

FINAL LAND DEVELOPMENT PLANS

LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET

PROPOSED OFFICE BUILDINGS

Upper Allen Township Cumberland County, PA

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VICINITY MAP
SCALE: 1" = 2,000'

LOT / OWNER INFORMATION:

OWNER: G Pike Associates, LLC
SOURCE OF TITLE: Instrument Number 201924550
PLAN REFERENCE: Plan Book 72 - 113, Lot 4
TAX REFERENCE: Map 42 - 28 - 2419, Parcel 138
LOT AREA: 3.780 Acres

APPLICANT / OWNER:

G PIKE ASSOCIATES, LLC

2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
Telephone: 717 - 540 - 3902

APPROVED WAIVERS:

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON JULY 17, 2019)
SUBDIVISION & LAND DEVELOPMENT:

- SECTION 220-11.F(2)(b) - TO REQUIRE TRAFFIC IMPACT REPORTS TO INCLUDE PROPOSED NEARBY USES
- SECTION 220-11.F(2)(c)(2) - TO REQUIRE TRAFFIC IMPACT REPORTS TO CONSIDER A TEN-YEAR GROWTH PERIOD BEYOND CONSTRUCTION OF THE PROPOSED LAND DEVELOPMENT PLAN

APPROVED MODIFICATIONS:

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON NOVEMBER 20, 2019)
SUBDIVISION & LAND DEVELOPMENT:

- SECTION 220-26.B - SCREENING (ALTERNATIVE LOCATIONS)
- SECTION 220-26.D - LOCATION OF REQUIRED STREET TREES (ALTERNATIVE LOCATIONS)
- SECTION 220-9.C(2)(f) - PRELIMINARY PLAN SPECIFICATIONS (FACADE, ELEVATIONS AND FLOOR PLANS)
- SECTION 220-16.C(3) - VEHICULAR PARKING FACILITIES (MINIMUM CURB RADII WITHIN VEHICULAR PARKING AREAS)

APPROVED DEFERRALS:

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON NOVEMBER 20, 2019)
SUBDIVISION & LAND DEVELOPMENT:

- SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (SOUTH MARKET STREET CURB)
- SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE CURB)
- SECTION 220-16.B(3) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE SIDEWALK)

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON NOVEMBER 20, 2019)
SUBDIVISION & LAND DEVELOPMENT:

- SECTION 220-16.B(3) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (SOUTH MARKET STREET SIDEWALK NORTH OF RIGHT-OF-DRIVEWAY)

- REVISIONS:
1. ADDED APPROVED WAIVERS INFORMATION.
 2. MODIFIED BOARD OF COMMISSIONERS SIGNATURE BLOCK.
 3. ADDED LOT/OWNER INFORMATION. (B.E.R.)
 4. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.
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 15. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.

STORMWATER CERTIFICATION

I, Douglas S. Gosik, P.E., on this date December 3, 2018, have reviewed and hereby certify that the Stormwater Management Site Plan meets all design standards and criteria of the Upper Allen Township Stormwater Management Ordinance.

Douglas S. Gosik, P.E.

SURVEYOR'S CERTIFICATION

I, James C. Hockenberry, hereby certify that I am a registered Land Surveyor, or registered Engineer in compliance with the laws of the Commonwealth of Pennsylvania; that this plan correctly represents a survey completed by me in July, 2018; that all the monuments shown thereon actually exist; and their location, size, type and material are accurately shown.

James C. Hockenberry, P.L.S.

SUBSURFACE GEOLOGY CERTIFICATION

Through monitoring of an on-site test pit program and field observations performed on November 8, 2018, I hereby certify no evidence of limestone geology within the property development areas has been identified.

Blair C. Kitlinski, P.E.

RECORDING BLOCK

This plan was "recorded" in the office of the Recorder Of Deeds in and for Cumberland County this _____ day of _____, 20____.

Instrument Number: _____

STORMWATER ACKNOWLEDGEMENT

G Pike Associates, LLC hereby acknowledges that the stormwater management facilities and BMP's are to be permanent fixtures that can be altered or removed only after approval of a revised plan by Upper Allen Township.

Owner: G Pike Associates, LLC
Andrew S. Williams, Member

CUMBERLAND COUNTY PLANNING

Reviewed by the Cumberland County Planning Department

this 16th day of October, 2019.

Director of Planning

OWNER CERTIFICATION

OWNER:
Commonwealth of Pennsylvania
County of Cumberland

On this the 16th day of May, 2020 before me, Andrew S. Williams, the undersigned officer, personally appeared personally known to me, or satisfactorily proven to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained.

IN WITNESS THEREOF, I have hereunto set my hand and official seal.

NOTARY PUBLIC

It is hereby certified that the undersigned is the owner of the property shown on these drawings.

Owner: G Pike Associates, LLC
Andrew S. Williams, Member

BOARD OF COMMISSIONERS

Approved by the Board of Commissioners of Upper Allen Township, this 20th day of November, 2019. The conditions of approval were satisfied this _____ day of _____, 20____.

ATTEST: _____ Secretary _____ Chairman

PLANNING COMMISSION

Reviewed by the Planning Commission of Upper Allen Township, this 28th day of October, 2019.

ATTEST: _____ Secretary _____ Chairman

WILLIAMS
SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-540-3902
FAX: 717-540-7956



TITLE SHEET
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

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REVISIONS
A) NOVEMBER 8, 2019 - AS PER TOWNSHIP COMMENTS
B) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
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KQ) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KR) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KS) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KT) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KU) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KV) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KW) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KX) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KY) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
KZ) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LA) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LB) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LC) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LD) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LE) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LF) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LG) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LH) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LI) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LJ) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LK) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LL) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LM) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LN) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LO) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LP) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LQ) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LR) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LS) APRIL 21, 2020 - AS PER TOWNSHIP COMMENTS
LT) APRIL

FINAL LAND DEVELOPMENT PLANS
LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET
PROPOSED OFFICE BUILDINGS
Upper Allen Township Cumberland County, PA

SHEET INDEX:

Table with 2 columns: SHEET, DESCRIPTION. Rows 1-15 detailing project components like Title Sheet, Topographic & Boundary Survey Plan, Site Plan, etc.



LOT / OWNER INFORMATION:
OWNER: G Pike Associates, LLC
SOURCE OF TITLE: Instrument Number 201924550
PLAN REFERENCE: Plan Book 72 - 113, Lot 4
TAX REFERENCE: Map 42 - 28 - 2419, Parcel 138
LOT AREA: 3.780 Acres

APPLICANT / OWNER:
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
Telephone: 717 - 540 - 3902

APPROVED WAIVERS:

- 1. SECTION 220-11.F(2)(b) - TO REQUIRE TRAFFIC IMPACT REPORTS TO INCLUDE PROPOSED NEARBY USES
2. SECTION 220-11.F(2)(c)(2) - TO REQUIRE TRAFFIC IMPACT REPORTS TO CONSIDER A TEN-YEAR GROWTH PERIOD BEYOND CONSTRUCTION OF THE PROPOSED LAND DEVELOPMENT PLAN

APPROVED MODIFICATIONS:

- 1. SECTION 220-26.B - SCREENING (ALTERNATIVE LOCATIONS)
2. SECTION 220-26.D - LOCATION OF REQUIRED STREET TREES (ALTERNATIVE LOCATIONS)
3. SECTION 220-9.C(2)(f) - PRELIMINARY PLAN SPECIFICATIONS (FACADE, ELEVATIONS AND FLOOR PLANS)
4. SECTION 220-16.C(3) - VEHICULAR PARKING FACILITIES (MINIMUM CURB RADII WITHIN VEHICULAR PARKING AREAS)

APPROVED DEFERRALS:

- 1. SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (SOUTH MARKET STREET CURB)
2. SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE CURB)
3. SECTION 220-16.B(3) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE SIDEWALK)

- REVISIONS:
A) 1. ADDED APPROVED WAIVERS INFORMATION.
2. MODIFIED BOARD OF COMMISSIONERS SIGNATURE BLOCK.
3. ADDED LOT/OWNER INFORMATION. (B.E.R.)
B) 1. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.
2. ADDED DATE TO CUMBERLAND COUNTY PLANNING COMMISSION SIGNATURE BLOCK.
3. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.
4. MODIFIED DATE FOR APPROVED WAIVERS, MODIFICATIONS & DEFERRALS. (B.E.R.)

STORMWATER CERTIFICATION
I, Douglas S. Gosik, P.E., on this date December 3, 2018, have reviewed and hereby certify that the Stormwater Management Site Plan meets all design standards and criteria of the Upper Allen Township Stormwater Management Ordinance.

SURVEYOR'S CERTIFICATION
I, James C. Hockenberry, hereby certify that I am a registered Land Surveyor, or registered Engineer in compliance with the laws of the Commonwealth of Pennsylvania; that this plan correctly represents a survey completed by me in July, 2018; that all the monuments shown thereon actually exist; and their location, size, type and material are accurately shown.

SUBSURFACE GEOLOGY CERTIFICATION
Through monitoring of an on-site test pit program and field observations performed on November 8, 2018, I hereby certify no evidence of limestone geology within the property development areas has been identified.

BOARD OF COMMISSIONERS
Approved by the Board of Commissioners of Upper Allen Township, this 20th day of November, 2019. The conditions of approval were satisfied this day of , 20 .

PLANNING COMMISSION
Reviewed by the Planning Commission of Upper Allen Township, this 28th day of October, 2019.

RECORDING BLOCK
This plan was "recorded" in the office of the Recorder of Deeds in and for Cumberland County this day of , 20 .

STORMWATER ACKNOWLEDGEMENT
G Pike Associates, LLC hereby acknowledges that the stormwater management facilities and BMP's are to be permanent fixtures that can be altered or removed only after approval of a revised plan by Upper Allen Township.

CUMBERLAND COUNTY PLANNING
Reviewed by the Cumberland County Planning Department this 16th day of October, 2019.

OWNER CERTIFICATION
On this the 6th day of May, 2020 before me, Andrew S. Williams, the undersigned officer, personally appeared personally known to me, or satisfactorily proven to be the person whose name is subscribed to the within instrument, and acknowledged that he executed the same for the purposes therein contained.

WILLIAMS SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958



811
TITLE SHEET
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP CUMBERLAND COUNTY, PA

ALL PLANS, DOCUMENTS AND COMPUTER FILES RELATED TO THIS PROJECT ARE THE PROPERTY OF WILLIAMS SITE CIVIL, LLC. WILLIAMS SITE CIVIL, LLC RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREIN.

REPRODUCTION OF THE MATERIAL HEREON OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF WILLIAMS SITE CIVIL, LLC VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

Table with 2 columns: REVISIONS, COMMENTS. Rows 1-5 detailing project revisions.

PROJECT NUMBER:
GPIKE-UA-OFFICE-FINAL
DATE: SEPTEMBER 27, 2019

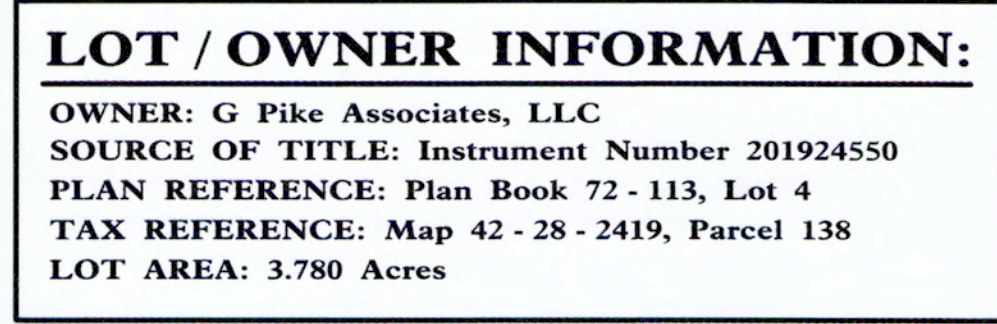
WILLIAMS
WE ENGINEER SAVINGS
SITE CIVIL, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-450-7958



LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS

TITLE SHEET	
APPLICANT / OWNER	
G PIKE ASSOCIATES, LLC	
2325 PAXTON CHURCH ROAD	
HARRISBURG, PA 17110	
TELEPHONE: 717-540-3502	
UPPER ALLEN TOWNSHIP	CUMBERLAND COUNTY, PA

ALL PLANS, DOCUMENTS AND COMPUTERS FILES RELATED TO THIS PROJECT ARE THE PROPERTY OF WILLIAMS SITE CIVIL, LLC. WILLIAMS SITE CIVIL, LLC RETAINS ALL COMMON LAW, STATUTE AND OTHER RESERVED RIGHTS INCLUDING THE COPYRIGHT THEREON.	REPRODUCTION OF THE MATERIAL HEREON OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF WILLIAMS SITE CIVIL, LLC VIOLATE THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.
© 2020 WILLIAMS SITE CIVIL, LLC	
REVISIONS	A) NOVEMBER 11, 2019 - AS PER TOWNSHIP COMMENTS B) APRIL 21, 2020 - AS PER TOWNSHIP, PENNSDOT & OWNER COMMENTS
WDC PROJECT NUMBER: GPKE-UA-OFFICE-FINAL	
DATE: SEPTEMBER 27, 2019	
<div style="font-size: 2em; font-weight: bold; margin: 0;">SHEET</div> <div style="font-size: 3em; font-weight: bold; margin: 0;">1 OF 15</div>	



G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
Telephone: 717 - 540 - 3902

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON JULY 17, 2019)
SUBDIVISION & LAND DEVELOPMENT:

1. SECTION 220-11.F(2)(b) - TO REQUIRE TRAFFIC IMPACT REPORTS TO INCLUDE PROPOSED NEARBY USES
2. SECTION 220-11.F(2)(c)[2] - TO REQUIRE TRAFFIC IMPACT REPORTS TO CONSIDER A TEN-YEAR GROWTH PERIOD BEYOND CONSTRUCTION OF THE PROPOSED LAND DEVELOPMENT PLAN

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON MARCH 6, 2019)

1. SECTION 220-26.B - SCREENING (ALTERNATIVE LOCATIONS)
2. SECTION 220-26.D - LOCATION OF REQUIRED STREET TREES (ALTERNATIVE LOCATIONS)
3. SECTION 220-9.C(2)(f) - PRELIMINARY PLAN SPECIFICATIONS (FACADE, ELEVATIONS AND FLOOR PLANS)
4. SECTION 220-16.C(3) - VEHICULAR PARKING FACILITIES (MINIMUM CURB RADII WITHIN VEHICULAR PARKING AREAS)

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON MARCH 6, 2019)
SUBDIVISION & LAND DEVELOPMENT:

1. SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (SOUTH MARKET STREET CURB)
2. SECTION 220-16.A(2) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE CURB)
3. SECTION 220-16.B(3) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (GETTYSBURG PIKE SIDEWALK)

(APPROVED BY THE UPPER ALLEN TOWNSHIP BOARD OF COMMISSIONERS AT THEIR MEETING HELD ON NOVEMBER 20, 2019)
SUBDIVISION & LAND DEVELOPMENT:

1. SECTION 220-16.B(3) - CURBS, SIDEWALKS AND VEHICULAR PARKING FACILITIES (SOUTH MARKET STREET SIDEWALK NORTH OF RIGHT-OUT DRIVEWAY).

This plan was "recorded" in the office of the Recorder Of Deeds in and for Cumberland County this _____ day of _____, 20__.

Instrument Number: _____

G Pike Associates, LLC hereby acknowledges that the stormwater management facilities and BMP's are to be permanent fixtures that can be altered or removed only after approval of a revised plan by Upper Allen Township.

Owner: G-Pike Associates, LLC
Andrew S. Williams, Member

Reviewed by the Cumberland County Planning Department

this 16th day of October, 2019.

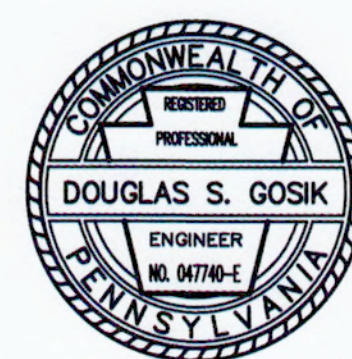
Director of Planning


OWNER:
Commonwealth of Pennsylvania
County of Cumberland

On this the 6th day of May, 2020 before me,
Andrew S. Williams, the undersigned officer, personally appeared
personally known to me, or satisfactorily proven to be the
person whose name is subscribed to the within instrument, and acknowledged
that he executed the same for the purposes therein contained.

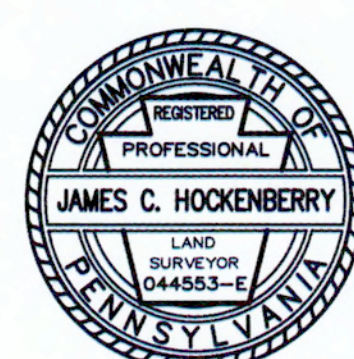
IN WITNESS THEREOF, I have hereunto set my hand and official seal.

I, Douglas S. Gosik, P.E., on this date December 3, 2018, have reviewed and hereby certify that the Stormwater Management Site Plan meets all design standards and criteria of the Upper Allen Township Stormwater Management Ordinance."




Douglas S. Gosik, P.E.


I, James C. Hockenberry, hereby certify that I am a registered Land Surveyor, or registered Engineer in compliance with the laws of the Commonwealth of Pennsylvania; that this plan correctly represents a survey completed by me in July, 2018; that all the monuments shown thereon actually exist; and their location, size, type and material are accurately shown.



James C. Hockenberry, P.L.S.

Through monitoring of an on-site test pit program and field observations performed on November 8, 2018, I hereby certify no evidence of limestone geology within the property development areas has been identified.




Blair C. Kitlinski, P.E.

Approved by the Board of Commissioners of Upper Allen Township,

this 20th day of November, 2019. The conditions of approval
were satisfied this _____ day of _____, 20_____.

ATTEST: _____ Secretary _____ Chairman

Reviewed by the Planning Commission of Upper Allen Township.

this 28th day of October, 2019.

ATTEST: _____

COMMONWEALTH OF PENNSYLVANIA
NOTARIAL SEAL
Bobbie Lynn Van Buskirk, Notary Public
Susquehanna Twp., Dauphin County
My Commission Expires Sept. 22, 2021
*OFFICE: PENNSYLVANIA ASSOCIATION OF NOTARIES

NOTARY PUBLIC

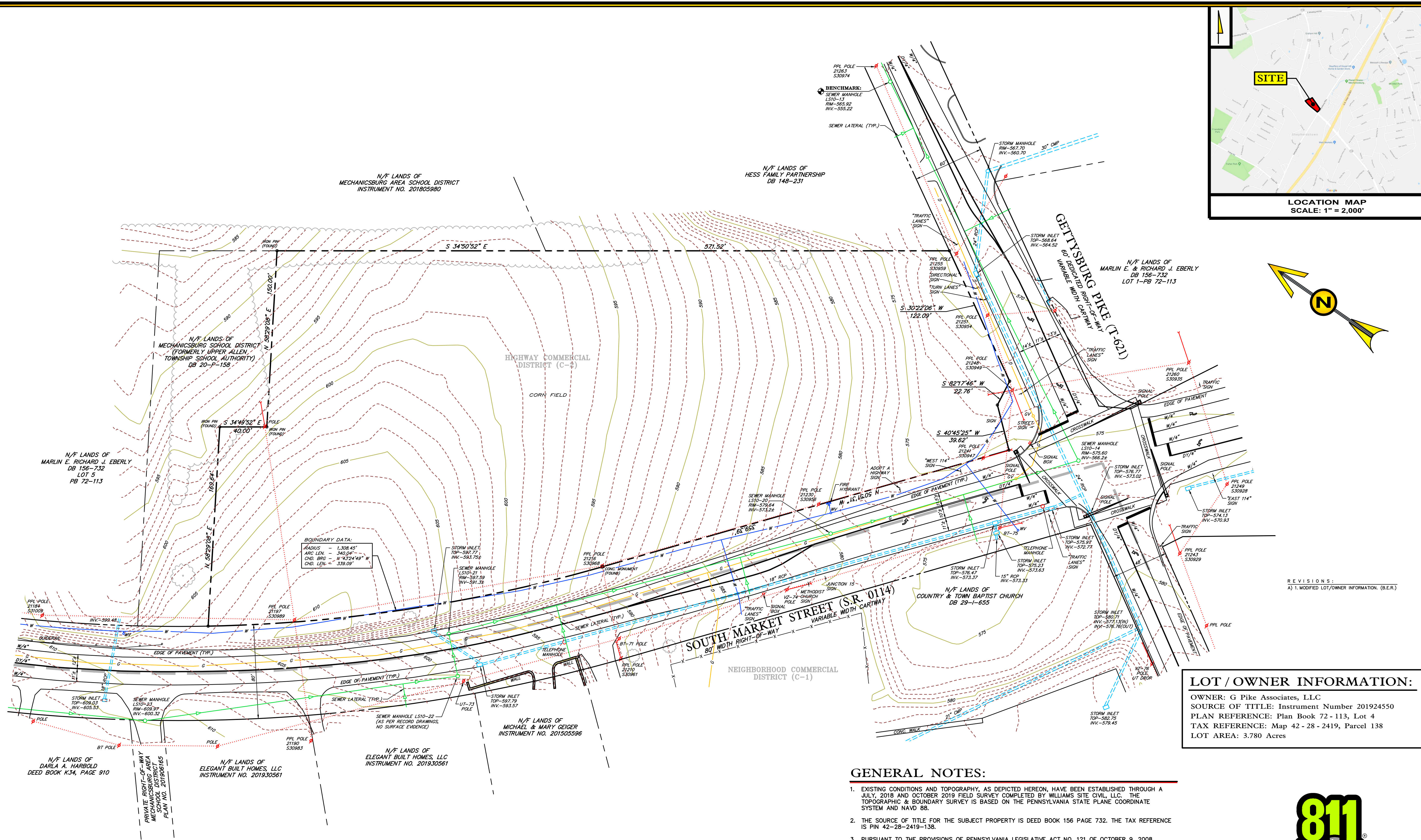
It is hereby certified that the undersigned is the owner of the property shown on these drawings.

Owner: G-Pike Associates, LLC

REVISIONS:

- A) 1. ADDED APPROVED WAIVERS INFORMATION.
- 2. MODIFIED BOARD OF COMMISSIONERS SIGNATURE BLOCK.
- 3. ADDED LOT/OWNER INFORMATION. (B.E.R.)
- B) 1. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.
- 2. ADDED DATE TO CUMBERLAND COUNTY PLANNING COMMISSION SIGNATURE BLOCK.
- 3. ADDED DATE TO BOARD OF COMMISSIONERS SIGNATURE BLOCK.
- 4. MODIFIED DATE FOR APPROVED WAIVERS, MODIFICATIONS & DIFFERALS (B.E.R.)

W:\2018 Land Projects\G Pike Assoc - U Allen Twp\CADD\Final LD Plans\GPike-UA-OFFICE-TOPO.dwg, 3/18/2020, 9:55:05 AM, briley



LEGEND:

	EXISTING 1' CONTOUR		APPROXIMATE LOCATION OF OVERHEAD ELEC. & TELE. LINE
	EXISTING 5' CONTOUR		EXISTING FIRE HYDRANT
	APPROXIMATE LOCATION OF EXISTING SANITARY SEWER MANHOLE & LINE		EXISTING UTILITY POLE
	APPROXIMATE LOCATION OF EXISTING STORM INLET, MANHOLE & PIPE		EXISTING SIGN
	APPROXIMATE LOCATION OF EXISTING WATER LINE		EXISTING TREE
	APPROXIMATE LOCATION OF EXISTING GAS LINE		EXISTING GUIDRAIL
			ZONING BOUNDARY LINE

LIST OF AREA UTILITY PROVIDERS (PER PA ONE CALL SERIAL NUMBER 20182221552)

SEWER:	UPPER ALLEN TOWNSHIP SEWER DEPARTMENT 100 GETTYSBURG PIKE MECHANISBURG, PA 17055 TELEPHONE: (717) 766-0756	ELECTRIC:	PPL UTILITIES UTILITIES CORPORATION 100 COMMERCE DRIVE MECHANISBURG, PA 17055-2675 TELEPHONE: 800-454-4100 (NEW SERVICE) TELEPHONE: (717) 691-2916 (LOCAL)
WATER:	SUEZ WATER PENNSYLVANIA INC. 4211 EAST PARK CIRCLE HARRISBURG, PA 17111 TELEPHONE: (717) 564-3662	STORM:	UPPER ALLEN TOWNSHIP PUBLIC WORKS DEPARTMENT 100 GETTYSBURG PIKE MECHANISBURG, PA 17055 TELEPHONE: (717) 766-0756
GAS:	UGI UTILITIES, INC. MR. CHESTER WENTZ 1301 AIP DRIVE MIDDLETOWN, PA 17057 TELEPHONE: (717) 253-1450	TELEPHONE/ FIBER:	VERIZON COMMUNICATIONS TELEPHONE: (800) 837-4966
		CABLE:	COMCAST CABLE TELEPHONE: (603) 541-1068

LOT / OWNER INFORMATION:

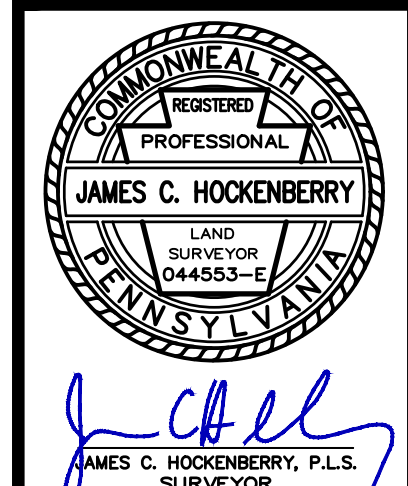
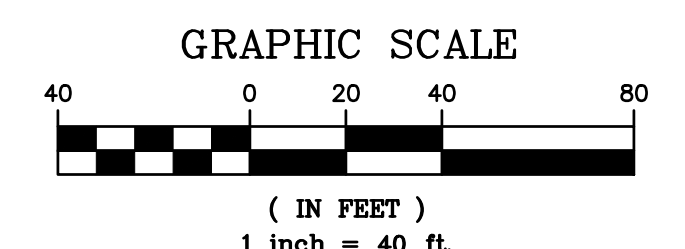
OWNER: G Pike Associates, LLC
SOURCE OF TITLE: Instrument Number 201924550
PLAN REFERENCE: Plan Book 72 - 113, Lot 4
TAX REFERENCE: Map 42 - 28 - 2419, Parcel 138
LOT AREA: 3.780 Acres

GENERAL NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHY, AS DEPICTED HEREON, HAVE BEEN ESTABLISHED THROUGH A JULY, 2018 AND OCTOBER 2019 FIELD SURVEY COMPLETED BY WILLIAMS SITE CIVIL, LLC. THE TOPOGRAPHIC & BOUNDARY SURVEY IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM AND NAVD 88.
- THE SOURCE OF TITLE FOR THE SUBJECT PROPERTY IS DEED BOOK 156 PAGE 732. THE TAX REFERENCE IS PIN 42-28-2419-138.
- PURSUANT TO THE PROVISIONS OF PENNSYLVANIA LEGISLATIVE ACT NO. 121 OF OCTOBER 9, 2008, WILLIAMS SITE CIVIL, LLC HAS COMPLIED WITH DESIGNER'S DUTIES IN PREPARING DRAWINGS WHICH DEPICT EXCAVATION OR DEMOLITION WORK. WILLIAMS SITE CIVIL, LLC MAKES NO REPRESENTATION, WARRANTY, ASSURANCE, OR GUARANTEE THAT UTILITY LOCATIONS PROVIDED PURSUANT TO OUR PA ACT 287 (PA ONE CALL) REQUEST, AS REFLECTED ON THESE DRAWINGS, IS CORRECT OR COMPLETE. PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS ADVANCE NOTICE FOR LOCATING UTILITIES PRIOR TO EXCAVATION WORK, AND TEN (10) WORKING DAYS ADVANCE NOTICE PRIOR TO DESIGN WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING THEIR OBLIGATIONS RELATED TO LOCATING UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION ACTIVITIES.
- ALL EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THE PLAN, AND ALL UTILITIES HAVE BEEN CONTACTED PER PENNSYLVANIA ONE CALL (UPPER ALLEN TOWNSHIP SERIAL NUMBER: 20182221552).
- PER CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR CUMBERLAND COUNTY, PA - PANEL 288 OF 480 (EFFECTIVE DATE - MARCH 16, 2009), THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100 YEAR OR 500 YEAR FLOODPLAIN.
- PER A REVIEW OF U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAPPING (LAST MODIFIED OCTOBER 15, 2018), NO SURFACE WATERS OR WETLANDS ARE IDENTIFIED ON THE SUBJECT PROPERTY. ADDITIONALLY, A SEPTEMBER, 2018 SITE VISIT PERFORMED BY REPRESENTATIVES OF WILLIAMS SITE CIVIL, IDENTIFIED NO EVIDENCE OF THE PRESENCE OF SURFACE WATERS OR WETLAND AREAS.
- EXISTING SANITARY SEWER MANHOLES LS10-14, LS10-20 AND LS10-21 WERE INACCESSIBLE DURING FIELD SURVEY OPERATIONS. THE APPROXIMATE SEWER PIPE INVERT ELEVATIONS IDENTIFIED FOR THOSE MANHOLES HAVE BEEN TAKEN FROM SEPTEMBER 4, 1974 "AS CONSTRUCTED" DRAWINGS PREPARED BY GLACE & GLACE, INC., AND MUST BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF ANY SEWER SERVICE CONSTRUCTION ACTIVITIES.
- THE SUBJECT TRACT WAS CREATED AS PART OF THE PRELIMINARY/FINAL SUBDIVISION FOR THE ESTATE OF HELEN EBERLY PREPARED BY C.W. JUNKINS ASSOCIATES, INC., DATED APRIL 1, 1996 WITH A LATEST REVISION DATE OF JULY 22, 1996 (RECORDED AUGUST 7, 1996, PLAN BOOK 72, PAGE 113).



BENCHMARK:
RIM OF SANITARY SEWER MANHOLE LS10-13
LOCATED ALONG GETTYSBURG PIKE TO THE
NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)



LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
TOPOGRAPHIC & BOUNDARY SURVEY PLAN
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
CUMBERLAND COUNTY, PA
UPPER ALLEN TOWNSHIP

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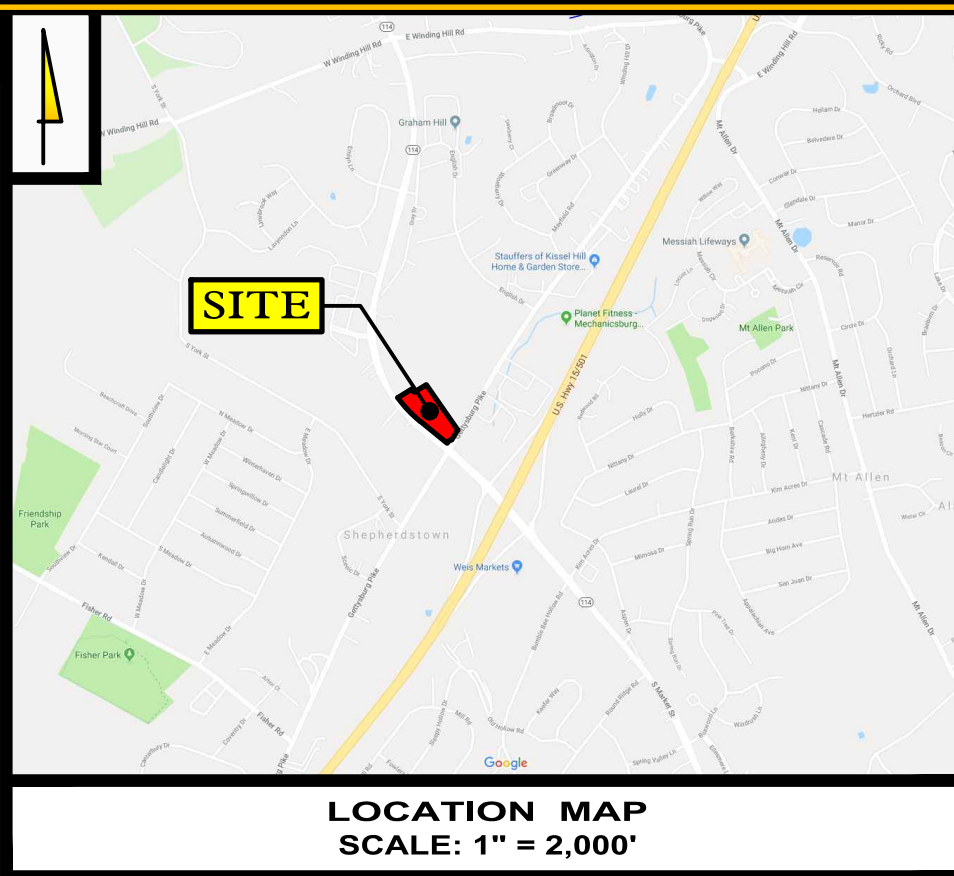
REPRODUCTION OF THE MATERIAL HEREON OR SUBSTANTIAL USE WITHOUT WRITTEN PERMISSION OF WILLIAMS SITE CIVIL, LLC VIOLATES THE COPYRIGHT LAWS OF THE UNITED STATES AND WILL BE SUBJECT TO LEGAL PROSECUTION.

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REVISIONS	SUBMITTER
N. JOURNALER & 2019 - AS PER TOWNSHIP COMMENTS	
DESIGN BY: X.X.X.	DRAWN BY: W.L.G.
CHECKED BY: J.C.H.	
WSC PROJECT NUMBER:	GPike-UA-OFFICE-FINAL

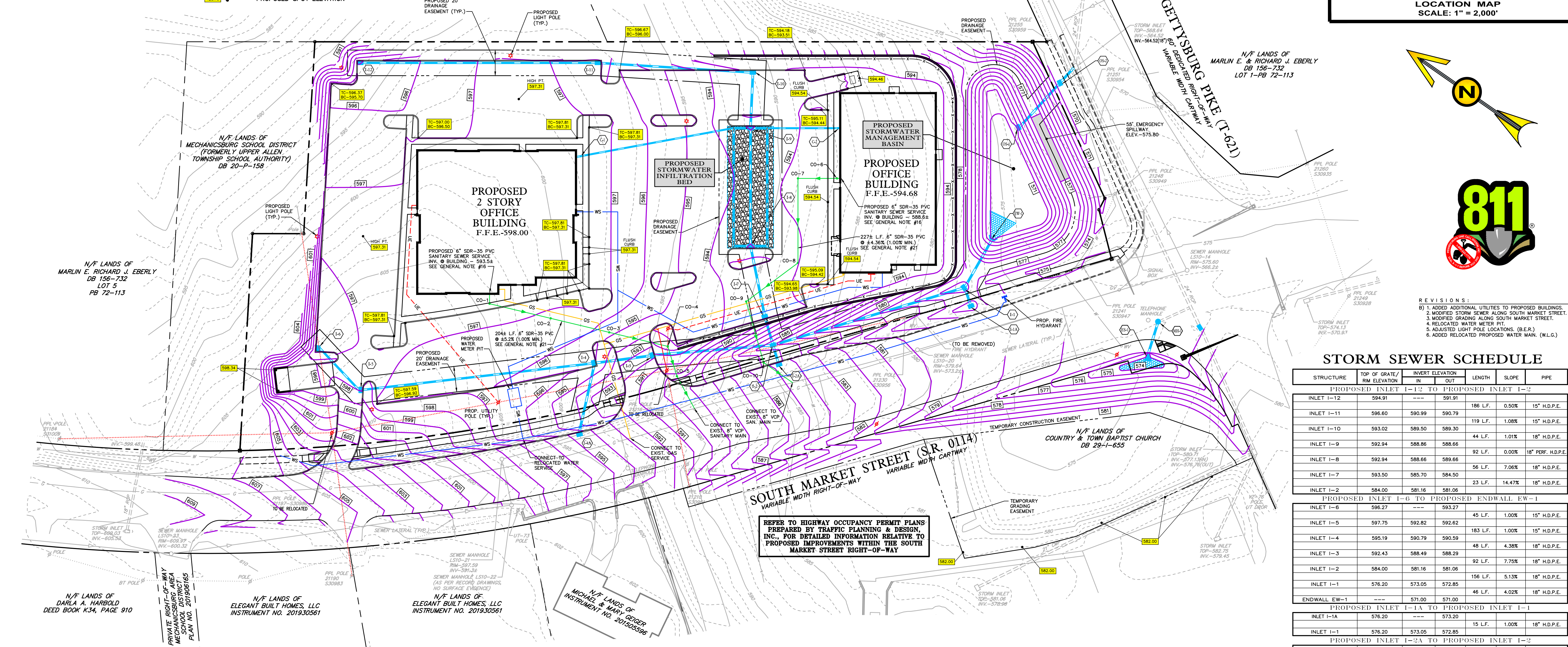
SCALE: 1" = 40'
DATE: SEPTEMBER 27, 2019

SHEET
2 OF 15



LEGEND:

	EXISTING 1' CONTOUR		APPROXIMATE LOCATION OF OVERHEAD ELEC. & TELE. LINE
	EXISTING 5' CONTOUR		APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE
	PROPOSED CONTOUR		PROPOSED UNDERGROUND ELECTRIC LINE
	APPROXIMATE LOCATION OF EXISTING SANITARY SEWER MANHOLE & LINE		EXISTING FIRE HYDRANT
	PROPOSED SANITARY SEWER MANHOLE & LINE		PROPOSED FIRE HYDRANT
	APPROXIMATE LOCATION OF EXISTING STORM INLET & PIPE		EXISTING UTILITY POLE
	PROPOSED STORM SEWER INLET & LINE		PROPOSED UTILITY POLE
	APPROXIMATE LOCATION OF EXISTING WATER LINE		EXISTING LIGHT POLE
	PROPOSED WATER SERVICE		PROPOSED LIGHT POLE
	APPROXIMATE LOCATION OF EXISTING GAS LINE		EXISTING SIGN
	PROPOSED GAS SERVICE		PROPOSED SIGN
			EXISTING TREE
			EXISTING SPOT ELEVATION
			PROPOSED SPOT ELEVATION



STORM SEWER SCHEDULE

STRUCTURE	TOP OF GRATE/ RIM ELEVATION	INVERT ELEVATION	LENGTH	SLOPE	PIPE
PROPOSED INLET I-12 TO PROPOSED INLET I-2					
INLET I-12	594.91	---	186 L.F.	0.50%	15" H.D.P.E.
INLET I-11	596.60	590.99	119 L.F.	1.08%	15" H.D.P.E.
INLET I-10	593.02	589.50	44 L.F.	1.01%	18" H.D.P.E.
INLET I-9	592.94	588.66	92 L.F.	0.00%	18" PERF. H.D.P.E.
INLET I-8	592.94	588.66	56 L.F.	7.06%	18" H.D.P.E.
INLET I-7	593.50	585.70	23 L.F.	14.47%	18" H.D.P.E.
INLET I-2	584.00	581.16	28 L.F.	1.00%	15" H.D.P.E.
PROPOSED INLET I-6 TO PROPOSED ENDWALL EW-1					
INLET I-6	596.27	---	45 L.F.	1.00%	15" H.D.P.E.
INLET I-5	597.75	592.82	183 L.F.	1.00%	15" H.D.P.E.
INLET I-4	595.19	590.79	48 L.F.	4.38%	18" H.D.P.E.
INLET I-3	592.43	588.49	92 L.F.	7.75%	18" H.D.P.E.
INLET I-2	584.00	581.16	156 L.F.	5.13%	18" H.D.P.E.
INLET I-1	576.20	573.05	46 L.F.	4.02%	18" H.D.P.E.
ENDWALL EW-1	---	571.00	571.00	---	---
PROPOSED INLET I-1A TO PROPOSED INLET I-1					
INLET I-1A	576.20	---	15 L.F.	1.00%	18" H.D.P.E.
INLET I-1	576.20	573.05	57 L.F.	1.00%	18" H.D.P.E.
PROPOSED INLET I-2A TO PROPOSED INLET I-2					
INLET I-2A	584.42	---	14 L.F.	1.00%	18" H.D.P.E.
INLET I-2	584.00	581.16	57 L.F.	1.00%	18" H.D.P.E.
PROPOSED INLET I-4A TO PROPOSED INLET I-4					
INLET I-4A	594.50	---	57 L.F.	1.00%	18" H.D.P.E.
INLET I-4	595.19	590.79	59 L.F.	1.00%	18" H.D.P.E.
PROPOSED CLEANOUT C-1 TO INFILTRATION BED					
CLEANOUT C-1	596.00	---	123 L.F.	4.34%	12" H.D.P.E.
INFILTRATION BED	592.94	588.66	57 L.F.	3.54%	12" H.D.P.E.
PROPOSED CLEANOUT C-2 TO INFILTRATION BED					
CLEANOUT C-2	594.68	---	57 L.F.	3.54%	12" H.D.P.E.
INFILTRATION BED	592.94	588.66	57 L.F.	3.54%	12" H.D.P.E.
PROPOSED OUTLET STRUCTURE OS-1 TO EXISTING INLET					
OUTLET STRUCTURE OS-1	574.90	---	47 L.F.	11.58%	18" H.D.P.E.
OUTLET STRUCTURE OS-2	568.50	565.50	16 L.F.	4.83%	18" H.D.P.E.
EXISTING INLET	568.64	564.52	---	---	---
PROPOSED PIPE END-SECTION ES-1 TO MANHOLE MH-1					
END-SECTION ES-1	---	---	26 L.F.	5.69%	18" H.D.P.E.
MANHOLE MH-1	576.00	572.77	---	---	---

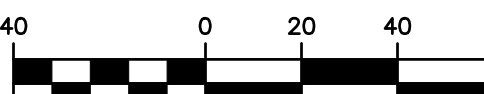
* THE STORMWATER CONVEYANCE DESIGN DEPICTED HEREON ASSUMES ROOF DRAINS FROM BOTH BUILDINGS WILL BE DIRECTLY CONNECTED VIA A CLOSED SYSTEM TO THE SUBSURFACE INFILTRATION BED PIPING. IF UPON FINALIZATION OF BUILDING DESIGN, ROOF DRAIN CONNECTION POINTS DIFFER, THE CONVEYANCE SYSTEM DESIGN MUST BE RE-VISITED TO VERIFY ADEQUATE CONVEYANCE CAPACITY IS PROVIDED.

GENERAL NOTES:

- EXISTING CONDITIONS AND TOPOGRAPHY, AS DEPICTED HEREON, HAVE BEEN ESTABLISHED THROUGH A JULY, 2018 FIELD SURVEY COMPLETED BY WILLIAMS SITE CIVIL, LLC. THE TOPOGRAPHIC & BOUNDARY SURVEY IS BASED ON THE PENNSYLVANIA STATE PLANE COORDINATE SYSTEM AND NAVD 88.
- THE SOURCE OF TITLE FOR THE SUBJECT PROPERTY IS DEED BOOK 156 PAGE 732. THE TAX REFERENCE IS PIN 42-28-2419-138.
- PURSUANT TO THE PROVISIONS OF PENNSYLVANIA LEGISLATIVE ACT NO. 121 OF OCTOBER 9, 2008, WILLIAMS SITE CIVIL, LLC HAS COMPLIED WITH DESIGNER'S DUTIES IN PREPARING DRAWINGS WHICH DEPICT EXCAVATION OR DEMOLITION WORK. WILLIAMS SITE CIVIL, LLC MAKES NO REPRESENTATION, WARRANTY, ASSURANCE, OR GUARANTEE THAT UTILITY LOCATIONS PROVIDED PURSUANT TO OUR PA ACT 287 (PA ONE CALL) REQUEST, AS REFLECTED ON THESE DRAWINGS, IS CORRECT OR COMPLETE. PENNSYLVANIA LAW REQUIRES THREE (3) WORKING DAYS ADVANCE NOTICE FOR LOCATING UTILITIES PRIOR TO EXCAVATION WORK, AND TEN (10) WORKING DAYS ADVANCE NOTICE PRIOR TO DESIGN WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FULFILLING THEIR OBLIGATIONS RELATED TO LOCATING UNDERGROUND UTILITIES PRIOR TO THE COMMENCEMENT OF EXCAVATION ACTIVITIES.
- ALL EASEMENTS AND RIGHTS-OF-WAY HAVE BEEN SHOWN ON THE PLAN, AND ALL UTILITIES HAVE BEEN CONTACTED PER PENNSYLVANIA ONE CALL (UPPER ALLEN TOWNSHIP SERIAL NUMBER: 20182221552).
- PER CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR CUMBERLAND COUNTY, PA - PANEL 286 OF 480 (EFFECTIVE DATE - MARCH 16, 2009), THE SUBJECT PROPERTY IS NOT LOCATED WITHIN A 100 YEAR OR 500 YEAR FLOODPLAIN.
- PROPOSED STORMWATER FACILITIES AND ASSOCIATED APPURTENANCES SHALL BE MAINTAINED BY THE PROPERTY OWNER, UNLESS LOCATED WITHIN A PUBLIC RIGHT-OF-WAY. WHEN WITHIN A RIGHT-OF-WAY, THEN SAID ITEMS SHALL BE MAINTAINED BY THE OWNERS OF SUCH RIGHTS-OF-WAYS.
- THE MAINTENANCE OF ALL PROPOSED ON-SITE STORMWATER CONVEYANCE AND MANAGEMENT FACILITIES SHALL BE THE RESPONSIBILITY OF THE PROPERTY OWNER. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO NORMAL MAINTENANCE, AS WELL AS, REPAIR OF STRUCTURAL DAMAGE OR DETERIORATION OF ANY KIND, INCLUDING THAT CAUSED BY SINKHOLES OR OTHER EVENTS. THE MUNICIPALITY SHALL HAVE THE RIGHT, BUT NOT THE DUTY, OF ACCESS AT ANY TIME TO INSPECT AND MAINTAIN THE FACILITY AT THE PROPERTY OWNER'S EXPENSE IF THE OWNER SHOULD FAIL TO PROPERLY MAINTAIN THE FACILITY.
- ALL STORM SEWER PIPE SHALL BE SMOOTH LINED HIGH DENSITY POLYETHYLENE PIPE (HDPE) UNLESS OTHERWISE NOTED. ALL STORM PIPE SHALL CONTAIN WATER TIGHT CONNECTIONS. ADDITIONALLY, ALL STORM STRUCTURES SHALL BE INSTALLED IN A WATER TIGHT FASHION TO REDUCE THE POTENTIAL FOR SINKHOLE DEVELOPMENT.
- PROPOSED SANITARY SEWER FACILITIES AND ASSOCIATED APPURTENANCES SHALL BE CONSTRUCTED IN COMPLIANCE WITH THE LATEST UPPER ALLEN TOWNSHIP SEWER DEPARTMENT STANDARDS AND SPECIFICATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION AND SCHEDULING OF ALL REQUIRED INSPECTIONS WITH THE APPROPRIATE TOWNSHIP/UTILITY COMPANY/COUNTY REPRESENTATIVES, AND IN ACCORDANCE WITH THE POLICIES OF THOSE PARTIES.
- NO CONSTRUCTION SHALL BEGIN UNTIL AFTER A PRE-CONSTRUCTION MEETING BETWEEN THE DEVELOPER, THE CONTRACTOR, THE MUNICIPAL ENGINEER/INSPECTOR, AND OTHERS AS MAY BE REQUESTED TO ATTEND.
- UPPER ALLEN TOWNSHIP REPRESENTATIVES OR THEIR DESIGNEES ARE HEREBY GRANTED PERMISSION TO ACCESS ALL EASEMENTS FROM THE NEAREST PUBLIC RIGHT-OF-WAY.
- THE CONTRACTOR SHALL ADHERE TO CONSTRUCTION RECOMMENDATIONS CONTAINED IN THE NOVEMBER 26, 2018 GEOTECHNICAL EVALUATION COMPLETED BY F.T. KITLINSKI & ASSOCIATES, INC. THOSE RECOMMENDATIONS INCLUDE, BUT ARE NOT LIMITED TO, ROCK EXCAVATION, SUBGRADE PREPARATION, FILL MATERIAL AND REUSE OF SOIL AND ROCK, FILL PLACEMENT AND TRENCH BACKFILL.
- THE CONTRACTOR SHALL IMMEDIATELY CONTACT THE DEVELOPER AND SITE ENGINEER IN THE EVENT SINKHOLES OR OTHER UNSUITABLE SUB-SURFACE CONDITIONS (MOTTILING, HIGH GROUND WATER CONDITIONS, BEDROCK, ETC.) ARE ENCOUNTERED. A REGISTERED GEOLOGIST OR QUALIFIED PROFESSIONAL WILL ASSIST IN RECOMMENDING CONSTRUCTION TECHNIQUES AND PERMANENT MEASURES NECESSARY TO AVOID FURTHER SINKHOLE CREATION, REPAIR ANY EXISTING SINKHOLES, AND MAKE RECOMMENDATIONS WITH RESPECT TO UNSUITABLE SUB-SURFACE CONDITIONS.
- A MINIMUM OF 18" VERTICAL SEPARATION SHALL BE MAINTAINED BETWEEN WATER, SANITARY AND STORM SEWER LINES.
- THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL PROPOSED ROOF/CANOPY DRAIN LEADERS, SANITARY SEWER LATERALS, WATER SERVICES AND ALL OTHER UTILITY CONNECTIONS TO THE PROPOSED BUILDING VIA REVIEW OF THE ARCHITECTURAL DRAWINGS PRIOR TO CONSTRUCTION. THE SITE ENGINEER SHALL BE CONTACTED IMMEDIATELY IF ANY DISCREPANCIES WITH THESE DRAWINGS ARE IDENTIFIED.
- ALL AREAS THAT DO NOT RECEIVE PAVING OR LANDSCAPING SHALL RECEIVE A MINIMUM OF FOUR INCHES (4") OF TOPSOIL.
- BICYCLE SAFE GRATES SHALL BE PROVIDED FOR ALL PROPOSED STORM SEWER INLETS.
- CONNECTION TO ALL PUBLIC UTILITIES (WATER, ELECTRIC, SEWER, PHONE AND CABLE) SHALL BE MADE IN ACCORDANCE WITH THE GUIDELINES AND REGULATIONS OF THE RESPECTIVE UTILITY COMPANY.
- ALL UTILITY INSTALLATION/TRENCHING SHALL BE IN ACCORDANCE WITH OSHA SAFETY STANDARDS.
- EXISTING SANITARY SEWER MANHOLES LS10-14, LS10-20 AND LS10-21 WERE INACCESSIBLE DURING FIELD SURVEY OPERATIONS. THE APPROXIMATE SEWER PIPE INVERT ELEVATIONS IDENTIFIED FOR THOSE MANHOLES HAVE BEEN TAKEN FROM SEPTEMBER 4, 1974 "AS CONSTRUCTED" DRAWINGS PREPARED BY GLACE & GLACE, INC., AND MUST BE FIELD VERIFIED PRIOR TO THE COMMENCEMENT OF ANY SEWER SERVICE CONSTRUCTION ACTIVITIES.
- SUPPLEMENTAL SETS OF DRAWINGS TO THESE PRELIMINARY/FINAL LAND DEVELOPMENT PLANS INCLUDE SOIL EROSION AND SEDIMENTATION CONTROL AND POST CONSTRUCTION STORMWATER MANAGEMENT PLANS, WHICH WILL BE SUBMITTED TO THE CUMBERLAND COUNTY CONSERVATION DISTRICT FOR SOIL EROSION & SEDIMENTATION CONTROL/NPDES APPROVAL, AND PENNDOT HIGHWAY OCCUPANCY PLANS FOR ALL IMPROVEMENTS WITHIN THE SOUTH MARKET STREET RIGHT-OF-WAY, WHICH WILL BE SUBMITTED TO PENNDOT FOR APPROVAL. COPIES OF THESE SETS OF DRAWINGS WILL BE PROVIDED TO UPPER ALLEN TOWNSHIP WHEN SUBMITTED TO THE RESPECTIVE OUTSIDE VIEWING AGENCIES.
- NOTHING SHALL BE PLACED, PLANTED, SET OR PUT WITHIN AN EASEMENT THAT WOULD ADVERSELY AFFECT THE FUNCTION OF THE EASEMENT OR CONFLICT WITH THE EASEMENT AGREEMENT.

