PRELIMINARY / FINAL LAND DEVELOPMENT PLAN FOR

7 [AVERN 1891

UPPER ALLEN TOWNSHIP, CUMBERLAND COUNTY, PA

GENERAL NOTES:

- PROPOSED DEVELOPMENT IS BREW PUB WITH ASSOCIATED PARKING. ON DECEMBER 18, 2019, THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS APPROVED FOR THIS SITE A CONDITIONAL USE OF A RESORT WITH AN ACCESSORY RESORT BREW PUB, SUBJECT TO CONDITIONS FOUND THIS SHEET. THE PROPOSED BREW PUB USE SHALL COMPLY WITH ALL CONDITIONS OF THE CONDITIONAL USE APPROVAL. NOTHING ON THIS PLAN IS MEANT TO SUPERSEDE ANY APPROVED FEATURES OR CONDITIONS FOR THE WILLOWS AT ASHCOMBE MANSION PLAN, WHICH WAS RECORDED ON FEBRUARY 23, 2021 IN INSTRUMENT NUMBER 202106405
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN THE AREA OF AN EASEMENT OR PLANTING STRIP THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR PLANTING STRIP, OR CONFLICT WITH THE EASEMENT AGREEMENT. NO STRUCTURES SHALL BE PLACED IN ANY EASEMENT OR PLANTING STRIP UNLESS OTHERWISE NOTED IN AN AGREEMENT.
- NO WORK IS PROPOSED IN THE PENNDOT RIGHT-OF-WAY. PENNDOT PERMIT #08105585, ISSUED MAY 14, 2021, EXISTS FOR THE CURRENT DRIVEWAYS TO THE WILLOWS AT ASHCOMBE MANSION. ALL WORK REQUIRED BY THE PERMIT HAS BEEN INSTALLED. TRAFFIC FROM THE PROPOSED BREW PUB WAS COUNTED IN THE
- NO LANDS OR FACILITIES ARE PROPOSED FOR DEDICATION TO PUBLIC USE. STORMWATER FACILITIES SHALL BE OWNED AND MAINTAINED BY THE OWNER OF THE LOT: SEE THE DETAILED STORMWATER OPERATION AND MAINTENANCE AT THE END OF THIS PLAN SET.
- NO PARKING IS PERMITTED ALONG DRIVEWAYS EXCEPT IN DESIGNATED SPACES SHOWN. NO PARKING SIGNAGE IS PROPOSED AS SHOWN ON THE SITE PLAN.
- 6. THIS PROJECT SHALL BE COMPLETED IN ONE PHASE.
- NO PROTECTIVE COVENANTS ARE PROPOSED OTHER THAN WHAT IS SHOWN ON THIS PLAN, AND ASSOCIATED WITH THE RECORDED PLAN FOR THE WILLOWS AT ASHCOMBE MANSION.
- 8. STORMWATER MANAGEMENT PLANS APPROVED BY THE TOWNSHIP SHALL BE ON THE SITE THROUGHOUT THE DURATION OF THE REGULATED CONSTRUCTION ACTIVITY. A COPY OF THE APPROVED EROSION AND SEDIMENTATION CONTROL PLAN AND ANY REQUIRED PERMITS SHALL BE AVAILABLE AT THE PROJECT SITE AT
- 9. ANY PROPOSED SIGNS MUST BE IN ACCORDANCE WITH THE UPPER ALLEN TOWNSHIP ZONING ORDINANCE ARTICLE XVIII.
- 10. UPPER ALLEN TOWNSHIP IS HEREBY GRANTED USE OF THE DRAINAGE EASEMENTS FOR OBSERVATION, AND EMERGENCY MAINTENANCE. UPPER ALLEN TOWNSHIP REPRESENTATIVES SHALL HAVE THE RIGHT TO ACCESS VIA DRAINAGE EASEMENTS ANY STORMWATER MANAGEMENT BMPS PROPOSED ON THIS PLAN, AT REASONABLE TIMES AND UPON PRESENTATION OF PROPER CREDENTIALS.
- 11. UPPER ALLEN TOWNSHIP IS HEREBY GRANTED USE OF THE ACCESS DRIVES TO ACCESS DRAINAGE EASEMENTS FOR OBSERVATION, AND EMERGENCY MAINTENANCE.
- 12. ALL SANITARY SEWER CONSTRUCTION SHALL CONFORM TO THE STANDARD CONSTRUCTION AND MATERIAL SPECIFICATIONS FOR UPPER ALLEN TOWNSHIP, LATEST EDITION.
- 13. NPDES PERMIT #PAD210071 EXISTS FOR THIS SITE. ALL PROPOSED WORK SHOWN ON THIS PLAN IS WITHIN THE NDPES PERMIT BOUNDARY.
- 14. ALL OUTDOOR LIGHTING SHALL COMPLY WITH SETON 220-5.19 OF THE TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE, AND WITH ZONING ORDINANCE SECTIONS 245-16.10(G) AND 245-17.8.
- 15. LANDSCAPED AREAS SHALL BE CONTINUOUSLY MAINTAINED BY THE LANDOWNER. FAILURE TO ADEQUATELY MAINTAIN LANDSCAPED AREAS MAY BE SUBJECT TO A CITATION ISSUED BY THE TOWNSHIP.
- 16. THE SITE CONTRACTOR SHALL SCHEDULE A PRE-CONSTRUCTION SITE MEETING WITH THE UPPER ALLEN TOWNSHIP ENGINEER AND THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO STARTING SITE CONSTRUCTION ACTIVITIES.
- 17. CONSTRUCTION OF ALL WORK WITHIN THE GETTYSBURG PIKE PUBLIC STREET RIGHT-OF-WAY AND WORK RELATED TO STORM DRAINAGE AND SANITARY SEWER FACILITIES REQUIRES INSPECTION BY THE TOWNSHIP. THE CONTRACTOR MUST PROVIDE MINIMUM 48 HOURS OF NOTICE TO THE TOWNSHIP BEFORE STARTING WORK.
- 18. AS-BUILT MYLAR PLANS AND ELECTRONIC DATA FILES SHALL BE PROVIDED TO THE TOWNSHIP. ALL DRAWINGS MUST BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR LAND SURVEYOR ATTESTING TO THE CORRECTNESS OF THE FACILITY INFORMATION SHOWN, IN ACCORDANCE WITH THE CODIFIED
- 19. 100-YEAR FLOOD ELEVATION WAS OBTAINED FROM THE PRELIMINARY FEMA FLOOD MAP DATED MAY, 2019. NO PERMANENT BUILDING OR EARTH FILL IS PROPOSED IN THE FLOODPLAIN.
- 20. A WETLAND DELINEATION AND PHASE I BOG TURTLE ASSESSMENT REPORT WAS PREPARED BY ADVANTAGE ENGINEERS IN MARCH OF 2018. A PHASE II BOG TURTLE VISUAL SURVEY REPORT AS PREPARED BY AMY S. GREENE ENVIRONMENTAL CONSULTANTS, INC. ON JULY 13, 2018. NO BOG TURTLES OR OTHER STATE-LISTED THREATENED OR ENDANGERED SPECIES WERE IDENTIFIED DURING THE SURVEYS.
- 21. A SEWAGE PLANNING EXEMPTION WAS APPROVED FOR THIS USE, INCLUDING THE BREW PUB USE, PER A LETTER FROM PA DEP DATED SEPTEMBER 3, 2020; DP CODE NO. A3-21929-300-3E.
- 22. THE FOLLOWING UPPER ALLEN TOWNSHIP ZONING DISTRICTS ARE LOCATED ADJACENT TO THIS SITE: MEDIUM DENSITY RESIDENTIAL (R-2); NEIGHBORHOOD COMMERCIAL (C-1); AND PLANNED RESIDENTIAL DEVELOPMENT (PRD).
- 23. TRASH DISPOSAL FROM THE BREW PUB SHALL USE THE EXISTING DUMPSTER AREA AT THE WILLOWS OF ASHCOMBE MANSION, WHERE SHOWN ON THE OVERALL
- 24. WETLANDS AND FLOODPLAIN / FLOODWAY ARE KNOWN TO EXIST ON THIS SITE. THERE ARE NO WETLANDS IN THE PROJECT AREA. WHILE THERE ARE SLOPES
- GREATER THAN 15% ON THIS PROPERTY, THEY ARE EITHER MAN-MADE OR INSIGNIFICANT IN SIZE. THERE IS NO STEEP SLOPE PROTECTION OVERLAY DISTRICT ON
- 25. WITHIN CLEAR SIGHT TRIANGLES SHOWN HEREIN, NO FENCE, SIGN OR OTHER ABOVE GRADE STRUCTURE SHALL BE ERECTED, AND NO HEDGE, TREE, SHRUB OR OTHER GROWTH SHALL BE MAINTAINED OR PERMITTED WHICH MAY CAUSE DANGER TO TRAFFIC BY OBSCURING THE VIEW BETWEEN THREE FEET AND NINE FEET ABOVE THE GRADE OF THE STREET OR ROADWAY.

THE FOLLOWING WAIVERS/MODIFICATIONS/DEFERRALS FROM THE UPPER ALLEN TOWNSHIP SUBDIVISION AND LAND DEVELOPMENT ORDINANCE WERE PREVIOUSLY APPROVED WITH THE WILLOWS AT ASHCOMBE MANSION;

MY COMMISSION EXPIRES ______,.____

SIGNATURE OF THE INDIVIDUAL

SIGNATURE AND SEAL OF THE NOTARY PUBLIC OR OTHER OFFICER AUTHORIZED TO ACKNOWLEDGE DEEDS

	WAIVER SECTION	DESCRIPTION	DATE OF WAIVER/ MODIFICATION REQUEST	DATE OF WAIVER/ MODIFICATION/DEFERRAL APPROVAL	
*	220-9.A	PERTAINING TO PROCESS A COMBINED PRELIMINARY AND FINAL PLAN.	1/17/20	5/20/20	,
	220-16.B.(3)	PERTAINING TO LOCATION OF SIDEWALK	1/17/20	5/20/20	*
*	220-16.A(1)	PERTAINING TO CURBING ALONG ACCESS DRIVES AND PARKING	1/17/20	5/20/20	l
**	220-16.A.(2)	PERTAINING TO INSTALLATION OF CURBING ALONG GETTYSBURG PIKE AND GRANTHAM ROAD	1/17/20	5/20/20	
	NA MODIFICATION	ONLY ALTEREPORT ONLY			

SECRETARY

W LISBURN RD

INDEX OF DRAWINGS:

- COVER SHEET
- EXISTING FEATURES PLAN
- SITE PLAN
- GRADING/UTILITY/LANDSCAPE PLAN

- MISCELLANEOUS DETAILS
- STORMWATER DETAILS

DATE:

THE FOLLOWING WAIVERS/MODIFICATIONS/DEFERRALS FROM THE UPPER ALLEN TOWNSHIP SUBDIVISION

PERTAINING TO LOCATION OF SIDEWALK

PERTAINING TO PROCESS A COMBINED PRELIMINARY AND FINAL PLAN.

AND LAND DEVELOPMENT ORDINANCE ARE REQUESTED FOR TAVERN 1891:

JUNE 1, 2023

REVISIONS:

PERTAINING TO INSTALLATION OF CURBING ALONG GETTYSBURG PIKE AND GRANTHAM ROAD

- SANITARY SEWER DETAILS
- EROSION CONTROL DETAILS / NOTES

- LIGHTING PLAN
- EROSION CONTROL PLAN
- MISCELLANEOUS PROFILES

ZONING REQUIREMENTS:

MINIMUM LOT AREA: NONE MINIMUM FRONT YARD: 50 FEET MINIMUM SIDE YARD: 30 FEET MINIMUM REAR YARD: 30 FEET MINIMUM STREET FRONTAGE: 125 FEET MAXIMUM BUILDING COVERAGE: 30% MAXIMUM IMPERVIOUS COVERAGE: 30%

MAXIMUM PRINCIPAL BUILDING HEIGHT: 35 FEET

SITE IS ZONED R-1: LOW-DENSITY RESIDENTIAL.

PA ONE-CALL FOR THIS PROJECT SERIAL NUMBER: 20181801694

DATE OF WAIVER/
MODIFICATION REQUEST MODIFICATION/DEFERRAL APPROVAL

6/1/23

6/1/23

6/1/23

CONDITIONAL USE:

THIS LAND DEVELOPMENT AND SUBDIVISION HAS RECEIVED CONDITIONAL USE APPROVAL WITH CONDITIONS FOR A RESORT DEVELOPMENT BY THE BOARD OF SUPERVISORS AT A MEETING HELD ON DECEMBER 18, 2019, SUBJECT TO THE FOLLOWING CONDITIONS:

The Upper Allen Township Board of Supervisors at its meeting held December 18, 2019, approved the above referenced Conditional Use Application subject to the following conditions:

Zoning Ordinance of 2017:

1. The Applicant shall comply with the Zoning Regulations governing the uses and design of the property or obtain any zoning relief necessary to develop the property in general conformance with the plans presented at the Conditional Use Public Hearing. 2. The two (2) parcels included in the proposed development shall be consolidated into one (1) parcel. At no time may the principal use and any accessory

use(s) be located on separate lots. 3. The building designs for all structures and facilities proposed by the Applicant shall be substantially in compliance with the plans presented in the Conditional Use Application.

