

PRELIMINARY / FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891

UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

GENERAL NOTES:

- PROPOSED DEVELOPMENT IS BREW PUB WITH ASSOCIATED PARKING. ON DECEMBER 18, 2019, THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVED FOR THIS SITE A CONDITIONAL USE OF A RESORT WITH AN ACCESSORY RESORT BREW PUB, SUBJECT TO CONDITIONS FOUND THIS SHEET. THE PROPOSED BREW PUB USE SHALL COMPLY WITH ALL CONDITIONS OF THE CONDITIONAL USE APPROVAL. NOTHING ON THIS PLAN IS MEANT TO SUPERSEDE ANY APPROVED FEATURES OR CONDITIONS FOR THE WILLOWS AT ASHCOMBE MANSION PLAN, WHICH WAS RECORDED ON FEBRUARY 23, 2021 IN INSTRUMENT NUMBER 202106405.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OR PLANTING STRIP THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR PLANTING STRIP, OR CONFLICT WITH THE EASEMENT AGREEMENT. NO STRUCTURES SHALL BE PLACED IN ANY EASEMENT OR PLANTING STRIP UNLESS OTHERWISE NOTED IN AN AGREEMENT.
- NO WORK IS PROPOSED IN THE PENNDOT RIGHT-OF-WAY. PENNDOT PERMIT #08105585, ISSUED MAY 14, 2021, EXISTS FOR THE CURRENT DRIVEWAYS TO THE WILLOWS AT ASHCOMBE MANSION. ALL WORK REQUIRED BY THE PERMIT HAS BEEN INSTALLED. TRAFFIC FROM THE PROPOSED BREW PUB WAS COUNTED IN THE ANALYSIS FOR THE PERMIT.
- NO LANDS OR FACILITIES ARE PROPOSED FOR DEDICATION TO PUBLIC USE. STORMWATER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE LOT; SEE THE DETAILED STORMWATER OPERATION AND MAINTENANCE AT THE END OF THIS PLAN SET.
- NO PARKING IS PERMITTED ALONG DRIVEWAYS EXCEPT IN DESIGNATED SPACES SHOWN. NO PARKING SIGNAGE IS PROPOSED AS SHOWN ON THE SITE PLAN.
- THIS PROJECT SHALL BE COMPLETED IN ONE PHASE.
- NO PROTECTIVE COVENANTS ARE PROPOSED OTHER THAN WHAT IS SHOWN ON THIS PLAN, AND ASSOCIATED WITH THE RECORDED PLAN FOR THE WILLOWS AT ASHCOMBE MANSION.
- STORMWATER MANAGEMENT PLANS APPROVED BY THE TOWNSHIP SHALL BE ON THE SITE THROUGHOUT THE DURATION OF THE REGULATED CONSTRUCTION ACTIVITY. A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN AND ANY REQUIRED PERMITS SHALL BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES DURING CONSTRUCTION.
- ANY PROPOSED SIGNS MUST BE IN ACCORDANCE WITH THE UPPER ALLEN TOWNSHIP ZONING ORDINANCE ARTICLE XVII.
- UPPER ALLEN TOWNSHIP IS HEREBY GRANTED USE OF THE DRAINAGE EASEMENTS FOR OBSERVATION, AND EMERGENCY MAINTENANCE. UPPER ALLEN TOWNSHIP REPRESENTATIVES SHALL HAVE THE RIGHT TO ACCESS VIA DRAINAGE EASEMENTS ANY STORMWATER MANAGEMENT BMP'S PROPOSED ON THIS PLAN, AT REASONABLE TIMES AND UPON PRESENTATION OF PROPER CREDENTIALS.
- UPPER ALLEN TOWNSHIP IS HEREBY GRANTED USE OF THE ACCESS DRIVES TO ACCESS DRAINAGE EASEMENTS FOR OBSERVATION, AND EMERGENCY MAINTENANCE.
- ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UPPER ALLEN TOWNSHIP, LATEST EDITION.
- NPDES PERMIT #PAD210071 EXISTS FOR THIS SITE. ALL PROPOSED WORK SHOWN ON THIS PLAN IS WITHIN THE NPDES PERMIT BOUNDARY.
- ALL OUTDOOR LIGHTING SHALL COMPLY WITH SETON 220-5.19 OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WITH ZONING ORDINANCE SECTIONS 245-16.10(G) AND 245-17.8.
- LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED BY THE LANDOWNER. FAILURE TO ADEQUATELY MAINTAIN LANDSCAPED AREAS MAY BE SUBJECT TO A CITATION ISSUED BY THE TOWNSHIP.
- THE SITE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- CONSTRUCTION OF ALL WORK WITHIN THE GETTYSBURG PIKE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE AND SANITARY SEWER FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. THE CONTRACTOR MUST PROVIDE MINIMUM 48 HOURS OF NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
- AS-BUILT MYLAR PLANS AND ELECTRONIC DATA FILES SHALL BE PROVIDED TO THE TOWNSHIP. ALL DRAWINGS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR ATTESTING TO THE CORRECTNESS OF THE FACILITY INFORMATION SHOWN, IN ACCORDANCE WITH THE CODIFIED ORDINANCES OF UPPER ALLEN TOWNSHIP.
- 100-YEAR FLOOD ELEVATION WAS OBTAINED FROM THE PRELIMINARY FEMA FLOOD MAP DATED MAY, 2019. NO PERMANENT BUILDING OR EARTH FILL IS PROPOSED IN THE FLOODPLAIN.
- A WETLAND DELINEATION AND PHASE I BOG TURTLE ASSESSMENT REPORT WAS PREPARED BY ADVANTAGE ENGINEERS IN MARCH OF 2018. A PHASE II BOG TURTLE VISUAL SURVEY REPORT AS PREPARED BY AMY S. GREENE ENVIRONMENTAL CONSULTANTS, INC. ON JULY 13, 2018. NO BOG TURTLES OR OTHER STATE-LISTED THREATENED OR ENDANGERED SPECIES WERE IDENTIFIED DURING THE SURVEYS.
- A SEWAGE PLANNING EXEMPTION WAS APPROVED FOR THIS USE, INCLUDING THE BREW PUB USE, PER A LETTER FROM PA DEP DATED SEPTEMBER 3, 2020; DP CODE NO. A3-21929-300-3E.
- THE FOLLOWING UPPER ALLEN TOWNSHIP ZONING DISTRICTS ARE LOCATED ADJACENT TO THIS SITE: MEDIUM DENSITY RESIDENTIAL (R-2); NEIGHBORHOOD COMMERCIAL (C-1); AND PLANNED RESIDENTIAL DEVELOPMENT (PRD).
- TRASH DISPOSAL FROM THE BREW PUB SHALL USE THE EXISTING DUMPSTER AREA AT THE WILLOWS OF ASHCOMBE MANSION, WHERE SHOWN ON THE OVERALL SITE PLAN HEREIN.
- WETLANDS AND FLOODPLAIN / FLOODWAY ARE KNOWN TO EXIST ON THIS SITE. THERE ARE NO WETLANDS IN THE PROJECT AREA. WHILE THERE ARE SLOPES GREATER THAN 15% ON THIS PROPERTY, THEY ARE EITHER MAN-MADE OR INSIGNIFICANT IN SIZE. THERE IS NO STEEP SLOPE PROTECTION OVERLAY DISTRICT ON THIS SITE.
- WITHIN CLEAR SIGHT TRIANGLES SHOWN HEREIN, NO FENCE, SIGN OR OTHER ABOVE GRADE STRUCTURE SHALL BE ERECTED, AND NO HEDGE, TREE, SHRUB OR OTHER GROWTH SHALL BE MAINTAINED OR PERMITTED WHICH MAY CAUSE DANGER TO TRAFFIC BY OBSCURING THE VIEW BETWEEN THREE FEET AND NINE FEET ABOVE THE GRADE OF THE STREET OR ROADWAY.

THE FOLLOWING WAIVERS/MODIFICATIONS/DEFERRALS FROM THE UPPER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE PREVIOUSLY APPROVED WITH THE WILLOWS AT ASHCOMBE MANSION:

WAIVER SECTION	DESCRIPTION	DATE OF WAIVER/MODIFICATION REQUEST	DATE OF WAIVER/MODIFICATION/DEFERRAL APPROVAL
* 220-9.A	PERTAINING TO PROCESS A COMBINED PRELIMINARY AND FINAL PLAN.	1/17/20	5/20/20
220-16.B.(3)	PERTAINING TO LOCATION OF SIDEWALK	1/17/20	5/20/20
* 220-16.A.(1)	PERTAINING TO CURBING ALONG ACCESS DRIVES AND PARKING	1/17/20	5/20/20
** 220-16.A.(2)	PERTAINING TO INSTALLATION OF CURBING ALONG GETTYSBURG PIKE AND GRANTHAM ROAD	1/17/20	5/20/20

*MODIFICATION ONLY**DEFERRED ONLY

THE FOLLOWING WAIVERS/MODIFICATIONS/DEFERRALS FROM THE UPPER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED FOR TAVERN 1891:

WAIVER SECTION	DESCRIPTION	DATE OF WAIVER/MODIFICATION REQUEST	DATE OF WAIVER/MODIFICATION/DEFERRAL APPROVAL
* 220-3.5	PERTAINING TO PROCESS A COMBINED PRELIMINARY AND FINAL PLAN.	6/1/23	
** 220-5.3.A.(2)	PERTAINING TO INSTALLATION OF CURBING ALONG GETTYSBURG PIKE AND GRANTHAM ROAD	6/1/23	
220-5.3.B.(3)	PERTAINING TO LOCATION OF SIDEWALK	6/1/23	

*MODIFICATION ONLY**DEFERRED ONLY

COMMONWEALTH OF PENNSYLVANIA
COUNTY OF _____

ON THIS, THE ____ DAY OF _____, 2023, BEFORE ME, THE UNDERSIGNED, PERSONALLY APPEARED _____, BEING _____, WHO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT HE IS THE OWNER OF THE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, THAT IT ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE RECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC PROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED TO THE PUBLIC USE.

* _____
** _____

* SIGNATURE OF THE INDIVIDUAL
** SIGNATURE AND SEAL OF THE NOTARY PUBLIC
OR OTHER OFFICER AUTHORIZED TO ACKNOWLEDGE DEEDS

CONDITIONALLY APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER ALLEN TOWNSHIP
THIS _____ DAY OF _____, 2023.

THE CONDITIONS OF APPROVAL WERE SATISFIED
THIS _____ DAY OF _____, 2023.

CHAIRMAN _____
SECRETARY _____

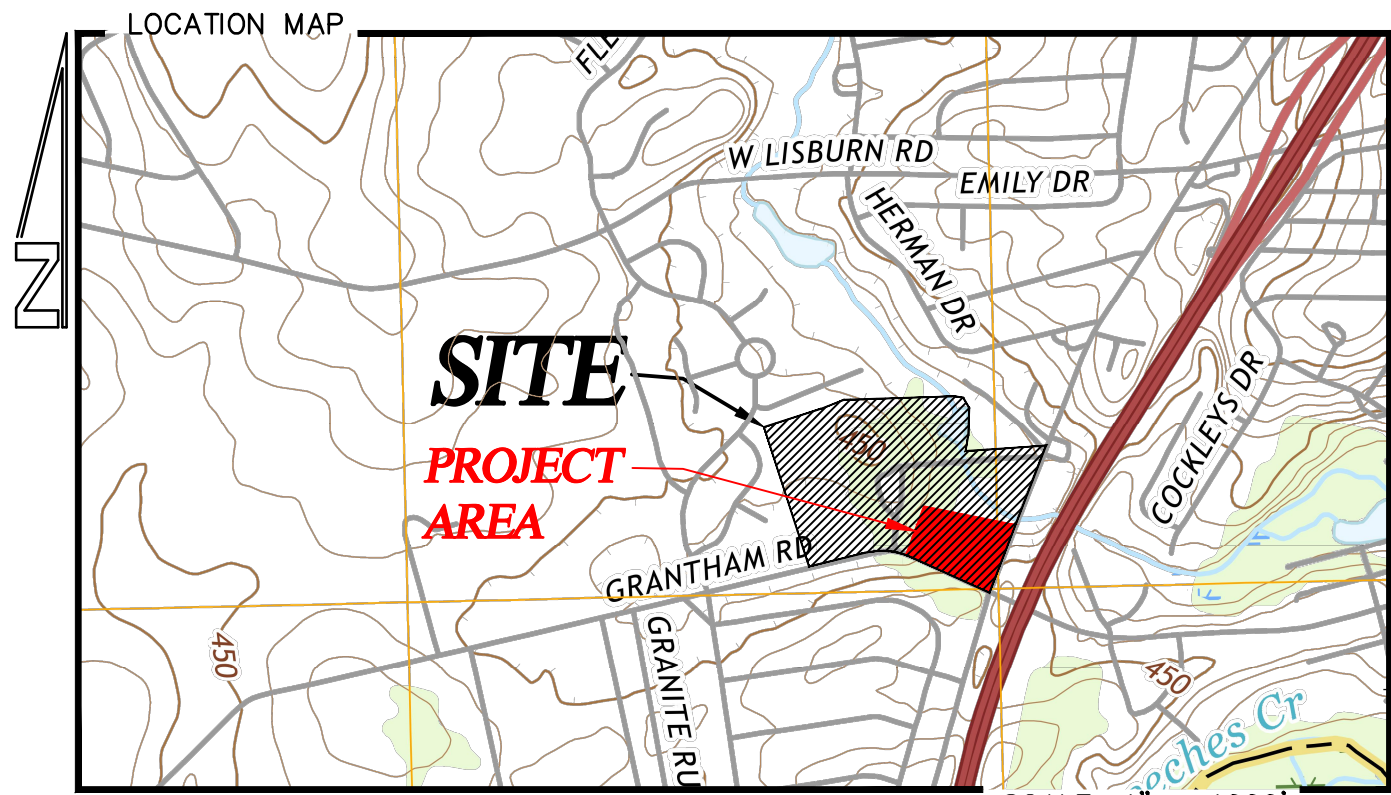
THIS PLAN RECOMMENDED FOR APPROVAL BY THE UPPER ALLEN TOWNSHIP PLANNING COMMISSION
THIS _____ DAY OF _____, 2023.