BENCHMARK:
RIM OF SANITARY SEWER MANHOLE LS10-13
LOCATED ALONG GETTYSBURG PIKE TO THE
NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)

GRAPHIC SCALE



(IN FEET)
1 inch = 40 ft.

Williams SITE CIVIL, LLC
WE ENGINEER SAVINGS
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HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958

DOUGLAS S. GOSIK
ENGINEER
NO. 04760-E
DOUGLAS S. GOSIK, P.E.
ENGINEER

GRADING / UTILITIES PLAN
LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

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DESIGN BY:	DRAWN BY:	CHECKED BY:
G.R.S.	B.E.R.	A.S.W.
WSC PROJECT NUMBER:		
GPKE-UA-OFFICE-FINAL		
SCALE: 1" = 40'		
DATE: SEPTEMBER 27, 2019		

SHEET
4 OF 15

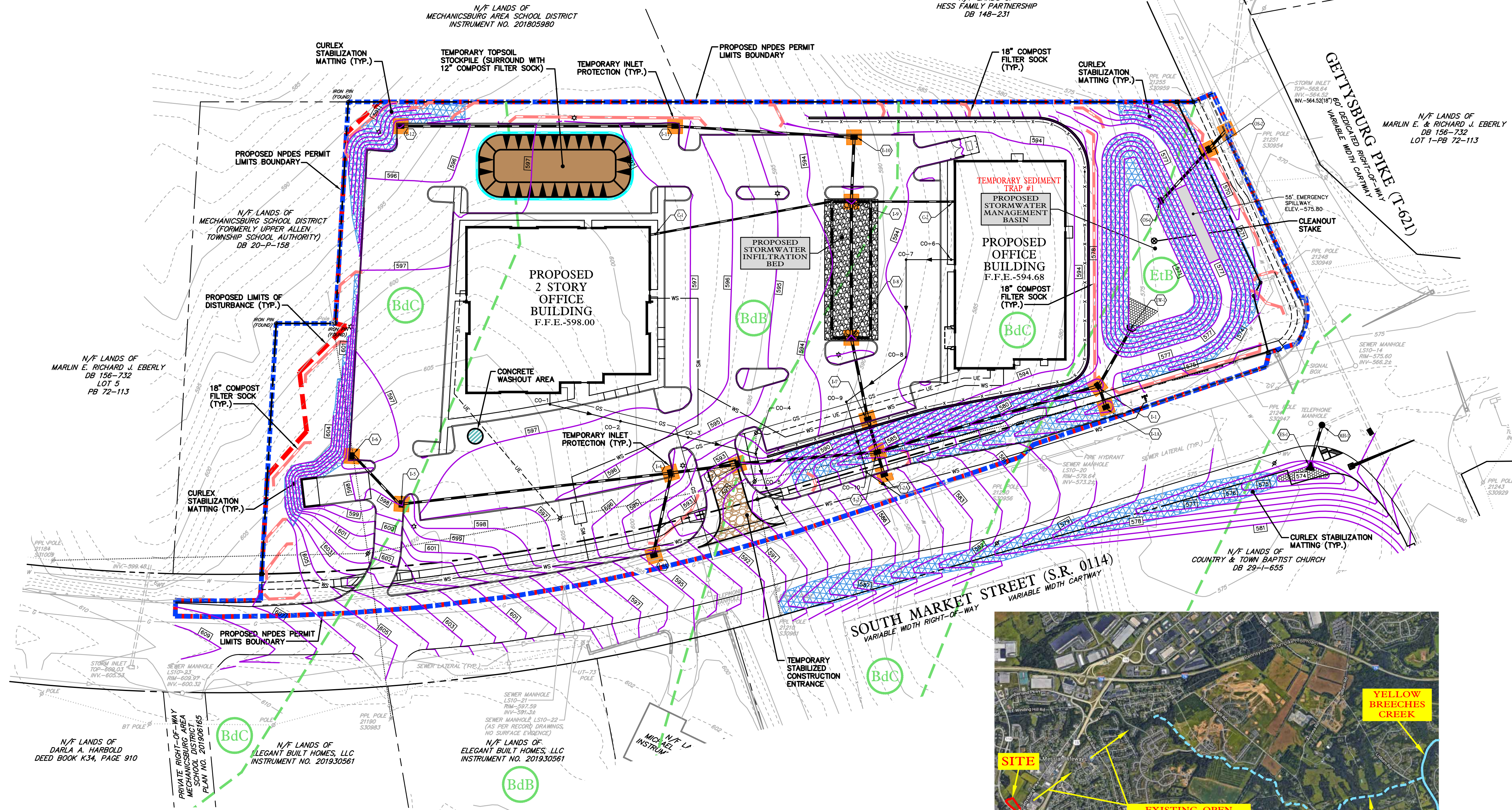
RECOMMENDED SEEDING RATES & TYPES:

1. TEMPORARY SEEDING (STABILIZATION DURING CONSTRUCTION):
- A. SEED @ 10 LBS/1,000 SY:
- (1) ANNUAL RYEGRASS
- B. AGRICULTURAL LIME @ 410 LBS/1,000 SY
- C. FERTILIZER (10-10-10) @ 100 LBS/1,000 SY
- D. STRAW MULCH @ 1,240 LBS/1,000 SY
- E. PERIOD: MARCH 15 TO OCTOBER 15
2. PERMANENT SEEDING (LAWN AREAS):
- A. SEED @ 11 LBS/1,000 SY:
- (1) KENTUCKY BLUEGRASS - 50%
- (2) PERENNIAL RYEGRASS - 30%
- (3) ANNUAL RYEGRASS - 20% (NURSE CROP)
- B. AGRICULTURAL LIME @ 2,480 LBS/1,000 SY
- C. FERTILIZER (10-10-20) @ 210 LBS/1,000 SY
- D. STRAW MULCH @ 1,240 LBS/1,000 SY
- E. PERIOD: MARCH 15 TO JUNE 1
AUGUST 1 TO OCTOBER 15

- NOTES:
1. STRAW MULCH SHALL BE STABILIZED BY CRIMPING, TACKING, OR NETTING AS APPROPRIATE.
2. VEGETATIVE STABILIZATION WILL BE PERIODICALLY INSPECTED FOR PROPER GROWTH. ANY AREAS NOT RESPONDING WILL BE PROMPTLY RESEED.
3. AREAS THAT SHOW SIGNS OF EROSION PRIOR TO STABILIZATION SHALL BE GRADED, RESEED, AND REMULCHED AS SOON AS POSSIBLE.

E & S MAINTENANCE PROGRAM:

1. UNTIL THE SITE IS STABILIZED, ALL EROSION AND SEDIMENT CONTROL BMPs MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL BMPs AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEANOUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING AND RE-NETTING MUST BE PERFORMED IMMEDIATELY. IF EROSION AND SEDIMENT CONTROL BMPs FAIL TO PERFORM AS EXPECTED, REPLACEMENT BMPs OR MODIFICATIONS OF THOSE INSTALLED WILL BE REQUIRED.
2. ANY SEDIMENT REMOVED FROM BMPs DURING CONSTRUCTION WILL BE RETURNED TO UPLAND AREAS ON SITE AND INCORPORATED INTO THE SITE GRADING.
3. A LOG SHOWING THE DATES THAT E&S BMPs WERE INSPECTED AS WELL AS ANY DEFICIENCIES FOUND AND THE DATE THAT THEY WERE CORRECTED SHALL BE MAINTAINED ON THE SITE AND BE MADE AVAILABLE TO THE CUMBERLAND COUNTY CONSERVATION DISTRICT OR OTHER REGULATORY AGENCY OFFICIALS AT THE TIME OF INSPECTION.



LEGEND:

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED CONTOUR
- APPROXIMATE LOCATION OF EXISTING SANITARY SEWER MANHOLE & LINE
- PROPOSED SANITARY SEWER MANHOLE & SERVICE LINE
- APPROXIMATE LOCATION OF EXISTING STORM INLET & PIPE
- PROPOSED STORM SEWER INLET & LINE
- APPROXIMATE LOCATION OF EXISTING WATER LINE
- PROPOSED WATER SERVICE
- APPROXIMATE LOCATION OF EXISTING GAS LINE
- PROPOSED GAS SERVICE
- APPROXIMATE LOCATION OF OVERHEAD ELEC. & TELE. LINE
- APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE
- PROPOSED UNDERGROUND ELECTRIC LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING UTILITY POLE
- PROPOSED LIGHT POLE
- EXISTING SIGN
- PROPOSED SIGN

SOIL EROSION CONTROL MEASURES:

- LIMITS OF DISTURBANCE
- LIMITS OF NPDES PERMIT BOUNDARY
- 12" COMPOST FILTER SOCK
- 18" COMPOST FILTER SOCK
- STABILIZED CONSTRUCTION ENTRANCE
- CONCRETE WASHOUT AREA
- TEMPORARY INLET PROTECTION
- CURLEX STABILIZATION MATTING

RECEIVING SURFACE WATER:

STORMWATER FROM THE SITE WILL BE DISCHARGED IN A CONTROLLED MANNER TO AN EXISTING STORM INLET LOCATED IN THE GETTYSBURG PIKE RIGHT-OF-WAY. SAID INLET IS PART OF A COLLECTION/CONVEYANCE SYSTEM OWNED AND MAINTAINED BY UPPER ALLEN TOWNSHIP UNDER THEIR MUNICIPAL MS-4 PERMIT. FROM THAT INLET, STORMWATER IS CONVEYED TO THE NORTH AND EAST VIA A CLOSED SYSTEM AND OPEN CHANNELS TO AN UNNAMED TRIBUTARY TO YELLOW BREECHES CREEK.

RECEIVING WATER/CLASSIFICATION

NAME: UNNAMED TRIBUTARY TO YELLOW BREECHES

CLASSIFICATION: CWF/MF

LIST OF PROPOSED PCSM BMPs

1. SUBSURFACE DETENTION/INFILTRATION BASIN
2. SURFACE DETENTION/INFILTRATION BASIN
3. STREET SWEEPING

LIMITS OF DISTURBANCE

4.07 ACRES / 177,289 S.F.

NPDES PERMIT BOUNDARY

4.24 ACRES / 184,871 S.F.

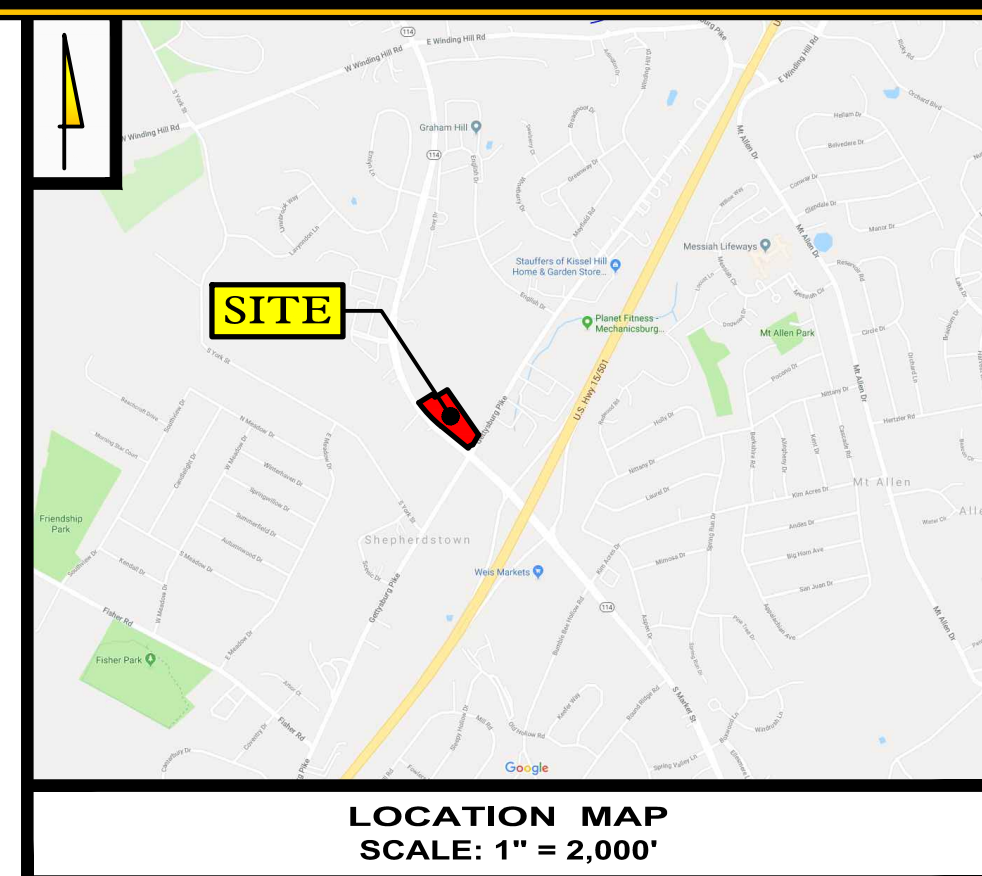
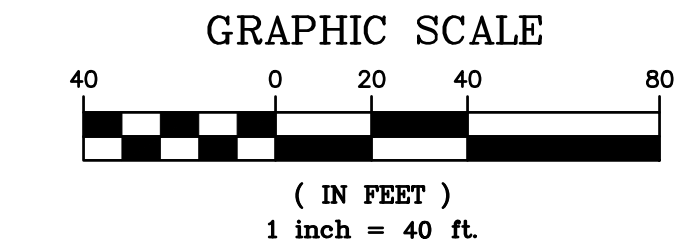
NATIVE SOIL TYPE:

- BdB BEDINGTON SHALY SILT LOAM
3%-8% SLOPES
- BdC BEDINGTON SHALY SILT LOAM
8%-15% SLOPES
- EtB ERNEST SILT LOAM
3%-8% SLOPES

- REVISIONS:
- B) 1. ADDED OFF-SITE IMPROVEMENTS PER H.O.P. MODIFICATIONS.



BENCHMARK:
RIM OF SANITARY SEWER MANHOLE LS10-13
LOCATED ALONG GETTYSBURG PIKE TO THE NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)



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DOUGLAS S. GOSIK
REGISTERED PROFESSIONAL ENGINEER
NO. 04760-E
DOUGLAS S. GOSIK, P.E.
ENGINEER

LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
SOIL EROSION & SEDIMENTATION CONTROL PLAN
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
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CUMBERLAND COUNTY, PA
UPPER ALLEN TOWNSHIP

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REVISIONS
NO. DATE BY: AS PER TOWNSHIP PERMIT & OWNER COMMENTS
DESIGN BY: G.R.S.
DRAWN BY: B.E.R.
CHECKED BY: D.S.G.
WSC PROJECT NUMBER: GPIKE-UA-OFFICE-FINAL

SCALE: 1" = 40'

DATE: SEPTEMBER 27, 2019

E & S CONTROL MEASURES:

THROUGH IMPLEMENTATION OF E&S BMPs AND OTHER MEASURES CONTAINED HEREIN, THIS SOIL EROSION AND SEDIMENTATION CONTROL PLAN INTENDS TO MINIMIZE THE EXTENT AND DURATION OF EARTH DISTURBANCE, MAXIMIZE PROTECTION OF EXISTING DRAINAGE FEATURES AND VEGETATION, MINIMIZE SOIL COMPACTION, AND PREVENT OR MINIMIZE GENERATION OF INCREASED STORMWATER RUNOFF.

THE PROPOSED SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SELECTED FOR THIS PROJECT WILL PRIMARILY CONSIST OF THE CONSTRUCTION OF STABILIZED CONSTRUCTION ENTRANCES, FILTER SOCK, INLET PROTECTION, EROSION CONTROL MATTING, PUMPED WATER FILTER BAGS, A SEDIMENT TRAP, AND TEMPORARY SEEDING AND MULCHING.

A STABILIZED CONSTRUCTION ENTRANCE SHOULD BE INSTALLED WHEREVER IT IS ANTICIPATED THAT CONSTRUCTION TRAFFIC WILL EXIT ONTO ANY ROADWAY. ACCESS TO THE SITE SHOULD BE LIMITED TO THE STABILIZED CONSTRUCTION ENTRANCE.

COMPOST FILTER SOCKS ARE A TYPE OF CONTAINED COMPOST FILTER BERM. THEY CONSIST OF A BIODEGRADABLE OR PHOTODEGRADABLE MESH TUBE FILLED, TYPICALLY USING A PNEUMATIC BLOWER, WITH COARSE COMPOST FILTER MEDIA THAT MEETS CERTAIN PERFORMANCE CRITERIA (E.G. HYDRAULIC FLOW THROUGH RATE, TOTAL SOLIDS REMOVAL EFFICIENCY, TOTAL SUSPENDED SOLIDS REMOVAL EFFICIENCY, TURBIDITY REDUCTION, NUTRIENT REMOVAL EFFICIENCY, METALS REMOVAL EFFICIENCY, AND MOTOR OIL REMOVAL EFFICIENCY).

INLET PROTECTION IS PROPOSED TO PROTECT STORM SEWER LINES AND TRAP SEDIMENT AS CLOSE TO THE SOURCE AS POSSIBLE TO PREVENT RISKS ASSOCIATED WITH ACCUMULATION. INLET PROTECTION SHOULD BE MAINTAINED (I.E. KEPT IN GOOD REPAIR AND FREE FROM STRAW, GRASS CLIPPINGS, SEDIMENT, CONSTRUCTION DEBRIS, LITTER, SNOW AND ICE) UNTIL ALL EARTHWORK WITHIN THE TRIBUTARY DRAINAGE AREA HAS BEEN COMPLETED AND STABILIZED. PER THE E&S BMP MANUAL, ALL THE INLET PROTECTION TRIBUTARY DRAINAGE AREAS ARE UNDER 1 ACRE.

A TEMPORARY SEDIMENT TRAP IS A TEMPORARY FACILITY THAT IS UTILIZED DURING CONSTRUCTION AS A STORMWATER STORAGE AREA THAT ALSO COLLECTS AND STORES SEDIMENT FOR REMOVAL TO PREVENT DISCHARGE OF SEDIMENT FROM CHANNELS AND STREAMS. THE SEDIMENT TRAP WILL CAPTURE THE 'FIRST FLUSH' OF RUNOFF FROM THE SITE WHERE IT WILL BE RETAINED OR INFILTRATED. THE 'FIRST FLUSH' OR INITIAL RUNOFF IS MOST AFFECTED BY THERMAL IMPACTS. PREVENTING DIRECT RELEASE OF THE 'FIRST FLUSH' WILL PROVIDE SIGNIFICANT PROTECTION TO DOWNSTREAM SURFACE WATERS BY MINIMIZING THERMAL IMPACTS DURING CONSTRUCTION. IMPLEMENTATION OF THE SEDIMENT TRAP MEASURES CONTAINED HEREIN SHOULD PROVIDE EFFECTIVE EROSION AND SEDIMENTATION CONTROL DURING AND AFTER THE CONSTRUCTION OF THE PROJECT.

IN ADDITION TO PERIMETER CONTROL, COMPOST FILTER SOCKS ARE ALSO UTILIZED FOR PRETREATMENT OF THE SEDIMENT TRAPS. THE FILTER SOCKS ARE PLACED AROUND BOTH SEDIMENT TRAPS REDUCE THE SEDIMENT LOAD. INLET PROTECTION IS ALSO PROPOSED FOR THE TRIBUTARY AREAS TO THE SEDIMENT TRAPS, WHICH IS NORMALLY NOT REQUIRED, TO FURTHER REDUCE THE SEDIMENT LOADING TO THE SEDIMENT TRAP. IMPROVED EFFICIENCY OF THE SEDIMENT TRAPS AS AN ALTERNATIVE TO PROVIDING 5,300 SQ. FT. OF SURFACE AREA BY REDUCING THE AMOUNT OF SEDIMENT THAT IS DISTRIBUTED THROUGHOUT THE ENTIRE TRAP AREA.

EROSION CONTROL MATTING IS MATTING THAT IS PLACED OVER SOIL TO PREVENT EROSION. EROSION CONTROL BLANKETS SHOULD BE USED ON ALL SLOPES THAT ARE 3H:1V OR STEEPER AND WHERE POTENTIAL EXISTS FOR SEDIMENT POLLUTION TO RECEIVING SURFACE WATERS. SINCE ROCK SLOPES POSE LITTLE, IF ANY, POTENTIAL FOR EROSION, CUT SLOPES IN COMPACT BEDROCK AND ROCK FILL SLOPES NEED NOT BE BLANKETED. EROSION CONTROL BLANKETS SHOULD BE USED FOR ALL SEEDED AREAS WITHIN 50 FEET OF A SURFACE WATER -- 100 FEET OF A SPECIAL PROTECTION WATER -- REGARDLESS OF SLOPE. EROSION CONTROL BLANKETS SHOULD ALSO BE CONSIDERED WHERE SOIL CONDITIONS (E.G. LOW FERTILITY, DROUGHTY CONDITIONS, ERODIBILITY, ETC.) MAKE VEGETATION DIFFICULT. WHEN PROPERLY INSTALLED, EROSION CONTROL BLANKETS CAN HELP HOLD SOIL PARTICLES IN PLACE AND RETAIN SOIL MOISTURE, PROMOTING SEED GERMINATION. THE BLANKET ALSO PROVIDES THE SEEDLINGS PROTECTION FROM INTENSE SUNLIGHT DURING EARLY STAGES OF GROWTH. A TEMPORARY BLANKET IS NECESSARY WHERE VEGETATION IS PROPOSED AS THE PROTECTIVE LINING FOR WATERWAYS. EROSION CONTROL BLANKETS ARE NOT EFFECTIVE IN PREVENTING SLOPE FAILURES. WHEREVER SLOPE STABILITY PROBLEMS ARE ANTICIPATED OR ENCOUNTERED, APPROPRIATE MEASURES SUCH AS REDUCING STEEPNESS OF SLOPE, DIVERTING UPSLOPE RUNOFF, REDUCING SOIL MOISTURE, LOADING THE TOE, OR BUTTRESSING THE SLOPE SHOULD BE CONSIDERED. WHEREVER EROSION CONTROL BLANKETS ARE SPECIFIED, THEY SHOULD BE INSTALLED OR APPLIED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FOR ROLLED BLANKETS, THE AREAS TO BE BLANKETED SHOULD BE SMOOTH AND UNIFORM TO ENSURE CONTINUOUS CONTACT BETWEEN THE BLANKET AND THE UNDERLYING SOIL. SMOOTHING THE SURFACE IS NOT REQUIRED FOR SPRAY-ON BLANKETS. HOWEVER, EXTRA CARE IS NECESSARY FOR EXTREMELY ROUGH SURFACES TO ENSURE CONTINUOUS COVERAGE.

WHEREVER WATER IS PUMPED FROM A DISTURBED AREA, IT MUST BE TREATED FOR SEDIMENT REMOVAL PRIOR TO DISCHARGING TO A SURFACE WATER UNLESS IT CAN BE SHOWN THAT THE QUALITY OF THE WATER BEING PUMPED ALREADY MEETS DISCHARGE STANDARDS. IF A PROPERLY FUNCTIONING SEDIMENT TRAP IS AVAILABLE, THE PUMP DISCHARGE MAY BE ROUTED THROUGH THE TRAP OR BASIN. WHILE PUMPING, THE MAXIMUM WATER LEVEL IN THE TRAP SHOULD NOT EXCEED THE CLEANOUT ELEVATION.

SEEDING INVOLVES THE PLANTING OF GRASS SEED TO STABILIZE THE SURFACE OF AREAS THAT WILL BE TEMPORARILY AND/OR PERMANENTLY DISTURBED TO PREVENT SOIL EROSION. DISTURBED AREAS INVOLVES APPLYING A LAYER OF STRAW HELP KEEP THE SEED AND LOOSE SOIL FROM WASHING OR BLOWING AWAY.

TEMPORARY CONTROL MEASURES:

1. REVIEW AND AUTHORIZATION BY THE CUMBERLAND COUNTY CONSERVATION DISTRICT SHALL BE OBTAINED PRIOR TO THE COMMENCEMENT OF ANY EARTH DISTURBANCE ACTIVITIES.
2. TEMPORARY VEGETATION SHALL BE ESTABLISHED ON ALL SLOPES, ON STOCKPILED TOPSOIL, AND ON ALL DISTURBED AREAS LEFT UNSTABILIZED FOR PERIODS LONGER THAN 3 DAYS. AREAS OF DISCONTINUED EARTHMOVING ACTIVITY SHALL ALSO BE IMMEDIATELY STABILIZED.
3. DURING CONSTRUCTION, THE AMOUNT OF DISTURBED SOILS SHALL BE KEPT TO A MINIMUM AND, WHENEVER POSSIBLE, A SUITABLE VEGETATIVE BUFFER WILL BE MAINTAINED AROUND ALL CONSTRUCTION AREAS.
4. ALL EARTHMOVING ACTIVITIES SHALL BE CARRIED OUT IN SUCH A MANNER AS TO MINIMIZE THE AMOUNT OF DISTURBED AREA.
5. RESPONSIBILITY FOR IMPLEMENTING EROSION AND SEDIMENTATION CONTROL SHALL BE DESIGNATED TO A MINIMUM OF ONE INDIVIDUAL WHO WILL BE PRESENT AT THE PROJECT SITE DAILY.
6. ALL SOIL STOCKPILES ARE TO BE IMMEDIATELY SEEDED WITH A TEMPORARY GRASS COVER.
7. WHENEVER POSSIBLE, PLACE ALL EXCAVATED MATERIAL UPSLOPE FROM DISTURBED AREAS. STOCKPILES SHALL BE SET PARALLEL TO GRADE TO REDUCE RUNOFF.
8. UPON GENERAL COMPLETION OF THE FINAL GRADING, TOPSOIL SHALL BE PLACED AND FINAL-GRADING PASSES SHALL BE MADE PERPENDICULAR TO THE DIRECTION OF RUNOFF.
9. RE-SEED AND REESTABLISH ANY BARREN AND DISTURBED AREAS NOT HAVING ESTABLISHED GROUND COVER.
10. FILTER SOCK SHALL BE PLACED AT CRITICAL EROSION AREAS, AS SHOWN ON THE PLAN, IN ORDER TO PREVENT SEDIMENT FROM ENTERING INTO ADJACENT PROPERTIES, ROADWAY AND WATERWAYS.
11. FILTER SOCK SHALL BE PLACED END TO END, SECURELY STAKED IN PLACE, AND MAINTAINED UNTIL THE AREA IS STABILIZED.
12. WHERE DUST OR WIND EROSION IS A PROBLEM, THE UNSTABLE SURFACE(S) SHALL BE SPRINKLED WITH WATER OR OTHER SUITABLE SOIL SUPPRESSOR; HOWEVER, WASHING OF ROADWAYS IS NOT PERMITTED.
13. ANY WATER PUMPED FROM ANY EXCAVATION, FOR ANY REASON, SHALL BE DIRECTED THROUGH A SEDIMENT FILTER BAG (DIRT BAG) CONFORMING TO PENNSYLVANIA DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
14. THE CONTRACTOR SHALL EMPLOY MEASURES DURING CONSTRUCTION TO PREVENT SPILLS OF FUELS OR LUBRICANTS. IF A SPILL OCCURS, IT SHALL BE CONTROLLED IMMEDIATELY TO PREVENT ITS ENTRY INTO NEARBY WATERWAYS.
15. WHEN THE ENGINEER, TOWNSHIP OFFICIAL, OR COUNTY CONSERVATION DISTRICT OFFICIAL DETERMINES THAT EROSION CONTROL MEASURES ARE NECESSARY, THAT WERE NOT FORESEEN IN THE DESIGN STAGE, SAID OFFICIAL SHALL ESTIMATE THE EROSION POTENTIAL AND SELECT MEASURES ON THE BASIS OF BOTH COST EFFECTIVENESS AND THE CONSEQUENCES OF THE EROSION AND THE PERMITTEE SHALL IMMEDIATELY COMPLY WITH SAID DIRECTIVES.
16. ANY TEMPORARY EROSION CONTROL MEASURE APPLIED TO EXPOSED SOIL SURFACES SHALL REMAIN FUNCTIONAL UNTIL VEGETATED COVER IS SUFFICIENTLY ESTABLISHED.
17. ALL TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE SUBJECT TO APPLICABLE REGULATIONS OF THE DEPARTMENT OF ENVIRONMENTAL PROTECTION, CHAPTER 102 RULES AND REGULATIONS.
18. SHOULD ANY ADDITIONAL EROSION OR SEDIMENTATION OCCUR DURING CONSTRUCTION, OR QUESTIONS REGARDING THE MAINTENANCE CONTROL PRACTICES ARISE, CONTACT THE CUMBERLAND COUNTY CONSERVATION DISTRICT AT (717) 240-7812.
19. PERMANENT SEEDING AND MULCHING WILL BE INCORPORATED INTO THE CONSTRUCTION PHASES DURING THE APPROVED PLANTING SEASON.
20. ALL AREAS DISTURBED BY CONSTRUCTION, OTHER THAN THOSE RECEIVING CONCRETE OR BITUMINOUS PAVING OR OTHER TYPE OF IMPERVIOUS COVER, SHALL BE STABILIZED BY APPLYING A SEED MIXTURE TO ESTABLISH AN EROSION RESISTANT STAND OF VEGETATION. TEMPORARY SEEDING SPECIFICATIONS ARE CONTAINED IN THIS REPORT.

PERMANENT CONTROL MEASURES:

1. PERMANENT SOIL PROTECTION WILL BE COMPLETED AS EARLY AS PRACTICAL.
2. ALL EXISTING STORM WATER DEVICES ARE TO BE INSPECTED DAILY AND CLEANED OUT AS NECESSARY.
3. ALL SEDIMENT CONTROL DEVICES ARE TO REMAIN UNTIL ALL DISTURBED AREAS ARE FULLY STABILIZED.
4. TEMPORARY AND PERMANENT SEEDING SHALL ADHERE TO THE SPECIFICATIONS PROVIDED IN THIS REPORT.
5. EACH STAGE OF EARTHMOVING ACTIVITIES MUST BE COMPLETED PRIOR TO INITIATING SUBSEQUENT STAGES.
6. ALL EROSION AND SEDIMENTATION CONTROLS WILL BE INSPECTED WEEKLY AND AFTER ALL MEASURABLE PRECIPITATION EVENTS.
7. THE PERMITTEE AND ANY CO-PERMITTEE SHALL TAKE ALL REASONABLE STEPS TO MINIMIZE OR PREVENT ANY DISCHARGE IN VIOLATION OF THIS PERMIT THAT HAS A REASONABLE LIKELIHOOD OF ADVERSELY AFFECTING HUMAN HEALTH OR THE ENVIRONMENT.
8. APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLANS AND NARRATIVE REPORTS MUST BE AVAILABLE AT THE SITE OF THE CONSTRUCTION ACTIVITY AT ALL TIMES.
9. IF FUEL OR OTHER DANGEROUS CHEMICALS ARE STORED ON SITE, THEN A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN MUST BE DEVELOPED AND KEPT ON SITE.

STAGING OF MAJOR CONSTRUCTION ACTIVITIES:

THE FOLLOWING IS THE RECOMMENDED STAGING OF MAJOR CONSTRUCTION ACTIVITIES FOR THE PROJECT.

1. AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL ENGINEER, AND THE TOWNSHIP OFFICIAL TO OVERSIGHT OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
2. AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
3. ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE LOCAL CONSERVATION DISTRICT AT AN ON-SITE PRECONSTRUCTION MEETING.
4. THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
5. INITIAL EROSION AND SEDIMENTATION CONTROL MEASURES AND BMPs MUST BE CONSTRUCTED, STABILIZED, AND OPERATIONAL BEFORE ANY EARTH DISTURBANCE WHICH IS TRIBUTARY TO THOSE MEASURES BEGINS.
6. CLEAR AND GRUB, REMOVE TOPSOIL, PERFORM NECESSARY INITIAL GRADING AND INSTALL THE ROCK CONSTRUCTION ENTRANCE AT THE POINT OF ENTRANCE INTO THE SITE. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ONTO ADJACENT ROADWAYS.
7. INSTALL ALL FILTER SOCK BARRIERS ALONG THE SITE PERIMETER AS SHOWN ON THE PLAN.
8. PER NEW NPDES REQUIREMENTS "UPON THE INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITTEE OR CO-PERMITTEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT."
9. CONDUCT SITE DEMOLITION ACTIVITIES AND REMOVE ALL WASTE FROM THE SITE IN ACCORDANCE WITH THE DEP REGULATIONS.
10. CLEAR AND GRUB, REMOVE TOPSOIL, AND PERFORM NECESSARY INITIAL GRADING ONLY WITH THE AREA DESIGNATED SURFACE INFILTRATION/DETENTION BASIN 2 (POND 2) AND CONSTRUCT THE FACILITY AS TEMPORARY SEDIMENT TRAP 1 IN ACCORDANCE WITH THE DESIGN DETAILS PRESENT ON THE PLAN. ANY EXCESS MATERIAL FROM THE BASIN EXCAVATION SHALL BE STOCKPILED IMMEDIATELY UPSLOPE OF THE TEMPORARY SEDIMENT TRAP UNTIL IT IS EITHER NEEDED FOR CONSTRUCTING OTHER INITIAL EROSION CONTROL BMPs OR MASS EARTHWORK ACTIVITIES HAVE COMMENCED ON THE SITE.
 - a. INSTALL THE OUTLET AND SPILLWAY SEDIMENT TRAP 1 DESIGN ELEVATIONS, INSTALL THE SPILLWAY AND CLEANOUT MARKER AS SHOWN ON THE PLAN AND DETAILS.
 - b. IMMEDIATELY STABILIZE BOTH OF THE FACILITY'S EMBANKMENTS, INTERNAL AND EXTERNAL SLOPES, WITH THE PRESCRIBED TEMPORARY SEED MIX, MULCH, MATTING, AND SLOPE PROTECTION (WHERE APPLICABLE).
11. CLEAR AND GRUB THE ENTIRE SITE. STRIP TOPSOIL AND STOCKPILE IN THE DESIGNATED TEMPORARY AREAS AS SHOWN ON THE PLAN. PLACE FILTER SOCK AROUND THE STOCKPILE. APPLY TEMPORARY SEEDING TO THE STOCKPILE.
12. PROCEED WITH BULK SITE EXCAVATION AND ROUGH GRADING ACTIVITIES ON THE ENTIRE SITE AND BRING THE SITE AREAS TO SUBGRADE ELEVATIONS WHILE MAINTAINING PERIMETER E&S BMPs. RETAINING WALL SHALL BE CONSTRUCTED AND BACKFILLED IN LIFTS WHILE INSTALLING GEOTECHNICAL TIEBACKS AND MAINTAINING SURROUNDING ELEVATIONS. APPLY EROSION CONTROL MATTING TO THE INDICATED AREAS ON THE PLAN. AS AREAS OF THE SITE REACH SUBGRADE ELEVATION, APPROPRIATE STABILIZATION SHALL BE APPLIED TO FILL SLOPES, LAWN AREAS, ETC. TO MINIMIZE ACCELERATED EROSION.
13. AS THE SITE IS BEING BROUGHT TO SUBGRADE ELEVATIONS, INSTALL STORM SEWER CONVEYANCE SYSTEMS. BEGIN SYSTEM SELECTION AND DESIGN OF THE DOWNSTREAM ENDS AND PROCEEDING UPSTREAM. INSTALL EW-1 AND ASSOCIATED RIPRAP APRON AT FINAL ELEVATION OF 571.00, CREATING A 1.8' DEEP FOREBAY WITHIN THE SEDIMENT TRAP (BOTTOM ELEVATION 572.80). INSTALL TEMPORARY NON-PERFORATED PIPE ACROSS AREA DESIGNATED FOR SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) TO PROTECT AREA FROM SEDIMENT. AFTER EACH INLET IS INSTALLED, IMMEDIATELY INSTALL INLET PROTECTION AROUND THE INLET AND PROP THE INLET TOP UP WITH BRICKS TO ALLOW RUNOFF TO ENTER THE STORM SEWER CONVEYANCE SYSTEM PRIOR TO CURB INSTALLATION AND PAVING OCCURRING. ANY WATER PUMPED FROM STORM SEWER TRENCHES SHALL BE DIRECTED TO A SEDIMENT REMOVAL FACILITY SUCH AS A FILTER BAG OR APPROVED EQUAL. ALL STORM SEWER PIPING AND SEDIMENT TRAP 1 SHALL BE PERIODICALLY FLUSHED TO PREVENT EXCESSIVE SEDIMENT AND DEBRIS ACCUMULATIONS FROM BUILDING UP WITHIN PIPES, CHAMBER, AND STRUCTURES.
14. ONCE THE SITE IS BROUGHT TO SUBGRADE ELEVATIONS, CONSTRUCT THE SANITARY SEWER SYSTEMS. ALSO, INSTALL ALL OTHER UTILITY SERVICE LINES AND OTHER RELATED UNDERGROUND WORK AT THIS TIME. ANY WATER PUMPED FROM UTILITY TRENCHES SHALL BE DIRECTED TO A SEDIMENT REMOVAL FACILITY SUCH AS A FILTER BAG OR APPROVED EQUAL.
15. ONCE THE BUILDING PAD IS BROUGHT TO SUBGRADE ELEVATION AND THE RETAINING WALL CONSTRUCTION IS COMPLETED, BUILDING CONSTRUCTION MAY COMMENCE AT ANY TIME.
16. PLACE SUBBASE MATERIAL TO STABILIZE THE SITE DRIVEWAYS AND PARKING AREAS AS SOON AS PRACTICAL. THIS WILL ELIMINATE THE ROCK CONSTRUCTION ENTRANCE.
17. CONTINUE WITH GENERAL BUILDING CONSTRUCTION AND CONSTRUCTION OF OTHER LOCALIZED SITE ITEMS SUCH AS SITE CURBING, SITE LIGHTING, SIDEWALK SYSTEMS, FENCING, UTILITY CONNECTIONS, ETC.
18. INSTALL STONE FOR STABILIZATION ON THE SITE DRIVEWAYS AND PARKING AREAS ONCE MAJOR EXTERIOR BUILDING CONSTRUCTION AND ALL UTILITY CONSTRUCTION ARE SUBSTANTIALLY COMPLETED.
19. CONDUCT FINE GRADING ACTIVITIES AND PLACE TOPSOIL ON ALL REMAINING AREAS. APPLY PERMANENT SEEDING, SOIL SUPPLEMENTS, MULCHING, AND MATTING WHERE APPLICABLE IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN. INSTALL FINAL LANDSCAPING AND PLANTING PER PROJECT REQUIREMENTS AND PROCEDURES PRESENTED ON THE APPROVED PCSM PLAN. IN ORDER TO ENSURE RAPID VEGETATION GROWTH, PLANTING AND SEEDING SHOULD BE DONE ONLY DURING THE GERMINATING SEASON.
20. CRITICAL STAGE OF BMP IMPLEMENTATION – INSTALL SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) AS SHOWN ON THE PLAN AND IN THE DETAILS. REMOVE TEMPORARY PIPE ACROSS BED. EXCAVATE TO FINAL BOTTOM ELEVATION, WHILE CAREFULLY PROTECTING THE BOTTOM FROM COMPACTION. INSTALL STONE UP TO PIPE INVERT, AND INSTALL PERFORATED PIPE ACROSS FACILITY. BACKFILL FACILITY TO TOP ELEVATION.
21. INSTALL BITUMINOUS BINDER COURSE ON THE SITE DRIVEWAYS AND PARKING AREAS ONCE MAJOR EXTERIOR BUILDING CONSTRUCTION, ALL UTILITY CONSTRUCTION, AND INSTALLATION OF SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) ARE SUBSTANTIALLY COMPLETED.
22. CRITICAL STAGE OF BMP IMPLEMENTATION – CONVERT THE TEMPORARY SEDIMENT TRAP INTO PERMANENT SURFACE INFILTRATION/DETENTION BASIN (POND 2), AS PER THE DETAILS PROVIDED ON THE PCSM PLAN, WHEN THE ENTIRE WATERSHED IS COMPLETELY STABILIZED. ALL SEDIMENT MUST FIRST BE REMOVED FROM THE FACILITY AND REDIRECTED TO AN AREA OF IN ACCORDANCE WITH DEP REGULATIONS. PERFORM NECESSARY FINAL GRADING AND RE-SHAPE THE BOTTOM OF SURFACE INFILTRATION/DETENTION BASIN (POND 2) TO MATCH PROPOSED ULTIMATE CONTOURS AS SHOWN ON THE GRADING PLAN. EXCAVATE THE BOTTOM FROM THE TEMPORARY ELEVATION OF 572.80 TO THE PERMANENT ELEVATION OF 571.00. ONCE PERMANENT FINISHED GRADE IS ACHIEVED, DO NOT COMPACT THE BOTTOM OR ALLOW SEDIMENT TO ENTER THE BASIN AND DEGRADE THE INFILTRATION CAPACITY OF THE SOILS. ALL DISTURBED SOIL ASSOCIATED WITH FACILITY CONVERSION WORK MUST BE SEEDED, MULCHED, AND MATTED IMMEDIATELY IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN. INSTALL PROPOSED TOPSOIL MIXTURE, PLANTINGS, AND GRASS SEEDING MIXTURES PER THE PROJECT SPECIFICATIONS.
23. UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE CUMBERLAND COUNTY CONSERVATION DISTRICT FOR ANY INSPECTION PRIOR TO REMOVAL OF THE E&S BMPs.
24. ONCE APPROVED BY THE COUNTY CONSERVATION DISTRICT, REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES. PERMANENTLY RE-SEED, MULCH, AND MAT WHERE APPLICABLE. ANY REMAINING AREAS WHICH REMAIN DISTURBED OR HAVE NOT BEEN ESTABLISHED FROM PREVIOUS SEEDING APPLICATIONS IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN.
25. INSTALL SITE SIGNAGE, FINAL WEARING COURSE, PAVEMENT MARKINGS, AND OTHER INCIDENTAL CONSTRUCTION ITEMS AS NECESSARY.
26. CONTACT THE CONSERVATION DISTRICT IN ORDER TO REQUEST A FINAL SITE INSPECTION AS NECESSARY.
27. PER NEW NPDES REQUIREMENTS, "WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE N.O.T. IF SOONER, THE PERMITTEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSE PROFESSIONAL AND BY THE PERMITTEE CERTIFYING THAT THE CONSTRUCTION WITHIN THE PERMITTED DISTURBED AREAS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS. COMPLETION CERTIFICATES ARE NEEDED TO ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT AND THE APPROVED E&S AND PCSM PLANS."

MAINTENANCE OF E&S CONTROL DEVICES:

THE SOIL EROSION AND SEDIMENTATION CONTROLS UTILIZED IN THE DEVELOPMENT OF THIS PLAN SHALL BE ROUTINELY MAINTAINED IN ORDER TO KEEP THEM FUNCTIONING PROPERLY UNTIL SITE STABILIZATION OCCURS. THE CONTRACTOR SHALL PERFORM CERTAIN PERIODIC DUTIES IN ORDER TO ASSURE PROPER CONTROL. MAINTENANCE OF THE VARIOUS EROSION AND SEDIMENTATION CONTROLS SHALL INCLUDE, AT A MINIMUM, THE FOLLOWING GENERAL MAINTENANCE PROCEDURES OUTLINED BELOW.

MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENTATION MEASURES AFTER EACH SIGNIFICANT RUNOFF EVENT AND ON A WEEKLY BASIS BY A QUALIFIED PERSON TRAINED AND EXPERIENCED IN EROSION AND SEDIMENTATION CONTROL AND WHO HAS SITE SUPERVISOR RESPONSIBILITIES, TO ASCERTAIN THAT THE EROSION CONTROL MEASURES ARE OPERATIONAL AND EFFECTIVE IN PREVENTING SEDIMENT FROM LEAVING THE SITE. A WRITTEN REPORT OF EACH INSPECTION SHALL BE KEPT AND INCLUDE: A SUMMARY OF SITE CONDITIONS, BMPs AND COMPLIANCE, AND THE DATE, TIME, AND THE NAME OF THE PERSON CONDUCTING THE INSPECTION. ALL SITE INSPECTIONS WILL BE DOCUMENTED IN AN INSPECTION LOG KEPT FOR THIS PURPOSE INCLUDING THE COMPLIANCE ACTIONS, DATE, TIME AND NAME OF THE PERSON CONDUCTING THE INSPECTION. THE INSPECTION LOG SHALL BE KEPT ON SITE AT ALL TIMES AND MADE AVAILABLE TO THE CONSERVATION DISTRICT UPON REQUEST.

MISCELLANEOUS ADJUSTMENTS AND CORRECTIONS SHALL BE MADE TO ANY EROSION CONTROL STRUCTURE AS DEEMED NECESSARY BY THE ENGINEER, TOWNSHIP OFFICIAL, OR CUMBERLAND COUNTY CONSERVATION DISTRICT REPRESENTATIVE IN ORDER TO CORRECT UNFORESEEN PROBLEMS.

SEDIMENT TRAP:

1. A "CLEAN-OUT" ELEVATION WILL BE CLEARLY INDICATED ON THE PLAN DRAWINGS. THIS ELEVATION WILL BE IDENTIFIED BY AN APPROPRIATE STRUCTURE OR DEVICE WITHIN THE SEDIMENT TRAP TO INDICATE WHEN SEDIMENT REMOVAL OR DISPOSAL OPERATIONS ARE NECESSARY.
2. WATER IMPOUNDED IN SEDIMENT TRAP SHALL BE USED FOR DUST CONTROL WHENEVER POSSIBLE.
3. DIVERSION SWALES TRIBUTARY TO THE SEDIMENT BASIN/TRAP SHALL BE REGULARLY CLEANED AND RE-SHAPED TO MAINTAIN THE DESIGN DIMENSION AND CAPACITY.
4. SEDIMENT WILL NOT BE ALLOWED TO ENTER THE WATERS OF THE COMMONWEALTH DURING EITHER SEDIMENT REMOVAL OR DISPOSAL OPERATIONS.
5. SEDIMENT TRAP MUST BE PROTECTED FROM UNAUTHORIZED ACTS OF THIRD PARTIES.
6. RIPRAP APRONS SHALL BE MAINTAINED IN THE POSITION AND TO THE DIMENSION AS SHOWN ON THE DETAIL. ANY SLIDING OR DISPLACEMENT OF ROCKS SHALL BE IMMEDIATELY CORRECTED. THE FILTER SOCK SHALL BE MAINTAINED IN ITS DESIGNED POSITION AND SEDIMENT SHALL BE REMOVED WHEN IT REACHED $\frac{1}{2}$ THE HEIGHT OF THE FILTER SOCK.
7. THE SEDIMENT TRAP SHALL BE MONITORED AND SEDIMENT SHALL BE REMOVED FROM THE TRAP AND PROPERLY DISPOSED OF WHEN IT REACHES THE SPECIFIED CLEAN-OUT ELEVATION.
8. ALL EMBANKMENT CONSTRUCTION SHALL REMAIN WATERTIGHT AND FREE FROM EROSION OR PIPING OF SOILS.
9. CLEAN-OUT MARKERS SHALL BE LOCATED AT HALFWAY POINTS WHERE RUNOFF ENTERS AND LEAVES THE CONTROL FACILITY.

FILTER SOCK:

1. THE FILTER SOCK SHALL BE INSPECTED AFTER EVERY PRECIPITATION EVENT. ANY NECESSARY REPAIRS WILL BE MADE IMMEDIATELY.
2. ACCUMULATED SEDIMENT SHALL BE REMOVED AS REQUIRED TO KEEP THE DEVICES FUNCTIONAL. IN ALL CASES, REMOVE DEPOSITS WHERE ACCUMULATIONS REACH $\frac{1}{4}$ ABOVE THE GROUND HEIGHT OF THE DEVICE.
3. ALL UNDERCUTTING OR EROSION OF THE TOE ANCHOR OR BASE SHALL BE REPAIRED IMMEDIATELY WITH COMPACTED BACKFILL MATERIAL.
4. ADHERE TO ANY MANUFACTURER'S RECOMMENDATIONS FOR REPLACING FILTER SOCK.
5. ANY DEBRIS ACCUMULATED AT SILT SOCK BARRIERS SHALL BE REMOVED AND PROPERLY DISPOSED IN A RESPONSIBLE MANNER. BARRIERS SHALL BE CHECKED AND REALIGNED OR RESET AS REQUIRED, ANY DEBRIS OR SOLID WASTE MATERIAL ACCUMULATED FROM CONSTRUCTION ACTIVITIES SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN AN APPROVED LANDFILL. CONSTRUCTION WASTE SHALL NOT BE BURIED ON THE SUBJECT SITE.

ROCK CONSTRUCTION ENTRANCE:

1. AT A MINIMUM, ROCK CONSTRUCTION ENTRANCES SHOULD BE CONSTRUCTED TO THE LENGTH, WIDTH, AND THICKNESS DIMENSIONS SHOWN ON THE CONSTRUCTION DETAILS.
2. ROCK CONSTRUCTION ENTRANCES WITH WASH RACKS SHALL BE MAINTAINED TO THE SPECIFIED DIMENSION BY ADDING ROCK WHEN NECESSARY AT THE END OF EACH WORKDAY. A STOCKPILE OF THE APPROPRIATE ROCK MATERIAL SHOULD BE MAINTAINED ON SITE FOR THIS PURPOSE.
3. AT THE END OF EACH CONSTRUCTION DAY, ALL SEDIMENT DEPOSITED ON PUBLIC ROADWAYS WILL BE REMOVED AND RETURNED TO THE SITE. WASHING OF THE ROADWAY IS NOT PERMITTED. WASHING OF THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.
4. DAMAGED CONSTRUCTION ENTRANCES RACKS SHOULD BE REPAIRED AS NECESSARY TO MAINTAIN THEIR EFFECTIVENESS.
5. ROCK CONSTRUCTION ENTRANCES SHALL BE CLEANED AND REDRESSED WHEN VOIDS BECOME CHOKED WITH MUD AND SEDIMENT.
6. GEOTEXTILE FABRIC SHALL BE INSTALLED UNDER ALL ROCK CONSTRUCTION ENTRANCES TO KEEP SOIL FROM PUMPING AND PENETRATING INTO THE STRUCTURE.

INLET PROTECTION:

1. STANDARD TYPE C AND TYPE M INLETS SHALL USE A WIRE MESH AND STONE INLET PROTECTION DEVICE AS PER THE STANDARD CONSTRUCTION DETAILS SHOWN ON THE APPROVED SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
2. INLET PROTECTION DEVICES SHALL BE INSPECTED REGULARLY AND AFTER EACH MEASURABLE PRECIPITATION EVENT.
3. SEDIMENT SHALL BE REMOVED FROM THE DEVICE WHEN THE DEPTH OF SEDIMENT IS $\frac{1}{3}$ OF THE TOTAL HEIGHT.
4. STONE WHICH BECOMES CHOKED WITH SEDIMENT AND IS NOT FUNCTIONAL SHALL BE REMOVED AND REPLACED WITH CLEAN STONE.

CONCRETE WASHOUT FACILITY:

1. REMOVE MATERIAL AND CLEAN WASHOUT FACILITY WHEN THE DEPTH OF THE CONCRETE WASHOUT WATER REACHES 50% OF THE FILTER RING HEIGHT.
2. REPLACE THE GEOMEMBRANE LINER WITH EACH CLEANING. FOLLOW INSTALLATION NOTES IN THE COMPOST SOCK WASHOUT FACILITY CONSTRUCTION DETAIL.

PUMPED WATER FILTER BAG:

1. FILTER BAGS SHALL BE INSPECTED DAILY. IMMEDIATELY DISPOSE OF BAGS WHICH ARE SPLIT OR TORN.
2. DO NOT USE BAGS WHICH ARE GREATER THAN $\frac{1}{2}$ FULL. WHEN BAGS REACH THAT CAPACITY, THEY SHALL BE REPLACED AND THE SEDIMENT SHALL BE PROPERLY DISPOSED.
3. REGULARLY INSPECT THE OPERATION OF FILTER BAGS TO ENSURE THAT THEY ARE LOCATED ON RELATIVELY FLAT, WELL VEGETATED AREAS AND THAT THE OUTFLOW IS BEING DISCHARGED TO A STABLE, EROSION RESISTANT AREA.

EROSION CONTROL MATTING:

1. EROSION CONTROL MATTING SHOULD BE INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. FOR ROLLED BLANKETS, THE AREA SHOULD BE SMOOTH AND UNIFORM TO ENSURE CONTINUOUS CONTACT BETWEEN THE BLANKET AND UNDERLYING SOIL.
2. A COPY OF THE INSTALLATION PROCEDURE IS INCLUDED IN THE CONSTRUCTION DETAILS. THE MINIMUM STANDARDS ARE BASED ON THE PRODUCT SPECIFIED.

STREET SWEEPING:

1. AT ANY TIME DURING CONSTRUCTION WHEN SOIL IS TRACKED ONTO THE ROADWAY, PARKING LOT PAVEMENT, OR DRIVEWAY PAVEMENT, THE SURFACE SHALL BE SWEEP IMMEDIATELY TO PREVENT CONVEYANCE OF SOIL FROM PROJECT AREA TO STORM SEWER OR SURFACE WATERS OF THE COMMONWEALTH OF PA.

POTENTIAL THERMAL IMPACTS:

POTENTIAL THERMAL IMPACTS FROM PROPOSED IMPROVEMENTS WILL BE AVOIDED, MINIMIZED OR MITIGATED THROUGH THE FOLLOWING:

1. HEATED STORMWATER RUNOFF FROM PROPOSED PAVED AREAS AND FROM THE BUILDING ROOF AREAS WILL BE COLLECTED AND CONVEYED TO THE FERVOUS SEDIMENT TRAP DURING CONSTRUCTION AND TO PERMANENT INFILTRATION/DETENTION BASIN POST CONSTRUCTION. THIS WILL PROMOTE INFILTRATION OF THE INITIAL RUNOFF OR 'FIRST FLUSH' WHICH IS MOST AFFECTED BY THERMAL IMPACTS, AND PREVENT THE AFFECTED RUNOFF FROM ENTERING SURFACE WATERS.
2. RUNOFF FROM THE BUILDING ROOFTOP WILL BE COLLECTED, CONVEYED DIRECTLY TO A SUBSURFACE INFILTRATION/DETENTION BASIN WITHOUT EXPOSURE TO ELEVATED TEMPERATURES ASSOCIATED WITH PAVEMENT RUNOFF.
3. LITTERING BY CONSTRUCTION CREWS WILL BE DISCOURAGED/POLICED, AND HOUSEKEEPING OF ALL PROJECT AREAS WILL BE ENCOURAGED.
4. WHENEVER POSSIBLE, REUSABLE WASTES WILL BE SEPARATED FOR RECYCLING.
5. ALL RECYCLING AND DISPOSAL OF CONSTRUCTION WASTE, INCLUDING MATERIALS WITH AND FROM THE BMPs SHALL BE IN ACCORDANCE WITH LOCAL AND STATE RULES AND REGULATIONS FOR WASTE MANAGEMENT.
6. MATERIALS WITH AND FROM THE BMPs, EXCESS SOIL AND ROCK, BUILDING MATERIALS, CONCRETE AND CONCRETE WASH WATER, SANITARY WASTE AND ANY OTHER MATERIALS THAT COULD ADVERSELY IMPACT SURFACE OR GROUND WATER QUALITY.

GEOLOGIC FORMATIONS - POLLUTION CONCERNS:

BASED ON AVAILABLE INFORMATION, PROPOSED IMPROVEMENTS ARE NOT LOCATED ON CARBONATE GEOLOGY. NO POTENTIAL POLLUTION CONCERNS RELATED TO GEOLOGIC FORMATION HAVE BEEN IDENTIFIED.

IMPLICATIONS & RESOLUTIONS OF SOIL TYPES:

1. IN GENERAL, THERE ARE NO KNOWN UNUSUAL SITE CHARACTERISTICS THAT ARE UNLIKE THOSE FOUND ELSEWHERE IN THE REGION WHERE SIMILAR SOILS ARE PRESENT.
2. ANY ROCK ENCOUNTERED WILL BE RIPPED OR BLASTED AS NECESSARY, AND USED FOR COMPACTED FILL IN OTHER AREAS OR REMOVED FROM THE SITE.
3. SLOPE WILL NOT BE AN ADVERSE FACTOR TO CONSTRUCTION. SLOPES WILL BE RE-SHAPED PER THE PROPOSED GRADING PLAN AND TYPICALLY WILL BE 3:1 OR FLATTER. ANY ACCELERATED RUNOFF OR EROSION FROM SLOPES WILL BE HANDLED BY EROSION CONTROL MATTING AND SILT SOCK ON THE SITE.
4. DRAINAGE WITHIN THE PROJECT AREA WILL BE ACCOMMODATED BY PROPOSED GRADING, STORM PIPING AND SWALES. THE GROUND SURFACE WILL BE RESHAPED, COMPACTED AND STABILIZED CONSISTENT WITH THE PROPOSED GRADING PLAN CONTAINED HEREIN.
5. AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
6. ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
7. ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
8. FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
9. FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
10. FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
11. SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.
12. SEE SOIL EROSION AND SEDIMENTATION CONTROL PLAN, SHEET ES-1 OF 4, FOR ADDITIONAL INFORMATION.

STABILIZATION SPECIFICATIONS:

1. UPON TEMPORARY CESSATION OF AN EARTH DISTURBANCE ACTIVITY OR ANY STAGE OR PHASE OF AN ACTIVITY WHERE A CESSATION OF EARTH DISTURBANCE ACTIVITIES WILL EXCEED 4 DAYS, THE SITE SHALL BE IMMEDIATELY SEEDED, MULCHED, OR OTHERWISE PROTECTED FROM ACCELERATED EROSION AND SEDIMENTATION PENDING FUTURE EARTH DISTURBANCE ACTIVITIES.
2. PERMANENT STABILIZATION IS DEFINED AS A MINIMUM UNIFORM 70% PERENNIAL VEGETATIVE COVER OR OTHER PERMANENT NON-VEGETATIVE COVER WITH A DENSITY SUFFICIENT TO RESIST ACCELERATED SURFACE EROSION AND SUBSURFACE CHARACTERISTICS SUFFICIENT TO RESIST SLIDING AND OTHER MOVEMENTS.
3. TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED AT THE LOCATION(S) SHOWN ON THE PLAN DRAWINGS IN THE AMOUNT NECESSARY TO COMPLETE THE FINISH GRADING OF ALL EXPOSED AREAS THAT ARE TO BE STABILIZED BY VEGETATION. EACH STOCKPILE SHALL BE PROTECTED IN THE MANNER SHOWN ON THE PLAN DRAWINGS. TOPSOIL STOCKPILE HEIGHTS SHALL NOT EXCEED 35 FEET. STOCKPILE SIDE SLOPES MUST BE 2:1 OR FLATTER.
4. AREAS WHICH ARE TO BE TOPSOILED SHALL BE SCARIFIED TO A MINIMUM DEPTH OF 3 TO 5 INCHES – 6 TO 12 INCHES ON COMPACTED SOILS – PRIOR TO PLACEMENT OF TOPSOIL. AREAS TO BE VEGETATED SHALL HAVE A MINIMUM 4 INCHES OF TOPSOIL IN PLACE PRIOR TO SEEDING AND MULCHING. FILL OUTSLOPES SHALL HAVE A MINIMUM OF 2 INCHES OF TOPSOIL.
5. TOPSOIL SHALL NOT BE PLACED WHILE THE TOPSOIL OR SUBSOIL IS IN A FROZEN OR MUDDY CONDITION, WHEN THE SUBSOIL IS EXCESSIVELY WET, OR WHEN THE ROADWAY IS NOT PERMITTED. WASHING OF THE ROADWAY TO APPLY TOPSOIL OR IN REPAIRATION, COMPACTED SOILS SHOULD BE SCARIFIED 6 TO 12 INCHES ALONG CONTOUR WHENEVER POSSIBLE PRIOR TO SEEDING.
6. IMMEDIATELY AFTER EARTH DISTURBANCE ACTIVITIES CEASE, THE OPERATOR SHALL STABILIZE THE DISTURBED AREAS. DURING NON-GERMINATING PERIODS, MULCH MUST BE APPLIED AT THE SPECIFIED RATES. DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE TEMPORARY VEGETATIVE STABILIZATION SPECIFICATIONS. DISTURBED AREAS WHICH ARE AT FINAL GRADE OR WHICH WILL NOT BE RE-DISTURBED WITHIN 1 YEAR MUST BE STABILIZED IN ACCORDANCE WITH THE PERMANENT VEGETATIVE STABILIZATION SPECIFICATIONS.
7. AN EROSION CONTROL BLANKET WILL BE INSTALLED ON ALL DISTURBED SLOPES 3:1 OR STEEPER, ALL AREAS OF CONCENTRATED FLOWS, AND DISTURBED AREAS WITHIN 50' OF A SURFACE WATER.

GENERAL E & S NOTES:

1. A COPY OF THE APPROVED EROSION AND SEDIMENT CONTROL PLAN MUST BE AVAILABLE AT THE PROJECT SITE AT ALL TIMES. THE EXTERIOR AND COUNTY CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES TO THE APPROVED PLAN PRIOR TO IMPLEMENTATION OF THOSE CHANGES. THE DISTRICT MAY REQUIRE A WRITTEN SUBMITTAL OF THOSE CHANGES FOR REVIEW AND APPROVAL AT ITS DISCRETION.
2. IMMEDIATELY UPON DISCOVERING UNFORESEEN CIRCUMSTANCES POSING THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION, THE OPERATOR SHALL IMPLEMENT APPROPRIATE BEST MANAGEMENT PRACTICES TO MINIMIZE THE POTENTIAL FOR ACCELERATED EROSION AND/OR SEDIMENT POLLUTION AND NOTIFY THE CUMBERLAND COUNTY CONSERVATION DISTRICT.
3. ALL PUMPING OF SEDIMENT LADEN WATER SHALL BE THROUGH A SEDIMENT CONTROL BMP, SUCH AS A PUMPED WATER FILTER BAG OR EQUIVALENT SEDIMENT REMOVAL FACILITY, OVER UNDISTURBED VEGETATED AREAS.
4. FAILURE TO CORRECTLY INSTALL E&S BMPs, FAILURE TO PREVENT SEDIMENT LADEN RUNOFF FROM LEAVING THE EARTH DISTURBANCE ACTIVITY, OR FAILURE TO TAKE IMMEDIATE CORRECTIVE ACTION TO RESOLVE FAILURE OF E&S BMPs MAY RESULT IN ADMINISTRATIVE, CIVIL, AND/OR CRIMINAL PENALTIES BEING INSTITUTED BY THE DEPARTMENT AS DEFINED IN SECTION 602 OF THE PENNSYLVANIA CLEAN STREAMS LAW. THE CLEAN STREAMS LAW PROVIDES FOR UP TO \$10,000 PER DAY IN CIVIL PENALTIES, UP TO \$10,000 IN SUMMARY CRIMINAL PENALTIES, AND UP TO \$25,000 IN MISDEMEANOR CRIMINAL PENALTIES FOR EACH VIOLATION.
5. ALL BUILDING MATERIALS AND WASTES SHALL BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH THE DEPARTMENT'S SOLID WASTE MANAGEMENT REGULATIONS AT PA CODE 260.1 et. seq., 271.1, AND 287.1 et. seq. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
6. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE REMOVAL OF ANY EXCESS MATERIAL AND MAKE SURE THE SITE(S) RECEIVING THE EXCESS HAS AN APPROVED AND FULLY IMPLEMENTED EROSION AND SEDIMENT POLLUTION CONTROL PLAN THAT MEETS THE CONDITIONS OF CHAPTER 102 AND/OR OTHER STATE OR FEDERAL REGULATIONS.
7. CLEAN FILL IS DEFINED AS: UNCONTAMINATED, NON-WATER SOLUBLE, NON-DECOMPOSABLE, INERT, SOLID MATERIAL. THE TERM INCLUDES SOIL, ROCK, STONE, DRUM, OR OTHER MATERIAL. USED ASPHALT AND BRICK BLOCK OR CONCRETE FROM CONSTRUCTION OR DEMOLITION ACTIVITIES THAT IS SEPARATE FROM OTHER WASTE AND IS RECOGNIZABLE AS SUCH. THE TERM DOES NOT INCLUDE MATERIALS PLACED IN OR ON THE WATERS OF THE COMMONWEALTH UNLESS OTHERWISE AUTHORIZED. (THE TERM 'USED ASPHALT' DOES NOT INCLUDE MILLED ASPHALT OR ASPHALT THAT HAS BEEN PROCESSED FOR RE-USE.)
8. ANY PLACEMENT OF CLEAN FILL THAT HAS BEEN AFFECTED BY A SPILL OR RELEASE OF A REGULATED SUBSTANCE MUST USE FORM FP-001 TO CERTIFY THE ORIGIN OF THE FILL MATERIAL AND THE RESULTS OF THE ANALYTICAL TESTING TO QUALIFY THE MATERIAL AS CLEAN FILL. FORM FP-001 MUST BE RETAINED BY THE OWNER OF THE PROPERTY RECEIVING THE FILL.
9. ENVIRONMENTAL DUE DILIGENCE MUST BE

LIST OF PROPOSED PCSM BMPs

1. SUBSURFACE DETENTION/INFILTRATION BASIN
2. SURFACE DETENTION/INFILTRATION BASIN
3. STREET SWEEPING

RECEIVING WATER/CLASSIFICATION

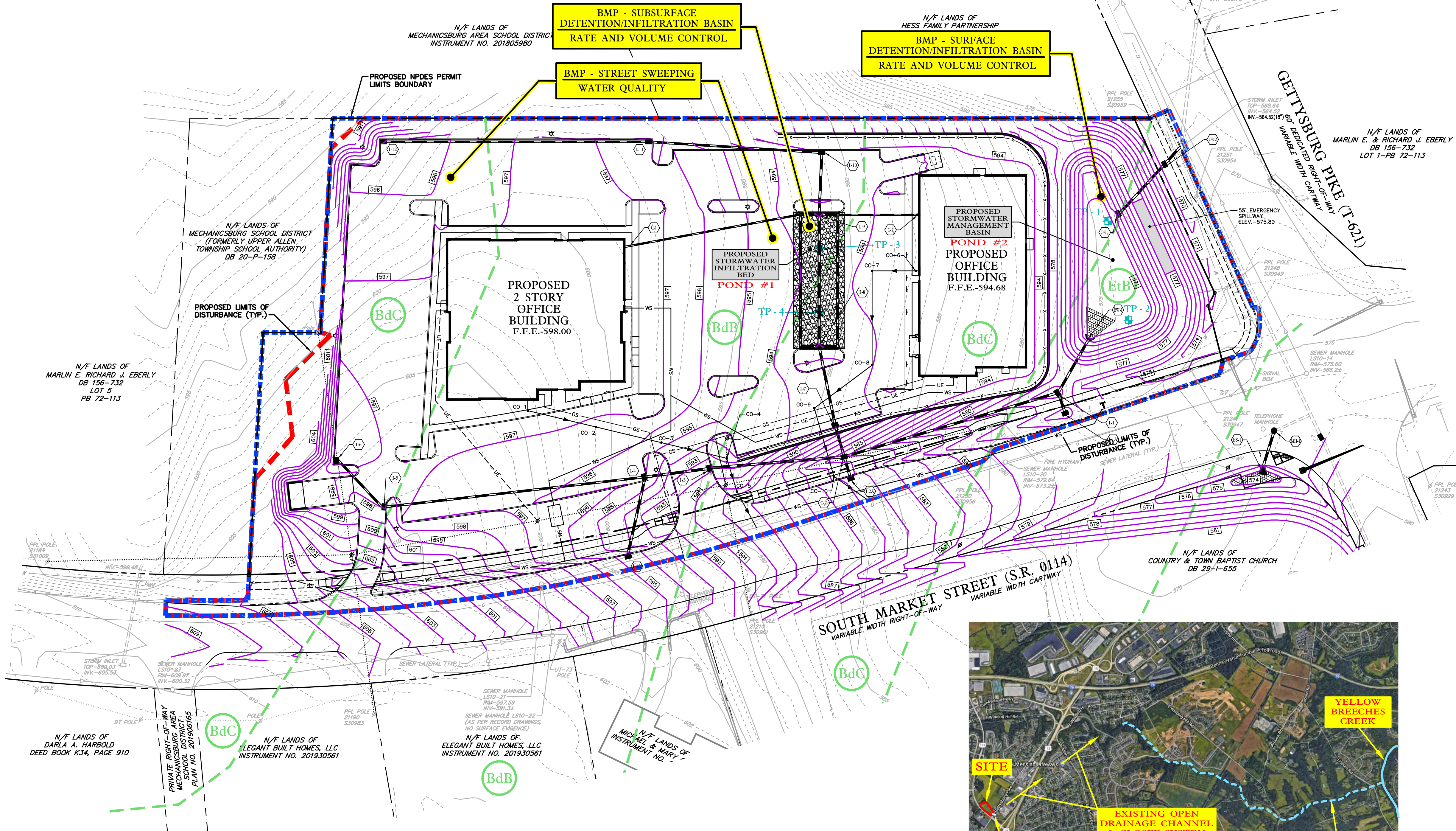
NAME: UNNAMED TRIBUTARY TO YELLOW BREECHES
CLASSIFICATION: CWF/MF

LIMITS OF DISTURBANCE

4.07 ACRES / 177,289 S.F.

NPDES PERMIT BOUNDARY

4.24 ACRES / 184,871 S.F.



LEGEND:

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED CONTOUR
- APPROXIMATE LOCATION OF EXISTING SANITARY SEWER MANHOLE & LINE
- PROPOSED SANITARY SEWER MANHOLE & SERVICE LINE
- APPROXIMATE LOCATION OF EXISTING STORM INLET & PIPE
- PROPOSED STORM SEWER INLET & LINE
- APPROXIMATE LOCATION OF EXISTING WATER LINE
- PROPOSED WATER SERVICE
- APPROXIMATE LOCATION OF EXISTING GAS LINE
- PROPOSED GAS SERVICE
- APPROXIMATE LOCATION OF OVERHEAD ELEC. & TELE. LINE
- APPROXIMATE LOCATION OF UNDERGROUND ELECTRIC LINE
- EXISTING FIRE HYDRANT
- PROPOSED FIRE HYDRANT
- EXISTING UTILITY POLE
- PROPOSED LIGHT POLE
- EXISTING SIGN
- PROPOSED SIGN
- EXISTING TREE

NATIVE SOIL TYPE:

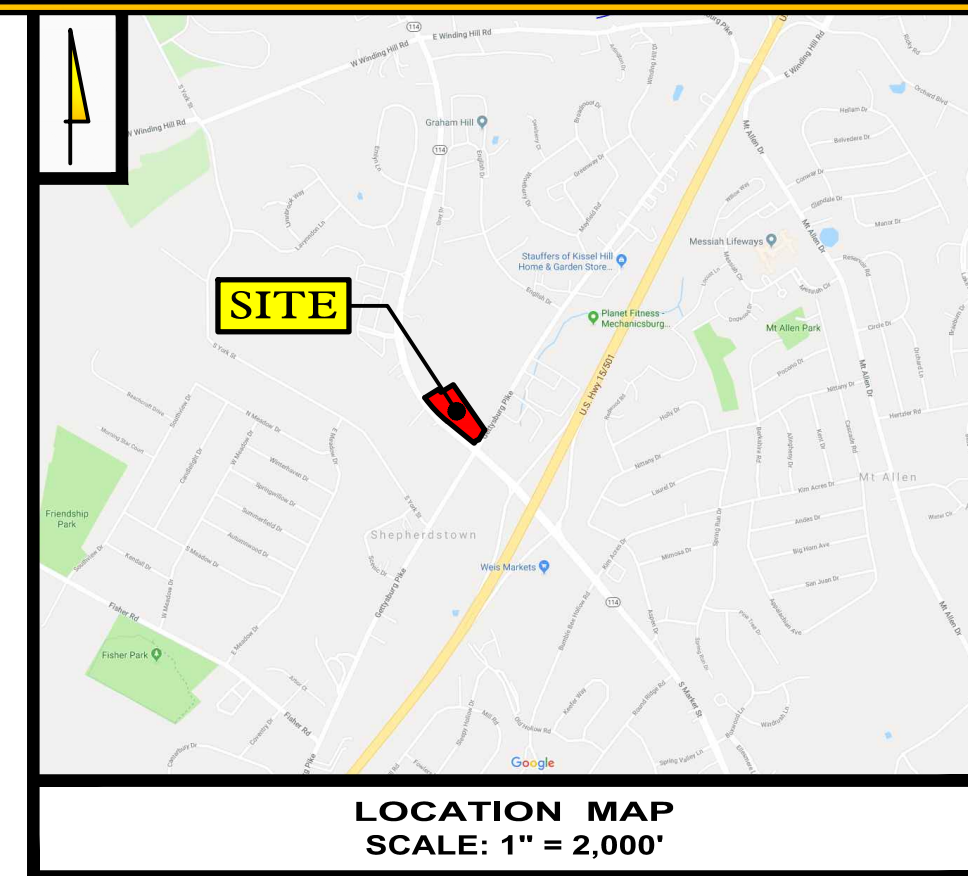
- BdB** BEDINGTON SHALY SILT LOAM
3%-8% SLOPES
- BdC** BEDINGTON SHALY SILT LOAM
8%-15% SLOPES
- EtB** ERNEST SILT LOAM
3%-8% SLOPES

PCSM LEGEND:

- LIMITS OF DISTURBANCE
- LIMITS OF NPDES PERMIT BOUNDARY

RECEIVING SURFACE WATER:

STORMWATER FROM THE SITE WILL BE DISCHARGED IN A CONTROLLED MANNER TO AN EXISTING STORM INLET LOCATED IN THE GETTYSBURG PIKE RIGHT-OF-WAY. SAID INLET IS PART OF A COLLECTION/CONVEYANCE SYSTEM OWNED AND MAINTAINED BY UPPER ALLEN TOWNSHIP UNDER THEIR MUNICIPAL MS-4 PERMIT. FROM THAT INLET, STORMWATER IS CONVEYED TO THE NORTH AND EAST VIA A CLOSED SYSTEM AND OPEN CHANNELS TO AN UNNAMED TRIBUTARY TO YELLOW BREECHES CREEK.



TP-X INDICATES APPROXIMATE INFILTRATION TEST LOCATION

LOCATION	SURFACE ELEVATION	TEST ELEVATION (FT.)	INFILTRATION RATE (IN/HR)
TP-1	573.5	572.5	5.64*
TP-2	573.5	573.0	1.50*
TP-3	592.6	587.6	2.86*
TP-4	591.2	586.2	3.70*

*A DESIGN INFILTRATION RATE OF 2.5 WAS ESTABLISHED BY AVERAGING INFILTRATION TEST RESULTS AND APPLYING A SAFETY FACTOR

Williams SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958

DOUGLAS S. GOSIK
REGISTERED PROFESSIONAL ENGINEER
NO. 04760-E
DOUGLAS S. GOSIK, P.E.
ENGINEER

LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
POST CONSTRUCTION STORMWATER MANAGEMENT PLAN
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

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BENCHMARK:
RIM OF SANITARY SEWER MANHOLE LSTO-13
LOCATED ALONG GETTYSBURG PIKE TO THE NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)

GRAPHIC SCALE
40 0 20 40 80
(IN FEET)
1 inch = 40 ft.

DESIGN BY: G.R.S. DRAWN BY: B.E.R. CHECKED BY: D.S.G.
WSC PROJECT NUMBER: GPIKE-UA-OFFICE-FINAL
SCALE: 1" = 40'
DATE: SEPTEMBER 27, 2019
SHEET 7 OF 15

W:\2018 Land Projects\G Pike Assoc - U Allen Twp\CADD\fig LD Plans\GPKE-UA-OFFICE-PCSM-NOTES.dwg, 2/12/2020 3:07:17 PM, briley

PCSM PLAN STATEMENT OF INTENT:

THROUGH RESTRICTION OF THE DEVELOPMENT FOOTPRINT AREA AND USE OF EXISTING SITE INFRASTRUCTURE, AND IMPLEMENTATION OF PCSM BMPs AND OTHER MEASURES CONTAINED HEREIN, THIS POST CONSTRUCTION STORMWATER MANAGEMENT PLAN:

- PREVENTS AN INCREASE IN RATE OF STORMWATER RUNOFF, MINIMIZES ANY INCREASE IN STORMWATER RUNOFF VOLUME, AND OTHERWISE PREVENTS/MINIMIZES CHANGES IN STORMWATER RUNOFF.
- PRESERVES THE INTEGRITY OF STREAM CHANNELS AND MAINTAINS AND PROTECTS THE PHYSICAL, BIOLOGICAL AND CHEMICAL QUALITIES OF WILLIS RUN
- MAXIMIZES THE PROTECTION OF EXISTING DRAINAGE FEATURES AND EXISTING VEGETATION.
- MINIMIZES IMPERVIOUS AREAS, SOIL COMPACTION AND AREAS OF LAND CLEARING AND GRADING.

CONSTRUCTION, OWNERSHIP & MAINTENANCE OF STORMWATER / BMP FACILITIES:

OWNERSHIP AND MAINTENANCE OF ALL STORMWATER MANAGEMENT AND OTHER ON-SITE BMPs SHALL BE THE RESPONSIBILITY OF THE APPLICANT. ANY SUBSEQUENT PROPERTY OWNERS SHALL ALSO PRIVATELY OWN AND MAINTAIN SAID BMPs THEREAFTER TO ASSURE THAT THE CONDITION AND FUNCTIONALITY OF THE FACILITIES REMAINS AS DESIGNED AND INTENDED. THE APPLICANT SHALL ALSO BE RESPONSIBLE FOR INSPECTING AND MONITORING ALL SYSTEMS AND DOCUMENTING SAID ACTIVITY ON A REGULAR BASIS IN ACCORDANCE WITH THE FOLLOWING GENERAL PRACTICES:

SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1)

- SEQUENCE OF CONSTRUCTION
 - INSTALL TEMPORARY SEDIMENT CONTROL BMPs TO PREVENT CONTAMINATION OF INFILTRATION AREAS BY SILT AND SEDIMENT UNTIL COMPLETELY STABILIZED.
 - EXCAVATE THE INFILTRATION BMP TO PROPOSED SUBGRADE INVERT DEPTH AND SCARIFY THE EXISTING SOIL SURFACES. DO NOT COMPACT IN-SITU SOIL DURING INITIAL EXCAVATION. CONSTRUCTION EQUIPMENT AND VEHICLES SHALL BE LIMITED TO RUBBER-TIRED VEHICLES TO THE EXTENT POSSIBLE.
 - PLACE CLEAN, OPEN STONE THROUGHOUT THE ENTIRE BMP AREA.
 - A LICENSED PROFESSIONAL OR DESIGNEE SHOULD BE PRESENT ON THE SITE FOR INSPECTION/FIELD VERIFICATION DURING THE CONSTRUCTION OF THE SUBSURFACE INFILTRATION BEDS.
- INSPECTIONS
 - THE BMP SHOULD BE INSPECTED AFTER RUNOFF EVENTS AND MAKE SURE THAT RUNOFF DRAINS DOWN WITHIN 72 HOURS. MOSQUITOS SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONG BREEDING PERIOD WITH RELATIVELY STATIC WATER LEVELS.
 - INSPECTIONS OF THE BMP SHALL INCLUDE BUT NOT BE LIMITED TO:
 - COLLECTION, STORAGE AND RELEASE OF STORMWATER IN ACCORDANCE WITH THE BMP'S DESIGN
 - SEDIMENT AND DEBRIS ACCUMULATION
 - CONDITION AND GROWTH OF VEGETATION
 - GENERAL SAFETY AND OPERATION
 - DEVELOPMENT OF SINKHOLES
 - SIGNS OF WATER CONTAMINATION/SPILLS

NOTE: IF THE BMP DOES NOT DRAIN WITHIN 72 HOURS, OR IF EVIDENCE OF SINKHOLE FORMATION IS DISCOVERED UPON INSPECTION, THE BMP SHALL BE REPLACED. TO REPLACE THE BMP, REMOVE STONE AND GEOTEXTILE. EXCAVATE AT AT LEAST TWO FEET BELOW THE BOTTOM SURFACE ELEVATION. IF EVIDENCE OF SINKHOLE FORMATION IS DISCOVERED, CONTACT THE DESIGN ENGINEER AND ADAMS COUNTY CONSERVATION DISTRICT IMMEDIATELY FOR INSPECTION AND REPAIR RECOMMENDATIONS. REPAIR SINKHOLE IN ACCORDANCE WITH INSTRUCTIONS PROVIDED AT THAT TIME BY DESIGN ENGINEER AND ADAMS COUNTY CONSERVATION DISTRICT REPRESENTATIVE. REPLACE SUBSURFACE SOILS UP TO THE ORIGINAL BOTTOM SURFACE ELEVATION. THE SOIL REPLACEMENT MATERIAL SHOULD HAVE A PH BETWEEN 5.5 AND 6.5, A CLAY CONTENT LESS THAN 10%, BE FREE OF TOXIC SUBSTANCES AND UNWANTED PLANT MATERIALS, AND HAVE A 5-10% ORGANIC MATTER CONTENT. ADDITIONAL ORGANIC MATTER MAY BE ADDED TO INCREASE THE WATER HOLDING CAPACITY.

- MAINTENANCE
 - VEGETATION CONTRIBUTING TO AND ADJACENT TO THE BMP SHALL BE MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND IN ACCORDANCE WITH MUNICIPAL ORDINANCES.
 - THE SURFACE SHALL BE MAINTAINED AS PERVIOUS STONE AND MAY NOT BE PAVED, STONED, OR ALTERED IN ANY FORM WHICH WOULD GENERATE AN IMPERVIOUS SURFACE.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE BMP AS REQUIRED. PROPERLY DISPOSE OF SEDIMENT IN ACCORDANCE WITH PADEP REGULATIONS. RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATE.
 - VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON THE BMP.

SURFACE INFILTRATION/DETENTION BASIN (POND 2)

- SEQUENCE OF CONSTRUCTION
 - THE DESIGN PROFESSIONAL SHALL BE ON-SITE FOR CONSTRUCTION OF THIS BMP.
 - PROTECT INFILTRATION AREA FROM COMPACTION PRIOR TO INSTALLATION.
 - INSTALL TEMPORARY SEDIMENT CONTROL BMPs WHERE NECESSARY.
 - EXCAVATE INFILTRATION AREA TO PROPOSED SUBGRADE INVERT DEPTH A MINIMUM OF 12 INCHES BELOW THE PROPOSED SURFACE ELEVATION OF THE BMP, INCLUDING REMOVAL ALL OF SEDIMENT, SCARIFY THE EXISTING SOIL SURFACES. DURING INITIAL EXCAVATION, CONSTRUCTION EQUIPMENT SHALL BE LIMITED TO RUBBER-TIRED VEHICLES TO THE FULLEST EXTENT POSSIBLE. DO NOT COMPACT THE SUBGRADE.
 - INSTALL OUTLET STRUCTURE OS-1 TO OS-2.
 - PLACE PLANTING SOIL MIXTURE AND SPECIFIED SEED MIXTURE THROUGH THE ENTIRE BMP AREA.
 - COMPLETE FINAL GRADING TO ACHIEVE PROPOSED DESIGN ELEVATIONS AS SPECIFIED ON PLANS.
- INSPECTIONS
 - THE INFILTRATION AREA SHOULD BE INSPECTED AFTER RUNOFF EVENTS AND ENSURE THAT RUNOFF DRAINS DOWN WITH 72 HOURS. MOSQUITOES SHOULD NOT BE A PROBLEM IF THE WATER DRAINS IN 72 HOURS. MOSQUITOES REQUIRE A CONSIDERABLY LONGER TIME TO BREED.
 - INSPECTIONS OF THE BMP SHALL INCLUDE BUT NOT BE LIMITED TO:
 - STRUCTURAL INTEGRITY AND OPERATION OF THE OUTLET STRUCTURE AND APPURTENANCES.
 - COLLECTION, STORAGE, AND RELEASE OF STORMWATER IN ACCORDANCE WITH THE DESIGN OF THE FACILITY.
 - SEDIMENT AND DEBRIS ACCUMULATION.
 - CONDITION AND GROWTH OF VEGETATION.
 - CONDITION AND FUNCTIONALITY OF SPECIFIED ENGINEERED SOIL MIXTURE.
 - GENERAL SAFETY AND OPERATION.
 - DEVELOPMENT OF SINKHOLES.
 - SIGNS OF WATER CONTAMINATION/SPILLS.
 - SLOPE STABILITY IN BMP BERMS.
 - IN THE EVENT THAT A DEFICIENCY IS DISCOVERED DURING THE ABOVE INSPECTIONS, IMMEDIATE REMEDIATION SHOULD OCCUR IN ORDER TO RESTORE THE DEFICIENT BMP IN ACCORDANCE WITH THE APPROVED DESIGN.
- MAINTENANCE
 - VEGETATION CONTRIBUTING TO AND ADJACENT TO THE BMP SHALL BE MAINTAINED IN ACCORDANCE WITH THE APPROVED PLAN AND IN ACCORDANCE WITH MUNICIPAL ORDINANCES.
 - REMOVE ACCUMULATED SEDIMENT AND DEBRIS FROM THE BMP AS REQUIRED. PROPERLY DISPOSE OF SEDIMENT IN ACCORDANCE WITH PADEP REGULATIONS. RESTORE ORIGINAL CROSS-SECTION AND INFILTRATION RATES. FLOATABLE DEBRIS THAT MAY IMPACT THE OPERATION OF THE OUTLET STRUCTURE SHALL BE REMOVED IMMEDIATELY.
 - CATCH BASINS AND INLETS SHOULD BE INSPECTED AND CLEANED AT LEAST TWO TIMES PER YEAR AND AFTER RUNOFF EVENTS.
 - THE VEGETATION ALONG THE SURFACE OF THIS BMP SHOULD BE MAINTAINED IN GOOD CONDITION, AND ANY BARE SPOTS REVEGETATED AS SOON AS POSSIBLE.
 - VEHICLES SHOULD NOT BE PARKED OR DRIVEN ON THE BMP, AND CARE SHOULD BE TAKEN TO AVOID EXCESSIVE COMPACTION BY MOWERS (WHERE MOWING IS APPLICABLE).
 - F. MOW AS APPROPRIATE FOR VEGETATIVE COVER SPECIES.

DRIVEWAY / PARKING AREA SWEEPING PROGRAM

- SWEEPING PROGRAM
 - USING A MECHANICAL BROOM MACHINE THAT IS CAPABLE OF PERMANENTLY REMOVING DEBRIS AND SEDIMENT FROM PAVEMENT SURFACES, FILTER SWEEP ALL PAVEMENT SURFACES A MINIMUM OF FOUR (4) TIMES PER YEAR.
 - PERFORM SWEEPING OPERATIONS AS AN EROSION AND SEDIMENTATION CONTROL FEATURE AS WELL AS AFTER THE SITE IS COMPLETELY STABILIZED.
 - ALL DEBRIS AND SEDIMENT REMOVED DURING SWEEPING OPERATIONS MUST BE REMOVED FROM THE SITE AND RECYCLED OR DISPOSED OF IN ACCORDANCE WITH PADEP REGULATIONS.

RE-VEGETATE AND RE-Forest DISTURBED AREAS, USING NATIVE SPECIES

- LANDSCAPING PROGRAM
 - PRESERVE EXISTING VEGETATION NEAR THE NORTH CORNER OF THE SITE TO THE GREATEST DEGREE POSSIBLE DURING CONSTRUCTION.
 - INSTALL ALL PLANTINGS SHOWN ON THE LANDSCAPING PLAN. UTILIZE BEST PLANTING METHODS TO ENSURE LONG-TERM VIABILITY DUE TO THE REQUIRED STORMWATER FUNCTION OF THE PLANTINGS.
 - INSPECT LANDSCAPING EACH SPRING AND FALL. TRIM AND REMOVE BROKEN LIMBS AS NECESSARY. PROVIDE REQUIRED MAINTENANCE TO ENSURE GOOD HEALTH AND LONG-TERM VIABILITY OF PLANTINGS WITH MINIMAL CHEMICAL FERTILIZERS , HERBICIDES AND PESTICIDES. REPLACE ALL DEAD PLANTINGS TO MAINTAIN QUANTITIES SHOWN ON LANDSCAPING PLAN.

STORM SYSTEM CONVEYANCE FACILITIES

- STORM SYSTEM CONVEYANCE FACILITIES (INLETS, PIPING, ROOF LEADERS, SWALES, ETC.,) SHOULD BE INSPECTED ANNUALLY FOR PROPER FUNCTION, OPERATION, STRUCTURAL CONDITION, ACCUMULATED SEDIMENT AND DEBRIS. ANY DEFICIENCIES SHALL BE DOCUMENTED AND REPORTED FOR MAINTENANCE.

PRIOR TO RECORDING THE APPROVED POST-CONSTRUCTION STORMWATER MANAGEMENT PLAN, THE OWNER SHALL ALSO ENTER INTO A STORMWATER FACILITIES AND BMP MAINTENANCE AND MONITORING AGREEMENT WITH THE TOWNSHIP. THE AGREEMENT SHALL OUTLINE PROVISIONS FOR OWNERSHIP, MAINTENANCE AND CONTROL OF FACILITIES AS WELL AS PROVISIONS FOR ACCESS BY TOWNSHIP PERSONNEL FOR INSPECTION OF THE FACILITIES DEEMED CRITICAL TO THE PUBLIC WELFARE ON A REGULAR BASIS AND FOLLOWING MAJOR STORM EVENTS. MAINTENANCE AND OBSERVATION ACTIVITIES SHALL BE DOCUMENTED IN A REPORT AND SHALL BE MADE AVAILABLE FOR THE TOWNSHIP.

STAGING OF MAJOR CONSTRUCTION ACTIVITIES:

THE FOLLOWING IS THE RECOMMENDED STAGING OF MAJOR CONSTRUCTION ACTIVITIES FOR THE PROJECT.

