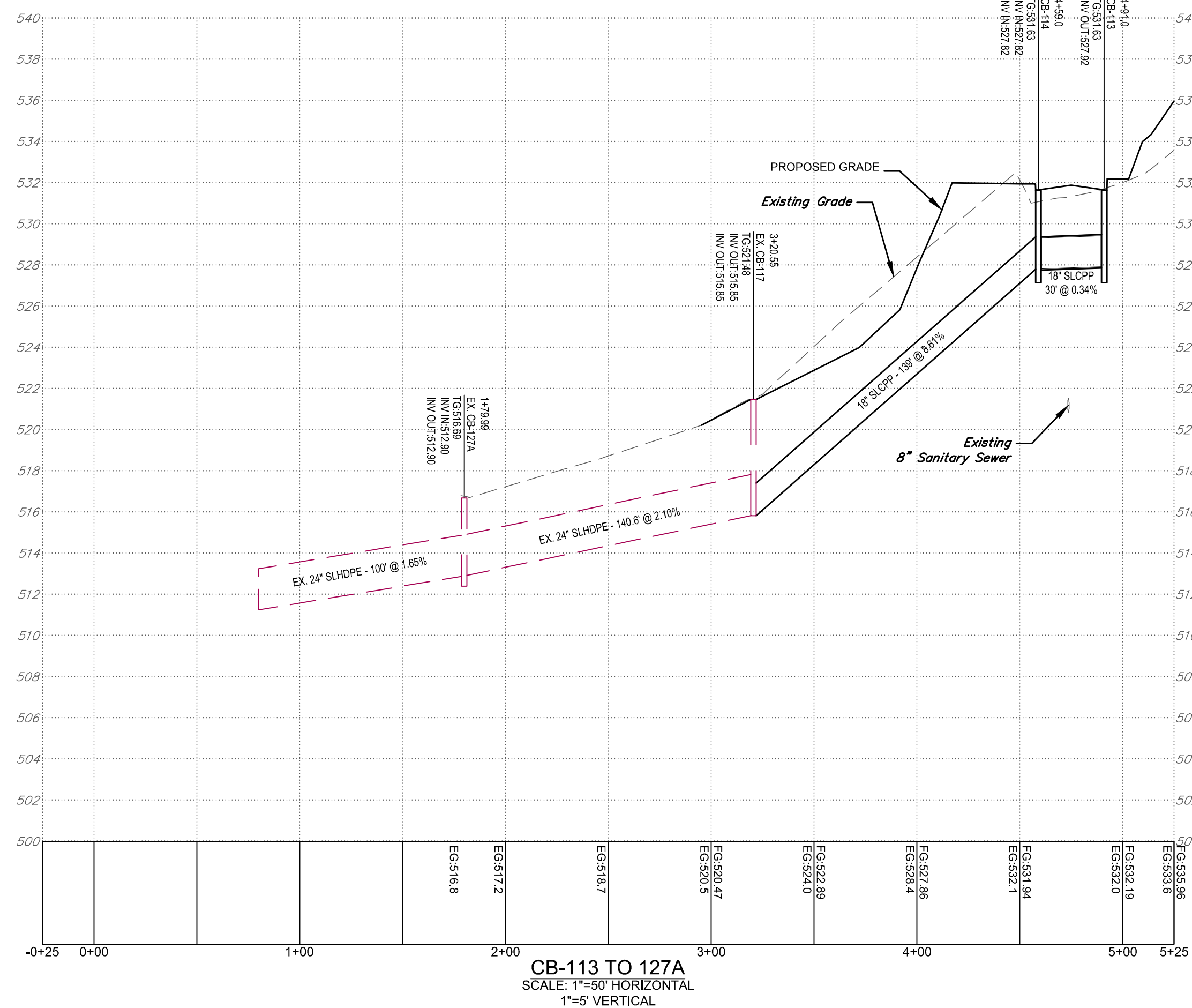
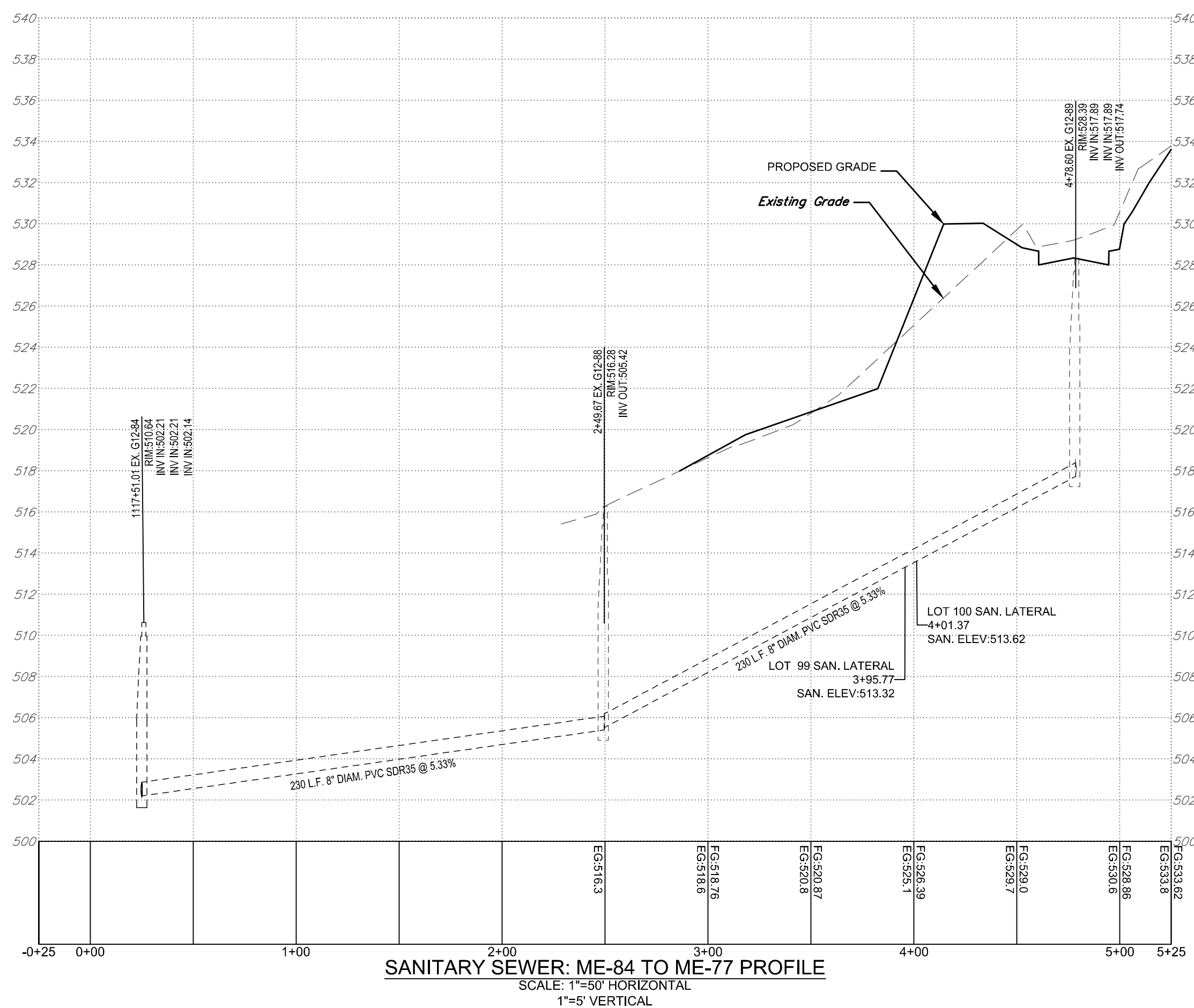
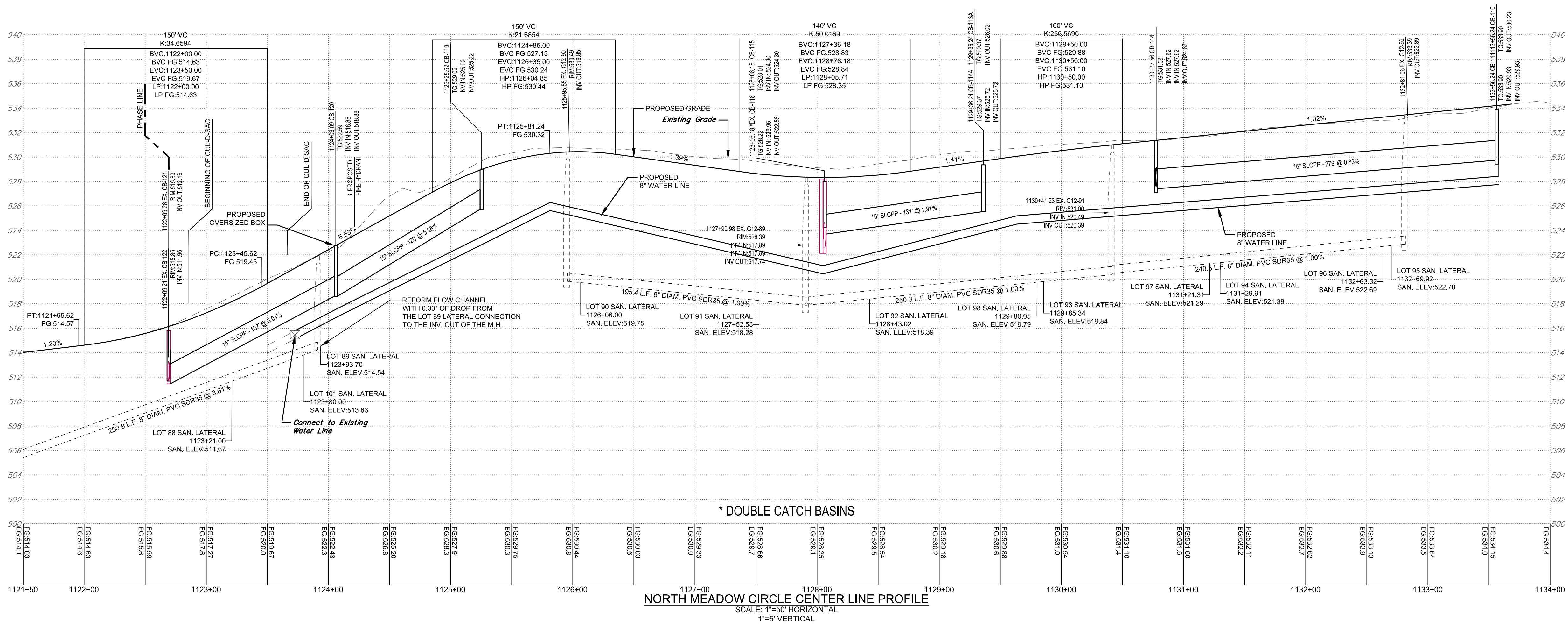
3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN
TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
3/20/2017 REVISED AS PER LETTERS FROM UPPER
ALLEN TOWNSHIP DATED: 3/16/2017