4. The granted approval of the Conditional Use Application shall not relieve the Applicant from filling and having the Township approve any permit, land development or site plan which may be required by other Township regulations or form, otherwise, complying with all applicable Township Regulations. 5.Outdoor dining and beverage service for permanent, regularly used, or temporary outdoor seats for the resort brew pub are restricted to 50 outdoor seats. All outdoor dining and beverage service for outdoor seats for the resort and resort brew pub shall extend no later than 10:00 p.m. This outdoor seating restriction does not apply to dining and beverage service within the proposed tent.

6. The resort brew pub will not use any outdoor barbecue or other method of cooking that creates smoke, excess odors, or any other nuisance to surrounding property owners. 7. Hours of operation for the resort brew pub are restricted to 11:00 a.m. to Midnight.

8. The resort brew pub will seat no more than 200 persons indoors and food sales must account for at least 35% of gross revenue.

9. The resort brew pub shall not provide live, acoustic, or recorded music outside of the resort brew pub building. Rather, the resort brew pub shall be permitted to provide live acoustic, or recorded music only within the resort brew pub building.

10. The uses on the property shall meet all other requirements of the Township that may apply. 11. No more than one (1) prinicpal commercial (i.e. non-residential) use shall be conducted on the property.

SITE DATA:

DEBORAH MYERS WELSH

1100 GRANTHAM ROAD MECHANICSBURG, PA 17055 PHONE: (717) 497-318

4. TAX REFERENCE: 42-11-0276-29A

5. EXISTING USE: RESORT

7. EXISTING BUILDING COVERAGE:

8. EXISTING IMPERVIOUS COVERAGE:

WITH RESORT FULL BUILD OUT

AND PROPOSED TAVERN 1891

WITH RESORT FULL BUILD OUT

AND PROPOSED TAVERN 1891

1 SPACE PER GUEST ROOM

REQUIRED TOTAL SPACES:

4601 SMITH ST.

• ELECTRIC PPL ELECTRIC UTILITIES

HARRISBURG, PA 17109

503 NEW MARKET ST.

UGI UTILITIES INC.

1301 AIP DR.

WILKES BARRE, PA 18702

CONTACT: MARK SANTAYANA

MIDDLETOWN, PA 17057-5987

CONTACT: CHESTER WENTZ

TELEPHONE: 717-930-0223

EMAIL: cwentz@ugi.com

EMAIL: mcsantayana@pplweb.com

CONTACT: MICHAEL SWEIGARD

EMAIL: mike_sweigard@cable.comcast.com

TELEPHONE: 717-651-1915

SPACES PROPOSED WITH TAVERN 1891:

TOTAL PROPOSED SPACES PROVIDED:

EXISTING SPACES:

10. PROPOSED LANDSCAPED AREA:

ASHCOMBE MANSION PROPERTY, LLC

3. SITE IS ZONED R-1: LOW-DENSITY RESIDENTIAL.

42-11-0276-29B

PROPOSED USES: RESORT AND ACCESSORY BREW PUB.

2. TOTAL SITE AREA: TOTAL = 22.49 AC (GROSS AREA) - 1.17 AC (R/W AREA) = 21.32 AC

0.55 AC/21.32 AC = 2.6%

3.67 AC/21.32 AC = 17.2%

155 (INCLUDES 6 ADA SPACES)

34 (INCLUDES 2 ADA SPACES)

189 (INCLUDED 8 ADA SPACES)

TELEPHONE

WATER SERVICE

TOWNSHIP OF UPPER ALLEN

MECHANICSBURG, PA 17055

CONTACT: KODI HOCKENBERRY

TELEPHONE: 717-766-0756

EMAIL: khockenberry@uatwp.org

VERIZON PENNSYLVANIA LLC

CONTACT : DEBORAH BARUM

6310 ALLENTOWN BOULEVARD

TELEPHONE: 717-901-6320

EMAIL: Kara.nies@veolia.com

EMAIL: deborah.d.delia@verizon.com

PITTSBURGH, PA 15221

VEOLIA NORTH AMERICA

HARRISBURG, PA 17112

CONTACT: KARA NIES

1026 HAY ST

SUITE 104

100 GETTYSBURG PIKE

77.0%

11. REQUIRED AND PROPOSED OFF-STREET PARKING FOR RESORT (PREVIOUSLY APPROVED):

6. CURRENT SITE ADDRESS IS: 1100 GRANTHAM ROAD, MECHANICSBURG, PA 17055

9. PROPOSED ULTIMATE IMPERVIOUS COVERAGE: 4.91 AC/21.32 AC = 23.0%

1 SPACE FOR EACH EMPLOYEE ON THE LARGEST SHIFT

REQUIRED RESORT PARKING CALCULATIONS:

REQUIRED PARKING FOR BREW PUB (TAVERN 1891): 120 SEATS, 20 EMPLOYEES

1 SPACE FOR EACH 400 SQUARE FEET OF PUBLIC MEETING AREA

(120/4 = 30) + (20/2 = 10) = 40 SPACES

UTILITY LISTING FOR UPPER ALLEN TOWNSHIP:

COMCAST CABLE COMMUNICATIONS INC.

SANITARY SEWER

12. EXISTING WATER SUPPLY: PUBLIC (VEOLIA NORTH AMERICA)

RESORT: 31 GUEST ROOMS, 25 EMPLOYEES, 13,800 S.F. OF MEETING SPACE 31 + 25 + (13,800 = 35) = 91 SPACES REQUIRED

1. APPLICANT:

12. There cannot be a separate monument sign for the resort brew pub. Signage for the brew pub shall be limited to one wall sign or projecting sign on the brew pub building, in compliance with Article XVIII of Chapter 245.

13. Notwithstanding the limitations Section 245-18.2, projecting signs, wall signs and monument signs shall be permitted for the resort in compliance with

14. Applicant will comply with all State and Federal laws regarding the manufacture and sale of food and liquor and malt beverages

* MODIFICATION ONLY/**DEFERRED ONLY

***** | 220-3.5

* | 220-5.3.A.(2)

OMMONWEALTH OF PENNSYLVANIA OUNTY OF, 2023, BEFORE ME, THE UNDERSIGNED, ERSONALLY APPEARED*, BEING, HO BEING DULY SWORN ACCORDING TO LAW, DISPOSES AND SAYS THAT HE IS THE OWNER OF HE PROPERTY SHOWN ON THIS PLAN, THAT THE PLAN THEREOF WAS MADE AT HIS DIRECTION, HAT IT ACKNOWLEDGES THE SAME TO BE HIS ACT AND PLAN AND DESIRES THE SAME TO BE ECORDED, AND THAT ALL STREETS AND OTHER PROPERTY IDENTIFIED AS PROPOSED PUBLIC ROPERTY (EXCEPTING THOSE AREAS LABELED "NOT FOR DEDICATION") ARE HEREBY DEDICATED OTHE PUBLIC USE.	THIS DAY OF, 2023. THE CONDITIONS OF APPROVAL WERE SATISFIED THIS DAY OF, 2023.	I, JOHN K. MURPHY, P.L.S., HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, OR REGISTERED ENGINEER IN COMPLIANCE WITH THE LAWS OF THE COMMONWEALTH OF PENNSYLVANIA; THAT THIS PLAN CORRECTLY REPRESENTS A SURVEY IN AREA OF DEVELOPMENT COMPLETED BY ME ON; THAT ALL THE MONUMENTS SHOWN THEREON ACTUALLY EXIST; AND THAT THEIR LOCATION, SIZE, TYPE AND MATERIAL ARE ACCURATELY SHOWN.
**	CHAIRMAN SECRETARY THIS PLAN RECOMMENDED FOR APPROVAL BY THE UPPER ALLEN TOWNSHIP PLANNING COMMISSION THIS DAY OF,2023. CHAIRMAN	I, JOHN K. MURPHY, P.E., ON

CONDITIONALLY APPROVED BY THE BOARD OF COMMISSIONERS OF UPPER

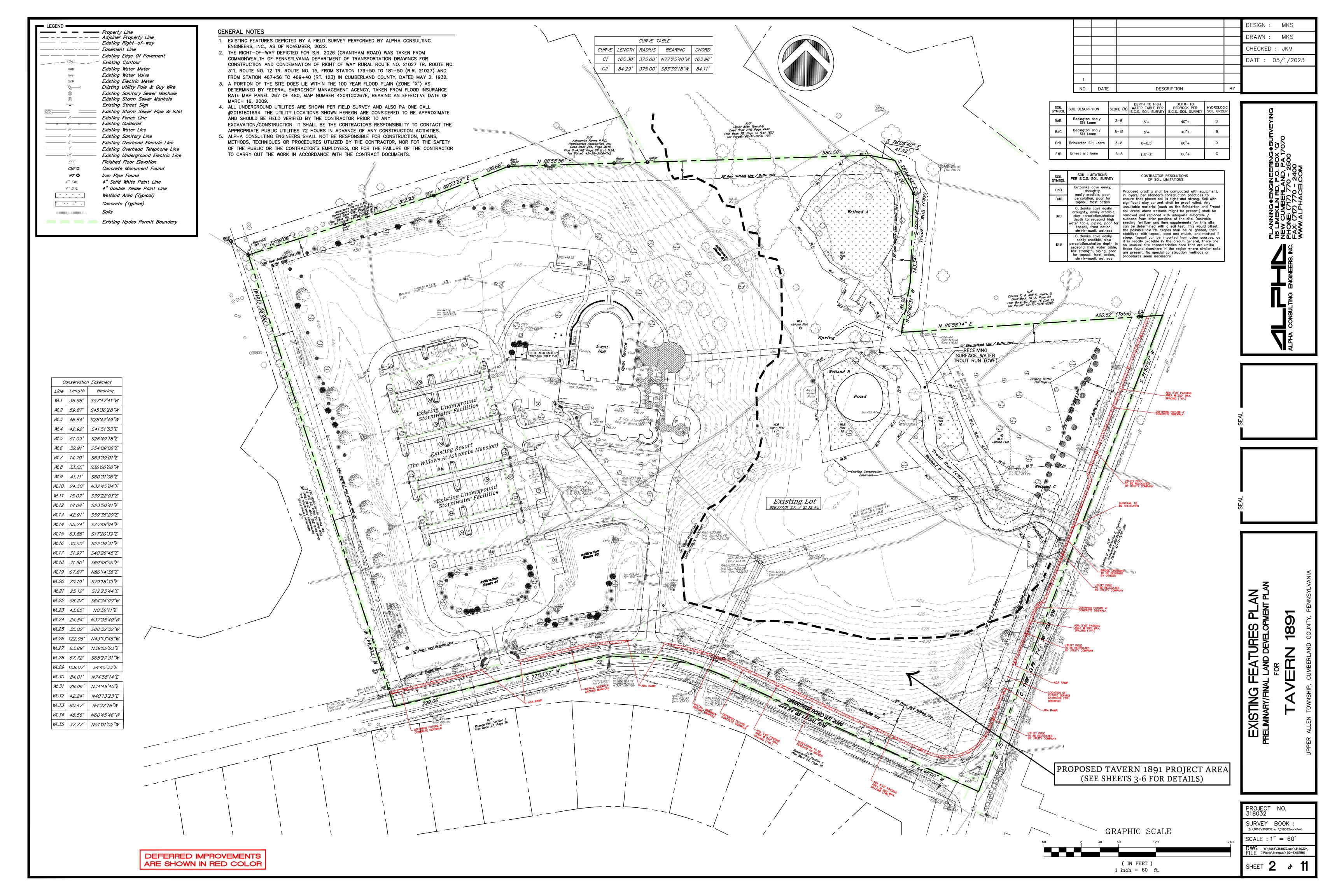
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TORMWATER MANAGEMENT PLAN CERTIFICATE: T IS HEREBY CERTIFIED THAT THE STORMWATER MANAGEMENT FACILITIES AND BMP'S ARE PERMANENT FIXTURES AND CANNOT BE ALTERED OR REMOVED JNLESS A REVISED PLAN IS APPROVED BY UPPER ALLEN TOWNSHIP.	CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW STATEMENT: REVIEWED ONBY THE CUMBERLAND COUNTY PLANNING DEPARTMENT.	1 N F
APPLICANT/OWNER	DIRECTOR OF PLANNING	
THIS PLAN REVIEWED BY THE TOWNSHIP ENGINEER OF UPPER ALLEN TOWNSHIP THIS DAY OF, 2023.	THIS PLAN RECORDED IN THE OFFICE OF THE RECORDER OF DEEDS IN AND FOR CUMBERLAND COUNTY THIS DAY OF, 2023.	
ENGINEER	RECORDED IN INSTRUMENT #	