CHAIRMAN _____
SECRETARY _____

I, JOHN K. MURPHY, P.L.S., HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, OR REGISTERED ENGINEER IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY IN AREA OF DEVELOPMENT COMPLETED BY ME, ON _____, THAT ALL THE MONUMENTS SHOWN THEREON ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.

I, JOHN K. MURPHY, P.E., ON _____, 2023, HAVE REVIEWED AND HEREBY CERTIFY THAT THE STORMWATER MANAGEMENT SITE PLAN MEETS ALL DESIGN STANDARDS AND CRITERIA OF THE UPPER ALLEN TOWNSHIP STORMWATER MANAGEMENT ORDINANCE, AND THAT ACCORDING TO GEOLOGIC MAPPING, THE PROJECT AREA IS NOT DIRECTLY UNDERLAIN BY KARST FEATURES.

I HEREBY CERTIFY THIS PLAN TO BE CORRECT AS SHOWN, AND THAT ALL ELEMENTS OF THE PLAN ARE IN CONFORMITY WITH TOWNSHIP CODE AND ANY APPLICABLE STATE REGULATIONS.



INDEX OF DRAWINGS :

- COVER SHEET
- EXISTING FEATURES PLAN
- SITE PLAN
- GRADING/UTILITY/LANDSCAPE PLAN
- LIGHTING PLAN
- EROSION CONTROL PLAN
- MISCELLANEOUS PROFILES
- MISCELLANEOUS DETAILS
- STORMWATER DETAILS
- SANITARY SEWER DETAILS
- EROSION CONTROL DETAILS / NOTES

DATE :
JUNE 1, 2023

REVISIONS:



PA ONE-CALL FOR THIS PROJECT:
SERIAL NUMBER: 20181801694

CONDITIONAL USE:

THIS LAND DEVELOPMENT AND SUBDIVISION HAS RECEIVED CONDITIONAL USE APPROVAL WITH CONDITIONS FOR A RESORT DEVELOPMENT BY THE BOARD OF SUPERVISORS AT A MEETING HELD ON DECEMBER 18, 2019, SUBJECT TO THE FOLLOWING CONDITIONS:

The Upper Allen Township Board of Supervisors at its meeting held December 18, 2019, approved the above referenced Conditional Use Application subject to the following conditions:

Zoning Ordinance of 2017:

- The Applicant shall comply with the Zoning Regulations governing the uses and design of the property or obtain any zoning relief necessary to develop the property in general conformance with the plans presented at the Conditional Use Public Hearing.
- The two (2) parcels included in the proposed development shall be consolidated into one (1) parcel. At no time may the principal use and any accessory use(s) be located on separate lots.
- The building designs for all structures and facilities proposed by the Applicant shall be substantially in compliance with the plans presented in the Conditional Use Application.
- The granted approval of the Conditional Use Application shall not relieve the Applicant from filing and having the Township approve any permit, land development or site plan which may be required by other Township regulations or form, otherwise, complying with all applicable Township Regulations.
- Outdoor dining and beverage service for permanent, regularly used, or temporary outdoor seats for the resort brew pub are restricted to 50 outdoor seats. All outdoor dining and beverage service for the resort and resort brew pub shall extend no later than 10:00 p.m. This outdoor seating restriction does not apply to dining and beverage service within the proposed tent.
- The resort brew pub will not use any outdoor barbecue or other method of cooking that creates smoke, excess odors, or any other nuisance to surrounding property owners.
- Hours of operation for the resort brew pub are restricted to 11:00 a.m. to Midnight.
- The resort brew pub will seat no more than 200 persons indoors and food sales must account for at least 35% of gross revenue.
- The resort brew pub shall not provide live, acoustic, or recorded music outside of the resort brew pub building. Rather, the resort brew pub shall be permitted to provide live acoustic, or recorded music only within the resort brew pub building.
- The uses on the property shall meet all other requirements of the Township that may apply.
- No more than one (1) principal commercial (i.e. non-residential) use shall be conducted on the property.
- There cannot be a separate monument sign for the resort brew pub. Signage for the brew pub shall be limited to one wall sign or projecting sign on the brew pub building, in compliance with Article XVII of Chapter 245.
- Notwithstanding the limitations Section 245-18.2, projecting signs, wall signs and monument signs shall be permitted for the resort in compliance with Article XVIII of Chapter 245.
- Applicant will comply with all State and Federal laws regarding the manufacture and sale of food and liquor and malt beverages.

SITE DATA:

- APPLICANT:
DEBORAH MYERS WELSH
ASHCOMBE MANSION PROPERTY, LLC
1100 GRANTHAM ROAD
MECHANICSBURG, PA 17055
PHONE: (717) 497-318
- TOTAL SITE AREA: TOTAL = 22.49 AC (GROSS AREA) - 1.17 AC (R/W AREA) = 21.32 AC
- SITE IS ZONED R-1: LOW-DENSITY RESIDENTIAL.
- TAX REFERENCE: 42-11-0276-29A
42-11-0276-29B
- EXISTING USE: RESORT
PROPOSED USES: RESORT AND ACCESSORY BREW PUB.
- CURRENT SITE ADDRESS IS: 1100 GRANTHAM ROAD, MECHANICSBURG, PA 17055
- EXISTING BUILDING COVERAGE: 0.55 AC/21.32 AC = 2.6%
- EXISTING IMPERVIOUS COVERAGE: 3.67 AC/21.32 AC = 17.2%
- PROPOSED ULTIMATE IMPERVIOUS COVERAGE: 4.91 AC/21.32 AC = 23.0%
WITH RESORT FULL BUILD OUT
AND PROPOSED TAVERN 1891
- PROPOSED LANDSCAPED AREA: 77.0%
WITH RESORT FULL BUILD OUT
AND PROPOSED TAVERN 1891
- REQUIRED AND PROPOSED OFF-STREET PARKING FOR RESORT (PREVIOUSLY APPROVED):

- 1 SPACE PER GUEST ROOM
- 1 SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT
- 1 SPACE FOR EACH 400 SQUARE FEET OF PUBLIC MEETING AREA

REQUIRED RESORT PARKING CALCULATIONS:

RESORT: 31 GUEST ROOMS, 25 EMPLOYEES, 13,800 S.F. OF MEETING SPACE
31 + 25 + (13,800 ÷ 35) = 91 SPACES REQUIRED

REQUIRED PARKING FOR BREW PUB (TAVERN 1891):
120 SEATS, 20 EMPLOYEES
(120/4 = 30) + (20/2 = 10) = 40 SPACES

REQUIRED TOTAL SPACES: 131
EXISTING SPACES: 155 (INCLUDES 6 ADA SPACES)
SPACES PROPOSED WITH TAVERN 1891: 34 (INCLUDES 2 ADA SPACES)
TOTAL PROPOSED SPACES PROVIDED: 189 (INCLUDES 8 ADA SPACES)

UTILITY LISTING FOR UPPER ALLEN TOWNSHIP:

- EXISTING WATER SUPPLY: PUBLIC (VEOLIA NORTH AMERICA)

● CABLE	COMCAST CABLE COMMUNICATIONS INC. 4601 SMITH ST. HARRISBURG, PA 17109 CONTACT: MICHAEL SWEIGARD TELEPHONE: 717-651-1915 EMAIL: mike_sweigard@cable.comcast.com	● SANITARY SEWER	TOWNSHIP OF UPPER ALLEN 100 GETTYSBURG PIKE MECHANICSBURG, PA 17055 CONTACT: KODI HOCKENBERRY TELEPHONE: 717-766-0756 EMAIL: khockenberry@utwp.org
● ELECTRIC	PPL ELECTRIC UTILITIES 503 NEW MARKET ST. WILKES BARRE, PA 18702 CONTACT: MARK SANTAYANA EMAIL: mcsantayana@pplweb.com	● TELEPHONE	VERIZON PENNSYLVANIA LLC 1026 HAY ST PITTSBURGH, PA 15221 CONTACT : DEBORAH BARUM EMAIL: deborah.d.dello@verizon.com
● GAS	UGI UTILITIES INC. 1301 AIP DR. MIDDLETOWN, PA 17057-5987 CONTACT: CHESTER WENTZ TELEPHONE: 717-930-0223 EMAIL: cwentz@ugi.com	● WATER SERVICE	VEOLIA NORTH AMERICA 6310 ALLENTOWN BOULEVARD SUITE 104 HARRISBURG, PA 17112 CONTACT: KARA NIES TELEPHONE: 717-901-6320 EMAIL: Kara.nies@veolia.com

APPLICANT/DEVELOPER

ASHCOMBE MANSION PROPERTY, LLC
DEBORAH MYERS WELSH, PRESIDENT
1100 GRANTHAM ROAD
MECHANICSBURG, PA 17055
PHONE: (717) 497-3187



PLANNING • ENGINEERING • SURVEYING
115 LIMEKILN RD. P.O. BOX 'G'
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LEGEND

Property Line
Adjoiner Property Line
Existing Right-of-way
Easement Line
Existing Edge of Pavement
Existing Contour
Existing Water Meter
Existing Water Valve
Existing Electric Meter
Existing Utility Pole & Guy Wire
Existing Sanitary Sewer Manhole
Existing Storm Sewer Manhole
Existing Street Sign
Existing Storm Sewer Pipe & Inlet
Existing Fence Line
Existing Guidrail
Existing Water Line
Existing Sanitary Line
Existing Overhead Electric Line
Existing Overhead Telephone Line
Existing Underground Electric Line
Finished Floor Elevation
Concrete Monument Found
Iron Pipe Found
4" Solid White Point Line
4" Double Yellow Point Line
Wetland Area (Typical)
Concrete (Typical)
Soils
Existing Npdes Permit Boundary

- GENERAL NOTES
- EXISTING FEATURES DEPICTED BY A FIELD SURVEY PERFORMED BY ALPHA CONSULTING ENGINEERS, INC., AS OF NOVEMBER, 2022.
 - THE RIGHT-OF-WAY DEPICTED FOR S.R. 2026 (GRANTHAM ROAD) WAS TAKEN FROM COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF TRANSPORTATION DRAWINGS FOR CONSTRUCTION AND CONDEMNATION OF RIGHT OF WAY RURAL ROUTE NO. 21027 TR. ROUTE NO. 311, ROUTE NO. 12 TR. ROUTE NO. 15, FROM STATION 179+50 TO 181+50 (R.R. 21027) AND FROM STATION 457+56 TO 469+40 (R.T. 123) IN CUMBERLAND COUNTY, DATED MAY 2, 1932.
 - A PORTION OF THE SITE DOES LIE WITHIN THE 100 YEAR FLOOD PLAIN (ZONE "X") AS DETERMINED BY FEDERAL EMERGENCY MANAGEMENT AGENCY, TAKEN FROM FLOOD INSURANCE RATE MAP PANEL 267 OF 480, MAP NUMBER 42041C0267E, BEARING AN EFFECTIVE DATE OF MARCH 16, 2009.
 - ALL UNDERGROUND UTILITIES ARE SHOWN PER FIELD SURVEY AND ALSO PA ONE CALL #20181001694. THE UTILITY LOCATIONS SHOWN HEREON ARE CONSIDERED TO BE APPROXIMATE AND SHOULD BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY EXCAVATION/CONSTRUCTION. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO CONTACT THE APPROPRIATE PUBLIC UTILITIES 72 HOURS IN ADVANCE OF ANY CONSTRUCTION ACTIVITIES.
 - ALPHA CONSULTING ENGINEERS SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION, MEANS, METHODS, TECHNIQUES OR PROCEDURES UTILIZED BY THE CONTRACTOR, NOR FOR THE SAFETY OF THE PUBLIC OR THE CONTRACTOR'S EMPLOYEES, OR FOR THE FAILURE OF THE CONTRACTOR TO CARRY OUT THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS.