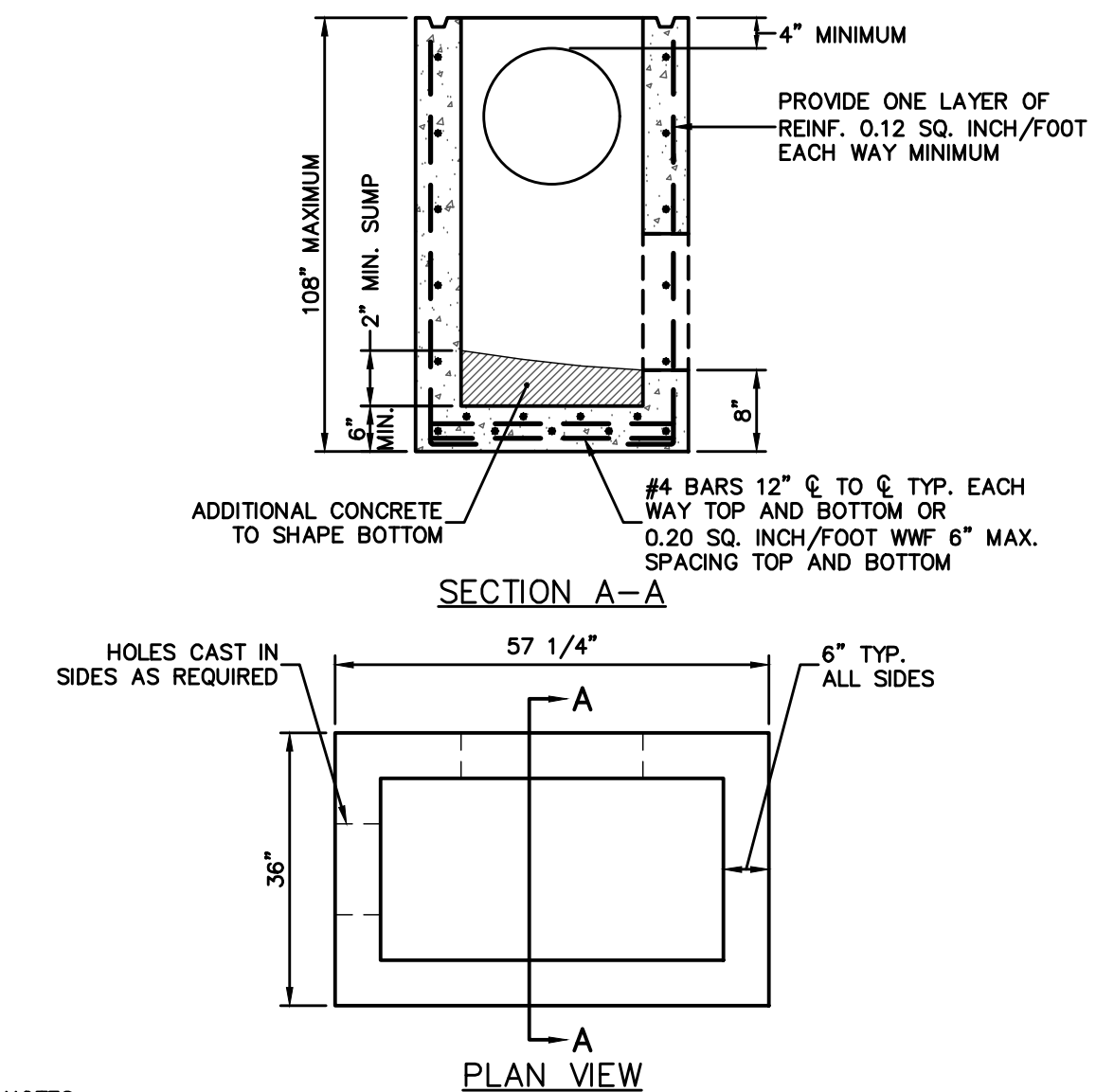
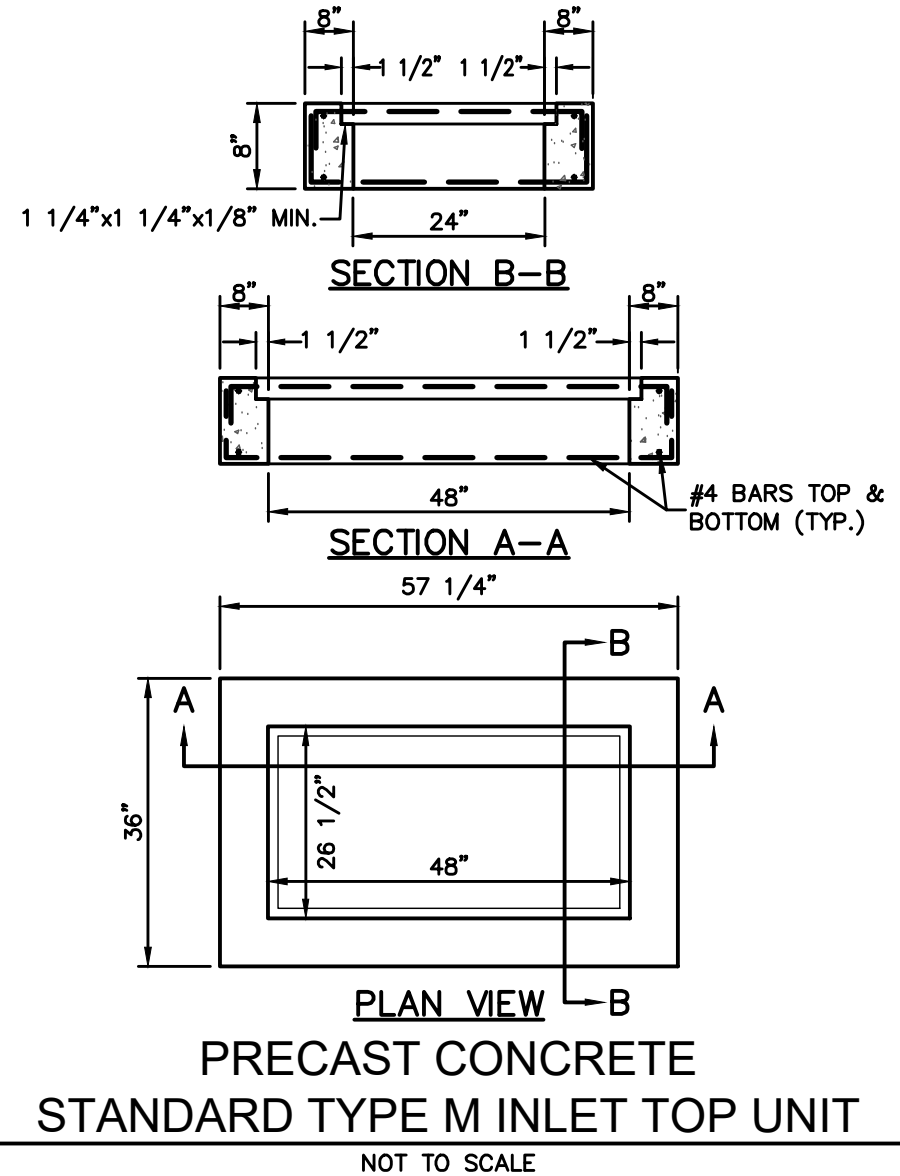
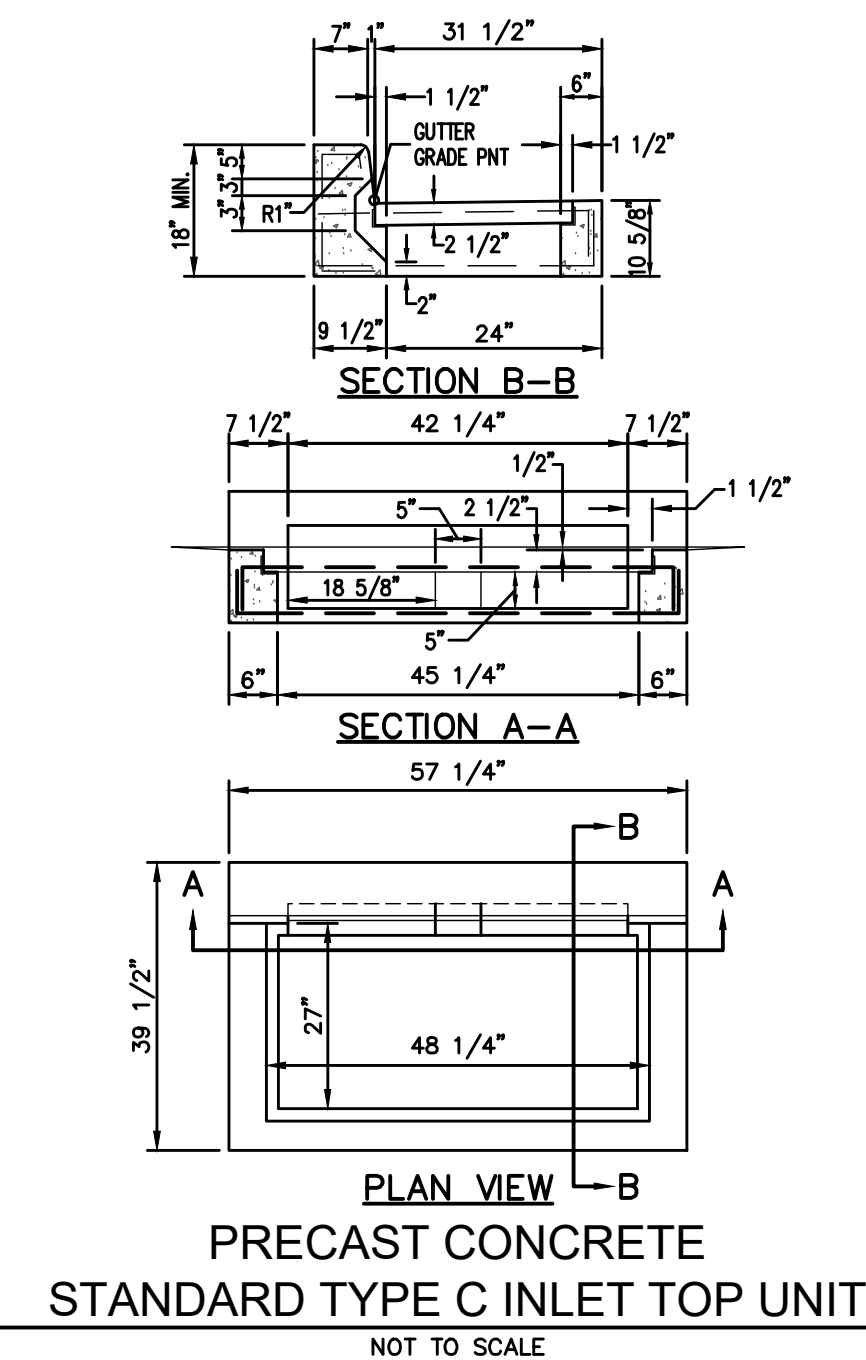
FINAL SUBDIVISION AND
LAND DEVELOPMENT PLAN
FOR
MEADOWVIEW ESTATES,
SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