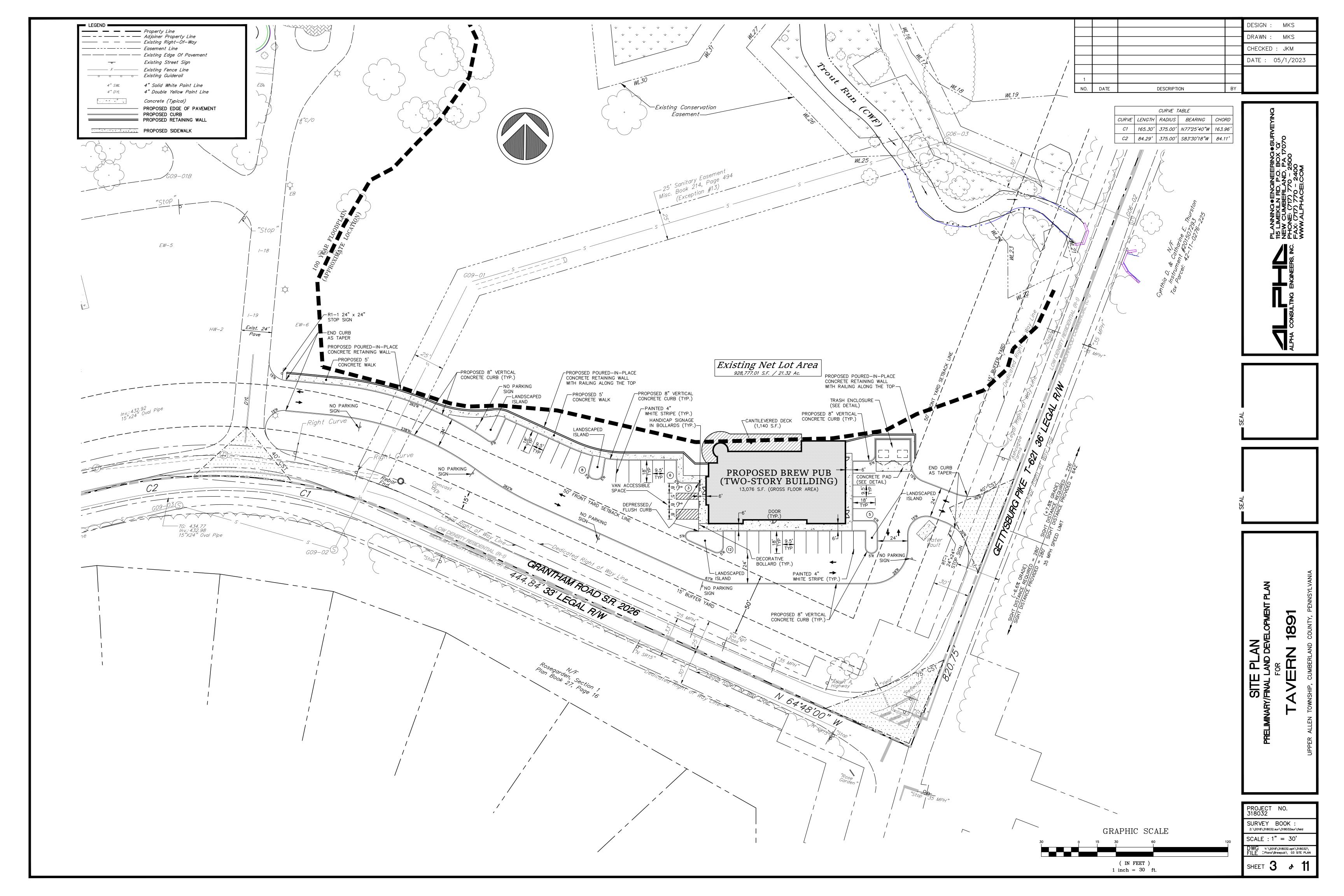
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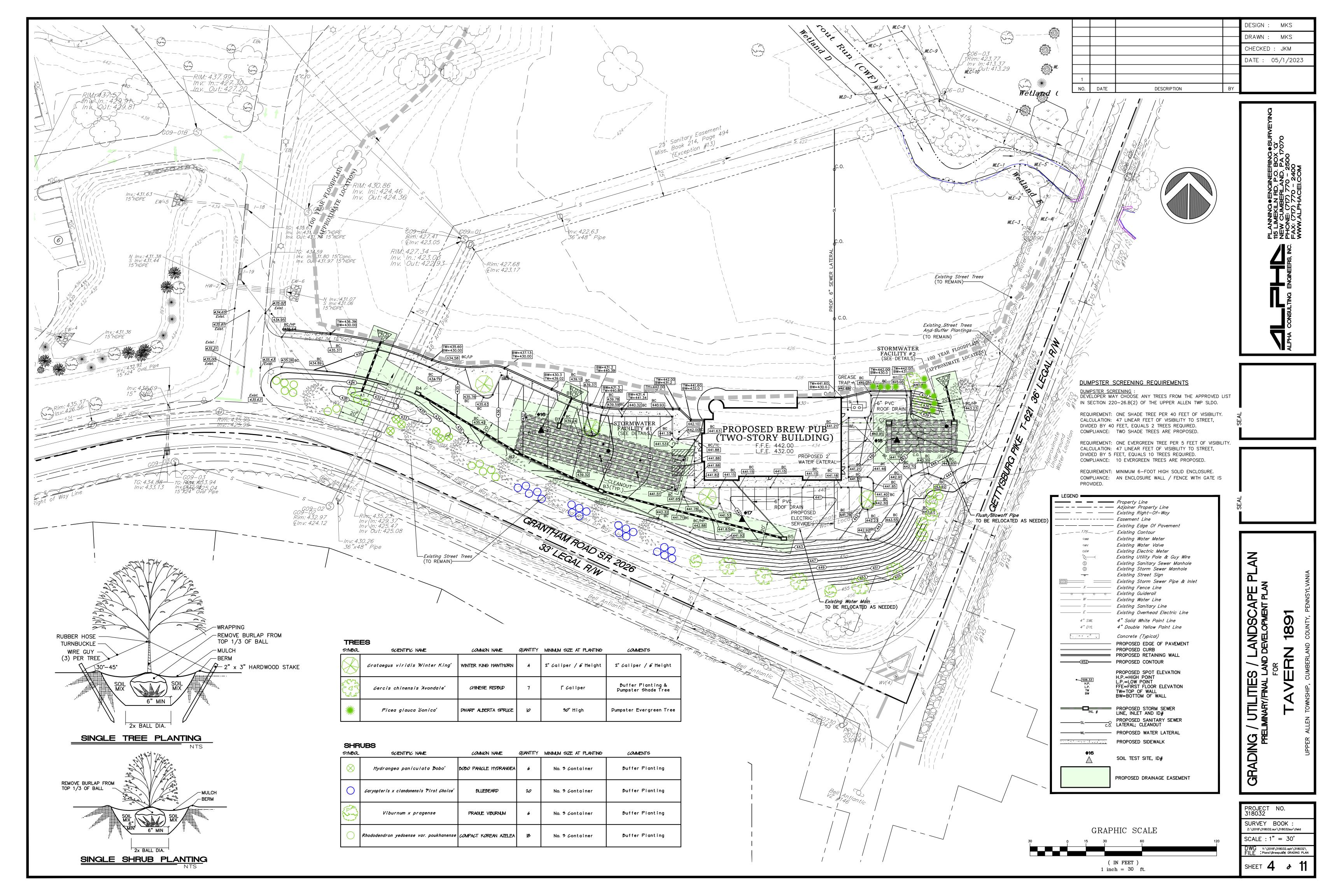
ASHCOMBE MANSION PROPERTY, LLC DEBORAH MYERS WELSH, PRESIDENT 1100 GRANTHAM ROAD MECHANICSBURG. PA 17055 PHONE: (717) 497-3187



PLANNING • ENGINEERING • SURVEYING 115 LIMEKILN RD, P.O. BOX 'G' NEW CUMBERLAND, PA 17070 PHONE: (717) 770 - 2500 FAX: (717) 770 - 2400 WWW.ALPHACEI.COM





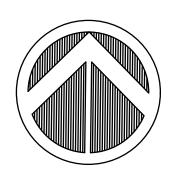


Statistics										
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min				
Site	+	0.5 fc	5.3 fc	0.0 fc	N/A	N/A				
Parking Lot	Ж	2.0 fc	5.3 fc	0.3 fc	17.7:1	6.7:1				

0.0 0.0

0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0

1. Calcs taken at grade 2. Fixtures mounted at height listed on drawing 3. Calculations are estimations based on the information provided and may vary with actual conditions



NOTES:

- 1. THE STYLE OF LIGHTS AND THEIR DETAILS SHALL COMPLY WITH SECTION 245-16.10, 245-17.8 AND 220-32 OF THE CODIFIED
- ORDINANCES OF UPPER ALLEN TOWNSHIP. 2. THE MAXIMUM AVERAGE FOOTCANDLES CANNOT EXCEED (6)

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				CHECKED : JKM
				DATE: 05/1/2023
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NO.	DATE	DESCRIPTION	BY	

Schedul	Schedule											
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF	Input Power			
	A	7	Lithonia Lighting	RSX1 LED P4 40K R4	RSX Area Fixture Size 1 P4 Lumen Package 4000K CCT Type R4 Distribution	1	16573	0.95	133.14			

0.0 0.0 0.0 0.0 0.0 0.0

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PLAN NT PLAN

LIGHTING / PHOTOMETRIC PRELIMINARY/FINAL LAND DEVELOPMEN

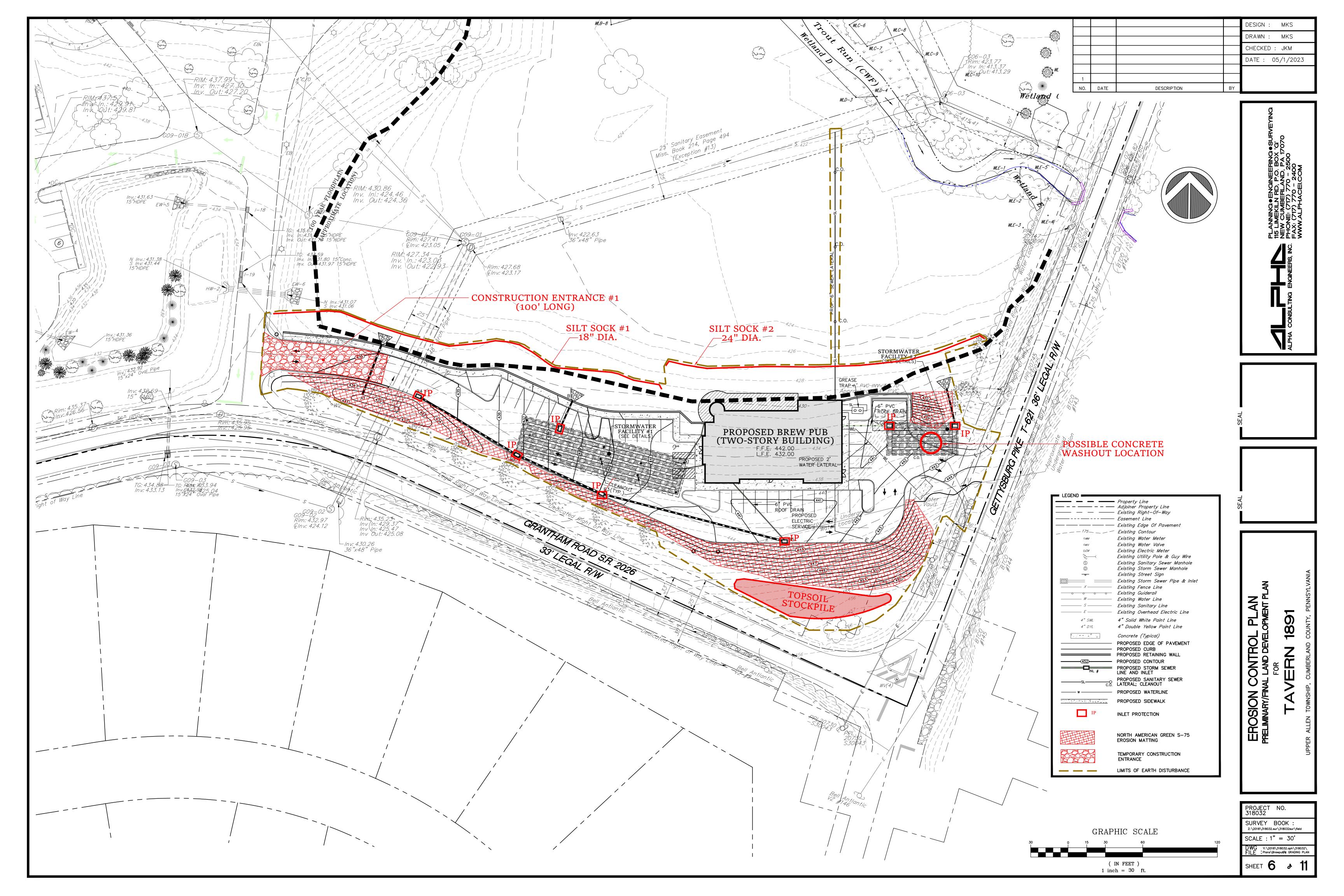
SURVEY BOOK Z: \2018\318032.sur\318032sur\field SCALE : 1'' = 30') WG Y:\2018\318032.aph\318032\ | | E : Plans\Brewpub\ 03 SITE PLAN SHEET **5** & **11**