CURVE TABLE

CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	165.30'	375.00'	N77°25'40"W	163.96'
C2	84.29'	375.00'	S83°30'18"W	84.11'

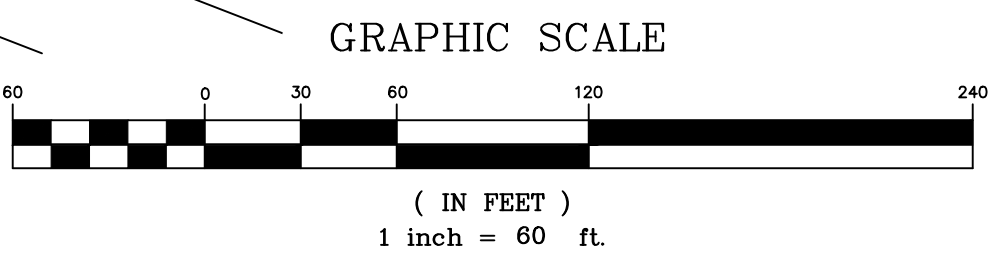
Conservation Easement

Line	Length	Bearing
WL1	36.98'	S57°47'41"W
WL2	59.87'	S45°36'28"W
WL3	46.64'	S28°47'49"W
WL4	42.92'	S41°51'53"E
WL5	51.09'	S26°49'18"E
WL6	32.91'	S54°09'06"E
WL7	14.70'	S63°39'01"E
WL8	33.55'	S30°00'00"W
WL9	41.11'	S60°31'06"E
WL10	24.30'	N32°45'04"E
WL11	15.07'	S39°22'03"E
WL12	18.08'	S23°50'41"E
WL13	42.91'	S59°35'20"E
WL14	55.24'	S75°46'04"E
WL15	63.85'	S17°20'39"E
WL16	30.50'	S22°39'31"E
WL17	31.97'	S40°26'45"E
WL18	31.90'	S60°48'55"E
WL19	67.87'	N86°14'35"E
WL20	70.19'	S79°18'39"E
WL21	25.12'	S12°33'44"E
WL22	58.27'	S64°34'00"W
WL23	43.65'	N0°36'11"E
WL24	24.84'	N37°38'40"W
WL25	35.02'	S88°32'32"W
WL26	122.05'	N43°13'45"W
WL27	63.89'	N39°52'23"E
WL28	67.72'	S65°27'31"W
WL29	158.07'	S4°45'33"E
WL30	84.01'	N74°58'14"E
WL31	29.06'	N34°49'40"E
WL32	42.24'	N40°13'23"E
WL33	60.47'	N4°32'18"W
WL34	48.56'	N60°45'46"W
WL35	37.77'	N51°01'02"W

DEFERRED IMPROVEMENTS
ARE SHOWN IN RED COLOR



PROPOSED TAVERN 1891 PROJECT AREA
(SEE SHEETS 3-6 FOR DETAILS)



SOIL SYMBOL	SOIL DESCRIPTION	SLOPE (%)	DEPTH TO HIGH WATER TABLE PER S.C.S. SOIL SURVEY	DEPTH TO BEDROCK PER S.C.S. SOIL SURVEY	HYDROLOGIC SOIL GROUP
Bd8	Bedington shaly Silt Loam	3-8	5'+	40'+	B
BdC	Bedington shaly Silt Loam	8-15	5'+	40'+	B
Br8	Brinkerton Silt Loam	3-8	0-0.5'	60'+	D
E1B	Ernest silt loam	3-8	1.5'-3'	60'+	C

SOIL SYMBOL	SOIL LIMITATIONS PER S.C.S. SOIL SURVEY	CONTRACTOR RESOLUTIONS OF SOIL LIMITATIONS
Bd8	Outbanks cave easily, droughty, easily erodible, poor percolation, poor for topsoil, frost action	Proposed grading shall be compacted with equipment, in layers, per standard construction practices to ensure that placed soil is tight and strong. Soil with significant clay content shall be proof rolled. Any unsuitable material (such as the Brinkerton and Ernest soil areas where wetness might be present) shall be removed and replaced with adequate subgrade / subbase from drier portions of the site. Desirable seeding, fertilizer and lime supplements for this site can be determined with a soil test. This would offset the possible low Pm. Slopes shall be re-graded, then stabilized with topsoil, seed and mulch, and matted if steep. Topsoil can be imported from other sources, as it is readily available in the area. In general, there are no unusual site characteristics here that are unlike those found elsewhere in the region where similar soils are present. No special construction methods or procedures seem necessary.
BdC	Outbanks cave easily, droughty, easily erodible, slow percolation/shallow depth to seasonal high water table, piping, poor for topsoil, frost action, shrink-swell, wetness	
Br8	Outbanks cave easily, droughty, easily erodible, slow percolation/shallow depth to seasonal high water table, piping, poor for topsoil, frost action, shrink-swell, wetness	
E1B	Outbanks cave easily, droughty, easily erodible, slow percolation/shallow depth to seasonal high water table, piping, poor for topsoil, frost action, shrink-swell, wetness	

DESIGN : MKS
DRAWN : MKS
CHECKED : JKM
DATE : 05/1/2023

PLANNING ENGINEERING SURVEYING
115 LIMEKILN RD. P.O. BOX 'G'
NEW CUMBERLAND, PA 17070
PHONE: (717) 770-1250
FAX: (717) 770-1250
WWW.ALPHACON.COM

ALPHA
ALPHA CONSULTING ENGINEERS, INC.

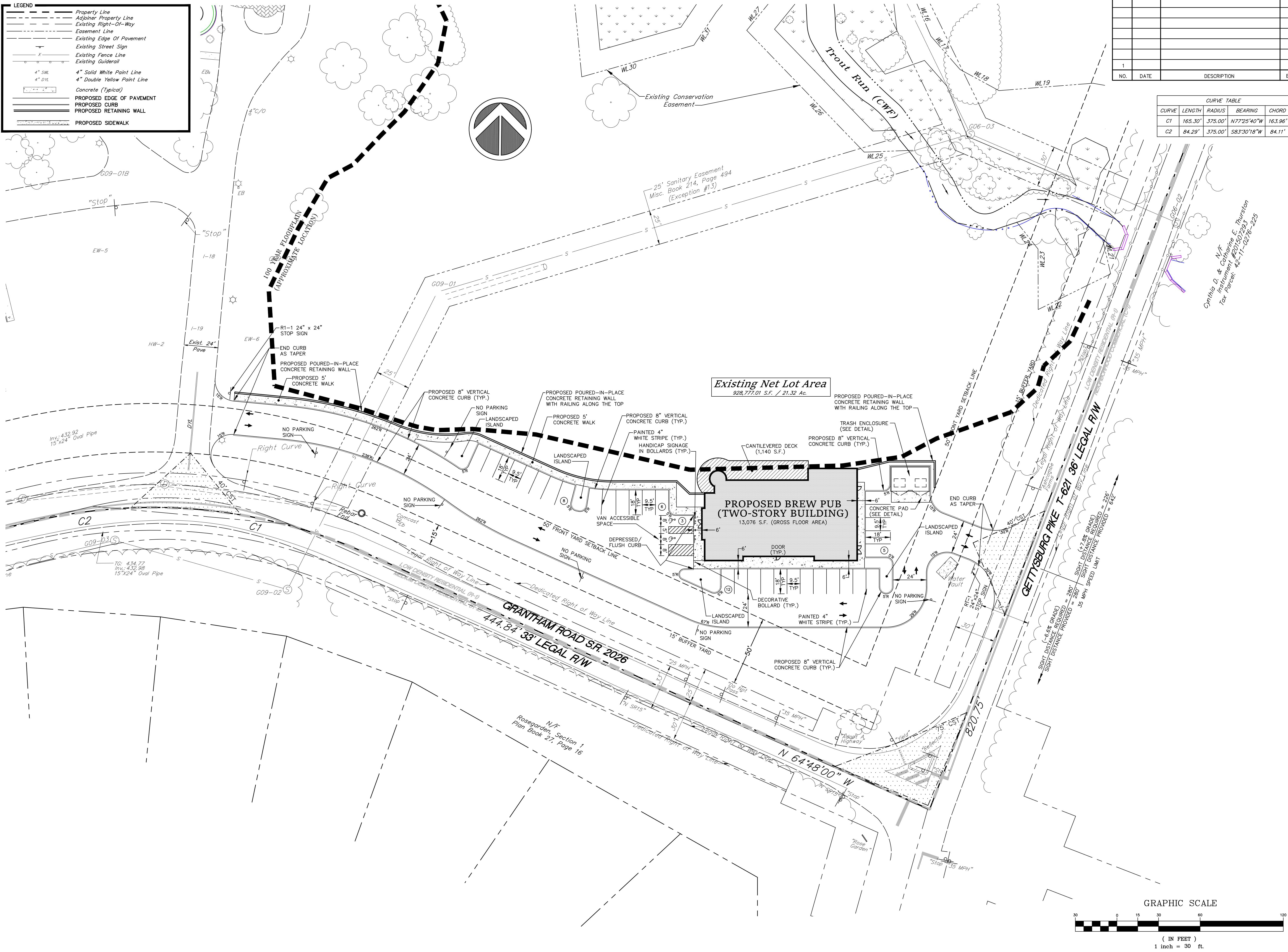
SEAL

SEAL

EXISTING FEATURES PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
318032
SURVEY BOOK :
Z:\2018\318032.sur\318032.sur\field
SCALE : 1" = 60'
DWG FILE : 1\2018\318032.dwg\318032.dwg
SHEET **2** of **11**

LEGEND	
	Property Line
	Adjoiner Property Line
	Existing Right-Of-Way
	Easement Line
	Existing Edge Of Pavement
	Existing Street Sign
	Existing Fence Line
	Existing Guideline
	4" Solid White Paint Line
	4" Double Yellow Paint Line
	Concrete (Typical)
	PROPOSED EDGE OF PAVEMENT
	PROPOSED CURB
	PROPOSED RETAINING WALL
	PROPOSED SIDEWALK



CURVE TABLE				
CURVE	LENGTH	RADIUS	BEARING	CHORD
C1	165.30'	375.00'	N77°25'40"W	163.96'
C2	84.29'	375.00'	S83°30'18"W	84.11'

Onthia D. & Christopher E. Thurston
 Instrument #201507233
 Tax Parcel: 42-11-0210-225

DESIGN :	MKS
DRAWN :	MKS
CHECKED :	JKM
DATE :	05/1/2023

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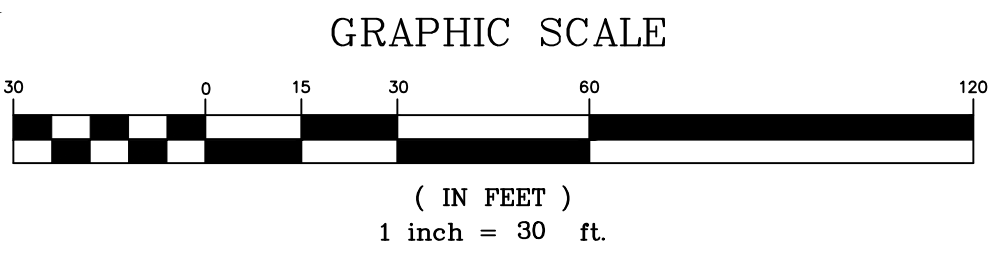
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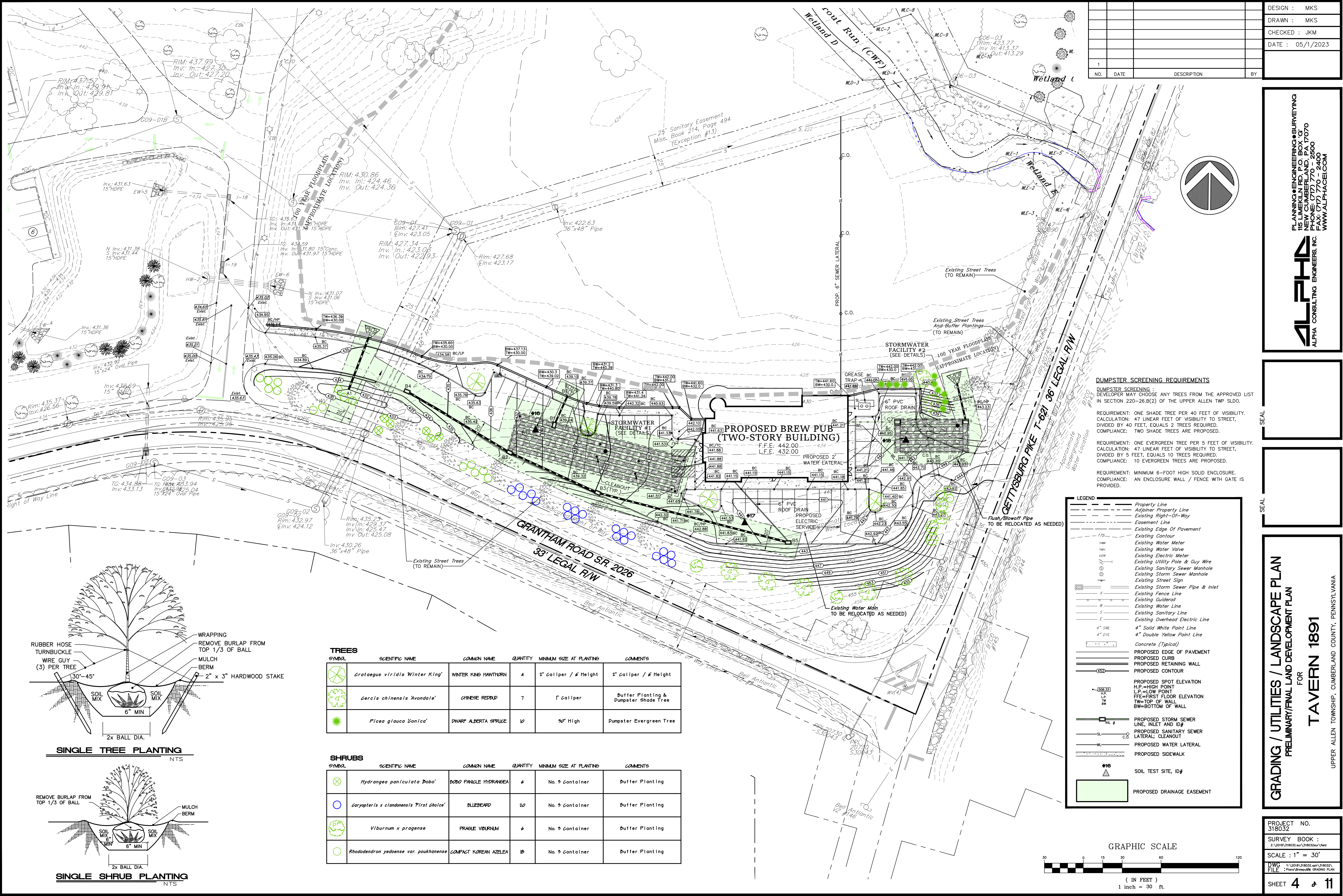
SEAL

SEAL

SITE PLAN
 PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
 FOR
TAVERN 1891
 UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	318032
SURVEY BOOK :	Z:\2018\318032.dwg\318032.dwg\field
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DWG FILE	I:\2018\318032.dwg\318032.dwg\318032.dwg\03 SITE PLAN
SHEET	3 of 11





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NO.	DATE	DESCRIPTION	BY
1			

GRADING / UTILITIES / LANDSCAPE PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	318032
SURVEY BOOK :	2/2018/318032.sur/318032.sur/Field
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DWG FILE	Y:\2018\318032.sur\318032.dwg
FILE	2/2018/318032.dwg 05/01/2023 15:41
SHEET	4 of 11

NO.	DATE	DESCRIPTION	BY
1			

DUMPSTER SCREENING REQUIREMENTS
DUMPSTER SCREENING :
DEVELOPER MAY CHOOSE ANY TREES FROM THE APPROVED LIST IN SECTION 220-26.B(2) OF THE UPPER ALLEN TWP SLD.O.
REQUIREMENT: ONE SHADE TREE PER 40 FEET OF VISIBILITY. CALCULATION: 47 LINEAR FEET OF VISIBILITY TO STREET, DIVIDED BY 40 FEET, EQUALS 2 TREES REQUIRED. COMPLIANCE: TWO SHADE TREES ARE PROPOSED.
REQUIREMENT: ONE EVERGREEN TREE PER 5 FEET OF VISIBILITY. CALCULATION: 47 LINEAR FEET OF VISIBILITY TO STREET, DIVIDED BY 5 FEET, EQUALS 10 TREES REQUIRED. COMPLIANCE: 10 EVERGREEN TREES ARE PROPOSED.
REQUIREMENT: MINIMUM 6-FOOT HIGH SOLID ENCLOSURE. COMPLIANCE: AN ENCLOSURE WALL / FENCE WITH GATE IS PROVIDED.