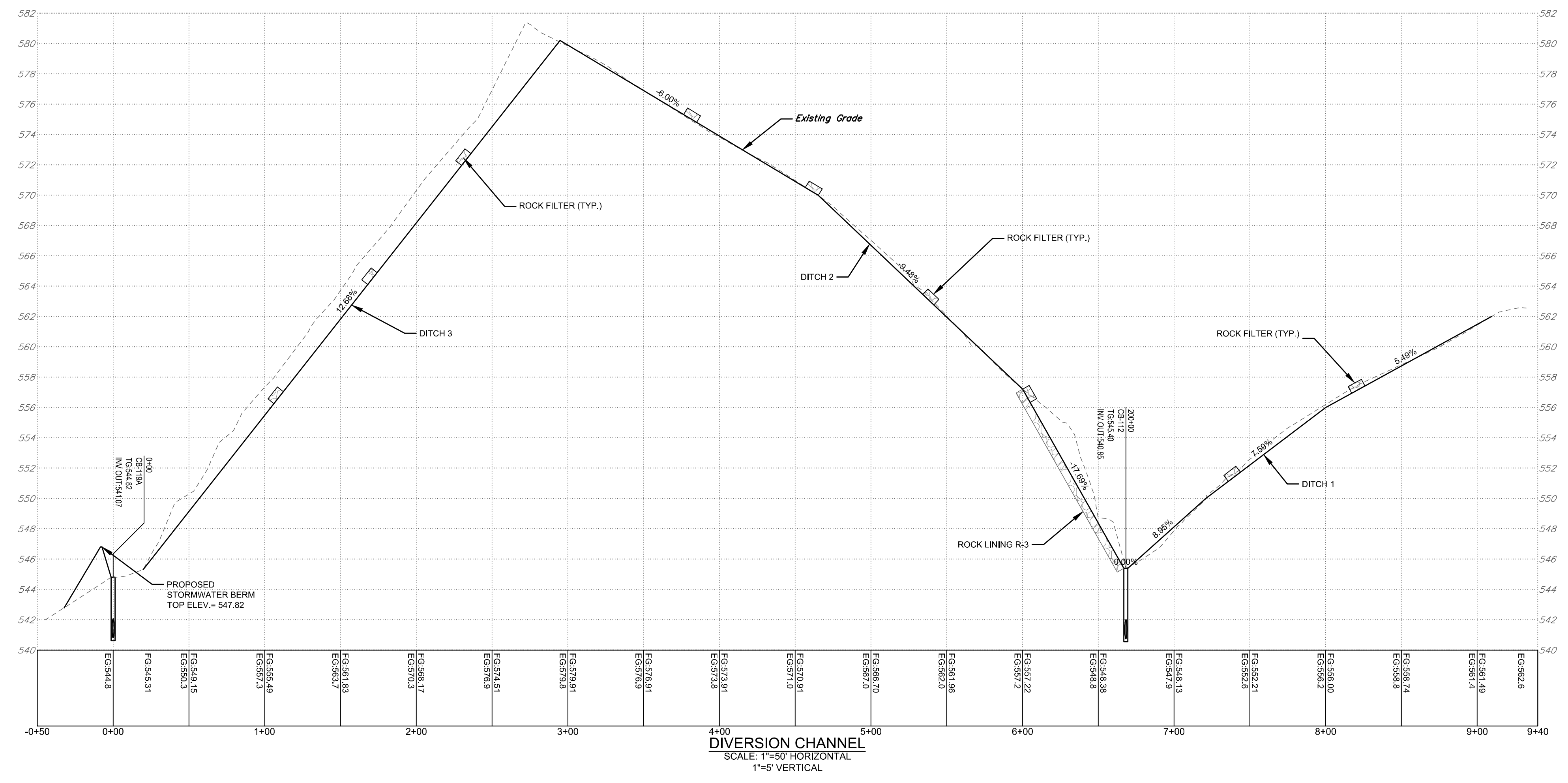
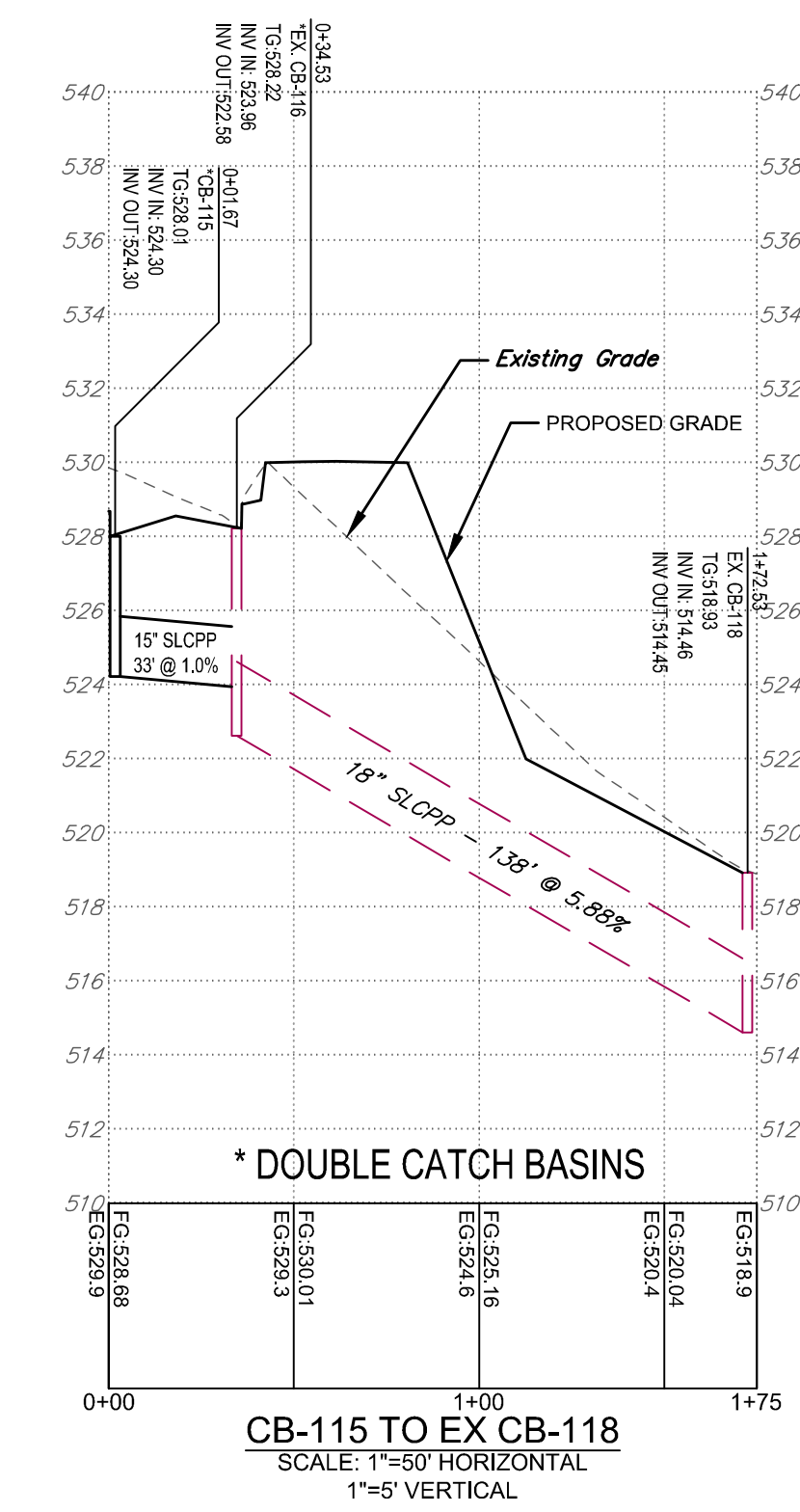
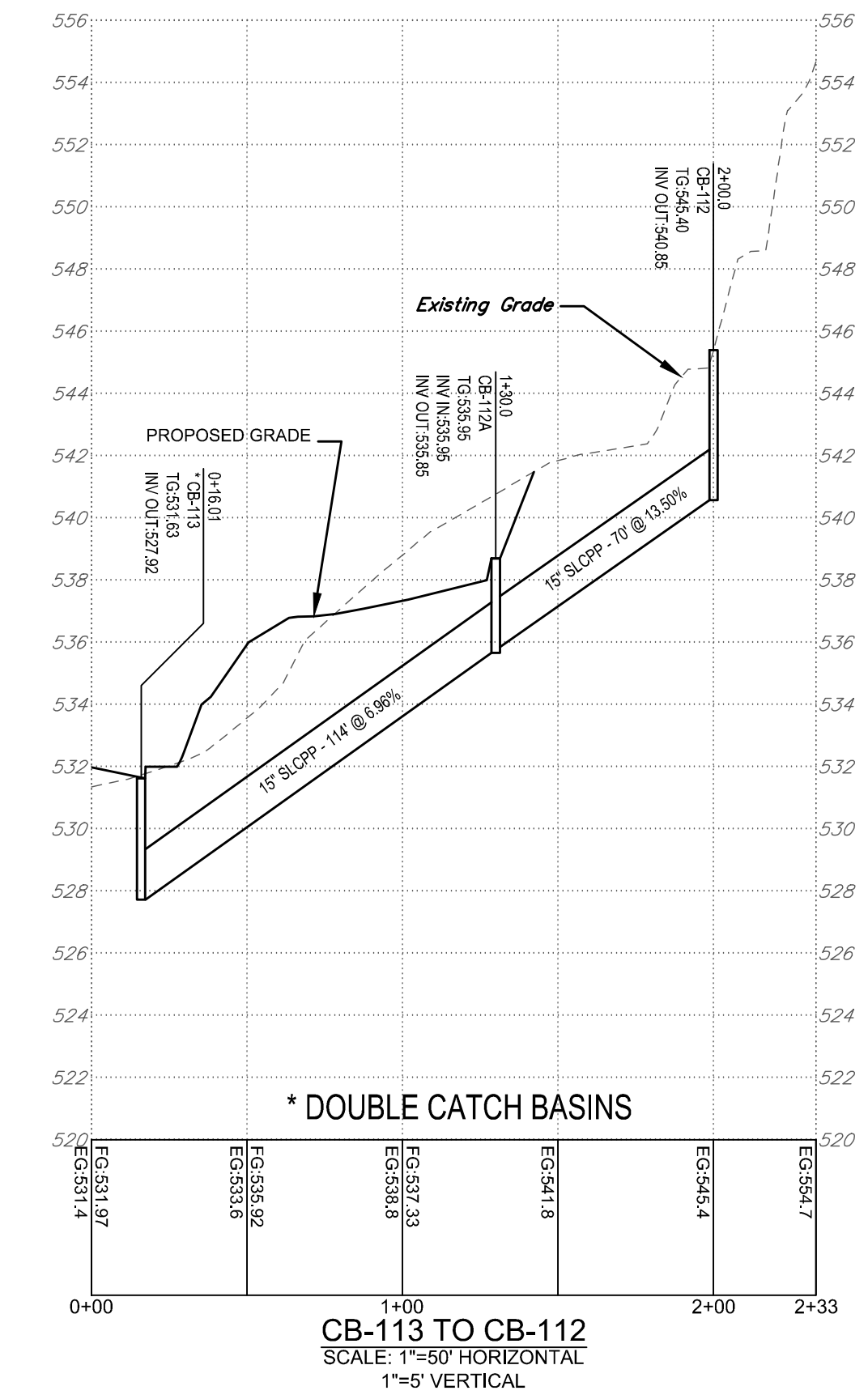
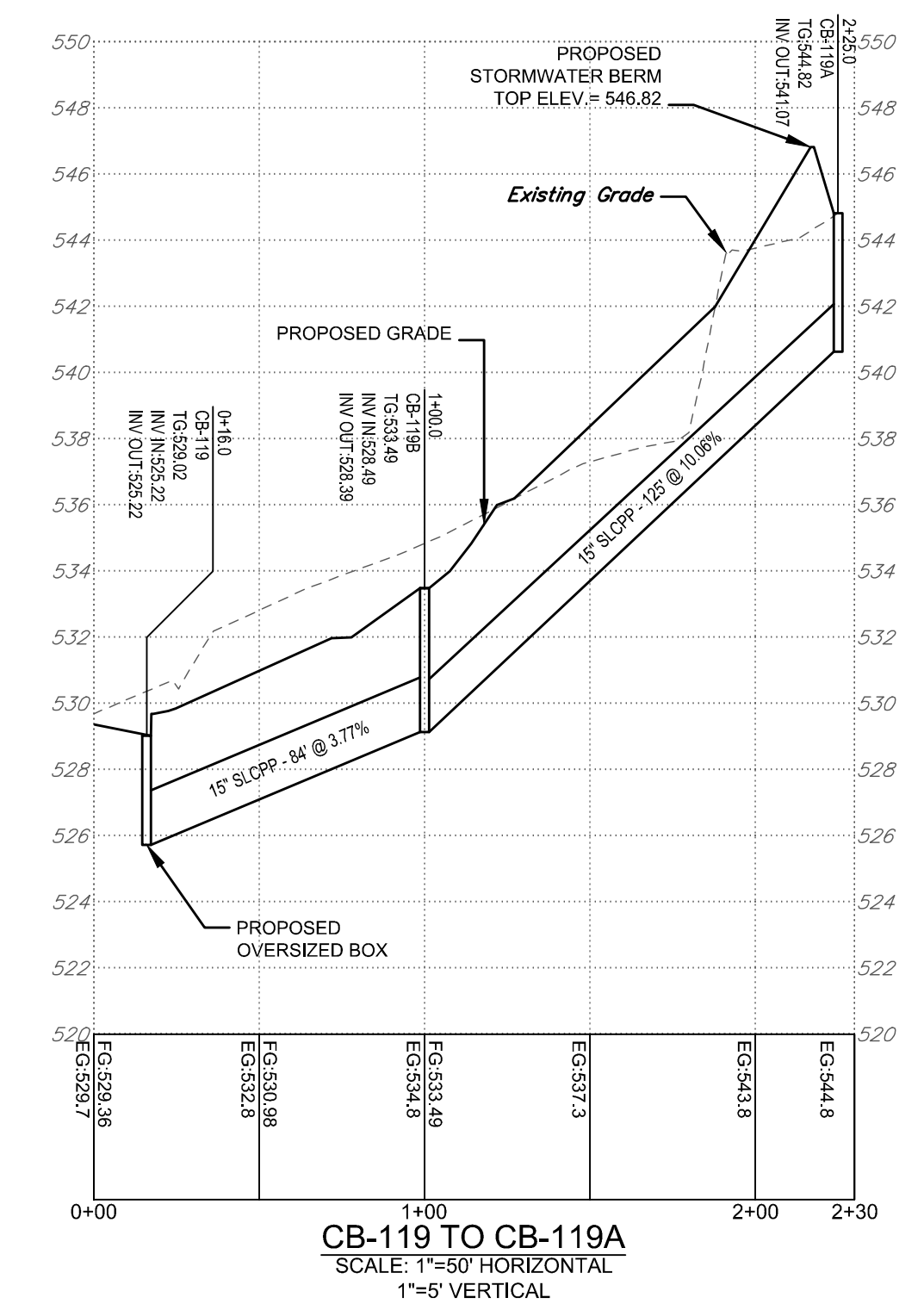
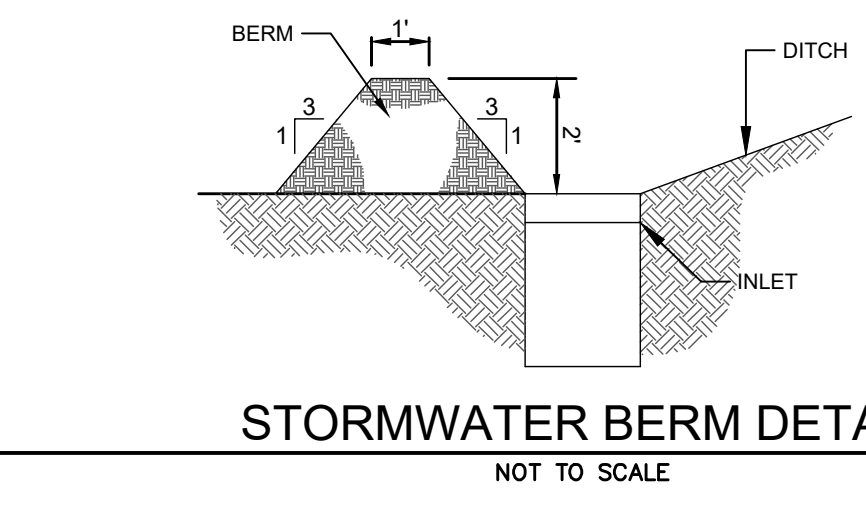
STREET & UTILITY PROFILES

SCALE:	SHEET NUMBER:
1" = 50'	6 of 9
PLAN DATE:	
FEBRUARY 1, 2017	
FILE NAME:	
X:\407-3-1 - Meadowview 6-C\dwg\407 Meadowview - Phase VI-C - Base.dwg	