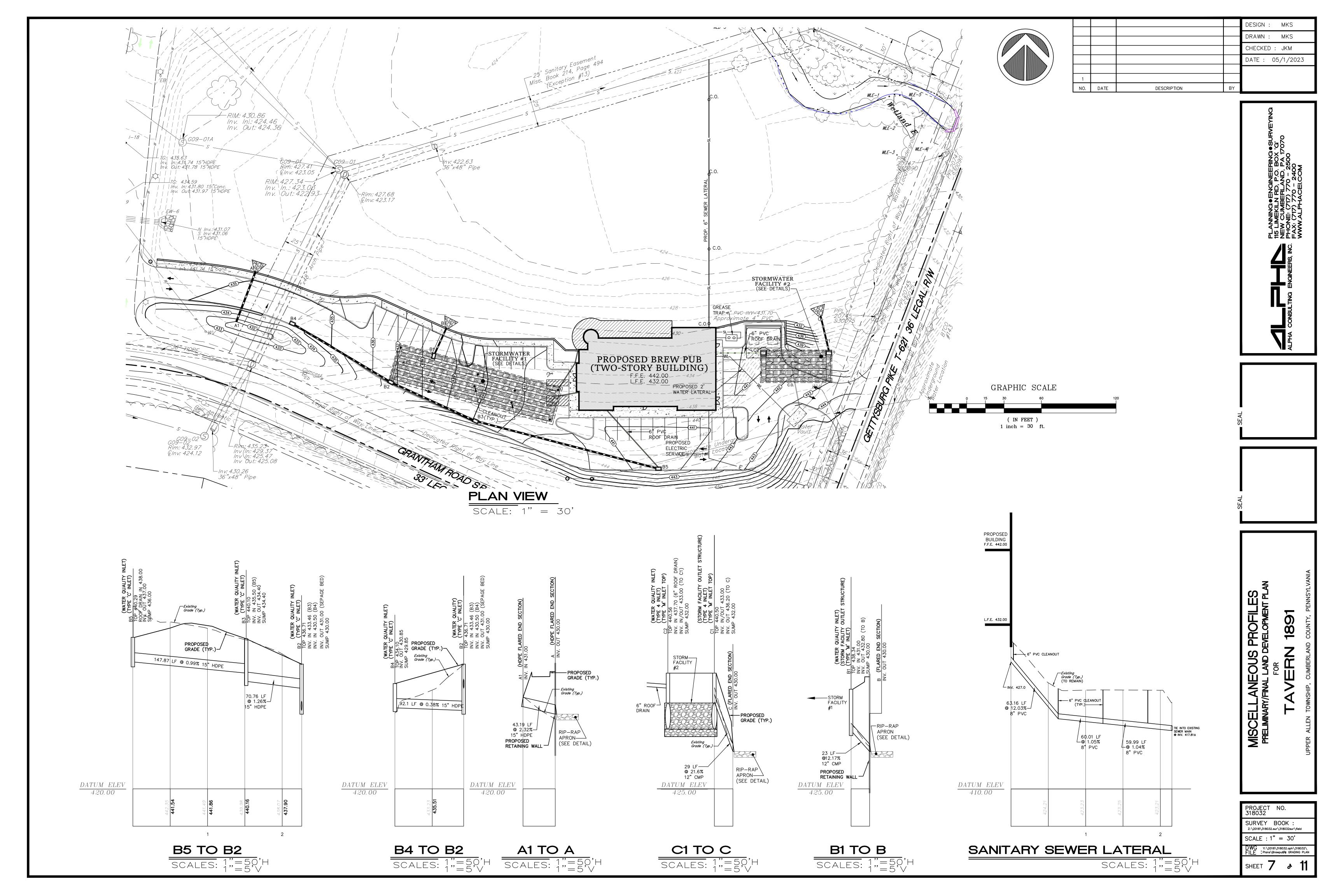
GRAPHIC SCALE

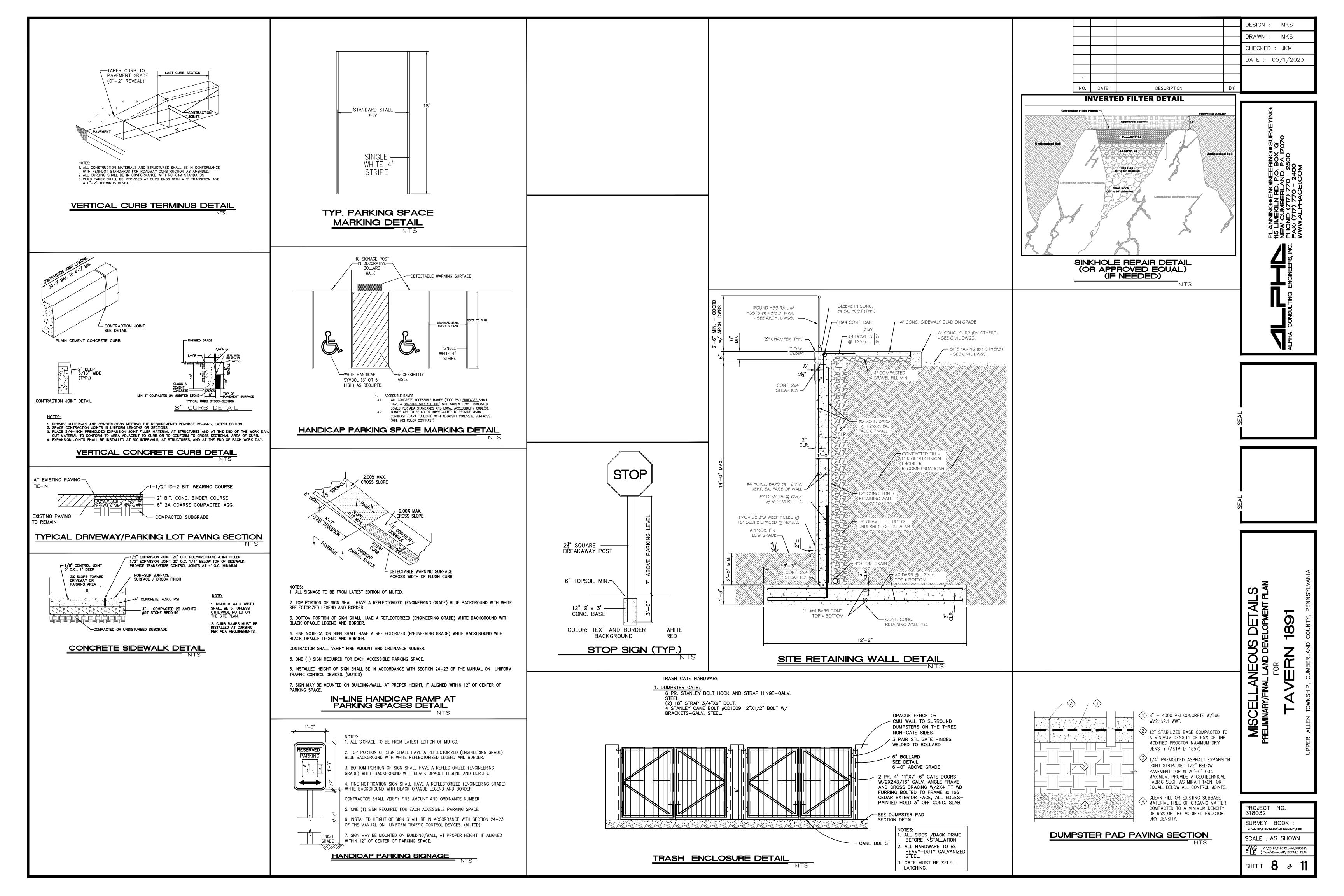
(IN FEET)

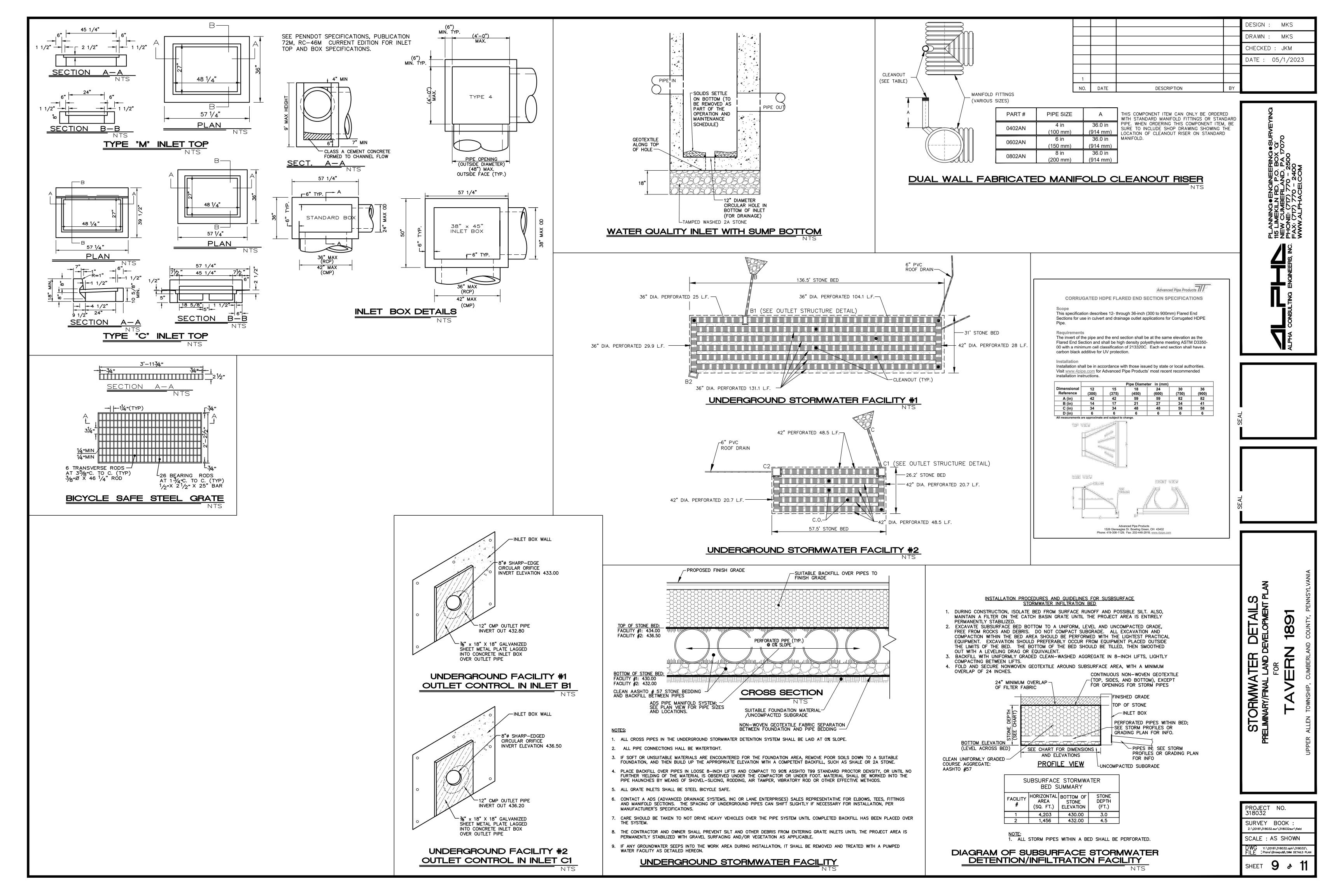
1 inch = 30 ft.

A @ 25' A 0.1 0.1 0.2 0.3 0.6 0.9 1.4 2.0 1.3 2.4 2.1 1.9 1.8 2.1 2.6 3.1 3.8 4.0 3.1 2.3 2.0 2.1 2.3 2.6 3.4 4.1 3.3 1.8 0.7 0.4 0.3 0.4 0.5 A 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.3 0.6 0.7 0.5 0.3 0.3 0.2 0.3 0.6 1.4 2.7 A \mathbb{Q}_8 25' 3.7 2.9 2.4 2.2 2.0 2.1 2.7 3.7 4.0 3.5 2.9 2.5 2.2 2.4 3.0 3.5 3.4 2.7 1.9 1.3 0.8 0.5 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.0 0.1 0.1 0.2 0.3 0.4 0.3 0.2 0.2 0.2 0.3 0.4 0.8 1.1 1.3 1.9 2.2 2.1 1.9 1.8 1.8 2.0 2.3 2.5 2.5 2.6 2.6 2.6 2.7 2.9 3.7 5.0 5.0 3.6 2.4 1.7 1.1 0.7 0.6 0.9 1.3 1.7 2.3 3.6 5.2 4.8 3.4 1.8 0.9 0.3 0.1 0.1 0.0 0.0 0.0 0.0 0.0 0.0 0.0 $0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.0 \quad 0.1 \quad 0.1 \quad 0.1 \quad 0.2 \quad 0.3 \quad 0.2 \quad 0.1 \quad 0.2 \quad 0.3 \quad 0.2 \quad 0.1 \quad 0.0 \quad 0.0$