LEGEND

Property Line

Adjoiner Property Line

Existing Right-Of-Way

Easement Line

Existing Edge of Pavement

Existing Water Meter

Existing Water Valve

Existing Electric Meter

Existing Utility Pole & Guy Wire

Existing Sanitary Sewer Manhole

Existing Storm Sewer Manhole

Existing Street Sign

Existing Storm Sewer Pipe & Inlet

Existing Fence Line

Existing Culvert

Existing Water Line

Existing Sanitary Line

Existing Overhead Electric Line

4" SWL

4" DYL

4" Double Yellow Paint Line

Concrete (Typical)

PROPOSED EDGE OF PAVEMENT

PROPOSED CURB

PROPOSED RETAINING WALL

PROPOSED CONTOUR

PROPOSED SPOT ELEVATION

H.P.=HIGH POINT

L.P.=LOW POINT

F.FE=FIRST FLOOR ELEVATION

TW=TOP OF WALL

BW=BOTTOM OF WALL

PROPOSED STORM SEWER LINE, INLET AND ID#

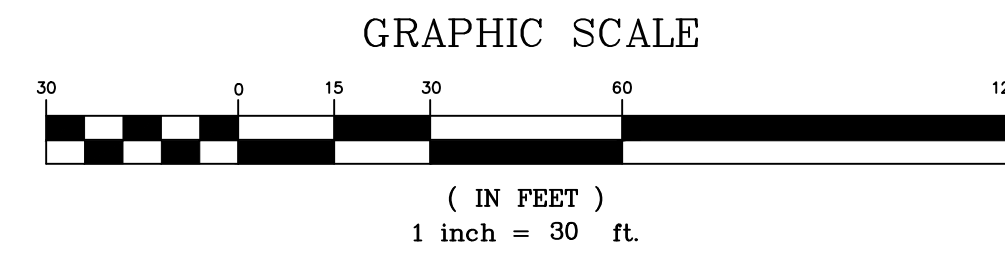
PROPOSED SANITARY SEWER LATERAL; CLEANOUT

PROPOSED WATER LATERAL

PROPOSED SIDEWALK

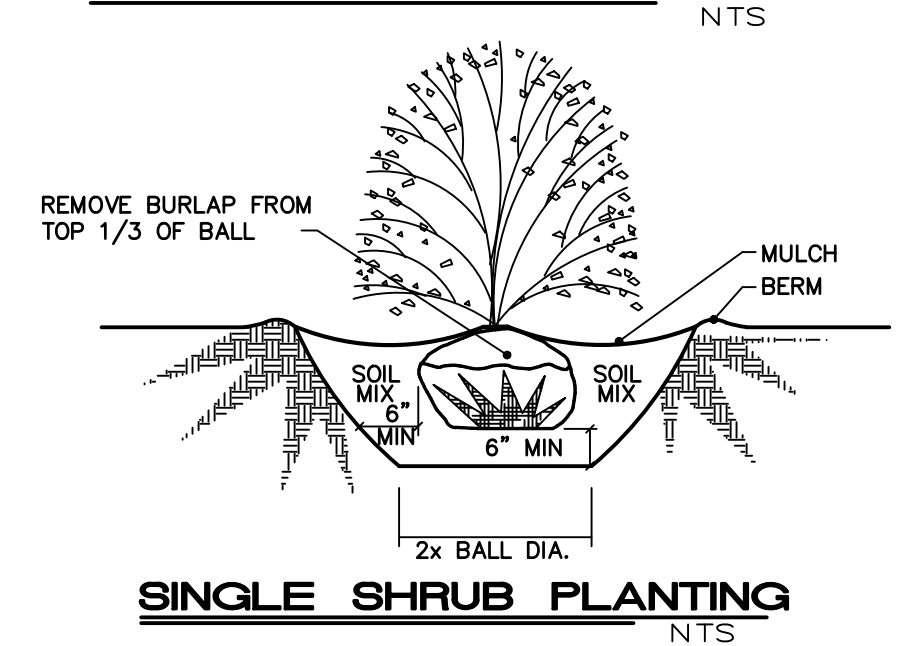
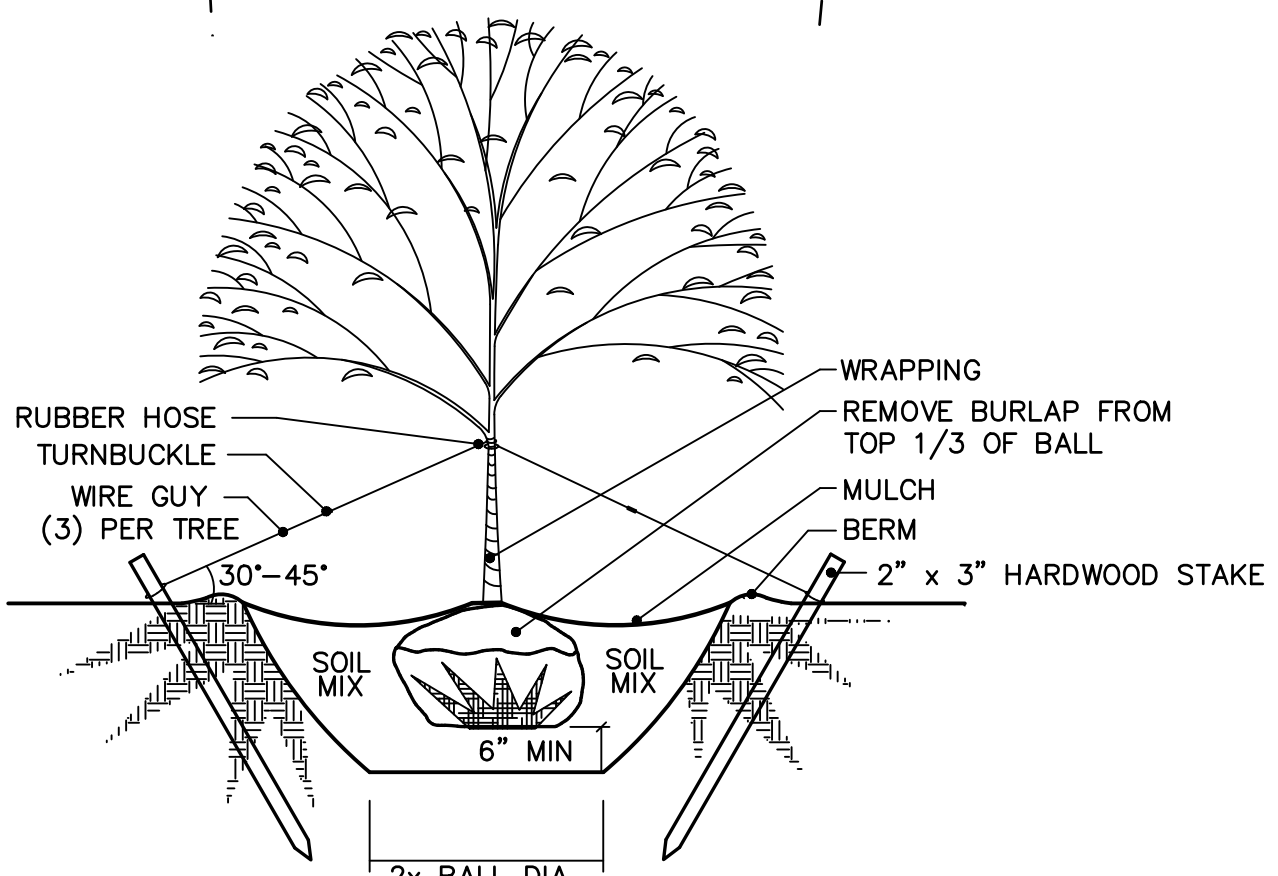
SOIL TEST SITE, ID#

PROPOSED DRAINAGE EASEMENT



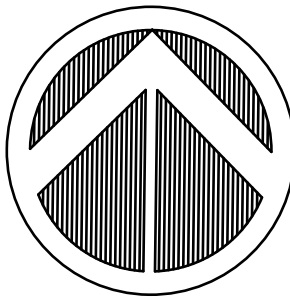
TREES	SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY	MINIMUM SIZE AT PLANTING	COMMENTS
		<i>Grotaegus viridis 'Winter King'</i>	WINTER KING HAWTHORN	4	2" Caliper / 6' Height	2" Caliper / 6' Height
		<i>Cercis chinensis 'Avondale'</i>	CHINESE REDBUD	7	1" Caliper	Buffer Planting & Dumpster Shade Tree
		<i>Picea glauca 'Conica'</i>	DWARF ALBERTA SPRUCE	10	30" High	Dumpster Evergreen Tree

SHRUBS	SYMBOL	SCIENTIFIC NAME	COMMON NAME	QUANTITY	MINIMUM SIZE AT PLANTING	COMMENTS
		<i>Hydrangea paniculata 'Bobo'</i>	BOBO PANICLE HYDRANGEA	6	No. 3 Container	Buffer Planting
		<i>Corypteria x clandonensis 'First Choice'</i>	BLUEBERRY	20	No. 3 Container	Buffer Planting
		<i>Viburnum x pragnense</i>	FRAGILE VIBURNUM	6	No. 3 Container	Buffer Planting
		<i>Rhododendron yedoense var. poukhanense</i>	COMPACT KOREAN AZALEA	10	No. 3 Container	Buffer Planting



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Site	+	0.5 fc	5.3 fc	0.0 fc	N/A	N/A
Parking Lot	X	2.0 fc	5.3 fc	0.3 fc	17.7:1	6.7:1

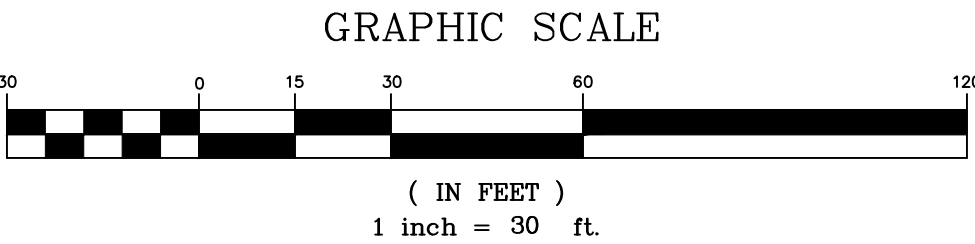
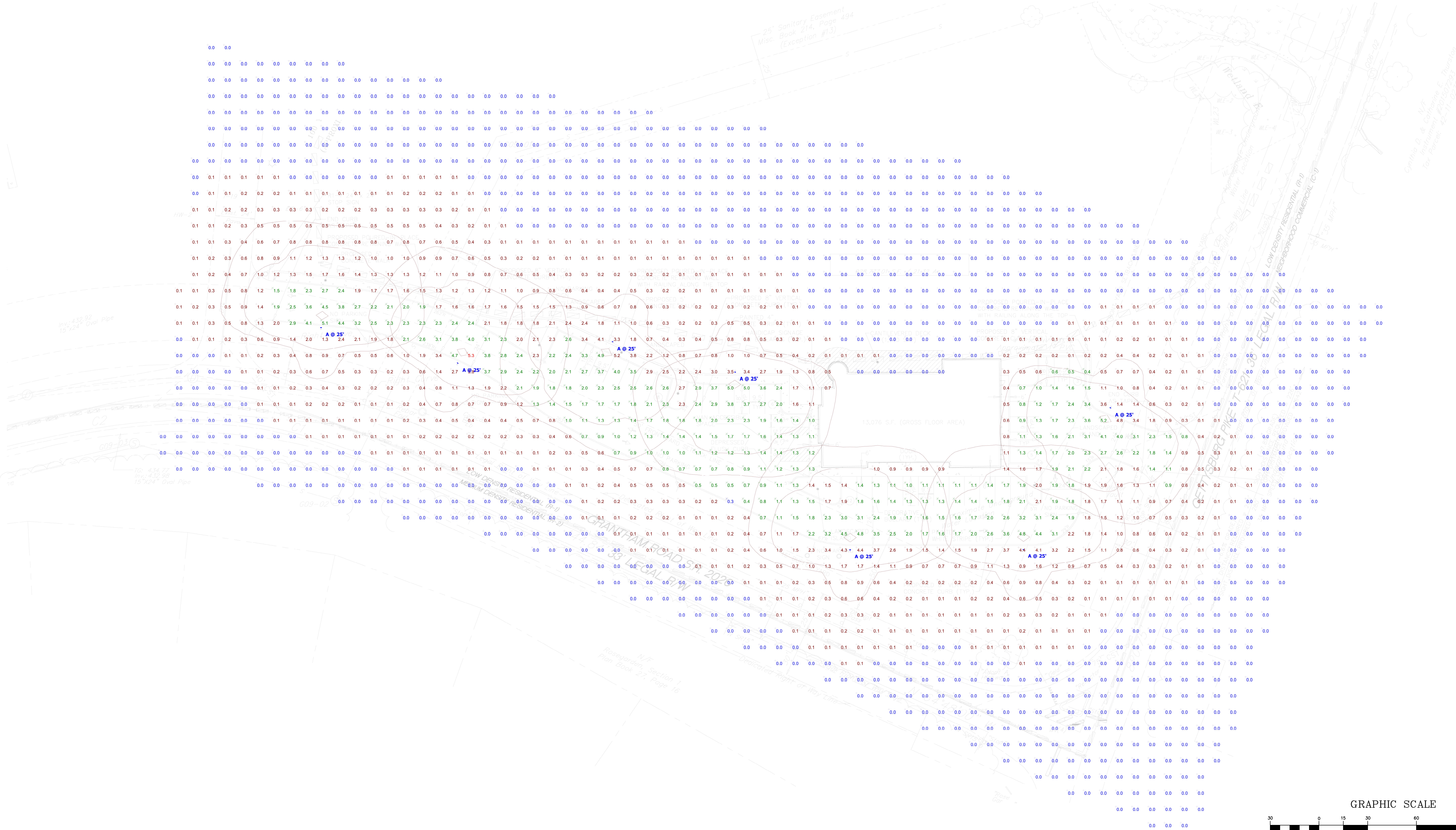
Note
1. Calcs taken at grade
2. Fixtures mounted at height listed on drawing
3. Calculations are estimations based on the information provided and may vary with actual conditions