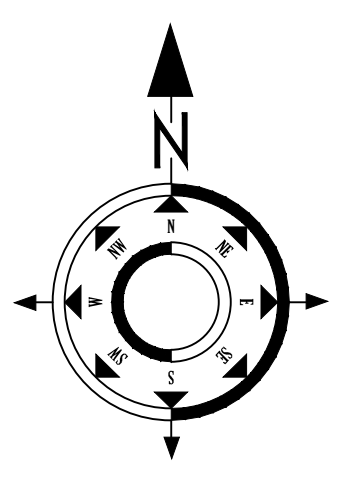
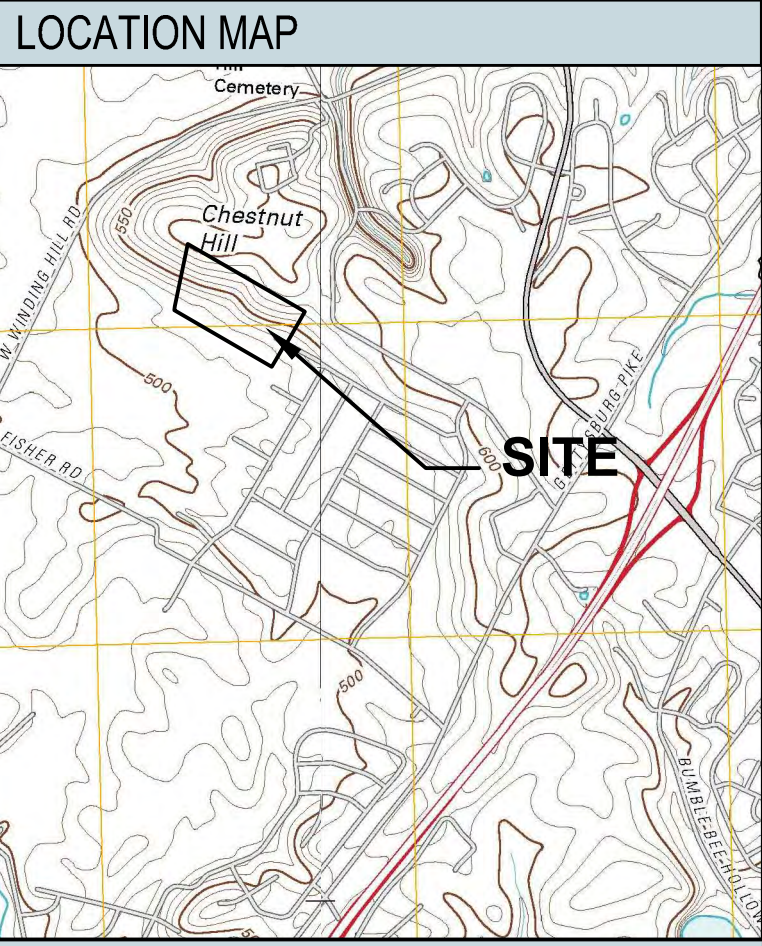




- NOTES:
1. INLETS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS AS SET FORTH IN THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION (PENNDOT), PUBLICATION 408, AS AMENDED, AND AS DETAILED ON RC-34 OF COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROADWAY CONSTRUCTION, AS AMENDED AND/OR REVISED.
 2. UNLESS OTHERWISE REQUIRED BY THE TOWNSHIP ENGINEER, INLET TOPS SHALL BE PRECAST CONCRETE TOP UNITS WITH A TEN (10) INCH THICK TOP UNIT AND SHALL BE COMPATIBLE WITH THE TYPE OF CURB INSTALLED.
 3. ALL INLETS OVER FIVE (5) FEET IN DEPTH SHALL BE PROVIDED WITH STEPS FOR ACCESSIBILITY.
 4. ALL INLETS SHALL HAVE WEEP HOLES PLACED AT THE APPROPRIATE ELEVATIONS TO COMPLETELY DRAIN THE SUBGRADE PRIOR TO PLACING THE BASE COURSE AND SURFACE COURSE. WEEP HOLES SHALL BE INSTALLED AS SPECIFIED BY PENNDOT PUBLICATION 408, SECTION 605.3.
 5. INLETS SHALL BE INSPECTED BY THE TOWNSHIP ENGINEER OR HIS DESIGNATED AGENT AFTER COMPLETION OF ALL WORK.
 6. ALL INLETS IN PAVED AREAS SHALL HAVE BICYCLE SAFE GRATES.
 7. ALL INLETS SHALL BE CONSTRUCTED WITH CONCRETE FLOW CHANNELS CAST IN THE BOTTOM OF EACH INLET.

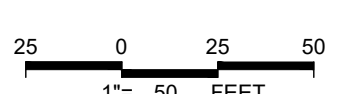
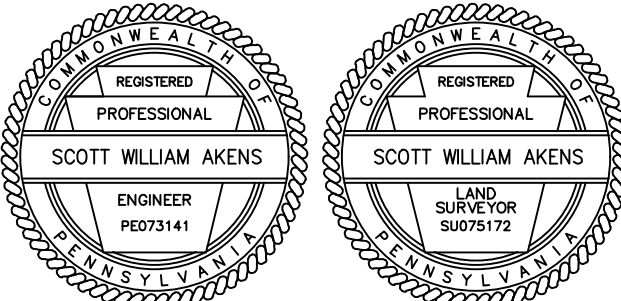


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Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



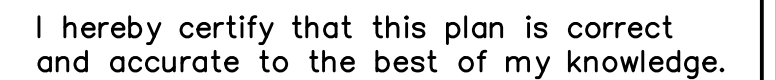
REVISIONS:	
3/1/17	REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
3/20/2017	REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 3/16/2017