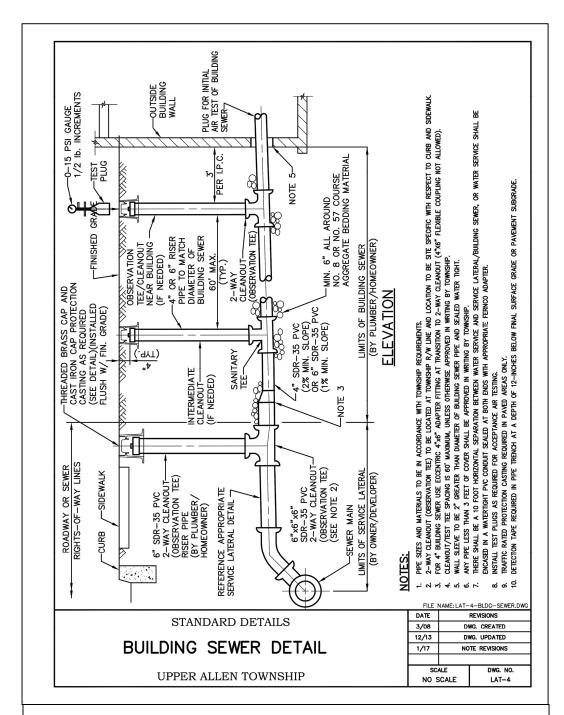


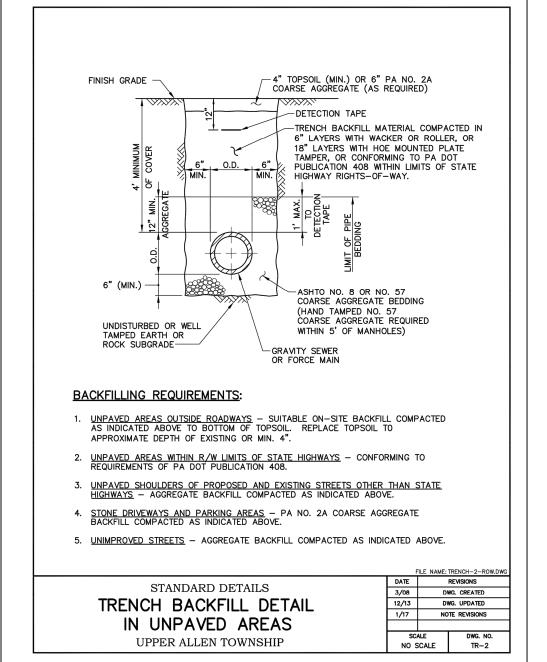


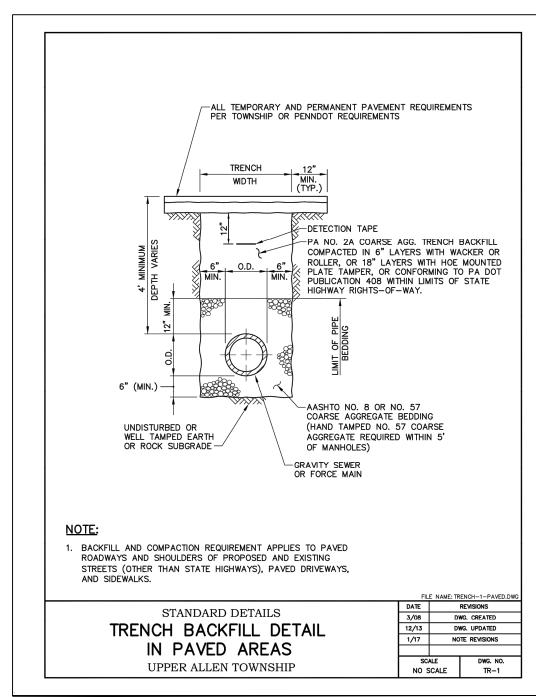


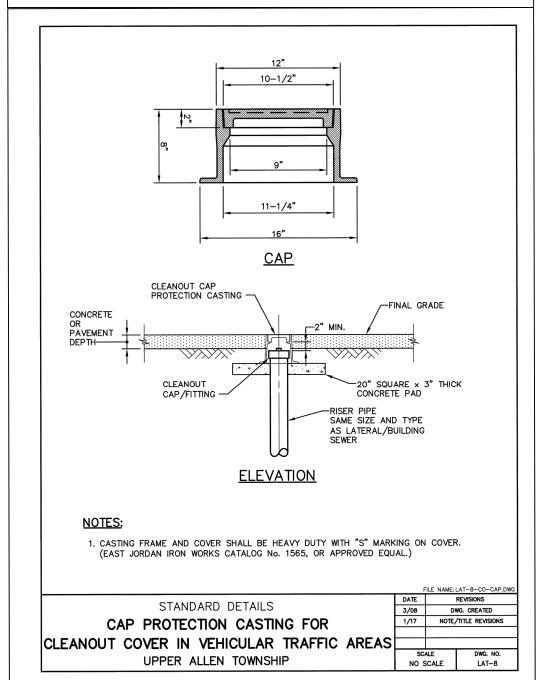


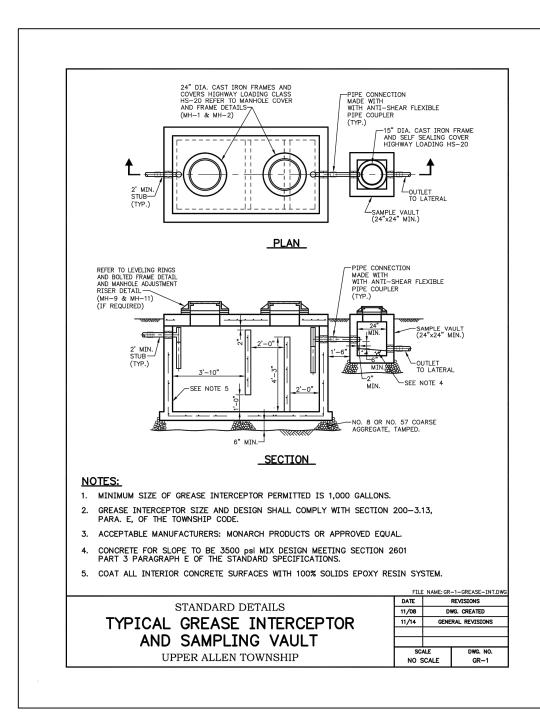
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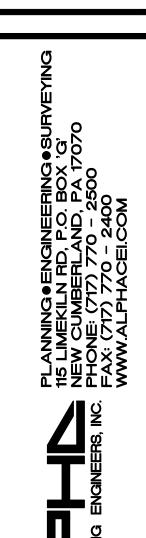


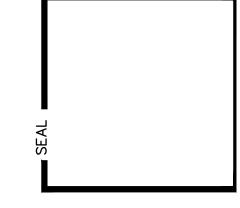


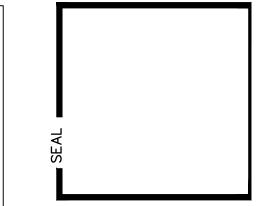












DETAILS EVELOPMENT PL

SEWER [SANITARY PRELIMINARY/FIN

SURVEY BOOK : Z: \2018\318032.sur\318032sur\field SCALE : AS SHOWN DWG Y:\2018\318032.aph\318032\
FILE :Plans\BrewpaB\SANITARY\SEWER