- NOTES:**
- THE STYLE OF LIGHTS AND THEIR DETAILS SHALL COMPLY WITH SECTION 245-16.10, 245-17.8 AND 220-32 OF THE CODIFIED ORDINANCES OF UPPER ALLEN TOWNSHIP.
 - THE MAXIMUM AVERAGE FOOTCANDLES CANNOT EXCEED (6) FOOTCANDLES.

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					DRAWN : MKS
					CHECKED : JKM
					DATE : 05/1/2023
1					
NO.	DATE		DESCRIPTION	BY	

Schedule									
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power
	A	7	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	1	16573	0.95	133.14

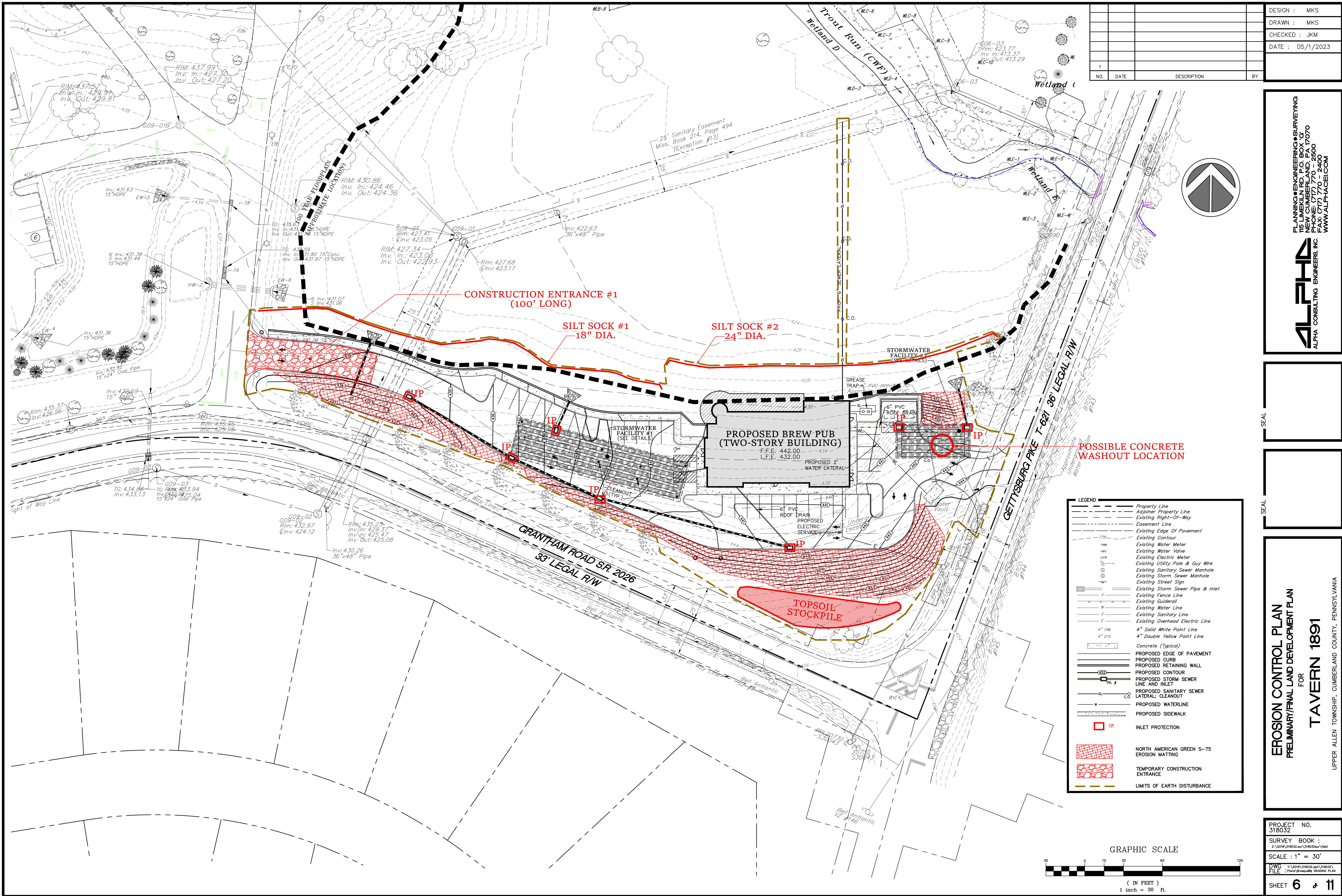


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LIGHTING / PHOTOMETRIC PLAN
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
318032
SURVEY BOOK :
Z:\2018\318032.dwg\318032.dwg
SCALE : 1" = 30'
DWG FILE : Y:\2018\318032.dwg\318032.dwg
SHEET **5** of **11**



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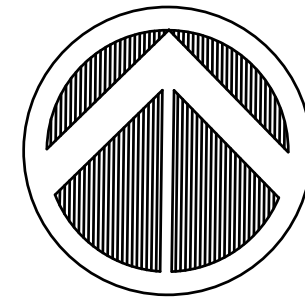
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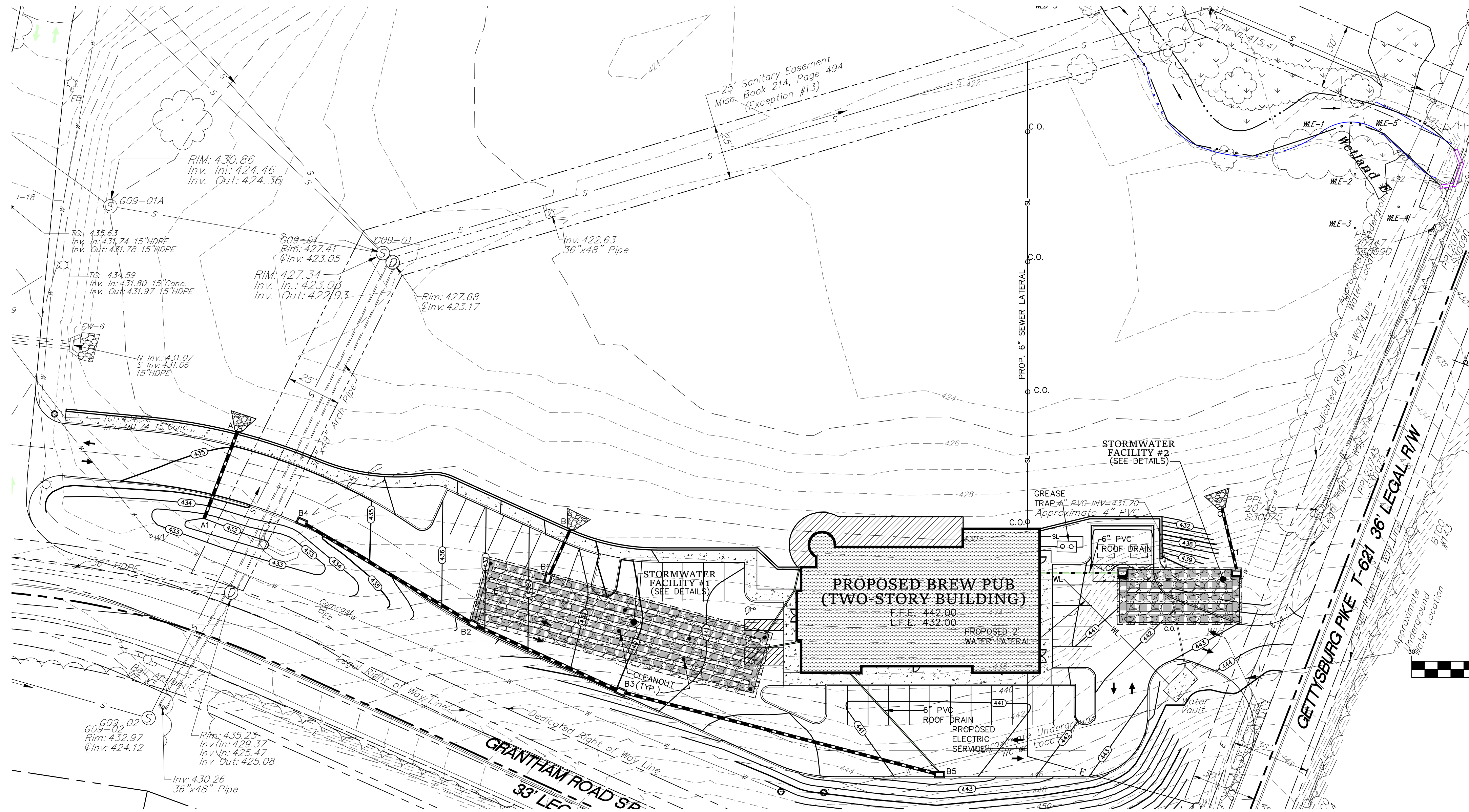
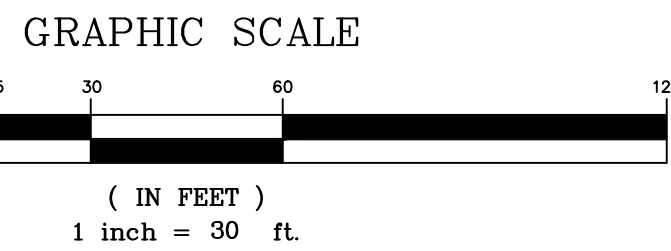
SEAL

MISCELLANEOUS PROFILES
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.	318032
SURVEY BOOK :	2:\2018\318032.dwg\318032sup1.dwg
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SHEET	7 of 11