**FINAL SUBDIVISION AND
LAND DEVELOPMENT PLAN
FOR
MEADOWVIEW ESTATES,
SECTION II, PHASE VI-C**

**UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA**

**UTILITY & DIVERSION
CHANNEL PROFILES**

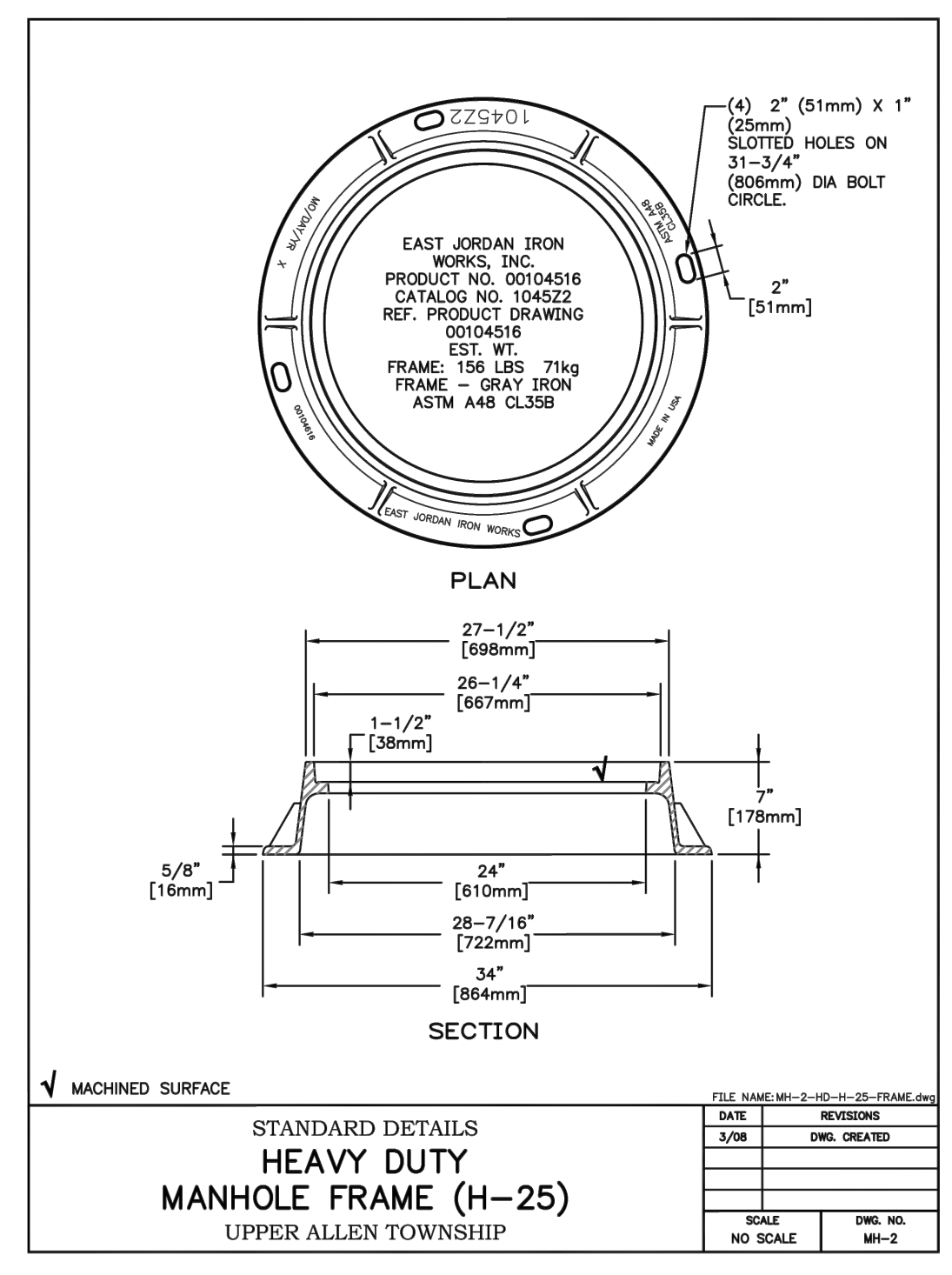
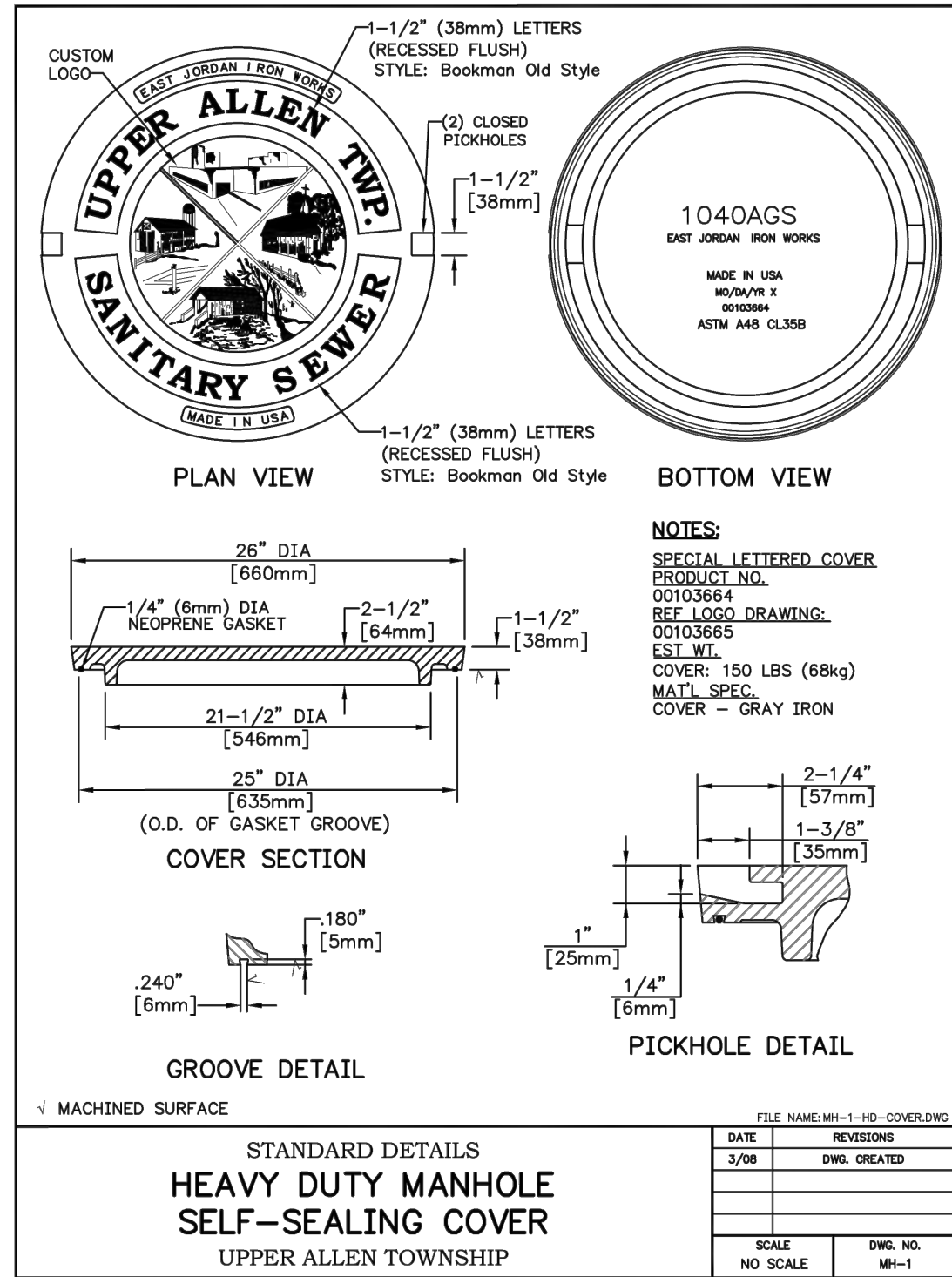
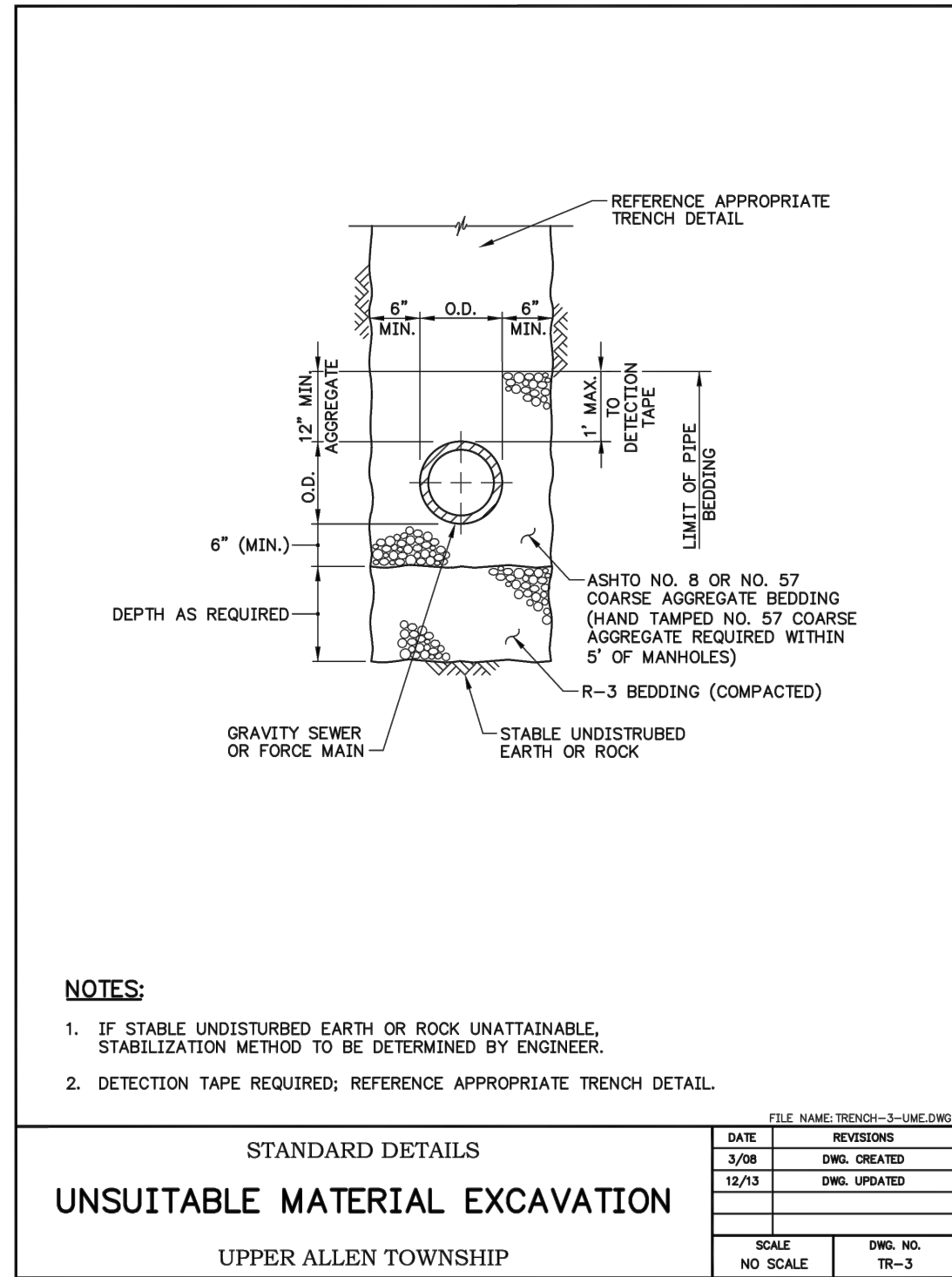
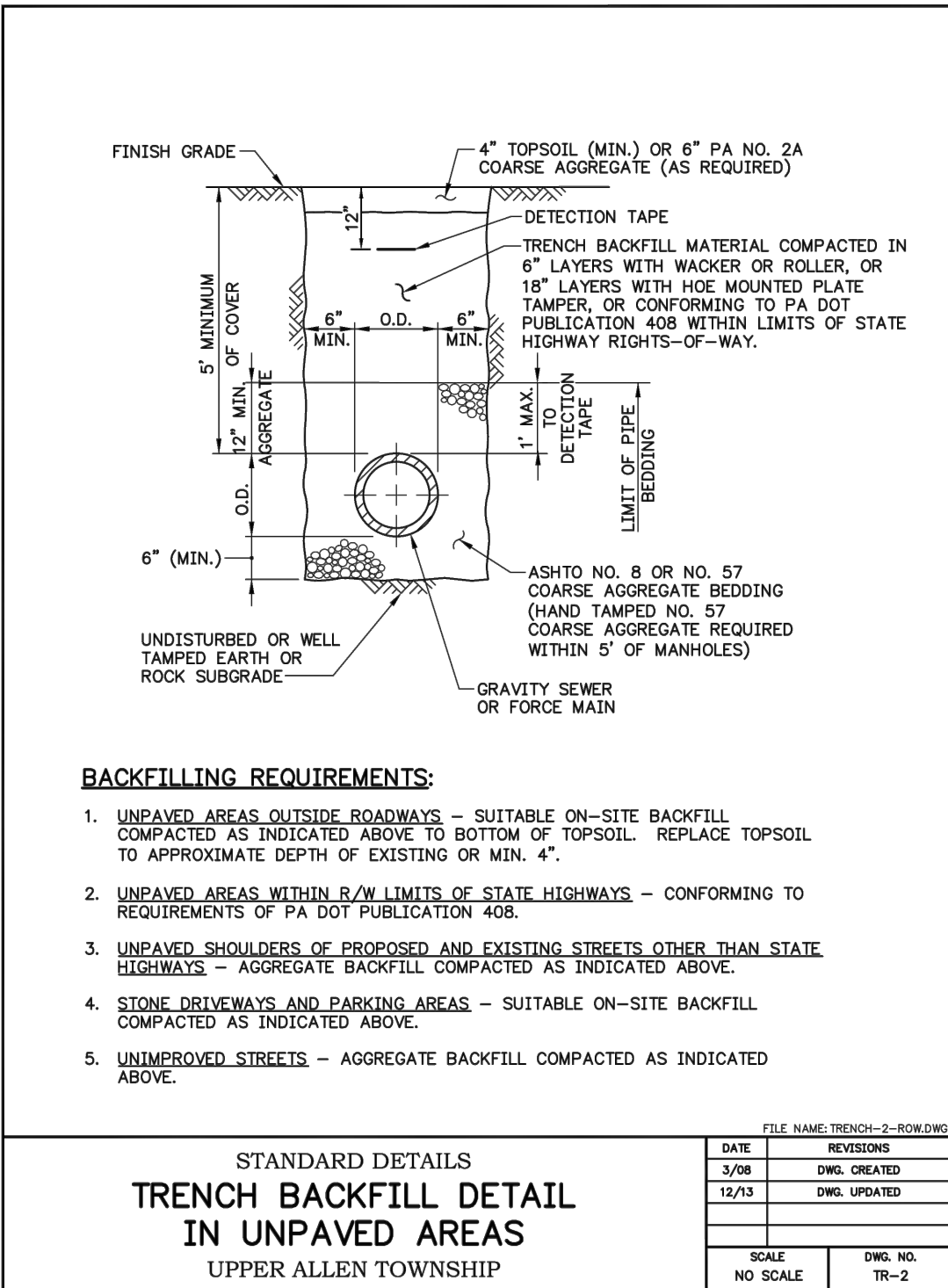
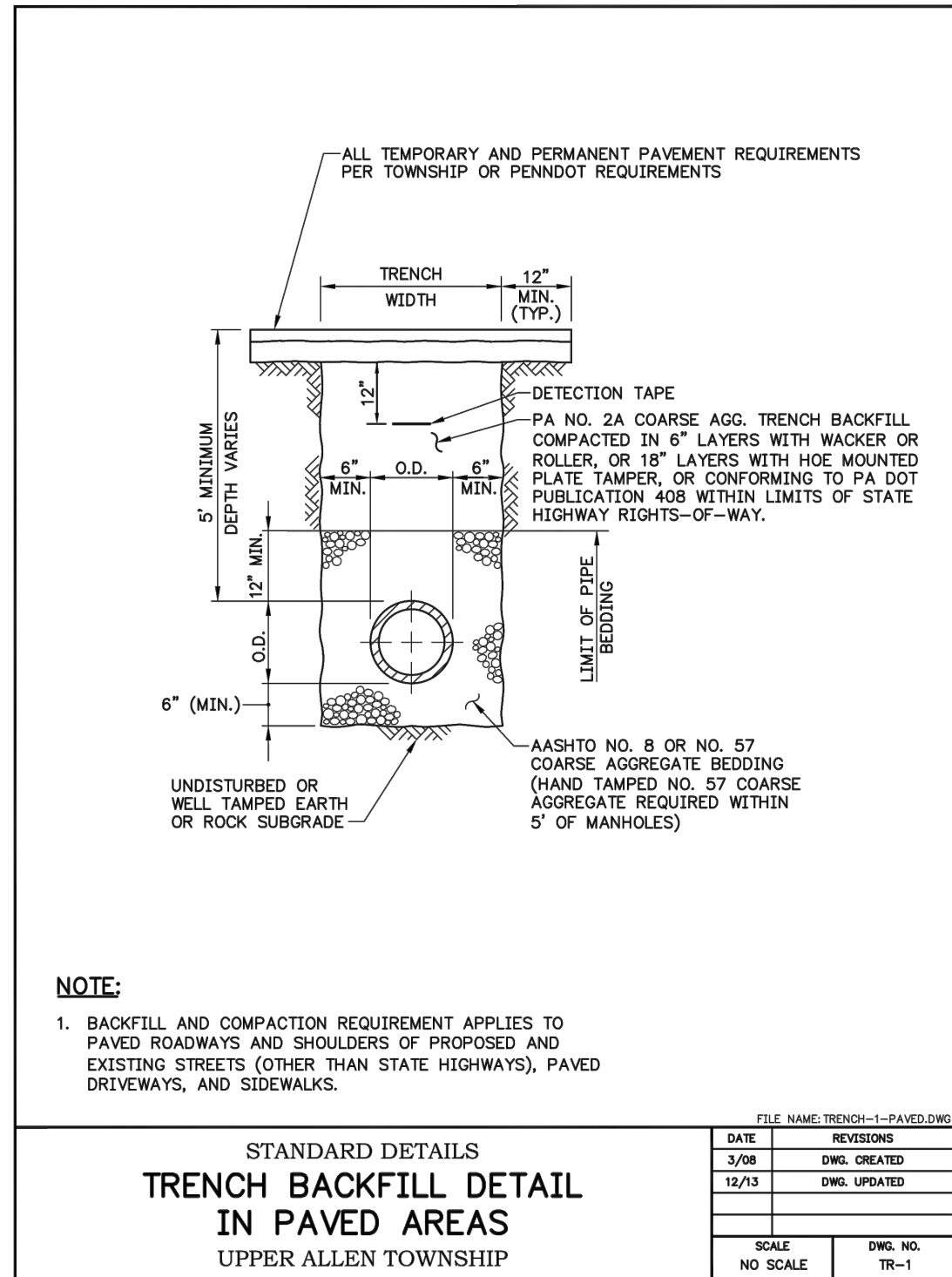
SCALE:	SHEET NUMBER:
1" = 50'	7 of 9
PLAN DATE:	
FEBRUARY 1, 2017	
FILE NAME:	
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***FINAL SUBDIVISION AND
LAND DEVELOPMENT PLAN
FOR
MEADOWVIEW ESTATES,
SECTION II, PHASE VI-C***

SANITARY SEWER DETAILS

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Phase VI-C - Base.dwg



POST CONSTRUCTION STORMWATER BEST MANAGEMENT PRACTICES MAINTENANCE:

MAINTENANCE OF ALL STORMWATER AND EROSION AND SEDIMENTATION CONTROL FACILITIES SHALL COMMENCE IMMEDIATELY AFTER CONSTRUCTION BEGINS. ACCUMULATED SEDIMENT DEPOSITS SHALL BE REGULARLY REMOVED IN ORDER TO MAINTAIN PROPER PERFORMANCE. INFILTRATION BMPs, IF APPLICABLE, SHALL BE EQUIPPED WITH PIEZOMETERS OR MONITORING STATIONS TO ELEVATE PERFORMANCE, WHICH SHALL BE EXAMINED ON A PRECIPITATION EVENT BASIS FOR THE FIRST TWO YEARS AFTER COMPLETION OF CONSTRUCTION AND THEN ON A MONTHLY BASIS THEREAFTER.