- AT LEAST 7 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, INCLUDING CLEARING AND GRUBBING, THE OWNER AND/OR OPERATOR SHALL INVITE ALL CONTRACTORS, THE LANDOWNER, APPROPRIATE MUNICIPAL OFFICIALS, THE E&S PLAN PREPARER, THE PCSM PLAN PREPARER, THE LICENSED PROFESSIONAL RESPONSIBLE FOR OVERSIGHT OF CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN, AND A REPRESENTATIVE FROM THE LOCAL CONSERVATION DISTRICT TO AN ON-SITE PRECONSTRUCTION MEETING.
- AT LEAST 3 DAYS PRIOR TO STARTING ANY EARTH DISTURBANCE ACTIVITIES, OR EXPANDING INTO AN AREA PREVIOUSLY UNMARKED, THE PENNSYLVANIA ONE CALL SYSTEM INC. SHALL BE NOTIFIED AT 1-800-242-1776 FOR THE LOCATION OF EXISTING UNDERGROUND UTILITIES.
- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE SEQUENCE PROVIDED ON THE PLAN DRAWINGS. DEVIATION FROM THAT SEQUENCE MUST BE APPROVED IN WRITING BY THE LOCAL CONSERVATION DISTRICT AT AN ON-SITE PRECONSTRUCTION MEETING.
- THE LIMITS OF DISTURBANCE (LOD) SHOULD BE MARKED PRIOR TO DISTURBANCE ACTIVITIES (I.E. SURVEY STAKES, POSTS & ROPE, CONSTRUCTION FENCE, ETC.).
- INITIAL EROSION AND SEDIMENTATION CONTROL MEASURES AND BMPs MUST BE CONSTRUCTED, STABILIZED, AND OPERATIONAL BEFORE ANY EARTH DISTURBANCE WHICH IS TRIBUTARY TO THOSE MEASURES BEGINS.
- CLEAR AND GRUB, REMOVE TOPSOIL, PERFORM NECESSARY INITIAL GRADING AND INSTALL THE ROCK CONSTRUCTION ENTRANCE AT THE POINT OF ENTRANCE INTO THE SITE. VEHICLES AND EQUIPMENT MAY NEITHER ENTER DIRECTLY NOR EXIT DIRECTLY FROM THE PROJECT SITE ONTO ADJACENT ROADWAYS.
- INSTALL ALL FILTER SOCK BARRIERS ALONG THE SITE PERIMETER AS SHOWN ON THE PLAN.
- PER NEW NPDES REQUIREMENTS "UPON THE INSTALLATION OR STABILIZATION OF ALL PERIMETER SEDIMENT CONTROL BMPs AND AT LEAST 3 DAYS PRIOR TO PROCEEDING WITH THE BULK EARTH DISTURBANCE ACTIVITIES, THE PERMITEE OR CO-PERMITEE SHALL PROVIDE NOTIFICATION TO THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT."
- CONDUCT SITE DEMOLITION ACTIVITIES AND REMOVE ALL WASTE FROM THE SITE IN ACCORDANCE WITH THE DEP REGULATIONS.
- CLEAR AND GRUB, REMOVE TOPSOIL, AND PERFORM NECESSARY INITIAL GRADING ONLY WITH THE AREA DESIGNATED SURFACE INFILTRATION/DETENTION BASIN 2 (POND 2) AND CONSTRUCT THE FACILITY AS TEMPORARY SEDIMENT TRAP 1 IN ACCORDANCE WITH THE DESIGN DETAILS PRESENT ON THE PLAN. ANY EXCESS MATERIAL FROM THE BASIN EXCAVATION SHALL BE STOCKPILED IMMEDIATELY UPSLOPE OF THE TEMPORARY SEDIMENT TRAP UNTIL IT IS EITHER NEEDED FOR CONSTRUCTING OTHER INITIAL EROSION CONTROL BMPs OR MASS EARTHWORK ACTIVITIES HAVE COMMENCED ON THE SITE.
 - INSTALL THE OUTLET AND SPILLWAY SEDIMENT TRAP 1 DESIGN ELEVATIONS. INSTALL THE SPILLWAY AND CLEANOUT MARKER AS SHOWN ON THE PLAN AND DETAILS.
 - IMMEDIATELY STABILIZE BOTH OF THE FACILITY'S EMBANKMENTS, INTERNAL AND EXTERNAL SLOPES, WITH THE PRESCRIBED TEMPORARY SEED MIX, MULCH, MATTING, AND SLOPE PROTECTION (WHERE APPLICABLE).
- CLEAR AND GRUB THE ENTIRE SITE, STRIP TOPSOIL, AND STOCKPILE IN THE DESIGNATED TEMPORARY AREAS AS SHOWN ON THE PLAN. PLACE FILTER SOCK AROUND THE STOCKPILE. APPLY TEMPORARY SEEDING TO THE STOCKPILE.
- PROCEED WITH BULK SITE EXCAVATION AND ROUGH GRADING ACTIVITIES ON THE ENTIRE SITE AND BRING THE SITE AREAS TO SUBGRADE ELEVATIONS WHILE MAINTAINING PERIMETER E&S BMPs. RETAINING WALL SHALL BE CONSTRUCTED AND BACKFILLED IN LIFTS WHILE INSTALLING GEOTECHNICAL TIEBACKS AND MAINTAINING SURROUNDING ELEVATIONS. APPLY EROSION CONTROL MATTING TO THE INDICATED AREAS ON THE PLAN. AS AREAS OF THE SITE REACH SUBGRADE ELEVATION, APPROPRIATE STABILIZATION SHALL BE APPLIED TO FILL SLOPES, LAWN AREAS, ETC. TO MINIMIZE ACCELERATED EROSION.
- AS THE SITE IS BEING BROUGHT TO SUBGRADE ELEVATIONS, INSTALL STORM SEWER CONVEYANCE SYSTEMS AND ROOF DRAIN COLLECTION SYSTEMS BEGINNING AT THE DOWNSTREAM ENDS AND PROCEEDING UPSTREAM. INSTALL TEMPORARY NON-PERFORATED PIPE ACROSS AREA DESIGNATED FOR SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) TO PROTECT AREA FROM SEDIMENT. AFTER EACH INLET IS INSTALLED, IMMEDIATELY INSTALL INLET PROTECTION AROUND THE INLET AND PROP THE INLET TOP UP WITH BRICKS TO ALLOW RUNOFF TO ENTER THE STORM SEWER CONVEYANCE SYSTEM PRIOR TO CURB INSTALLATION, AND PAVING OCCURRING. ANY WATER PUMPED FROM STORM SEWER TRENCHES SHALL BE DIRECTED TO A SEDIMENT REMOVAL FACILITY SUCH AS A FILTER BAG OR APPROVED EQUAL. ALL STORM SEWER PIPING AND SEDIMENT TRAP 1 SHALL BE PERIODICALLY FLUSHED TO PREVENT EXCESSIVE SEDIMENT AND DEBRIS ACCUMULATIONS FROM BUILDING UP WITHIN PIPES, CHAMBER, AND STRUCTURES.
- ONCE THE SITE IS BROUGHT TO SUBGRADE ELEVATIONS, CONSTRUCT THE SANITARY SEWER SYSTEMS. ALSO, INSTALL ALL OTHER UTILITY SERVICE LINES AND OTHER RELATED UNDERGROUND WORK AT THIS TIME. ANY WATER PUMPED FROM UTILITY TRENCHES SHALL BE DIRECTED TO A SEDIMENT REMOVAL FACILITY SUCH AS A FILTER BAG OR APPROVED EQUAL.
- ONCE THE BUILDING PAD IS BROUGHT TO SUBGRADE ELEVATION AND THE RETAINING WALL CONSTRUCTION IS COMPLETED, BUILDING CONSTRUCTION MAY COMMENCE AT ANY TIME.
- PLACE SUBBASE MATERIAL TO STABILIZE THE SITE DRIVEWAYS AND PARKING AREAS AS SOON AS PRACTICAL. THIS WILL ELIMINATE THE ROCK CONSTRUCTION ENTRANCE.
- CONTINUE WITH GENERAL BUILDING CONSTRUCTION AND CONSTRUCTION OF OTHER LOCALIZED SITE ITEMS SUCH AS SITE CURBING, SITE LIGHTING, SIDEWALK SYSTEMS, FENCING, UTILITY CONNECTIONS, ETC.
- INSTALL STONE FOR STABILIZATION ON THE SITE DRIVEWAYS AND PARKING AREAS ONCE MAJOR EXTERIOR BUILDING CONSTRUCTION AND ALL UTILITY CONSTRUCTION ARE SUBSTANTIALLY COMPLETED.
- CONDUCT FINE GRADING ACTIVITIES AND PLACE TOPSOIL ON ALL REMAINING AREAS. APPLY PERMANENT SEEDING, SOIL SUPPLEMENTS, MULCHING, AND MATTING WHERE APPLICABLE IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN. INSTALL FINAL LANDSCAPING AND PLANTING PER PROJECT REQUIREMENTS AND PROCEDURES PRESENTED ON THE APPROVED PCSM PLAN. IN ORDER TO ENSURE RAPID VEGETATION GROWTH, PLANTING AND SEEDING SHOULD BE DONE ONLY DURING THE GERMINATING SEASON.
- CRITICAL STAGE OF BMP IMPLEMENTATION** -INSTALL SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) AS SHOWN ON THE PLAN AND IN THE DETAILS. REMOVE TEMPORARY PIPE ACROSS BED. EXCAVATE TO FINAL BOTTOM ELEVATION, WHILE CAREFULLY PROTECTING THE BOTTOM FROM COMPACTION. INSTALL STONE UP TO PIPE INVERT, AND INSTALL PERFORATED PIPE ACROSS FACILITY. BACKFILL FACILITY TO TOP ELEVATION.
- INSTALL BITUMINOUS BINDER COURSE ON THE SITE DRIVEWAYS AND PARKING AREAS ONCE MAJOR EXTERIOR BUILDING CONSTRUCTION, ALL UTILITY CONSTRUCTION, AND INSTALLATION OF SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) ARE SUBSTANTIALLY COMPLETED.
- CRITICAL STAGE OF BMP IMPLEMENTATION** - CONVERT THE TEMPORARY SEDIMENT TRAP INTO PERMANENT SURFACE INFILTRATION/DETENTION BASIN (POND 2), AS PER THE DETAILS PROVIDED ON THE PCSM PLAN, WHEN THE ENTIRE WATERSHED IS COMPLETELY STABILIZED. ALL SEDIMENT MUST FIRST BE REMOVED FROM THE FACILITY AND DISPOSED OF IN ACCORDANCE WITH DEP REGULATIONS. PERFORM NECESSARY FINAL GRADING AND RE-SHAPE THE BOTTOM OF SURFACE INFILTRATION/DETENTION BASIN (POND 2) TO MATCH PROPOSED ULTIMATE CONTOURS AS SHOWN ON THE GRADING PLAN. EXCAVATE THE BOTTOM FROM THE TEMPORARY ELEVATION OF 572.80 TO A PERMANENT ELEVATION OF 571.00. ONCE PERMANENT FINISHMENTS ARE CHIEDED, DO NOT COMPACT THE BOTTOM OR ALLOW SEDIMENT TO ENTER THE BASIN AND DEGRADE THE INFILTRATION CAPACITY OF THE SOILS.ALL DISTURBED SOIL ASSOCIATED WITH FACILITY CONVERSION WORK MUST BE SEEDED, MULCHED, AND MATTED IMMEDIATELY IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN. REMOVE THE TEMPORARY RISER AND BAFFLE. INSTALL PROPOSED TOPSOIL MIXTURE, PLANTINGS, AND GRASS SEEDING MIXTURES PER THE PROJECT SPECIFICATIONS.
- UPON COMPLETION OF ALL EARTH DISTURBANCE ACTIVITIES AND PERMANENT STABILIZATION OF ALL DISTURBED AREAS, THE OWNER AND/OR OPERATORS SHALL CONTACT THE DAUPHIN COUNTY CONSERVATION DISTRICT FOR ANY INSPECTION PRIOR TO REMOVAL OF THE E&S BMPs.
- ONCE APPROVED BY THE COUNTY CONSERVATION DISTRICT, REMOVE ALL EROSION AND SEDIMENTATION CONTROL MEASURES. PERMANENTLY RE-SEED, MULCH, AND MAT WHERE APPLICABLE ANY REMAINING AREAS WHICH REMAIN DISTURBED OR HAVE NOT BEEN ESTABLISHED FROM PREVIOUS SEEDING APPLICATIONS IN ACCORDANCE WITH THE PERMANENT SEEDING SPECIFICATIONS PRESENTED ON THE PLAN.
- INSTALL SITE SIGNAGE, FINAL WEARING COURSE, PAVEMENT MARKINGS, AND OTHER INCIDENTAL CONSTRUCTION ITEMS AS NECESSARY.
- INSTALL TREES AND SHRUBS AS SHOWN ON THE LANDSCAPING PLAN.
- CONTACT THE CONSERVATION DISTRICT IN ORDER TO REQUEST A FINAL SITE INSPECTION AS NECESSARY.
- PER NEW NPDES REQUIREMENTS, "WITHIN 30 DAYS AFTER THE COMPLETION OF EARTH DISTURBANCE ACTIVITIES AUTHORIZED BY THIS PERMIT, INCLUDING THE PERMANENT STABILIZATION OF THE SITE AND PROPER INSTALLATION OF PCSM BMPs IN ACCORDANCE WITH THE APPROVED PCSM PLAN, OR UPON SUBMISSION OF THE N.O.T, IF SOONER, THE PERMITEE SHALL FILE WITH THE DEPARTMENT OR AUTHORIZED CONSERVATION DISTRICT A STATEMENT SIGNED BY A LICENSE PROFESSIONAL AND BY THE PERMITEE CERTIFYING THAT WORK HAS BEEN PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THIS PERMIT AND THE APPROVED E&S AND PCSM PLANS. COMPLETION CERTIFICATES ARE NEEDED TO ENSURE THAT ALL WORK IS PERFORMED IN ACCORDANCE WITH THE TERMS AND CONDITIONS OF THE PERMIT AND THE APPROVED E&S AND PCSM PLANS."

GEOLOGIC SOIL FORMATIONS:

ACCORDING TO THE PENNSYLVANIA GEOLOGIC SURVEY'S GEOLOGIC MAP OF THE STATE OF PENNSYLVANIA, 1980, THE PROJECT SITE IS UNDERLAIN BY THE HAMBURG SEQUENCE ROCKS (GEOLOGIC SYMBOL OH).

ACCORDING TO THE ENGINEERING CHARACTERISTICS OF THE ROCKS OF PENNSYLVANIA, SECOND EDITION, 1982, THIS FORMATION IS COMPOSED OF TRANSPORTED ROCKS OF THE HAMBURG OVERTHRUST: GRAY, GREENISH-GRAY AND MAROON SHALE AND GRAYWACKE, SILTY AND SILICEOUS IN MANY PLACE. THIS FORMATION IS THICK TO MODERATELY WELL BEDDED. FRACTURES IN THIS FORMATION FORM A SEAMY TO PLATY PATTERN, ARE WELL DEVELOPED, HIGHLY ABUNDANT; CLOSE DISTANCE BETWEEN FRACTURES, OPEN AND STEEPLY DIPPING. THE SHALE IN THIS FORMATION IS MODERATELY RESISTANCE TO WEATHER AND IS MODERATELY TO HIGHLY WEATHER TO A DEEP DEPTH, RESULTING IN LOOSE RUBBLE OF ANGLES TO RECTANGULAR PLATES. EXCAVATION OF THE SHALE BEDROCK OF THE HAMBURG SEQUENCE ROCK IS DESCRIBED AS MODERATELY EASY.

GEOLOGIC FORMATIONS - POLLUTION CONCERNS:

BASED ON AVAILABLE INFORMATION, PROPOSED IMPROVEMENTS ARE NOT LOCATED ON CARBONATE GEOLOGY. NO POTENTIAL POLLUTION CONCERNS RELATED TO GEOLOGIC FORMATIONS HAVE BEEN IDENTIFIED.

POTENTIAL THERMAL IMPACTS:

POTENTIAL THERMAL IMPACTS FROM PROPOSED IMPROVEMENTS WILL BE AVOIDED, MINIMIZED OR MITIGATED THROUGH THE FOLLOWING:

- HEATED STORMWATER RUNOFF FROM PROPOSED PAVED AREAS AND FROM THE BUILDING ROOF AREAS WILL BE COLLECTED AND CONVEYED TO THE PERVIOUS SEDIMENT TRAP DURING CONSTRUCTION, AND TO PERVIOUS INFILTRATION/DETENTION BASINS POST CONSTRUCTION. THIS WILL PROMOTE INFILTRATION OF THE INITIAL RUNOFF OR "FIRST FLUSH" WHICH IS MOST AFFECTED BY THERMAL IMPACTS, AND PREVENT THE AFFECTED RUNOFF FROM ENTERING SURFACE WATERS.
- RUNOFF FROM THE BUILDING ROOFTOP WILL BE COLLECTED, CONVEYED DIRECTLY TO A SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) WITHOUT EXPOSURE TO ELEVATED TEMPERATURES ASSOCIATED WITH PAVEMENT RUNOFF.

THERMAL IMPACT ABATEMENT VEGETATION:

- INSTALLATION
 - PLACING OF LANDSCAPE PLANTINGS MUST TAKE PLACE DURING THE NORMAL GROWING SEASON.
 - REFER TO THE PLANTING SCHEDULE ON THE LANDSCAPING AND LIGHTING PLAN FOR PLANT TYPES TO BE PLACED ON THE SITE.
 - REFER TO THE LANDSCAPING AND LIGHTING PLAN AND CONSTRUCTION DETAILS FOR SPECIFIC PLANT INSTALLATION DETAILS.
 - THE ENGINEER SHALL FIELD VERIFY THE TYPE AND LOCATION OF THE PROPOSED PLANTINGS AT THE TIME OF INSTALLATION.
- MAINTENANCE
 - PLANTS SHALL BE MONITORED REGULARLY FOR GROWTH AND POTENTIAL PROBLEMS.
 - ALL PLANTS SITEWIDE SERVE AN IMPORTANT FUNCTION FOR STORMWATER CONTROL AND SHALL ME MAINTAINED IN PERPETUITY. ALL DEAD PLANTS SHALL BE REPLACED WITH THE SIZE AND QUANTITIES OF PLANTING AS SHOWN ON THIS PLAN. TREES SHALL BE MAINTAINED, INCLUDING THE REMOVAL OF DEAD BRANCHES. ALL WASTE MATERIALS SHALL BE DISPOSED OF IN A DEP APPROVED FACILITY.
 - ASSIGN RESPONSIBILITIES FOR WATERING, WEEDING, AND MOWING TO INDIVIDUALS RESPONSIBLE FOR SITE MAINTENANCE.
 - APPLICATION OF A CAREFULLY SELECTED HERBICIDE MAY BE NECESSARY TO PROTECT THE PLANTS. THE INITIAL MAINTENANCE ROUTINE IS NECESSARY FOR 2 TO 3 YEARS UNTIL TREE GROWTH AND TREE CANOPIES BEGIN TO FORM.
 - THE USE OF FERTILIZER AND CHEMICAL-BASED PEST CONTROL PROGRAMS SHALL BE MINIMIZED.

TEMPORARY SEEDING SHALL CONSIST OF 100 PERCENT ANNUAL RYE GRASS AND SHALL CONFORM TO THE REQUIREMENTS OF THE PA DEPARTMENT OF TRANSPORTATION (PA DOT) SPECIFICATIONS FOR FORMULA E SEED MIXTURE. SEED SHALL BE APPLIED AT A RATE OF 10 LBS./1,000 SQ. YDS. SEED SHALL BE APPLIED BETWEEN THE DATES OF MARCH 15TH TO OCTOBER 15TH.

PERMANENT SEEDING SHALL CONSIST OF THE FOLLOWING:

- LAWN GRASS - SEED WITH 20% PERENNIAL RYEGRASS MIXTURE (A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NOT ONE VARIETY EXCEEDING 50% OF THE TOTAL RYEGRASS COMPONENT), 30% CREEPING RED FESCUE OR CHEWINGS FESCUE, AND 50% KENTUCKY BLUEGRASS MIXTURE (A COMBINATION OF IMPROVED CERTIFIED VARIETIES WITH NOT ONE VARIETY EXCEEDING 25% OF THE TOTAL BLUEGRASS COMPONENT). SEED SHALL BE APPLIED AT A RATE OF 21 LBS./1,000 SQ. YDS. SEED SHALL BE APPLIED BETWEEN THE DATES OF MARCH 15TH TO JUNE 1ST AND AUGUST 16TH TO OCTOBER 15TH.
- SWM / BMP FACILITIES #1 AND 2 SHALL BE SEEDED WITH ERNST CONSERVATION SEEDS RAIN GARDEN MIX (ERNMX-180) AT A RATE OF 40 LBS./ACRE WITH 30 LBS./ACRE OF WINTER RYE. REFERENCE THE PLANT SCHEDULES FOR THE PLACEMENT OF TREES AND SHRUBS WITHIN THESE FACILITIES.

CRITICAL STAGES OF BMP IMPLEMENTATION:

THERE ARE TWO (2) CRITICAL STAGES OF IMPLEMENTATION OF THE PCSM PLAN IN WHICH A LICENSED PROFESSIONAL OR DESIGNEE SHOULD BE PRESENT ON THE SITE FOR INSPECTION/FIELD VERIFICATION. (1) WHEN SUBSURFACE INFILTRATION/DETENTION BASIN (POND 1) IS CONSTRUCTED TO ENSURE PROPER TREATMENT OF SUBGRADE AND PROPER INSTALLATION OF GEOTEXTILE AND STONE. (2) WHEN TEMPORARY SEDIMENT TRAP 1 IS BEING CONVERTED TO AN SURFACE INFILTRATION/DETENTION BASIN (POND 2), THE FINAL GRADING, PROPOSED OUTLET STRUCTURE, PERMANENT SPILLWAY SHOULD BE INSPECTED AS THEY ARE BEING INSTALLED. ALL OTHER STAGES OF IMPLEMENTATION OF THE PCSM PLAN ARE NOT CRITICAL IN RESPECT THAT A LICENSED PROFESSIONAL OR DESIGNEE IS NOT REQUIRED TO BE PRESENT AT THE SITE AT THE TIME OF INSTALLATION.

RECYCLING & DISPOSAL OF WASTES:

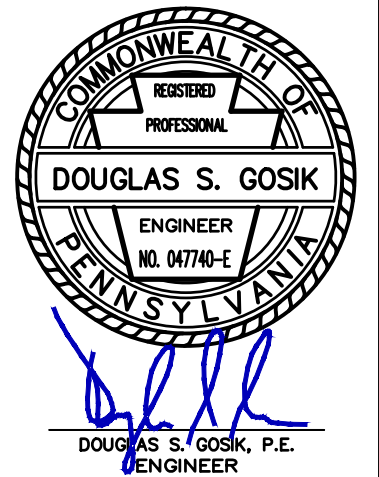
- ANTICIPATED CONSTRUCTION WASTES FROM THE PROJECT MAY INCLUDE TYPICAL BUILDING MATERIALS (LUMBER, DRYWALL, INSULATION, VINYL, MASONRY, ROOFING, ASPHALT, CONCRETE, PAINTS, SOLVENTS, ETC.), PLASTIC, CARDBOARD, WASH WATER AND SANITARY WASTES.
- THE CONTRACTOR SHALL INSPECT THE PROJECT AREA DAILY AND PROPERLY DISPOSE OF ALL CONSTRUCTION WASTES IN ACCORDANCE WITH PADEP'S SOLID WASTE MANAGEMENT REGULATIONS AT PA CODE 260.1 et. seq., 271.1, AND 287.1 et. seq. NO BUILDING MATERIALS OR WASTES OR UNUSED BUILDING MATERIALS SHALL BE BURNED, BURIED, DUMPED, OR DISCHARGED AT THE SITE.
- LITTERING BY CONSTRUCTION CREWS WILL BE DISCOURAGED/POLICED, AND HOUSEKEEPING OF ALL PROJECT AREAS WILL BE ENCOURAGED.
- WHENEVER POSSIBLE, REUSABLE WASTES WILL BE SEPARATED FOR RECYCLING.
- ALL RECYCLING AND DISPOSAL OF CONSTRUCTION WASTE, INCLUDING MATERIALS WITH AND FROM THE BMPs SHALL BE IN ACCORDANCE WITH LOCAL AND STATE RULES AND REGULATIONS FOR WASTE MANAGEMENT.
- MATERIALS WITH AND FROM THE BMPs, EXCESS SOIL AND ROCK, BUILDING MATERIALS, CONCRETE AND CONCRETE WASH WATER, SANITARY WASTE AND ANY OTHER MATERIALS THAT COULD ADVERSELY IMPACT SURFACE OR GROUND WATER QUALITY.

PREPAREDNESS, PREVENTION & CONTINGENCY PLANS:

IF THE POTENTIAL EXISTS FOR CAUSING ACCIDENTAL POLLUTION OF AIR, LAND, OR WATER, OR FOR CAUSING ENDANGERMENT OF PUBLIC HEALTH AND SAFETY THROUGH ACCIDENTAL RELEASE OF TOXIC, HAZARDOUS, OR OTHER POLLUTING MATERIALS, THE PERMITEE OR CO-PERMITEE MUST DEVELOP A PREPAREDNESS, PREVENTION AND CONTINGENCY (PPC) PLAN. THE PPC PLAN SHALL BE DEVELOPED IN ACCORDANCE WITH APPLICABLE DEP REGULATIONS. THE PPC PLAN SHALL IDENTIFY AREAS WHICH MAY INCLUDE, BUT ARE NOT LIMITED TO, WASTE MANAGEMENT AREAS, RAW MATERIAL STORAGE AREAS, TEMPORARY AND PERMANENT SPOILS STORAGE AREAS, MAINTENANCE AREAS, AND ANY OTHER AREAS THAT MAY HAVE THE POTENTIAL TO CAUSE NON-COMPLIANCE WITH THE TERMS AND CONDITIONS OF THE NPDES PERMIT DUE TO THE STORAGE, HANDLING OR DISPOSAL OF ANY TOXIC OR HAZARDOUS SUBSTANCES SUCH AS OIL, GASOLINE, PESTICIDES, HERBICIDES, SOLVENTS, ETC. BMPs SHALL BE DEVELOPED AND IMPLEMENTED FOR EACH IDENTIFIED AREA. THE PPC PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR REVIEW AT THE DEPARTMENT'S OR AUTHORIZED COUNTY CONSERVATION DISTRICT'S REQUEST.

IMPLICATIONS & RESOLUTIONS OF SOIL TYPES:

- IN GENERAL, THERE ARE NO KNOWN UNUSUAL SITE CHARACTERISTICS THAT ARE UNLIKE THOSE FOUND ELSEWHERE IN THE REGION WHERE SIMILAR SOILS ARE PRESENT.
- ANY ROCK ENCOUNTERED WILL BE RIPPED OR BLASTED AS NECESSARY, AND USED FOR COMPACTED FILL IN OTHER AREAS OR REMOVED FROM THE SITE.
- SLOPE WILL NOT BE AN ADVERSE FACTOR TO CONSTRUCTION. SLOPES WILL BE RE-SHAPED PER THE PROPOSED GRADING PLAN AND TYPICALLY WILL BE 3:1 OR FLATTER. ANY ACCELERATED RUNOFF OR EROSION FROM SLOPES WILL BE HANDLED BY EROSION CONTROL MATTING AND SILT SOCK ON THE SITE.
- DRAINAGE WITHIN THE PROJECT AREA WILL BE ACCOMMODATED BY PROPOSED GRADING, STORM PIPING AND SWALES. THE GROUND SURFACE WILL BE RESHAPED, COMPACTED AND STABILIZED CONSISTENT WITH THE PROPOSED GRADING PLAN CONTAINED HEREIN.
- AREAS TO BE FILLED ARE TO BE CLEARED, GRUBBED, AND STRIPPED OF TOPSOIL TO REMOVE TREES, VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
- ALL FILLS SHALL BE COMPACTED AS REQUIRED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS. FILL INTENDED TO SUPPORT BUILDINGS, STRUCTURES, AND CONDUITS, ETC. SHALL BE COMPACTED IN ACCORDANCE WITH LOCAL REQUIREMENTS OR CODES.
- ALL EARTHEN FILLS SHALL BE PLACED IN COMPACTED LAYERS NOT TO EXCEED 9 INCHES IN THICKNESS.
- FILL MATERIALS SHALL BE FREE OF FROZEN PARTICLES, BRUSH, ROOTS, SOD, OR OTHER FOREIGN OR OBJECTIONABLE MATERIALS THAT WOULD INTERFERE WITH OR PREVENT CONSTRUCTION OF SATISFACTORY FILLS.
- FROZEN MATERIALS OR SOFT, MUCKY, OR HIGHLY COMPRESSIBLE MATERIALS SHALL NOT BE INCORPORATED INTO FILLS.
- FILL SHALL NOT BE PLACED ON SATURATED OR FROZEN SURFACES.
- SEEPS OR SPRINGS ENCOUNTERED DURING CONSTRUCTION SHALL BE HANDLED IN ACCORDANCE WITH THE STANDARD AND SPECIFICATION FOR SUBSURFACE DRAIN OR OTHER APPROVED METHOD.



LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
POST CONSTRUCTION STORMWATER MANAGEMENT GENERAL NOTES
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

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R E V I S I O N S				
NO.	DATE	DESCRIPTION	BY	CHKD.

DESIGN BY: G.R.S. DRAWN BY: B.E.R. CHECKED BY: D.S.G.

WSC PROJECT NUMBER:
GPKE-UA-OFFICE-FINAL

SCALE: NONE

DATE: SEPTEMBER 27, 2019

SHEET
8 OF 15

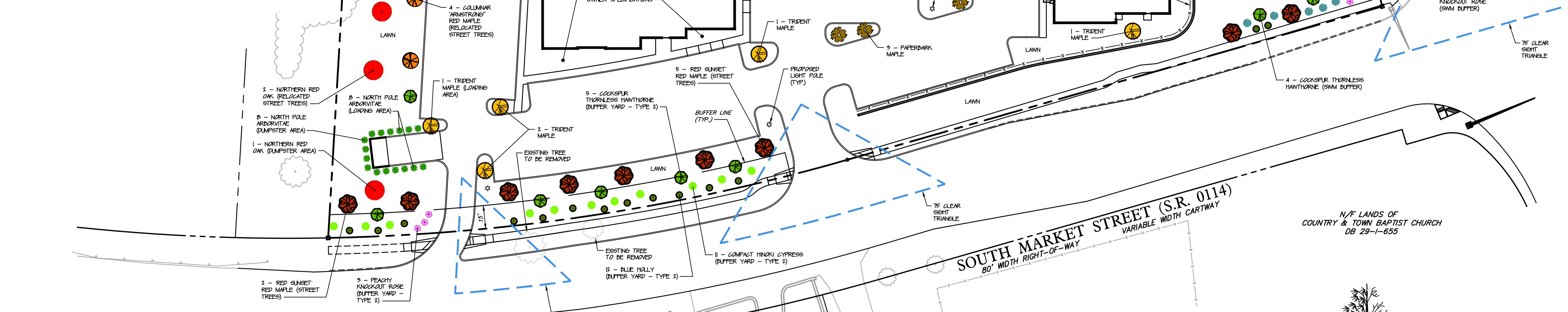
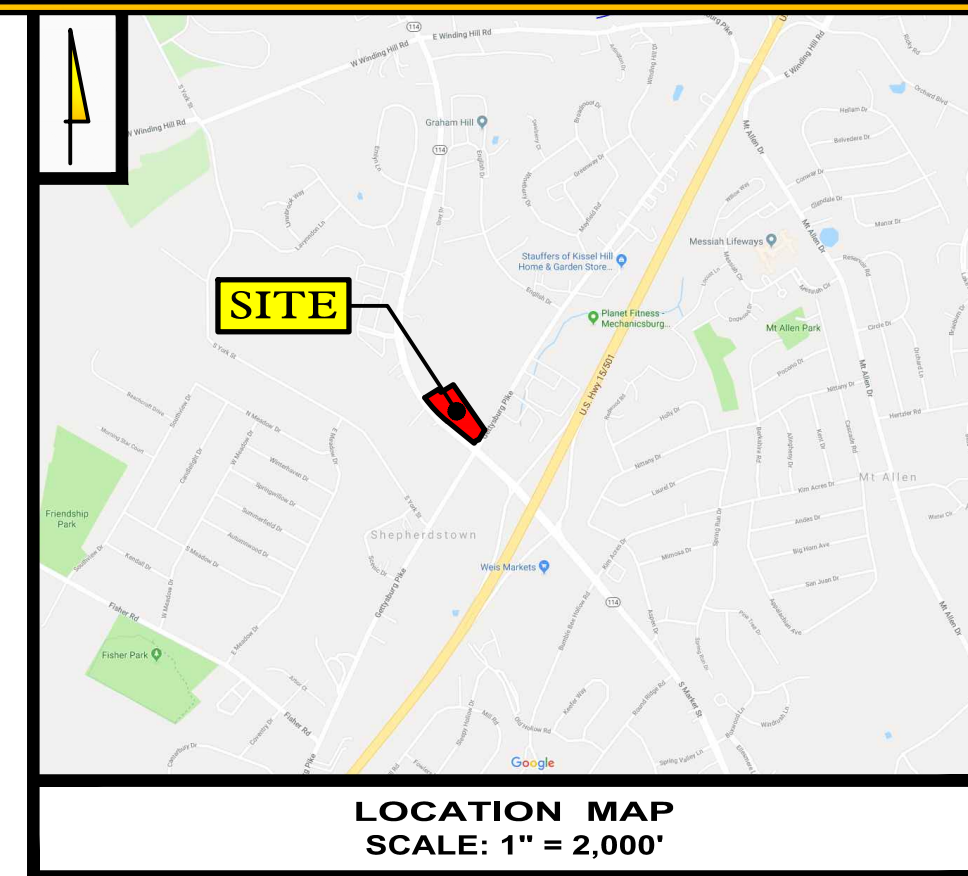
LANDSCAPING DATA:

- STREET TREE REQUIREMENT: 2 CANOPY TREES FOR EVERY 100 FEET OF PUBLIC RIGHT-OF-WAY (40 FEET MINIMUM SPACING)
- STREET TREES REQUIRED: 884' / 100' x 2 = 18 TREES
- STREET TREES PROVIDED: 18 TREES
- BUFFER YARD TYPE 2 REQUIREMENT: (NORTHEAST PROPERTY LINE) 1 SHADE TREE PER 40 FEET 1 EVERGREEN TREE PER 30 FEET 1 SHRUB PER 20 FEET
- BUFFER YARD TYPE 2 LENGTH: 280 FEET
- REQUIRED BUFFER YARD TYPE 2: 280' / 40' = 7 SHADE TREES 280' / 30' = 10 EVERGREEN TREES 280' / 20' = 14 SHRUBS
- PROVIDED BUFFER YARD TYPE 2: 8 SHADE TREES 10 EVERGREEN TREES 14 SHRUBS
- BUFFER YARD TYPE 3 REQUIREMENT: 1 SHADE TREE PER 30 FEET 1 EVERGREEN TREE PER 10 FEET 1 SHRUB PER 10 FEET
- BUFFER YARD TYPE 3 LENGTH: 57 FEET
- REQUIRED BUFFER YARD TYPE 3: 57' / 30' = 2 SHADE TREES 57' / 10' = 6 EVERGREEN TREES 57' / 10' = 6 SHRUBS
- PROVIDED BUFFER YARD TYPE 3: 2 SHADE TREES 6 EVERGREEN TREES 6 SHRUBS
- SWM BUFFER YARD TYPE 3 REQUIREMENT: 1 SHADE TREE PER 30 FEET 1 EVERGREEN TREE PER 10 FEET 1 SHRUB PER 10 FEET
- SWM BUFFER YARD TYPE 3 LENGTH: 209 FEET
- REQUIRED SWM BUFFER YARD TYPE 3: 209' / 30' = 7 SHADE TREES 209' / 10' = 21 EVERGREEN TREES 209' / 10' = 21 SHRUBS
- PROVIDED SWM BUFFER YARD TYPE 3: 7 SHADE TREES 21 EVERGREEN TREES 21 SHRUBS
- BUFFER YARD TYPE 2 REQUIREMENT: (NORTHWEST PROPERTY LINE) 1 SHADE TREE PER 40 FEET 1 EVERGREEN TREE PER 30 FEET 1 SHRUB PER 20 FEET
- BUFFER YARD TYPE 2 LENGTH: 298 FEET
- REQUIRED BUFFER YARD TYPE 2: 298' / 40' = 8 SHADE TREES 298' / 30' = 10 EVERGREEN TREES 298' / 20' = 15 SHRUBS
- PROVIDED BUFFER YARD TYPE 2: 8 SHADE TREES 10 EVERGREEN TREES 15 SHRUBS
- LOADING AREA REQUIREMENT: 1 SHADE TREE PER 60 LINEAR FEET PLUS 1 EVERGREEN PER 10 LINEAR FEET
- LOADING AREA PROVIDED: 70' / 60' = 2 SHADE TREES 70' / 10' = 7 EVERGREENS
- DUMPSTER AREA REQUIREMENT: 1 SHADE TREE PER 40 LINEAR FEET PLUS 1 EVERGREEN PER 5 LINEAR FEET
- DUMPSTER AREA REQUIRED: 61' / 40' = 2 SHADE TREES 61' / 5' = 13 EVERGREENS
- DUMPSTER AREA PROVIDED: 2 TREES & 13 EVERGREENS

PLANTING SCHEDULE:

SYMBOL	PROPOSED	COMMON NAME	BOTANICAL NAME	MINIMUM INSTALLED SIZE	SPACING
T R E E S					
	15	CANADIAN HEMLOCK	TSUGA CANADENSIS	5 HT.	AS SHOWN
	12	RED SUNSET RED MAPLE	ACER RUBRUM 'FRANKSRED'	2" CAL.	40' O.C. (MIN.)
	4	COLUMNAR 'ARMSTRONG'S' RED MAPLE	ACER RUBRUM 'FRANKSRED'	2" CAL.	40' O.C. (MIN.)
	10	TRIDENT MAPLE	ACER BURSERIANUM	6 HT.	AS SHOWN
	10	EASTERN REDBUD	CERCIS CANADENSIS	2" CAL. - 6 HT.	AS SHOWN
	21	BLUE WONDER SPRUCE	PICEA GLAUCA 'BLUE WONDER'	5 HT.	AS SHOWN
	12	COCKSPEAR THORNLESS HAWTHORNE	CRATAEGUS CRUS-GALI VAR. INERMIS	2" CAL. - 6 HT.	AS SHOWN
	6	PAPERDARK MAPLE - 3 MAIN STEMS	ACER GRISELUM	2" CAL. - 6 HT.	AS SHOWN
	3	HERITAGE RIVER BIRCH - 3-5 MAIN STEMS	BETULA NIGRA 'HERITAGE'	2" CAL. - 6 HT.	AS SHOWN
	11	COMPACT HINKKI CYPRESS	CHAMPECYPARIS OBTUSA GRACILIS 'COMPACTA'	5 HT.	AS SHOWN
	4	NORTHERN RED OAK	QUERCUS RUBRA	2" CAL.	AS SHOWN

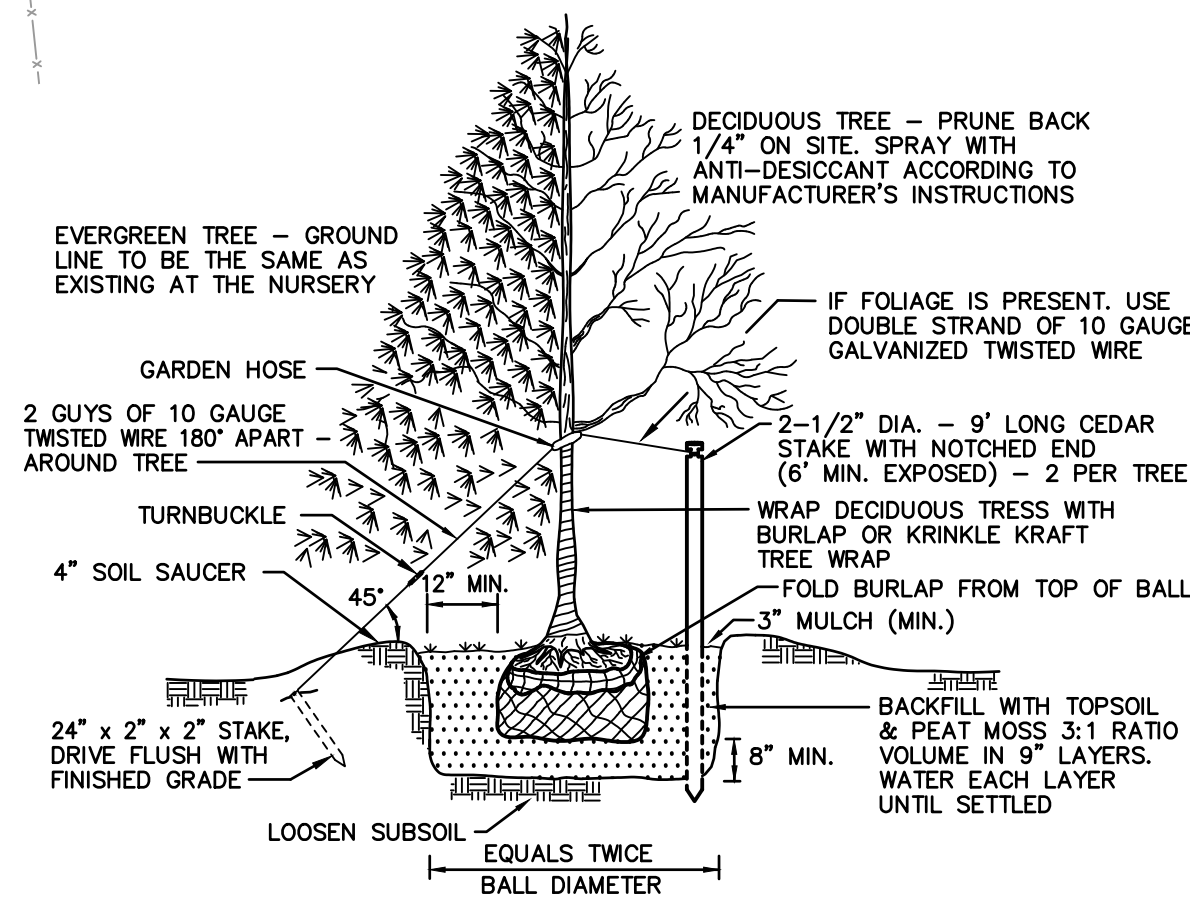
SYMBOL	PROPOSED	COMMON NAME	BOTANICAL NAME	MINIMUM INSTALLED SIZE	SPACING
S H R U B S					
	2	NINEDARK	PHYSCARPUS OULIFOLUS MONLO	18" HT. - 18" B" SPREAD	AS SHOWN
	43	NORTH POLE ARBORVITAE	THUJA OCCIDENTALIS 'ART DOE'	5 HT.	AS SHOWN
	28	BLUE HOLLY	ILEX X MESERVEAE	18" HT. - 18" B" SPREAD	AS SHOWN
	10	HEDGEROW GOLD RED-OSIER DOGWOOD	CORNUS SERICEA 'HEDGEROW GOLD'	18" HT. - 18" B" SPREAD	AS SHOWN
	8	BLUE MIST DWARF FOTHERGILLA	FOTHERGILLA GARDENII 'BLUE MIST'	18" HT. - 18" B" SPREAD	AS SHOWN
	9	SIXTEEN CANDLES SUMMERSWEET	GLETHRA ALNIFOLIA 'SIXTEEN CANDLES'	18" HT. - 18" B" SPREAD	AS SHOWN
	21	PRETTY PETTICOAT BEARDTONGUE	PENSTEMON X 'PRETTY PETTICOAT'	18" HT. - 18" B" SPREAD	AS SHOWN
	8	PEACHY KNOCK OUT ROSE	ROSA X 'RADEOR' PP 115412B	18" HT. - 18" B" SPREAD	AS SHOWN



- REVISIONS:
1. LANDSCAPING INFORMATION REVIEWED BY LANDSCAPE ARCHITECT
 2. ADDED LOADING & DUMPSTER REQUIREMENTS TO LANDSCAPE DATA
 3. ADDED LOADING & DUMPSTER IDENTIFICATION TO PLAN VIEW
 4. ADDED GENERAL NOTE #28 (B.E.R.)
 5. ADJUSTING LANDSCAPING TO AVOID UTILITY SERVICES.

LANDSCAPING NOTES:

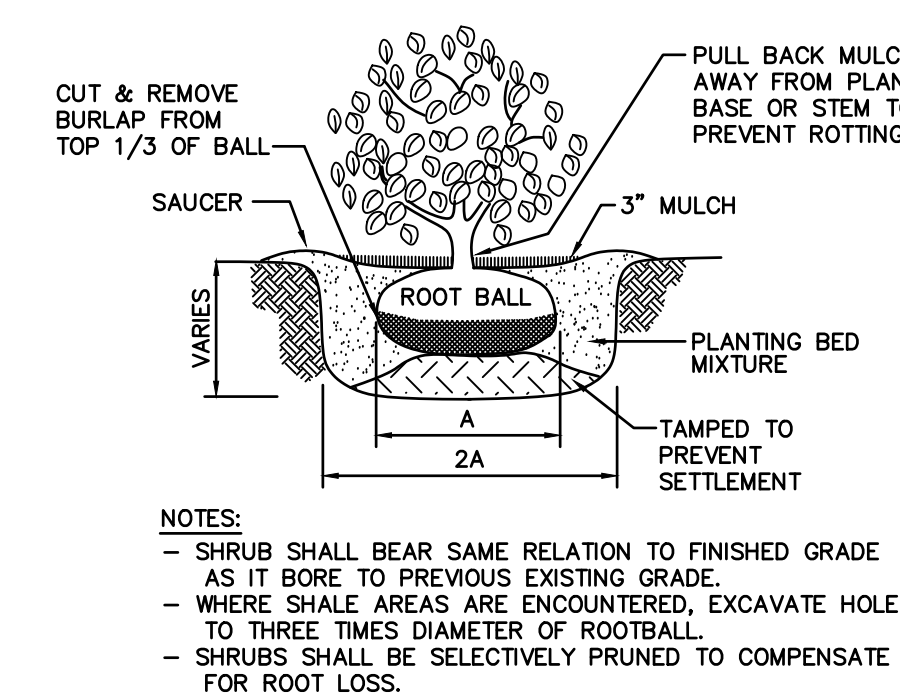
- THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS ON THE DRAWING, AS SPECIFIED, AND IN THE QUANTITIES INDICATED IN THE PLANTING SCHEDULE. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS SHOWN, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN UP.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT AS SHOWN ON THE PLAN.
- PLANTS SHALL BE TYPICAL TO THEIR SPECIES, CULTIVAR, OR VARIETY; HAVE NORMAL GROWTH HABITS, WELL DEVELOPED AND DENSE FOLIAGE, VIGOROUS FIBROUS ROOT SYSTEMS, AND BE FREE FROM DEFECTS OR INJURIES.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL.
- INsofar AS IS PRACTICABLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT ALL STOCK NOT PLANTED. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE (3) DAY PERIOD AFTER DELIVERY.
- ALL PLANTS SHALL BE PLANTED IN APPROVED BACKFILL MIXTURE THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. NOTHING BUT SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER, ETC., SHALL BE USED FOR PLANTING.
- PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK AND THE BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
- PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTABLE LOCAL PRACTICE.
- ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT, AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL RELATIONSHIP BETWEEN THE CROWN OF THE ROOT BALL AND THE GROUND SURFACE WILL BE ESTABLISHED. ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PLANTING PITS.
- EACH PLANT SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE TO PRESERVE THE NATURAL CHARACTER OF THE PLANT. PRUNING SHALL BE DONE WITH CLEAN, SHARP TOOLS. SHEARS ARE TO BE STERILIZED BETWEEN TREES.
- TREES SHALL BE SUPPORTED IMMEDIATELY AFTER PLANTING. ALL TREES SIX (6) INCHES AND OVER IN CALIPER SHALL BE GUIED, SMALLER TREES SHALL BE STAKED. GUY WIRES AND STAKES SHALL BE INDICATED WITH BRIGHT FLAGGING.
- ANY DISCREPANCY BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE RESOLVED BY THE ENGINEER AND CONTRACTOR IN THE FIELD. IF THERE IS ANY DISCREPANCY BETWEEN THE PLAN AND THE PLANTING SCHEDULE, THE PLAN SHALL GOVERN AS TO THE QUANTITY OF PLANT MATERIAL.
- ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF EIGHTEEN (18) MONTHS FROM THE COMPLETION DATE OF INSTALLATION.
- ALL TREES SHALL HAVE THEIR STAKING AND WIRING REMOVED BY THE CONTRACTOR AFTER A PERIOD OF ONE (1) YEAR.
- QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF ROOT BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601-2004, AMERICAN STANDARD FOR NURSERY STOCK, AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION (ANLA).
- ALL INJURED ROOTS SHALL BE PRUNED PRIOR TO PLANTING. IT IS ADVISABLE TO PRUNE BRANCHES THAT CROSS. THE CENTRAL LEADER OF TREES SHOULD NOT BE CUT. LONG SIDE BRANCHES SHOULD BE SHORTENED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFYING ALL UTILITY COMPANIES AND LOCATING ALL UTILITIES PRIOR TO EXCAVATING PLANT PITS. PLANT LOCATIONS MAY BE ADJUSTED IN THE FIELD TO AVOID INTERFERENCE WITH UTILITIES. TREES OR SHRUBS SHALL NOT BE PLANTED WITHIN FIVE (5) FEET OF BURIED UTILITY LINES AND FIFTEEN (15) FEET OF OVERHEAD UTILITIES.
- LANDSCAPE PLANS SHALL NOT BE UTILIZED TO DETERMINE LOCATIONS, DIMENSIONS, OR MEASUREMENTS OF OTHER PROPOSED SITE STRUCTURES. REFER TO APPROPRIATE DRAWINGS BY ENGINEER FOR OTHER INFORMATION.
- SUBSTITUTIONS: WHEN PLANTS OF A SPECIFIED TYPE ARE NOT AVAILABLE, SUBSTITUTIONS MAY OCCUR UPON REQUEST BY THE CONTRACTOR AND AS APPROVED BY THE ENGINEER.
- ALL PROTECTIVE TREE WRAP AND NON-BIODEGRADABLE ROOT WRAP SHALL BE REMOVED IMMEDIATELY AFTER PLANTING.
- ALL TREE AND SHRUB BEDS ARE TO BE COVERED WITH A THREE (3) INCH MINIMUM LAYER OF SHREDDED BARK MULCH.
- TREES SHALL BE PLANTED SO AS TO NOT INTERFERE WITH THE INSTALLATION AND MAINTENANCE OF SIDEWALKS. TREES SHALL NOT BE PLANTED WITHIN EIGHT (8) FEET OF SIDEWALKS. TREES OR SHRUBS SHALL NOT BE PLANTED IN THE BOTTOM OF SWALES.
- THE PARKING LOT ISLANDS SHALL NOT BE OVER-MOUNDED WITH MULCH, BUT RATHER THE MULCH SHALL BE KEPT LEVEL WITH THE TOP OF CONCRETE CURBING.
- TREES AND SHRUBS SHALL BE MAINTAINED SUCH THAT THEY DO NOT INTERFERE WITH CLEAR SIGHT TRIANGLES AND DRIVER SIGHT DISTANCES.
- ALL PLANT MATERIALS SHALL CONFORM TO THE STANDARDS RECOMMENDED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC. AND THE LATEST EDITION OF THE AMERICAN STANDARD OF NURSERY STOCK, ANSI.
- ALL SHRUBS AND TREES SHALL BE MAINTAINED IN A NATURAL FORM.
- STREET TREES ARE TO BE MAINTAINED AND GUARANTEED FOR A MINIMUM OF TWO YEARS BY THE DEVELOPER. PLANTING OF TREES SHALL OCCUR WITHIN THE STANDARD PLANTING SEASON (MARCH THROUGH NOVEMBER). NO MORE THAN 1/2 OF THE TREE SHALL BE DAMAGED OR DEAD WITHOUT REPLACEMENT. REPLACEMENT TREES SHALL CONFORM TO ALL REQUIREMENTS OF THIS SECTION AND SHALL BE MAINTAINED AND GUARANTEED FOR A MINIMUM OF TWO PLANTING SEASONS.
- LANDSCAPE AREAS SHALL BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH SECTION 245-6.8B(3) OF THE CODIFIED ORDINANCE OF UPPER ALLEN TOWNSHIP.