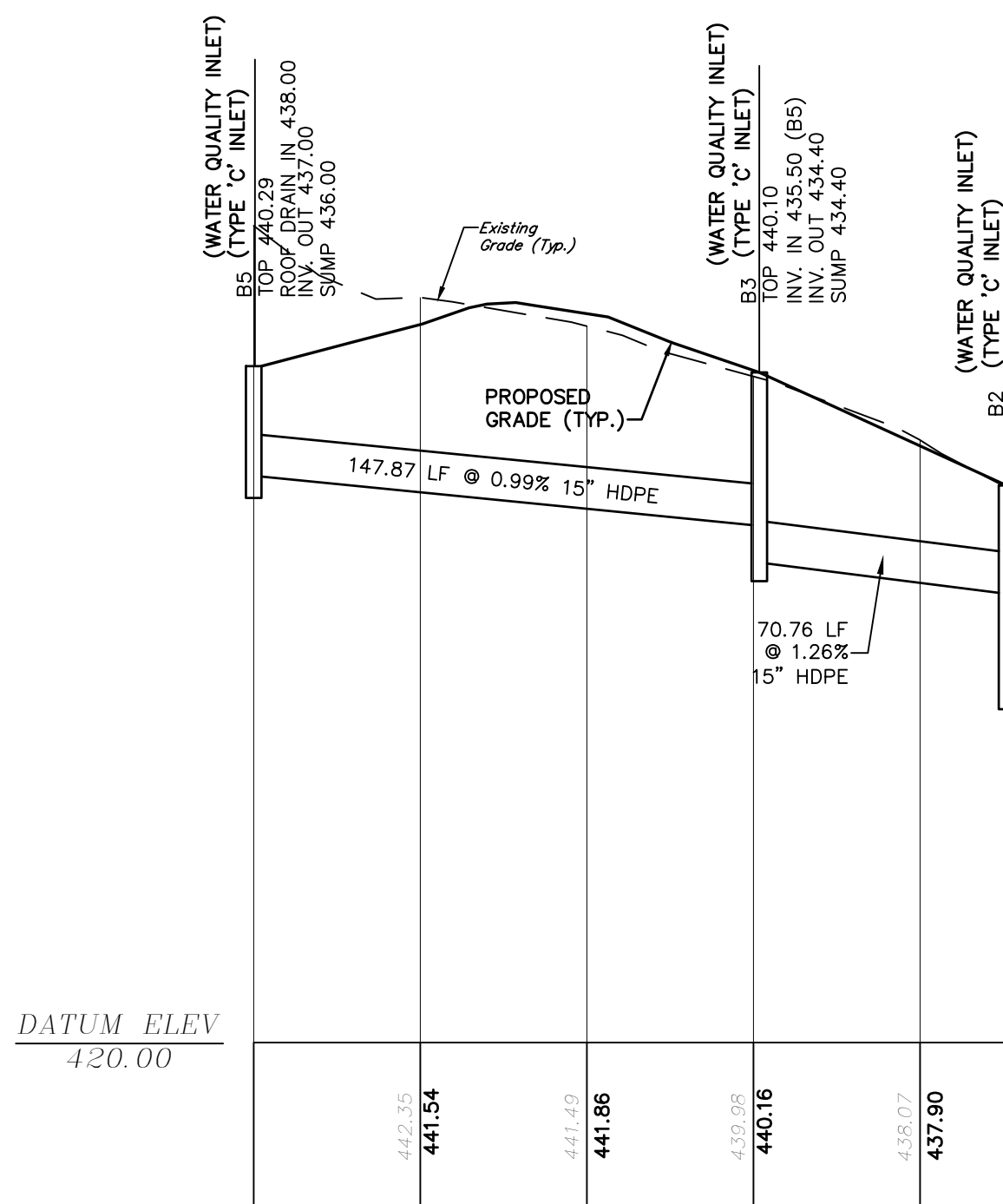


NO.	DATE	DESCRIPTION	BY
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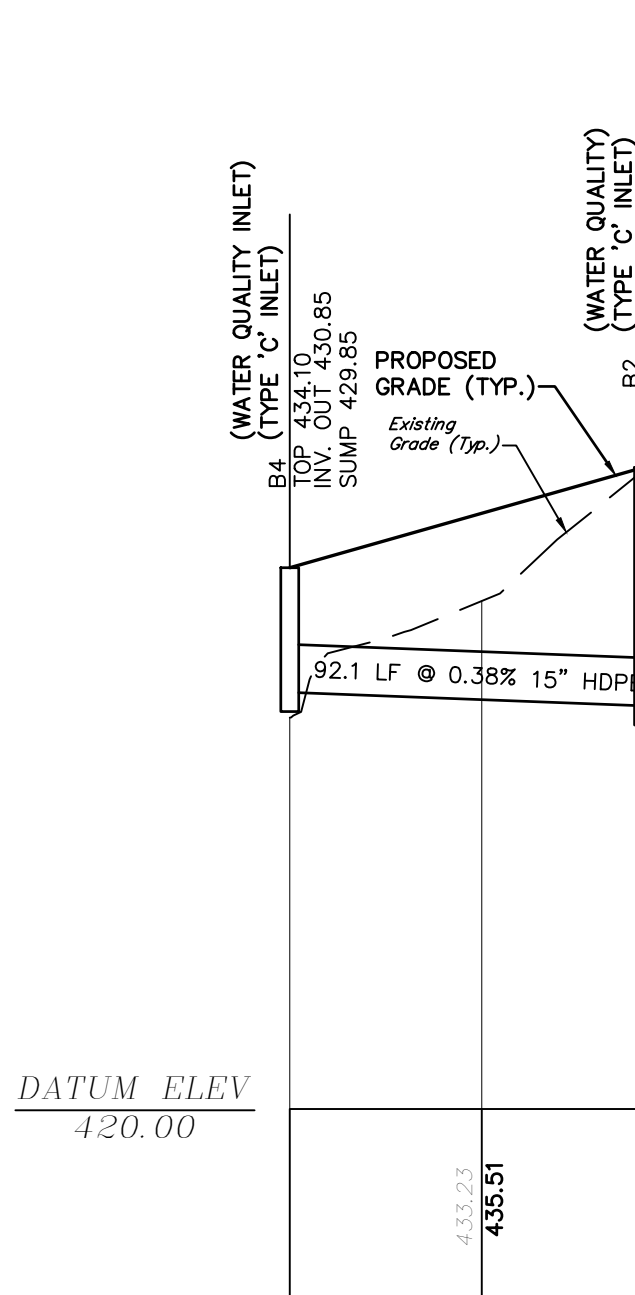
PLAN VIEW

SCALE: 1" = 30'