THE DEVELOPER/CONTRACTOR SHALL CONDUCT REGULAR INSPECTIONS OF THE OUTFALL CHANNELS, SWALES, SLOPES, AND GENERALLY THE ENTIRE CONSTRUCTION AREA IN ORDER TO DETECT EROSION PROBLEMS THAT SHALL BE CORRECTED AND ELIMINATED BEFORE THEY DEVELOP IN TO UNMANAGEABLE PROBLEMS DURING CONSTRUCTION. AFTER CONSTRUCTION IT IS THE DEVELOPORS RESPONSIBILITY TO CONDUCT INSPECTIONS AND PERFORM REMEDIAL ACTIVIES ON A REGULAR BASIS.

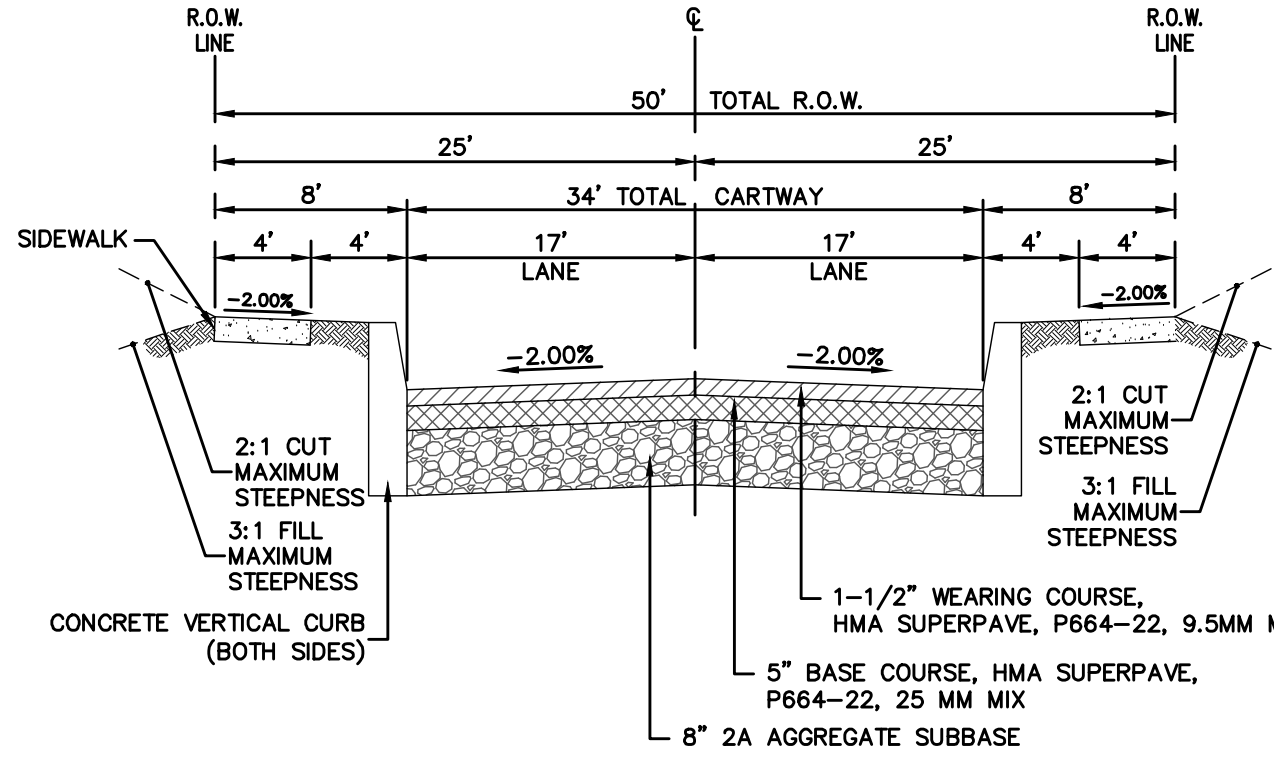
1. THE PERMITTEE AND/OR CO-PERMITTEE MUST COMPLY WITH ALL TERMS AND CONDITIONS OF THIS GENERAL PERMIT. ANY PERMIT NONCOMPLIANCE IS GROUNDS FOR ENFORCEMENT ACTION. THE PERMITTEE AND/OR CO-PERMITTEE MAY BE SUBJECT TO CRIMINAL AND/OR CIVIL PENALTIES FOR VIOLATIONS OF THE TERMS AND CONDITIONS OF THIS GENERAL PERMIT.
2. THE PERMITTEE AND/OR CO-PERMITTEE SHALL TAKE ALL REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
3. THE DEVELOPER OR CONTRACTOR OF A FACILITY WITH STORMWATER DISCHARGE COVERED BY THIS PERMIT SHALL MAKE PLANS AVAILABE TO THE PUBLIC UPON REQUEST. EROSION AND SEDIMENTATION CONTROL PLANS MUST BE MADE AVAILABLE AT THE SITE OF THE CONSTRUCTION ACTIVITY AT ALL TIMES.
4. THE STAGING OF EARTH DISTURBANCE ACTIVITIES AND MAINTENANCE REQUIREMENTS CONTAINED IN THE E&S PLAN MUST BE FOLLOWED.
5. THE PERMITTEE OR THE CO-PERMITTEE SHALL CONTACT THE REVIEWING ENTITY AT LEAST SEVEN DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION TO DETERMINE IF A PRE-CONSTRUCTION CONFERENCE IS REQUIRED.
6. PRIOR TO EARTH DISTURBANCE COMMENCEMENT FOR ADDITIONAL PHASES OF THE PROJECT, THE PERMITTEE AND/OR CO-PERMITTEE SHALL SUBMIT AN EROSION AND SEDIMENTATION CONTROL PLAN FOR EACH PHASE FOR REVIEW AND AUTHORIZATION.
7. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH SOLID WASTE MANAGEMENT REGULATIONS. NO MATERIALS MAY BE BURIED, DUMPED, OR DISCHARGED AT THE SITE.
8. THE PERMITTEE AND/OR CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED BIWEEKLY, AND AFTER EACH PRECIPITATION EVENT BY QUALIFIED PERSONNEL TO ASSURE THE EFFECTIVE OPERATION OF BMPs. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AS WELL.
9. WHERE BMPs ARE FOUND TO BE INOPERATIVE, THE PERMITTEE AND/OR CO-PERMITTEE SHALL CONTACT THE REVIEWING ENTITY IMMEDIATELY, FOLLOWED BY A WRITTEN REPORT WITHIN FIVE (5) DAYS OF INITIAL CONTACT.
10. THE PERMITTEE AND/OR CO-PERMITTEE SHALL RETAIN RECORDS OF ALL MONITORING INFORMATION, INCLUDING INSPECTION REPORTS, AS REQUIRED BY THE PERMIT FOR A PERIOD OF THREE YEARS FROM THE DATE OF THE TERMINATION OF COVERAGE UNDER THIS PERMIT.
11. UPON REDUCTION, LOSS OR FAILURE OF A BMP, THE PERMITTEE AND/OR CO-PERMITTEE SHALL TAKE IMMEDIATE ACTION TO RESTORE THE BMP OR PROVIDE AN ALTERNATIVE METHOD OF TREATMENT.
12. AN EROSION AND SEDIMENTATION POLLUTION CONTROL SHALL BE DEVELOPED AND IMPLEMENTED FOR ALL OFF-SITE AND BORROW AREAS.

POST CONSTRUCTION STORMWATER BEST MANAGEMENT PRACTICES INSPECTION:

1. INSPECTION FOR THE FOLLOWING AFTER EACH PRECIPITATION EVENT AND WEEKLY FOR A PERIOD OF TWO (2) YEARS AFTER COMPLETION OF CONSTRUCTION.
2. INSPECTION BI-MONTHLY FOR THE LIFE OF BMPs AFTER INITIAL TWO (2) YEAR TIME PERIOD ELAPSES.
 - A. POOR STAND OF GRASS. CONTACT COOPERATIVE ACTION OR EVALUATION.
 - B. SEEPAGE AT THE TOE OF THE BASIN. CONTACT TOWNSHIP ENGINEER FOR IMMEDIATE INSPECTION.
 - C. DETERIORATION OF ENERGY DISSIPATOR. PERIODIC REPLACEMENT OF RIPRAP IS REQUIRED AND SCHEDULED FOR FULL REPLACEMENT EVERY FIVE YEARS.
 - D. DETERIORATION OR CLOGGING OF BERMS. EXAMINE BERMS TO DETERMINE SEDIMENTATION. REPLACE ROCK FILTER PORTION OF THE BERMS EVERY FIVE YEARS.
 - E. DETERIORATION OF PIPES, CONDUITS AND SEMI-IMPERVIOUS SPILLWAY. CONTACT ENGINEER OF EVALUATION AND IMMEDIATE REPAIR.
 - F. OUTLET STRUCTURE (WATER QUALITY BASIN BMP ONLY) CHECK FOR DEBRIS, CLOGGING, ETC.
 - G. OBSTRUCTIONS, TRASH OR DEBRIS (TO BE REMOVED IMMEDIATELY).
 - H. ANIMAL BURROWING. (CONTACT LOCAL WILDLIFE MANAGER FOR ALLOWABLE CORRECTIVE ACTIONS).
 - I. PERMANENTLY PONDED WATER 36 HOURS AFTER CESSATION OF RAINFALL EVENT. (CONTACT DEVELOPER OR TOWNSHIP FOR REMEDIAL ACTION).
 - J. MOWING OF THE BASIN, OCCUR AT LEAST EVERY TWO WEEKS DURING MOWING SEASON OR AS NEEDED. ALL YARD WASTE MUST BE COLLECTED AND REMOVED OFF-SITE FOR DISPOSAL.
 - K. MOWING OF SWALES. MOWED ONCE FROM NOVEMBER TO MARCH, AND WATSE COLLECTED AND REMOVED OFF-SITE FOR DISPOSAL.
 - L. ALGAE GROWTH, STAGNANT POOLS, OR NOXIOUS ODORS. CONTACT THE COUNTY CONSERVATION DISTRICT AND TOWNSHIP ENGINEER FOR EVALUATION.
 - M. EROSION AND/OR SEDIMENTATION (TO BE STABILIZED) IMMEDIATELY AND CONTACT THE COUNTY CONSERVATION DISTRICT AND/OR THE PROPERTY MANAGER FOR CORRECTION REMEDIATION.
 - N. PIEZOMETER READING: (WATER QUALITY BASIN BMP ONLY) PIEZOMETER READINGS SHOULD BE TAKEN AT THE TIME OF EVERY INSPECTION. A LOG OF THE READINGS SHOULD BE KEPT AND EVALUATED YEARLY (PENDING NO OTHER PROBLEMS) BY A PROFESSIONAL HYDROGEOLOGIST OR ENGINEER.

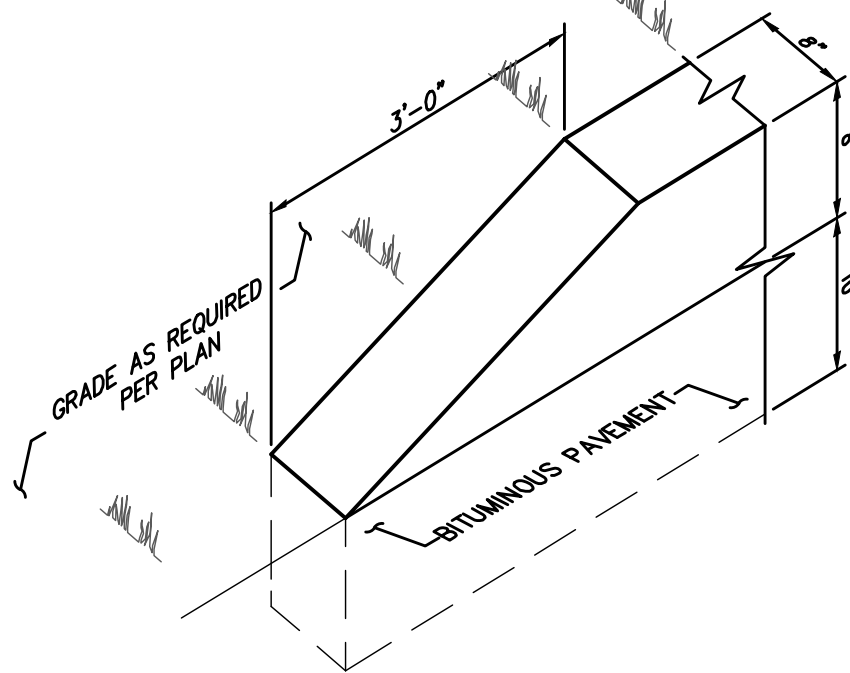
GENERAL NOTES:

1. DRIVEWAY APRONS FROM CURB TO SIDEWALK SHALL BE 6" CLASS A CONCRETE WITH WELDED WIRE MESH TO MATCH SIDEWALK CONSTRUCTION DETAIL AND SHALL COMPLY WITH THE RESPECTIVE TOWNSHIP ORDINANCES.
2. ALL SANITARY SEWER CONSTRUCTION SHALL COMPLY WITH THE LATEST REVISIONS TO THE DETAIL DRAWINGS IN THE UPPER ALLEN TOWNSHIP "STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR SANITARY SEWER EXTENSIONS".
3. TRENCH RESTORATION FOR ALL UTILITIES (STORM, WATER, SANITARY AND ANY OTHERS) SHALL COMPLY WITH THE SPECIFICATION LISTED IN NOTE NO. 2 AS WELL AS IN ACCORDANCE WITH SALDO SECTION 220-15.G.
4. ENDWALLS AND STORMWATER INLETS SHALL CONFORM TO THE SHAPE AND DIMENSIONS IN ACCORDANCE WITH PENNDOT STANDARDS, CURRENT EDITION. HOWEVER, THE TYPE C INLET TOPS SHALL HAVE A 10" CURB REVEAL.