TREE PLANTING DETAIL

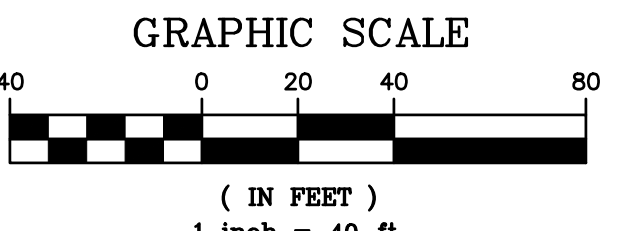
N.T.S.

BENCHMARK:
RIM OF SANITARY SEWER MANHOLE L510-13
LOCATED ALONG GETTYSBURG PIKE TO THE
NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)



SHRUB PLANTING DETAIL

N.T.S.



Williams SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958



UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902

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REVISIONS	DATE	BY	DESCRIPTION
1	NOVEMBER 8, 2019	AS PER TOWNSHIP COMMENTS	
2	APRIL 22, 2020	AS PER TOWNSHIP, PENNSYLVANIA & OWNER COMMENTS	




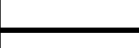


DESIGN BY:	DRAWN BY:	CHECKED BY:
B.E.R.	B.E.R.	A.S.W.

WSC PROJECT NUMBER:
GPIKE-UA-OFFICE-FINAL

SCALE: 1" = 40'

DATE: SEPTEMBER 27, 2019

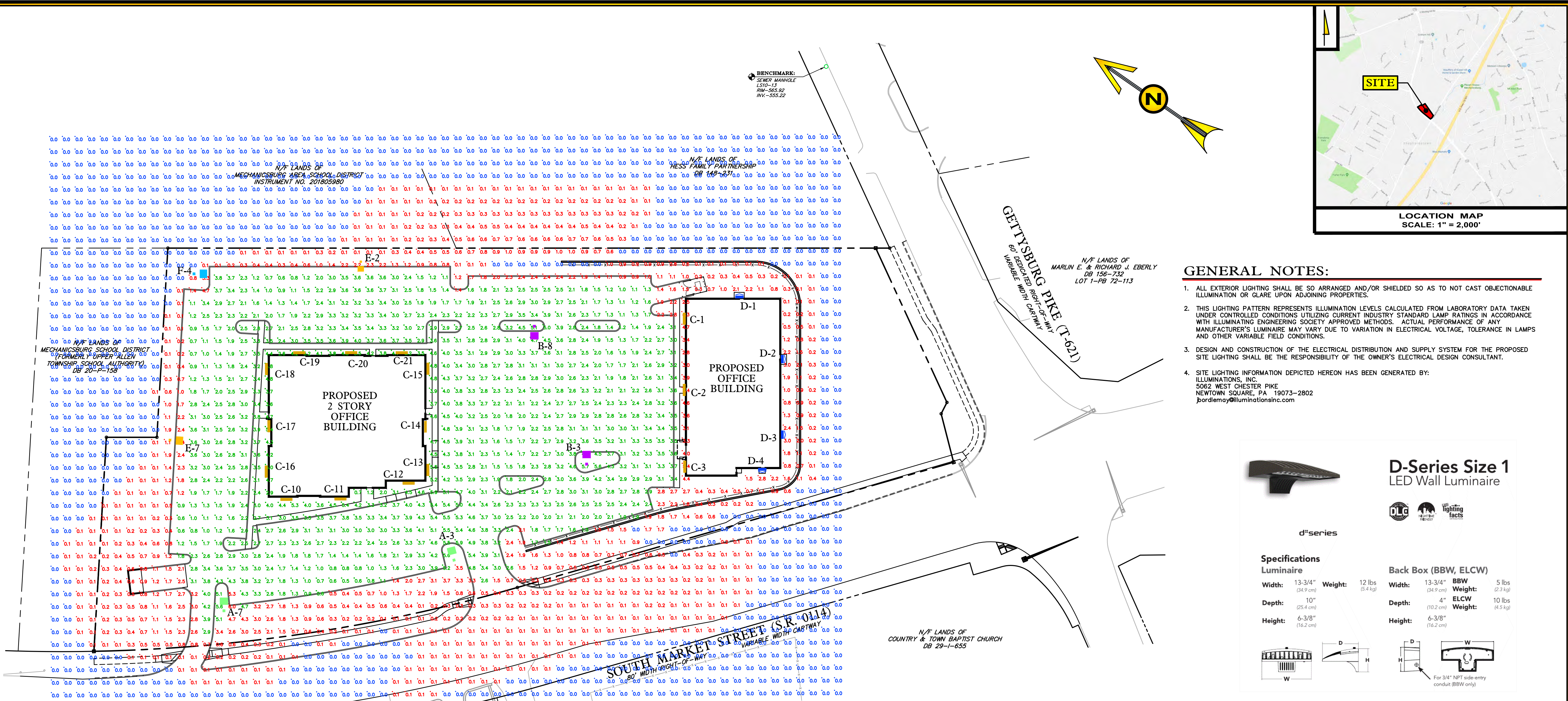
SHEET 9 OF 15

SCHEDULE									
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Wattage
	A	2	Lithonia Lighting	DSX2 LED P8 40K TSW MVOLT HS	DSX2 LED P8 40K TSW MVOLT WITH HOUSESIDE SHIELD	LED	1	DSX2_LED_P8_40K_TSW_MVOLT_HS.lvs	431
	B	2	Lithonia Lighting	DSX1 LED P5 40K T3M MVOLT	DSX1 LED P5 40K TSW MVOLT	LED	1	DSX0_LED_P4_40K_BLC_MVOLT.lvs	138
	C	15	Lithonia Lighting	DSXW1 LED 20C 700 40K T3M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 4000K, @ 700mA.	LED	1	DSXW1_LED_10C_1000_40K_T2M_MVOLT.lvs	71
	D	4	Lithonia Lighting	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 530mA.	DSXW1 LED WITH (1) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 530mA.	LED	1	DSXW1_LED_20C_700_40K_TFTM_MVOLT.lvs	19.1
	E	2	Lithonia Lighting	DSX1 LED P5 40K BLC MVOLT	DSX1 LED P5 40K BLC MVOLT	LED	1	DSX0_LED_P4_40K_TSW_MVOLT.lvs	138
	F	1	Lithonia Lighting	DSX1 LED P5 40K LCCO MVOLT	DSX1 LED P5 40K LCCO MVOLT	LED	1	DSX0_LED_P4_40K_TFTM_MVOLT.lvs	138

LUMINAIRE LOCATIONS											
LOCATION										AIM	
No.	Label	X	Y	Z	MH	Orientation	Tilt	X	Y	Z	
7	A	655.15	486.62	20.00	20.00	350.41	0.00	654.93	487.92	0.00	
8	A	507.00	544.00	20.00	20.00	90.00	0.00	508.32	544.00	0.00	
9	A	862.00	696.10	20.00	20.00	180.00	0.00	862.00	694.79	0.00	
10	A	789.70	695.70	20.00	20.00	180.00	0.00	789.70	694.39	0.00	
3	B	859.00	586.00	20.00	20.00	0.00	0.00	859.00	587.15	0.00	
5	B	789.00	567.00	20.00	20.00	0.00	0.00	789.00	568.15	0.00	
1	C	929.00	688.00	15.00	15.00	270.00	0.00	928.88	688.00	0.00	
2	C	929.00	648.00	15.00	15.00	270.00	0.00	928.88	648.00	0.00	
3	C	929.00	601.00	15.00	15.00	270.00	0.00	928.88	601.00	0.00	
4	C	623.00	672.00	15.00	15.00	0.00	0.00	623.00	672.12	0.00	
5	C	663.00	672.00	15.00	15.00	0.00	0.00	663.00	672.12	0.00	
6	C	703.00	672.00	15.00	15.00	0.00	0.00	703.00	672.12	0.00	
7	C	623.00	569.00	15.00	15.00	180.00	0.00	623.00	568.88	0.00	
8	C	663.00	569.00	15.00	15.00	180.00	0.00	663.00	568.88	0.00	
9	C	703.00	569.00	15.00	15.00	180.00	0.00	703.00	568.88	0.00	
10	C	602.00	581.00	15.00	15.00	270.00	0.00	601.88	581.00	0.00	
11	C	602.00	621.00	15.00	15.00	270.00	0.00	601.88	621.00	0.00	
12	C	602.00	661.00	15.00	15.00	270.00	0.00	601.88	661.00	0.00	
13	C	724.00	581.00	15.00	15.00	90.00	0.00	724.12	581.00	0.00	
14	C	724.00	621.00	15.00	15.00	90.00	0.00	724.12	621.00	0.00	
15	C	724.00	661.00	15.00	15.00	90.00	0.00	724.12	661.00	0.00	
1	D	971.00	706.00	7.00	10.00	0.00	0.00	971.00	706.12	-3.0	
2	D	1013.00	684.00	7.00	10.00	90.00	0.00	1013.12	684.00	-3.0	
3	D	1013.00	606.00	7.00	10.00	90.00	0.00	1013.12	606.00	-3.0	
4	D	971.00	586.99	7.00	10.00	179.41	0.00	971.00	586.87	-3.0	
2	E	670.90	745.80	20.00	20.00	180.00	0.00	670.90	744.61	0.00	
7	E	523.20	656.70	20.00	20.00	90.00	0.00	524.39	656.70	0.00	
3	F	796.00	497.00	20.00	20.00	255.96	0.00	794.89	496.72	0.00	
4	F	546.00	738.70	20.00	20.00	90.00	0.00	547.15	738.70	0.00	
1	G	526.90	450.70	20.00	20.00	86.76	0.00	528.04	450.76	0.00	

STATISTICS						
DESCRIPTION	SYMBOL	AVG	MAX	MIN	MAX/MIN	AVG/MIN
ENTIRE CALC ZONE	+	0.8 fc	6.0 fc	0.0 fc	N/A	N/A
PARKING AND LANES	X	2.8 fc	5.9 fc	0.5 fc	11.8:1	5.6:1
PROPERTY LINE	+	0.2 fc	0.9 fc	0.0 fc	N/A	N/A

REVISIONS:
A) 1. ADDED MOUNTING HEIGHT RESTRICTIONS UNDER LUMINAIRE LOCATIONS CHART.
B) 1. ADJUSTED LIGHT POLE LOCATIONS. (W.L.G.)



GENERAL NOTES:

- ALL EXTERIOR LIGHTING SHALL BE SO ARRANGED AND/OR SHIELDED SO AS TO NOT CAST OBJECTIONABLE ILLUMINATION OR GLARE UPON ADJOINING PROPERTIES.
- THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS UTILIZING CURRENT INDUSTRY STANDARD LAMP RATINGS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS AND OTHER VARIABLE FIELD CONDITIONS.
- DESIGN AND CONSTRUCTION OF THE ELECTRICAL DISTRIBUTION AND SUPPLY SYSTEM FOR THE PROPOSED SITE LIGHTING SHALL BE THE RESPONSIBILITY OF THE OWNER'S ELECTRICAL DESIGN CONSULTANT.
- SITE LIGHTING INFORMATION DEPICTED HEREON HAS BEEN GENERATED BY:
ILLUMINATIONS, INC.
5062 WEST CHESTER PIKE
NEWTOWN SQUARE, PA 19073-2802
jordlemay@illuminationsinc.com



D-Series Size 1 LED Wall Luminaire



Specifications Luminaire

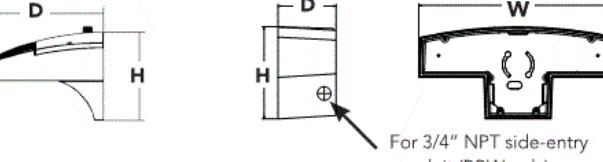
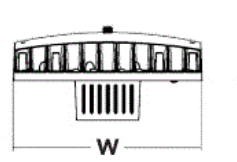
Width: 13-3/4" (34.9 cm)
Depth: 10" (25.4 cm)
Height: 6-3/8" (16.2 cm)

Weight: 12 lbs (5.4 kg)

Back Box (BBW, ELCW)

Width: 13-3/4" (34.9 cm)
Depth: 4" (10.2 cm)
Height: 6-3/8" (16.2 cm)

BBW Weight: 5 lbs (2.3 kg)
ELCW Weight: 10 lbs (4.5 kg)



D-Series Size 2 LED Wall Luminaire



Specifications Luminaire

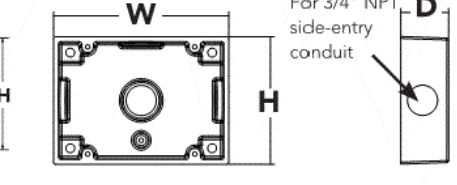
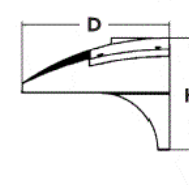
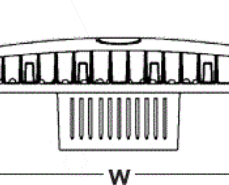
Width: 18-1/2" (47.0 cm)
Depth: 10" (25.4 cm)
Height: 7-5/8" (19.4 cm)

Weight: 21 lbs (9.5 kg)

Back Box (BBW)

Width: 5-1/2" (14.0 cm)
Depth: 1-1/2" (3.8 cm)
Height: 4" (10.2 cm)

BBW Weight: 1 lbs (0.5 kg)

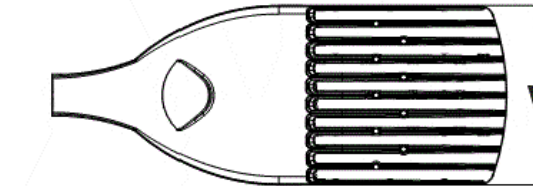


D-Series Size 1 LED Area Luminaire

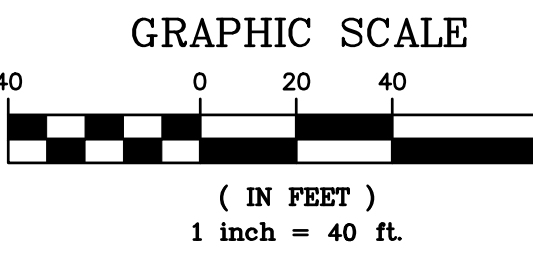


Specifications

EPA: 1.01 ft² (0.09 m²)
Length: 33" (83.8 cm)
Width: 13" (33.0 cm)
Height: 7-1/2" (19.0 cm)
Weight (max): 27 lbs (12.3 kg)



BENCHMARK:
RIM OF SANITARY SEWER MANHOLE 1-203
LOCATED ALONG GETTYSBURG PIKE TO THE NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)



Williams
SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958

COMMONWEALTH OF PENNSYLVANIA
REGISTERED PROFESSIONAL
ENGINEER
DOUGLAS S. GOSK
NO. 04760-E
J. GOSK

LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
SITE LIGHTING PLAN
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
CUMBERLAND COUNTY, PA
UPPER ALLEN TOWNSHIP

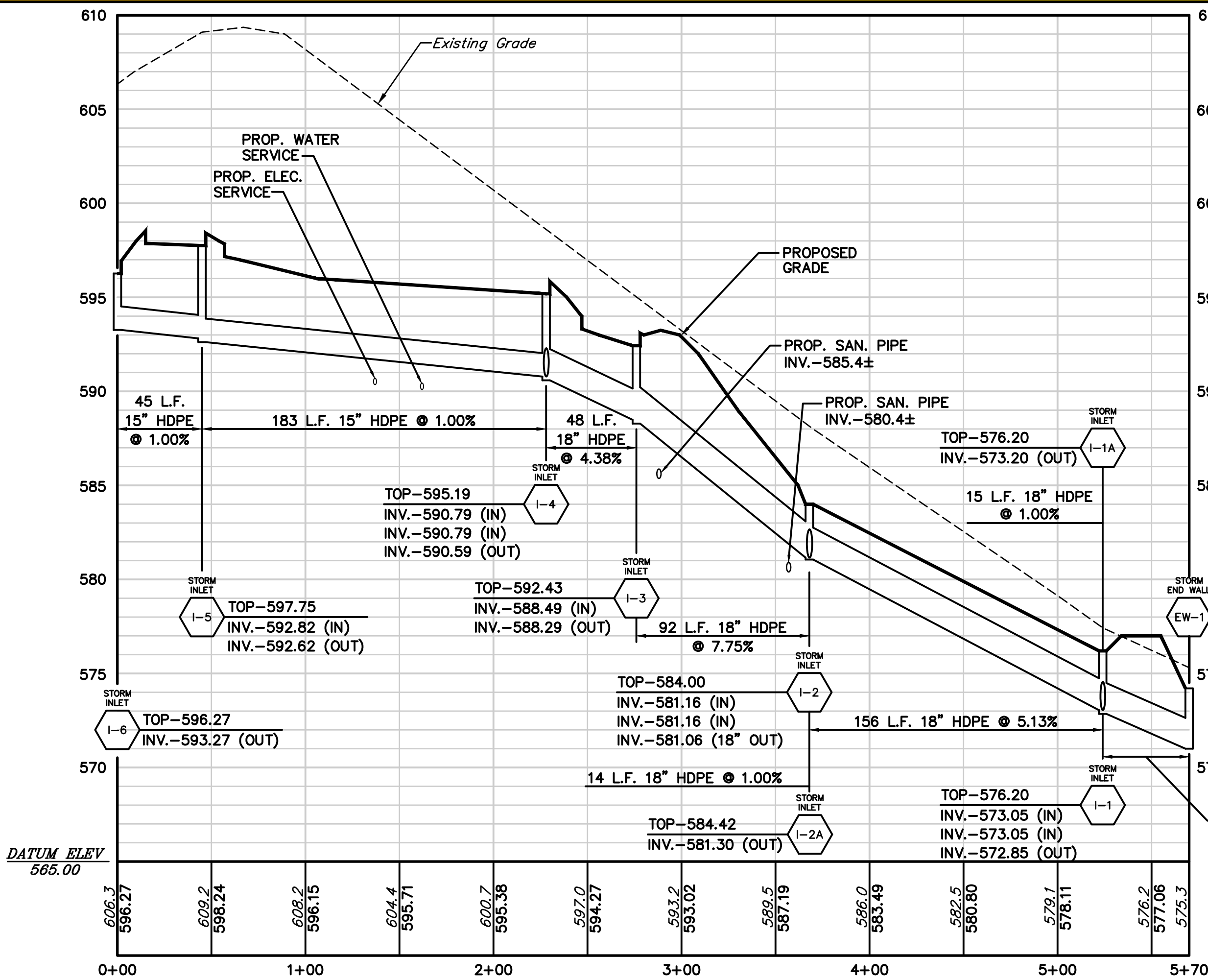
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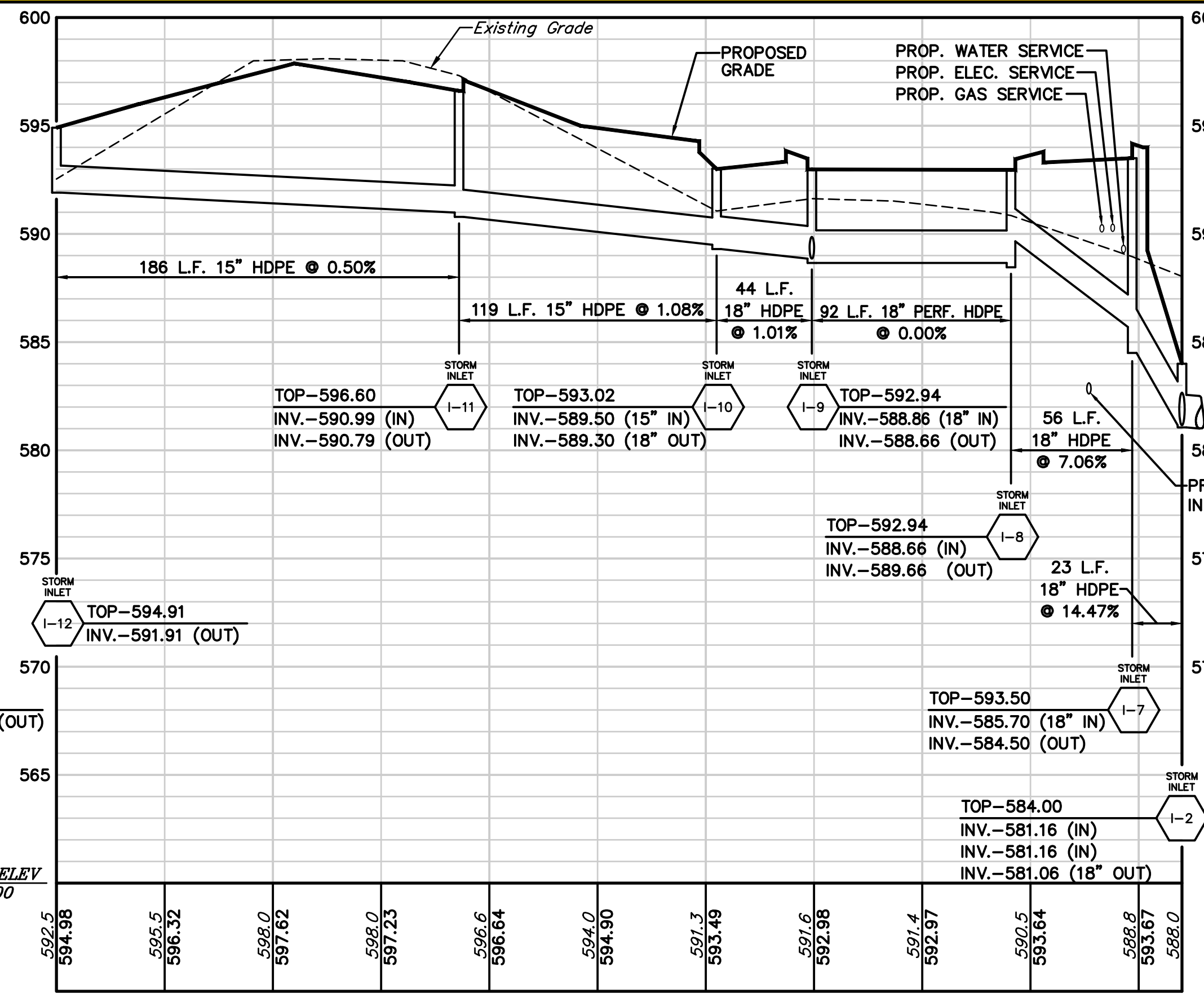
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REVISIONS		
NOVEMBER 6, 2019 - AS PER TOWNSHIP COMMENTS		
BY APRIL 12, 2020 - AS PER TOWNSHIP, PENNSYLVANIA & OWNER COMMENTS		
DESIGN BY: J.B.	DRAWN BY: W.L.G.	CHECKED BY: A.S.W.
WSC PROJECT NUMBER: GPike-UA-Office-FINAL		
SCALE: 1" = 40'		
DATE: SEPTEMBER 27, 2019		

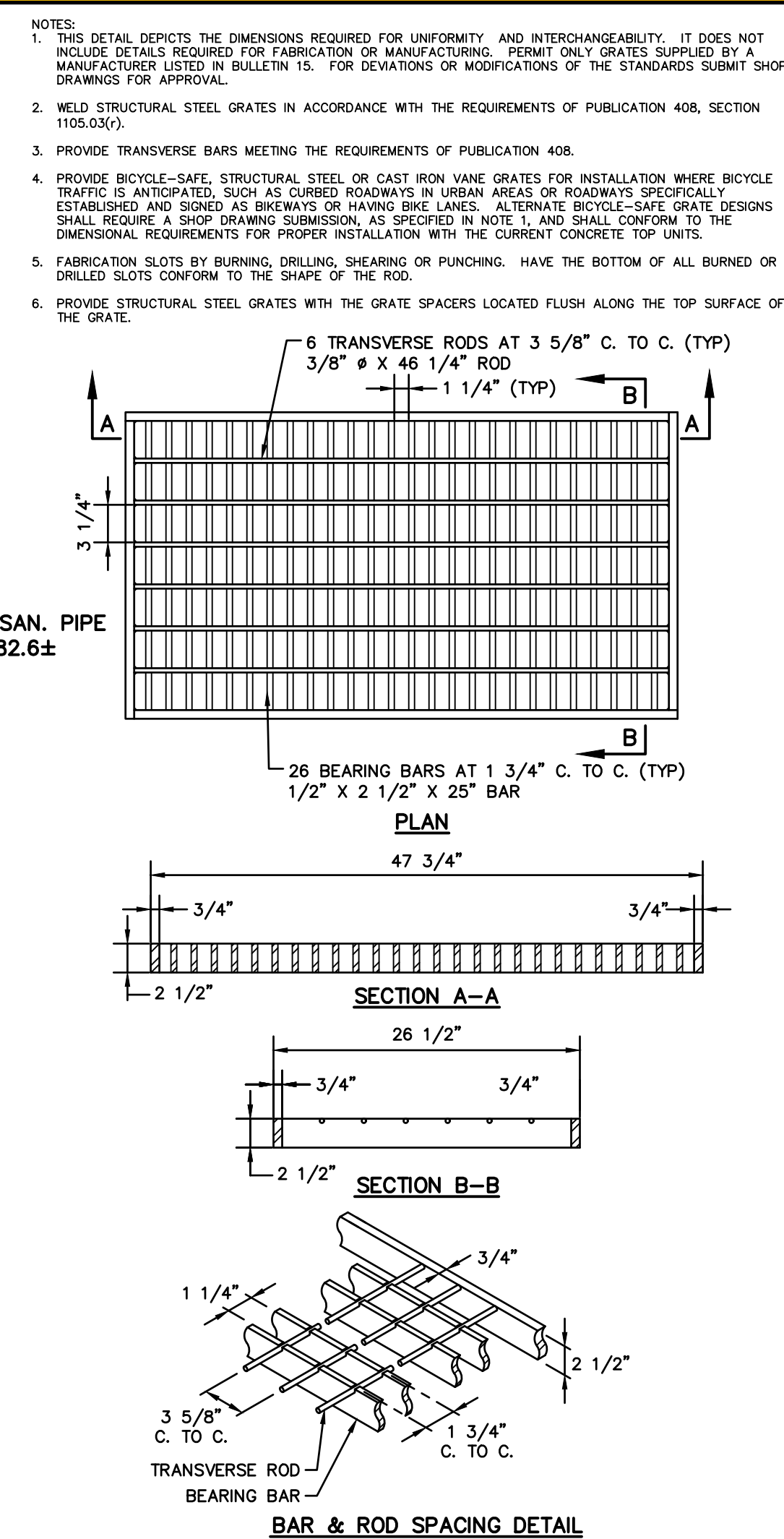
SHEET
10 OF 15



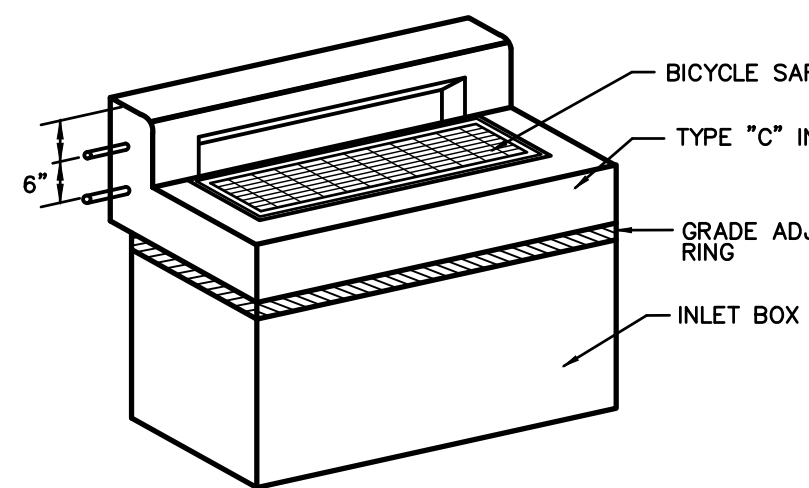
STORM SEWER PROFILE
PROPOSED INLET I-6 TO PROPOSED ENDWALL EW-1
SCALE: HORIZONTAL 1" = 50'
VERTICAL 1" = 5'



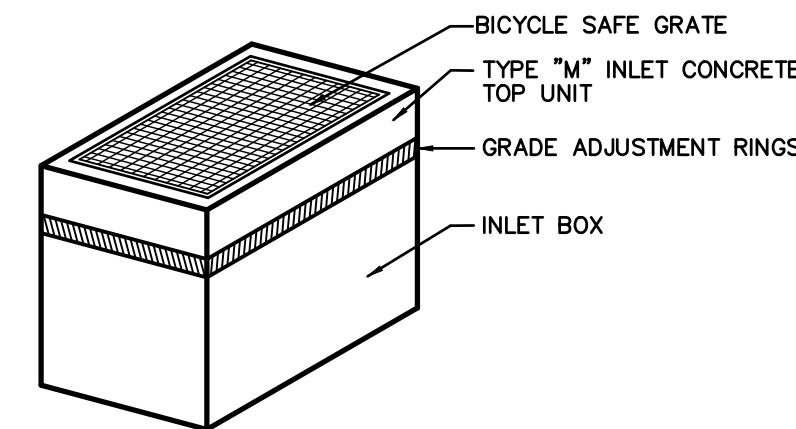
STORM SEWER PROFILE
PROPOSED INLET I-12 TO PROPOSED INLET I-2
SCALE: HORIZONTAL 1" = 50'
VERTICAL 1" = 5'



STRUCTURAL STEEL GRATE
(BICYCLE SAFE)
N.T.S.

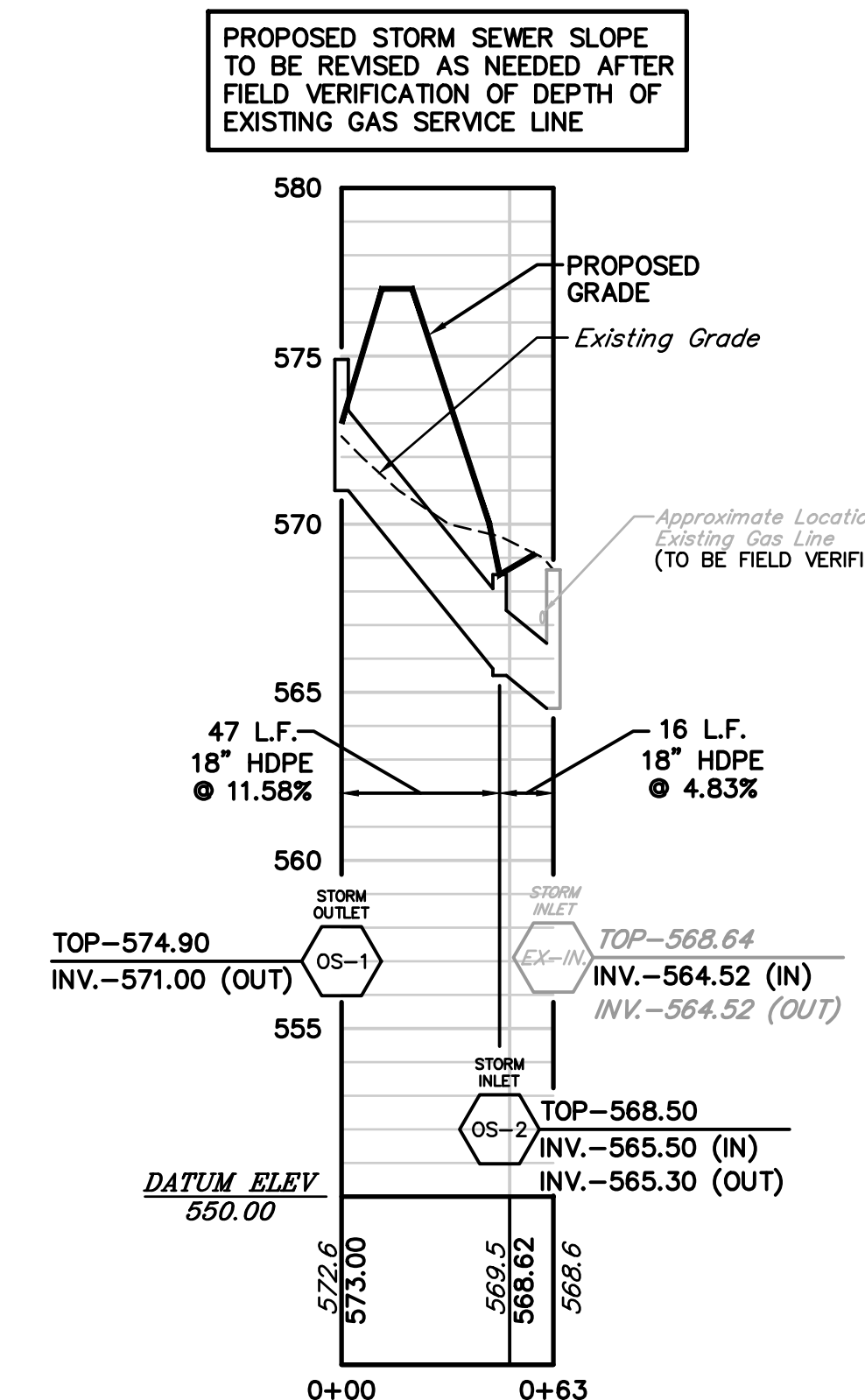


NOTES:
1. INLETS SHALL CONFORM TO PENNDOT STANDARD INLET RC-34M.
2. PROVIDE STEPS WHERE INLET DEPTH EXCEEDS 5 FEET.
TYPE "C" INLET
N.T.S.

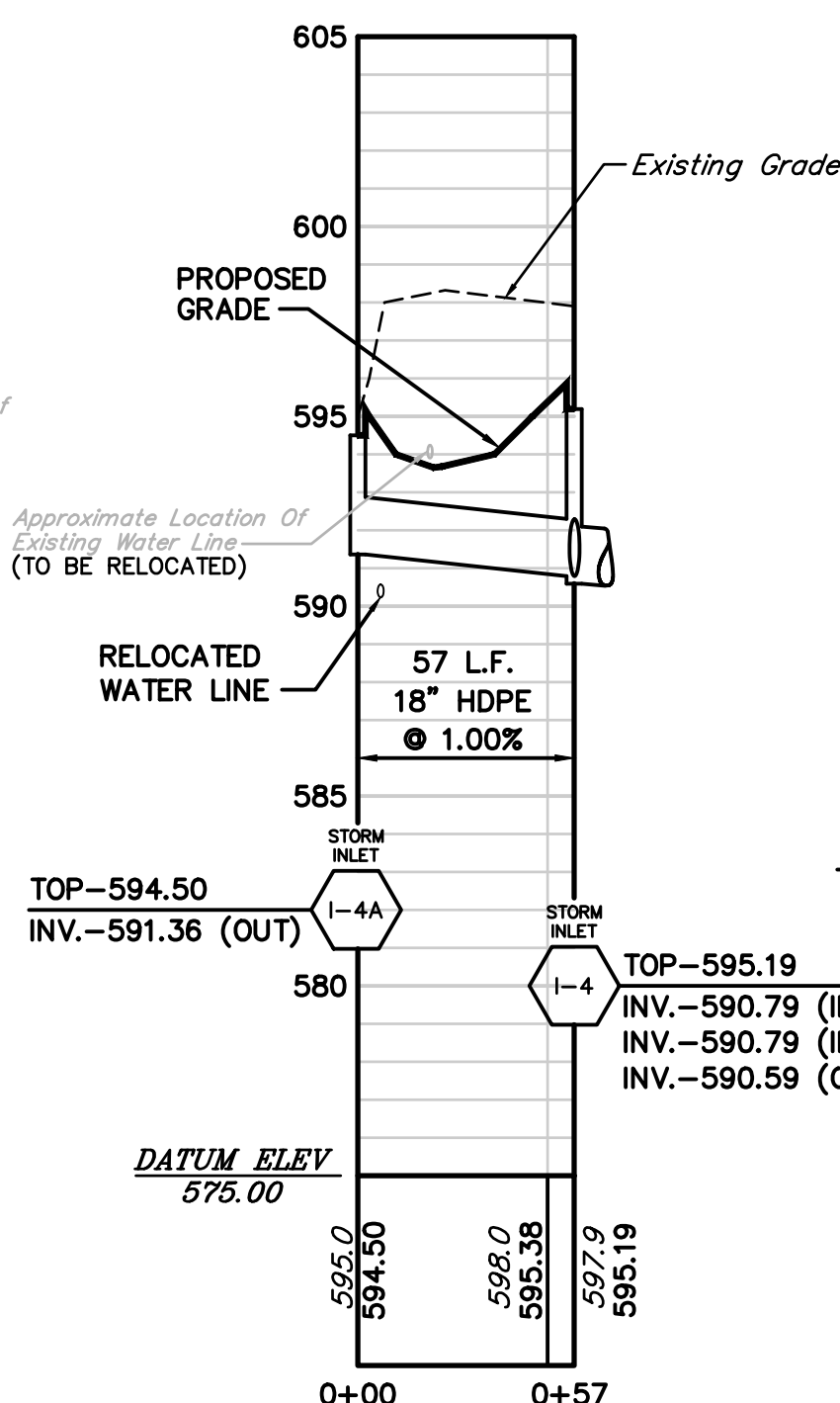


NOTES:
1. INLETS SHALL CONFORM TO PENNDOT STANDARD INLET RC-34M.
2. PROVIDE STEPS WHERE INLET DEPTH EXCEEDS 5 FEET.
TYPE "M" INLET
N.T.S.

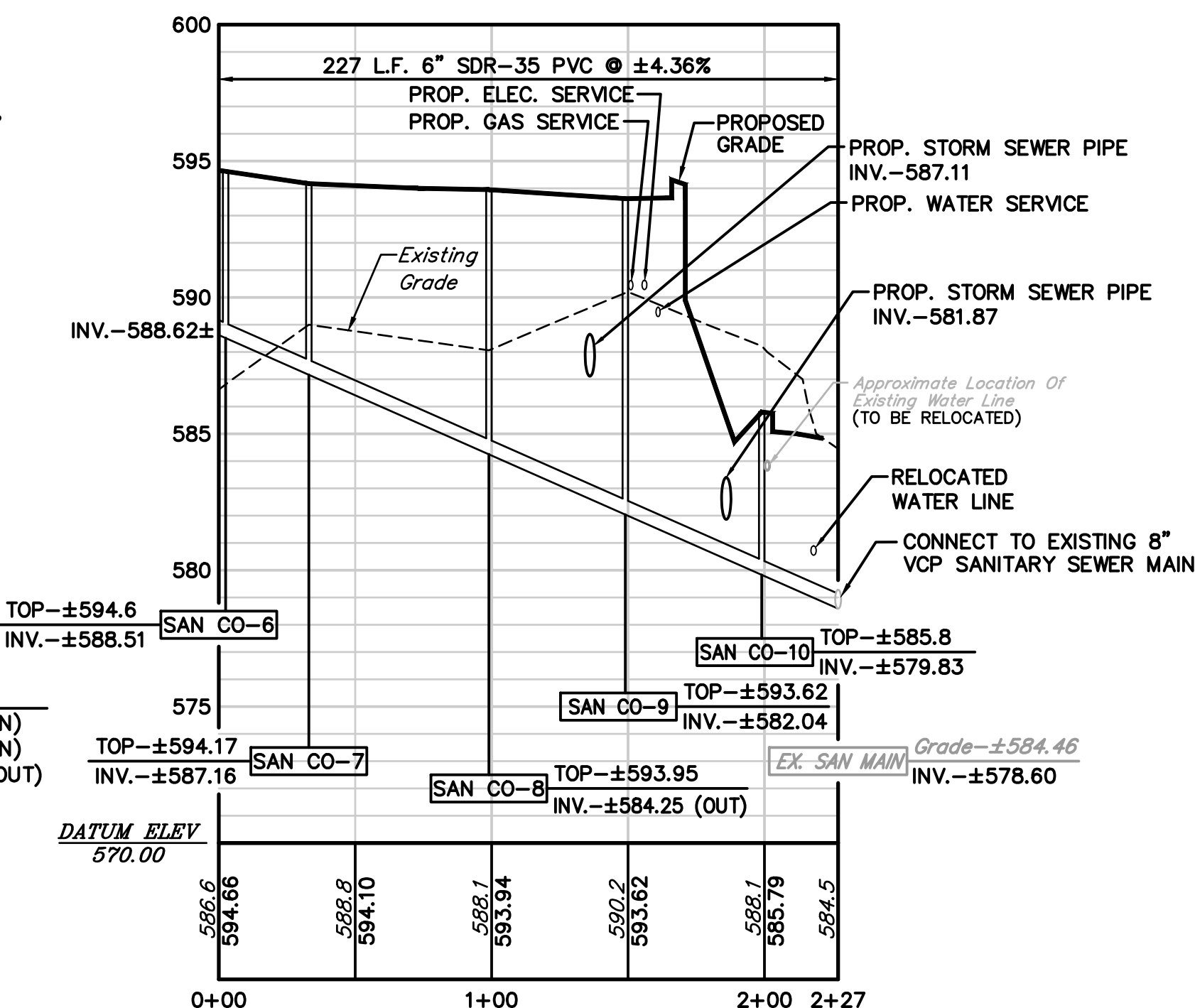
REVISIONS:
A) 1. REVISED UTILITY PROFILES. (W.L.G.)
B) 1. REVISED UTILITY PROFILES. (W.L.G.)