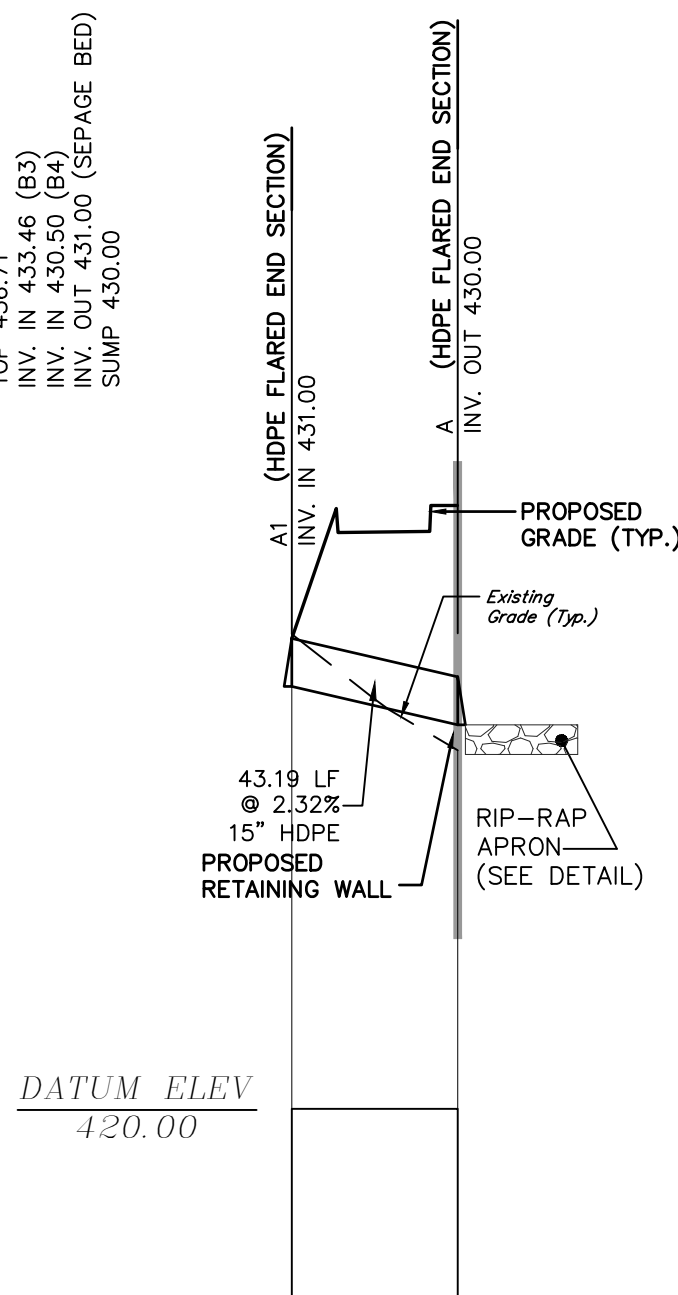
B5 TO B2

SCALES: 1" = 50' H
1" = 5' V



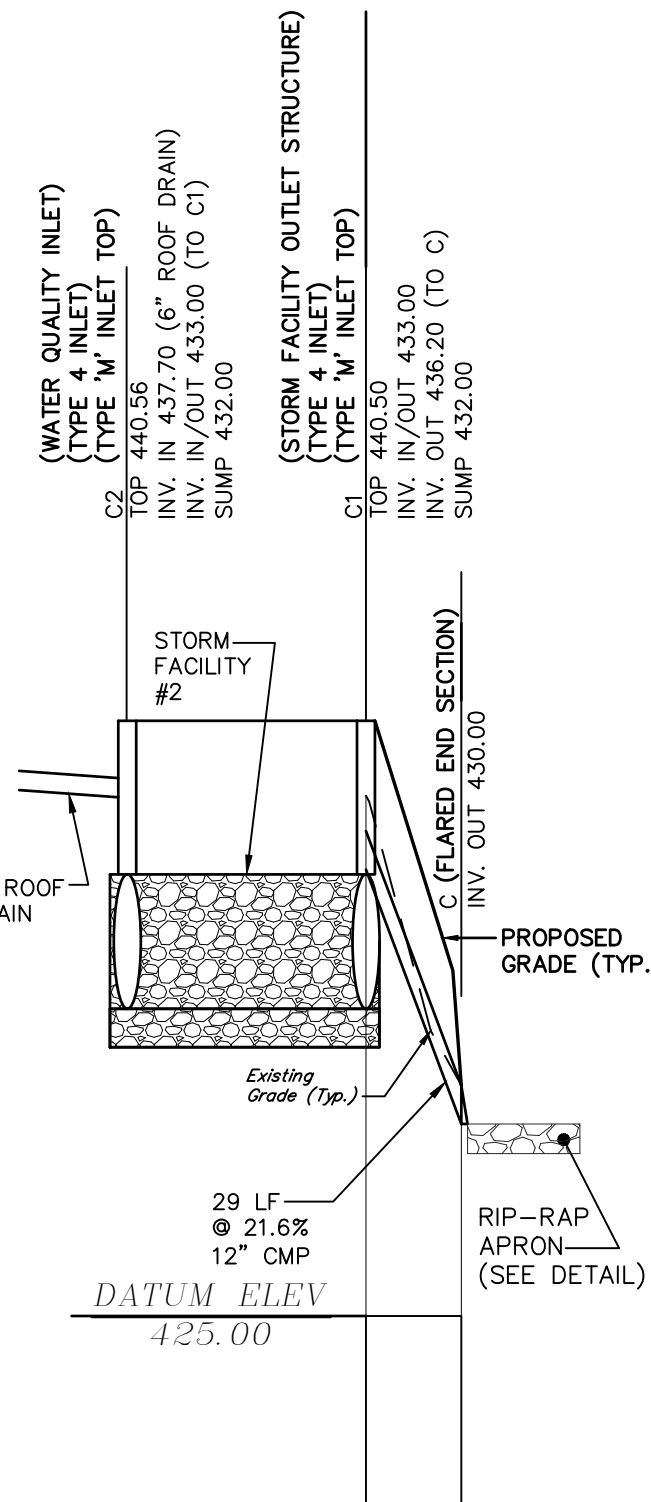
B4 TO B2

SCALES: 1" = 50' H
1" = 5' V



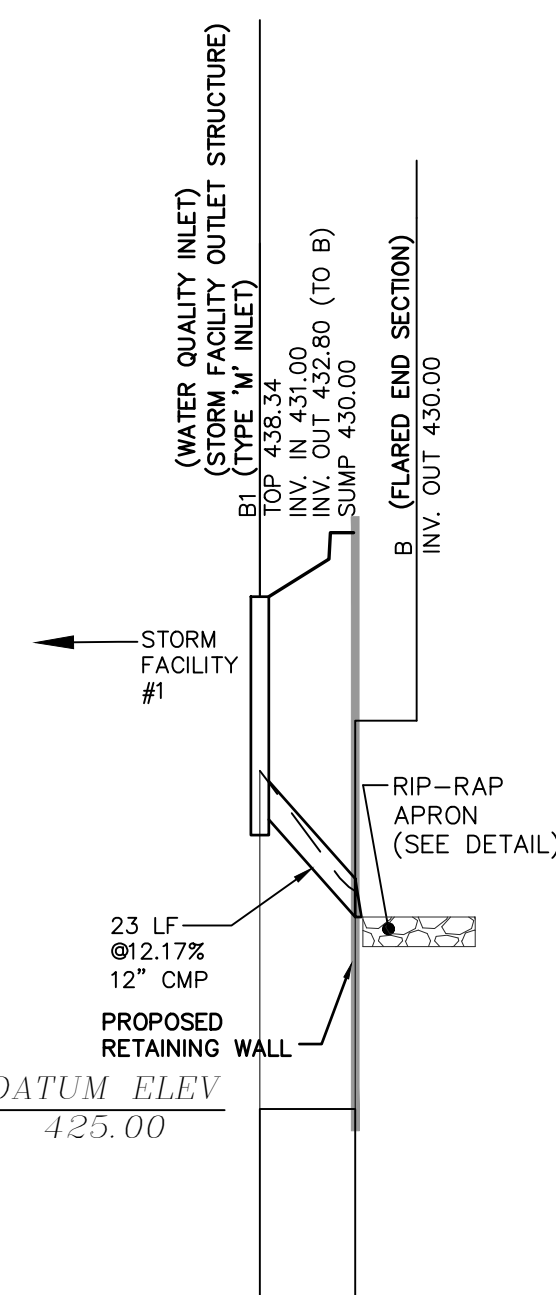
A1 TO A

SCALES: 1" = 50' H
1" = 5' V



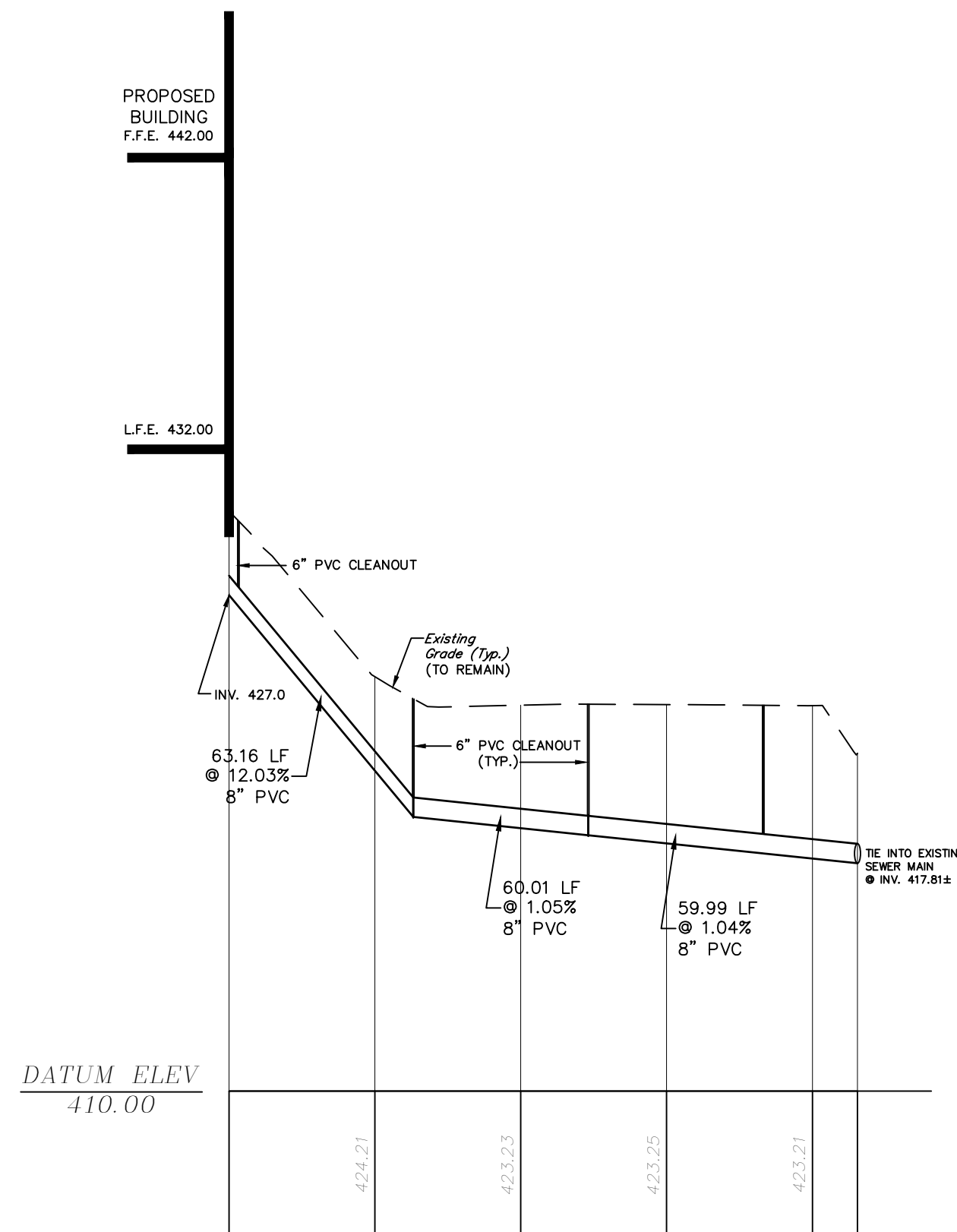
C1 TO C

SCALES: 1" = 50' H
1" = 5' V



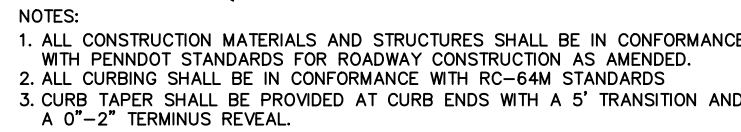
B1 TO B

SCALES: 1" = 50' H
1" = 5' V

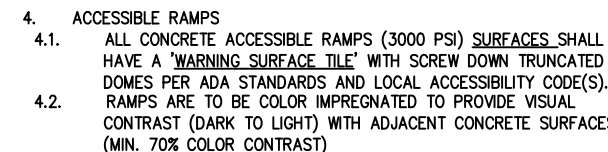


SANITARY SEWER LATERAL

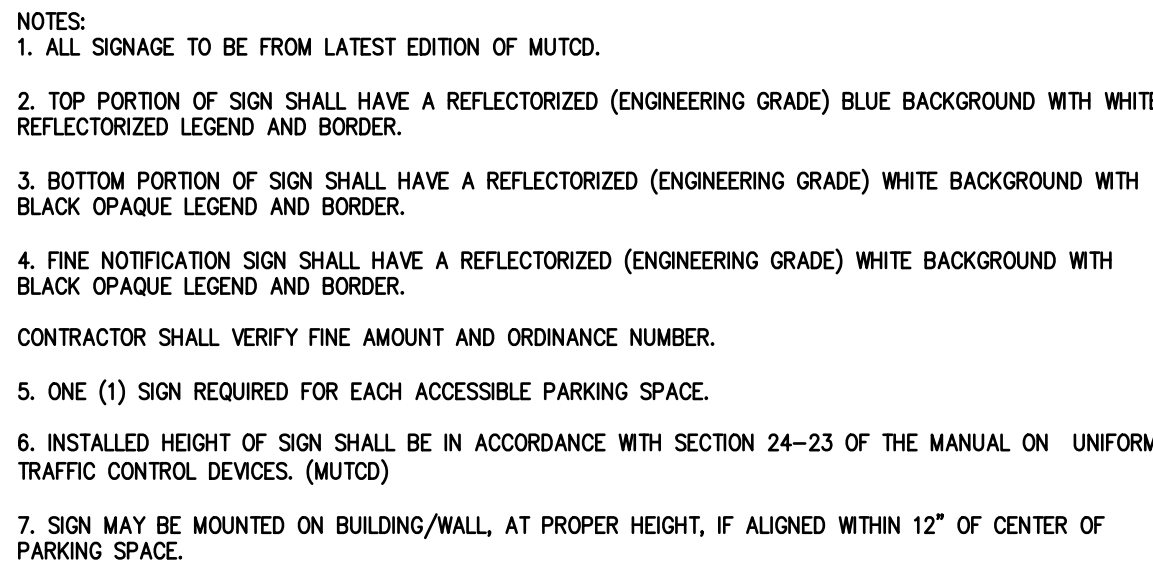
SCALES: 1" = 50' H
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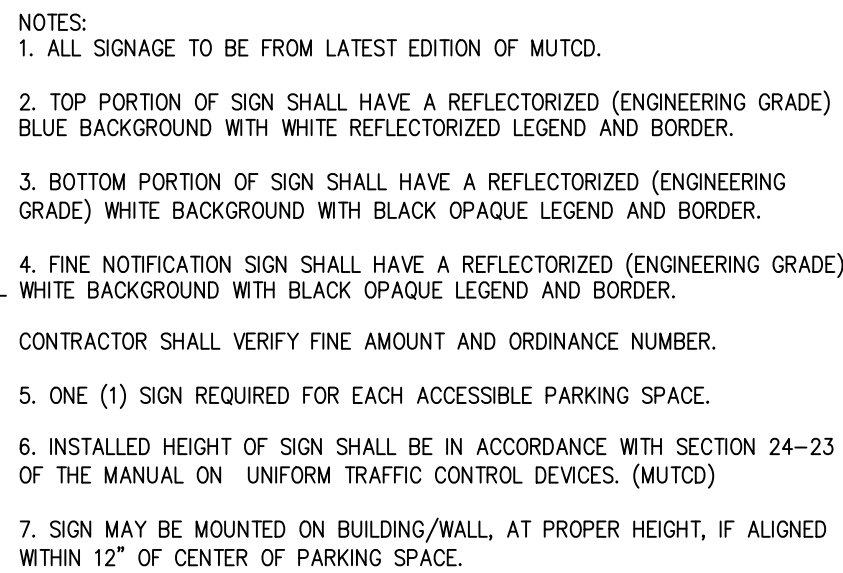
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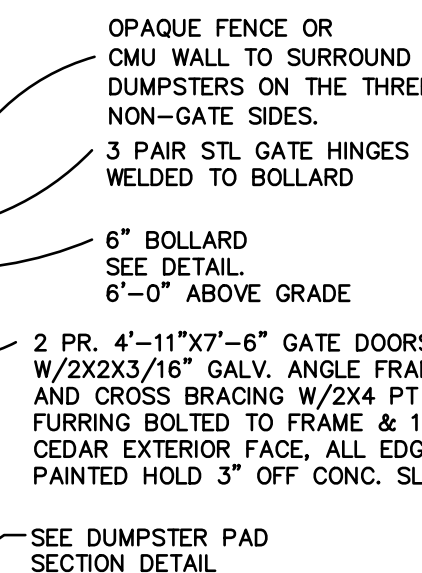


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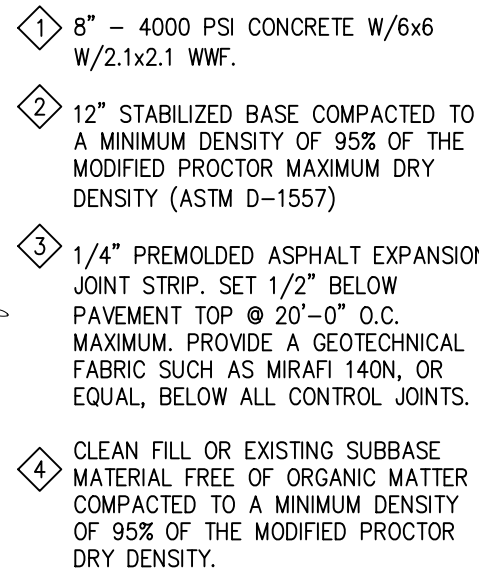
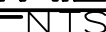


NTS



NTS

NTS



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MISCELLANEOUS DETAILS
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891

UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO. 318032	
SURVEY BOOK : Z:\2018\318032.sur\318032sur\field	
SCALE : AS SHOWN	
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SHEET	8 of 1