SHEET 10 &

- THE SITE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTATION OF THIS EROSION CONTROL PLAN.
- THE SITE CONTRACTOR SHALL NOT DISTURB MORE AREA THAN IS NECESSARY FOR THE TASK TO BE DONE, SO THAT POTENTIAL FOR EROSION IS MINIMIZED.
- EROSION AND SEDIMENTATION CONTROLS MUST BE CONSTRUCTED, STABILIZED, AND FUNCTIONAL BEFORE SITE DISTURBANCE WITHIN THE TRIBUTARY AREAS TO THE CONTROLS.
- A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN / DRAWINGS (STAMPED, SIGNED AND DATED BY THE REVIEWING AGENCY) MUST BE AVAILABLE AT THE PROJECT SITE DURING AT ALL TIMES.
- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION CONTROL PLAN PREPARER, THE POST CONSTRUCTION PLAN PREPARER, AND A
- AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSL' UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING FROM THE COUNTY CONSERVATION DISTRICT PRIOR TO IMPLEMENTATION.
- CLEARING, GRUBBING, AND TOPSOIL STRIPPING SHALL BE LIMITED TO THOSE AREAS DESCRIBED IN EACH STAGE OF THE CONSTRUCTION SEQUENCE. GENERAL SITE CLEARING, GRUBBING AND TOPSOIL STRIPPING MAY NOT COMMENCE IN ANY STAGE OR PHASE OF THE PROJECT UNTIL THE E & S BMPS SPECIFIED BY THE CONSTRUCTION SEQUENCE FOR THAT STAGE OR PHASE
- HAVE BEEN INSTALLED AND ARE FUNCTIONING AS DESCRIBED IN THIS DOCUMEN' AT NO TIME SHALL CONSTRUCTION VEHICLES BE ALLOWED TO ENTER AREAS OUTSIDE THE LIMIT OF DISTURBANCE BOUNDARIES SHOWN ON THE PLAN MAPS. THESE AREAS MUST BE CLEARLY MARKED AND FENCED OFF BEFORE CLEARING AND GRUBBING OPERATION BEGIN.
- 0. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
- IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES (BMPS) TO MINIMIZE THE POTENTIAL FOR EROSION AND SEDIMENT POLLUTION, AND NOTIFY THE CONSERVATION DISTRICT AND/OR THE REGIONAL OFFICE
- SOLIDS, TRASH AND OTHER POLLUTANTS SHALL BE DISPOSED IN ACCORDANCE WITH FEDERAL AND STATE REGULATIONS IN ORDER TO PREVENT ANY POLLUTANT IN SUCH MATERIALS FROM ADVERSELY AFFECTING THE ENVIRONMENT. ALL BUILDING MATERIALS AND WASTES MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED IN ACCORDANCE WITH THE DEPARTMENT OF ENVIRONMENTAL PROTECTION'S SOLID WASTE MANAGEMENT REGULATIONS AT 25 PA. CODE 260, 260.1 ET SEQ 271.1, AND 287.1 ET SEQ. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- 3. ALL OFF-SITE WASTE AND BORROW AREAS MUST HAVE AN E & S PLAN APPROVED BY THE CONSERVATION DISTRICT OR DEP
- MUST BE RETAINED BY THE PROPERTY OWNER FOR ANY FILL MATERIAL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE BUT QUALIFYING AS CLEAN FILL DUE TO ANALYTICAL TESTING.
- ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
- . AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 4 INCHES PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES. ALL FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- 18. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
- 9. ALL GRADED AREAS SHALL BE PERMANENTLY STABILIZED IMMEDIATELY UPON REACHING FINISHED GRADE. CUT SLOPES IN COMPETENT BEDROCK AND ROCK FILLS NEED NOT BE VEGETATED.
- D. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE IN ANY AREA OR SUBAREA OF THE PROJECT, THE OPERATOR SHALL STABILIZE ALL DISTURBED AREAS. DURING NON—GERMINATING MONTHS, MULCH OR PROTECTIVE BLANKETING SHALL BE APPLIED AS DESCRIBED IN THE PLAN. AREAS NOT AT FINISHED GRADE, WHICH WILL BE REACTIVATED WITHIN 1 YEAR, MAY BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY STABILIZATION SPECIFICATIONS. THOSE AREAS WHICH WILL NOT BE REACTIVATED WITHIN 1 YEAR SHALL BE STABILIZED IN ACCORDANCE WITH THE PERMANENT STABILIZATION SPECIFICATIONS
- I. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM. PERENNIAL 70% VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED EROSION. CUT AND FILL SLOPES
- 22. ALL E & S BMPS MUST REMAIN FUNCTIONAL AS SUCH UNTIL ALL AREAS TRIBUTARY TO THEM ARE PERMANENTLY STABILIZED OR UNTIL THEY ARE REPLACED BY ANOTHER BMP APPROVED BY THE CONSERVATION DISTRICT OR PA DEP.
- 23. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND / OR OPERATOR SHALL CONTACT THE CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO REMOVAL / CONVERSION OF THE E & S BMPS.
- 24. AFTER FINAL SITE STABILIZATION HAS BEEN ACHIEVED, TEMPORARY E & S BMPS MUST BE REMOVED OR CONVERTED TO PERMANENT POST CONSTRUCTION STORMWATER MANAGEMENT BMPS. ARES DISTURBED DURING REMOVAL OR CONVERSION OF THE BMPS MUST BE STABILIZED IMMEDIATELY. IN ORDER TO ENSURE RAPID REVEGETATION OF DISTURBED AREAS, SUCH
- 25. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND / OR OPERATOR SHALL CONTACT THE CONSERVATION DISTRICT TO SCHEDULE A FINAL INSPECTION.
- 6. FAILURE TO CORRECTLY INSTALL E & S BMPS, FAILURE TO PREVENT SEDIMENT-LADEN RUNOFF FROM LEAVING CONSTRUCTION SITE, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E & S BMPS MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
- 27. ONLY LIMITED DISTURBANCE WILL BE PERMITTED TO INITIALLY ACCESS AND ACQUIRE BORROW TO CONSTRUCT CONTROL FACILITIES, BEFORE GENERAL SITE ALTERATION BEGINS.
- 28. IF FUEL OR OTHER DANGEROUS CHEMICALS ARE STORED ON SITE, THEN A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN MUST BE DEVELOPED AND KEPT ON SITE.
- 29. AN EROSION CONTROL BLANKET MUST BE INSTALLED ON ALL DISTURBED SLOPES STEEPER THAN 3:1, IN ALL AREAS WITH CONCENTRATED FLOWS AS NOTED ON THE DRAWINGS.
- 30. UNDERGROUND UTILITIES CUTTING THROUGH ANY ACTIVE CHANNEL SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL RESTORED TO ITS ORIGINAL CROSS-SECTION AND PROTECTIVE LINING. ANY BASE FLOW WITHIN THE CHANNEL SHALL BE CONVEYED PAST THE WORK IN THE MANNER DESCRIBED IN THIS PLAN UNTIL SUCH RESTORATION IS COMPLETE.
- FILL MATERIALS—
 THE NPDES PERMIT COVERS THE "MOVING, DEPOSITING, STOCKPILING, OR STORING OF SOIL ROCK OR EARTH MATERIALS." IF THE SITE WILL NEED TO HAVE FILL IMPORTED FROM AN OFF SITE LOCATION, THE RESPONSIBILITY FOR PERFORMING ENVIRONMENTAL DUE DILIGENCE AND THE DETERMINATION OF CLEAN FILL WILL IN MOST CASES RESIDE WITH THE OPERATOR. IF THE SITE WILL HAVE EXCESS FILL THAT WILL NEED TO BE EXPORTED TO AN OFF SITE LOCATION, THE RESPONSIBILITY OF CLEAN FILL DETERMINATION AND THE ENVIRONMENTAL DUE DILIGENCE RESTS ON THE APPLICANT. IF ALL CUT AND FILL MATERIALS WILL BE USED ON THE SITE, A CLEAN FILL DETERMINATION IS NOT REQUIRED BY THE OPERATOR UNLESS THERE IS A BELIEF THAT A SPILL OR RELEASE OF A REGULATED SUBSTANCE OCCURRED ON SITE. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ANY MATERIAL BROUGHT ONTO THE SITE IS CLEAN FILL. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP—001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP—001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
- APPLICANTS AND/OR OPERATORS MUST USE ENVIRONMENTAL DUE DILIGENCE TO ENSURE THAT THE FILL MATERIAL ASSOCIATED WITH THIS PROJECT QUALIFIES AS CLEAN FILL. DEFINITIONS OF CLEAN FILL AND ENVIRONMENTAL DUE DILIGENCE ARE PROVIDED BELOW. ALL FILL MATERIAL MUST BE USED IN ACCORDANCE WITH THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL", DOCUMENT NUMBER 258—2182—773. A COPY OF THIS POLICY IS AVAILABLE ONLINE AT <u>WWW.DEPWEB.STATE.PA.US</u>. UNDER THE HEADING QUICK ACCESS ON THE LEFT SIDE OF THE SCREEN, CLICK ON "FORMS AND PUBLICATIONS." ON THE LEFT SIDE OF THE SCREEN CLICK ON "TECHNICAL GUIDANCE DOCUMENTS—FINAL." THEN TYPE THE DOCUMENT NUMBER 258—2182—773 INTO THE SEARCH WINDOW AND CONDUCT THE SEARCH. CLICK ON 'MANAGEMENT OF FILI
- CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DREDGED MATERIAL, USED ASPHALT, AND BRICK, BLOCK OR CONCRETE FROM CONSTRUCTION AND DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM "USED ASPHALT" DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
- CLEAN FILL AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE: FILL MATERIALS AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE STILL QUALIFIES AS CLEAN FILL PROVIDED THE TESTING REVEALS THAT THE FILL MATERIAL CONTAINS CONCENTRATIONS OF REGULATED SUBSTANCES THAT ARE BELOW THE RESIDENTIAL LIMITS IN TABLES FP-1A AND FP-1B FOUND IN THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL."
- ENVIRONMENTAL DUE DILIGENCE: INVESTIGATIVE TECHNIQUES, INCLUDING, BUT NOT LIMITED TO, VISUAL PROPERTY INSPECTIONS, ELECTRONIC DATA BASE SEARCHES, REVIEW OF PROPERTY OWNERSHIP, REVIEW OF PROPERTY USE HISTORY, SANBORN MAPS, ENVIRONMENTAL QUESTIONNAIRES, TRANSACTION SCREENS, ANALYTICAL TESTING, ENVIRONMENTAL ASSESSMENTS OR AUDITS. ANALYTICAL TESTING IS NOT A REQUIRED PART OF DUE DILIGENCE UNLESS VISUAL INSPECTION AND/OR REVIEW OF THE PAST LAND USE OF THE PROPERTY INDICATES THAT THE FILL MAY HAVE BEEN SUBJECTED TO A SPILL OR RELEASE OF REGULATED SUBSTANCE. IF THE FILL MAY HAVE BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE, IT MUST BE TESTED TO DETERMINE IF IT QUALIFIES AS CLEAN FILL. TESTING SHOULD BE PERFORMED IN ACCORDANCE WITH APPENDIX A OF THE DEPARTMENT'S POLICY "MANAGEMENT OF FILL."
- FILL MATERIAL THAT DOES NOT QUALIFY AS CLEAN FILL IS REGULATED FILL. REGULATED FILL IS WASTE AND MUST BE IN ACCORDANCE WITH THE DEPARTMENT'S MUNICIPAL OR RESIDUAL WASTE REGULATIONS BASED ON 25 PA. CODE CHAPTERS 287 RESIDUAL WASTE MANAGEMENT OR 271 MUNICIPAL WASTE MANAGEMENT, WHICHEVER IS APPLICABLE.
- THE EROSION AND SEDIMENT POLLUTION CONTROL PLAN AND NPDES PERMIT MUST BE APPROVED BY THE COUNTY CONSERVATION DISTRICT PRIOR TO ANY EARTHMOVING ACTIVITIES ON THIS SITE.
- ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES AND WOODY DEBRI ACCUMULATED SEDIMENT, AND CONSTRUCTION WASTES/MATERIALS. CHANNELS SHOULD BE KEPT MOWED AND/OR FREE OF ALL WEEDY, BRUSHY OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS/THROUGH THE CHANNEL(S) SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL(S) REPAIRED AND STABILIZED PER THE CHANNEL CROSS-SECTION DETAIL.
- VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OVER-EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.
- THE PERMITTEE AND CO-PERMITTEE MUST ENSURE THAT VISUAL SITE INSPECTIONS ARE CONDUCTED WEEKLY, AND AFTER EACH MEASURABLE PRECIPITATION EVENT BY QUALIFIED PERSONNEL, TRAINED AND EXPERIENCED IN EROSION AND SEDIMENT CONTROL, TO ASCERTAIN THAT THE EROSION AND SEDIMENT CONTROL (E&S) BMPS ARE OPERATIONAL AND EFFECTIVE IN PREVENTING POLLUTION TO THE WATERS OF THE COMMONWEALTH. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT, AND INCLUDE:) A SUMMARY OF THE SITE CONDITIONS, E&S BMPS, AND COMPLIANCE; AND THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED EROSION AND SEDIMENT CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.

MAINTENANCE PLAN:

- UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPS MUST BE MAINTAINED PROPERLY RESPONSIBILITY FOR IMPLEMENTING AND MAINTAINING EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE DESIGNATED TO A MINIMUM OF ONE INDIVIDUAL WHO WILL BE PRESENT AT THE PROJECT SITE EACH WORKING DAY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPS AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. TO ENSURE THAT THEY ARE IN PLACE, STABLE, AND FUNCTIONING PROPERLY. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE—GRADING, RESEEDING, RE—MULCHING, AND RE—NETTING MUST BE PERFORMED IMMEDIATELY, TO RESTORE THE CONTROL MÉASURE TO THE ORIGINAL DÉSIGN. IF EROSION AND SEDIMENT CONTROL BMPS FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPS, OR MODIFICATIONS OF THOSE INSTALLED, WILL BE REQUIRED.
- 2. A LOG SHOWING DATES THAT E & S BMPS WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.
- ANY SEDIMENT REMOVED FROM BMPS DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS WITHIN THE PROJECT AREA, AND INCORPORATED INTO THE SITE GRADING, OR IN THE MANNER DESCRIBED ON THE PLAN
- 4. SEE THE CONSTRUCTION DETAILS AND SEEDING SPECIFICATIONS FOR MAINTENANCE PROCEDURES FOR THE VARIOUS CONTROL MEASURES.
- . MUD MUST BE REMOVED FROM VEHICLE TIRES BEFORE THEY EXIT THE SITE. SEDIMENT TRACKED ONTO ANY PUBLIC ROADWAY OR SIDEWALK SHALL BE RETURNED TO THE CONSTRUCTION SITE BY THE END OF EACH WORK DAY AND DISPOSED IN THE MANNER DESCRIBED IN THIS PLAN. IN NO CASE SHALL THE SEDIMENT BE WASHED, SHOVELED, OR SWEPT INTO ANY ROADSIDE DITCH, STORM SEWER OR SURFACE WATER.

STAGING OF EARTHMOVING ACTIVITIES

- GENERAL NOTES FOR ALL WORK—

 A. AT LEAST 7 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES, THE LANDOWNER, ALL APPROPRIATE MUNICIPAL OFFICIALS, THE EROSION CONTROL PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE OF THE COUNTY CONSERVATION DISTRICT TO AN ON-SITE PRE-CONSTRUCTION MEETING. AT LEAST 3 DAYS BEFORE STARTING ANY EARTH DISTURBANCE ACTIVITIES, ALL CONTRACTORS INVOLVED IN THOSE ACTIVITIES SHALL NOTIFY THE PENNSYLVANIA ONE CALL SYSTEM INCORPORATED AT 1-800-242-1776 (OR 811) FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES. C. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SPECIFIC SEQUENCING. EACH STAGE SHALL BE COMPLETED AND IMMEDIATELY STABILIZED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING, GRUBBING AND TOPSOIL STRIPPING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE. ANY DEVIATION FROM THE FOLLOWING SEQUENCE MUST BE APPROVED IN WRITING BY THE COUNTY CONNETING AND ADDRESS OF THE COUNTY OF THE COUN
- D. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO ELIMINATE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, AND NOTIFY THE COUNTY CONSERVATION DISTRICT.
- E. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE NOT AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
- F. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS. SPECIFIC STAGES OF CONSTRUCTION:

 1. INSTALL SILT SOCKS #1 AND 2. INSTALL STABILIZED CONSTRUCTION ENTRANCE #1, INCLUDING STORM PIPE A1 TO A; PLACE RIPRAP AT PIPE OUTLET IMMEDIATELY. OBTAIN FILL FOR THE ENTRANCE AND TO CROSS THE STORM PIPE FROM THE MAIN CUT AREA NEAR THE PROPOSED BUILDING. ALL FILL SLOPES ALONG THE DRIVEWAY AT THE ENTRANCE AREA SHOULD BE TEMPORARILY SEEDED AND MATTED.
- STRIP TOPSOIL WITHIN THE PROJECT AREA (EXCLUDING SEWER LATERAL AWAY FROM THE BUILDING) AND STOCKPILE WHERE SHOWN; TEMPORARY SEED / MULCH THE PILE WHEN ALL IS STRIPPED. ROUGH GRADE THE PROJECT AREA. THE CUT SLOPE UPHILL OF THE BUILDING MUST BE PERMANENTLY SEEDED AS SOON AS IT IS GRADED.
- 4. CONSTRUCT THE BUILDING, RETAINING WALL, AND INSTALL UTILITY LATERALS. THE SEWER LATERAL DOWNHILL OF SILT SOCK #2 MUST BE PERFORMED IN ONE SHORT-TERM CONTINUOUS OPERATION. TEMPORARILY BREAK THE SOCK FOR THE WORK, THEN RESTORE IT WHEN THE LATERAL IS COMPLETED. PLACE TOPSOIL BESIDE TRENCH FOR QUICK RESPREADING AFTER LATERAL INSTALLATION. ALL DISTURBED SOIL FOR THE SEWER LATERAL DOWNHILL OF SILT SOCK #2 MUST BE PERMANENTLY SEEDED AS SOON AS THE LATERAL IS INSTALLED, AS THE AREA WILL NOT BE DISTURBED AGAIN. RELOCATE EXISTING WATER MAIN AS NEEDED. SHOULD ANY WATER ACCUMULATE IN ANY TRENCH IN THE DEPTH THAT CAN BE PUMPED THEN USE THE FACILITY FOR PUMPED WATER AS DETAILED ON THE DRAWINGS.
- **5. IN A SHORT-TERM CONTINUOUS OPERATION, INSTALL UNDERGROUND STORMWATER FACILITIES #1 AND 2, AND REMAINING STORM PIPES AND INLET BUT LEAVE THE INLET TOPS ABOVE GRADE FOR NOW SO NO DIRTY RUNOFF ENTERS THE PIPE SYSTEMS AND UNDERGROUND FACILITIES. INSTALL INLET PROTECTION AS SOON AS A GRATE IS PLACED. SHOULD ANY WATER ACCUMULATE IN ANY TRENCH/ EXCAVATION TO A DEPTH THAT CAN BE PUMPED, THEN USE THE FACILITY FOR PUMPED WATER AS DETAILED ON THE DRAWINGS. INSTALLATION OF A STORMWATER FACILITY SHALL BE CONSIDERED A CRITICAL STAGE OF CONSTRUCTION, FOR WHICH A LICENSED PROFESSIONAL OR THEIR DESIGNEE MUST BE PRESENT DURING CONSTRUCTION. PLACE RIPRAP APRON IMMEDIATELY AT OUTLETS. INSTALL ROOF DRAIN CONNECTIONS.
- INSTALL THE INTERNAL CURBING FOR DRIVEWAYS AND PARKING AREAS, PLACING GRAVEL SUBBASE OF PAVING AS SOON AS POSSIBLE (TO COVER SOIL). INSTALL DUMPSTER AREA / ENCLOSURE. CONTINUOUSLY MAINTAIN INLET PROTECTION WHERE SHOWN ON THE PLAN.
- 8. TEMPORARY CONTROL MEASURES CAN BE REMOVED WHEN THE WATERSHED DRAINING TO THE MEASURE IS PERMANENTLY STABILIZED, MEANING A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY CAPABLE TO RESIST ACCELERATED SURFACE EROSION, AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS. THE LOCATION OF THE CONTROL MEASURE MUST BE IMMEDIATELY PERMANENTLY STABILIZED UPON ITS REMOVAL. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES, AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE COUNTY CONSERVATION DISTRICT FOR AN INSPECTION PRIOR TO THE REMOVAL / CONVERSION OF THE E&S BMPS. SILT SOCKS CAN BE REMOVED, OR #1 CAN BE ALLOWED TO ROT IN PLACE. REMOVE ALL INLET PROTECTION.