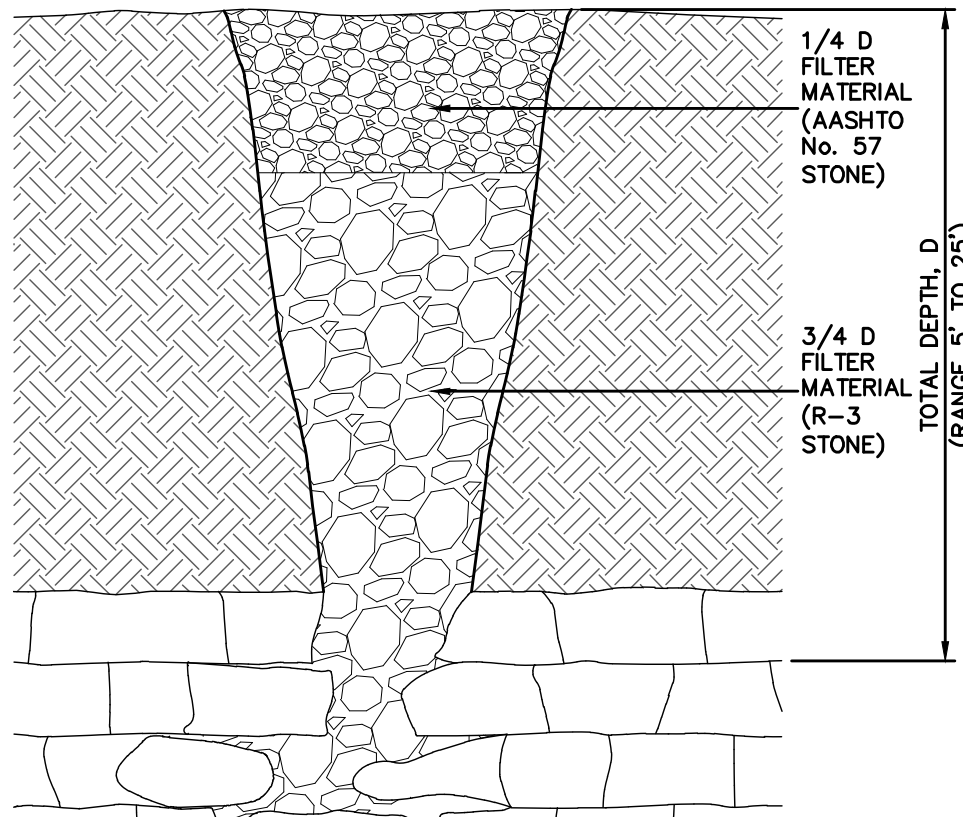
TYPICAL ROADWAY SECTION

NOT TO SCALE



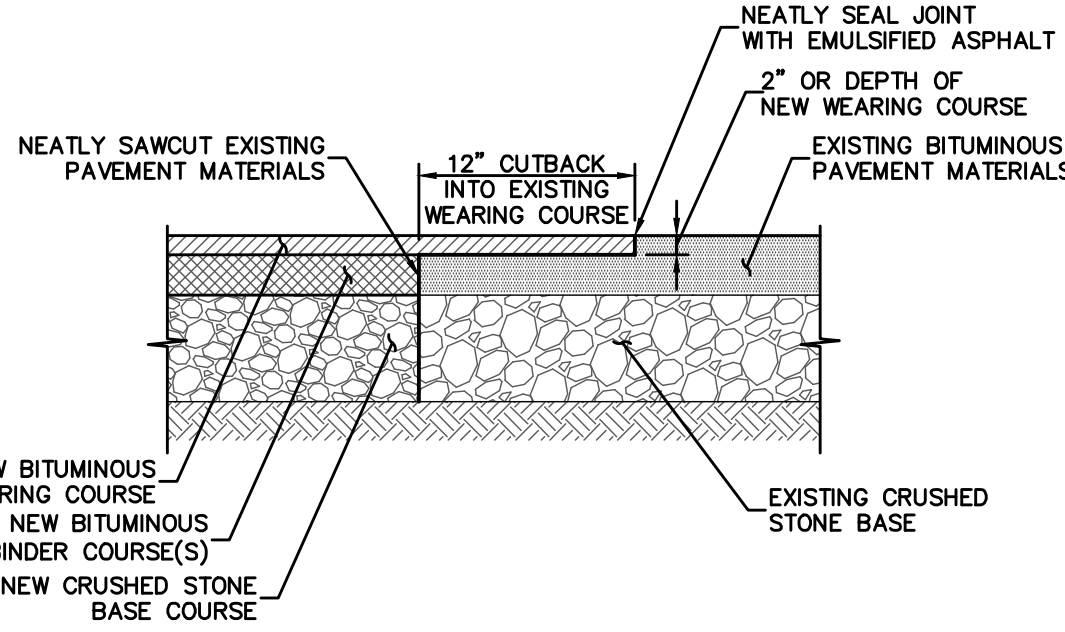
PLAIN CEMENT CONCRETE VERTICAL CURB END TREATMENT

NOT TO SCALE



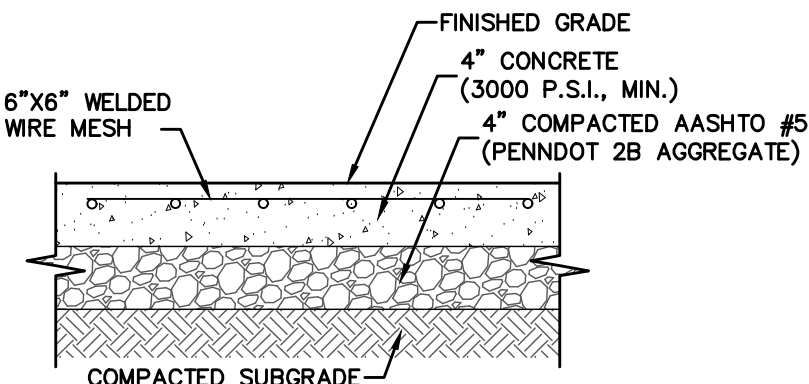
INVERTED FILTER FOR DRAINAGE AREAS 5 to 15 ACRES TYPICAL SINKHOLE TREATMENT SECTION

NOT TO SCALE



PAVEMENT JOINT WITH CUTBACK INTO EXISTING WEARING COURSE

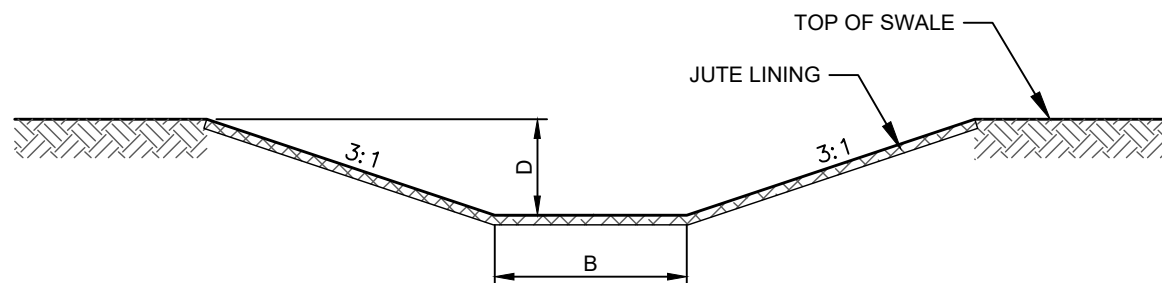
NOT TO SCALE



NOTE: PROVIDE EXPANSION JOINTS AT INTERVALS OF 20 FEET, MAXIMUM.

CONCRETE WALK SECTION

NOT TO SCALE



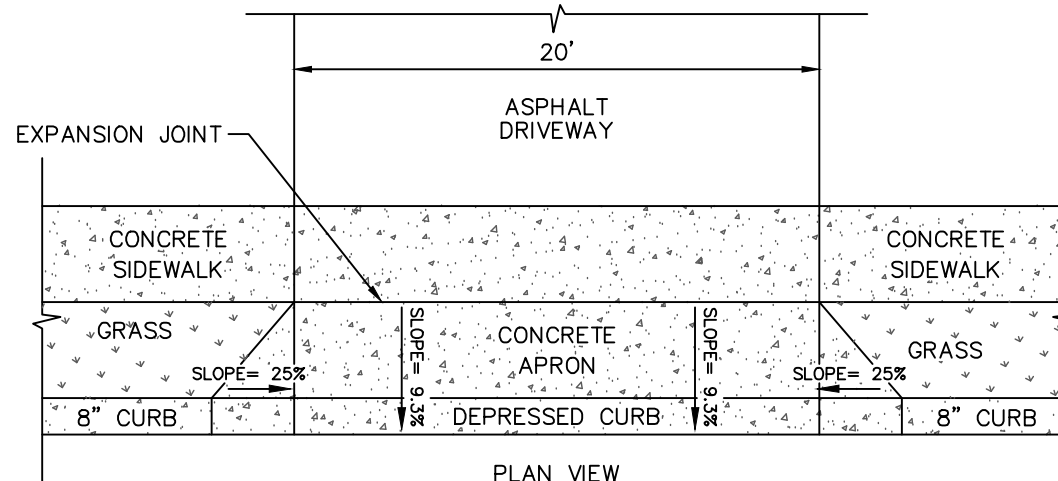
DIVERSION DITCH DETAIL

NOT TO SCALE

DIVERSION CHANNEL NO.	STATIONING	SLOPE	BOTTOM WIDTH	DEPTH	LINING
DITCH-1	0+19.76 - 2+94.95	VARIES	2'	1'	TALL FESCUE
DITCH-2	2+94.95 - 6+00.06	VARIES	2'	1'	TALL FESCUE
DITCH-2	6+00.06 - 6+68.18	VARIES	3'	1'	R-3 RIP RAP
DITCH-3	6+68.18 - 9+32	VARIES	2'	2'	TALL FESCUE