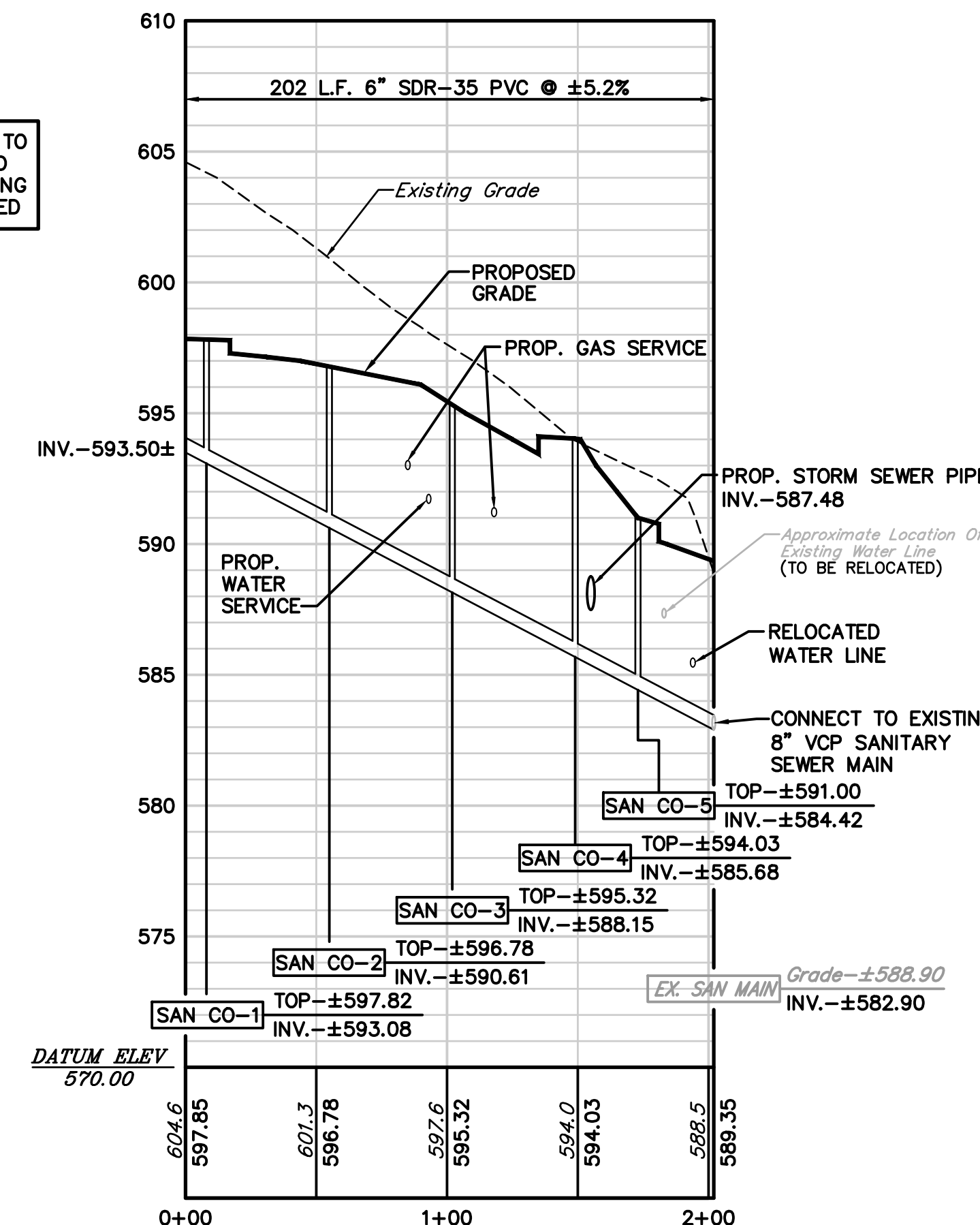
STORM SEWER PROFILE
PROPOSED OUTLET STRUCTURE OS-1
TO EXISTING INLET
SCALE: HORIZONTAL 1" = 50'
VERTICAL 1" = 5'



STORM SEWER PROFILE
PROPOSED INLET I-4A
PROPOSED TO INLET I-4
SCALE: 1" = 50' HORIZONTAL
1" = 5' VERTICAL

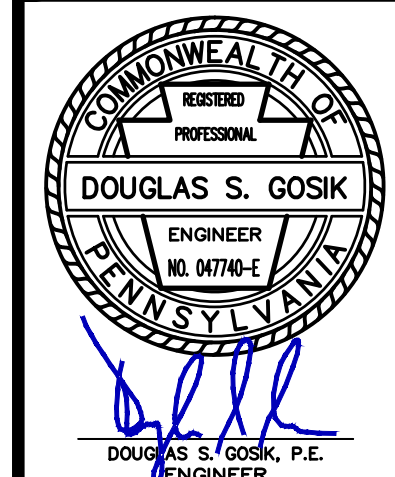


SANITARY SEWER PROFILE
PROPOSED 1-STORY BUILDING TO
EXISTING SANITARY MAIN
SCALE: HORIZONTAL 1" = 50'
VERTICAL 1" = 5'



SANITARY SEWER PROFILE
PROPOSED 2-STORY BUILDING
TO EXISTING SANITARY MAIN
SCALE: HORIZONTAL 1" = 50'
VERTICAL 1" = 5'

W:\2018 Land Projects\G Pike Assoc - U Allen Twp\CADD\Final LD Plans\GPKE-UA-OFFICE-PROFILES.dwg, 4/22/2020 2:00:11 PM, briley



UTILITY PROFILES
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

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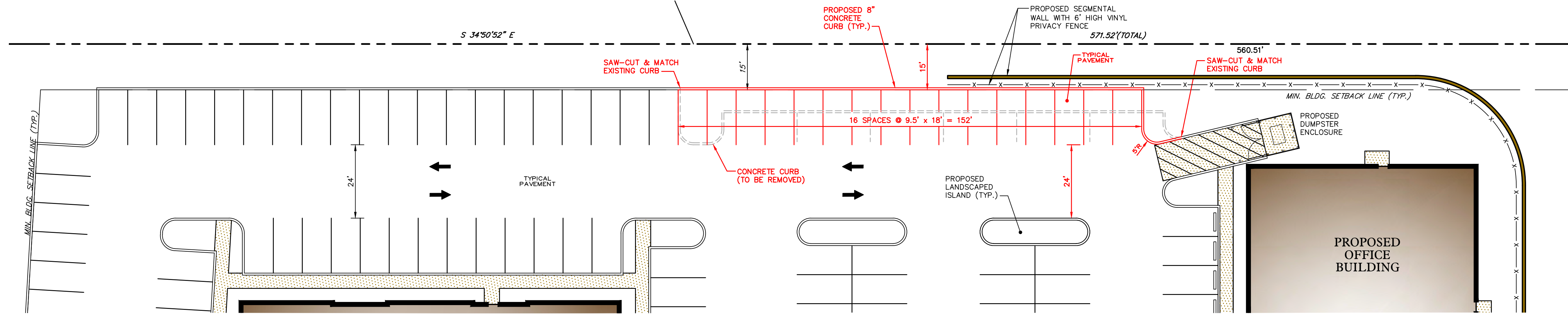
REVISIONS	DATE	BY	CHKD
A) NOVEMBER 8, 2019 - AS PER TOWNSHIP COMMENTS			
B) APRIL 23, 2020 - AS PER TOWNSHIP, PENNDOT & OWNER COMMENTS			

DESIGN BY: G.R.S. DRAWN BY: W.L.G. CHECKED BY: D.S.G.
WSC PROJECT NUMBER:
GPKE-UA-OFFICE-FINAL

SCALE: AS NOTED
DATE: SEPTEMBER 27, 2019

SHEET
11 OF 15

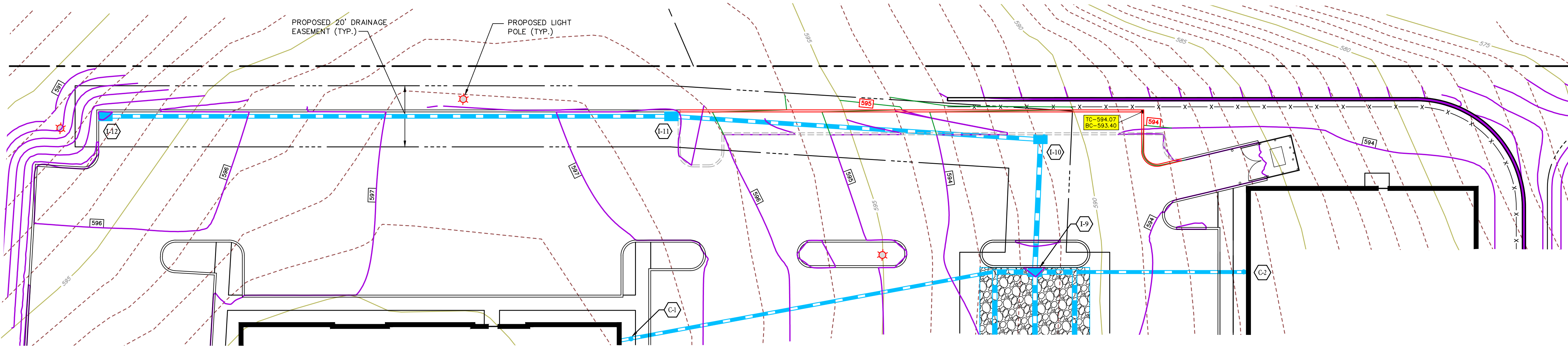
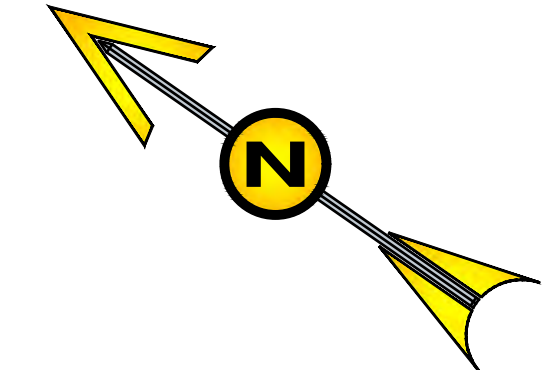
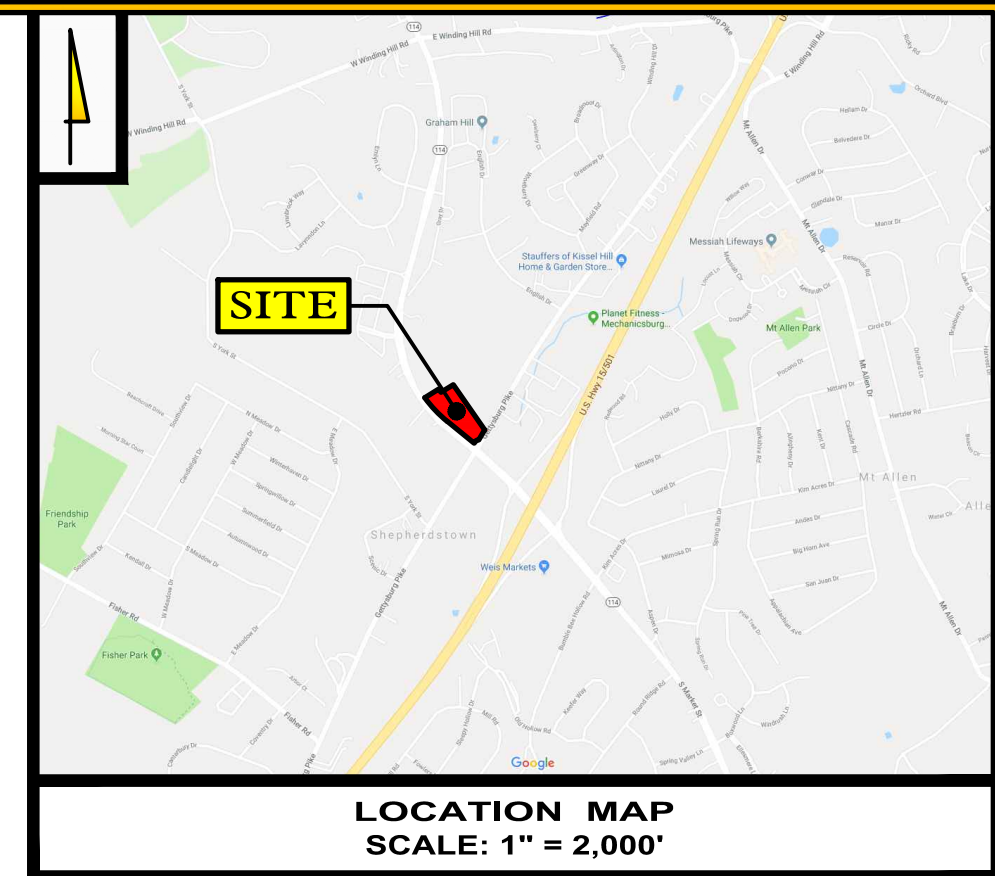
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ALTERNATE PARKING LAYOUT

SCALE: 1" = 20'

NOTE: THIS ALTERNATE PARKING LAYOUT IS PROVIDED IN THE EVENT IT IS DETERMINED BY THE TOWNSHIP ZONING OFFICER THAT A LANDSCAPE BUFFER ALONG THE ABUTTING HESS FAMILY PARTNERSHIP PROPERTY IS NO LONGER REQUIRED (WHEN A PREVIOUS RESIDENTIAL USE HAS NOT BEEN RESUMED FOR A PERIOD OF ONE YEAR). THE ALTERNATE PARKING LAYOUT PRESENTED ABOVE INCREASES PROPOSED SITE IMPERVIOUS COVERAGE FROM 61.17 PERCENT TO 61.86 PERCENT (A 1,130 S.F. INCREASE) AND PROVIDES 10 ADDITIONAL PARKING SPACES. STORMWATER COLLECTION/MANAGEMENT FACILITIES HAVE BEEN DESIGNED TO ACCOMMODATE THE INCREASED IMPERVIOUS COVERAGE.

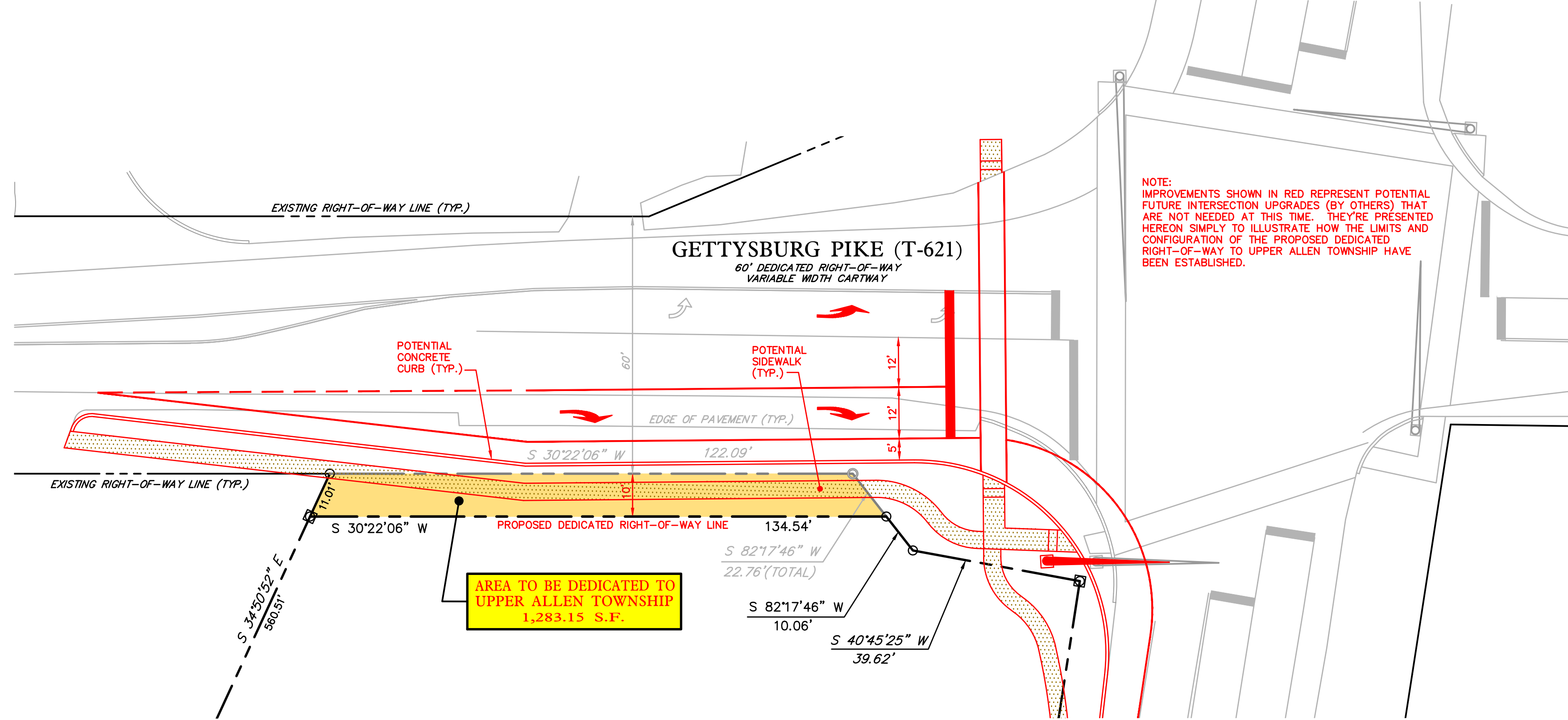
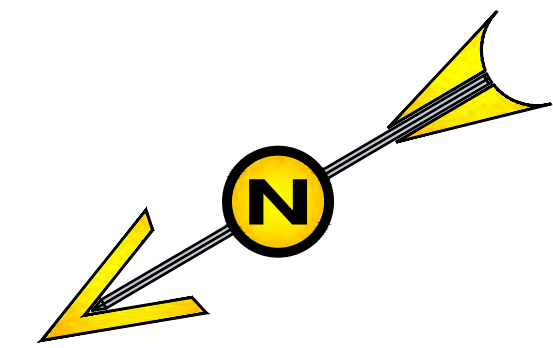


ALTERNATE PARKING GRADING / UTILITIES LAYOUT

SCALE: 1" = 20'

LEGEND:

- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED CONTOUR
- POTENTIAL CONTOUR
- PROPOSED STORM SEWER INLET & LINE
- PROPOSED SPOT ELEVATION



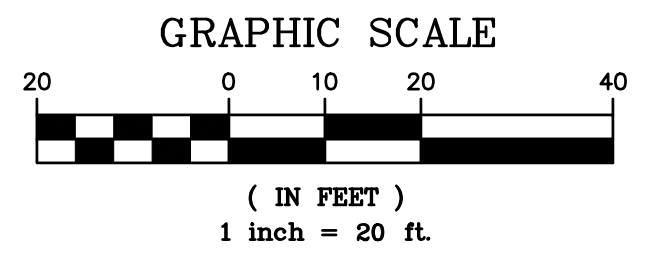
GETTYSBURG PIKE - DEDICATED RIGHT-OF-WAY DETAIL SHOWING POTENTIAL FUTURE ROADWAY IMPROVEMENTS (BY OTHERS)

SCALE: 1" = 20'

REVISIONS:
B) 1. MODIFIED ALTERNATE PARKING LAYOUTS. (B.E.R.)



BENCHMARK:
RIM OF SANITARY SEWER MANHOLE L510-13
LOCATED ALONG GETTYSBURG PIKE TO THE
NORTH OF THE PROPERTY
Elevation = 565.92 (NAVD 88)



Williams
SITE CIVIL, LLC
WE ENGINEER SAVINGS
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
PH: 717-412-0142
FAX: 717-540-7958

DOUGLAS S. GOSIK
ENGINEER
NO. 047760-E
DOUGLAS S. GOSIK, P.E.
ENGINEER

LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
MISCELLANEOUS DETAILS & OTHER INFORMATION
APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902
UPPER ALLEN TOWNSHIP
CUMBERLAND COUNTY, PA

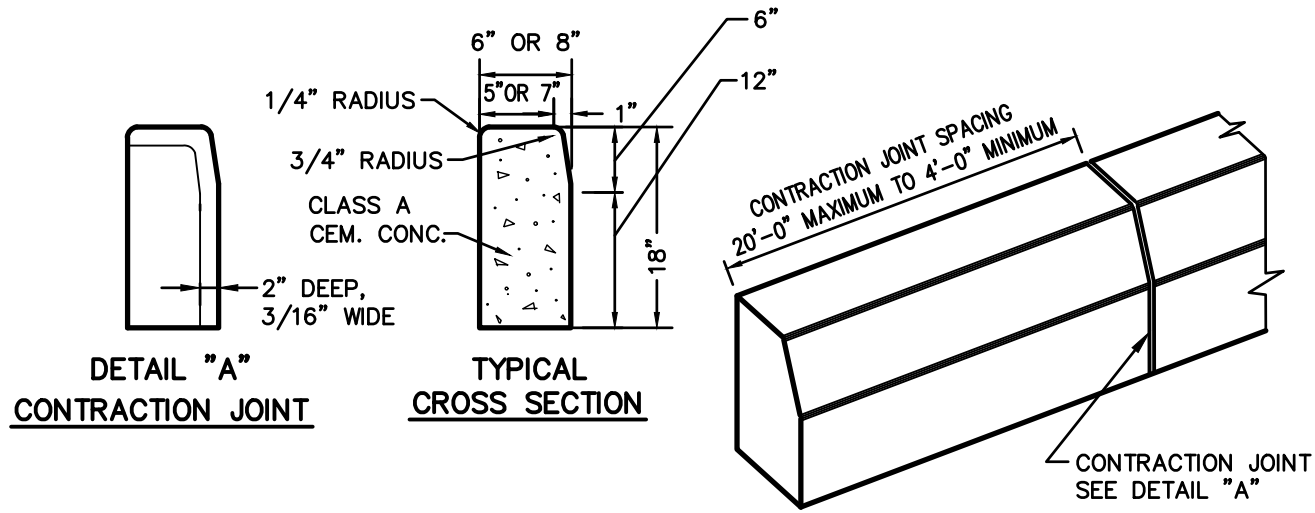
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REVISIONS		
NO.	DATE	DESCRIPTION
1	APRIL 21, 2020	AS PER TOWNSHIP PERMIT & OTHER COMMENTS

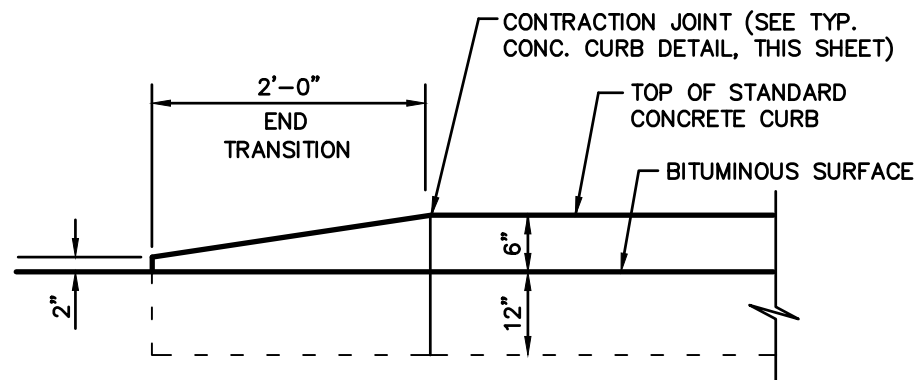
DESIGN BY:	DRAWN BY:	CHECKED BY:
G.R.S.	B.E.R.	D.S.G.
WSC PROJECT NUMBER:		
GPIKE-UA-OFFICE-FINAL		
SCALE: 1" = 20'		
DATE: SEPTEMBER 27, 2019		



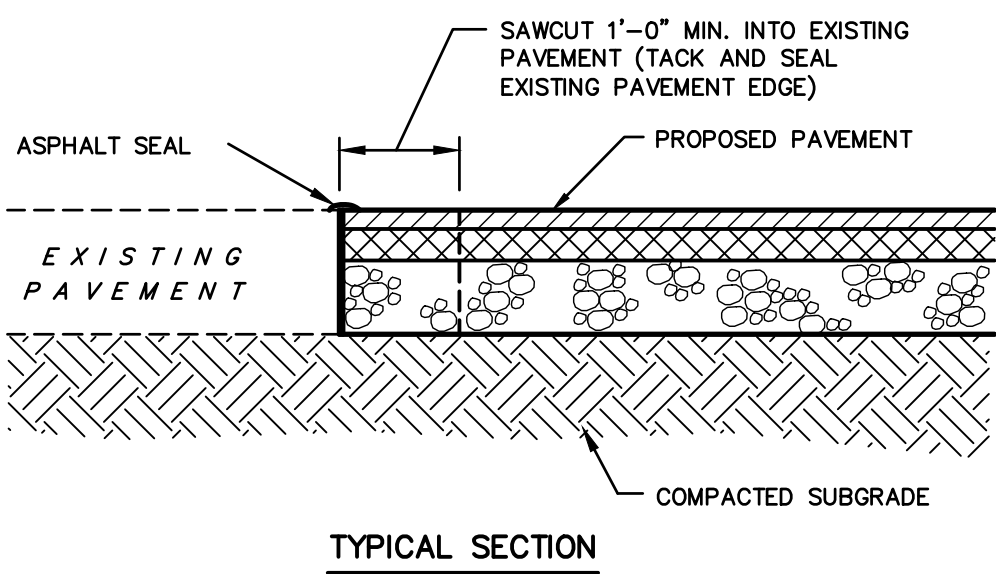
- NOTES:
1. MAINTAIN 8" CURB REVEAL FOR ALL SITE CURBING EXCEPT FOR FLUSH CURB AND 6" REVEAL ALONG THE FRONT OF BUILDINGS. SITE CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF ALL CURBING SHOWN WITHIN THIS PLAN SET. SEE GRADING/UTILITIES PLAN FOR SPOT ELEVATIONS ALONG CURBING.
 2. PLACE 3/4" THICK PREMOLODDED EXPANSION JOINT FILLER MATERIAL AT STRUCTURES AND AT THE END OF THE WORK DAY, CUT MATERIAL TO CONFORM TO AREA ADJACENT TO CURB OR CONFORM TO CROSS SECTIONAL AREA OF CURB.

TYPICAL CONCRETE CURB DETAIL

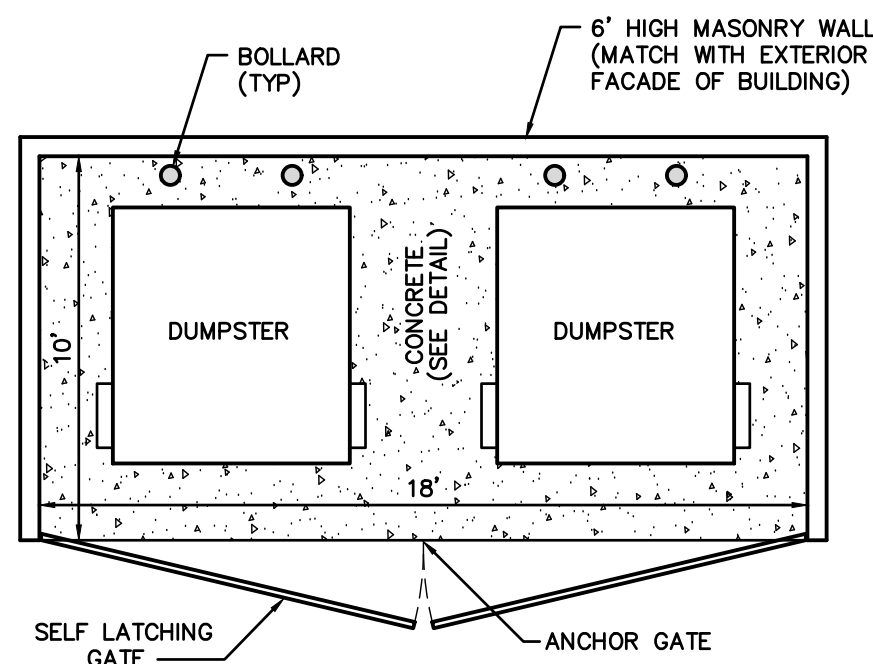
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N.T.S.



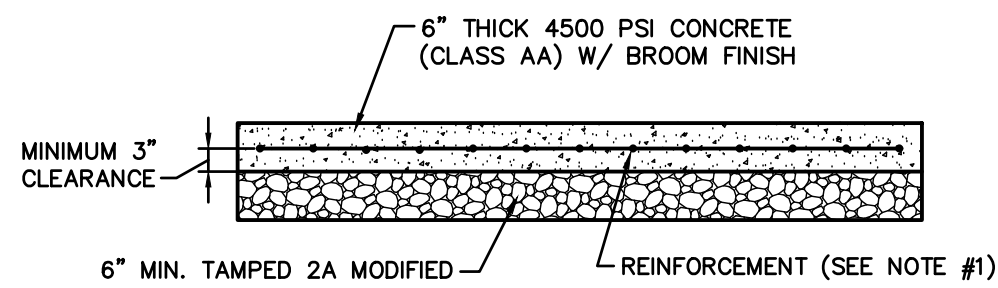
N.T.S.



- NOTE:
1. DUMPSTER ENCLOSURE MUST HAVE SELF-LATCHING DOOR OR GATE.

DUMPSTER PAD SECTION

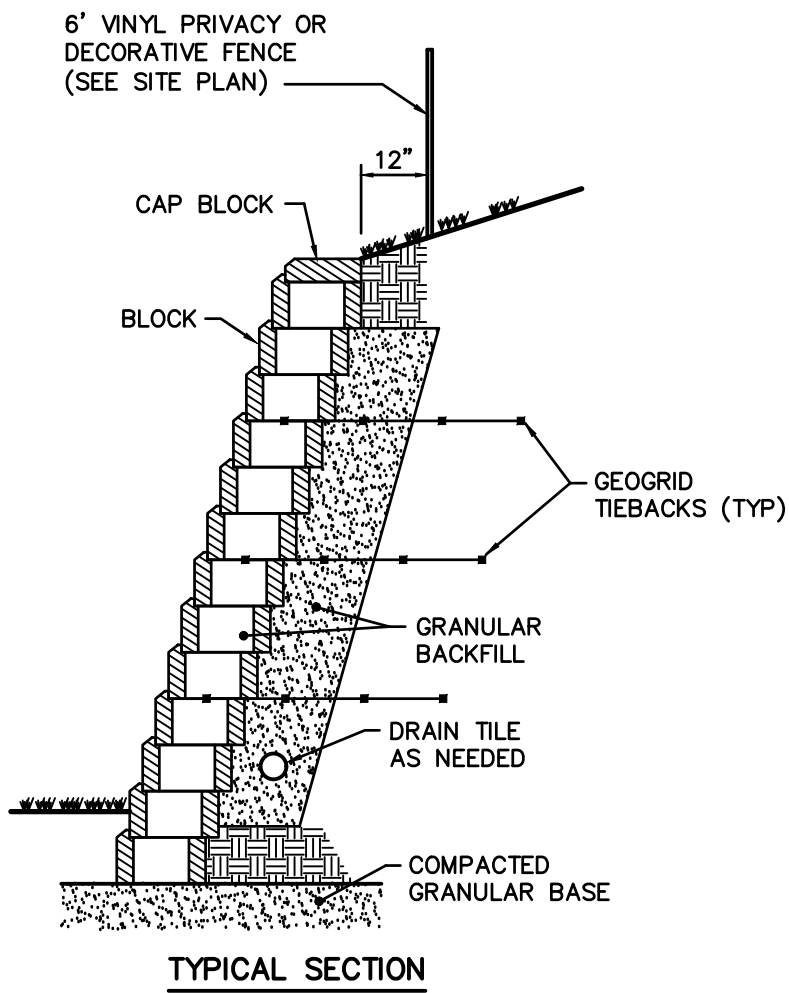
N.T.S.



- NOTES:
1. REINFORCEMENT OPTIONS:
A. No. 4, GRADE 60, DEFORMED STEEL REINFORCING BARS, SPACED AT 18 INCHES IN EACH DIRECTION.
B. No. W4 WELDED WIRE FABRIC SPACED AT 4 INCHES IN EACH DIRECTION (W4F 4x4-W4x4M).
 2. SEE SITE PLAN FOR PAD DIMENSION.

TYPICAL PAVEMENT MARKINGS

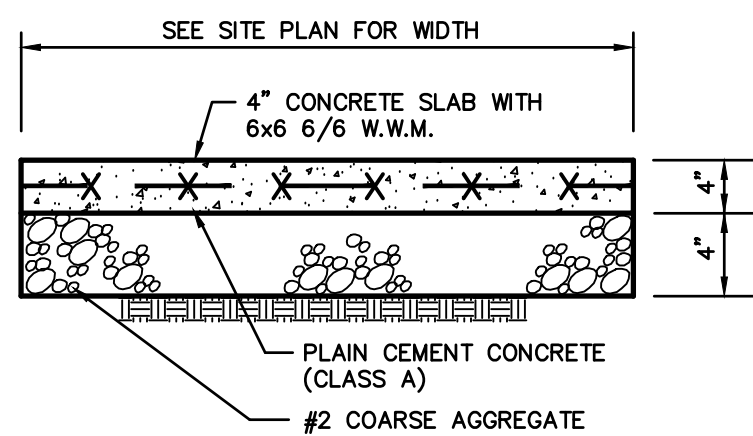
N.T.S.



- NOTES:
1. SPECIFIC DESIGN AND DETAILS FOR ON-SITE RETAINING WALL SHALL BE PREPARED BY THE MANUFACTURER AND PROVIDED TO THE TOWNSHIP FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
 2. ALL WALLS IN EXCESS OF 30" IN HEIGHT SHALL INCLUDE PROTECTIVE BARRIERS AT THE TOP.

TYPICAL CONCRETE SIDEWALK

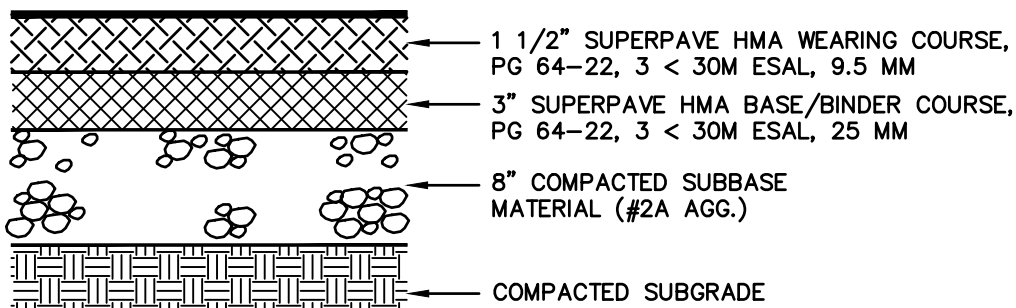
N.T.S.



- NOTES:
1. CONSTRUCT SIDEWALK IN ACCORDANCE WITH PADOT SPECIFICATIONS
 2. PROVIDE TRANSVERSE TOOLED JOINTS @ 5' INTERVALS
 3. PROVIDE 1/2" PREMOLODDED EXPANSION JOINT MATERIAL @ 20' SPACING

PROTECTIVE DECORATIVE FENCE DETAIL (ALONG RETAINING WALL)

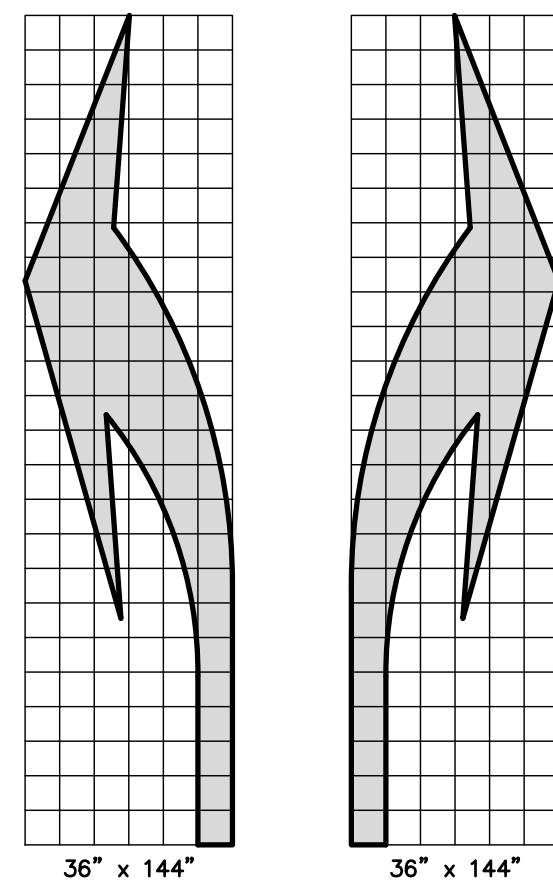
N.T.S.



- NOTE:
1. ALL COMPONENTS OF THE PAVEMENT STRUCTURE SHALL BE DESIGNED IN ACCORDANCE WITH PENNDOT SPECIFICATIONS. MATERIALS MUST BE PROVIDED BY A PENNDOT-APPROVED PLANT AND SHALL MEET THE CURRENT REQUIREMENTS APPROVED BY PENNDOT.

TYPICAL PARKING LOT LIGHTING STANDARD DETAIL

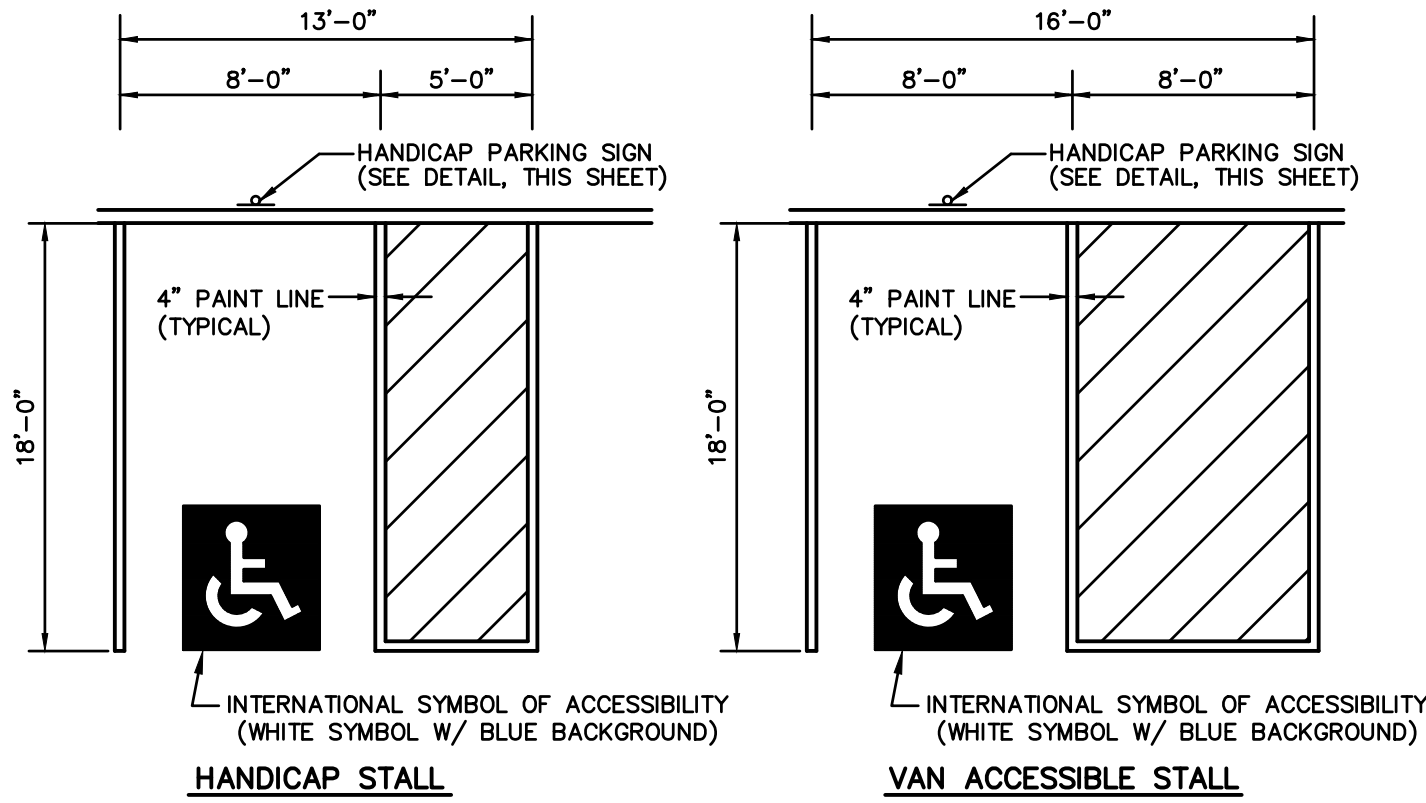
N.T.S.



- NOTE: ALL PAVEMENT MARKINGS SHOULD BE INLaid PLASTIC (OR SURFACE APPLIED WHERE NECESSARY).

STOP BAR PAVEMENT MARKING DETAIL

N.T.S.



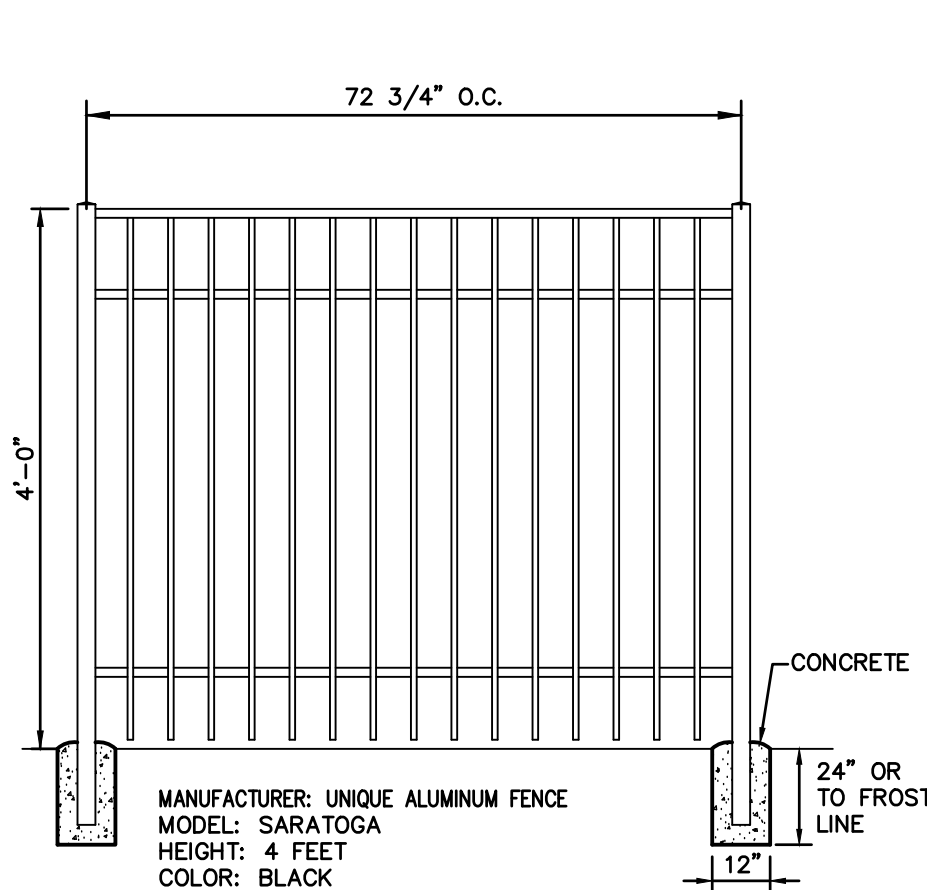
- NOTE:
- LAYOUT SHALL CONFORM TO THE REQUIREMENTS OF THE UNIFORM FEDERAL ACCESSIBILITY STANDARDS, SECTION 4.30.

ALL HANDICAPPED SPACES SHALL NOT EXCEED A 2% SLOPE IN ALL DIRECTIONS.

ADA = FEDERAL ACCESSIBILITY CODES (AMERICAN DISABILITIES ACT, JULY 26, 1991).

HANDICAP PARKING STALL DETAIL

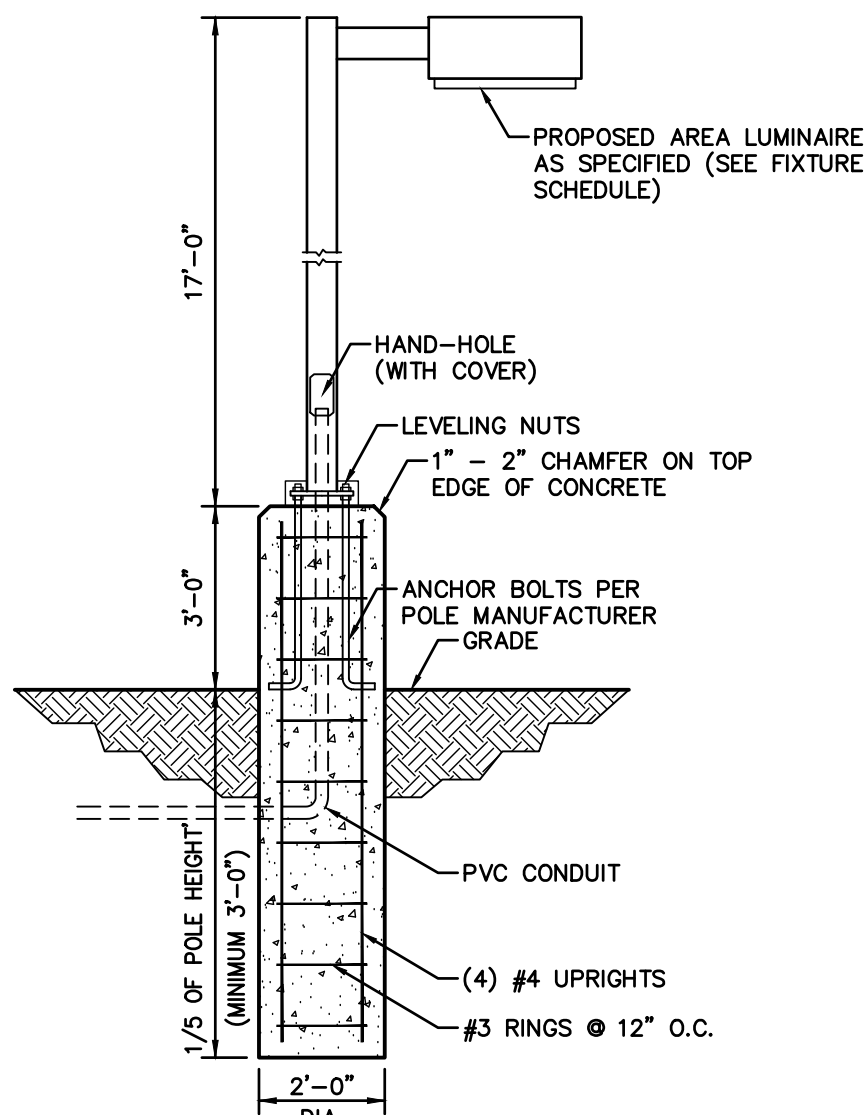
N.T.S.



- NOTES:
1. PROVIDE FENCE WHERE WALL HEIGHT EXCEEDS 30 INCHES.
 2. FENCE MUST COMPLY WITH UPPER ALLEN TOWNSHIP ZONING ORDINANCE AND PA UCC.

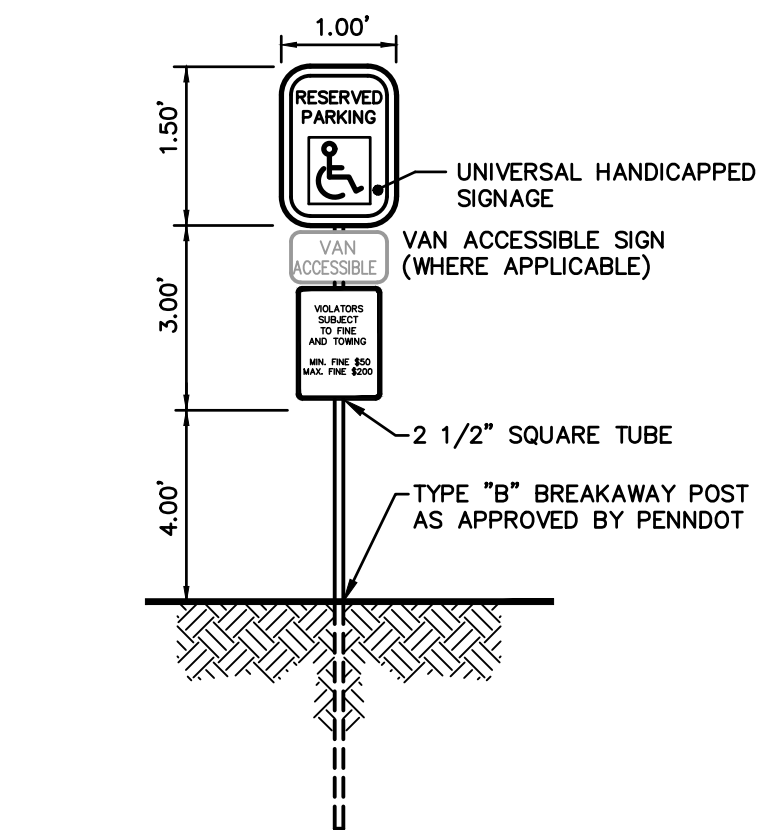
PROTECTIVE DECORATIVE FENCE DETAIL (ALONG RETAINING WALL)

N.T.S.



STOP BAR PAVEMENT MARKING DETAIL

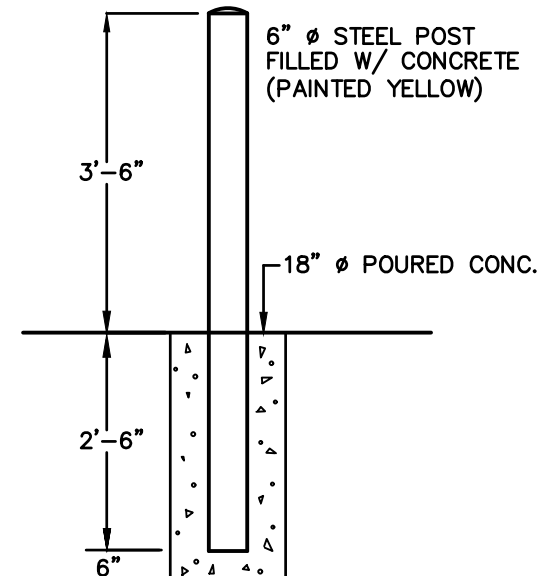
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HANDICAP SIGN SHALL BE ATTACHED TO SAID STANDARD AT A MINIMUM HEIGHT OF SIX (6) FEET.

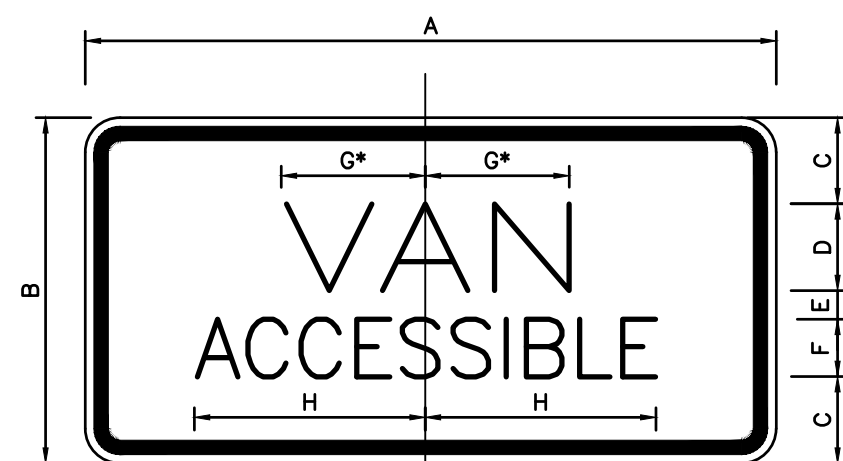
HANDICAP PARKING SIGN

N.T.S.