** STAGE #5 SHALL BE CONSIDERED A 'CRITICAL STAGE OF CONSTRUCTION' DURING WHICH A LICENSED ENGINEER OF THEIR DESIGNEE MUST BE PRESENT.

POST—CONSTRUCTION STORMWATER MANAGEMENT (PSCM PLAN OPERATION, OWNERSHIP AND MAINTENANCE PROGRAM

THE STORM WATER VOLUME AND QUALITY CONTROL BEST MANAGEMENT PRACTICES (BMPS) CONSTRUCTED FOR THE TAVERN 1891 LAND DEVELOPMENT PLAN WILL BE MAINTAINED TO FUNCTION AS DESIGNED, AND SHALL IMPLEMENT THE PROCEDURES DESCRIBED BELOW; THIS SHALL BE IN THE DEED OF THE LOT WHENEVER THE LOT IS SOLD TO ANOTHER. THE OWNER OF THE LOT SHALL OWN AND MAINTAIN THE STORMWATER FACILITIES WITHIN THE LOT. THE APPROVED FACILITIES ARE TO BE PERMANENT, AND CAN ONLY BE REMOVED OR ALTERED AFTER APPROVAL BY ONE OR MORE OF THE FOLLOWING ENTITIES WHICH MAY HAVE JURISDICTION: UPPER ALLEN TOWNSHIP; AND/OR PA D.E.P. THE LOT OWNER, SHALL MAINTAIN ON-LOT STORMWATER MANAGEMENT, AND PERMANENT EROSION AND SEDIMENT POLLUTION CONTROL SYSTEM(S) AS SET FORTH HEREIN. THE FOLLOWING PHYSICAL FACILITIES SHALL BE MAINTAINED TO THE ORIGINAL DESIGN AND DIMENSIONS SHOWN ON THE DESIGN PLANS APPROVED BY UPPER ALLEN TOWNSHIP, UNTIL SUCH TIME AS AN AMENDED PLAN IS APPROVED BY THE TOWNSHIP:

--STORMWATER INLETS, PIPES AND RIPRAP APRONS AND

THE DESIGNATED MAINTAINER / LESSEE SHALL COMPLETE A VISUAL INSPECTION OF BMPS AS SPECIFIED BELOW FOR EACH BMP. SUBSURFACE PORTIONS OF STORMWATER FACILITIES:

--ALL INLET STRUCTURES DRAINING TO AN INFILTRATION BED SHOULD BE INSPECTED TWO TIMES PER YEAR, AND BE CLEANED AS NEEDED.

DISPOSE OF SEDIMENT, TRASH OR OTHER WASTE MATERIAL AT SUITABLE DISPOSAL / RECYCLING SITES AND IN COMPLIANCE WITH LOCAL, STATE AND FEDERAL WASTE REGULATIONS.

--EVALUATE THE DRAIN-DOWN TIME OF THE FACILITY TO ENSURE THE MAXIMUM TIME OF 72 HOURS IS NOT BEING EXCEEDED. IF DRAIN-DOWN TIMES ARE EXCEEDING THE MAXIMUM, DRAIN THE FACILITY VIA PUMPING AND CLEAN OUT PERFORATED PIPING. IF SLOW DRAINAGE PERSISTS, THE SYSTEM MAY NEED TO BE REPLACED. IF DEBRIS AND/OR STANDING WATER IS VISIBLE IN THE INLETS AND SYSTEM, THEN IT SHALL BE VACUUMED TO REMOVE ACCUMULATED DEBRIS. STORMWATER QUALITY/RECHARGE FACILITIES THAT DO NOT DRAIN WITHIN SEVENTY-TWO (72) HOURS SHALL BE SUMPLIFIED ENGINEED. COLORIST AND/OR PERFORMENCION ACTIVITIES. EVALUATED BY A QUALIFIED ENGINEER, GEOLOGIST, AND/OR HYDROGEOLOGIST PRIOR TO INITIATING ANY REPAIR AND/OR RECONSTRUCTION ACTIVITIES.

FAILURE (BMP NO LONGER PROVIDES THE BENEFIT OR PERFORMANCE ANTICIPATED) FOR THIS BMP IS THE FOLLOWING: ——FREQUENT EVENTS OF STANDING WATER FOR GREATER THAN 72 HOURS.

CORRECTIVE MEASURE OPTIONS SHOULD FAILURE OF THIS BMP OCCUR:
——CLEAN THE PERFORATED PIPES AND CONTRIBUTING INLETS BY VACUUMING OUT DEBRIS. --CHECK THE CONTRIBUTORY WATERSHED FOR SOURCES OF DEBRIS / SILT, SUCH AS EROSION, LEAVES IN ROOF DRAINS, MULCH WASHING FROM LANDSCAPE BEDS, LAWN CLIPPINGS WASHING INTO THE INLET. CORRECT THE CONTRIBUTING SITUATION SO DEBRIS / SILT DOES NOT ENTER THE PIPE SYSTEM. --IF VACUUMING DOES NOT WORK, THEN THE BMP MIGHT HAVE TO BE REPLACED. CONSULT A QUALIFIED ENGINEER / CONSULTANT.

STORM INLETS, STORM PIPING AND RIPRAP APRONS:

--INSPECT FOR SIGNS OF CONTAMINATION OR SPILLS.

--ALL INLETS, CONTROL ORIFICES, STORM PIPING, COLLECTION SWALES AND DRAINAGE STRUCTURES SHALL BE KEPT FREE OF ANY OBSTRUCTIONS AND FOREIGN MATERIAL THAT WOULD CAUSE DISRUPTION OF WATER FLOW IN A MANNER NOT ANTICIPATED FOR THE FACILITY.

--DISLODED ROCK IN ANY RIPRAP APRON SHOULD BE RESET IN PLACE OR REPLACED.

--INSPECT TWO TIMES PER YEAR, WITH ONE TIME BEING IN LATE AUTUMN AFTER LEAVES HAVE DROPPED, AND THE OTHER IN EARLY SPRING WHEN

GENERAL PROVISIONS FOR ANY BMP LISTED ABOVE——
——A WRITTEN REPORT DOCUMENTING EACH INSPECTION SHALL BE RETAINED BY THE DESIGNEE, INCLUDING DATES OF INSPECTION, DATES OF REPAIR, LIST OF ITEMS INSPECTED, LIST OF ITEMS REPAIRED, LIST OF ITEMS REPLACED, COSTS OF REPLACED ITEMS, LIST OF MAINTENANCE TASKS
PERFORMED, NAME AND ORGANIZATION OF THE PERSON CONDUCTING THE INSPECTION, AND THE CONTRACTOR(S) INFORMATION.
——FOR ANY STRUCTURAL FACILITY (PIPE, INLET, MANHOLE), IT MUST BE REPAIRED OR REPLACED IF DAMAGED MORE THAN SUPERFICIALLY, IN A WAY THAT IS A SAFETY HAZARD, IF STRUCTURALLY UNSOUND, OR IF NOT SUBSTANTIALLY PERFORMING AS IT IS INTENDED PER THE ORIGINAL DESIGN. --THE OWNER SHALL IMMEDIATELY NOTIFY UPPER ALLEN TOWNSHIP PRIOR TO INITIATING ANY "MAJOR" REPAIR ACTIVITIES (SUCH REPAIRS THAT MAY BE REQUIRED AS A RESULT OF SETTLEMENT, SINKHOLES, SEEPS, STRUCTURAL CRACKING, FOUNDATION MOVEMENT). ALL "MAJOR" REPAIRS SHALL BE CONDUCTED UNDER THE DIRECTION AND SUPERVISION OF A QUALIFIED ENGINEER, GEOLOGIST, AND/OR HYDROGEOLOGIST.

--VEHICULAR ACCESS AND PARKING IS PROHIBITED WITHIN BASINS AND RAIN GARDENS EXCEPT FOR MAINTENANCE; AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS.

--ALL IMPERVIOUS SURFACES SHALL BE MAINTAINED CLEAN OF OIL, FUEL OR OTHER TOXIC SPILLS, IN ACCORDANCE WITH STATE, FEDERAL OR LOCAL REGIII ATIONS. LOCAL REGULATIONS.

—THE PCSM PLAN, INSPECTION REPORTS, AND MONITORING RECORDS MUST BE AVAILABLE FOR REVIEW AND INSPECTION BY THE PA DEPARTMENT OF ENVIRONMENTAL PROTECTION AND/OR THE COUNTY CONSERVATION DISTRICT.

UPPER ALLEN TOWNSHIP SHALL HAVE THE RIGHT TO:

a. ENTER THE SITE AND INSPECT THE FACILITIES AT ANY TIME;

b. REQUIRE THE FACILITY MAINTAINER TO TAKE CORRECTIVE MEASURES, AND ASSIGN REASONABLE TIME PERIODS FOR ANY NECESSARY ACTION; AUTHORIZE MAINTENANCE TO BE DONE BY THE TOWNSHIP OR AN AGENT OR CONTRACTOR OF THE TOWNSHIP, AND THE LIENING OF THE COST OF THE WORK AGAINST THE LOT OWNER. LICENSED PROFESSIONAL OR THEIR DESIGNEE SHALL BE PRESENT ON THE SITE FOR THE INSTALLATION OF THE FOLLOWING BMPS: --UNDERGROUND PORTIONS OF STORMWATER FACILITIES. ALL OTHER STORMWATER FACILITIES ARE FEATURES THAT CAN BE EASILY VERIFIED.

TEMPORARY SEEDING SCHEDULE:

-SUBSURFACE INFILTRATION / DETENTION FACILITIES

THE CONTRACTOR SHALL IMMEDIATELY TEMPORARILY STABILIZE ANY ROUGH GRADED AREA, TOPSOIL STOCKPILE OR UNUSED EXCAVATED FILL MATERIAL THAT WILL BE LEFT IDLE FOR LESS THAN 1 YEAR. THE GRASS WILL PROVIDE INTERIM PROTECTION AGAINST THE IMPACT OF PRECIPITATION, RUNNING WATER AND WIND. PERMANENTLY SEED ANY AREA THAT WILL BE IDLE FOR MORE THAN 1 YEAR.

SPECIES: % LIVE SEED: APPLICATION RATE: FERTILIZER TYPE: FERTILIZER APPLICATION RATE: LIMING RATE: STRAWBALE MULCH RATE:

TEMPORARY SEEDING SCHEDULE IS AS FOLLOWS:

IO LBS./L,000 SQ. YDS. GENERAL PURPOSE GRANULAR, 10-20-20 11 LBS./L,000 SQ. YDS. PER SOIL TEST; MINIMUM OF 4 TONS PER ACRE. 1,200 LBS/I,000 SQ. YDS.

1,200 LBS/1,000 SQ. YDS.

NO SEEDING BETWEEN 1 1/1 AND 3/15
ASPHALT, EITHER EMULSIFIED OR CUT-BACK, CONTAINING NO SOLVENTS OR OTHER DILUTING
AGENTS TOXIC TO PLAN OR ANIMAL LIFE, UNIFORMLY APPLIED AT THE RATE OF 31 GALLONS PER
1,000 SQUARE YARDS. SYNTHETIC BINDERS (CHEMICAL BINDERS) MAY BE USED PER
MANUFACTURER'S RECOMMENDATION PROVIDED THEY ARE NON-TOXIC TO PLANT AND ANIMAL

WHEN SEEDING IS NOT POSSIBLE DUE TO THE TIME OF YEAR OR OTHER LIMITATIONS, DISTURBED AREA SHALL BE MULCHED WITH STRAWBALES AT THE RATE ABOVE. AN EROSION CONTROL BLANKET MUST BE INSTALLED ON ALL DISTURBED SLOPES STEEPER THAN 3:1, AND ALL AREAS WITH CONCENTRATED FLOWS. MATTING CAN BE NORTH AMERICAN GREEN 'S75' OR APPROVED

1) MAINTAIN A MINIMUM 70% SOIL SURFACE COVERAGE WITH GRASS AND/OR MULCH.
2) IF A WASHOUT, SLOPE FAILURE OR SIMILAR DISTURBANCE OCCURS, CORRECT DRAINAGE PROBLEM IF NECESSARY, THEN REAPPLY SOIL TO THE PROPER GRADE, REAPPLY SOIL AMENDMENTS, SEED AND MULCH.