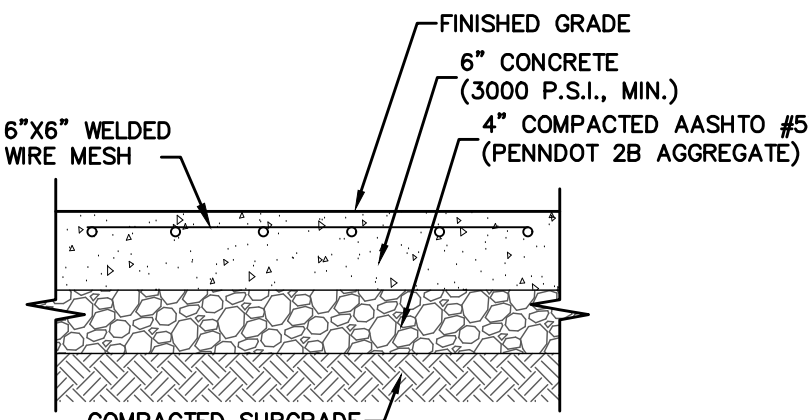
DIVERSION DITCH DETAIL

NOT TO SCALE



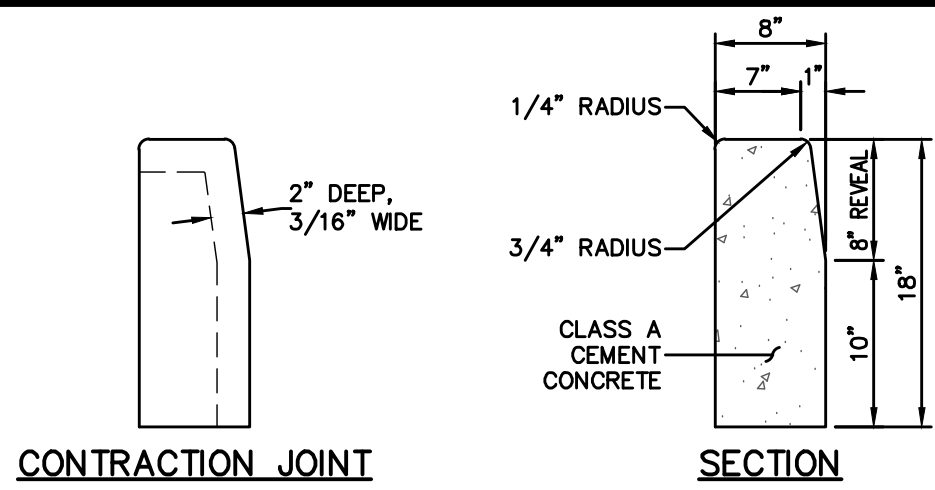
STANDARD DRIVEWAY APRON DETIAL

NOT TO SCALE

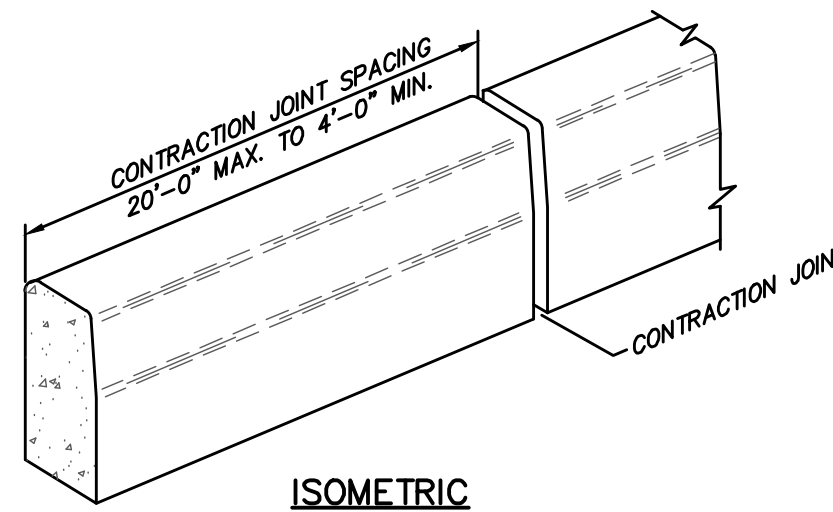


STANDARD DRIVEWAY APRON DETIAL

NOT TO SCALE

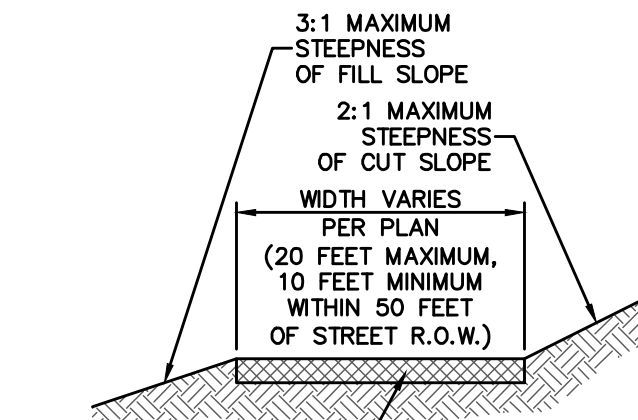


CONTRACTION JOINT

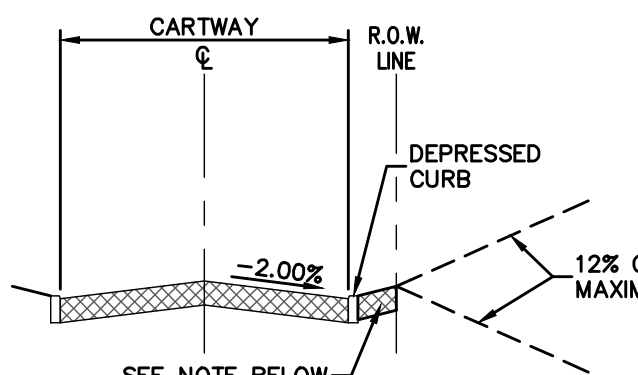


ISOMETRIC VERTICAL CONCRETE CURB

NOT TO SCALE



TYPICAL SECTION

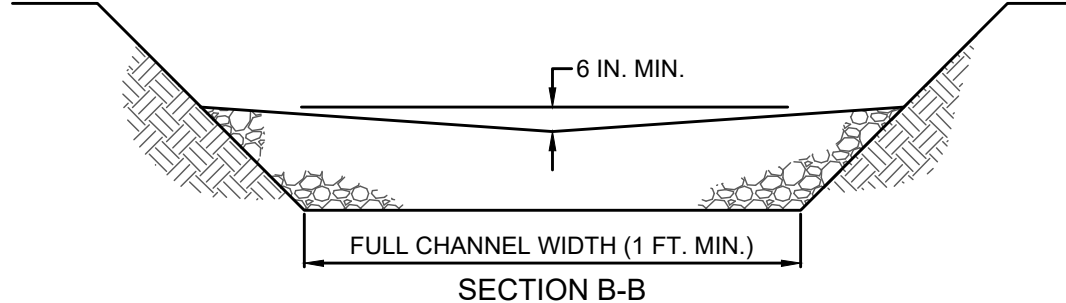
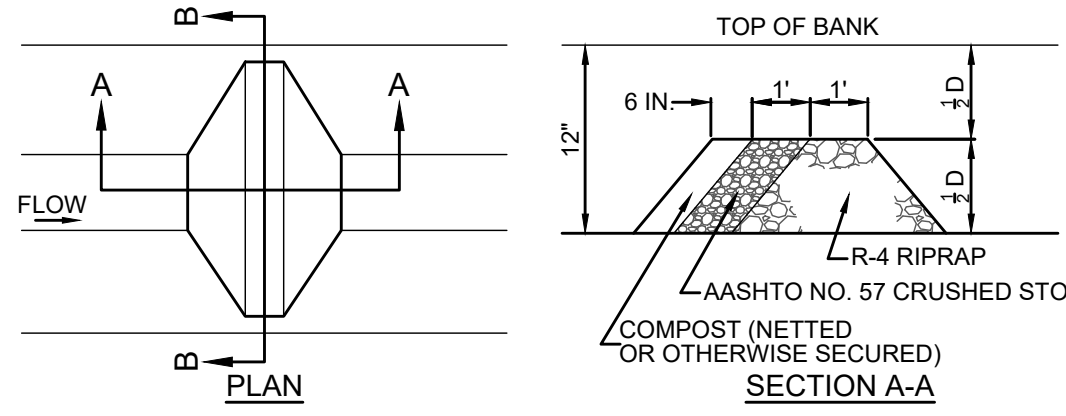


TYPICAL PROFILE

NOTE: WITHIN THE PUBLIC RIGHT OF WAY, THE DRIVEWAY SHALL BE SURFACED USING THE BITUMINOUS PAVEMENT SECTION SHOWN HEREON, OR WITH CEMENT CONCRETE. THE MAXIMUM ALLOWABLE LONGITUDINAL DRIVEWAY GRADE WITHIN THE STREET RIGHT OF WAY IS 4.00%.

TYPICAL DRIVEWAY

NOT TO SCALE



SECTION B-B

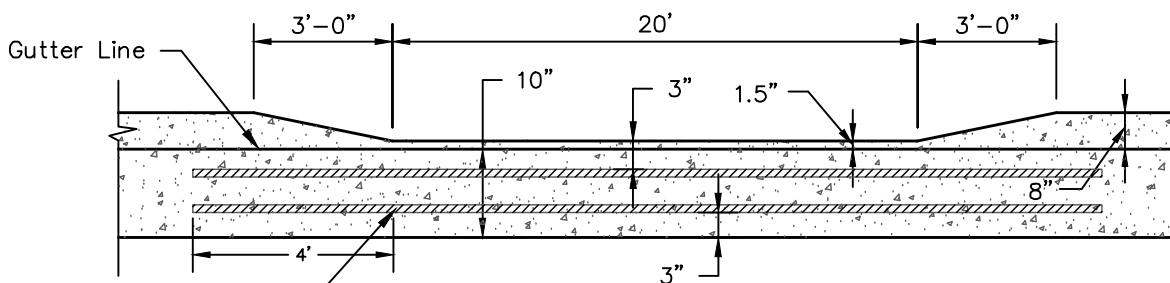
NOTES:

- SEDIMENT MUST BE REMOVED WHEN ACCUMULATIONS REACH 1/2 THE HEIGHT OF THE FILTERS.
- IMMEDIATELY UPON STABILIZATION OF EACH CHANNEL, REMOVE ACCUMULATED SEDIMENT, REMOVE ROCK FILTER, AND STABILIZE DISTURBED AREAS.

STANDARD CONSTRUCTION DETAIL #4-14

ROCK FILTER

NOT TO SCALE

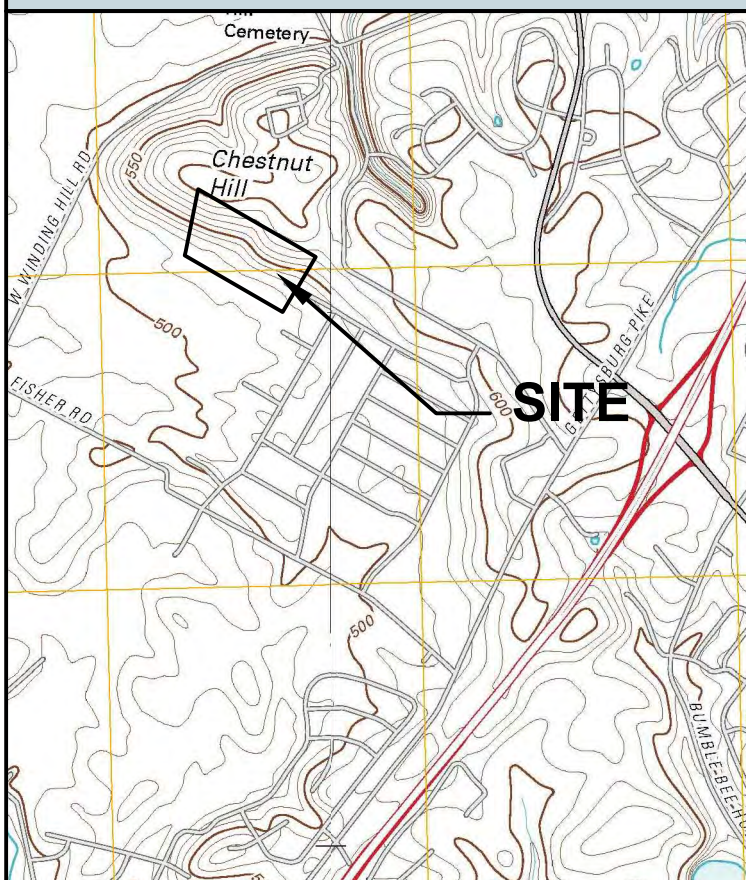


DEPRESSED CONCRETE CURB AT DRIVEWAY

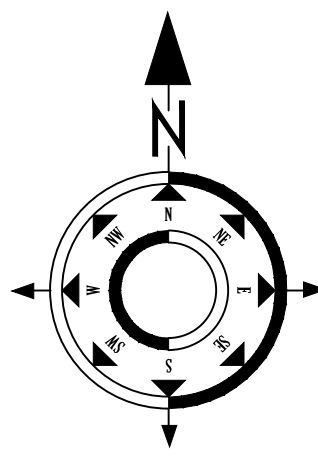
NOT TO SCALE

Akens Engineering Associates, Inc.
219 E. Main St. Shiremanstown, Pa. 17011
(P) 717-975-9933 (F) 717-975-5507
www.akensengineering.com
"Providing Quality Engineering & Surveying Services since 1983."

LOCATION MAP

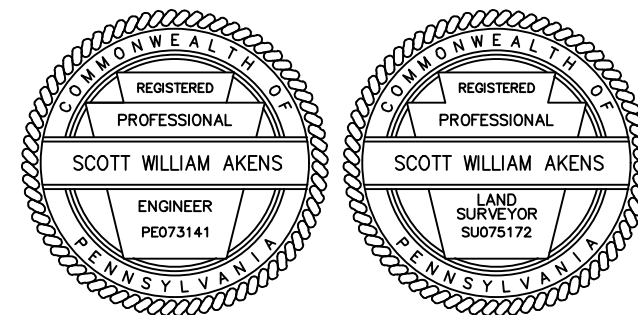


SCALE: 1" = 2000'



I hereby certify that this plan is correct and accurate to the best of my knowledge.

SCOTT W. AKENS
Professional Engineer, PE073141
Professional Land Surveyor, SU075172
Submitted on this ___ day of ___, 2017.



REVISIONS:

3/1/17 REVISED AS PER LETTERS FROM UPPER ALLEN TOWNSHIP DATED: 2/17/17 & CCPC DATED: 2/24/17
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FINAL SUBDIVISION AND LAND DEVELOPMENT PLAN FOR MEADOWVIEW ESTATES, SECTION II, PHASE VI-C

UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA

E&S NOTES & DETAILS

SCALE:	SHEET NUMBER:
AS NOTED	9 of 9
PLAN DATE:	
FEBRUARY 1, 2017	
FILE NAME:	
X:\407-3-1 - Meadowview 6-C\dwg\407 Meadowview - Phase VI-C - Base.dwg	