PROTECTIVE BOLLARD DETAIL

N.T.S.



COLOR: LEGEND
BACKGROUND GREEN (REFLECTORIZED)
WHITE (REFLECTORIZED)

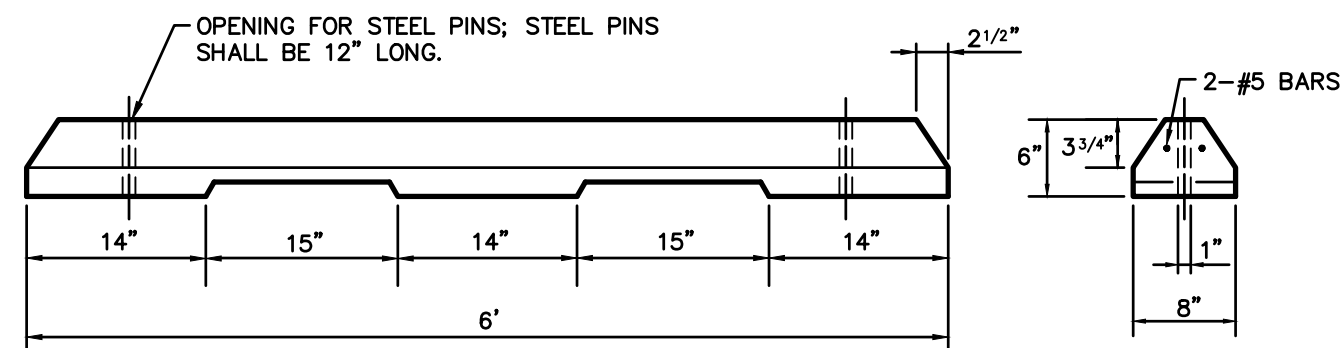
* REDUCE LETTER SPACING 50%

SIGN SIZE	A	B	C	D	E	F	G	H
12x6	12	6	1 1/2	1 1/2	1/2	1	2 1/2	4

SIGN SIZE	SERIES	MARKING	BOARD	BLANK STD.
12x6	D	D	85	1206

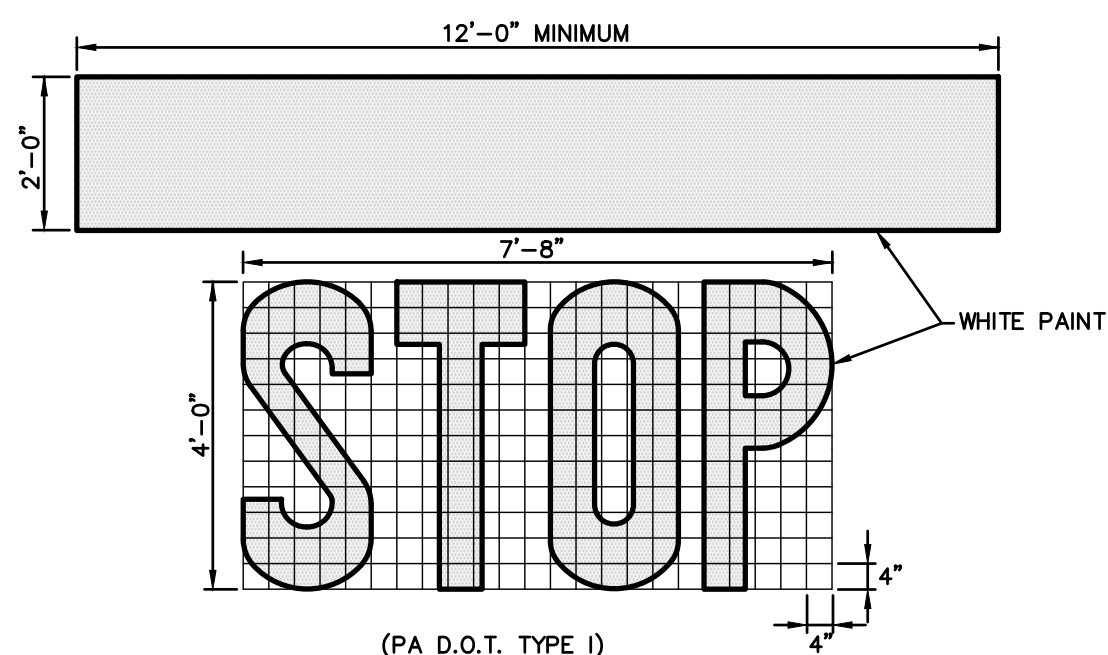
VAN ACCESSIBLE SIGN (PADOT R7-8A)

N.T.S.



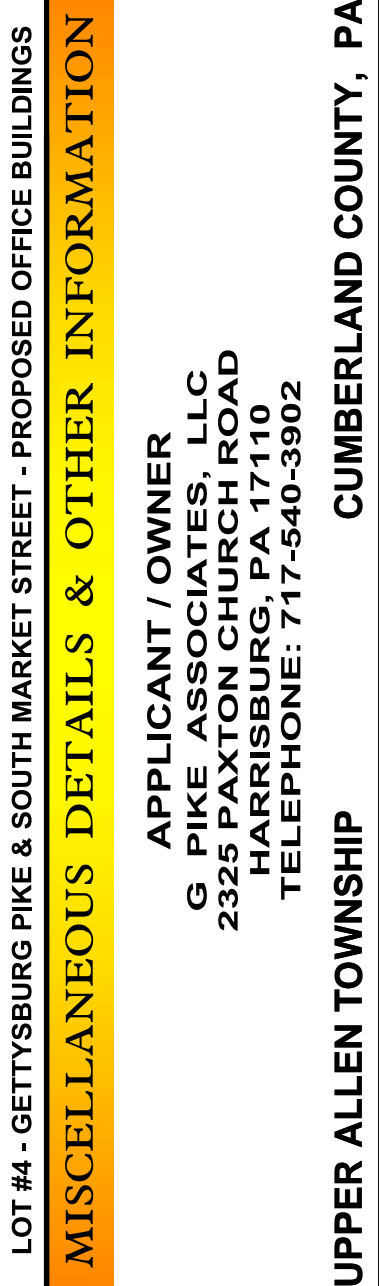
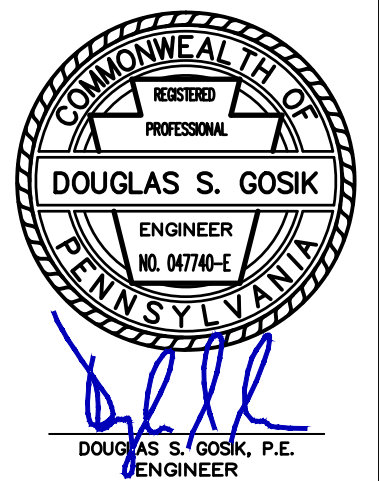
CONCRETE CURB STOP

N.T.S.



STOP BAR PAVEMENT MARKING DETAIL

N.T.S.



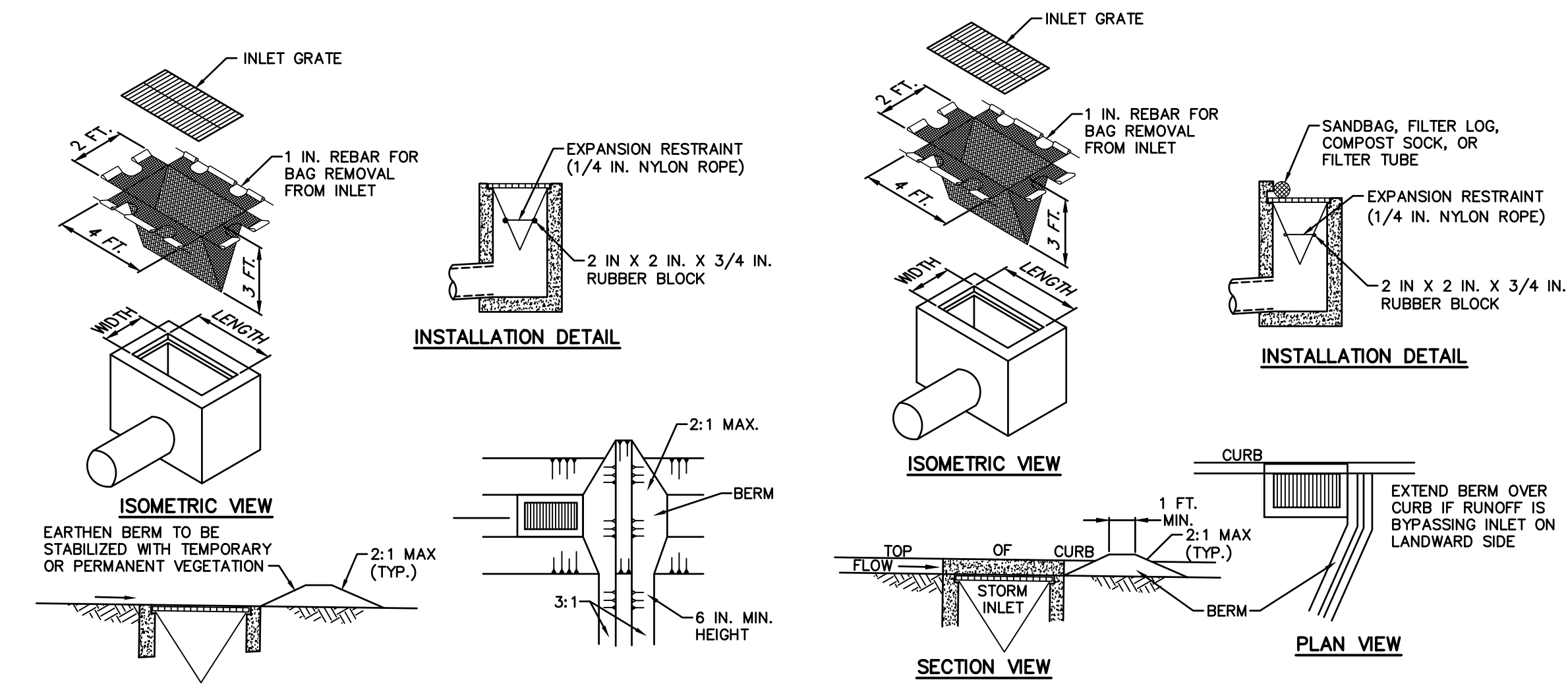
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REVISIONS	DESIGN BY:	DRAWN BY:	CHECKED BY:
	G.R.S.	W.L.G.	D.S.G.
	WSC PROJECT NUMBER:		
	GPIKE-UA-OFFICE-FINAL		
	SCALE: AS NOTED		
	DATE: SEPTEMBER 29, 2019		

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NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM IN ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM ON ROADWAY SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. EARTHEN BERM IN CHANNEL SHALL BE MAINTAINED UNTIL PERMANENT STABILIZATION IS COMPLETED OR REMAIN PERMANENTLY.

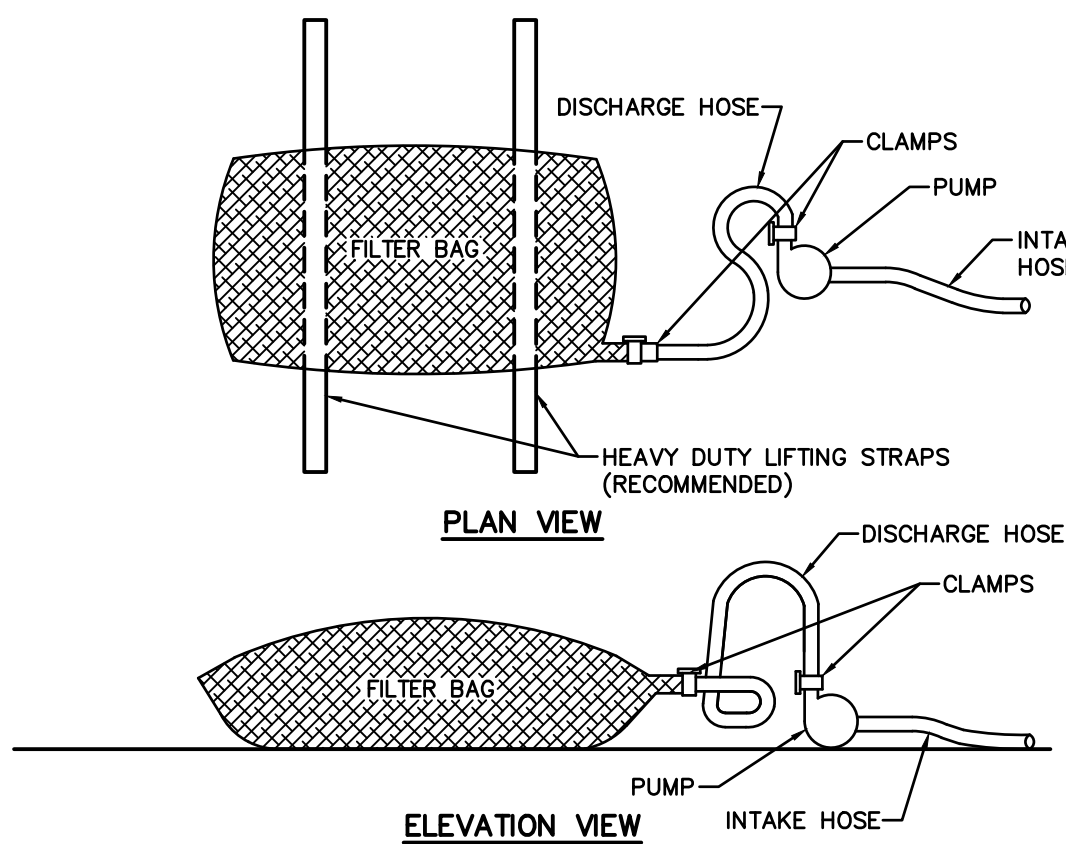
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS., A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-16 FILTER BAG INLET PROTECTION - TYPE M INLET

N.T.S.



NOTES:

LOW VOLUME FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STITCHED "Y" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES LARGER THAN 150 MICRONS. HIGH VOLUME FILTER BAGS SHALL BE MADE FROM WOVEN GEOTEXTILES THAT MEET THE FOLLOWING STANDARDS:

PROPERTY	TEST METHOD	MINIMUM STANDARD
AVG. WIDE WIDTH STRENGTH	ASTM D-4884	60 LB/IN
GRAB TENSILE	ASTM D-4632	205 LB
PUNCTURE	ASTM D-4833	110 LB
MULLEN BURST	ASTM D-3786	350 PSI
UV RESISTANCE	ASTM D-4355	70%
AOS % RETAINED	ASTM D-4751	80 SIEVE

A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES SHALL BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME 1/2 FULL OF SEDIMENT. SPARE BAGS SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED. BAGS SHALL BE PLACED ON STRAPS TO FACILITATE REMOVAL UNLESS BAGS COME WITH LIFTING STRAPS ALREADY ATTACHED.

BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE, EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE UNDERLAYMENT AND FLOW PATH SHALL BE PROVIDED. BAGS MAY BE PLACED ON FILTER STONE TO INCREASE DISCHARGE CAPACITY. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 8% FOR SLOPES EXCEEDING 5% CLEAN ROCK OR OTHER NON-ERODIBLE AND NON-POLLUTING MATERIAL MAY BE PLACED UNDER THE BAG TO REDUCE SLOPE STEEPNESS.

NO DOWNSLOPE SEDIMENT BARRIER IS REQUIRED FOR MOST INSTALLATIONS. COMPOST BERM OR COMPOST FILTER SOCK SHALL BE INSTALLED BELOW BAGS LOCATED IN HQ OR EV WATERSHEDS, WITHIN 50 FEET OF ANY RECEIVING SURFACE WATER OR WHERE GRASSY AREA IS NOT AVAILABLE.

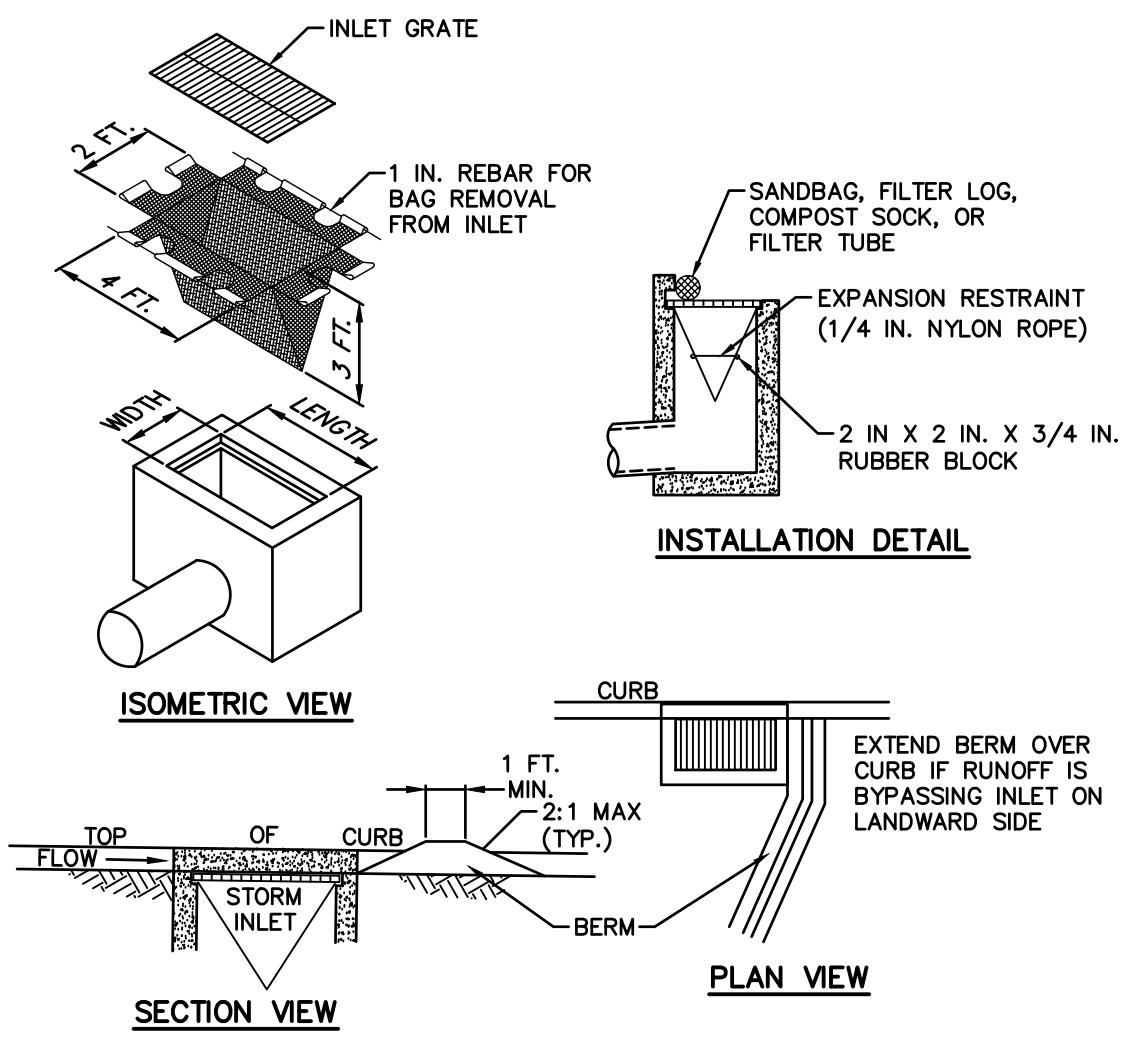
THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE MANUFACTURER AND SECURELY CLAMPED. A PIECE OF PVC PIPE IS RECOMMENDED FOR THIS PURPOSE.

THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM SPECIFIED BY THE MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHALL BE FLOATING AND SCREENED.

FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEM IS DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

STANDARD CONSTRUCTION DETAIL #3-16 PUMPED WATER FILTER BAG

N.T.S.



NOTES:

MAXIMUM DRAINAGE AREA = 1/2 ACRE.

INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS.

ROLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MAINTAINED UNTIL ROADWAY SURFACE RECEIVES FINAL COAT.

AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 120 LBS, A MINIMUM BURST STRENGTH OF 200 PSI, AND A MINIMUM TRAPEZOIDAL TEAR STRENGTH OF 50 LBS. FILTER BAGS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE.

INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR WHEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHALL BE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED SEDIMENT AS WELL AS ALL USED BAGS ACCORDING TO THE PLAN NOTES.

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.

STANDARD CONSTRUCTION DETAIL #4-15 FILTER BAG INLET PROTECTION - TYPE C INLET

N.T.S.

SEE PLAN VIEW - THIS SHEET

TABLE 4.1 Compost Sock Fabric Minimum Specifications					
Material Type	3 mil HDPE	5 mil HDPE	5 mil HDPE	Multi-Filament Polypropylene (WFFPP)	Heavy Duty Multi-Filament Polypropylene (HDWFFPP)
Material Characteristics	Photo-degradable	Photo-degradable	Bio-degradable	Photo-degradable	Photo-degradable
Sock Diameters	12" 18"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"	12" 18" 24" 32"
Mesh Opening	3/8"	3/8"	3/8"	3/8"	1/8"
Tensile Strength		26 psi	26 psi	44 psi	202 psi
Ultraviolet Stability % Original Strength (ASTM G-155)	23% at 1000 hr.	23% at 1000 hr.		100% at 1000 hr.	100% at 1000 hr.
Minimum Functional Longevity	6 months	9 months	6 months	1 year	2 years
Two-ply systems					
Inner Containment Netting					
Outer Filtration Mesh					
Sock fabrics composed of burlap may be used on projects lasting 6 months or less.					

TABLE 4.2 Compost Standards	
Organic Matter Content	25% - 100% (dry weight basis)
pH	5.5 - 8.5
Moisture Content	30% - 60%
Particle Size	30% - 50% pass through 3/8" sieve
Soluble Salt Concentration	5.0 dS/m (mmhos/cm) Maximum

NOTES:

SOCK FABRIC SHALL MEET STANDARDS OF TABLE 4.1 OF THE PA DEP EROSION CONTROL MANUAL. COMPOST SHALL MEET THE STANDARDS OF TABLE 4.2 OF THE PA DEP EROSION CONTROL MANUAL.

COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE BARRIER SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN BARRIER ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY BARRIER SHALL NOT EXCEED THAT SPECIFIED FOR THE SIZE OF THE SOCK AND THE SLOPE OF ITS TRIBUTARY AREA.

TRAFFIC SHALL NOT BE PERMITTED TO CROSS COMPOST FILTER SOCKS.

ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE GROUND HEIGHT OF THE BARRIER AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.

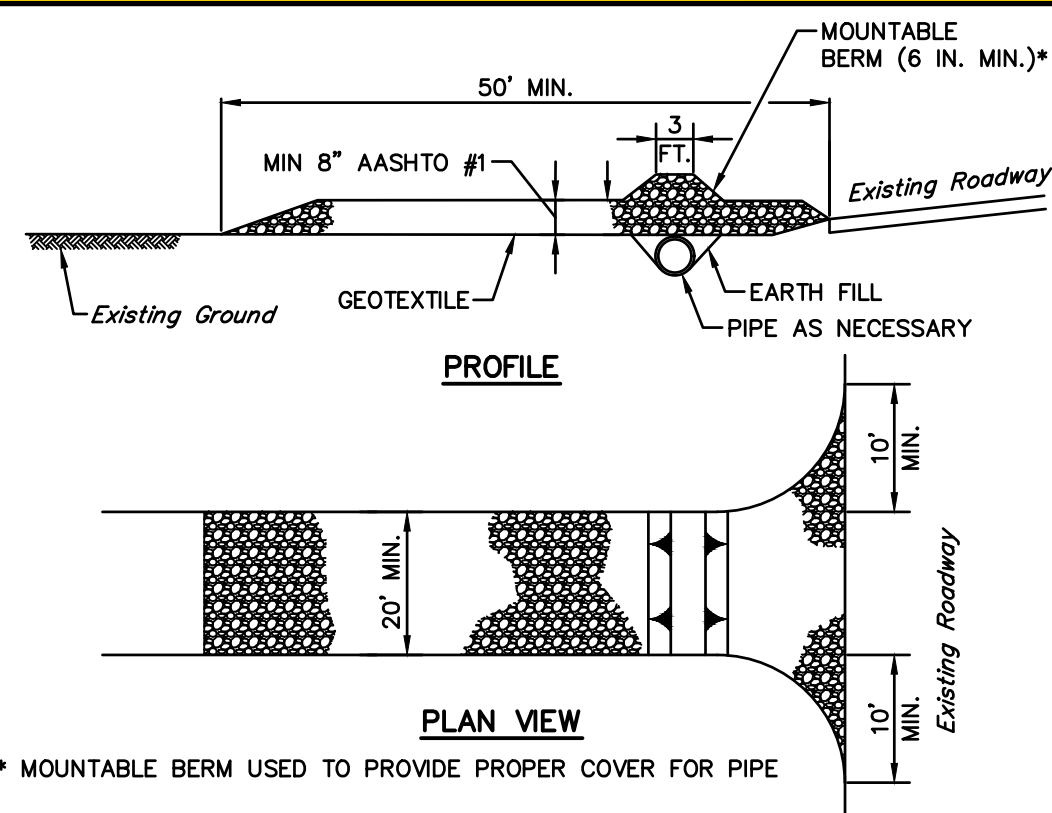
COMPOST FILTER SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.

BIODEGRADABLE COMPOST FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS; PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT OPEN AND THE MULCH SPREAD AS A SOIL SUPPLEMENT.

STANDARD CONSTRUCTION DETAIL #4-1 COMPOST FILTER SOCK

N.T.S.



* MOUNTABLE BERM USED TO PROVIDE PROPER COVER FOR PIPE

NOTES:

REMOVE TOPSOIL PRIOR TO INSTALLATION OF ROCK CONSTRUCTION ENTRANCE. EXTEND ROCK OVER FULL WIDTH OF ENTRANCE.

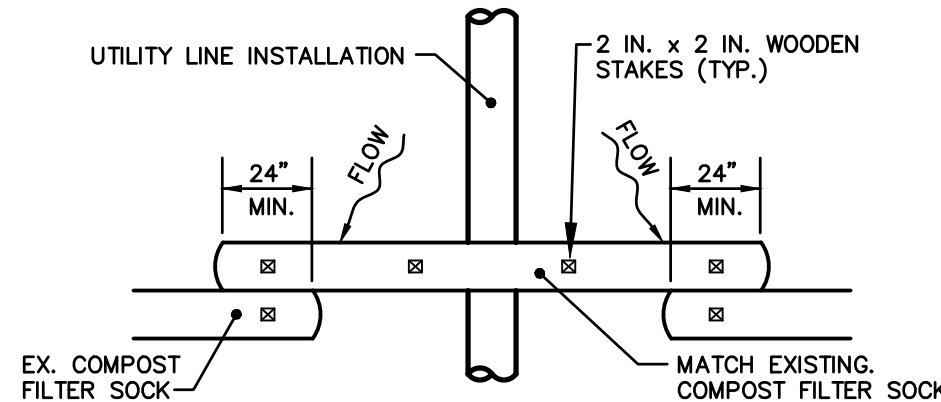
RUNOFF SHALL BE DIVERTED FROM ROADWAY TO A SUITABLE SEDIMENT REMOVAL BMP PRIOR TO ENTERING ROCK CONSTRUCTION ENTRANCE.

MOUNTABLE BERM SHALL BE INSTALLED WHEREVER OPTIONAL CULVERT PIPE IS USED AND PROPER PIPE COVER AS SPECIFIED BY MANUFACTURER IS NOT OTHERWISE PROVIDED. PIPE SHALL BE SIZED APPROPRIATELY FOR SIZE OF DITCH BEING CROSSED.

MAINTENANCE: ROCK CONSTRUCTION ENTRANCE THICKNESS SHALL BE CONSTANTLY MAINTAINED TO THE SPECIFIED DIMENSIONS BY ADDING ROCK. A STOCKPILE SHALL BE MAINTAINED ON SITE FOR THIS PURPOSE. ALL SEDIMENT DEPOSITED ON PAVED ROADWAYS SHALL BE REMOVED AND RETURNED TO THE CONSTRUCTION SITE IMMEDIATELY. IF EXCESSIVE AMOUNTS OF SEDIMENT ARE BEING DEPOSITED ON ROADWAY, EXTEND LENGTH OF ROCK CONSTRUCTION ENTRANCE BY 50 FOOT INCREMENTS UNTIL CONDITION IS ALLEVATED OR INSTALL WASH RACK, WASHING THE ROADWAY OR SWEEPING THE DEPOSITS INTO ROADWAY DITCHES, SEWERS, CULVERTS, OR OTHER DRAINAGE COURSES IS NOT ACCEPTABLE.

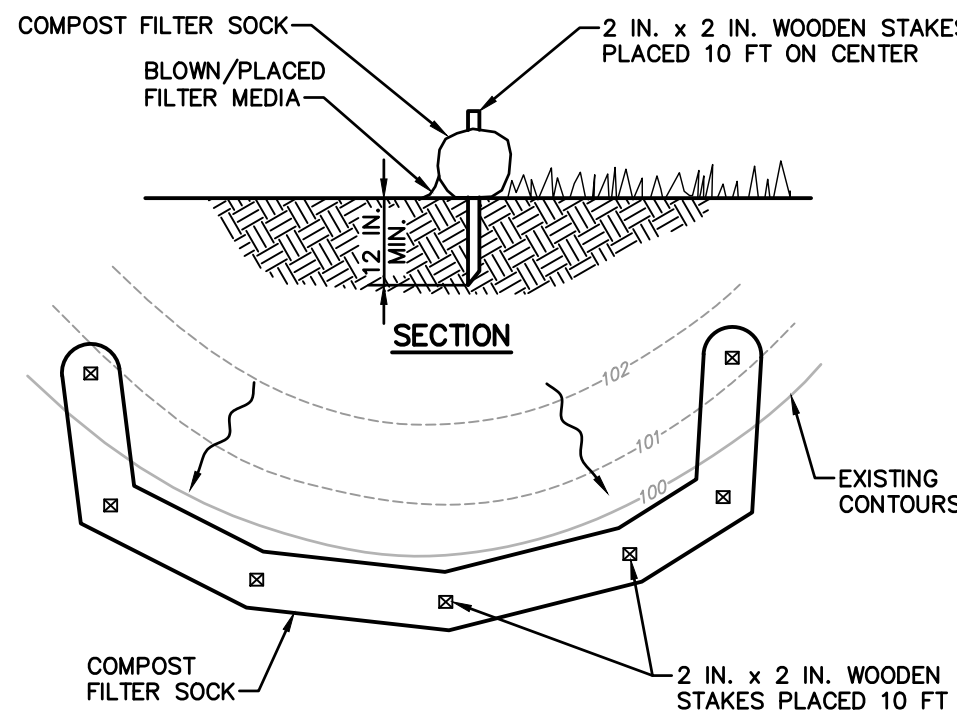
STANDARD CONSTRUCTION DETAIL #3-1 ROCK CONSTRUCTION ENTRANCE

N.T.S.



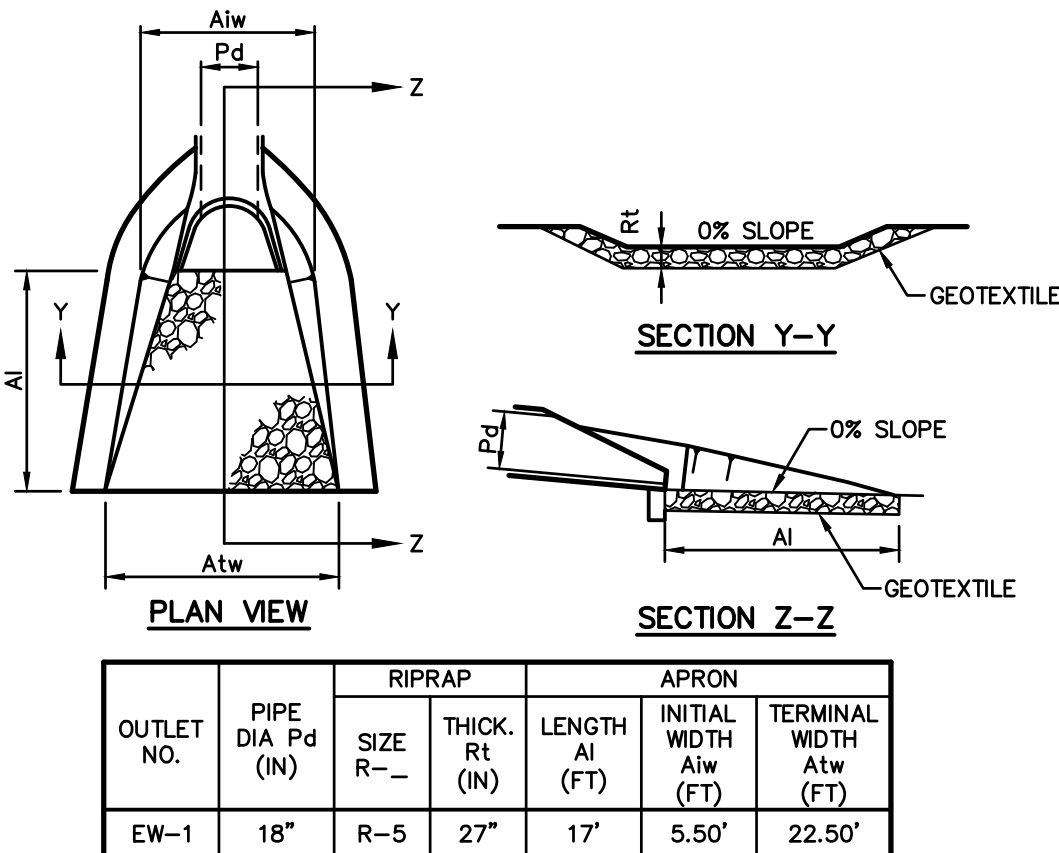
COMPOST FILTER SOCK REPAIR DETAIL (UTILITY CUT)

N.T.S.



COMPOST FILTER SOCK PLAN VIEW

N.T.S.



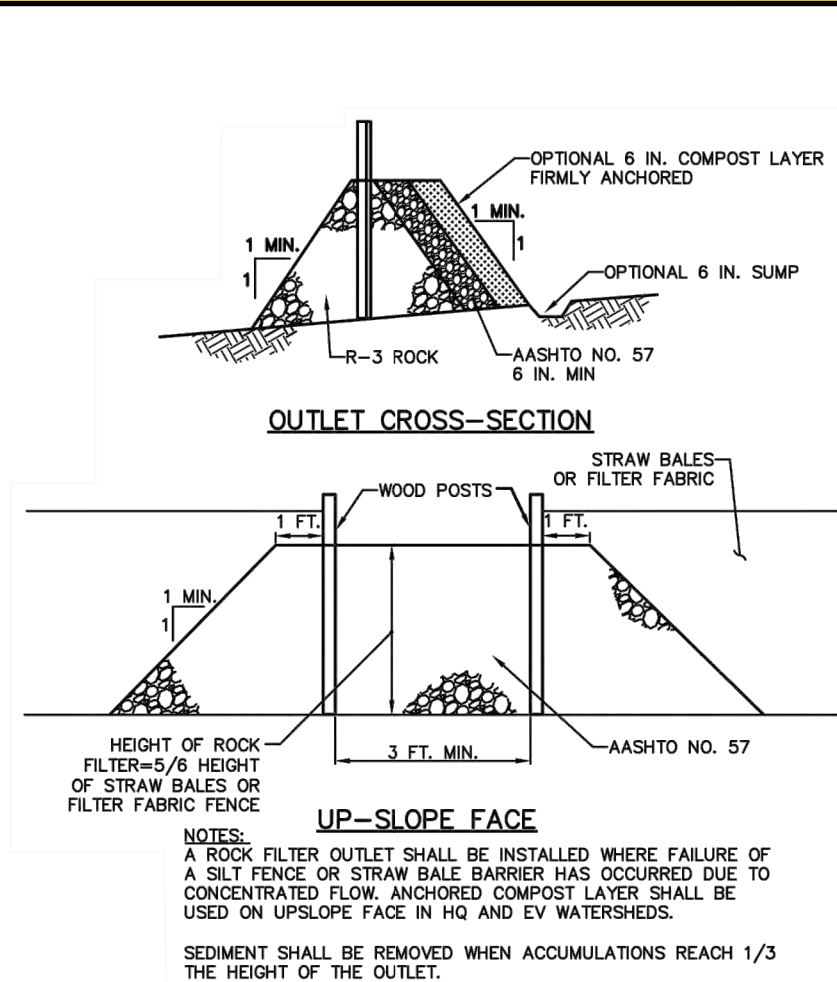
NOTES:

ALL APRONS SHALL BE CONSTRUCTED TO THE DIMENSIONS SHOWN. TERMINAL WIDTHS SHALL BE ADJUSTED AS NECESSARY TO MATCH RECEIVING CHANNELS.

ALL APRONS SHALL BE INSPECTED AT LEAST WEEKLY AND AFTER EACH RUNOFF EVENT. DISPLACED RIPRAP WITHIN THE APRON SHALL BE REPLACED IMMEDIATELY.

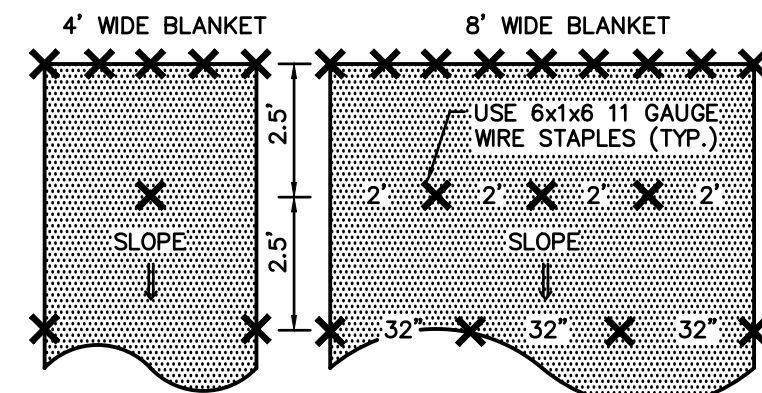
STANDARD CONSTRUCTION DETAIL #9-1 RIPRAP APRON AT PIPE OUTLET WITH FLARED END SECTION OR ENDWALL

N.T.S.



ROCK FILTER OUTLET #4-06

N.T.S.

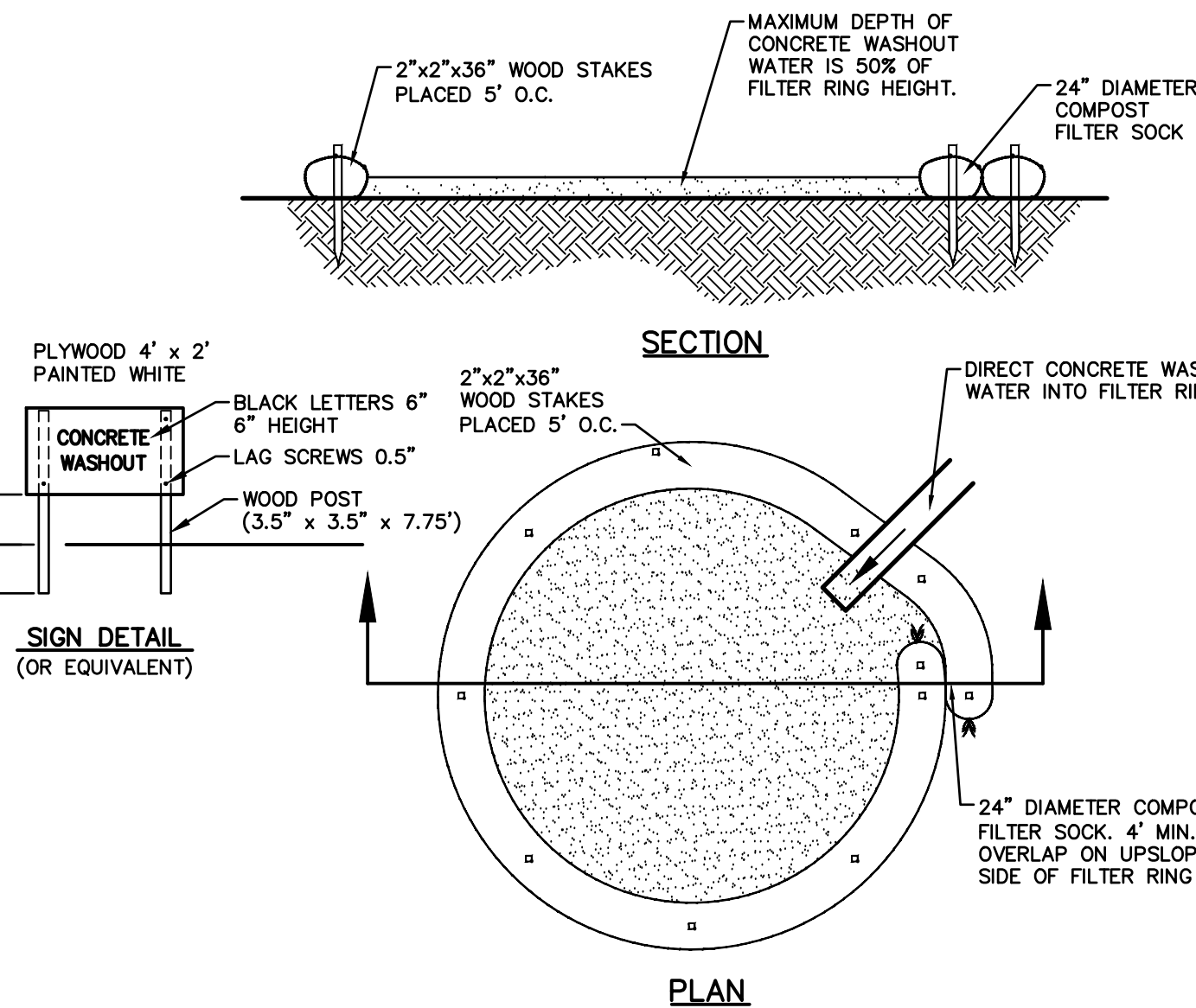


- INSTALL THE BLANKET VERTICALLY OR HORIZONTALLY.
- USE 12" STAPLE SPACING ON STARTER ROW.
- START BLANKET 3"± OVER GRADE BREAK.

1. PRIOR TO INSTALLATION SLOPE AREAS SHALL BE INSPECTED FOR PROPER COMPACTION AND FINE GRADED TO REMOVE RILLS. SLOPES SHALL BE FREE OF OBSTRUCTIONS (SUCH AS TREE ROOTS), PROJECTIONS (SUCH AS STONES) AND OTHER FOREIGN OBJECTS. AFTER THE AREA HAS BEEN PROPERLY SHAPED, SEEDED, FERTILIZED, AND COMPACTED, LOCATE THE START OF THE ROLL, MAKING SURE THE ROLL IS FACING TOWARD THE AREA TO BE COVERED, AND THEN ROLL OUT THE BLANKET. BLANKETS SHALL BE ROLLED OUT FLAT, EVEN, AND SMOOTH WITHOUT STRETCHING THE MATERIAL, THEN ANCHORED TO THE SUBGRADE.
2. BLANKETS SHALL BE INSTALLED IN THE SAME DIRECTION AS THE WATER FLOW; HOWEVER, ON SHORT SLOPES IT MAY BE MORE PRACTICAL TO INSTALL HORIZONTALLY ACROSS THE WIDTH OF THE APPLICATION. IF MORE THAN ONE WIDTH IS REQUIRED, ABUT THE EDGES TOGETHER AND SECURE THE BLANKETS WITH A COMMON ROW OF BIODEGRADABLE STAPLES, STEEL STAPLES, OR STAKES. OVERLAPPING CURLEX BLANKETS IS NOT REQUIRED OR RECOMMENDED. AN EXCEPTION IS WATERWAY SLOPES.
3. BLANKETS SHALL BE APPLIED IN A FLAT, EVEN SMOOTH MANNER, WITHOUT STRETCHING. GOOD, CONTINUOUS CONTACT WITH UNDERLYING SOIL SHALL BE PROVIDED THROUGHOUT THE ENTIRE LENGTH OF THE BLANKET. BLANKETED AREAS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT UNTIL PERENNIAL VEGETATION IS ESTABLISHED TO A MINIMUM UNIFORM 70% COVERAGE THROUGHOUT THE BLANKETED AREA. DAMAGED OR DISPLACED BLANKETS SHALL BE RESTORED WITHIN 4 CALENDAR DAYS.

CURLEX MATTING INSTALLATION INSTRUCTIONS

N.T.S.



NOTES:

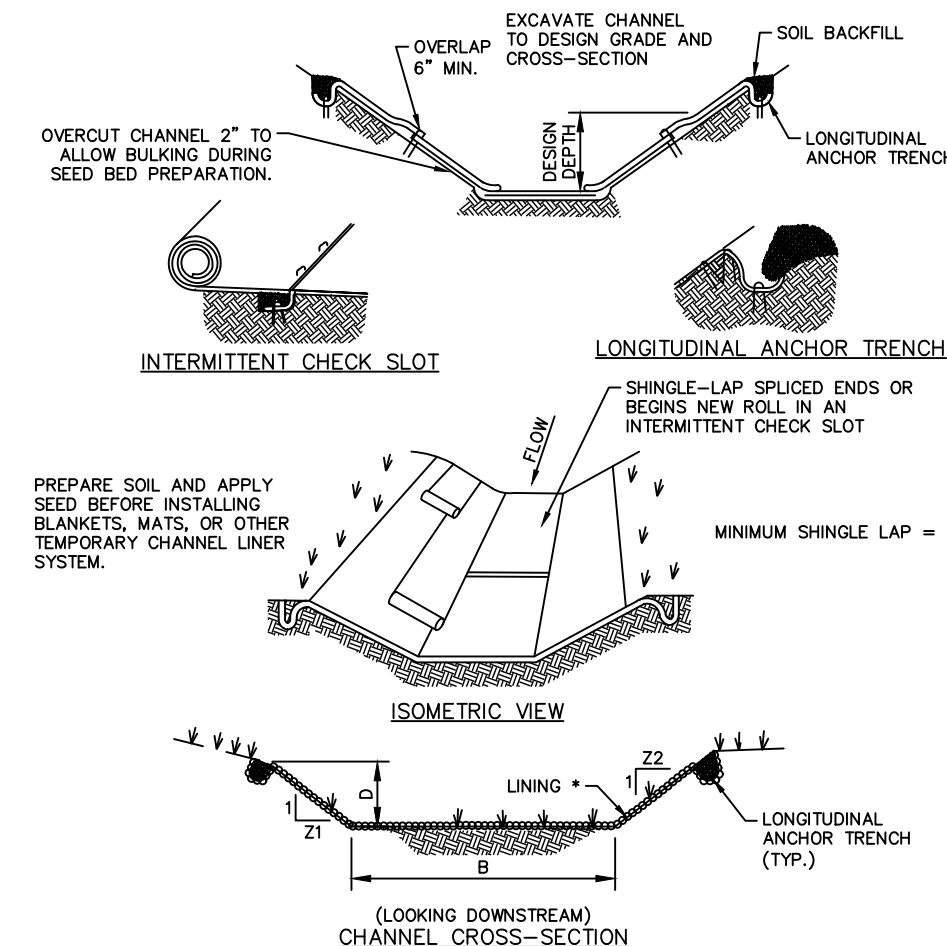
1. INSTALL ON FLAT GRADE FOR OPTIMUM PERFORMANCE.
2. 18" DIAMETER FILTER SOCK MAY BE STACKED ONTO DOUBLE 24" DIAMETER SOCKS IN PYRAMIDAL CONFIGURATION FOR ADDED HEIGHT.
3. A SUITABLE IMPERVIOUS GEOMEMBRANE SHALL BE PLACED AT THE LOCATION OF THE WASHOUT PRIOR TO INSTALLING THE SOCKS.
4. CONCRETE BLOCKS SHALL BE INSTALLED IMMEDIATELY DOWNSTREAM OF THE COMPOST FILTER SOCKS USED FOR A CONCRETE WASHOUT INSTALLED ON A PAVED AREA TO HELP HOLD THE SOCKS IN PLACE. THE BLOCKS SHALL BE INSTALLED AT THE SAME INTERVAL RECOMMENDED FOR THE INSTALLATION OF THE STAKES AS INDICATED ABOVE.