1			
NO.	DATE	DESCRIPTION	BY

DESIGN : MKS
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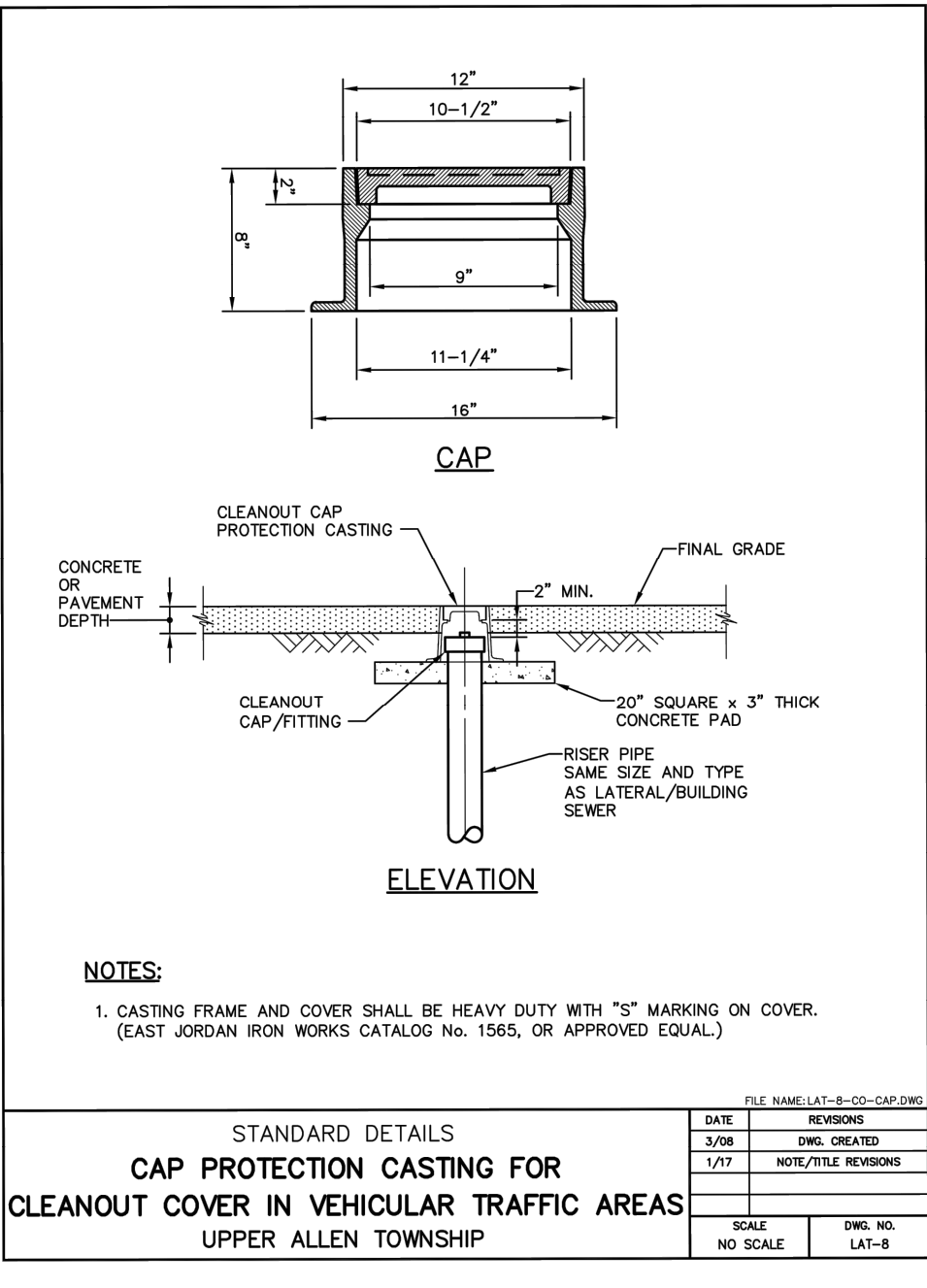
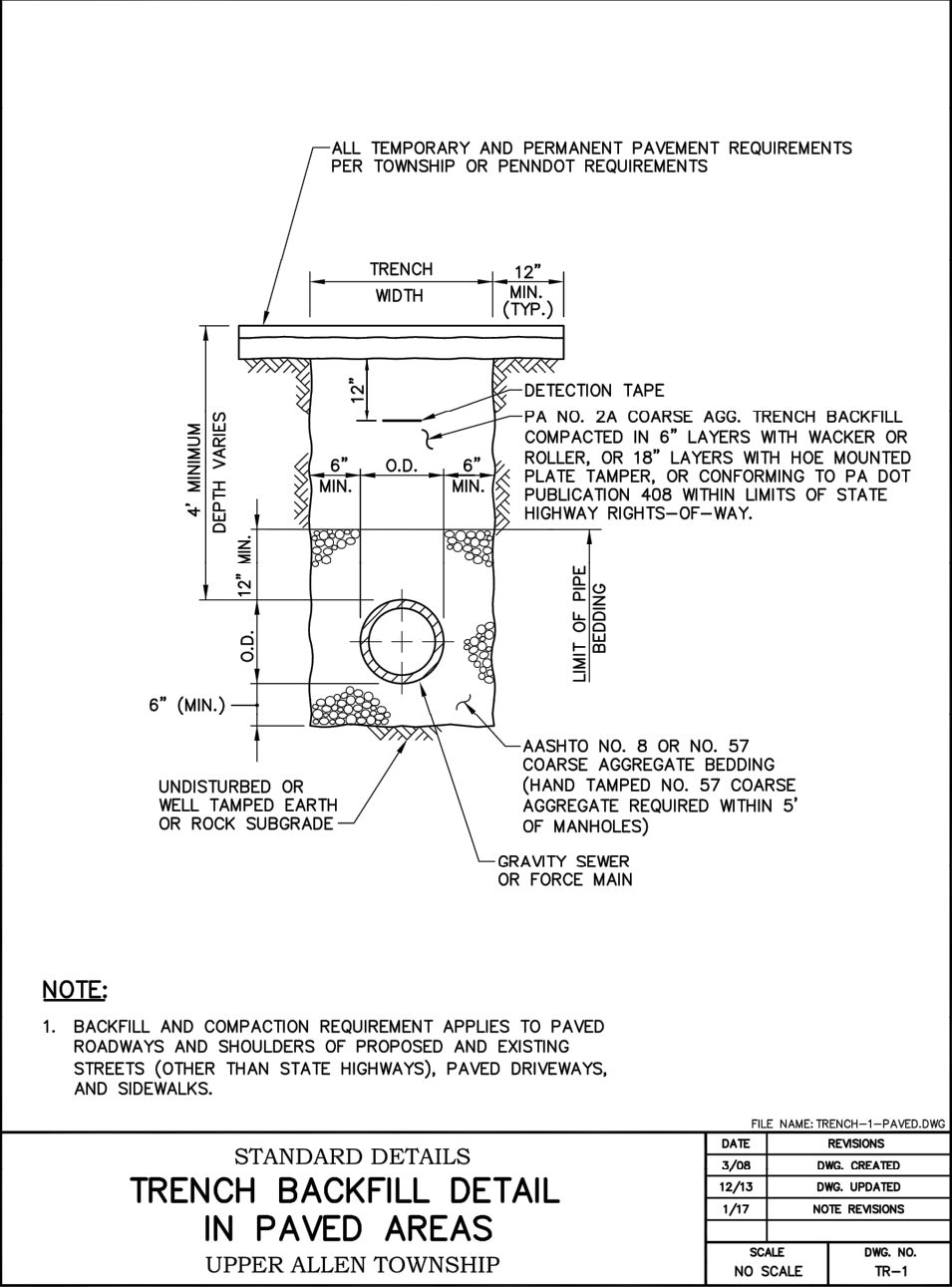
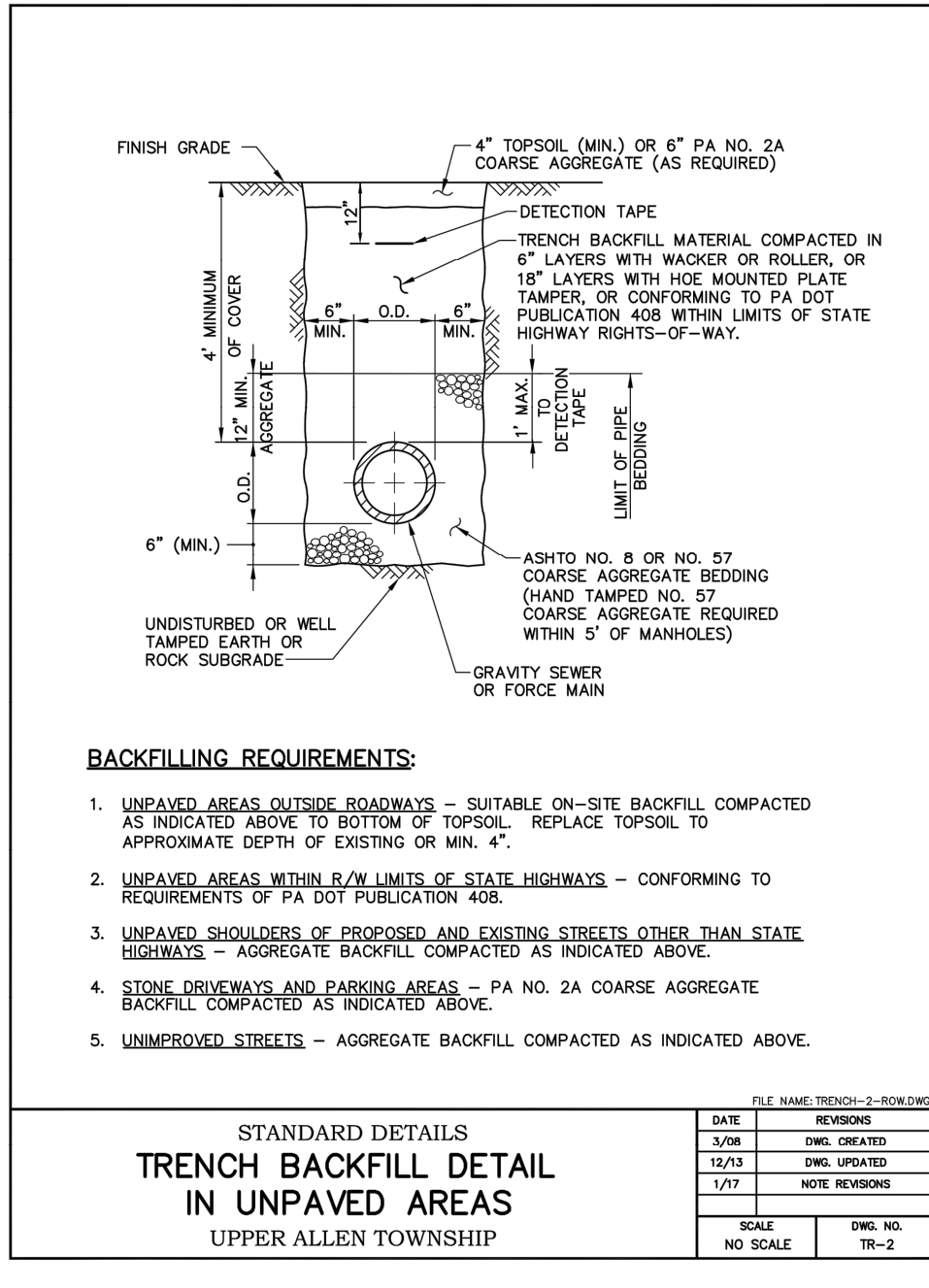
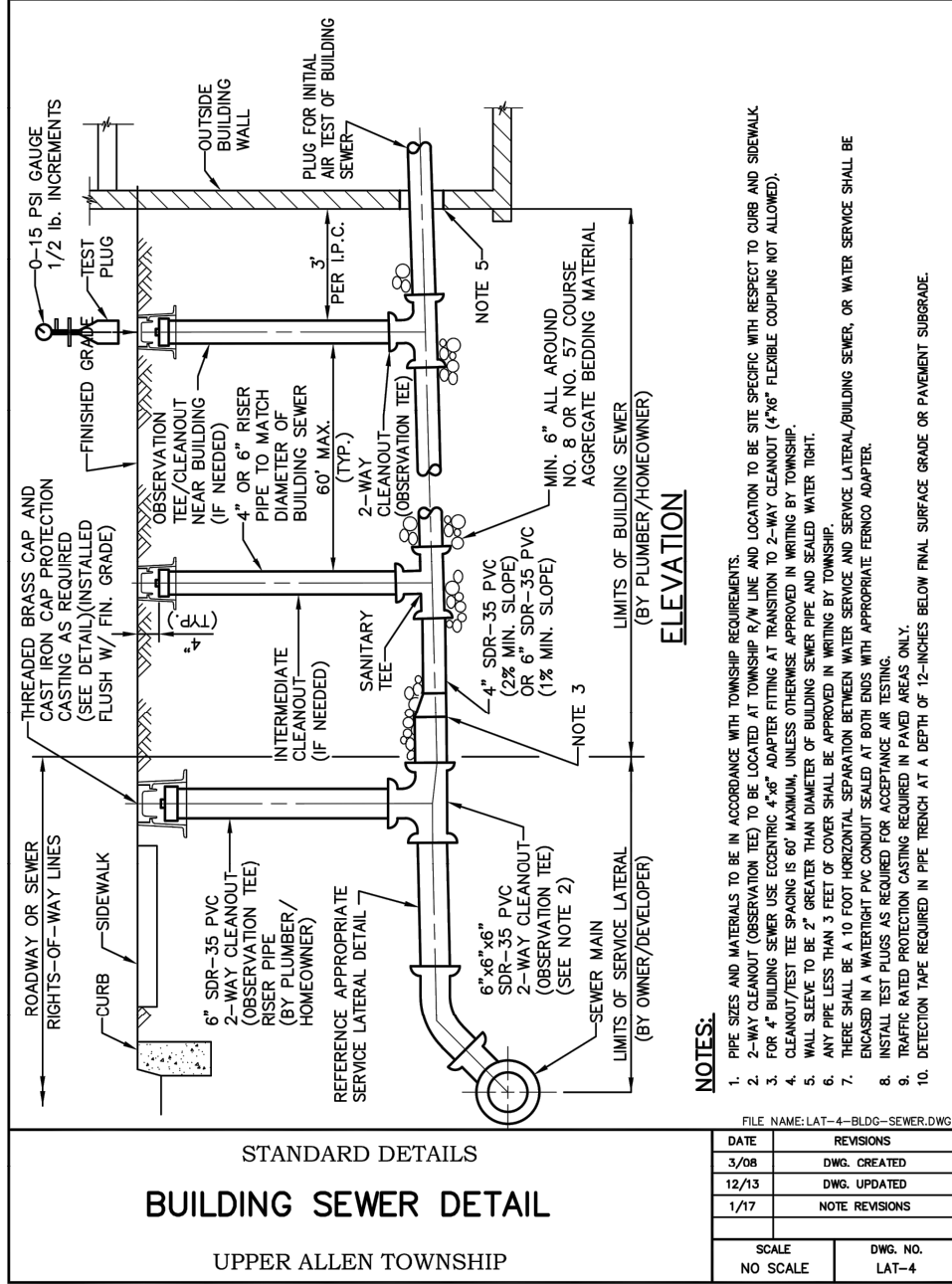
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SANITARY SEWER DETAILS
PRELIMINARY/FINAL LAND DEVELOPMENT PLAN
FOR
TAVERN 1891
UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PENNSYLVANIA

PROJECT NO.
318032
SURVEY BOOK :
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SCALE : AS SHOWN
DWG FILE
Z:\2018\318032.dwg\318032\20180320 SANITARY SEWER
SHEET 10 of 11



EROSION CONTROL PLAN GENERAL NOTES:

1. THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THIS EROSION CONTROL PLAN.
2. THE SITE CONTRACTOR SHALL NOT DISTURB MORE AREA THAN IS NECESSARY FOR THE TASK TO BE DONE, SO THAT POTENTIAL FOR EROSION IS MINIMIZED.
3. EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS TO THE CONTROLS.
4. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN / DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE DURING AT ALL TIMES.
5. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, APPROPRIATE MUNICIPAL EROSION CONTROL PLAN PREPARER, THE POST CONSTRUCTION PLAN PREPARER, AND A REPRESENTATIVE OF THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING.
6. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
7. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION.
8. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E & S BMPs REQUIRED BY THE CONSTRUCTION SEQUENCE FOR THAT STAGE OR PHASE HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS DOCUMENT.
9. AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATION BEGINS.
10. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
11. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPs) TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION, AND NOTIFY THE CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE OF THE PA DEP.
12. SOLIDS, TRASH AND OTHER POLLUTANTS SHALL BE DISPOSED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS IN ORDER TO PREVENT ANY PATEL IN SUCH MATERIALS FROM ADVERSELY AFFECTING THE ENVIRONMENT. ALL JOINTS IN MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260, 260.1 ET SEQ., 271.1, 271.2, 271.3, 271.4, 271.5, 271.6, 271.7, 271.8, 271.9, 271.10, 271.11, 271.12, 271.13, 271.14, 271.15, 271.16, 271.17, 271.18, 271.19, 271.20, 271.21, 271.22, 271.23, 271.24, 271.25, 271.26, 271.27, 271.28, 271.29, 271.30, 271.31, 271.32, 271.33, 271.34, 271.35, 271.36, 271.37, 271.38, 271.39, 271.40, 271.41, 271.42, 271.43, 271.44, 271.45, 271.46, 271.47, 271.48, 271.49, 271.50, 271.51, 271.52, 271.53, 271.54, 271.55, 271.56, 271.57, 271.58, 271.59, 271.60, 271.61, 271.62, 271.63, 271.64, 271.65, 271.66, 271.67, 271.68, 271.69, 271.70, 271.71, 271.72, 271.73, 271.74, 271.75, 271.76, 271.77, 271.78, 271.79, 271.80, 271.81, 271.82, 271.83, 271.84, 271.85, 271.86, 271.87, 271.88, 271.89, 271.90, 271.91, 271.92, 271.93, 271.94, 271.95, 271.96, 271.97, 271.98, 271.99, 272.00, 272.01, 272.02, 272.03, 272.04, 272.05, 272.06, 272.07, 272.08, 272.09, 272.10, 272.11, 272.12, 272.13, 272.14, 272.15, 272.16, 272.17, 272.18, 272.19, 272.20, 272.21, 272.22, 272.23, 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