PERMANENT SEEDING SCHEDULE:

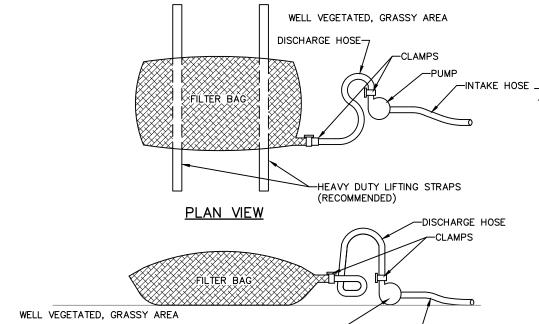
MULCH SHALL BE PERMANENTLY SEEDED TO PROVIDE PROTECTION AGAINST THE IMPACT OF PRECIPITATION, RUNNING WATER AND WIND. PERMANENT SEEDING SCHEDULE FOR THE GENERAL

FOR GENERAL LAWN PLANTING--30% KENTUCKY BLUEGRASS 40% PENNLAWN CREEPING RED FESCUE 20% NORLEA PERENNIAL RYEGRASS 10% ANNUAL RYEGRASS

% PURE LIVE SEED: APPLICATION RATE: FERTILIZER TYPE: FERTILIZER APPLICATION RATE: LIMING RATE: SEEDING DATES: STRAWBALE MULCHING RATE: MULCH ANCHORING

6 LBS./1,000 SQ. FT. GENERAL PURPOSE GRANULAR, 10-20-20 11 LBS./1,000 SQ. YDS. PER SOIL TEST; MINIMUM OF 6 TONS PER ACRE BETWEEN 4/1 AND 10/15 3 TONS PER ACRE ASPHALT, EITHER EMULSIFIED OR CUT-BACK, CONTAINING NO SOLVENTS OR OTHER DILUTING AGENTS TOXIC TO PLAN OR ANIMAL LIFE, UNIFORMLY APPLIED AT THE RATE OF 31 GALLONS PER 1,000 SQUARE YARDS. SYNTHETIC BINDERS (CHEMICAL BINDERS) MAY BE USED PER MANUFACTURER'S RECOMMENDATION PROVIDED THEY ARE NON-TOXIC TO PLANT AND ANIMAL SPECIES.

INTAKE HOSE-



LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE

ELEVATION VIEW

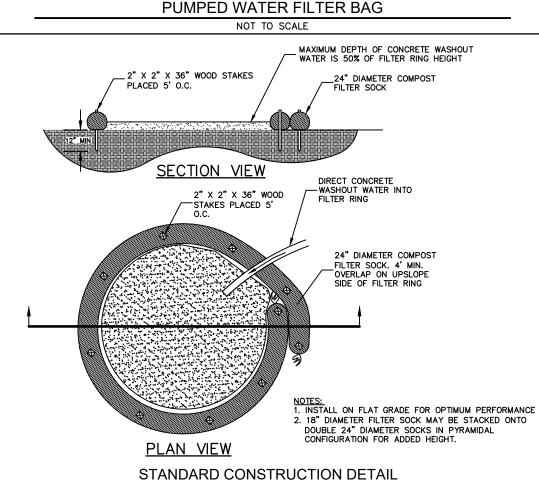
OLLOWING STANDARDS:									
PROPERTY	TEST METHOD	MINIMUM STANDARD							
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN							
GRAB TENSILE	ASTM D-4632	205 LB							
PUNCTURE	ASTM D-4833	110 LB							
MULLEN BURST	ASTM D-3786	350 PSI							
UV RESISTANCE	ASTM D-4355	70%							
AOS % RETAINED	ASTM D-4751	80 SIEVE							

PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED. BAGS SHALL BE LOCATED IN WELL—VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLÈ, A GEÓTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT E PLACED ON SLOPES GREATER THAN 5%. FOR SLOPES EXCEEDING 5%, CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS. NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOS TILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THI MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

 ι SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE

STANDARD CONSTRUCTION DETAIL #3-16

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY

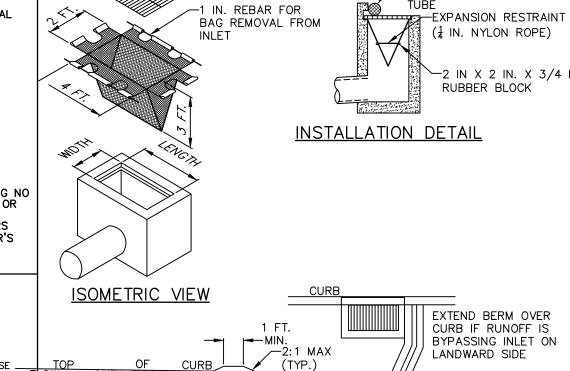


EROSION CONTROL CONCRETE WASHOUT BERM (6 IN. MIN.) EARTH FILI GEOTEXTILE/ PIPE AS NECESSARY **PROFILE**

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE. IOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED ANI PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED. MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINE TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AN RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVIATED OR INSTALL WASH RACK. WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR

STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.



INLET GRATE

SECTION VIEW NOTES:

STORM

\INLET

MAXIMUM DRAINAGE AREA = 1/2 ACRE INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT. AT A MINIMUM. THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

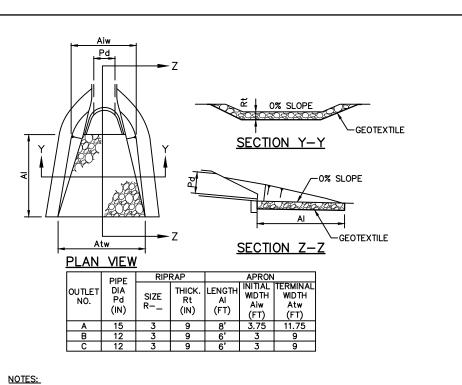
DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

NOT TO SCALE

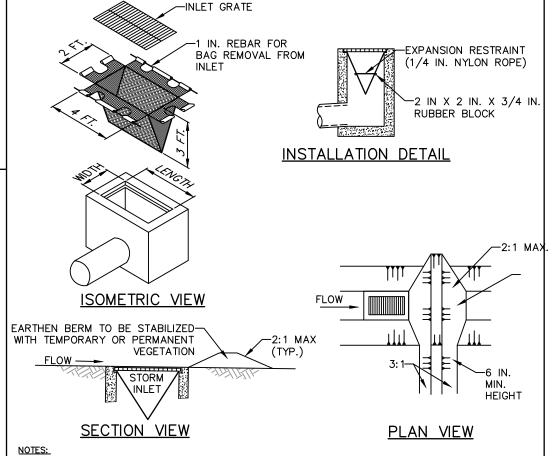
PLAN VIEW

-SANDBAG, FILTER LOG, COMPOST SOCK, OR FILTER



APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS. APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

STANDARD CONSTRUCTION DETAIL #9-7 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL



INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BIREQUIRED FOR ALL INSTALLATIONS. ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS. STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

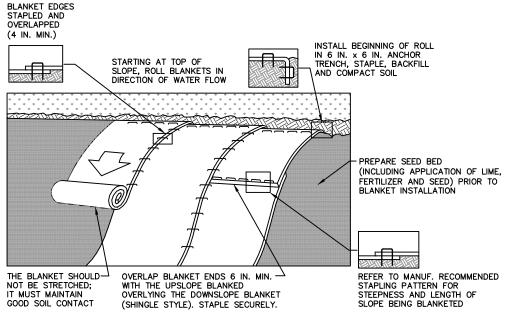
						DATE :	05/1/2023
	1						
	NO.	DATE		DESCRIPTION	BY		
EDGES AND ED I.)				INSTALL BEGINNING OF ROLL IN 6 IN. x 6 IN. ANCHOR			SURVEYING G' 070
<u> </u>	START	ING AT TOP OF	THE PARTY OF	TOENCH STADIE DACKEILI			• ~ ~

DESIGN:

DRAWN:

CHECKED : JKM

MKS

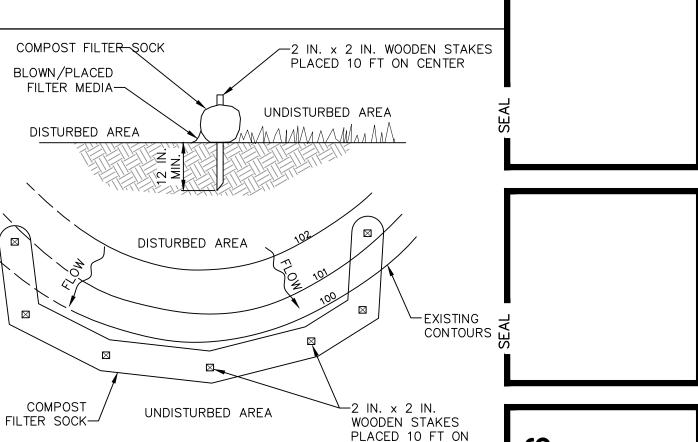


SEED AND SOIL AMENDMENTS SHALL BE APPLIED ACCORDING TO THE RATES IN THE PLAN DRAWINGS PRIOR TO INSTALLING THE BLANKET. PROVIDE ANCHOR TRENCH AT TOE OF SLOPE IN SIMILAR FASHION AS AT TOP OF SLOPE

SLOPE SURFACE SHALL BE FREE OF ROCKS, CLODS, STICKS, AND GRASS. BLANKET SHALL HAVE GOOD CONTINUOUS CONTACT WITH UNDERLYING SOIL THROUGHOUT ENTIRE LENGTH. LAY BLANKET LOOSELY AND STAKE OR STAPLE TO MAINTAIN DIRECT CONTACT WITH SOIL. DO NOT STRETCH BLANKET. THE BLANKET SHALL BE STAPLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS.

BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED OR REPLACED WITHIN 4 CALENDAR DAYS.

STANDARD CONSTRUCTION DETAIL #11-1 EROSION CONTROL BLANKET INSTALLATION



CENTER SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA. TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN. COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT.

DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURERS SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT. WHERE SOCK CROSSES PAVEMENT, ANCHOR SOCK IN PLACE WITH A FILLED SANDBAG BUTTED ON EACH SIDE OF THE SOCK, EVERY 30 FEET OF SOCK.

THE PHYSICAL PARAMETERS OF THE COMPOST SHOULD COMPLY WITH THE STANDARDS IN TABLE 4.2 THE STANDARDS CONTAINED IN THE PENNDOT PUBLICATION 408 ARE AN ACCEPTABLE ALTERNATIVE

> (WOVEN LAYER AND NON-WOVEN FLEECE MECHANICALLY FUSED VIA NEEDLE PUNCH)

3/16" MAX. APERTURE SIZ

ORGANIC MATTER CONTENT	80% — 100% (dry weight basis)		
ORGANIC PORTION	FIBROUS AND ELONGATED		
рН	5.5 - 8.0		
MOISTURE CONTENT	35% - 55%		
PARTICLE SIZE	98% PASS THROUGH 1" SCREEN		
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM		

	CO	MPOST F	ILTER SO	CK	NOT T
	COMPOST SO		LE 4.1 MINIMUM SP	ECIFICATIONS	
MATERIAL TYPE	3 MIL HDPE	5 MIL HDPE	5 MIL HDPE	MULTI-FILAMENT POLYPROPYLENE (MFPP)	
MATERIAL CHARACTERISTICS	PHOTO- DEGRADABLE	PHOTO- DEGRADABLE	BIO- DEGRADABLE	PHOTO- DEGRADABLE	PHOTO- DEGRADA
MATERIAL CHARACTERISTICS	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
MESH OPENING	3/8"	3/8"	3/8"	3/8"	1/8"
TENSILE STRENGTH		26 PSI	26 PSI	44 PSI	202 PS
ULTRAVIOLET STABILITY % ORIGINAL STRENGTH (ASTM G-155)	23% AT 1000 HR.	23% AT 1000 HR.		100% AT 1000 HR.	100% A 1000 H
MINIMUM FUNCTIONAL LONGEVITY	6 MONTHS	9 MONTHS	6 MONTHS	1 YEAR	2 YEA
		TWO-PLY	SYSTEMS HDPE BIAXIAL N	IET	
			CONTINUOUSLY		
			FUSION-WELDED	JUNCTURES	
INNER CO	NTAINMENT NETTI	NG	3/4" X 3/4" M	AX. APERTURE SI	ZE
			COMPOSITE F	POLYPROPYLENE I	ABRIC

OCK FABRICS COMPOSED OF BURLAP MAY BE USED ON PROJECTS LASTING 6 MONTHS OR LESS.

OUTER FILTRATION MESH

TAIL

PROJECT NO. 318032 SURVEY BOOK Z: \2018\318032.sur\318032sur\field SCALE : AS SHOWN Y: \2018\318032.aph\318032 Plans\Brewpubl\ E&S DETAILS PL SHEET 11