MAINTENANCE:

1. ALL CONCRETE WASHOUT FACILITIES SHOULD BE INSPECTED DAILY. DAMAGED OR LEAKING WASHOUTS SHOULD BE DEACTIVATED AND REPAIRED OR REPLACED IMMEDIATELY.
2. ACCUMULATED MATERIALS SHOULD BE REMOVED WHEN THEY REACH 75% CAPACITY.
3. PLASTIC LINERS SHOULD BE REPLACED WITH EACH CLEANING OF THE WASHOUT FACILITY.

CONCRETE WASHOUT DETAIL

N.T.S.



* SEE MANUFACTURER'S LINING INSTALLATION DETAIL FOR STAPLE PATTERNS, AND VEGETATIVE STABILIZATION SPECIFICATIONS FOR SOIL AMENDMENTS, SEED MIXTURES AND MULCHING INFORMATION.

CHANNEL NO.	PERMANENT OR TEMPORARY	BOTTOM WIDTH B (FT)	DEPTH D (FT)	Z1 (FT)	Z2 (FT)	LINING *
NORTH SWALE 1	PERMANENT	1.0	1.0	3.0	3.0	N.A.G. S75
NORTH SWALE 2	PERMANENT	1.0	1.0	3.0	3.0	N.A.G. S75
SOUTH SWALE 1	PERMANENT	1.0	1.0	3.0	3.0	N.A.G. SC250

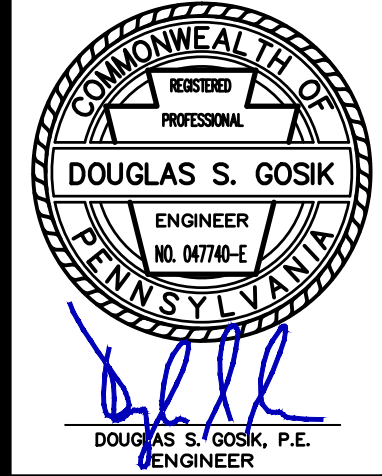
NOTES:

1. N.A.G. INDICATES A NORTH AMERICAN GREEN PRODUCT AND S75 REPRESENTS THE PRODUCT NAME.
2. ANCHOR TRENCHES SHALL BE INSTALLED AT BEGINNING AND END OF CHANNEL IN THE SAME MANNER AS LONGITUDINAL ANCHOR TRENCHES.
3. CHANNEL DIMENSIONS SHALL BE CONSTANTLY MAINTAINED. CHANNEL SHALL BE CLEANED WHENEVER TOTAL CHANNEL DEPTH IS REDUCED BY 20% AT ANY LOCATION. SEDIMENT DEPOSITS SHALL BE REMOVED WITHIN 24 HOURS OF DISCOVERY OR AS SOON AS SOIL CONDITIONS PERMIT ACCESS TO CHANNEL WITHOUT FURTHER DAMAGE. DAMAGED LINING SHALL BE REPAIRED OR REPLACED WITHIN 48 HOURS OF DISCOVERY.
4. NO MORE THAN ONE THIRD OF THE SHOOT (GRASS LEAF) SHALL BE REMOVED IN ANY MOWING. GRASS HEIGHT SHALL BE MAINTAINED BETWEEN 2 AND 3 INCHES UNLESS OTHERWISE SPECIFIED. EXCESS VEGETATION SHALL BE REMOVED FROM PERMANENT CHANNELS TO ENSURE SUFFICIENT CHANNEL CAPACITY.
5. ALL CHANNELS MUST BE KEPT FREE OF OBSTRUCTIONS SUCH AS FILL GROUND, FALLEN LEAVES & WOODY DEBRIS, ACCUMULATED SEDIMENT, AND CONSTRUCTION MATERIALS/WASTES. CHANNELS SHOULD BE KEPT MOVED AND/OR FREE OF ALL WEEDY, BRUSHY OR WOODY GROWTH. ANY UNDERGROUND UTILITIES RUNNING ACROSS/ THROUGH THE CHANNEL(S) SHALL BE IMMEDIATELY BACKFILLED AND THE CHANNEL(S) REPAIRED AND STABILIZED PER THE CHANNEL CROSS-SECTION DETAIL.
6. VEGETATED CHANNELS SHALL BE CONSTRUCTED FREE OF ROCKS, TREE ROOTS, STUMPS OR OTHER PROJECTIONS THAT WILL IMPEDE NORMAL CHANNEL FLOW AND/OR PREVENT GOOD LINING TO SOIL CONTACT. THE CHANNEL SHALL BE INITIALLY OVER-EXCAVATED TO ALLOW FOR THE PLACEMENT OF TOPSOIL.

TEMPORARY & PERMANENT CHANNELS

N.T.S.

REVISIONS:
B) 1. ADDED TEMPORARY/PERMANENT CHANNELS DETAIL.



LOT #4 - GETTYSBURG PIKE & SOUTH MARKET STREET - PROPOSED OFFICE BUILDINGS
MISCELLANEOUS DETAILS & OTHER INFORMATION

APPLICANT / OWNER
G PIKE ASSOCIATES, LLC
2325 PAXTON CHURCH ROAD
HARRISBURG, PA 17110
TELEPHONE: 717-540-3902

CUMBERLAND COUNTY, PA
UPPER ALLEN TOWNSHIP

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REVISIONS		
NO.	DATE	DESCRIPTION
1	APRIL 12, 2020	AS PER TOWNSHIP PERMIT & OWNER COMMENTS

DESIGN BY: G.R.S. DRAWN BY: W.L.G. CHECKED BY: D.S.G.

WSC PROJECT NUMBER:
GPKE-UA-OFFICE-FINAL

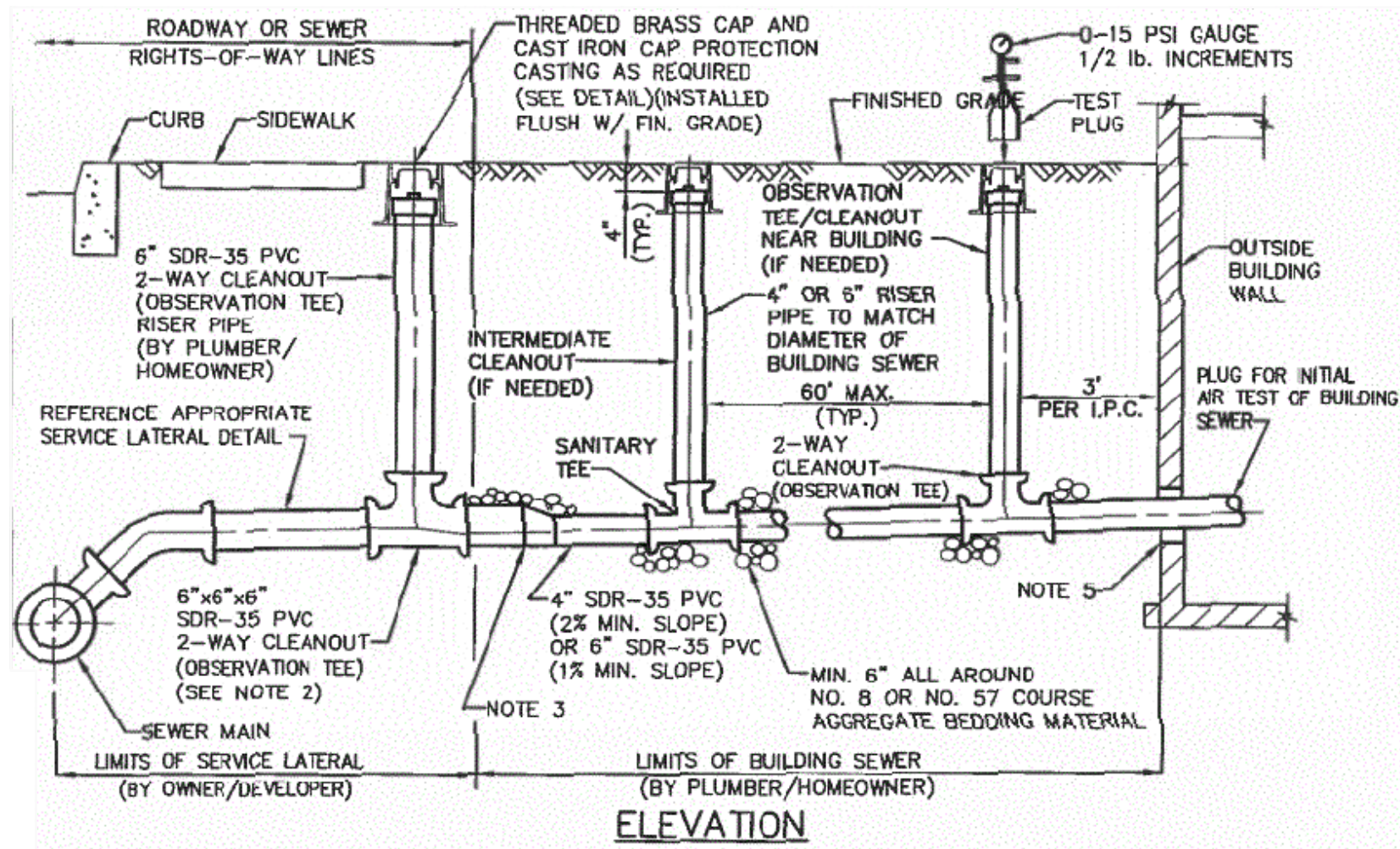
SCALE: AS NOTED

DATE: SEPTEMBER 27, 2019

SHEET
14 OF 15



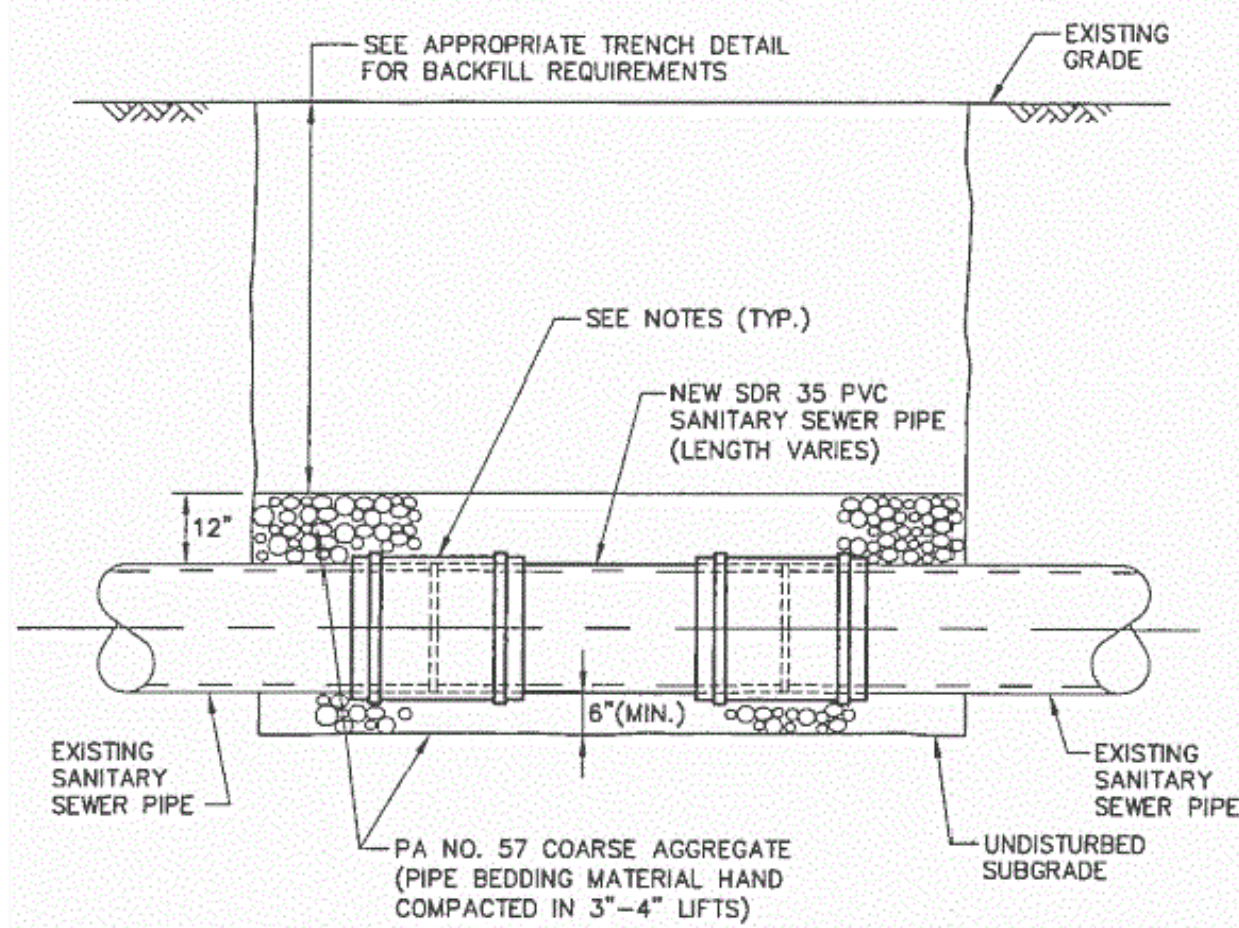
W:\2018 Land Projects\G Pike Assoc - U Allen Twp\CADD\Final LD Plans\GPike-UA-Office-Details.dwg, 2/12/2020 4:43:28 PM, briley



- NOTES:**
- PIPE SIZES AND MATERIALS TO BE IN ACCORDANCE WITH TOWNSHIP REQUIREMENTS.
 - 2-WAY CLEANOUT (OBSERVATION TEE) TO BE LOCATED AT TOWNSHIP R/W LINE AND LOCATION TO BE SITE SPECIFIC WITH RESPECT TO CURB AND SIDEWALK.
 - FOR 4" BUILDING SEWER USE ECCENTRIC 4"x6" ADAPTER FITTING AT TRANSITION TO 2-WAY CLEANOUT (4"x6" FLEXIBLE COUPLING NOT ALLOWED).
 - CLEANOUT/TEST TEE SPACING IS 60' MAXIMUM, UNLESS OTHERWISE APPROVED IN WRITING BY TOWNSHIP.
 - WALL SLEEVE TO BE 2" GREATER THAN DIAMETER OF BUILDING SEWER PIPE AND SEALED WATER TIGHT.
 - ANY PIPE LESS THAN 3 FEET OF COVER SHALL BE APPROVED IN WRITING BY TOWNSHIP.
 - THERE SHALL BE A 10 FOOT HORIZONTAL SEPARATION BETWEEN WATER SERVICE AND SERVICE LATERAL/BUILDING SEWER, OR WATER SERVICE SHALL BE ENGAGED IN A WATERPROOF PVC CONDUIT SEALED AT BOTH ENDS WITH APPROPRIATE FERRULE ADAPTER.
 - INSTALL TEST PLUGS AS REQUIRED FOR ACCEPTANCE AIR TESTING.
 - TRAFFIC RATED PROTECTION CASTING REQUIRED IN PAVED AREAS ONLY.
 - DETECTION TAPE REQUIRED IN PIPE TRENCH AT A DEPTH OF 12-INCHES BELOW FINAL SURFACE GRADE OR PAVEMENT SUBGRADE.

BUILDING SEWER DETAIL

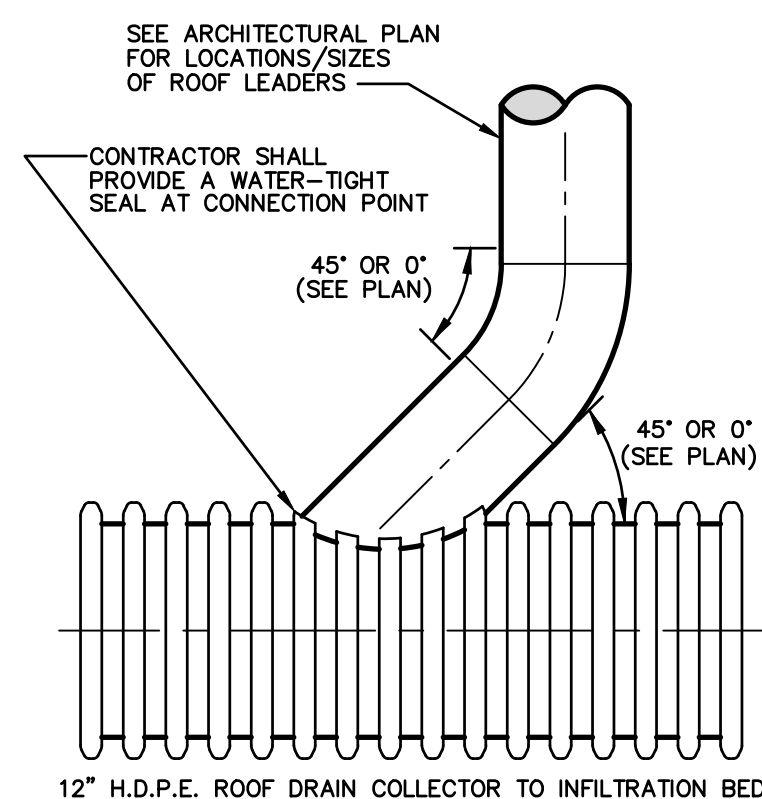
N.T.S.



- NOTES:**
- SLEEVES, ADAPTERS AND COUPLINGS.
 - PVC TO PVC CONNECTION USE; GASKETED PVC REPAIR SLEEVE.
 - PVC TO TCP/VCP CONNECTION; USE FENCO STAINLESS STEEL ANTI-SHEAR COLLAR RUBBER ADAPTER, OR APPROVED EQUAL.
 - PVC TO DIP/CIP CONNECTION; USE MECHANICAL JOINT COUPLING.
 - PVC/DIP TO ACP CONNECTION; USE MECHANICAL JOINT COUPLING OR STAINLESS STEEL ANTI-SHEAR COLLAR RUBBER ADAPTER, AS APPROVED BY TOWNSHIP.
 - DIP/CIP TO DIP/CIP CONNECTION; USE MECHANICAL JOINT COUPLING.
 - MECHANICAL JOINT COUPLINGS TO BE SMITH-BLAIR, DRESSER, OR APPROVED EQUAL.
 - RECONNECTIONS TO BE AIR TESTED IN ACCORDANCE WITH SPECIFICATIONS OR AS DIRECTED BY TOWNSHIP.

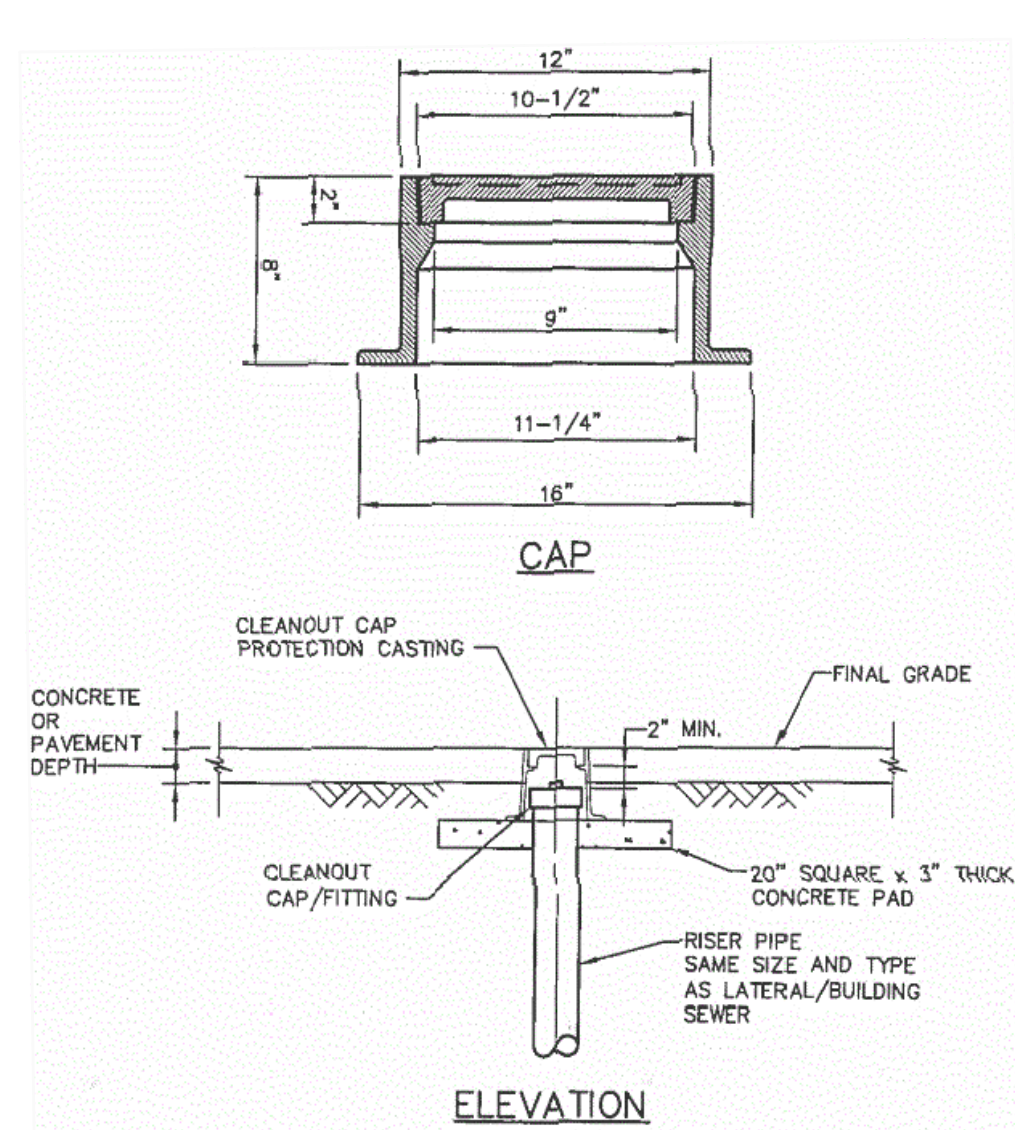
UPPER ALLEN TOWNSHIP STANDARD (SEW-2) PIPE REPAIR/RECONNECTION DETAIL

N.T.S.



STORM SEWER ROOF LEADER CONNECTION

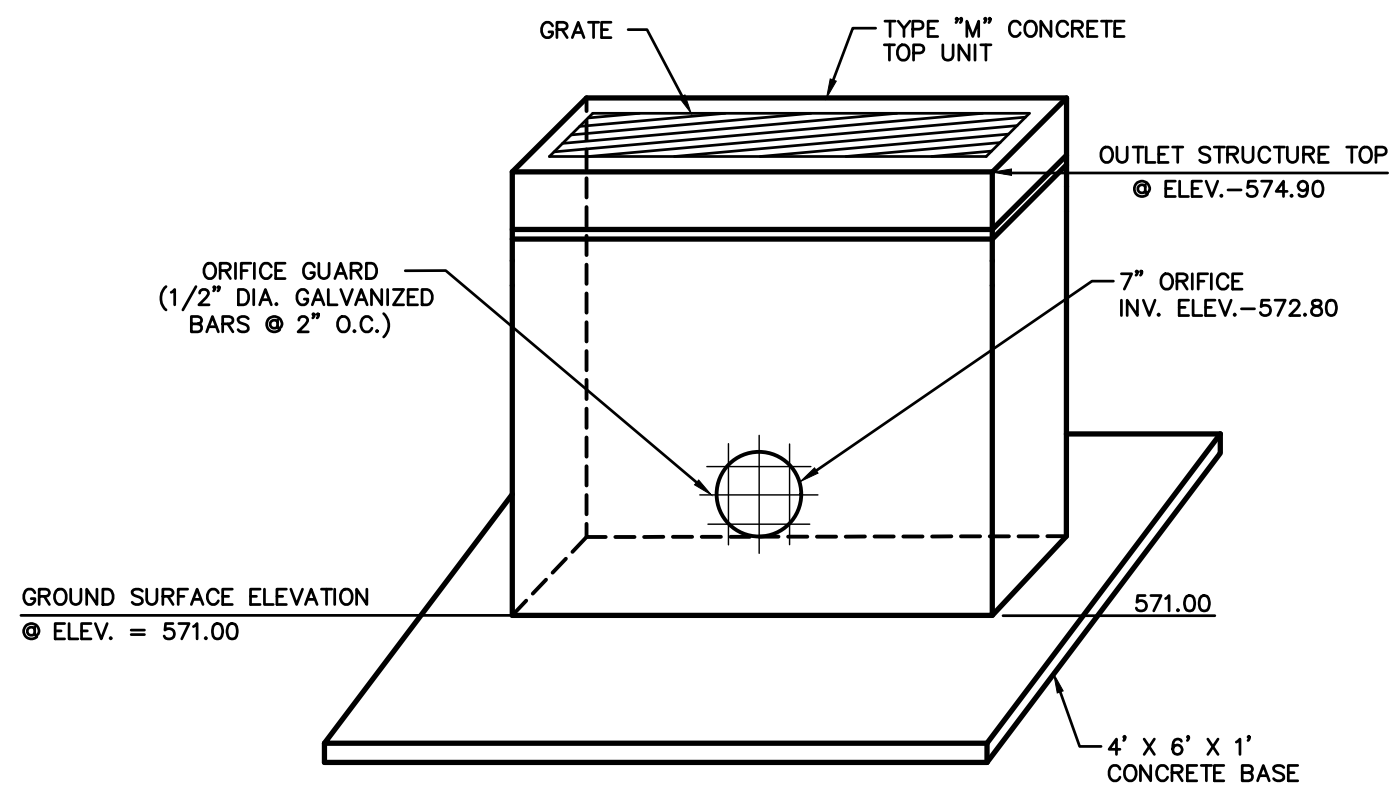
N.T.S.



- NOTES:**
- CASTING FRAME AND COVER SHALL BE HEAVY DUTY WITH "S" MARKING ON COVER. (EAST JORDAN IRON WORKS CATALOG No. 1565, OR APPROVED EQUAL.)

CAP PROTECTION CASTING FOR CLEANOUT COVER IN VEHICULAR TRAFFIC AREAS

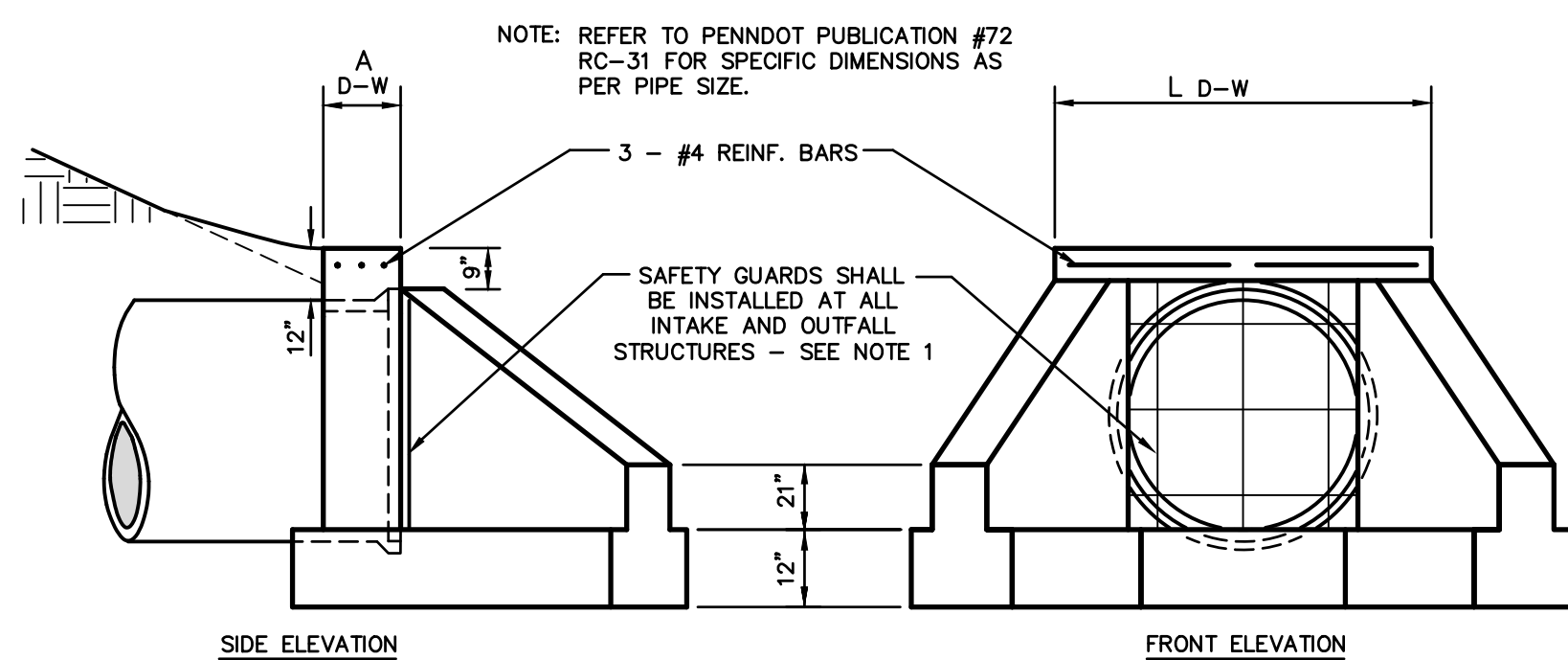
N.T.S.



- NOTES:**
- USE 2' X 4' (INSIDE DIM.) SQUARE RISER ALL WALLS SHALL BE SIX (6) INCHES THICK.
 - THE METAL ORIFICE GUARD AND CONNECTION HARDWARE SHALL BE OF STAINLESS STEEL MATERIAL, AND SHALL BE CONNECTED TO THE STRUCTURE USING 3/8 INCH DIAMETER ANCHORS.

PROPOSED OUTLET STRUCTURE OS-1

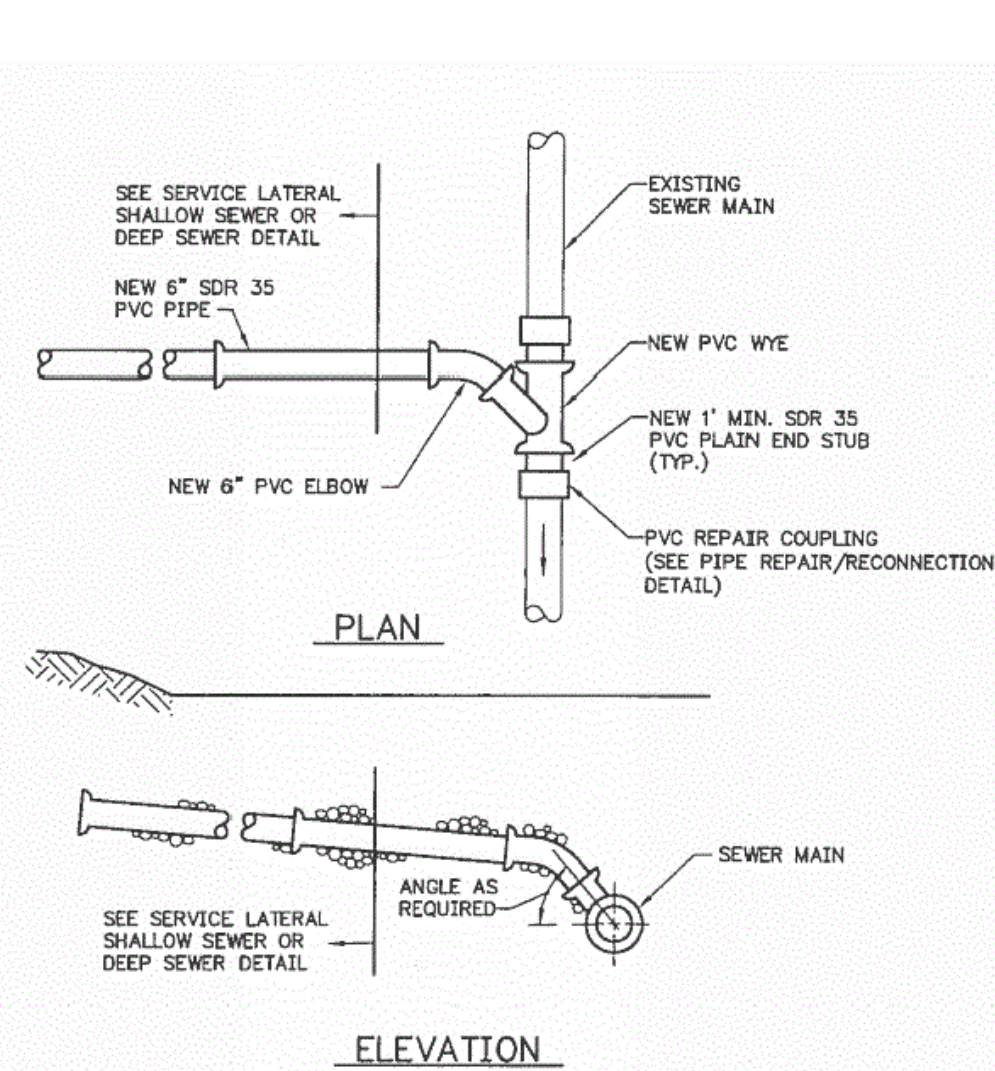
N.T.S.



- NOTE:**
- GUARD BARS SHALL BE 1/2" DIAMETER GALVANIZED BARS 6" O.C., ATTACHED TO THE STRUCTURE WITH 3/8" DIAMETER STAINLESS STEEL ANCHORS.

STANDARD TYPE D-W ENDWALL DETAIL

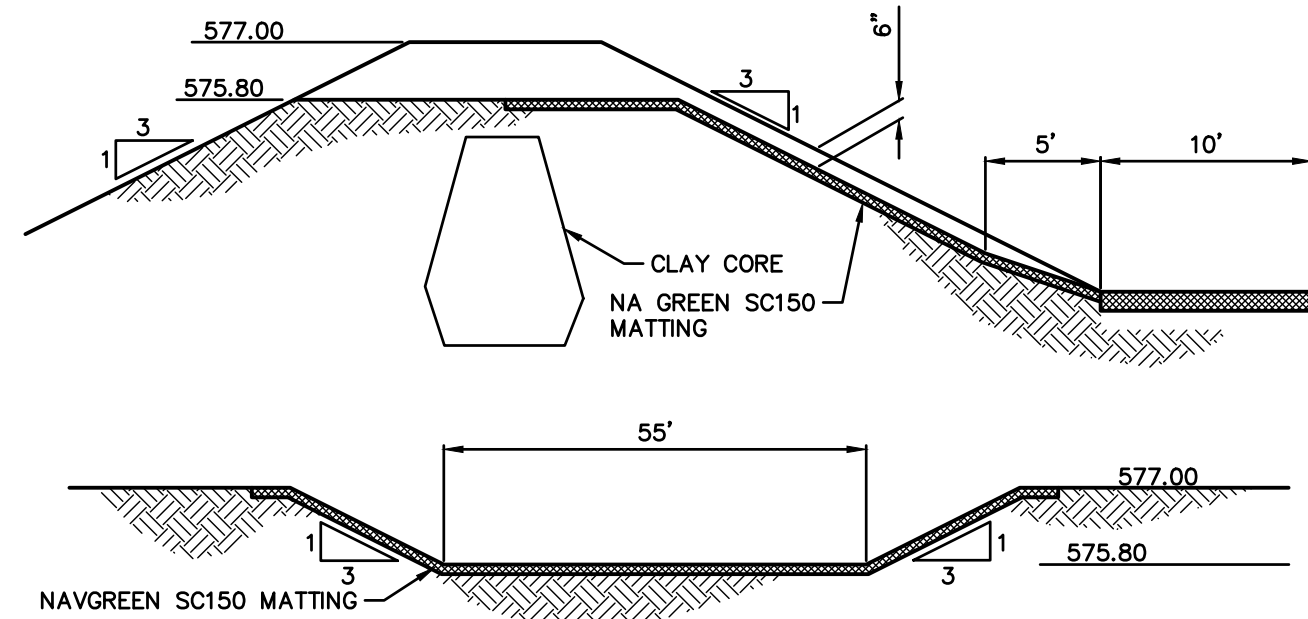
N.T.S.



- NOTES:**
- EXISTING MAIN SEWER TO BE SAW CUT.
 - IN CERTAIN CIRCUMSTANCES USE OF A TAPPING SADDLE MAY BE PERMITTED OR REQUIRED, INCLUDING CONNECTIONS TO LARGER DIAMETER INTERCEPTOR SEWERS, WITH TOWNSHIP APPROVAL (SEE DETAIL).

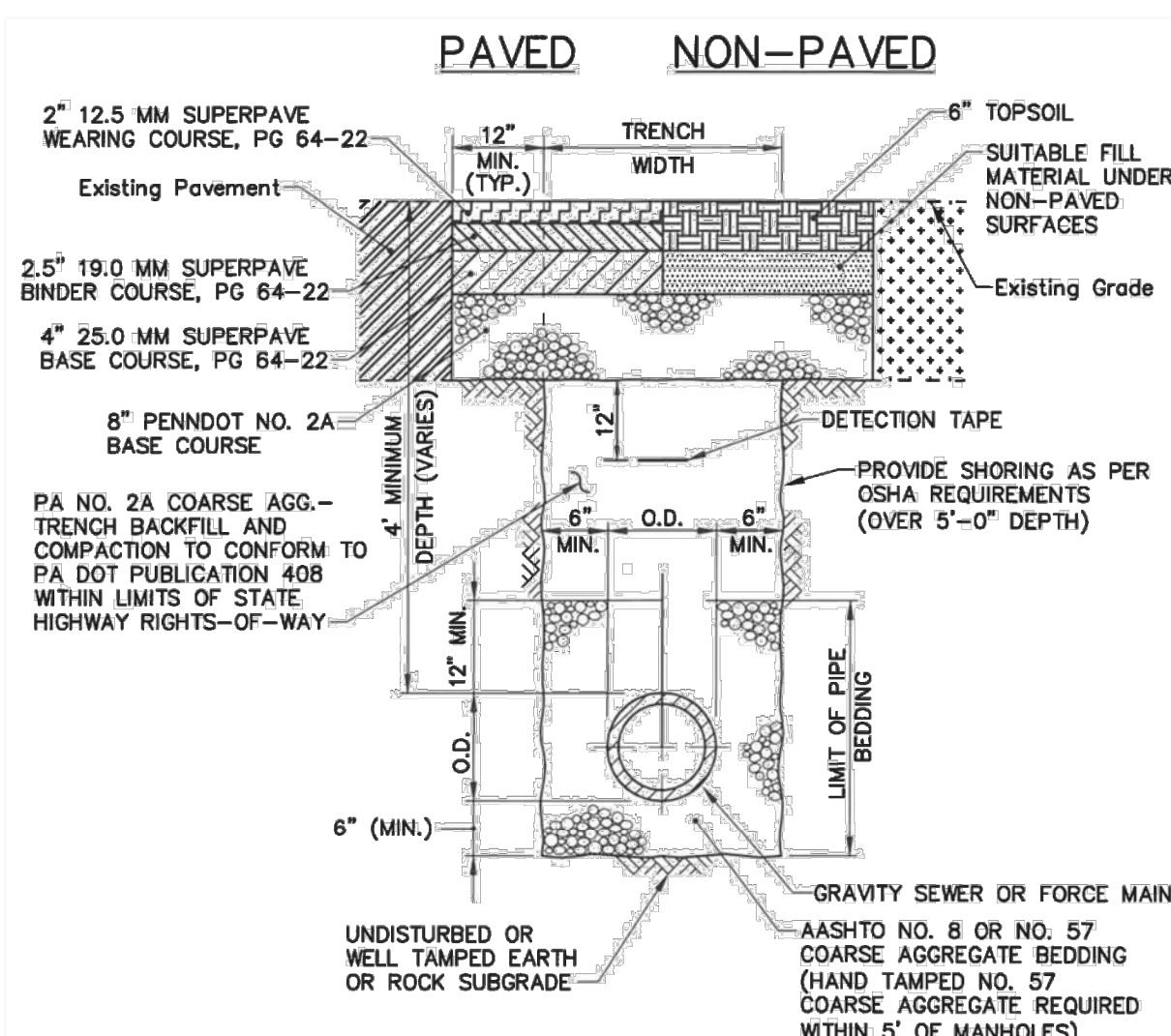
UPPER ALLEN TOWNSHIP STANDARD (LAT-5) SERVICE LATERAL CONNECTION TO EXISTING MAIN

N.T.S.



EMERGENCY SPILLWAY DETAILS

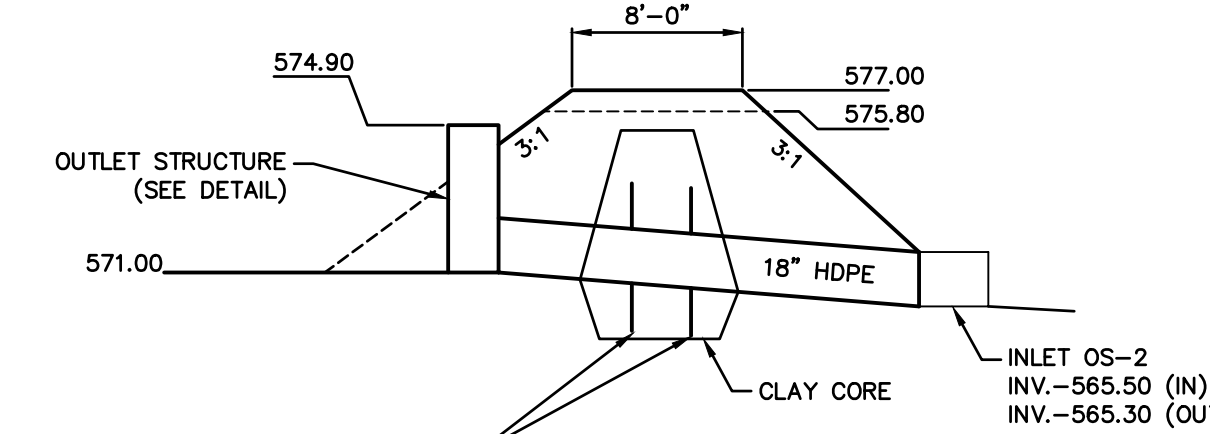
N.T.S.



- NOTES:**
- ALL PAVEMENT TO BE SAW CUT. PG 64-22 SEAL TO BE APPLIED TO VERT. FACE OF SAW CUTS (TYP.).
 - JOINTS SHALL BE SEALED WITHIN 24 HRS. AFTER THE APPLICATION OF THE WEARING COURSE.
 - PENN DOT MAY REQUIRE MODIFICATIONS TO THIS TRENCH RESTORATION DETAIL PENDING APPROVAL OF HOP APPLICATION/PERMIT.

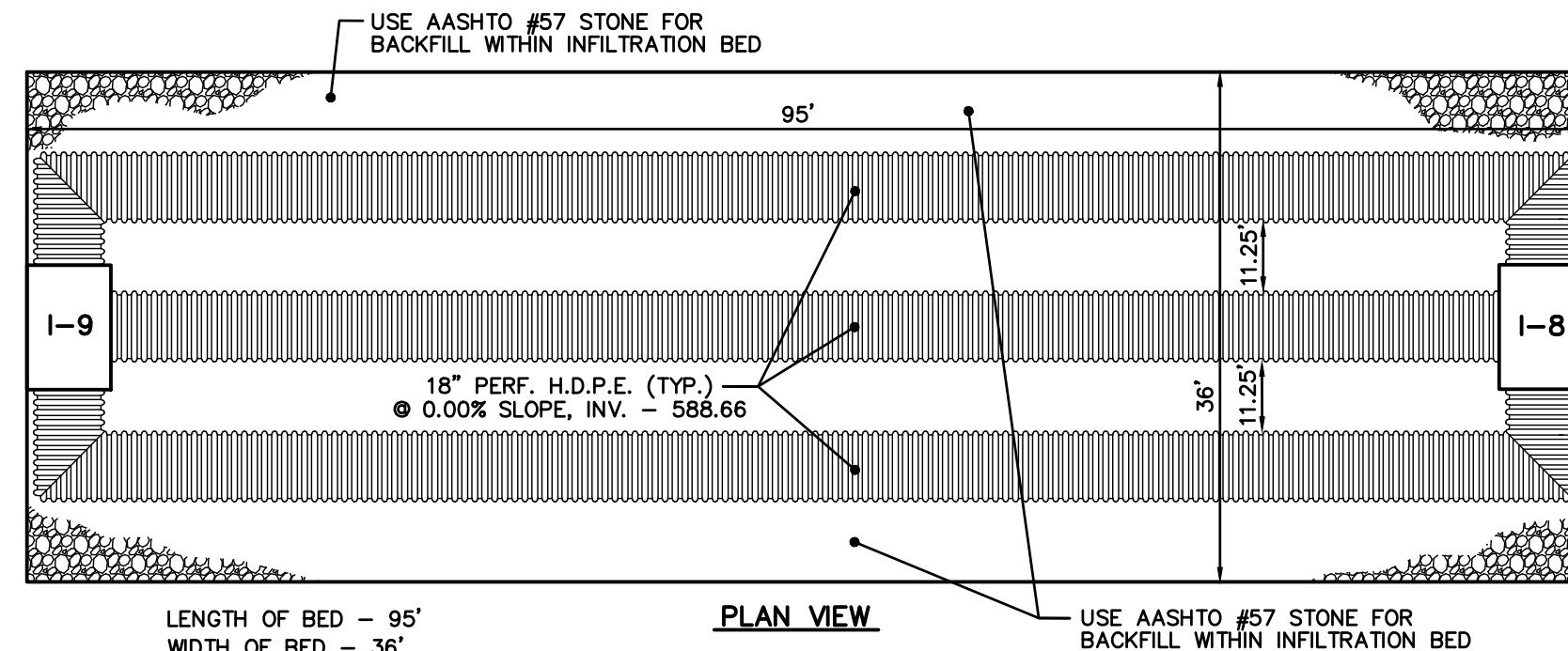
TRENCH RESTORATION DETAIL (TYPICAL S.R. 0114)

N.T.S.



BERM & OUTLET PROFILE

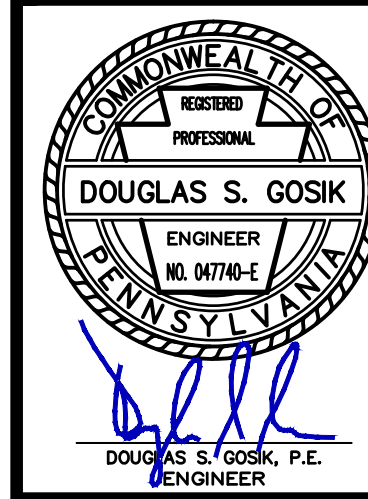
N.T.S.



- NOTES:**
- JUNCTION BOXES SHALL BE STANDARD TYPE 'C' INLETS.
 - NON-WOVEN GEOTEXTILE SHALL CONSIST OF NON-WOVEN POLYPROPYLENE FIBERS AND MEET THE FOLLOWING PROPERTIES:
 - GRAB TENSILE STRENGTH (ASTM-D4632) 120 LBS
 - MULLEN BURST STRENGTH (ASTM-D3786) 225 PSI
 - FLOW RATE (ASTM-D4491) 95 GAL/MIN/SF
 - UV RESISTANCE AFTER 500 HRS (ASTM-D4355) 70%
 - HEAT-SET OR HEAT-CALENDARED FABRICS ARE NOT PERMITTED

INFILTRATION BED DETAIL

N.T.S.



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REVISIONS		
DESIGN BY:	DRAWN BY:	CHECKED BY:
G.R.S.	W.L.G.	D.S.G.
WSC PROJECT NUMBER:		
GPike-UA-Office-Final		
SCALE: AS NOTED		
DATE: SEPTEMBER 27, 2019		
SHEET 15 OF 15		

